

PROJECT DATA

APN # 946-1689-017, 946-1689-018, 946-1689-019
 STANLEY BOULEVARD
 4171 & 4189 STANLEY BLVD., PLEASANTON, CA

PROJECT AREA CALCULATION

GROSS PROJECT SITE 52,510 S.F.
 INDIVIDUAL LOT SIZE 2,603 S.F. - 3,965 S.F.

BUILDING TYPE	UNITS	PARKING
SINGLE FAMILY HOMES	13	26 COV. 26 UNCOV. 7 UNCOV. GUEST
TOTAL UNITS AND PARKING	13	59 SPACES

UNIT MIX

- (5x) PLAN 1: 1,599 - 1,639 S.F. EA. UNIT
2 - 3 BEDROOMS
2 CAR GARAGE
- (5x) PLAN 2: 1,720 - 1,757 S.F. EA. UNIT
2 - 3 BEDROOMS
2 CAR GARAGE
- (3x) PLAN 3: 1,892 S.F. - 1,920 S.F. EA. UNIT
3 - 4 BEDROOMS
2 CAR GARAGE

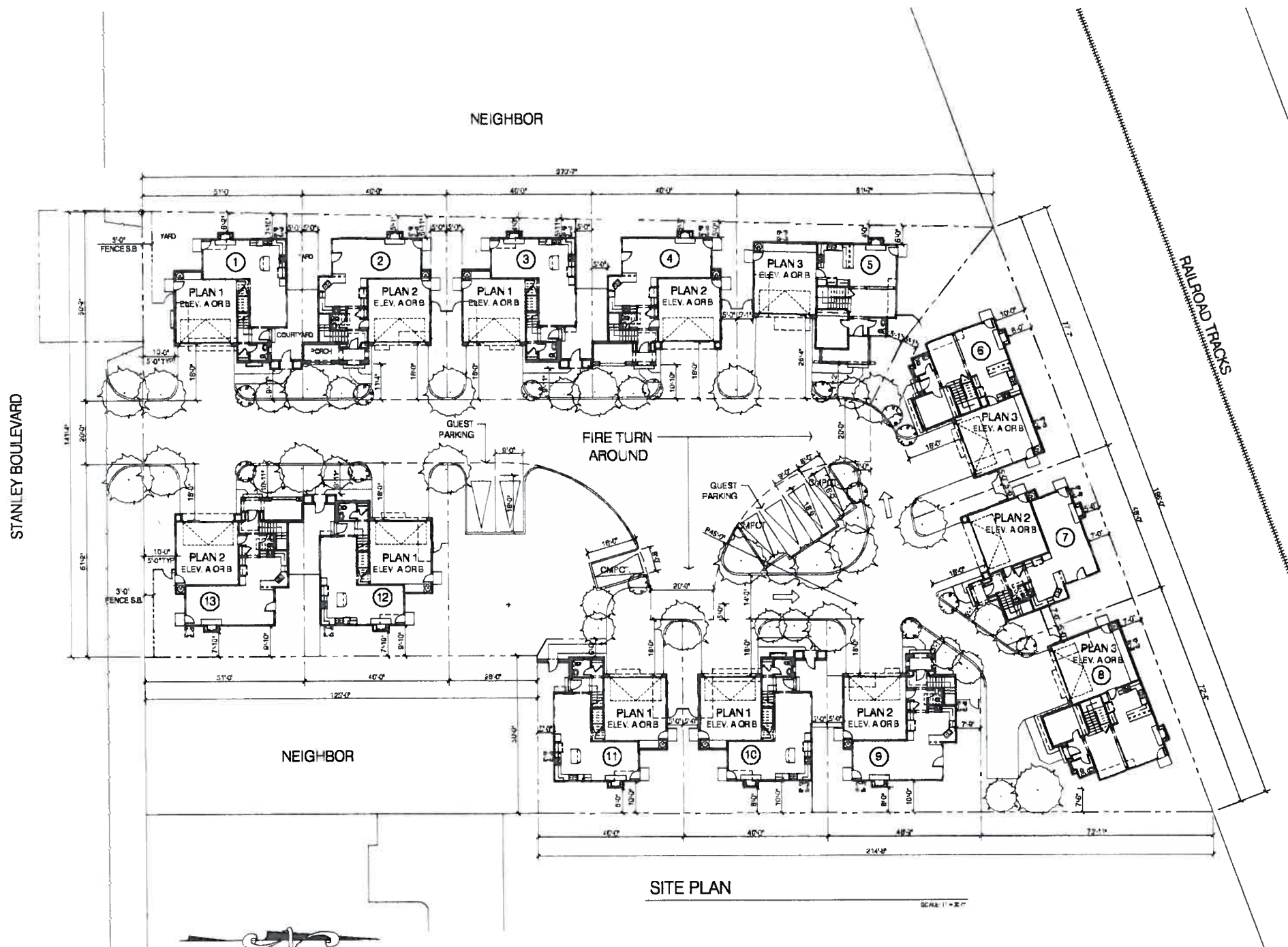
PROJECT SETBACKS

FRONT YARD: 10'-0" AVERAGE / 5'-0" MINIMUM
 SIDE YARD: 5'-0" MINIMUM / 10'-0" AT STANLEY BLVD.
 REAR YARD: 5'-0" MINIMUM

CONTACT INFO.

PROJECT CONTACT:	ARCHITECT:	LANDSCAPE ARCHITECT:
DONATO BUILDERS INC	HUNT HALE JONES	CAMP & CAMP ASSOCIATES, INC
1854 WARSAW AVENUE LIVERMORE, CA 94550 TEL (925) 245-0694 FAX (925) 454-8605	444 SPEAR STREET, SUITE 200 SAN FRANCISCO, CA 94105 TEL (415) 512-1300 FAX (415) 288-0288	2540 CAMINO DIABLO, SUITE 201 WALNUT CREEK, CA 94597 TEL (925) 941-6498 FAX (925) 941-6455

VICINITY MAP



STANLEY BOULEVARD
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 PLEASANTON, CA



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SITE PLAN
DR 2
 SCALE: AS NOTED
 DATE: 05-24-10
 PROJECT: 288002



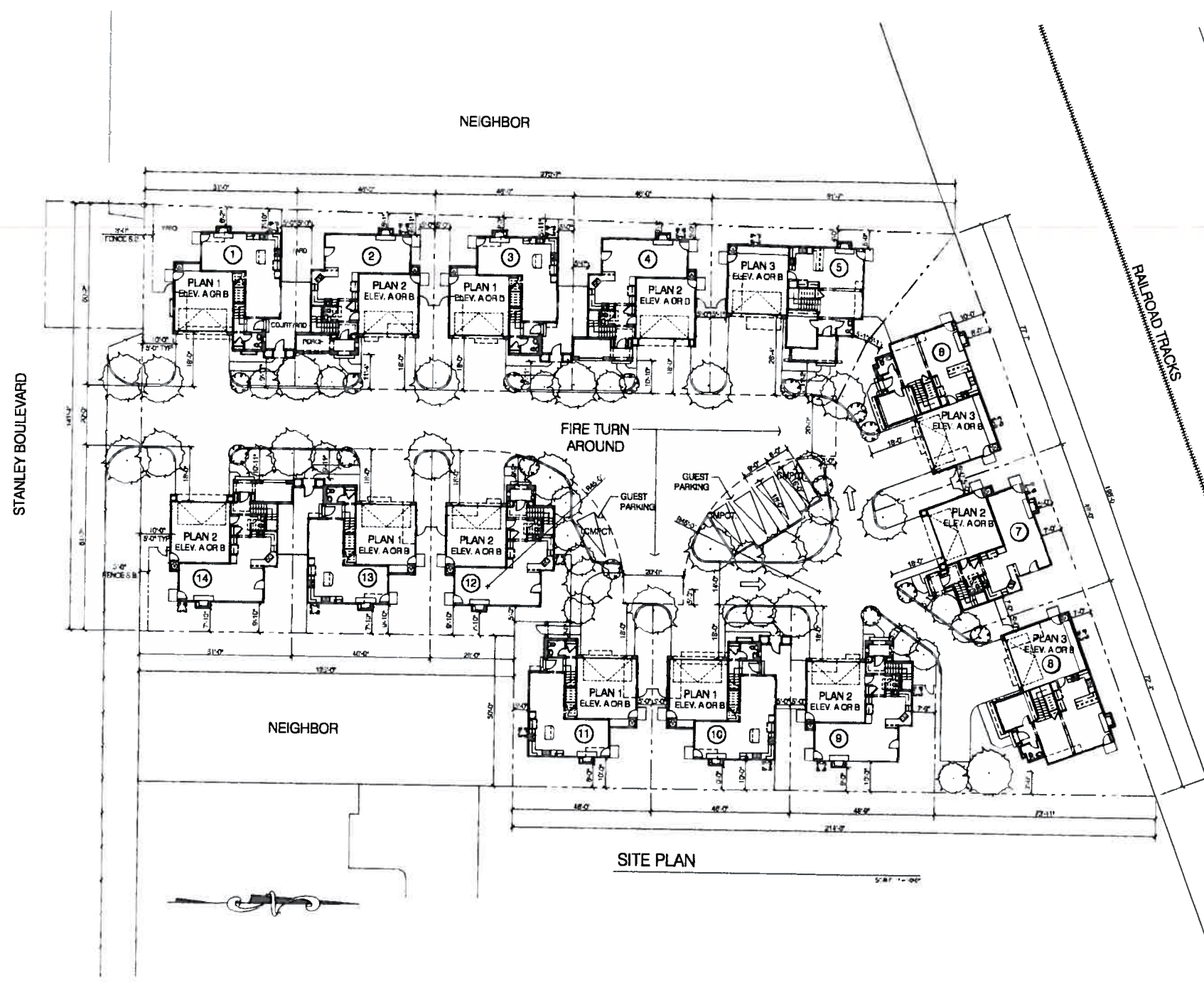
STANLEY BOULEVARD

PLEASANTON, CALIFORNIA
DONATO BUILDERS, INC.

PUD AND TENTATIVE MAP
DESIGN REVIEW

05-24-2010





PROJECT DATA

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PROJECT AREA CALCULATION

GROSS PROJECT SITE 52,510 S.F.
 INDIVIDUAL LOT SIZE 2,603 S.F. - 3,965 S.F.

BUILDING TYPE	UNITS	PARKING
SINGLE FAMILY HOMES	14	28 COV. 28 UNCOV. 5 UNCOV. GUEST
TOTAL UNITS AND PARKING	14	61 SPACES

UNIT MIX

- (5x) PLAN 1 : 1,599 - 1,639 S.F. EACH UNIT
2 - 3 BEDROOMS
2 CAR GARAGE
- (6x) PLAN 2 : 1,720 - 1,757 S.F. EACH UNIT
2 - 3 BEDROOMS
2 CAR GARAGE
- (3x) PLAN 3 : 1,892 S.F. - 1,920 S.F. EACH UNIT
3 - 4 BEDROOMS
2 CAR GARAGE

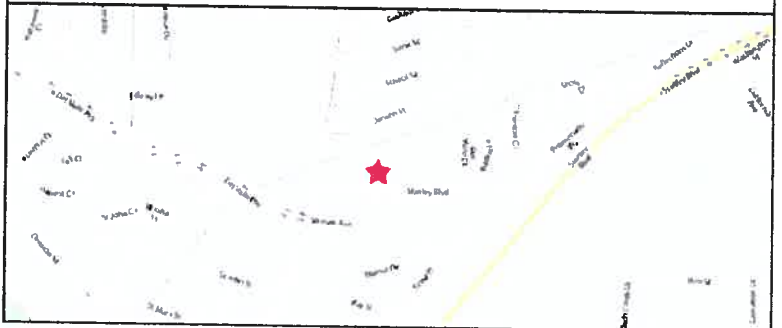
PROJECT SETBACKS

FRONT YARD: 10'-0" AVERAGE / 5'-0" MINIMUM
 SIDE YARD: 5'-0" MINIMUM / 10'-0" AT STANLEY BLVD.
 REAR YARD: 5'-0" MINIMUM

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VICINITY MAP



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SITE PLAN
DR 2

SCALE: AS NOTED
 DATE: 05-24-10
 PROJECT: 288002



STANLEY BOULEVARD ELEVATION

RESIDENCE 1B - SPANISH



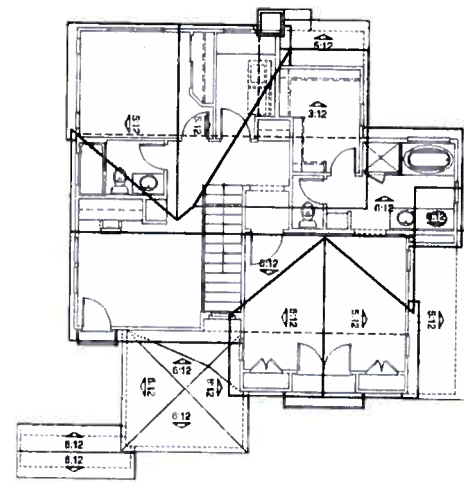
FRONT ELEVATION

RESIDENCE 1A - ANDALUSIAN



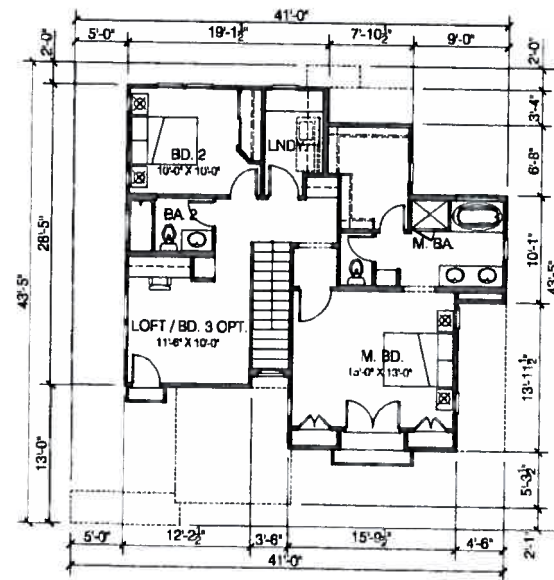
FRONT ELEVATION

RESIDENCE 1B - SPANISH



ROOF PLAN

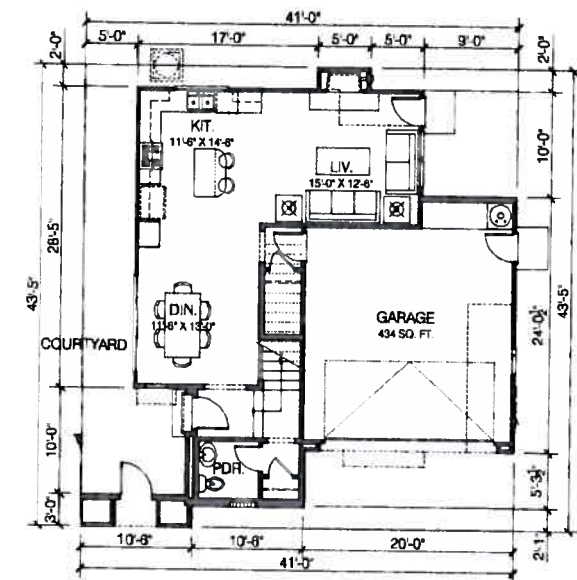
RESIDENCE 1A - ANDALUSIAN



UPPER FLOOR PLAN

RESIDENCE 1A - ANDALUSIAN

UPPER LEVEL 921 S.F.



MAIN FLOOR PLAN

RESIDENCE 1A - ANDALUSIAN

MAIN LEVEL: 718 S.F.
TOTAL: 1,639 S.F.
GARAGE: 434 S.F.

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PLAN 1A

DR 3

SCALE: 1/8"=1'-0"
DATE: 05-24-10
PROJECT: 288002



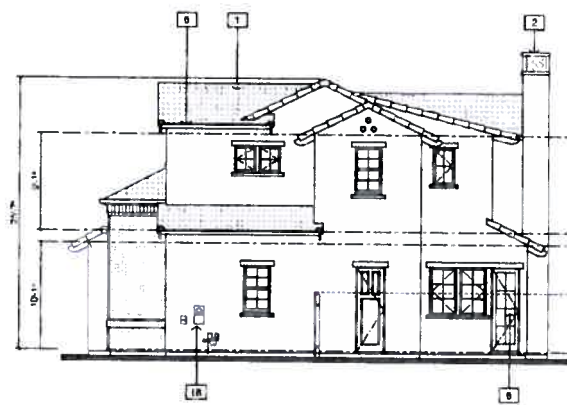
FRONT ELEVATION

RESIDENCE 1A - ANDALUSIAN

1/8" = 1'-0"

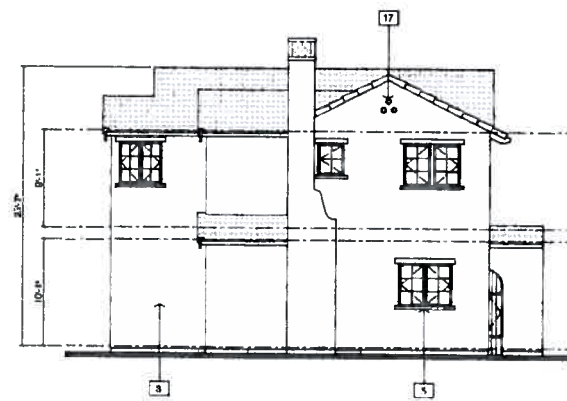
LEGEND
EXTERIOR MATERIAL

- 1. SPANISH TILE ROOFING
- 2. DECORATIVE CHIMNEY CAP
- 3. STUCCO
- 4. FRAM TRIM
- 5. BRICK SILL
- 6. GEM GUTTER
- 7. IVY WINDOW
- 8. FRENCH DOOR
- 9. WOOD DOOR
- 10. WROUGHT IRON RAILING
- 11. DECORATIVE WROUGHT IRON GRILLE
- 12. DECORATIVE WINDOW
- 13. WOOD FENCE
- 14. ADDRESS SIGN
- 15. DECORATIVE LIGHT
- 16. WOOD GRABBLE DOOR
- 17. DECORATIVE TILE GABLE VENT
- 18. METERS
- 19. COURTYARD ENTRY



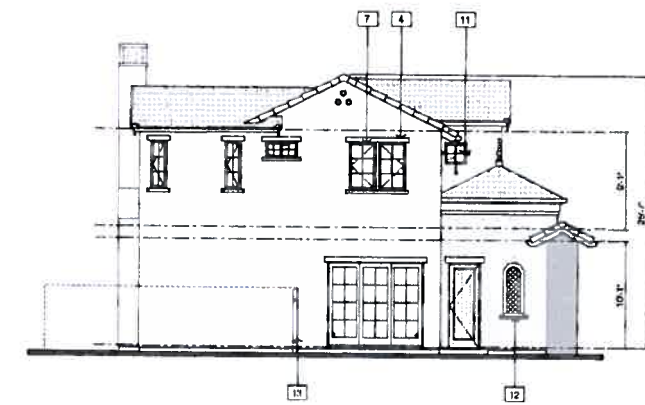
RIGHT ELEVATION

RESIDENCE 1A - ANDALUSIAN



REAR ELEVATION

RESIDENCE 1A - ANDALUSIAN



LEFT ELEVATION

RESIDENCE 1A - ANDALUSIAN

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PLAN 1A

DR 4

SCALE: 1/8" = 1'-0"

DATE: 05-24-10

PROJECT: 288002



STANLEY BOULEVARD ELEVATION

RESIDENCE 1B - SPANISH



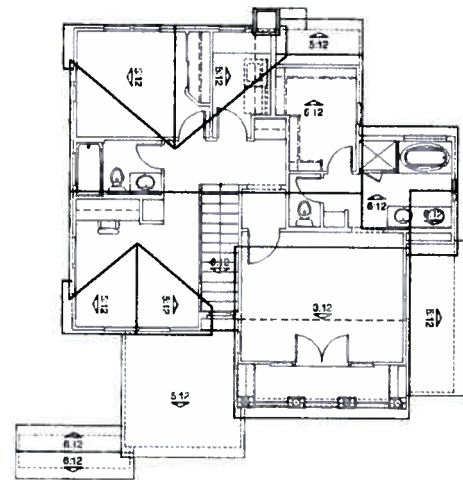
FRONT ELEVATION

RESIDENCE 1A - ANDALUSIAN



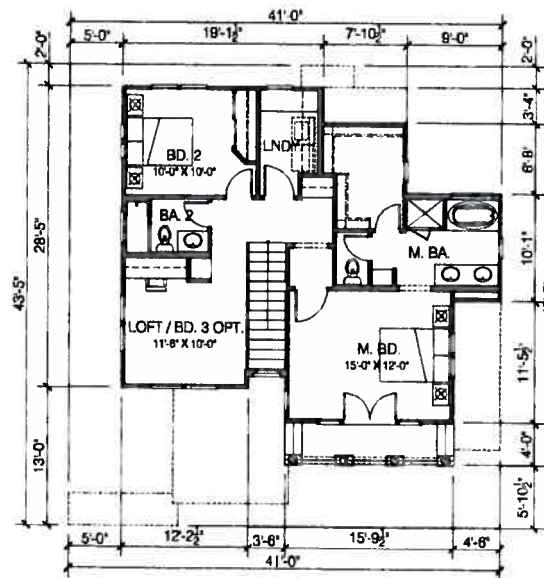
FRONT ELEVATION

RESIDENCE 1B - SPANISH



ROOF PLAN

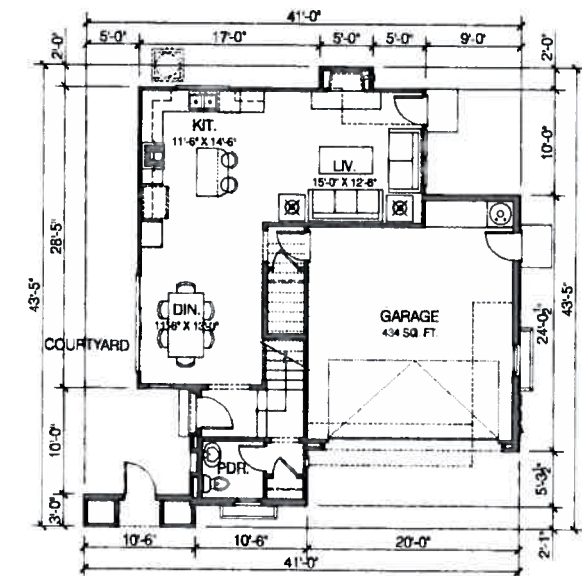
RESIDENCE 1B - SPANISH



UPPER FLOOR PLAN

RESIDENCE 1B - SPANISH

UPPER LEVEL: 881 S.F.



MAIN FLOOR PLAN

RESIDENCE 1 - SPANISH

MAIN LEVEL: 718 S.F.
TOTAL: 1,599 S.F.
GARAGE: 434 S.F.

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PLAN 1B
DR 5

SCALE: 1/8"=1'-0"
DATE: 05-24-10
PROJECT: 288002

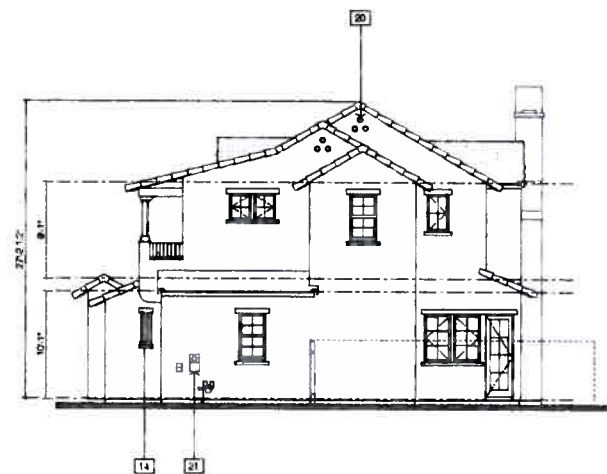


FRONT ELEVATION

RESIDENCE 1B - SPANISH

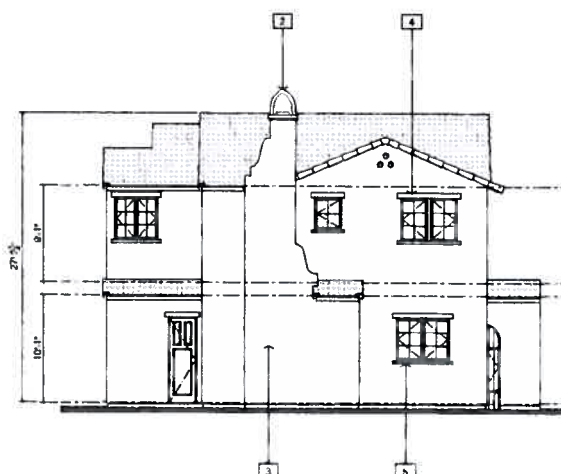
1/8" = 1'-0"

LEGEND EXTERIOR MATERIAL	
1	SPANISH TILE ROOFING
2	DECORATIVE CHIMNEY CAP
3	STUCCO
4	FOAM TRIM
5	BRICK SILL
6	6SM GUTTER
7	VINYL WINDOW
8	FRENCH DOOR
9	WOOD JOOM
10	WOOD POST
11	WROUGHT IRON RAILING
12	DECORATIVE WROUGHT IRON GRILLE
13	DECORATIVE TILE
14	DECORATIVE WINDOW
15	WOOD "ENCL"
16	ADJUST SIGN
17	DECORATIVE ARCH
18	STUCCO SHELF WITH BRICK CA
19	WOOD GARAGE DOOR
20	DECORATIVE TILE TABLE VENT
21	METERS



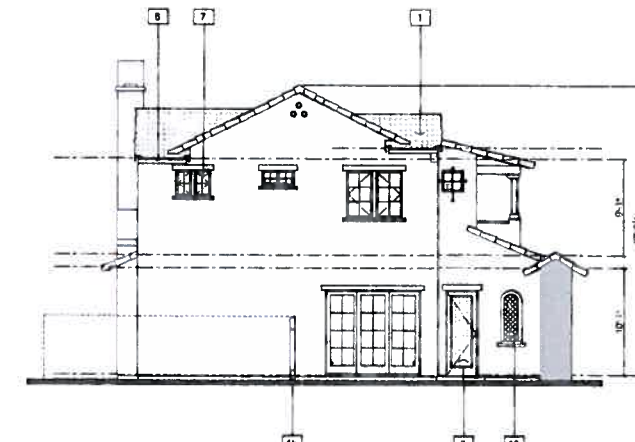
RIGHT ELEVATION

RESIDENCE 1B - SPANISH



REAR ELEVATION

RESIDENCE 1B - SPANISH



LEFT ELEVATION

RESIDENCE 1B - SPANISH

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PLAN 1B

DR 6

SCALE: 1/8" = 1'-0"
DATE: 05-24-10
PROJECT: 288002



STANLEY BOULEVARD ELEVATION

RESIDENCE 2B - SPANISH



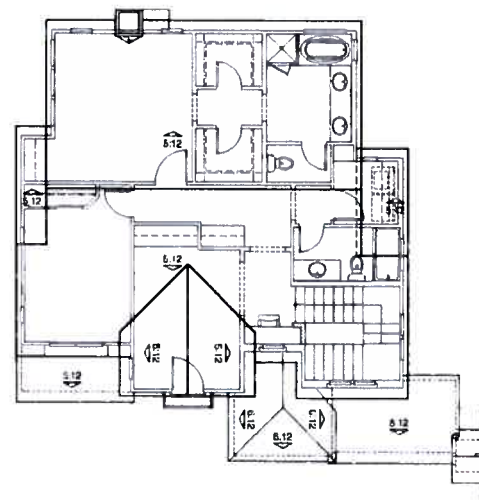
FRONT ELEVATION

RESIDENCE 2A - ANDALUSIAN



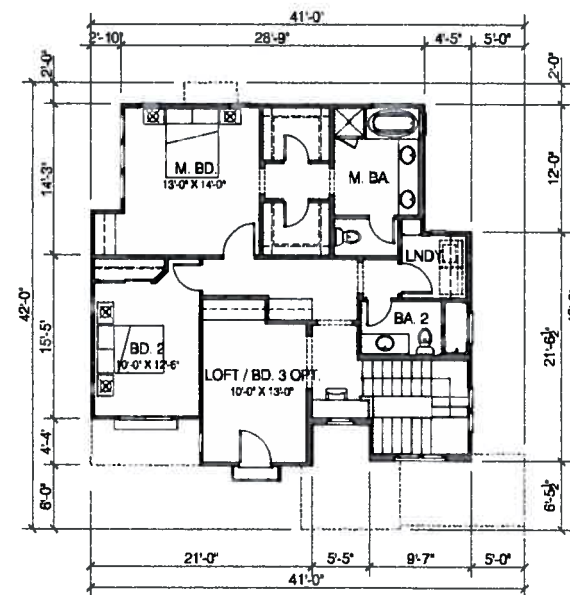
FRONT ELEVATION

RESIDENCE 2B - SPANISH



ROOF PLAN

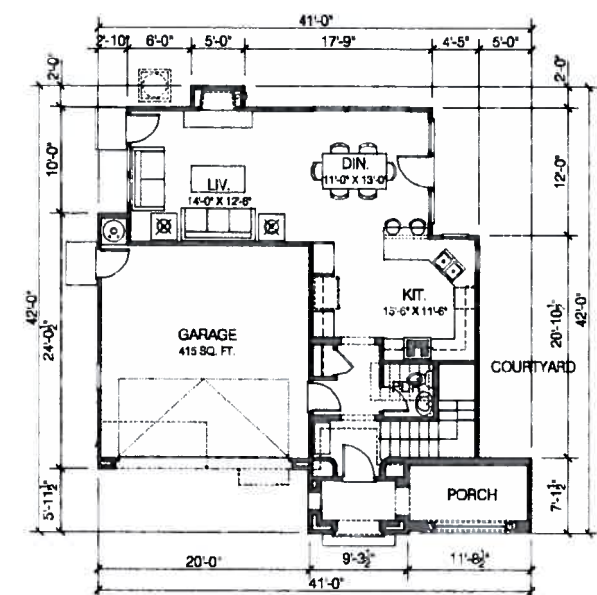
RESIDENCE 2A - ANDALUSIAN



UPPER FLOOR PLAN

RESIDENCE 2A - ANDALUSIAN

UPPER LEVEL: 1036 S.F.



MAIN FLOOR PLAN

RESIDENCE 2A - ANDALUSIAN

MAIN LEVEL: 721 S.F.
TOTAL: 1,757 S.F.
GARAGE: 415 S.F.

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PLAN 2A

DR 7

SCALE: 1/8" = 1'-0"
DATE: 05-24-10
PROJECT: 288002



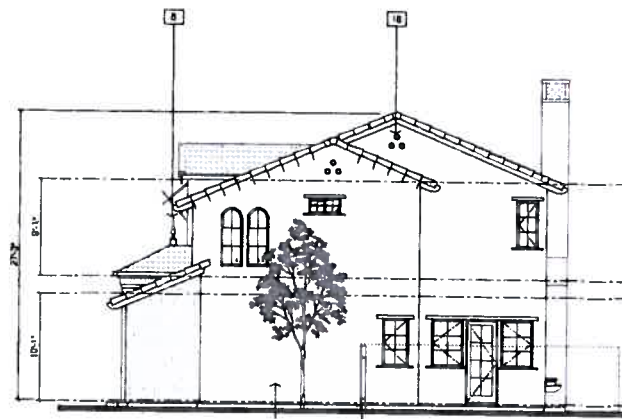
FRONT ELEVATION

RESIDENCE 2A - ANDALUSIAN

1/8" = 1'-0"

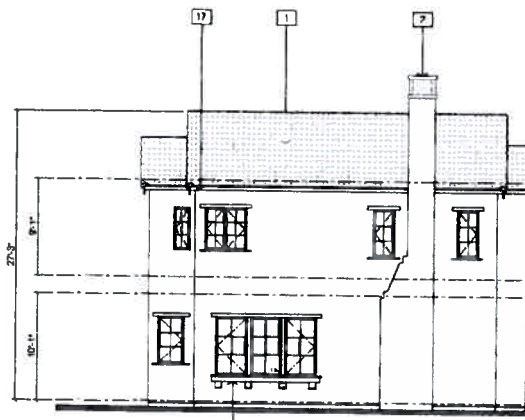
LEGEND
EXTERIOR MATERIAL

- 1 SPANISH TILE ROOFING
- 2 DECORATIVE CHIMNEY CAP
- 3 STUCCO
- 4 FOAM TRIM
- 5 VINYL WINDOW
- 6 FRENCH DOOR
- 7 WOOD DOOR
- 8 WROUGHT IRON SPIRE
- 9 WROUGHT IRON RAILING
- 10 DECORATIVE WINDOW COVERING
- 11 WOOD MAILBOX
- 12 WOOD FENCE
- 13 ADDRESS SIGN
- 14 DECORATIVE LIGHT
- 15 WOOD GARAGE DOOR
- 16 DECORATIVE TILE CHIMNEY VENT
- 17 GISM BUTTER
- 18 COURTYARD OF NEIGHBOR
- 19 FETERS



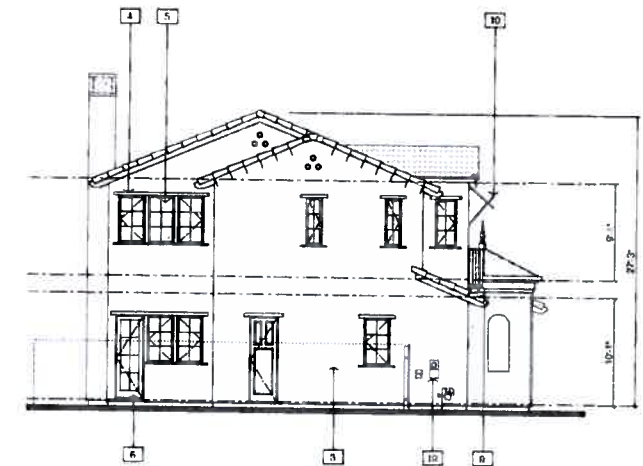
RIGHT ELEVATION

RESIDENCE 2A - ANDALUSIAN



REAR ELEVATION

RESIDENCE 2A - ANDALUSIAN



LEFT ELEVATION

RESIDENCE 2A - ANDALUSIAN

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PLAN 2A

DR 8

SCALE: 1/8" = 1'-0"

DATE: 05-24-10

PROJECT: 288002





STANLEY BOULEVARD ELEVATION

RESIDENCE 2B - SPANISH



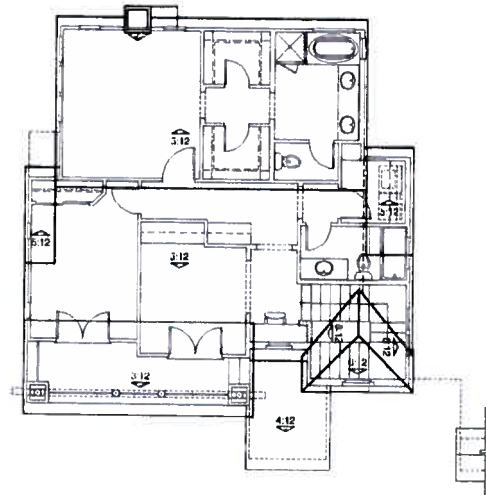
FRONT ELEVATION

RESIDENCE 2B - SPANISH



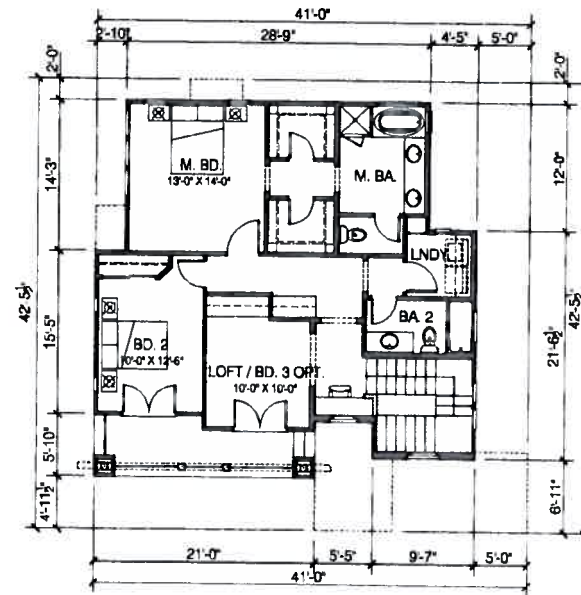
FRONT ELEVATION

RESIDENCE 2A - ANDALUSIAN



ROOF PLAN

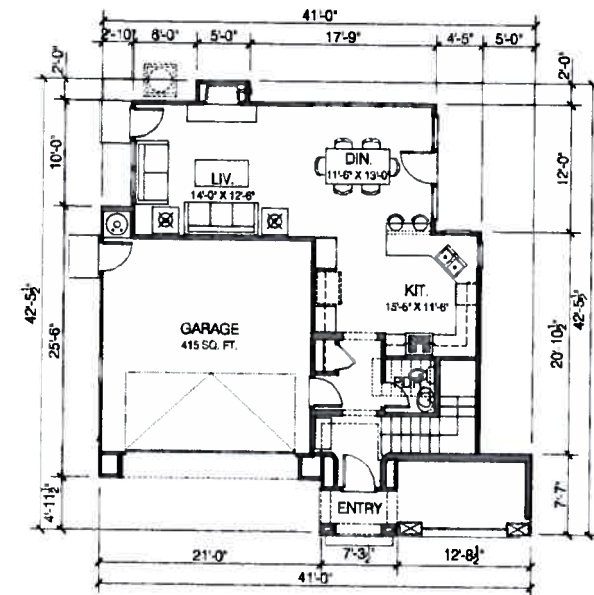
RESIDENCE 2



UPPER FLOOR PLAN

RESIDENCE 2

UPPER LEVEL: 991 S.F.



MAIN FLOOR PLAN

RESIDENCE 2

MAIN LEVEL: 721 S.F.
TOTAL: 1,720 S.F.
GARAGE: 415 S.F.

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PLAN 2B

DR 9

SCALE: 1/8"=1'-0"
DATE: 05-24-10
PROJECT: 288002



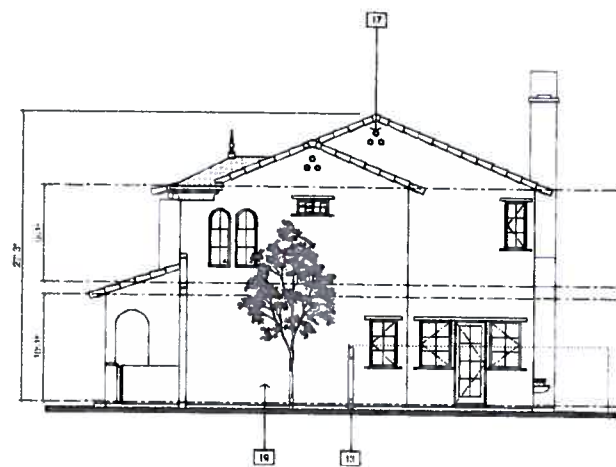
FRONT ELEVATION

RESIDENCE 2B - SPANISH

1/8" = 1'-0"

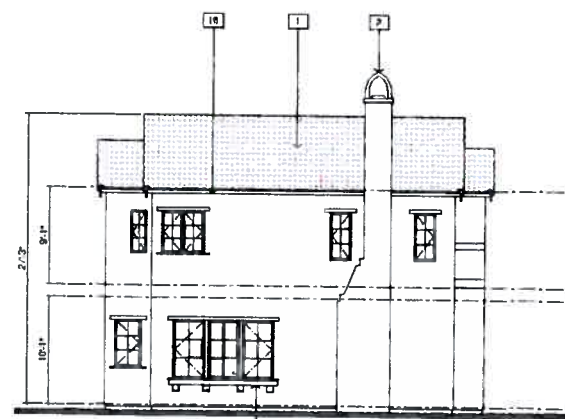
LEGEND
EXTERIOR MATERIAL

- 1 SPANISH TILE ROOFING
- 2 3" CORNICE CHIMNEY / CAP
- 3 STUCCO
- 4 DAM TRIM
- 5 VINYL WINDOW
- 6 FRONT DOOR
- 7 WOOD DOOR
- 8 WROUGHT IRON SPICE
- 9 WROUGHT IRON RAILING
- 10 DECORATIVE WROUGHT IRON GRILLE
- 11 WROUGHT IRON POT SHELF
- 12 ALDORA ML WINDOW
- 13 WOOD FENCE
- 14 ADDRESS SIGN
- 15 DECORATIVE LIGHT
- 16 WOOD GARAGE DOOR
- 17 DECORATIVE TILE CABLE VENT
- 18 GSM GUTTER
- 19 COURTYARD OF FROG-HOBI
- 20 DECORATIVE WOOD PLANTER BOX



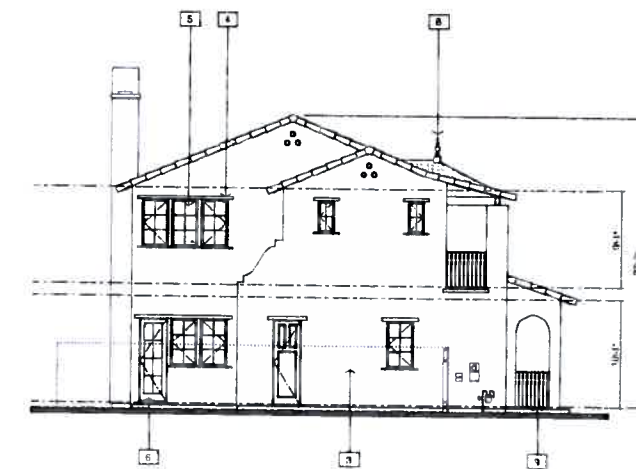
RIGHT ELEVATION

RESIDENCE 2B - SPANISH



REAR ELEVATION

RESIDENCE 2B - SPANISH



LEFT ELEVATION

RESIDENCE 2B - SPANISH

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PLAN 2B

DR 10

SCALE: 1/8" = 1'-0"

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PROJECT: 288002



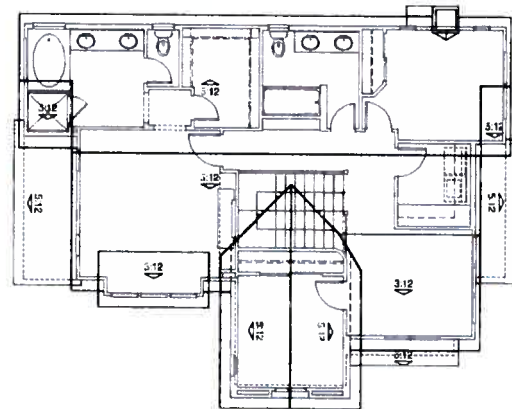
FRONT ELEVATION

RESIDENCE 3A - ANDALUSIAN



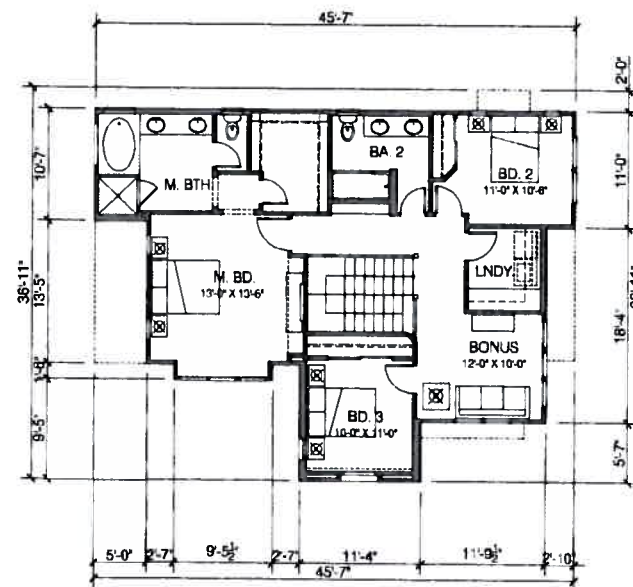
FRONT ELEVATION

RESIDENCE 3B - SPANISH



ROOF PLAN

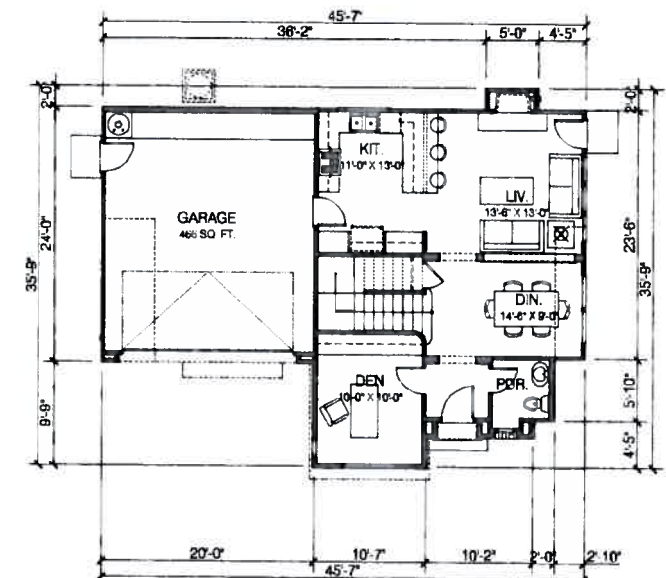
RESIDENCE 3A - ANDALUSIAN



UPPER FLOOR PLAN

RESIDENCE 3A - ANDALUSIAN

UPPER LEVEL: 1,136 S.F.



MAIN FLOOR PLAN

RESIDENCE 3 - ANDALUSIAN

MAIN LEVEL: 784 S.F.
TOTAL: 1,920 S.F.
GARAGE: 468 S.F.

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PLAN 3A

DR 11

SCALE: 1/8" = 1'-0"

DATE: 05-24-10
PROJECT: 288002



FRONT ELEVATION

RESIDENCE 3A - ANDALUSIAN

1/8" = 1'-0"

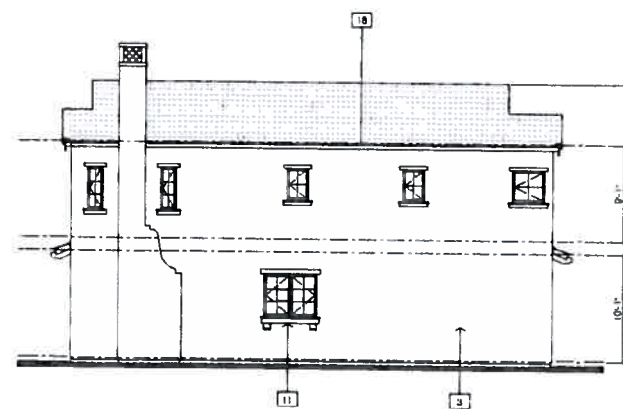
LEGEND
EXTERIOR MATERIAL

- 1 SPANISH TILE ROOFING
- 2 ALCOBAY, CHIMNEY CAP
- 3 STUCCO
- 4 ROAN TRIM
- 5 VINYL WINDOW
- 6 FRENCH DOOR
- 7 WOOD DOOR
- 8 DECORATIVE WINDOW COVERING
- 9 ALCOBAY WINDOW
- 10 DECORATIVE WOOD CORBEL
- 11 PLANTER BOX
- 12 WINDOW RUN-OUT
- 13 WOOD FENCE
- 14 ADDRESS SIGN
- 15 ALCOBAY LIGHT
- 16 WOOD GARAGE DOOR
- 17 BRICK VENEER
- 18 GSM GUTTER
- 19 AIR TR



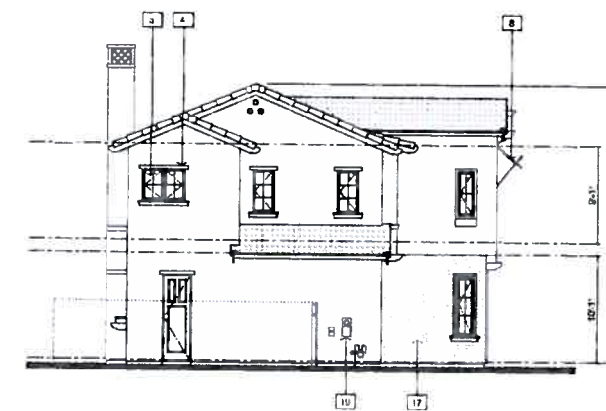
RIGHT ELEVATION

RESIDENCE 3A - ANDALUSIAN



REAR ELEVATION

RESIDENCE 3A - ANDALUSIAN



LEFT ELEVATION

RESIDENCE 3A - ANDALUSIAN

STANLEY BOULEVARD

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PLAN 3A

DR 12

SCALE: 1/8" = 1'-0"

DATE: 05-24-10

PROJECT: 288002



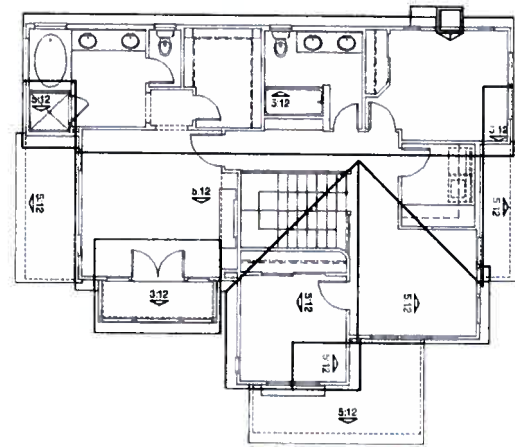
FRONT ELEVATION

RESIDENCE 3A - ANDALUSIAN



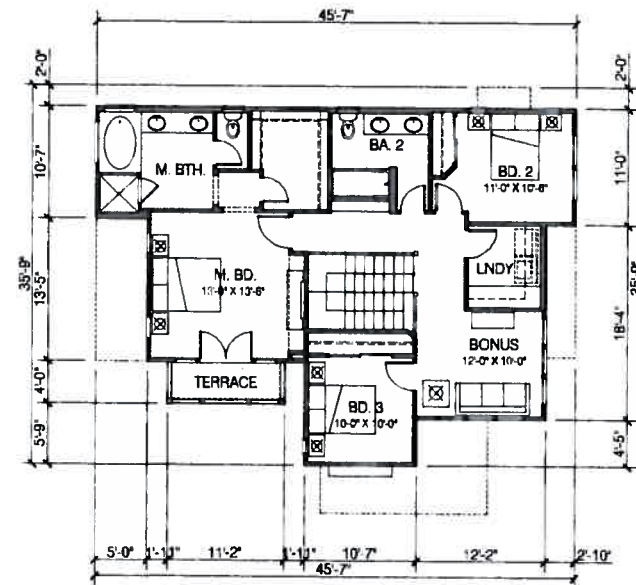
FRONT ELEVATION

RESIDENCE 3B - SPANISH



ROOF PLAN

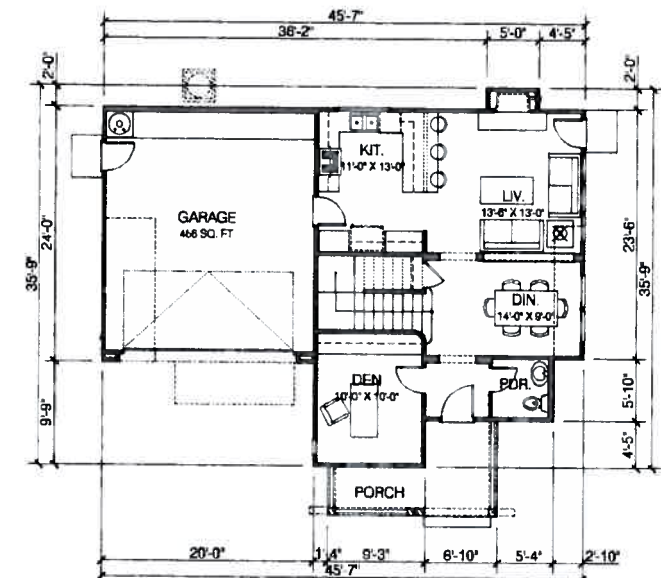
RESIDENCE 3B - SPANISH



UPPER FLOOR PLAN

RESIDENCE 3B - SPANISH

UPPER LEVEL: 1,111 S.F.



MAIN FLOOR PLAN

RESIDENCE 3B - SPANISH

MAIN LEVEL: 781 S.F.
TOTAL: 1,892 S.F.
GARAGE: 466 S.F.

STANLEY BOULEVARD

DONATO BUILDERS INC.

4171 & 4189 STANLEY BOULEVARD

PLEASANTON, CA



Architecture | Planning | Interiors

444 Spear Street, Suite 200
San Francisco, CA 94105
www.hunthalejones.com

t. 415-512-1300
f. 415-288-0288

PLAN 3B

DR 13

SCALE: 1/8" = 1'-0"

DATE: 05-24-10

PROJECT: 288002



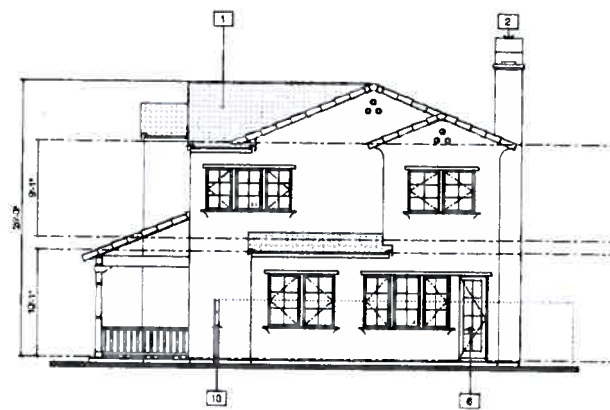
FRONT ELEVATION

RESIDENCE 3B - SPANISH

1/8" = 1'-0"

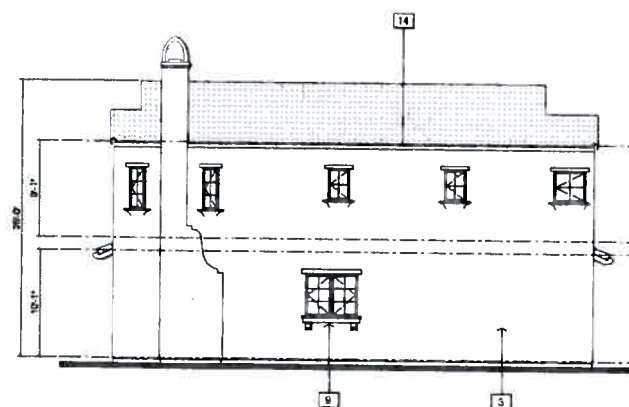
LEGEND
EXTERIOR MATERIAL

- 1 SPANISH TILE ROOFING
- 2 DECORATIVE CHIMNEY CAP
- 3 STUCCO
- 4 GRAY TRIM
- 5 VINYL WINDOW
- 6 TRIM DOOR
- 7 WOOD DOOR
- 8 DECORATIVE WOOD CORBEL
- 9 WOOD PLANTER BOX
- 10 WOOD FENCE
- 11 ADDRESS SIGN
- 12 DECORATIVE LIGHT
- 13 WOOD GARAGE DOOR
- 14 GRAY TRIM
- 15 METERS
- 16 WOOD RAILING
- 17 DECORATIVE TILE GABLE VENT



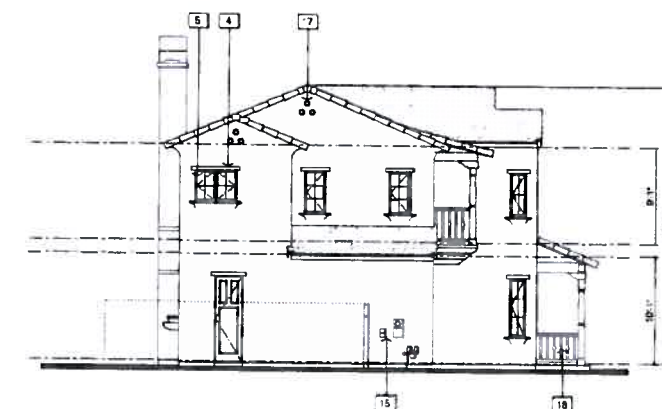
RIGHT ELEVATION

RESIDENCE 3B - SPANISH



REAR ELEVATION

RESIDENCE 3B - SPANISH



LEFT ELEVATION

RESIDENCE 3B - SPANISH

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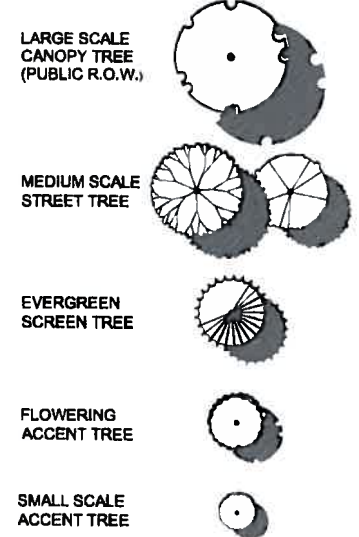
T. 415-512-1300
F. 415-288-0288

PLAN 3B

DR 14

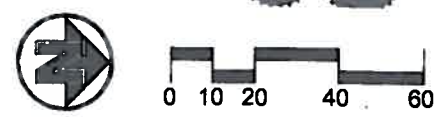
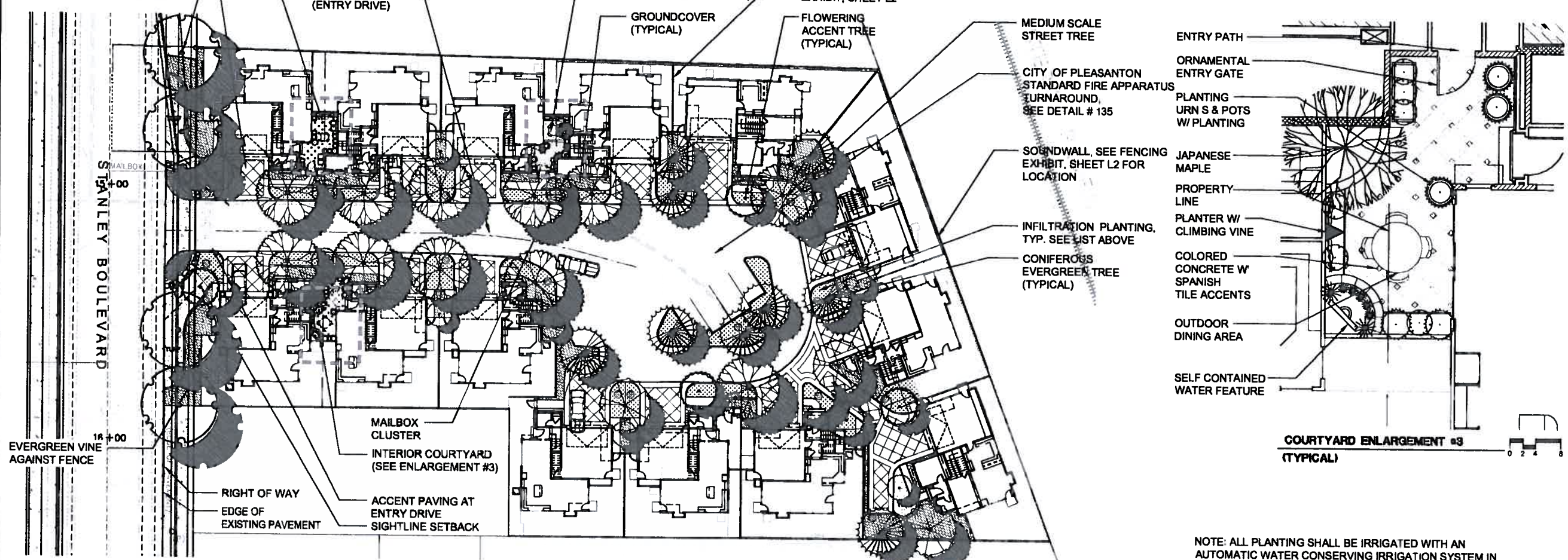
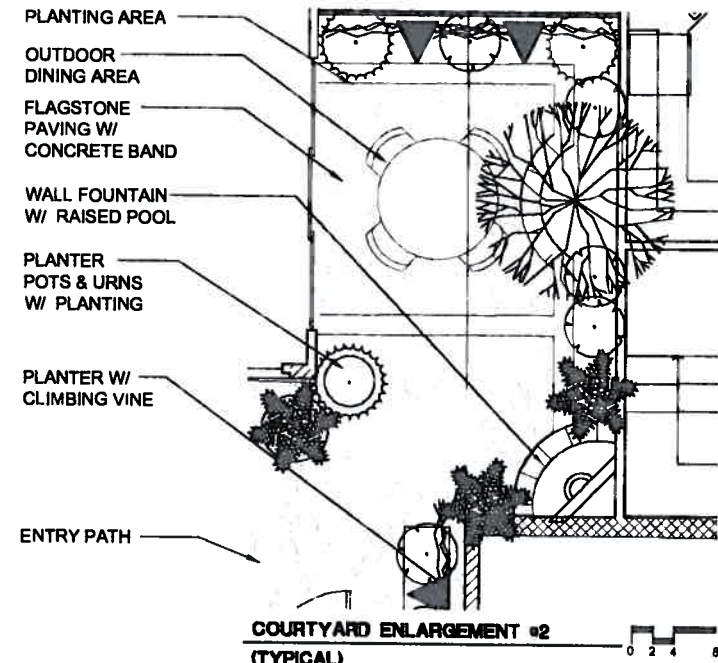
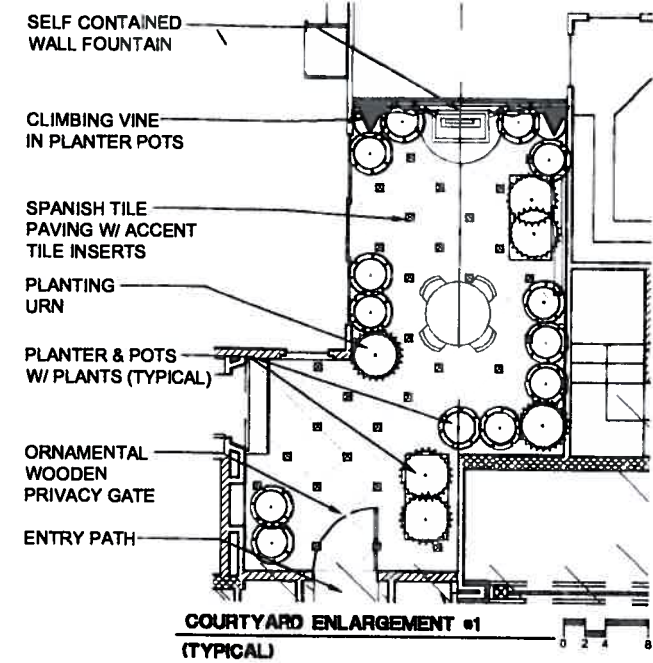
SCALE: 1/8" = 1'-0"
DATE: 05-24-10
PROJECT: 288002

TREE LEGEND



Plant Palette

Symbol	Botanical Name	Common Name	Size
TREES			
ARB US2	Arbutus unedo 'Variegata'	STRANDBERRY TREE	24" Box
QER 000	Quercus occidentalis	WESTERN REDWOOD	14" Box
LIG 07Y	Liquidambar styraciflua	AMERICAN SWEETGUM	14" Box
LIR TLE	Liriodendron tulipifera	TULIP TREE	14" Box
MAE 01T	Malva alcea 'Little Gem'	LITTLE GEM MALVACIA	14" Box
NYS 07L	Nyssa sylvatica	TURTLE	14" Box
PLA 002	Platanus x acerifolia	LONDON PLANE TREE	14" Box
PFR 000	Pyrus calleryana 'Redspire'	FLOWERING PEAR	24" Box
RUB 000	Rubus odoratus 'Purple Robe'	ROSE HEDGE	14" Box
SEB 000	Sequoia sempervirens	COAST REDWOOD	24" Box
SHRUBS			
AGA 07R	Agapanthus africanus	LILY-OF-THE-NILE	9 gallon
ARD 00W	Ardisia coccinea	MANZANITA	9 gallon
CAE 000	Camellia japonica	CAMELLIA	9 gallon
CAR 00L	Carpenanthe californica	BUSH ANEMONE	9 gallon
CRS 000	Cistus ladanifer	CRISCH BROT ROCKROSE	9 gallon
CRD 000	Croton rooseae	CREAD ROCKROSE	9 gallon
DRS 000	Dryas octopetala	PORTUGAL LILY	9 gallon
FRS 000	Fuchsia sanderiana	FRUSTRATED GUAVA	9 gallon
GLS 000	Glossy starburst	BLUE GRAY GRASS	9 gallon
HES 000	Hemerocallis hybrid	EVERGREEN DAYLILY	9 gallon
IRI 000	Iris douglasiana	IRIS	9 gallon
JAS 000	Jasminum polyanthum	PINK JASMINE	9 gallon
LAV 000	Lavandula angustifolia	ENGLISH LAVENDER	9 gallon
LIU 000	Liriodendron tulipifera	BLUE GRAY GRASS	9 gallon
LIU 000	Liriodendron tulipifera	BLUE GRAY GRASS	9 gallon
MUS 000	Muscadine grape	DEER GRASS	9 gallon
MYR 000	Myrica californica	PACIFIC BAK MYRTLE	9 gallon
MYR 000	Myrica californica	MYRTLE	9 gallon
PHO 000	Phlox paniculata	NEW ZEALAND FLAX	9 gallon
RUB 000	Rubus odoratus	EVERGREEN CURRANT	9 gallon
SAL 000	Salvia clevelandii	CLEVELAND GAZE	9 gallon
SAL 000	Salvia 'Dressage'	AUTUMN GAZE	9 gallon
VERBS			
CLA 000	Clematis integrifolia	EVERGREEN CLIMBING	9 gallon
PYR 000	Pyrus ussuriensis	EVERGREEN PEAR	9 gallon
GROUNDCOVERS			
DAE 000	Diarrhea	TURF	1 gal = 36" dia.
MAN 000	Manzanita	MANZANITA	1 gal = 36" dia.
COT 000	Cottonwood	COTTONWOOD	1 gal = 36" dia.
ROSE 000	Rose	ROSEMARY	1 gal = 36" dia.
DISA 000	Disa	DISA	1 gal = 36" dia.
WATER PLANTS			
CAR 000	Carex	SEWELLY SEDGE	1 gallon
DES 000	Deschampsia	TURFED HAZELGRASS	1 gallon
JUN 000	Juncus	CALIFORNIA GREY RUSH	1 gallon
IRI 000	Iris	STICKY MONKEYFLOWER	1 gallon
IRI 000	Iris	JAPANESE SILVER GRASS	1 gallon
HYD 000	Hydrangea	HYDRANGEA	1 gallon



NOTE: ALL PLANTING SHALL BE IRRIGATED WITH AN AUTOMATIC WATER CONSERVING IRRIGATION SYSTEM IN COMPLIANCE WITH THE CITY OF PLEASANT HILL WATER CONSERVATION ORDINANCES. ALL PLANTING AND IRRIGATION OPERATIONS SHALL COMPLY WITH THE CITY PLEASANT HILL LANDSCAPE GUIDELINES.

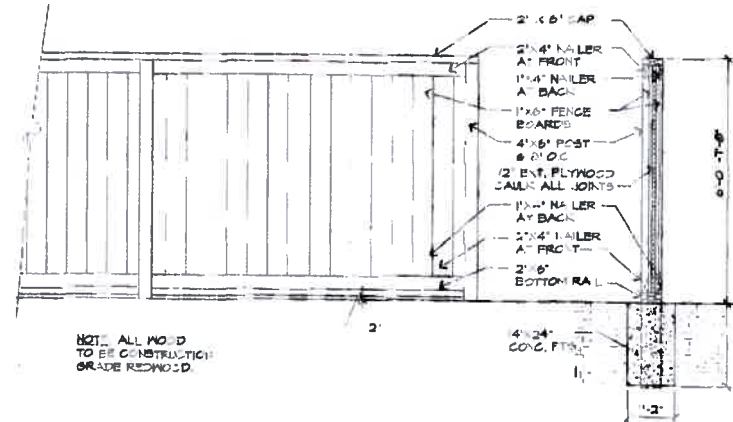
REVISIONS	BY

camp & camp associates
 planning & landscape architecture
 2540 CAMINO D'ARIELO, SUITE 201
 WALNUT CREEK, CALIFORNIA 94597
 (925) 947-0410 FAX (925) 947-4433
 email: tc@campandcamp.com

PRELIMINARY LANDSCAPE PLAN

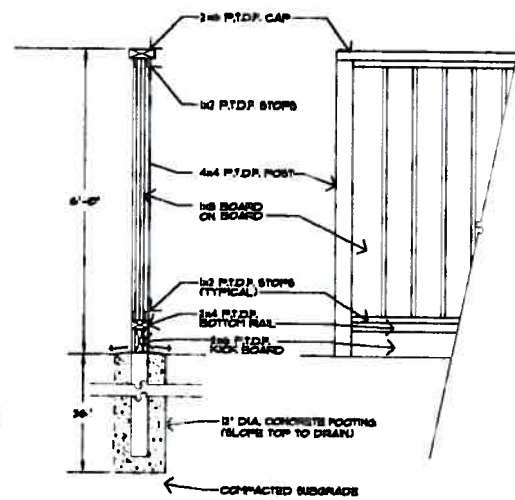
4171 & 4189 STANLEY BOULEVARD PLEASANTON, GA

DRAWN: C.M.
 CHECKED: T.C.
 DATE: 02-20-2010
 SCALE: AS SHOWN
 JOB NO. 06-013
 SHEET
1
 OF 00 SHEETS

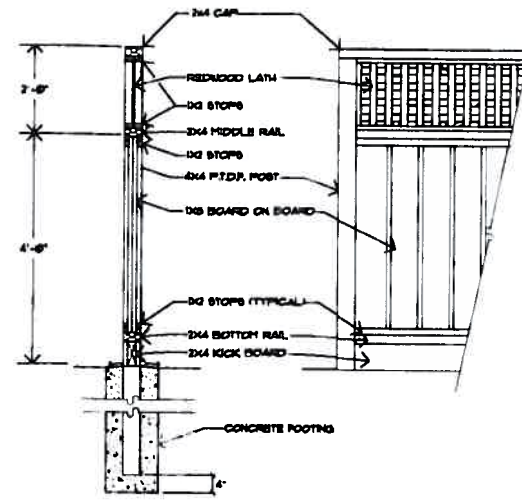


NOTE: ALL WOOD TO BE CONSTRUCTION GRADE REDWOOD.

1 WOOD SOUND FENCE
SCALES: 1/2" = 1'-0"
NOT TO SCALE



2 6' GOOD NEIGHBOR FENCE
N.T.S.



3 6' LATH TOP WOOD FENCE
N.T.S.



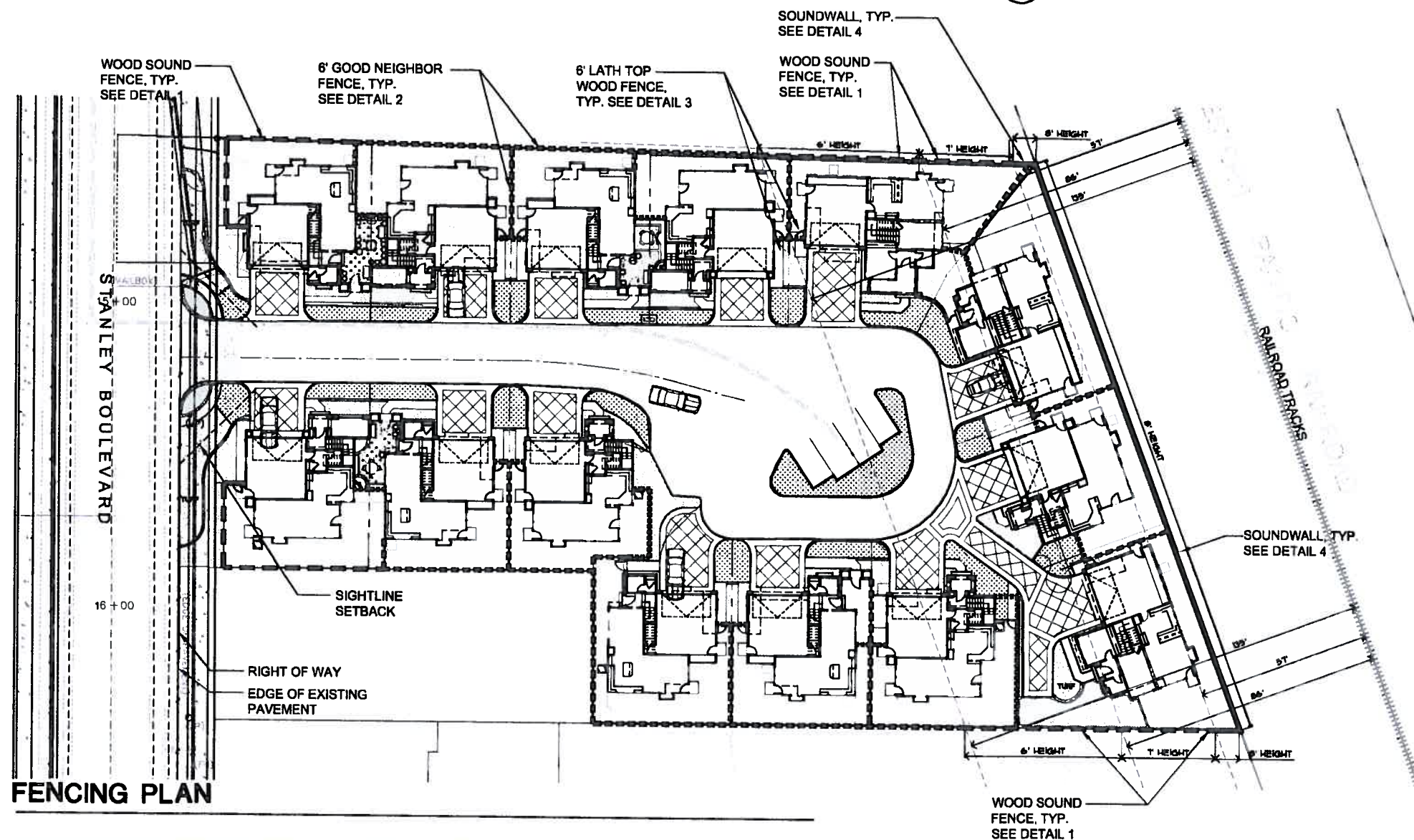
4 6' SIERRA PRECAST SOUNDWALL
N.T.S.

NOTES

- SEE ACOUSTICAL CONSULTANTS REPORT PREPARED MARCH 31, 2009 BY EDWARD L. PACK ASSOCIATES, INC. FOR SOUNDWALL RECOMMENDATIONS AND DISTANCE REQUIREMENTS FROM STREET AND RAILROAD TRACKS.
- SIERRA PRECAST TO DETERMINE APPROPRIATE DETAILING OF 6' SOUNDWALL. MEDITERRANEAN SOUNDWALL SHOWN FOR AESTHETIC CONSIDERATION ONLY.

LEGEND

- 6'-7" WOOD SOUND FENCE, SEE PLANS FOR HEIGHTS AND SETBACK DISTANCES FROM RAILROAD TRACKS, SEE DETAIL 1
- 6' GOOD NEIGHBOR FENCE, SEE DETAIL 2
- 6' LATHTOP WOOD FENCE, SEE DETAIL 3
- SOUNDWALL, SEE PLANS FOR HEIGHTS AND SETBACK DISTANCES FROM RAILROAD TRACKS, SEE DETAIL 4



FENCING PLAN



REVISIONS	BY

camp & camp associates
 planning & landscape architecture
 2545 CAMINO DIABLO, SUITE 201
 WALNUT CREEK, CALIFORNIA 94597
 (925) 941-8410 FAX: (925) 941-4433
 email: tc@campandcamp.com

REGISTERED LANDSCAPE ARCHITECT
 A PROFESSIONAL CORPORATION
 NO. 4414
 STATE OF CALIFORNIA

FENCING EXHIBIT

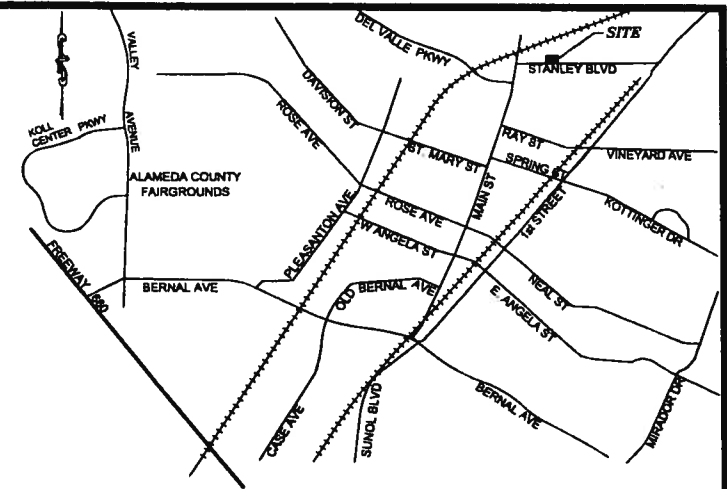
4171 & 4189 STANLEY BOULEVARD PLEASANTON, GA

DRAWN: C.M.
 CHECKED: T.C.
 DATE: 02-09-2010
 SCALE: AS SHOWN
 JOB NO. 00-013
 SHEET
L2
 OF 00 SHEETS

LEGAL DESCRIPTION:
 BEING A PORTION OF PLOT NUMBER 1 OF THE BERNAL PORTION OF THE RANCHO EL VALLE DE SAN JOSE, AND ALL OF PARCEL MAP 3669 FILED JUNE 4, 1982 IN BOOK 133 OF PARCEL MAPS, AT PAGE 94-95, ALAMEDA COUNTY RECORDS.
FLOOD ZONE:
 ZONE C AS SHOWN ON COMMUNITY PANEL NUMBER 060012 0004 D DATED SEPTEMBER 19, 1984.

LEGEND

	FIRE DEPARTMENT TURNAROUND
	ASPHALT PAVEMENT
	TURF STONE



VICINITY MAP
N.T.S.

TENTATIVE MAP NOTES:

OWNER: D. DONATO BUILDERS
 1854 WARSAW AVENUE
 LIVERMORE, CA 94550
 (925) 245-0694

ENGINEER: DEBOLT CIVIL ENGINEERING
 811 SAN RAMON VALLEY BLVD.
 DANVILLE, CA 94526
 (925) 837-3780

ASSESSOR'S PARCEL NUMBER: 946-1689-011, 018, 017, 018 AND 019

AREA: 52,510 SF±

EXISTING USE: RESIDENTIAL

PROPOSED USE: RESIDENTIAL

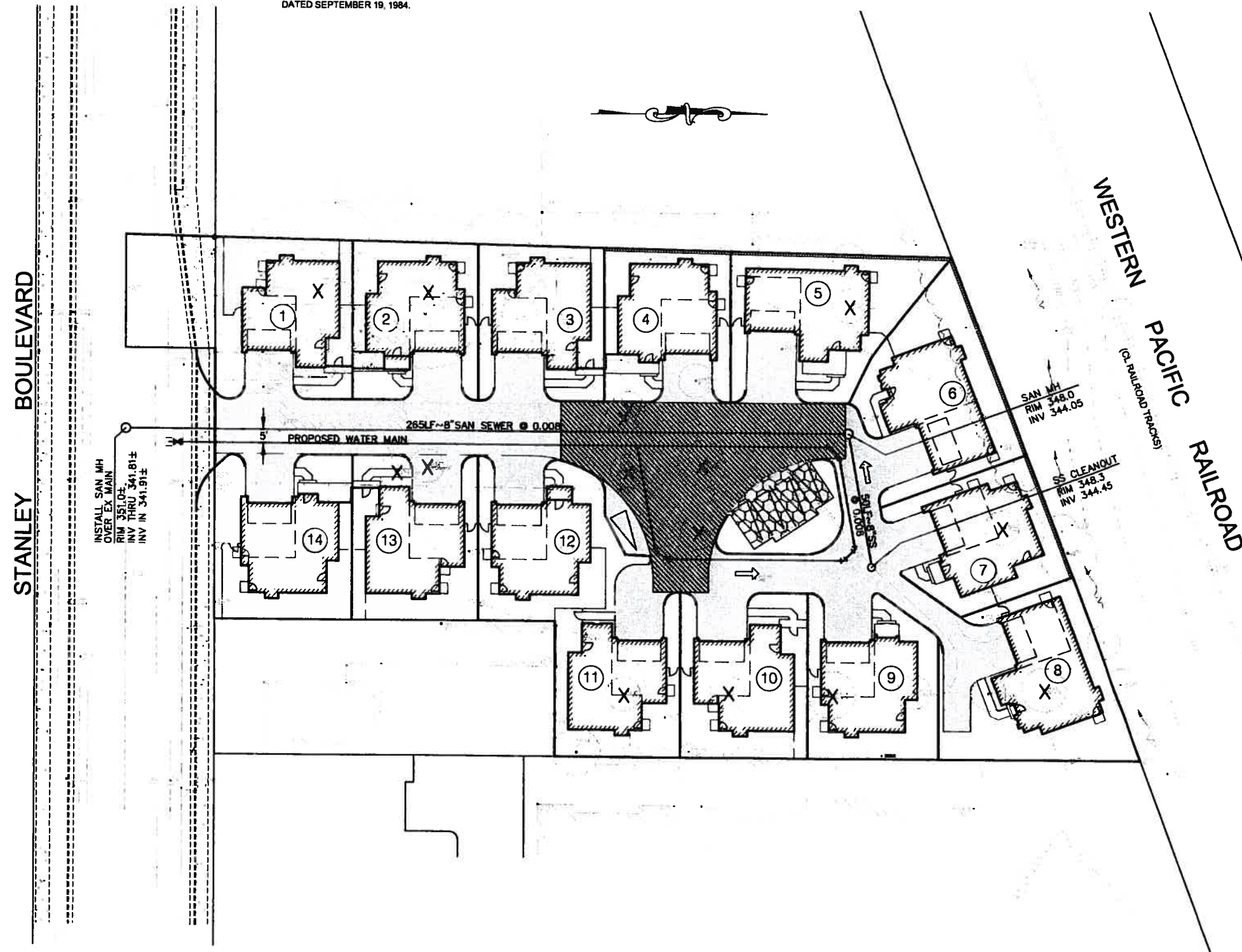
UTILITIES: GAS & ELECTRIC - P.G.&E.
 TELEPHONE - S.B.C.
 SEWER - CITY OF PLEASANTON
 WATER - CITY OF PLEASANTON
 STORM - CITY OF PLEASANTON
 CABLE - COMCAST
 FIRE - LIVERMORE PLEASANTON FIRE DEPT.

UTILITY LOCATIONS SHOWN ARE BASED ON UTILITY COMPANY RECORDS AND ARE APPROXIMATE ONLY.

BASIS OF ELEVATION: U.S. COAST AND GEODETIC SURVEY, BRONZE DISK, STAMPING G 832 1947. 1.0 MILE SOUTHWEST ALONG THE SOUTHERN PACIFIC RAILROAD FROM THE CROSSING OF NEAL STREET AT PLEASANTON, MIDWAY BETWEEN THE SECOND AND THIRD POLES SOUTHWEST OF MILEPOLE 4D, AT CONCRETE BRIDGE 39.83 OVER A SMALL CREEK, IN THE TOP OF THE SOUTHEAST END OF THE SOUTHWEST CONCRETE ABUTMENT, 8 1/2 FEET SOUTHEAST OF THE SOUTHEAST RAIL, AND ABOUT 1 FOOT LOWER THAN THE TRACK.

ELEVATION: 337.23

BOUNDARY NOTE: APPROXIMATE BOUNDARY INFORMATION SHOWN WAS COMPILED FROM AVAILABLE RECORD DATA AND DOES NOT REPRESENT AN ACTUAL FIELD BOUNDARY SURVEY.



INSTALL SAN MH OVER EX MAIN
 RIM 351.0±
 INV THRU 341.81±
 INV IN 341.91±

PROPOSED WATER MAIN
 265LF ~ 8" SAN SEWER @ 0.00%

SAN MH
 RIM 348.0
 INV 344.05

SS CLEANOUT
 RIM 348.3
 INV 344.45

STANLEY BOULEVARD

WESTERN PACIFIC RAILROAD
 (CL. RAILROAD TRACKS)

TM-1

TRACT 7968
 VESTING TENTATIVE MAP

DONATO BUILDERS INC
 4171 & 4189 STANLEY BOULEVARD
 PLEASANTON CONTRA COSTA COUNTY CALIFORNIA

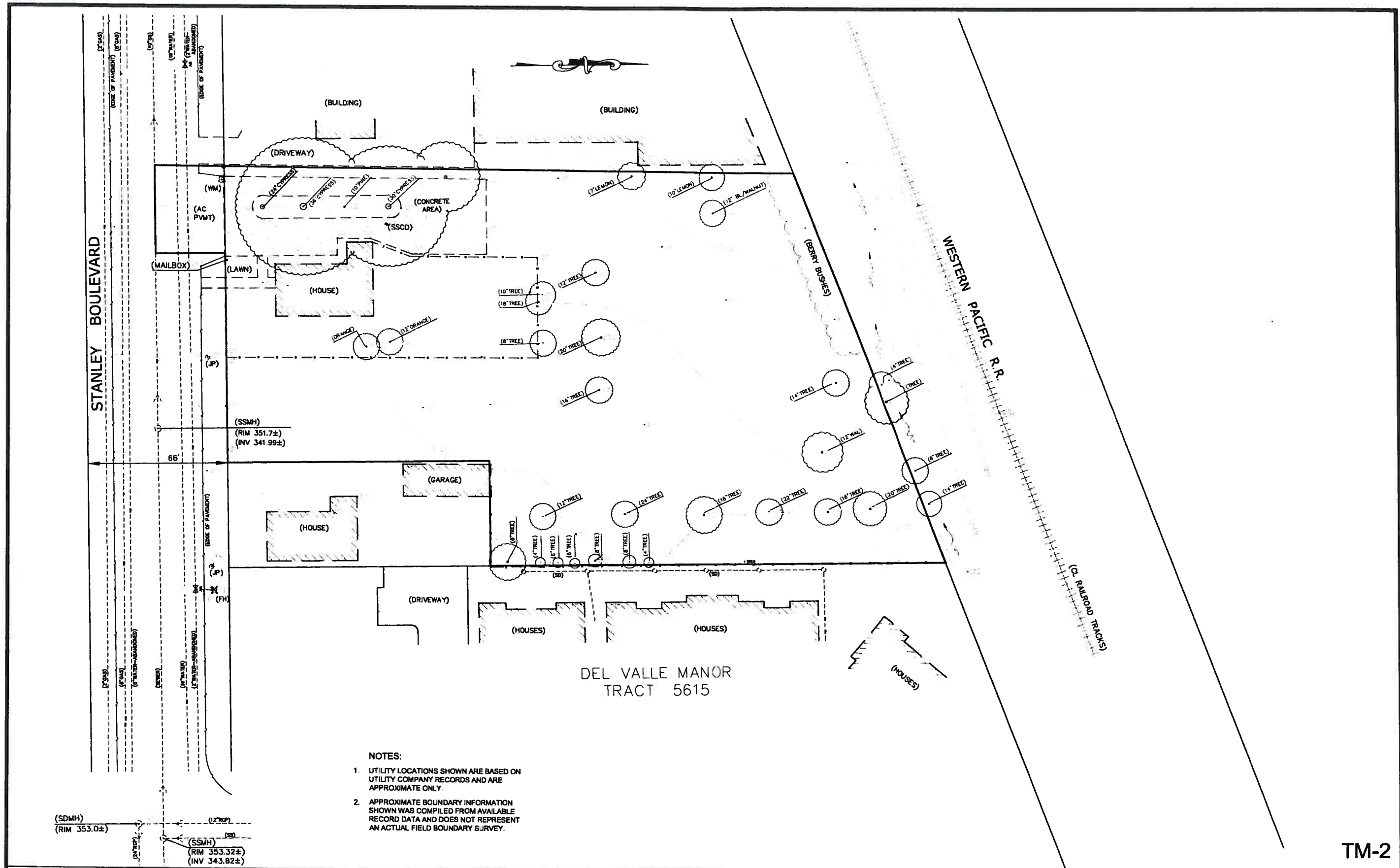
JAMES E. DUGGINS R.C.E. 27888
 RENEWAL DATE: 03/01/2012

#	REVISIONS	DATE



DeBolt Civil Engineering
 811 San Ramon Valley Boulevard
 Danville, California 94526
 Tel: 925/837-3780
 Fax: 925/837-4378

Date: 8/3/2010
 Scale: 1" = 20'
 By: JSD/wj
 Job No.: 07239



- NOTES:
1. UTILITY LOCATIONS SHOWN ARE BASED ON UTILITY COMPANY RECORDS AND ARE APPROXIMATE ONLY.
 2. APPROXIMATE BOUNDARY INFORMATION SHOWN WAS COMPILED FROM AVAILABLE RECORD DATA AND DOES NOT REPRESENT AN ACTUAL FIELD BOUNDARY SURVEY.

TM-2

TOPOGRAPHIC SURVEY

4171 and 4189 STANLEY BOULEVARD

PLEASANTON ALAMEDA COUNTY CALIFORNIA

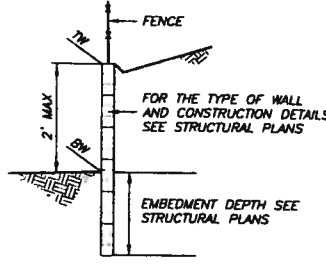
JAMES E. DIGGINS R.C.E. 27816
RENEWAL DATE: 03/31/2012

#	REVISIONS	DATE

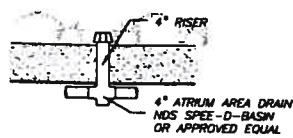


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811 San Ramon Valley Boulevard
Danville, California 94526
Tel: 925/837-3780
Fax: 925/837-4378

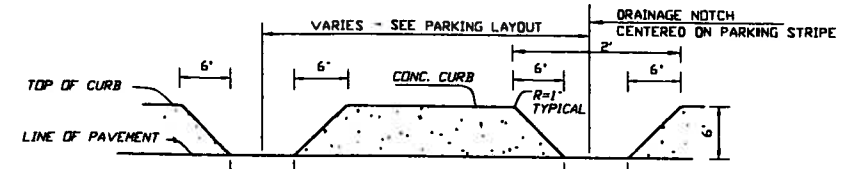
Date: 8/3/2010
Scale: 1" = 20'
By: JED / H
Job No.: 07239



TYPICAL WALL SECTION
N.T.S.



AREA DRAIN DETAIL
N.T.S.



* CURB OPENINGS ARE REQUIRED ONLY ADJACENT TO THE FOUR VISITOR PARKING SPACES.

SEE SHEET TM-5 FOR CONTINUATION

BOULEVARD

STANLEY

WESTERN PACIFIC RAILROAD
(CL. RAILROAD TRACKS)

- LEGEND**
- PAVED AREA
 - TURF STONE
 - FIRE DEPARTMENT TURNAROUND
 - RETAINING WALL
 - STORM LINE
 - SANITARY SEWER LINE
 - WATER LINE
 - AREA DRAIN
 - TS TOP OF SLAB
 - TW TOP OF WALL
 - BW BOTTOM OF WALL

STA. 14+28.87
FC ANGLE PT.
TC 350.14
FL 349.64

STA. 14+45.81
PROPERTY LINE±
TC 350.20
FL 349.70

STA. 14+89.22
FC ANGLE PT.
TC 350.35
FL 349.85

STA. 15+06.95
STM. MH
RIM 350.7±
INV 342.87±

STA. 15+18.95
SAN. MH OVER EXIST. MAIN
RIM 351.0±
INV THRU 341.81
INV IN 341.91

STA. 15+87.08
PROPERTY LINE±
TC 350.87
FL 350.17

CURB, GUTTER AND SIDEWALK
TO BE CONSTRUCTED BY OTHERS

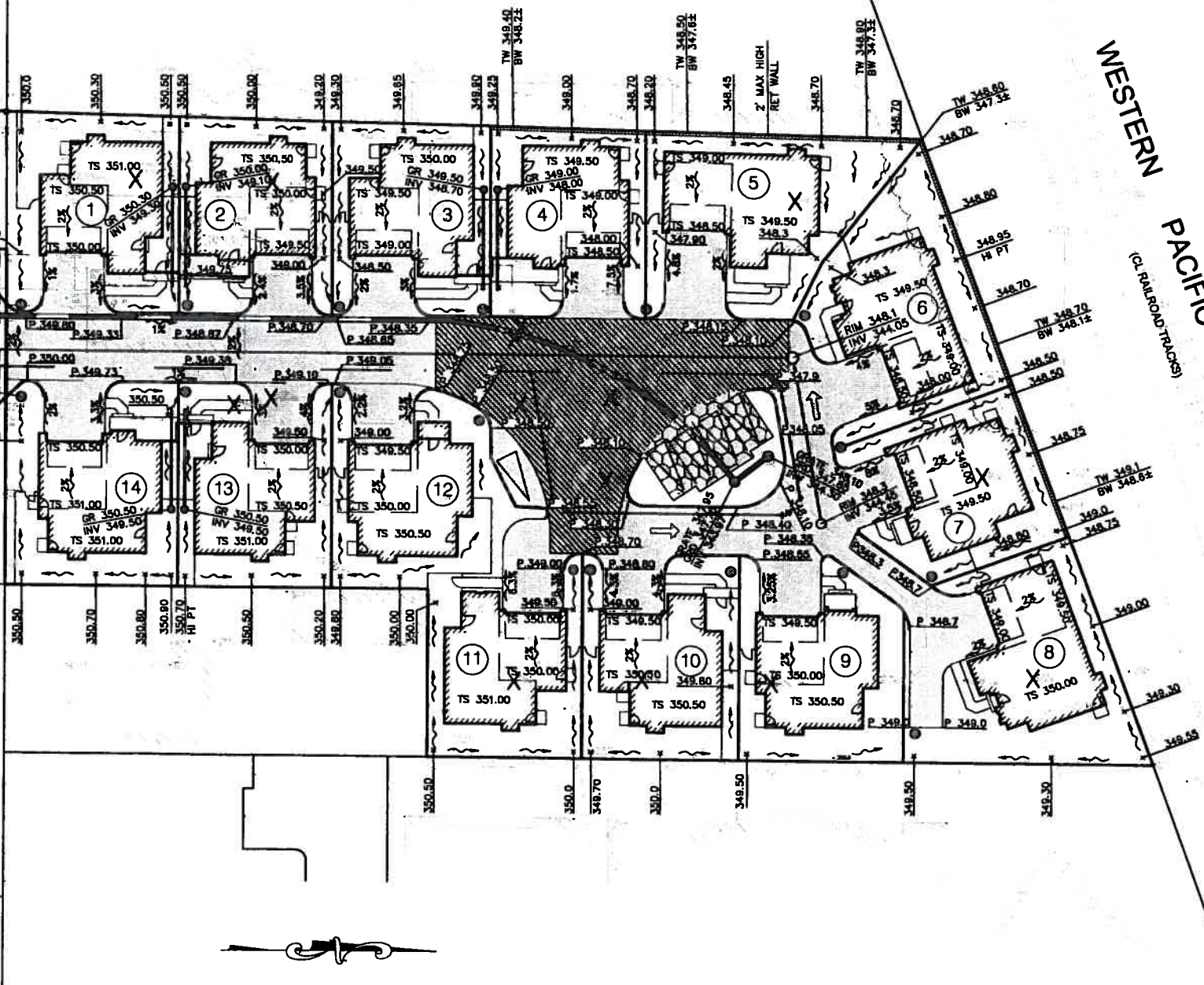
14+00

16+00

17+00

66' R/W

46'



TM-3

TRACT 7968
GRADING AND DRAINAGE PLAN

DONATO BUILDERS INC.
4171 & 4189 STANLEY BOULEVARD

PLEASANTON

ALAMEDA COUNTY

CALIFORNIA

JAMES E. DIGGINS
RENEWAL DATE: 03/31/12 R.C.E. 27818

#	REVISIONS	DATE

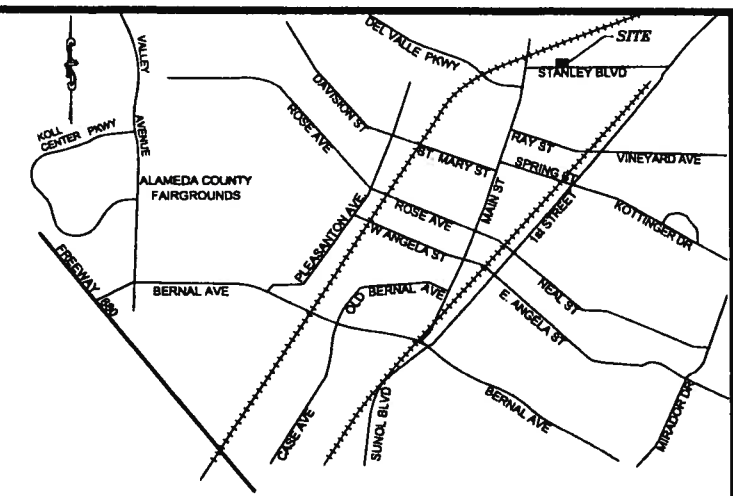


DeBolt Civil Engineering
811 San Ramon Valley Boulevard
Danville, California 94526
Tel: 925/837-3780
Fax: 925/837-4378

Date: 8/3/2010
Scale: 1"=20'
By: JED/wl
Job No: 07239

LEGAL DESCRIPTION:
 BEING A PORTION OF PLOT NUMBER 1 OF THE BERNAL PORTION OF THE RANCHO EL VALLE DE SAN JOSE, AND ALL OF PARCEL MAP 3668 FILED JUNE 4, 1982 IN BOOK 133 OF PARCEL MAPS, AT PAGE 94-95, ALAMEDA COUNTY RECORDS.

FLOOD ZONE
 ZONE C AS SHOWN ON COMMUNITY PANEL NUMBER 060012 0004 D DATED SEPTEMBER 19, 1984.

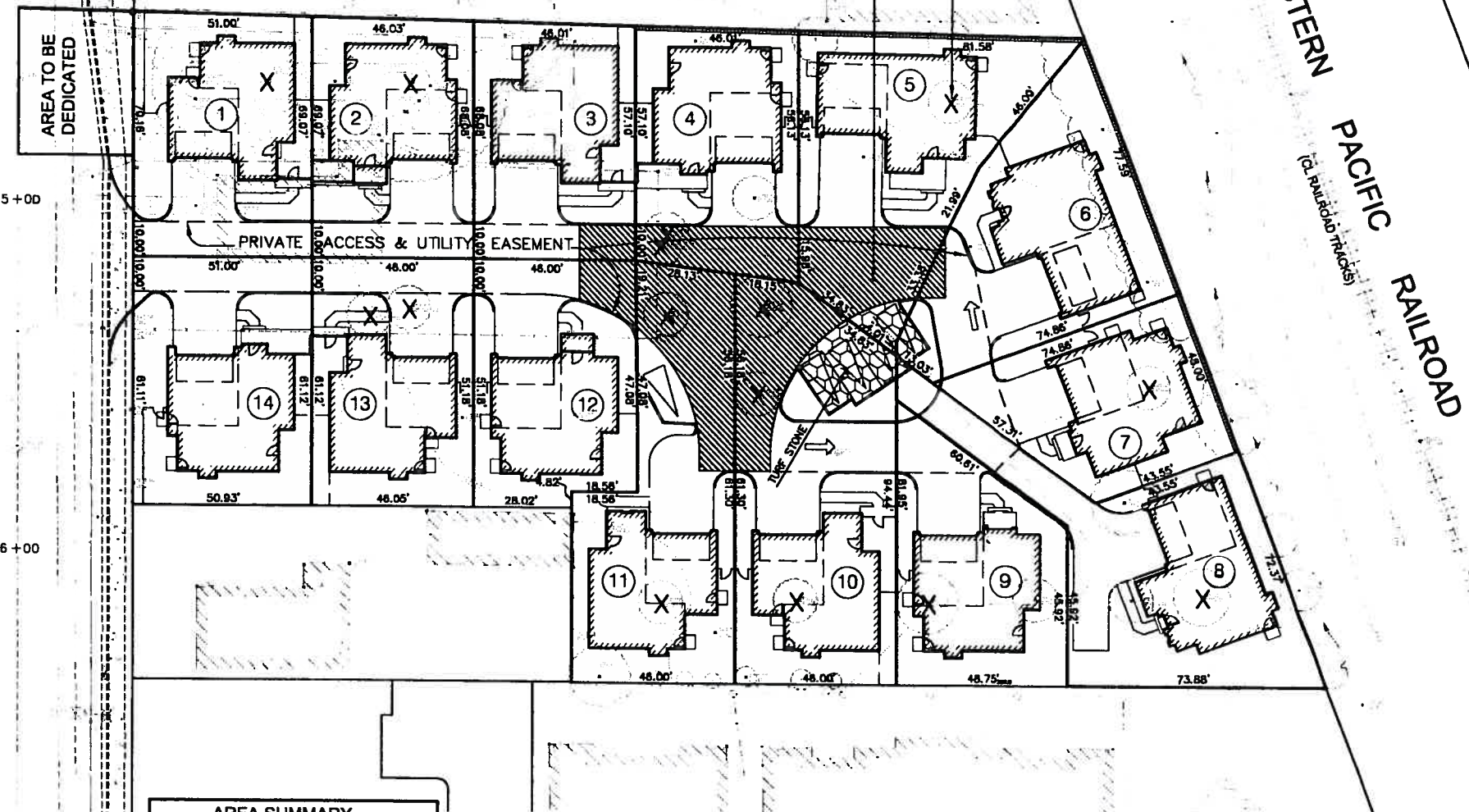


STANLEY BOULEVARD

14 + 00
15 + 00
16 + 00
17 + 00

FRONTAGE IMPROVEMENTS TO BE INSTALLED BY OTHERS

AREA TO BE DEDICATED



AREA SUMMARY		
LOT	GROSS	NET
1	3,550	3,040
2	3,155	2,695
3	3,108	2,648
4	3,202	2,603
5	4,350	3,365
8	4,011	3,280
7	2,842	2,612
8	4,357	3,965
9	3,117	2,826
10	5,028	2,815

* NET AREA IS CALCULATED BY SUBTRACTING THE ACCESS EASEMENT FROM THE GROSS LOT AREA

LOT	GROSS	NET
11	4,327	3,241
12	3,185	2,650
13	3,273	2,813
14	3,625	3,115

SITE PLAN NOTES:

- OWNER: D. DONATO BUILDERS
1854 WARSAW AVENUE
LIVERMORE, CA 94550
(925) 245-0894
- ENGINEER: DEBOLT CIVIL ENGINEERING
811 SAN RAMON VALLEY BLVD.
DANVILLE, CA 94526
(925) 837-3780
- ASSESSOR'S PARCEL NUMBER: 946-1889-011, 016, 017, 018 AND 019
- AREA: 52,510 SF±
- EXISTING USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL
- UTILITIES: GAS & ELECTRIC - P.G.&E.
TELEPHONE - S.B.C.
SEWER - CITY OF PLEASANTON
WATER - CITY OF PLEASANTON
STORM - CITY OF PLEASANTON
CABLE - COMCAST
FIRE - LIVERMORE PLEASANTON FIRE DEPT.
- UTILITY LOCATIONS SHOWN ARE BASED ON UTILITY COMPANY RECORDS AND ARE APPROXIMATE ONLY.
- BASIS OF ELEVATION: U.S. COAST AND GEODETIC SURVEY, BRONZE DISK, STAMPING G 832 1947, 1.0 MILE SOUTHWEST ALONG THE SOUTHERN PACIFIC RAILROAD FROM THE CROSSING OF NEAL STREET AT PLEASANTON, MODWAY BETWEEN THE SECOND AND THIRD POLES SOUTHWEST OF MILEPOLE 4D, AT CONCRETE BRIDGE 39.93 OVER A SMALL CREEK, IN THE TOP OF THE SOUTHEAST END OF THE SOUTHWEST CONCRETE ABUTMENT, 6 1/2 FEET SOUTHEAST OF THE SOUTHEAST RAIL, AND ABOUT 1 FOOT LOWER THAN THE TRACK.
- ELEVATION: 337.23
- BOUNDARY NOTE: APPROXIMATE BOUNDARY INFORMATION SHOWN WAS COMPILED FROM AVAILABLE RECORD DATA AND DOES NOT REPRESENT AN ACTUAL FIELD BOUNDARY SURVEY

**TRACT 7968
SITE PLAN**

**DONATO BUILDERS INC.
4171 & 4189 STANLEY BOULEVARD**

PLEASANTON ALAMEDA COUNTY CALIFORNIA

JAMES E. DIGGINS R.C.E. 27818
RENEWAL DATE: 03/31/12

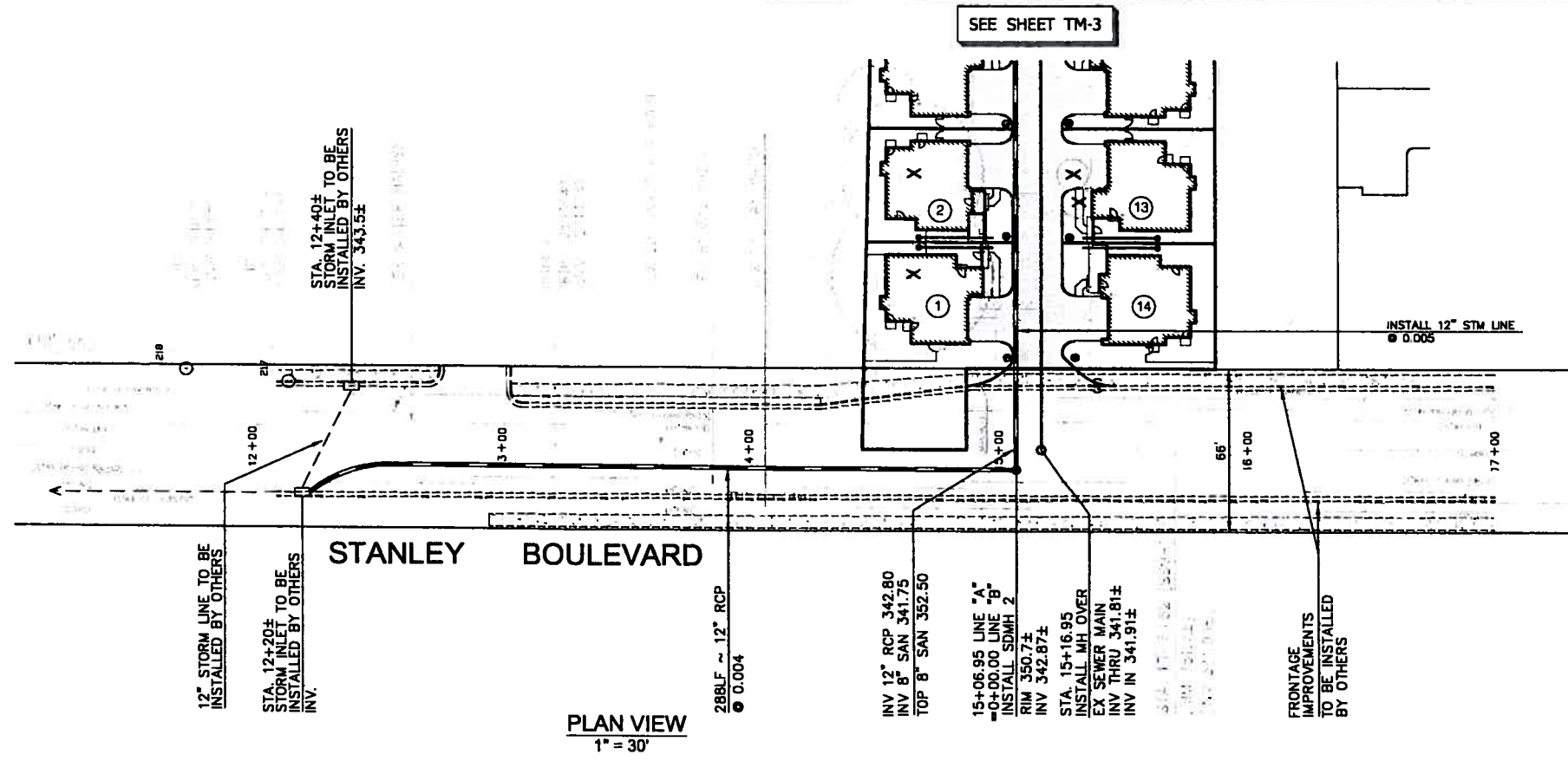
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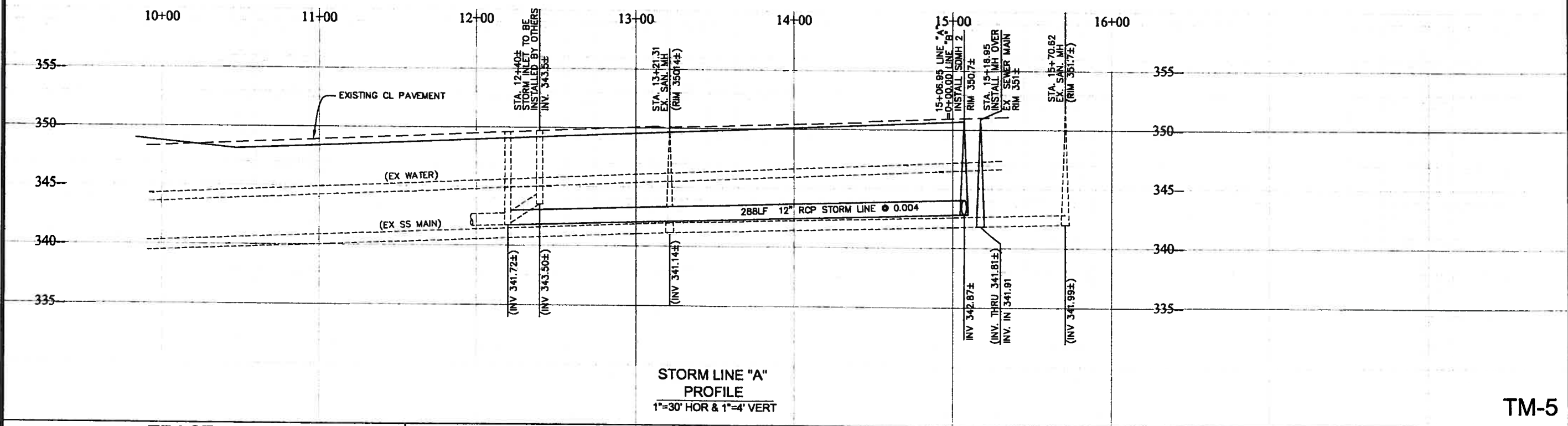
DeBolt Civil Engineering
 811 San Ramon Valley Boulevard
 Danville, California 94526
 Tel: 925/837-3780
 Fax: 925/837-4378

Date: 8/3/2010
 Scale: 1"=20'
 By: JED/wjl
 Job No: 07239

TM-4



PLAN VIEW
1" = 30'



STORM LINE "A"
PROFILE
1"=30' HOR & 1"=4' VERT

TRACT 7968
OFF - SITE
STORM DRAINAGE PLAN

DONATO BUILDERS INC.
4171 & 4189 STANLEY BOULEVARD

PLEASANTON

ALAMEDA COUNTY

CALIFORNIA

JAMES E. DIGGINS R.C.E. 27818
RENEWAL DATE: 03/31/12

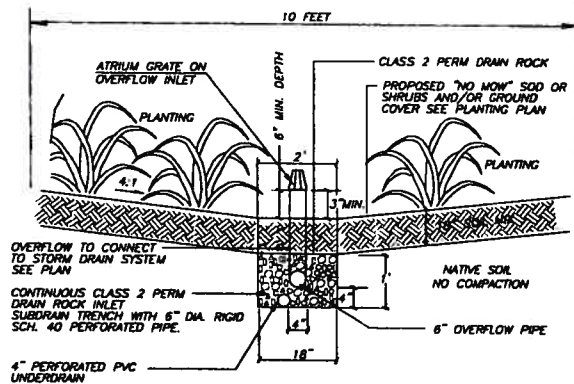
#	REVISIONS	DATE



DeBolt Civil Engineering
811 San Ramon Valley Boulevard
Danville, California 94526
Tel: 925/837-3780
Fax: 925/837-4378

Date: 8/3/2010
Scale: 1"=30'H, 1"=4'V
By: JED/vt
Job No: 07239

TM-5



BIO-SWALE DETAIL
NTS

DMA	AREA (SF)	SURFACE	DMA	AREA (SF)	SURFACE
DMA-1	810	ROOF	DMA-29	584	ROOF
DMA-2	720	LANDSCAPING	DMA-30	634	LANDSCAPING
DMA-3	547	ROOF	DMA-31	851	LANDSCAPING
DMA-4	628	ROOF	DMA-32	1,182	LANDSCAPING
DMA-5	514	ROOF	DMA-33	1,175	LANDSCAPING
DMA-6	590	ROOF	DMA-34	587	LANDSCAPING
DMA-7	599	ROOF	DMA-35	1,240	LANDSCAPING
DMA-8	644	ROOF	DMA-36	1,020	LANDSCAPING
DMA-9	514	ROOF	DMA-37	808	LANDSCAPING
DMA-10	590	ROOF	DMA-38	325	LANDSCAPING
DMA-11	599	ROOF	DMA-39	588	LANDSCAPING
DMA-12	810	ROOF	DMA-40	326	LANDSCAPING
DMA-13	547	ROOF	DMA-41	1,219	LANDSCAPING
DMA-14	799	ROOF	DMA-42	801	LANDSCAPING
DMA-15	483	ROOF	DMA-43	484	LANDSCAPING
DMA-16	547	ROOF	DMA-44	750	LANDSCAPING
DMA-17	810	ROOF	DMA-45	559	LANDSCAPING
DMA-18	483	ROOF	DMA-46	773	LANDSCAPING
DMA-19	799	ROOF	DMA-47	198	LANDSCAPING
DMA-20	791	ROOF	DMA-48	739	LANDSCAPING
DMA-21	483	ROOF	DMA-49	513	ASPHALT
DMA-22	598	ROOF	DMA-50	1,875	ASPHALT
DMA-23	559	ROOF	DMA-51	1,323	ASPHALT
DMA-24	574	ROOF	DMA-52	2,042	ASPHALT
DMA-25	584	ROOF	DMA-53	8,315	ASPHALT
DMA-26	594	ROOF	DMA-54	985	ASPHALT
DMA-27	548	ROOF	DMA-55	775	LANDSCAPING
DMA-28	574	ROOF			

IMP	SIZE
IMP-1	120 SF
IMP-2	580 SF
IMP-3	190 SF
IMP-4	100 SF
IMP-5	190 SF
IMP-6	110 SF
IMP-7	100 SF
IMP-8	190 SF

IMP	SIZE
IMP-9	100 SF
IMP-10	210 SF
IMP-11	180 SF
IMP-12	180 SF
IMP-13	100 SF
IMP-14	420 SF
IMP-15	110 SF
IMP-16	100 SF
IMP-17	100 SF

LEGEND

- BIO-SWALE / PLANTERS
- TURF STONE
- CATCH BASINS
- STORM DRAIN LINE
- EARTH SWALES
- DENOTES AREA (DMA) DRAINAGE MANAGEMENT AREA
- INTEGRATED MANAGEMENT PRATICE

TM-6

**TRACT 7968
STORM WATER CONTROL
PLAN EXHIBIT**

**DONATO BUILDERS INC.
4171 & 4189 STANLEY BOULEVARD**

PLEASANTON

ALAMEDA COUNTY

CALIFORNIA

JAMES E. DIGGINS R.C.E. 27818
RENEWAL DATE: 03/31/12

#	REVISIONS	DATE



DeBolt Civil Engineering
811 San Ramon Valley Boulevard
Danville, California 94526
Tel: 925/837-3780
Fax: 925/837-4378

Date: 8/3/2010
Scale: 1"=20'
By: JED/wl
Job No: 07239