



RESIDENTIAL DESIGN GUIDELINES

FOR THE FUTURE
RESIDENCE OF
MR. AND MRS. NAGY
AT VINYARD RD
PLEASANTON

MARK STOKLOSA ARCHITECT INC
480 SAINT JOHN STREET, SUITE 220 PLEASANTON CA 94566

PWD-93-02-09m

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CITY OF PLEASANTON
PLANNING DIVISION
EXHIBIT B



MOTTO:

THE HOME IS AN OASIS
THAT SOOTHES DAY'S EFFORTS
AND RECHARGES ENERGY FOR THE
FUTURE ENDEVORS,
WITH APPRECIATION OF ITS ARCHITECTURAL
EXPRESSION, BY BOTH, THE
OWNER AND THE NEIGHBORS

DESIGN GUIDELINES FOR THE NEW
RESIDENCE

JUNE 2006

THE NAGY RESIDENCE AT VINYARD ROAD, PLEASANTON

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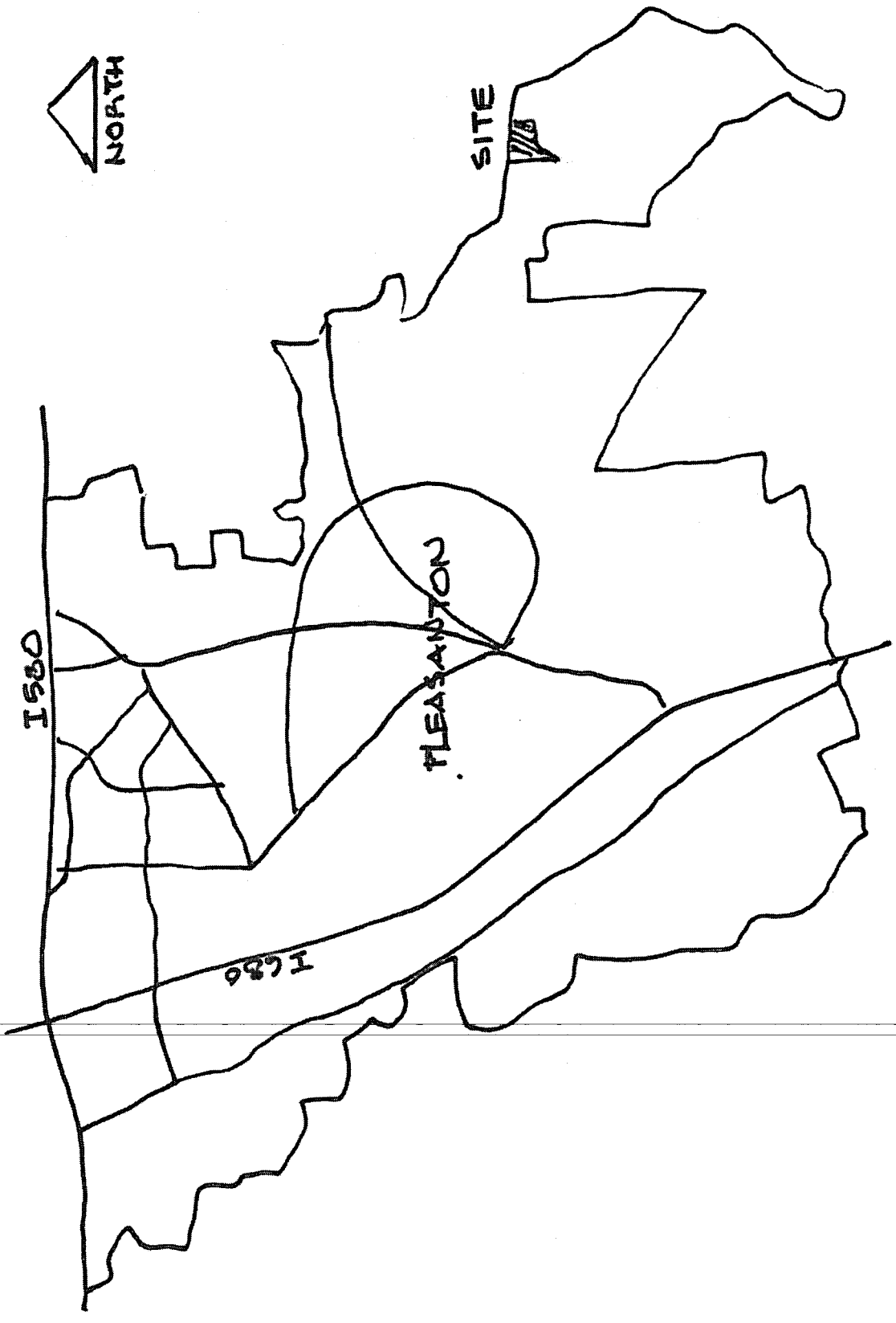
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LOCATION PLAN

1. GENERAL:

This document is intended to facilitate future design, design review and approval of the intended home on within the 36 acre lot at Vineyard Road in Pleasanton.

Its purpose will be to outline procedures as well as tasks to be performed in order for the Owner of the Lot, to obtain approvals and be able to construct the single family residence.

This process or set of rules will guide the design of the home, to satisfy City requirements, neighborhood requirements and code requirements. This process will be harmonized with the Project Program and Owner's requirements and/or goals.

Design Guidelines will also provide uniform and simple method to limit development options to few styles, thus facilitating review process and maintain intended for the area stylistic flavor.



1.a Community.

The site for the future home is located in the City of Pleasanton east side, within rich agricultural area devoted almost exclusively to grape growing and wine making.

The residential developments that weave through the acres of vineyards have been developed in a Northern Italian building image that produce a very unique feel of the old world charm and country living.

Proximity to the downtowns of Pleasanton and Livermore make the home site even more desirable from the standpoint of livability and convenience, combined with the near by restaurant owned by the homeowners.

1.b Property:

The property has 36 acres, set between access to Ruby Hill Community to the east and a winery with the community center to the west. The southern edge of the site is facing Ruby Hill Community golf course and housing.

Entire site is flat and almost contiguous with the adjacent vineyards making it a part of the large area covered by vines. The lot configuration is flat and at almost its midst it is dissected by the creek.

The build able area allowed for development is set at 2.5 acres.

Most of this acreage is devoted to the restaurant development, parking and the access road. The residence will be allotted approximately 10,000 sq.ft. of land for the home development.

1.c Home site area:

The home site area is set within 2.5 acre allowed to be developed. Since the vineyards will create a backdrop and a proverbial back yard to the house the build able area for the home and amenities is set at approximately 10, 000 sq.ft..

This small swat of land is located beyond the creek, set within rich vineyard growth and adjacent but at a discrete distance of 50' feet from the Ruby Hill community lot line and the creek alike.

This location makes the future home almost invisible like a spec, insignificant within the vast Vineyard spread.

1.d Access

The home site will be accessed through a main road devoted for the restaurant and than branch off at the southern part, as a narrow 12'-0" wide private road leading through an existing bridge over the creek to the home site.

The access will follow similar paving pattern as the main driveway. A fine compacted gravel, decomposed marble and granite with timber boards approx. 12"x12" at random length in groupings of 2 per wheel stripe. Center line will have 3 boards attached together for inner wheels in both directions.

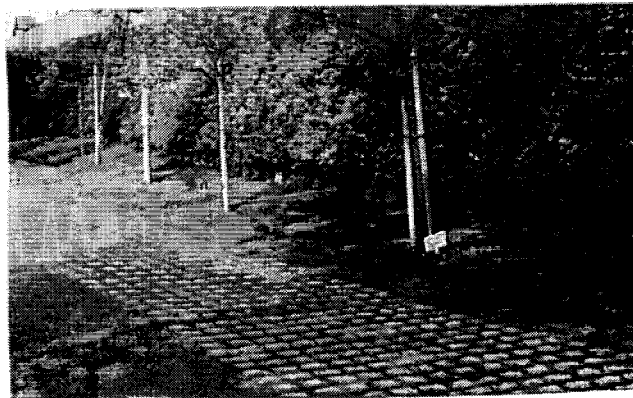
As an alternate a turf stone paving may be considered, but the substrata must support 55,000 lbs of load.

On either side of the 12' wide driveway there will be landscape strip of low shrubs blocking car light glaring and transition to the vineyards beyond.

The driveway will terminate at the home site making a tight turn around and garage access leader facing east.

The on site driveway will be either country style decomposed marble or cobble paving.

Fire engine access needs to be mitigated to allow for the engine turnaround at the home site after emergency access is completed.



1e. Idea

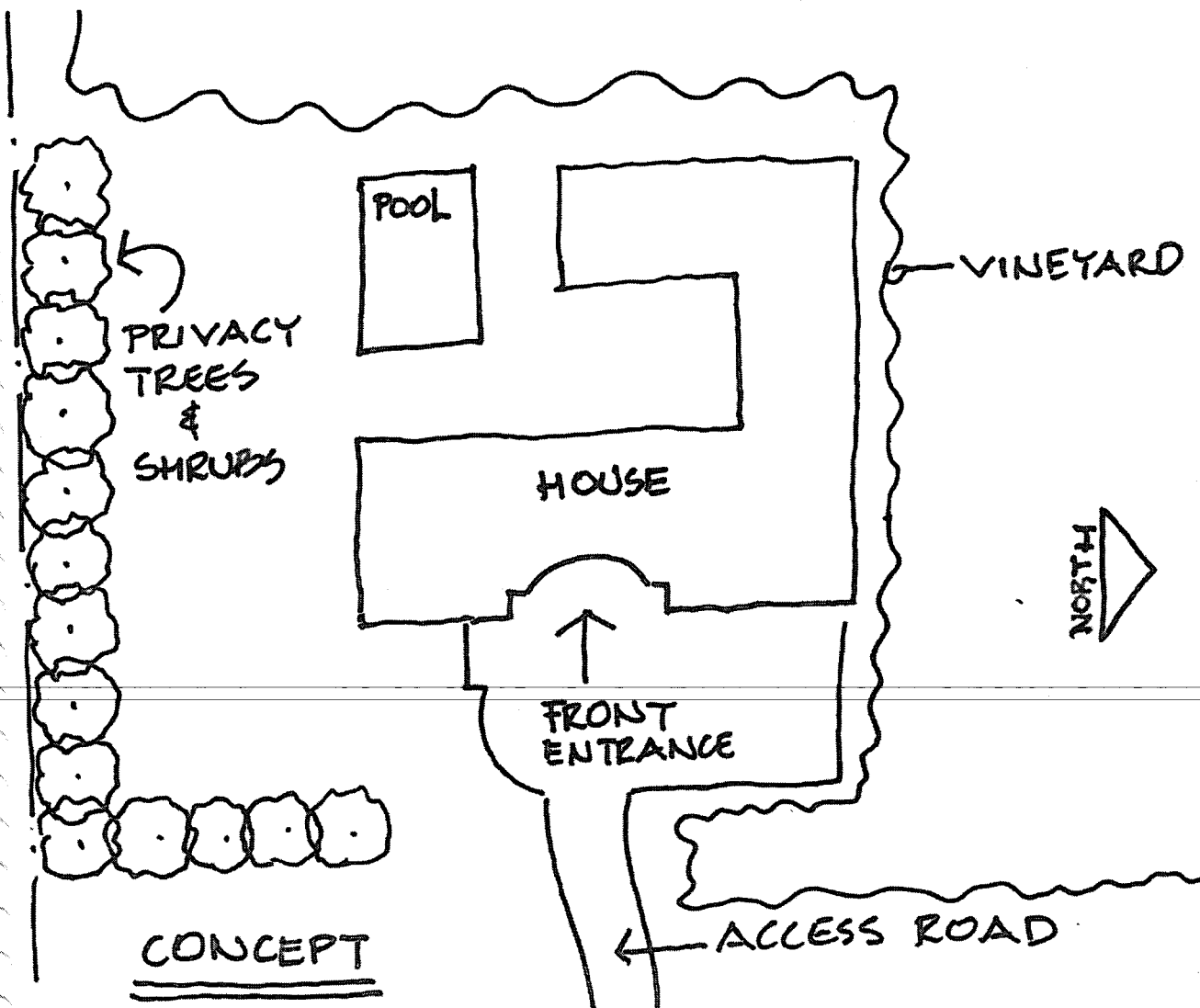
The idea for the home will be derived first and foremost from the theme of the neighborhood and the existing restaurant building on the lot.

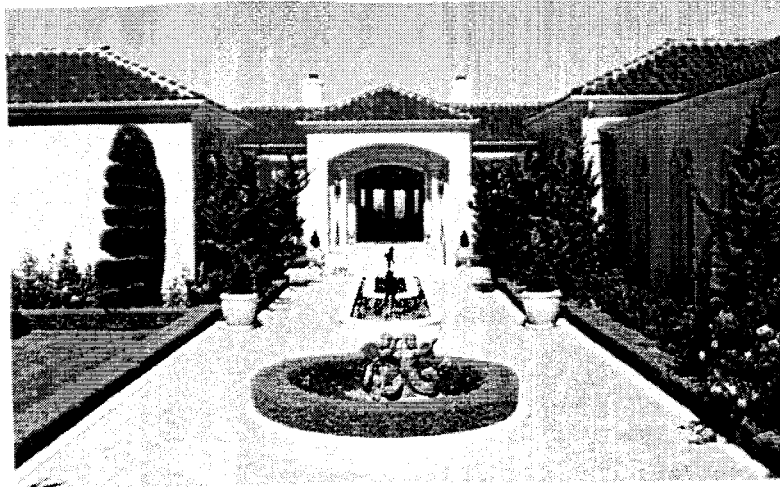
The style may vary slightly but be in general terms similar to Tuscan Architectural style.

Barrel, S type or similar roof tiles in terracotta, stucco walls with some stone veneer and wood framed doors and windows.

The best would be to have the home designed as a courtyard home with the interior facing south and west towards vineyards.

Privacy will need to be of utmost importance with the use of trellised passageways and pool areas.





Privacy needs to work both ways for the homeowner and the neighbors.

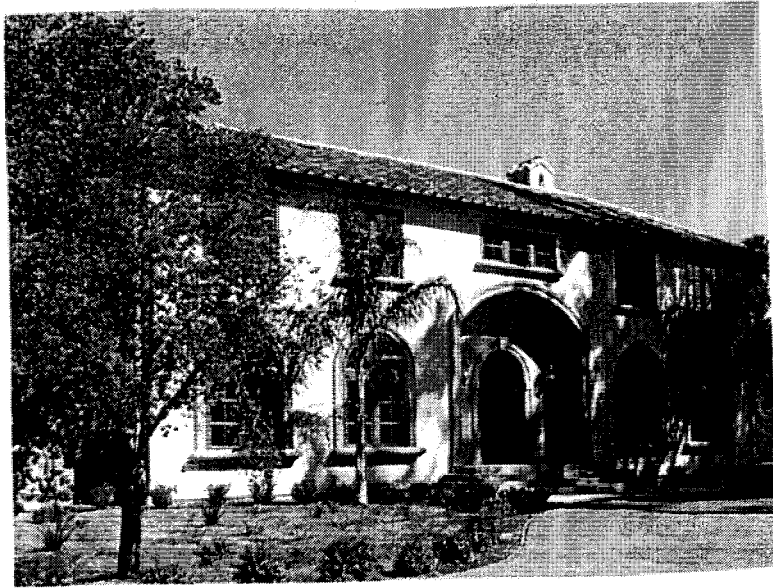
Single story configuration would be preferable but not mandatory.

Use of arched doorways and windows should be encouraged with copper metals and wrought iron as an element of so called small architecture.

Home will need to be closely integrated with the vineyards, almost attached to the vine rows, where the rooms from the interior will continue into the vineyard.

Colors to be earthy, or antique white with variegated accent walls in deeper sand/adobe color combinations. Trim to be wood in dark gray or black. Window shutters will be a considerable part of the exterior treatment.





2. HOME DESIGN AND APPROVAL PROCESS:

2.a Glimpse into the site:

The Site is located in the center of the acreage.

It is flanked on east side by the restaurant side of the lot and the creek. The creek is 50' from the home site.

The site is flanked on the south side by the Ruby Hill Neighborhood and lush privacy landscaping.

The west and north sides of the site are flanked by the vineyards.

The area is flat and allows for the simple and environment friendly building site.

The building in a single story configuration would fit perfectly into the nature and essentially be invisible from the outside world.

2.b Design Approach

The design will be derived from the style of Italian region of Tuscany (Toscana)

Another aspect will be the orientation to the sun, therefore south and west exposure will be left for wonderful views and energy capturing.

Use of a courtyard and portico's with columns will allow for shading of the home and allowing for a three dimensional look of the elevation.

Large wall and bulk of the building with wide walls and roofs will not be acceptable. Entire structure will need to be fractured and a resulting building will need to resemble a small town composed of small buildings which although in same style may vary in general look.

Garages will be located at the east side of the lot, close to the access bridge and invisible when approaching the home. Garages may be attached or detached. If detached the link to the home should be through trellised passageway immersed in foliage.

Pool will be located at the south side of the site.

Building will be placed on the boundary between build able area and the vineyards. This will leave balance of the site for construction and little architectural elements enhancing the architectural experience.

Terracotta roof, stucco walls, wood windows and doors and copper metal will distinguish the structure from its environment. Certain degree of aged state will be desirable. Thick walls will echo old world style, with the possible use of rice straw bales as a wall component (both for wall volume and insulation).

2.c Review process:

Review process for the design will be on the City Planning Staff level in strict adherence to this design guidelines and City Zoning requirements for the R-1-6500 district, with exception that the home may be located on the boundary between the 2.5 acre build able area and the remaining agricultural area.

Neighbors within 300 feet of the site will have the chance to review the proposed design based on the notification similar to Administrative Site Review as per R-1-6500 requirements.

After 30 day approval process the Owner may submit plans to the building department for the building permit.

Plans required will have to address, Architectural Design, Structural Design, Drainage and Grading, Mechanical, Electrical, Plumbing design, Soil Report and a Survey Plan.

2.d Design Plans and Construction Documents

Design Plans for the staff review will require to show following information:

1. Site Plan
2. Floor plan(s)
3. Section
3. Elevations
4. Roof Plan
5. Window and door details
6. Lighting Details
7. Little architecture details (trellises, walks, driveways, planters, benches etc)

Construction documents will require code related information in addition to the above plans from all disciplines as described in item 2.c.





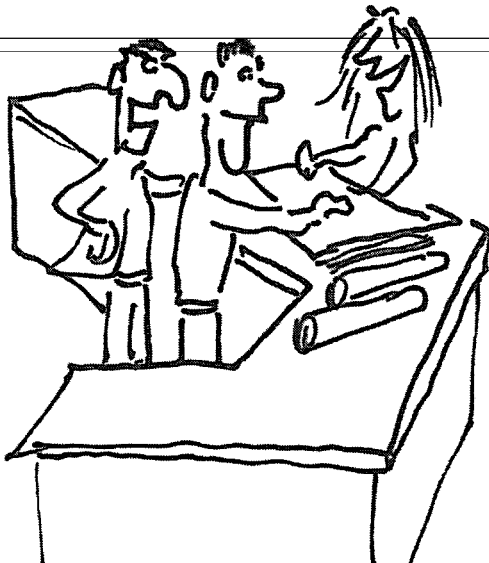
DESIGN &
PLANNING



PLANNING
STAFF
APPROVAL



CONSTRUCTION
DOCUMENTS



BUILDING
PERMIT

3.b Home Site preparation-Grading and Drainage.

Site grading and drainage will have to be prepared by the Civil Engineer to Code/City requirements. All storm water to be drained away from home into the vineyards through wide area, which will prevent agricultural uses erosion.

Site shall be graded to a bare minimum if any just to nudge the water from draining towards the structure. Natural land configuration to be maintained as much as possible.

3.c Fire Department Suggestions

Fire Department must have an access to home site for emergency calls, both fire and medical. The access route needs to allow the fire engine to reach the home with ease and speed that is required in case of emergencies.

All curves and turns need to comply with the fire department turning radius requirement.

Paved area must support min. 55,000 lbs of weight on the fire engine.

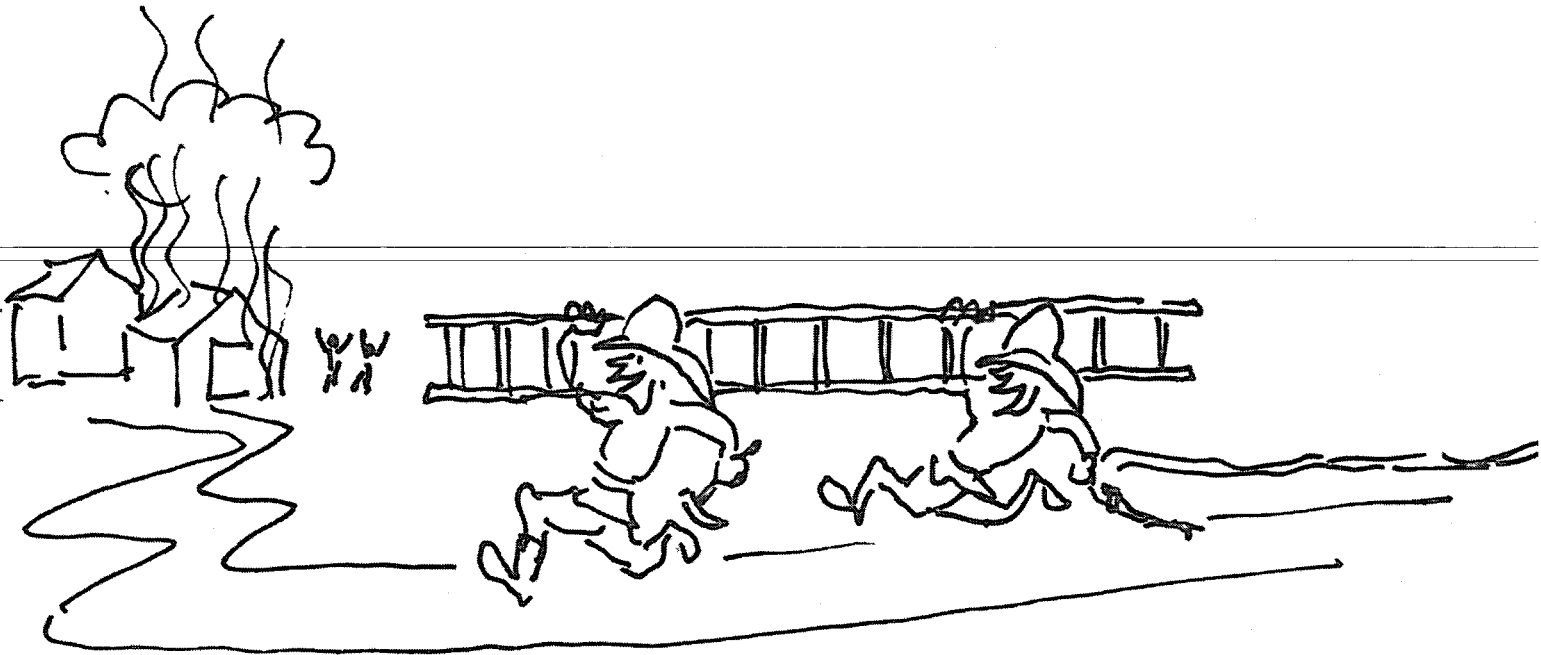
The access must relatively smooth and even along the path of travel without speed bumps.

Fire department will have to review the proposed home design particularly for the access.

Because of the home location it was a fire department suggestion to allow for an emergency access to home site directly from Ruby-Hill drive through the current fence with the gate and curb cut inconspicuously located and operated by the department remote key.

This emergency access would have to be negotiated with the Ruby Hill Association at the time of Home construction.

The location of the home will warrant installation of the residential fire sprinkler system throughout the structure.





3.d Landscaping

Landscaping of the home site will be limited and contained only to the area of the development.

South side will provide for tall trees like cypress and other dense evergreens to provide privacy from and for the home to Ruby-Hill.

Some vine type and flower beds including shrubbery with accented trees around the site will be located as part of the home design.

The home will need to have a landscape plan prepared by the Landscape Architect for the planning department approval.

The landscape plan will need to identify plant material and irrigation methodology as well as drainage.

Main landscape focus will be to bring the vineyards into the site from the adjacent vineyard.





LANDSCAPE ELEMENTS





LANDSCAPE ELEMENTS



4. GUIDELINES FOR ARCHITECTURAL DESIGN:

General to all Styles

In all styles windows and doors will be recessed in wall min 2" to provide the old world look producing a distinct shadow line.

In all styles use Tuscan columns min. 12" in diameter, full and half arches with porticos over terracotta tile porches.

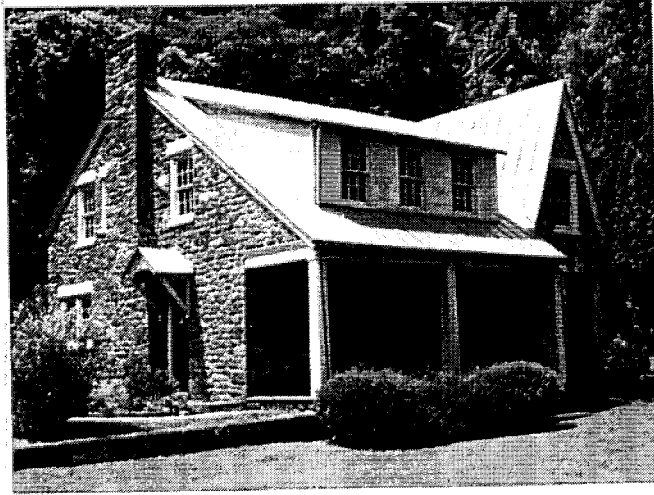
4.a Proposed Home Styles:

The allowable styles of homes will include:

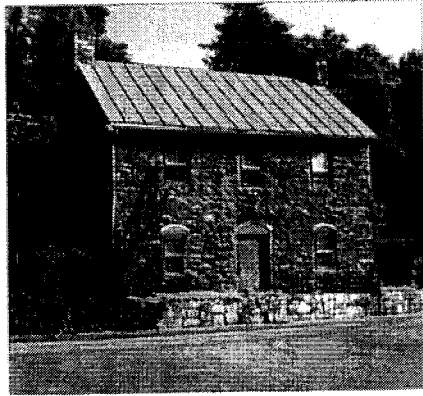
1. Traditional Tuscan Style
2. Stylized Tuscan Style, reflecting the look of the adjacent restaurant
3. Northern Italian Wine Country Farm House with some use of stone veneer.
4. Mediterranean General Style with some use of stone veneer
5. Classical Roman Style Villa



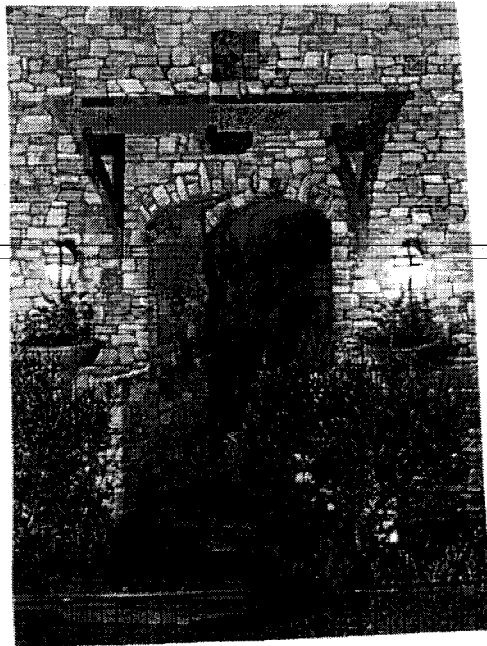
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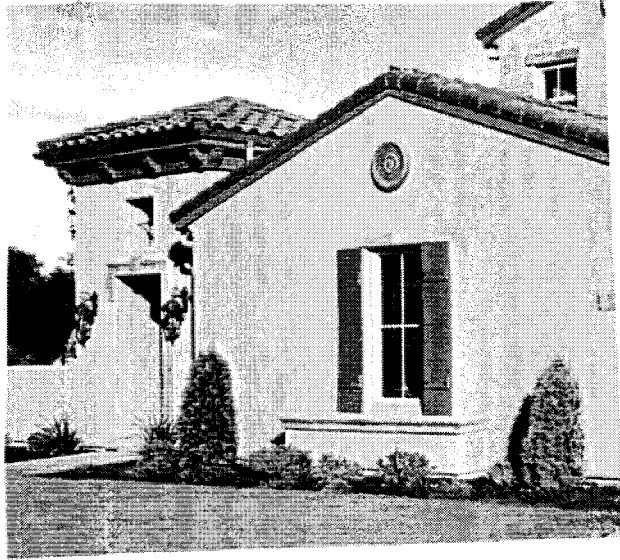
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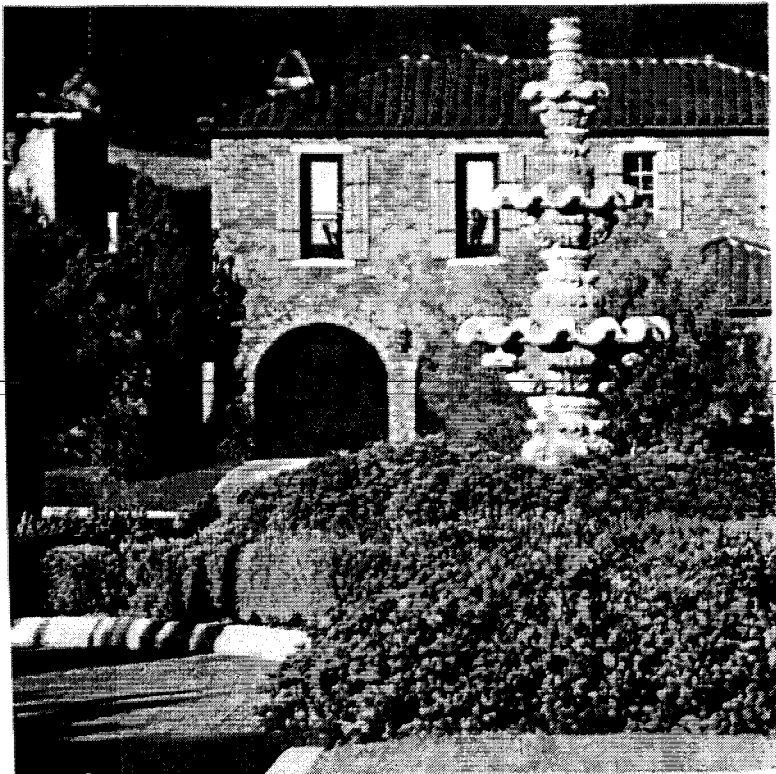
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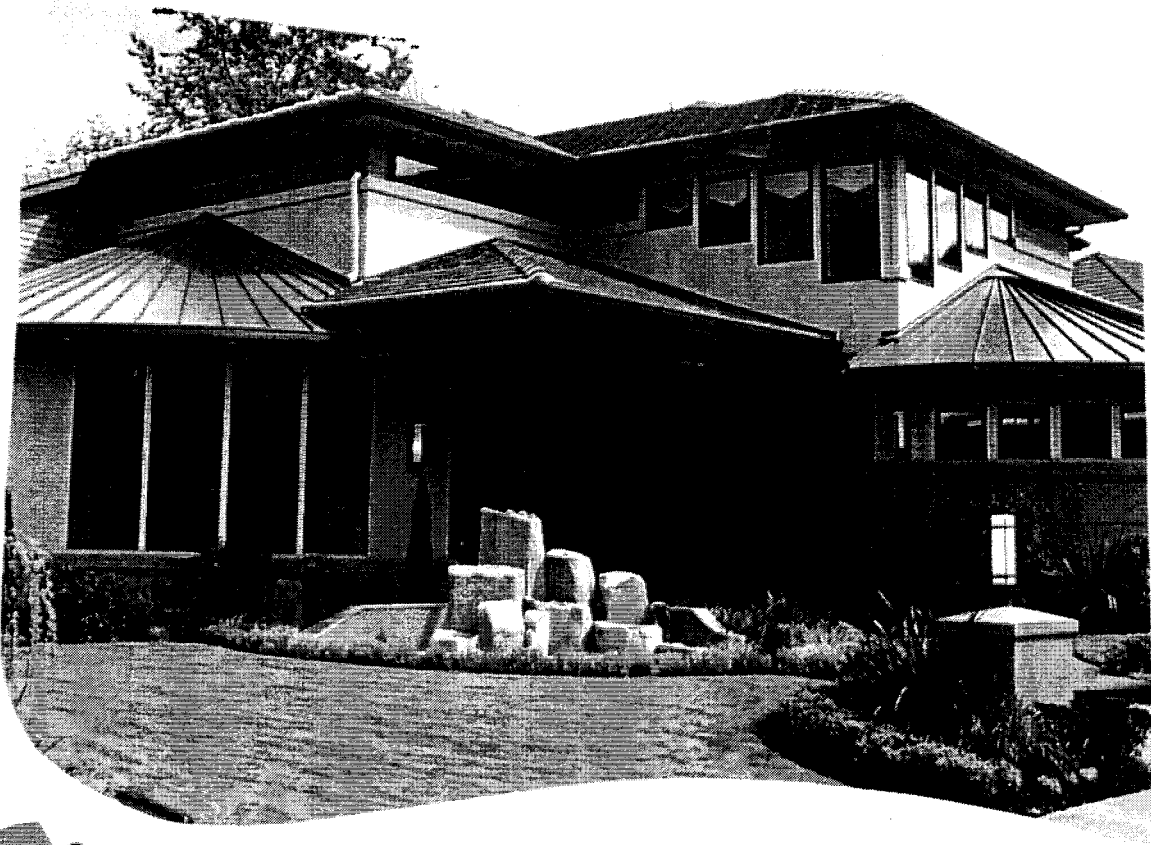
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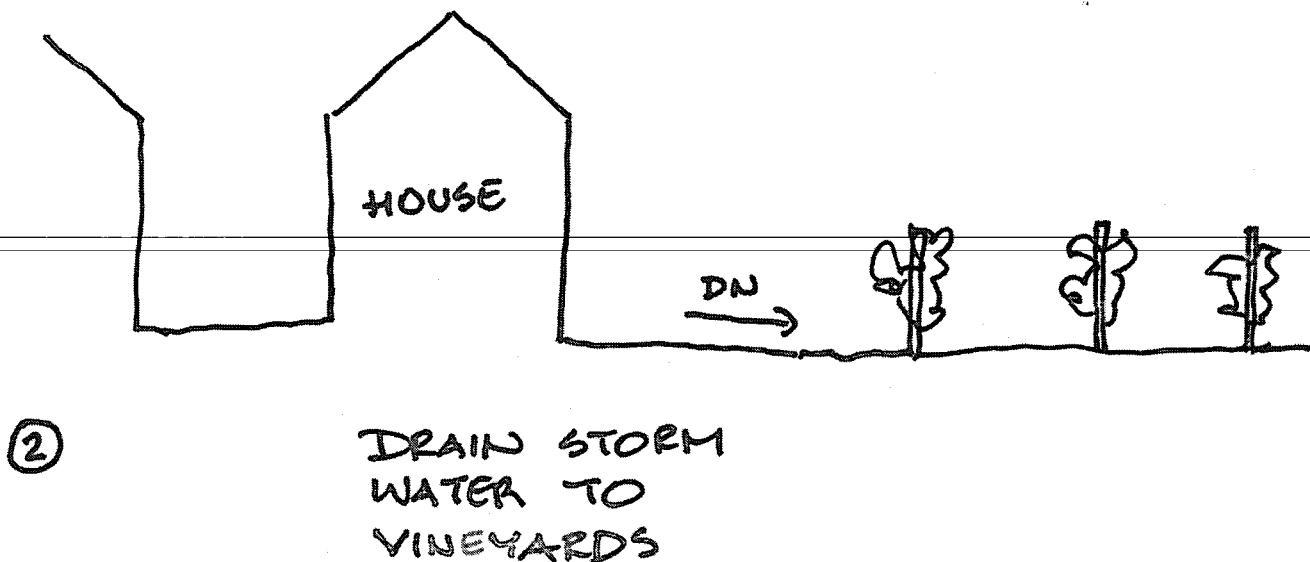
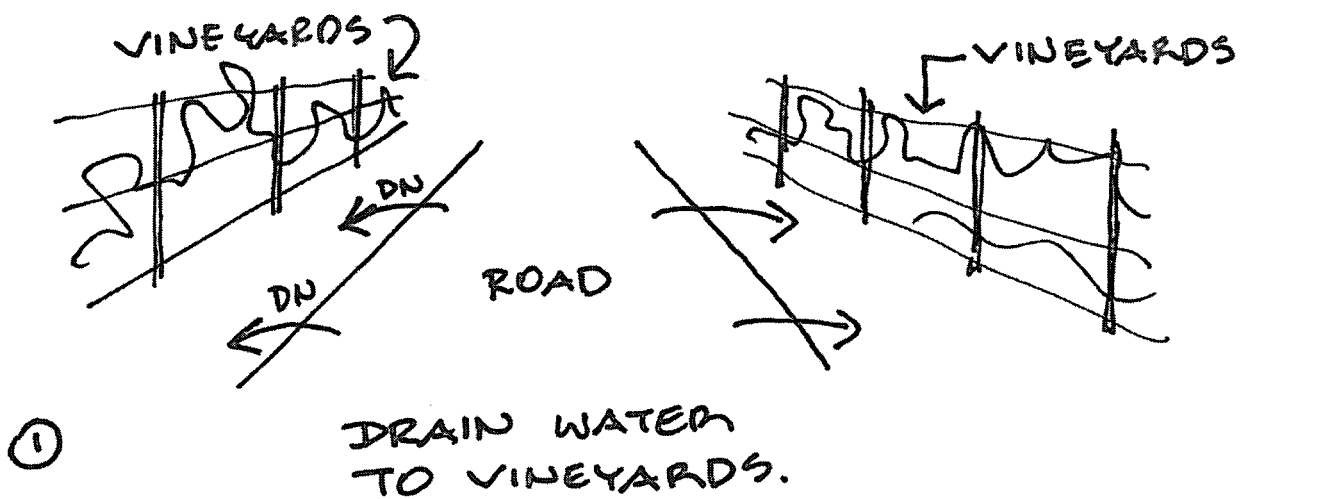
3. GUIDELINES FOR THE SITE PREPARATION

3.a Access to home:

The site access will need an engineered plan prepared by the civil engineer. Access will need to support a load min. of 55,000 lbs (fire truck)

The access needs to drain to adjacent vineyards and look as a country road rather than paved street.

On site driveway needs to be designed to City standard by the Civil Engineer, with the accountability for drainage and 55000 lbs lading minimum. Estate like driveway with cobble pavers or decomposed marble will be acceptable.





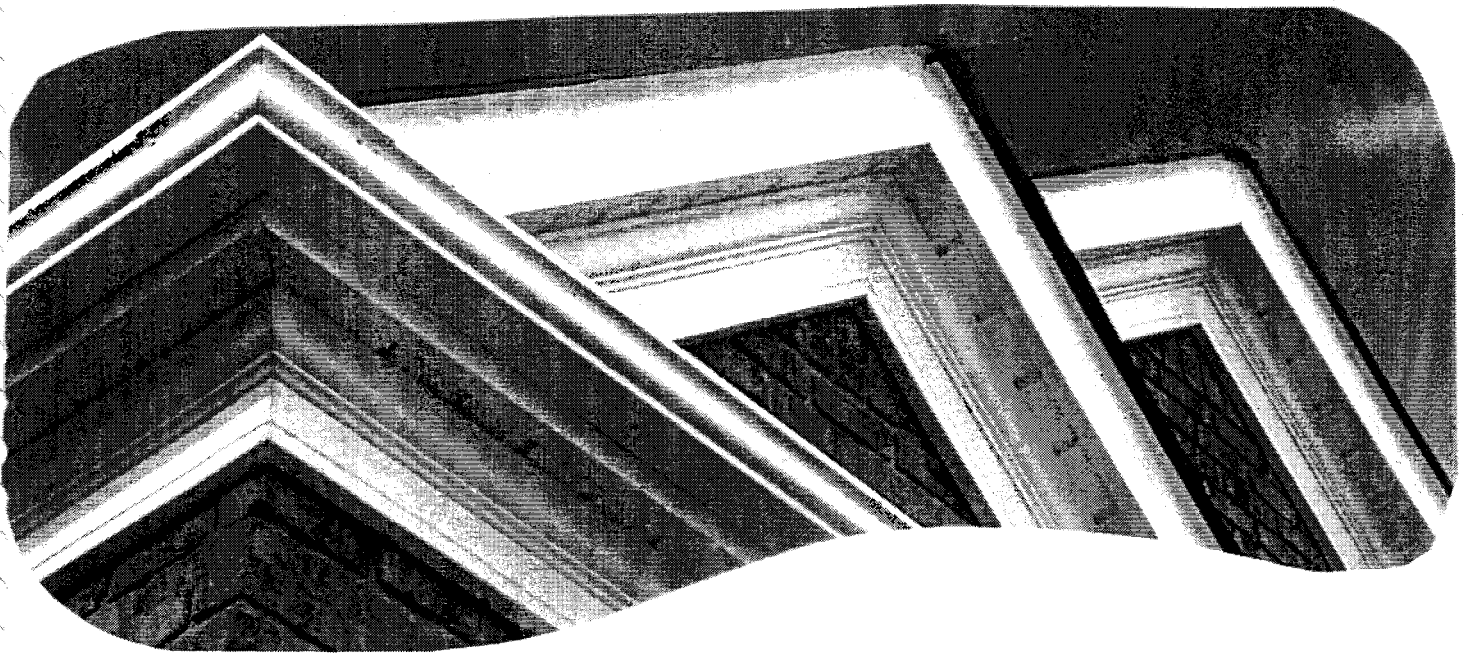
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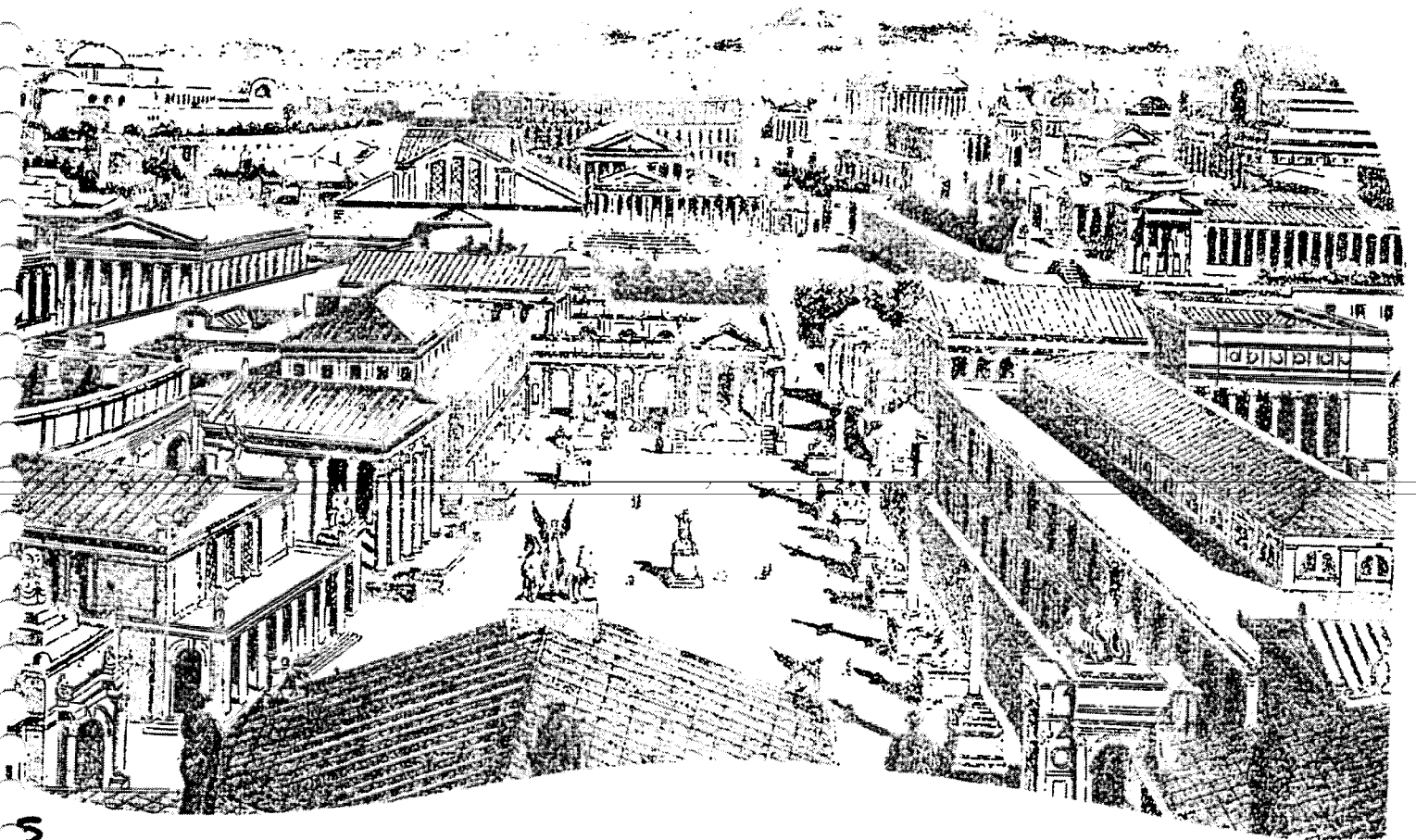
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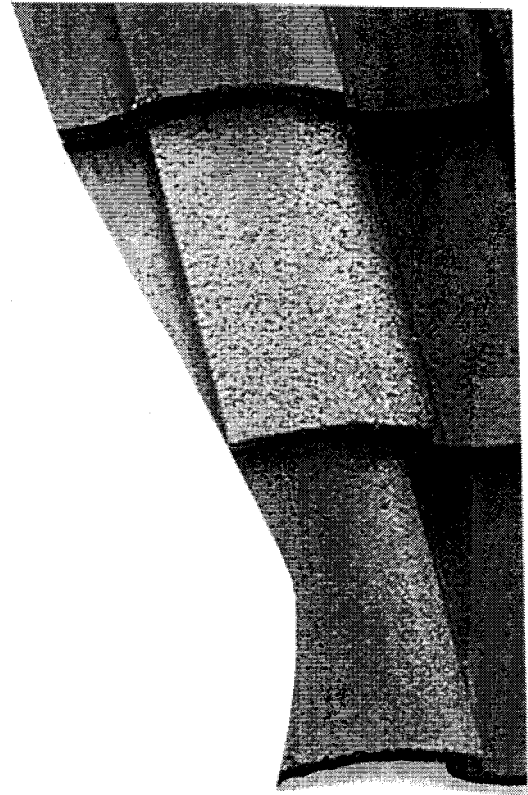
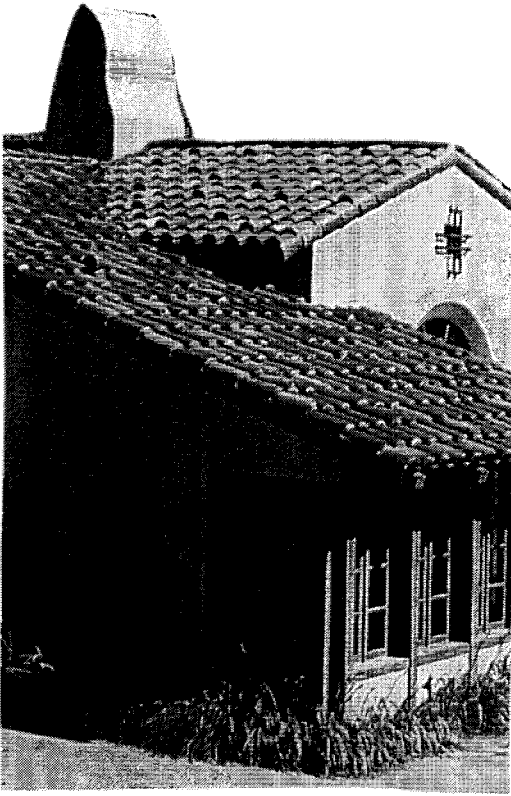
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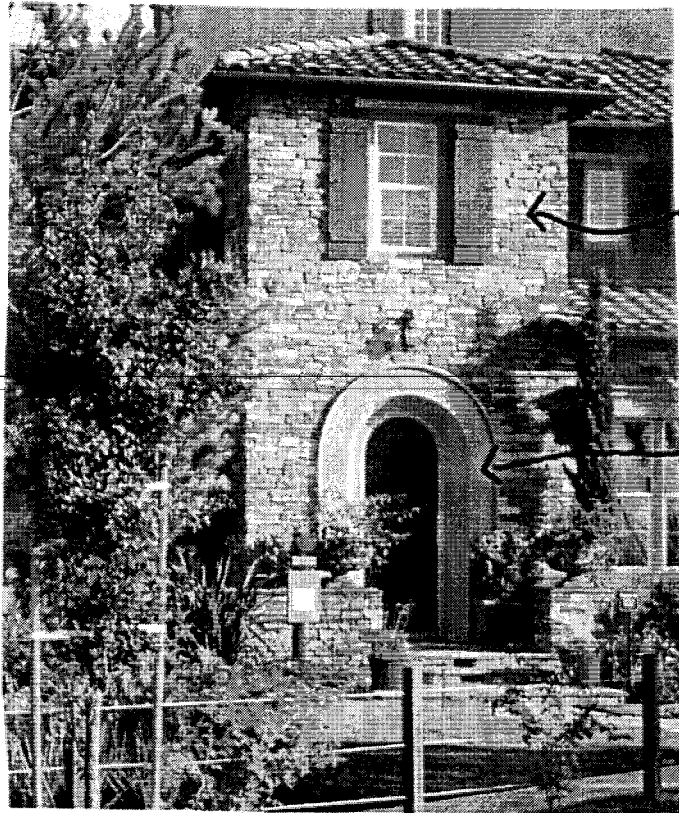
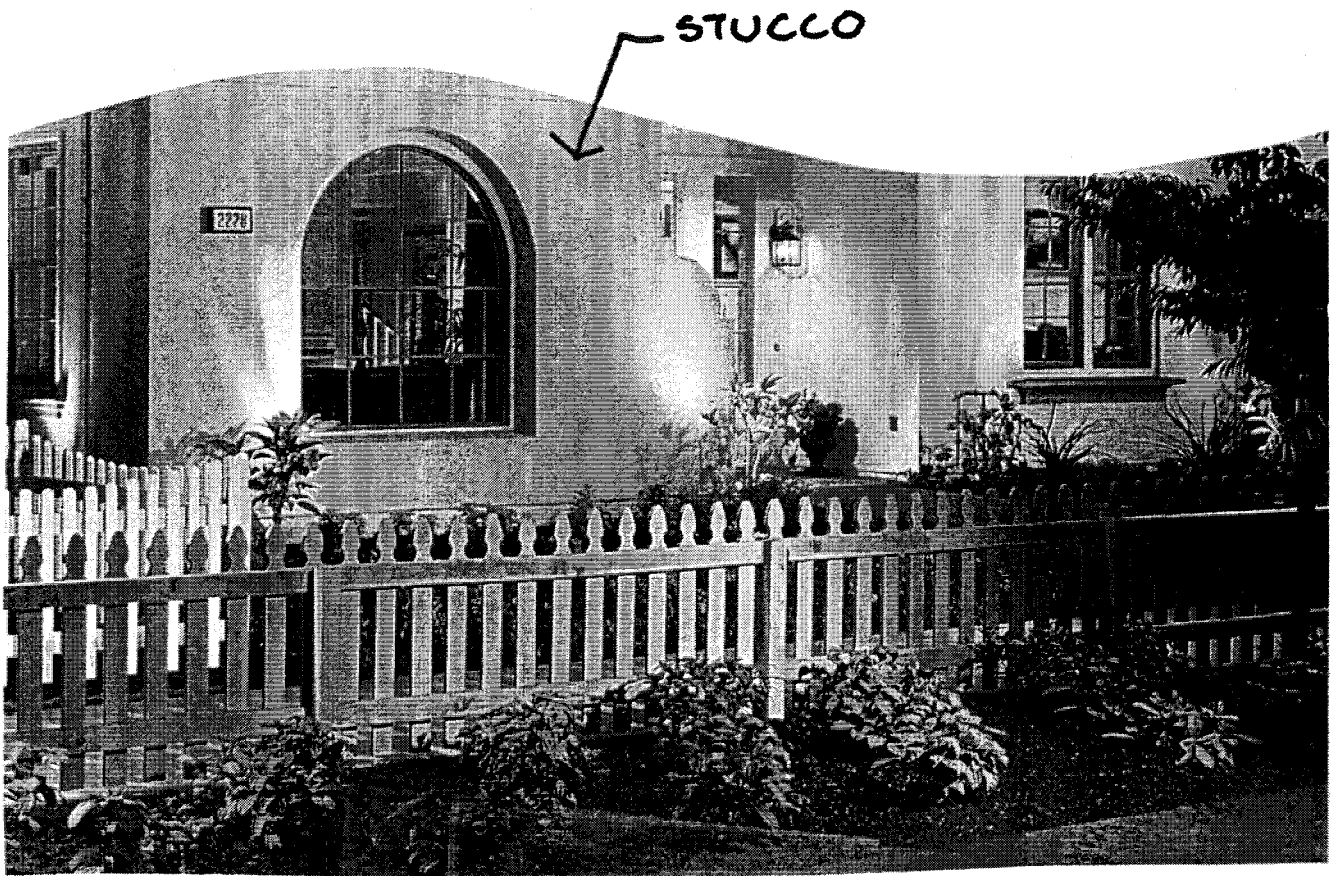


4.b Roof Covering per Style

1. Traditional Tuscan Style - the roof covering will be terracotta, flashed concrete or clay tile, Barrel or S- type.
2. Stylized Tuscan Style- the roof covering will be terracotta, flashed concrete or clay tile. Barrel or S-type.
3. Northern Italian Wine Country Farm House - the roof covering will be terracotta flashed concrete or clay tile, barrel or S-type. Also a real copper standing seam roof may be considered as an alternate.
4. Mediterranean General Style - the roof covering will be terracotta, flashed concrete or clay tile, Barrel or S-type.
5. Classical Roman Villa-the roof covering will be flashed clay tile, Barrel type.

4.c Wall Covering:

1. Traditional Tuscan Style- wall covering will be stucco in a sand, adobe or off white color with light hand trowel finish light texture almost smooth, aged look.
2. Stylized Tuscan Style-wall covering will be as in item #1.
3. Northern Italian Wine Country Farm House-the wall will be light colored smooth stucco (antique white, yellow or adobe) with patches of brick protruding from beyond (damaged look) and/or cobble rock veneer particularly on rounded portions of the building and carriage buildings.
4. Mediterranean General style - wall covering will be stucco with some rock accents at base. Stucco color-sand, yellow, antique white or variegated combination of all three, uneven finish from smooth to medium texture (from top to bottom) Possibly show some rice straw protruding from the surface of the stucco in some places.

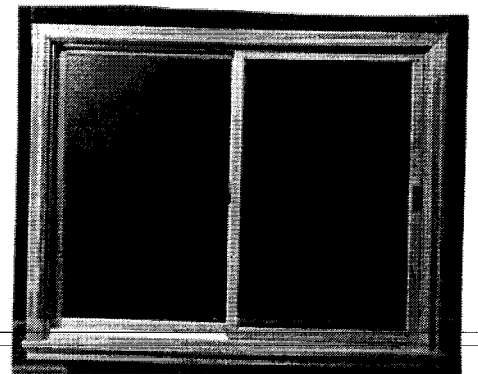
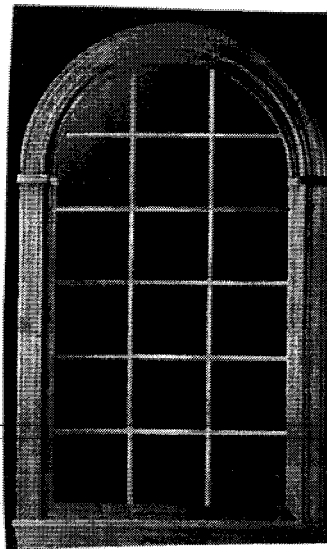
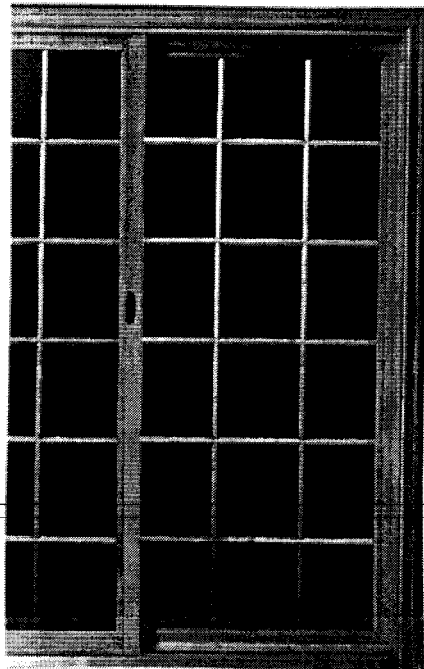


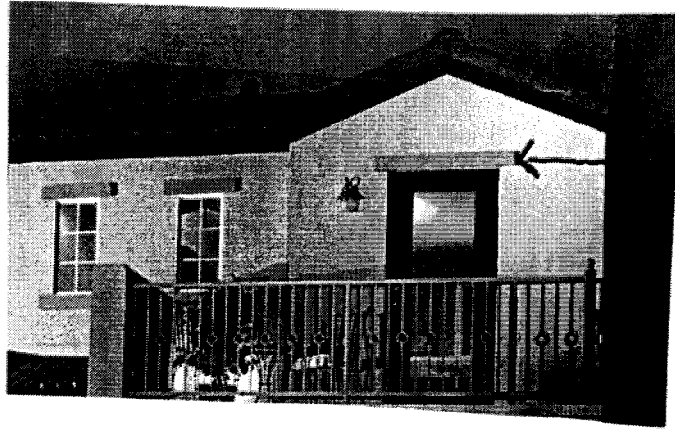
5. Classical Roman Villa—the wall covering will be stucco, smooth finish, very even, adobe or light yellow in color.

4.d Window and Door types per Style:

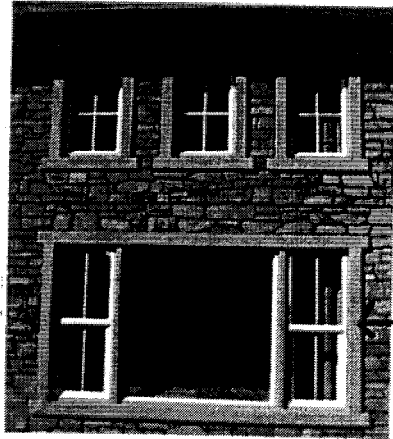
1. Traditional Tuscan Style— Windows and doors will be wood, heavy type, walnut or cherry look. Window/door opening to have a stone trim in natural stone color min. 6" wide.
2. Stylized Tuscan Style— Windows and doors will be wood, stained walnut or cherry, window/door opening to have a stucco trim min. 6" wide 2" beyond stucco, mimicking stone trim.
3. Northern Italian Wine Country Farm House Style—Windows and doors will be wood heavy type, Olive tree like, black stained, with the openings trimmed in natural stone.
4. Mediterranean General style—Windows and doors will be wood, maple stained, with openings trimmed with stucco looking like stone or natural stone 6" wide min.
5. Roman Villa Style— Windows and doors will be wood, heavy type, Olive tree stained (black).

The opening will be trimmed in a min 8" wide natural stone trim

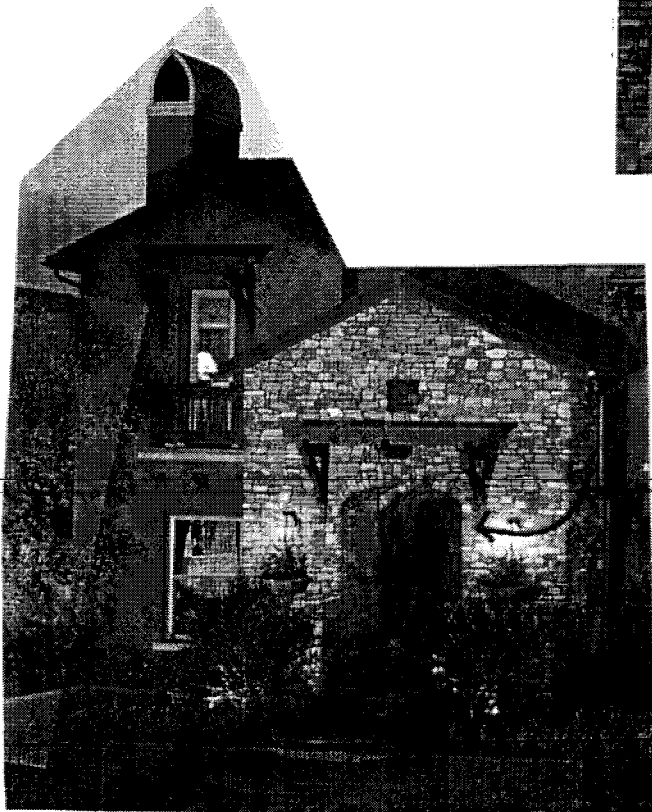




TRIM



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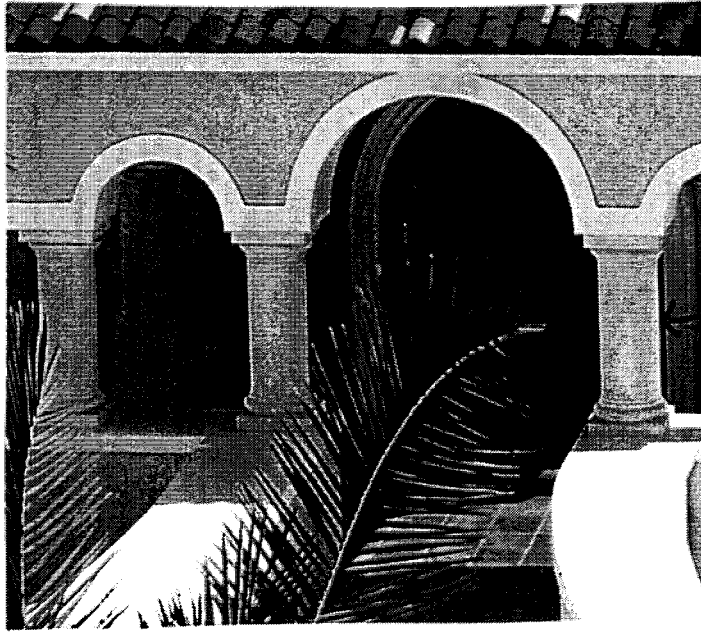
STONE TRIM



← WINDOW STONE TRIM



WINDOW TRIM

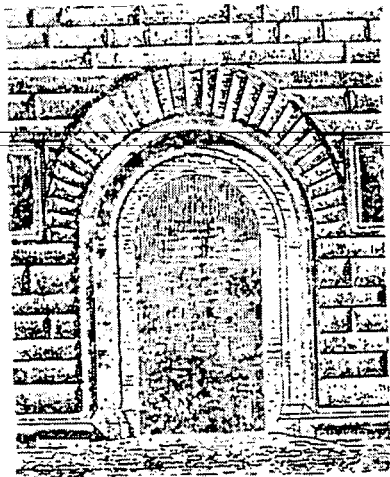
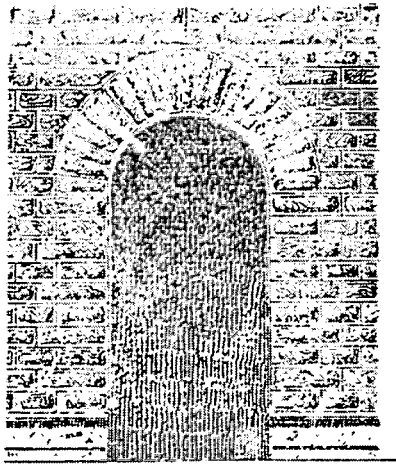
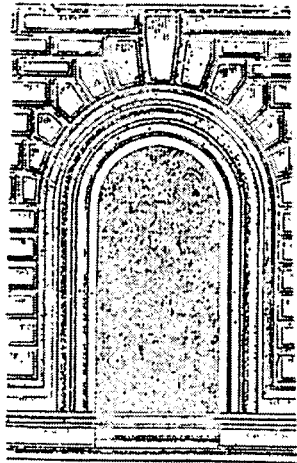


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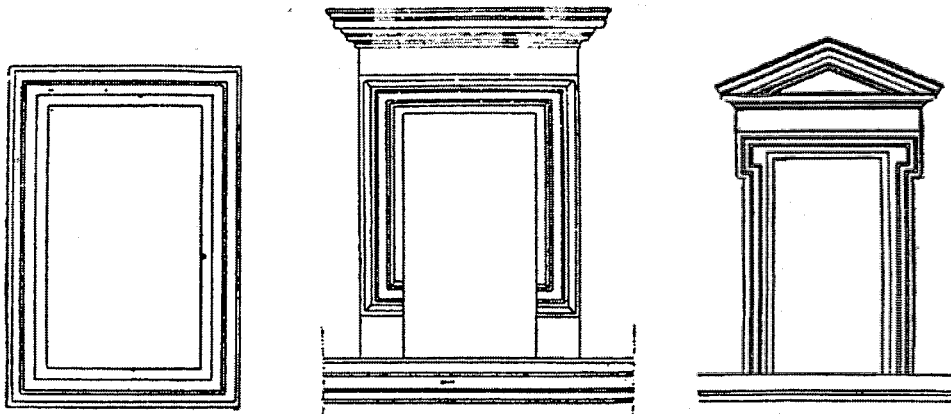
— COLUMN



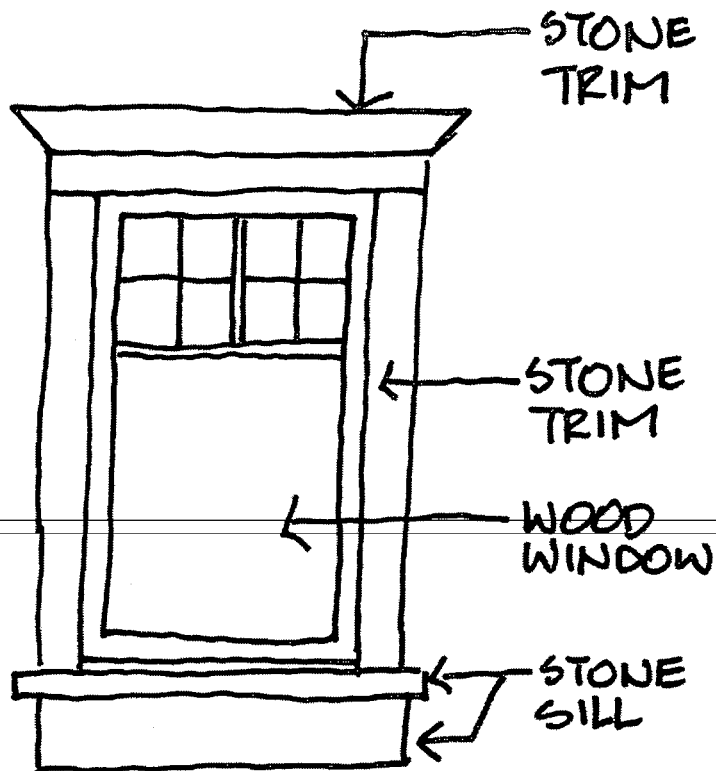
CHIMNEY



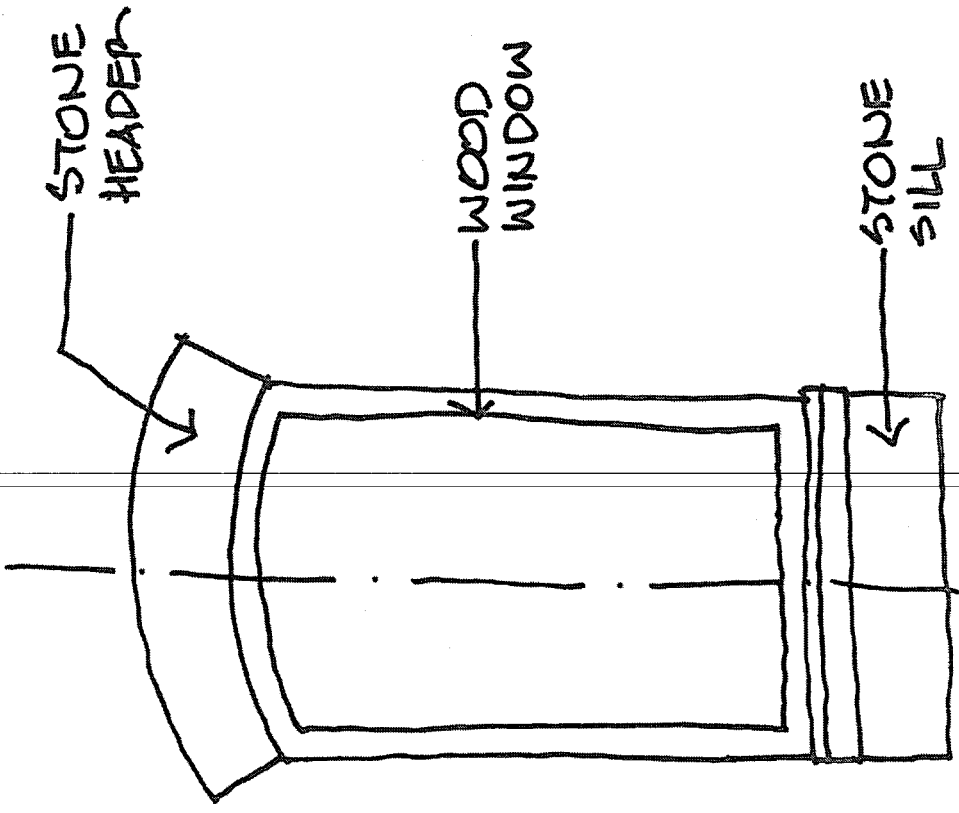
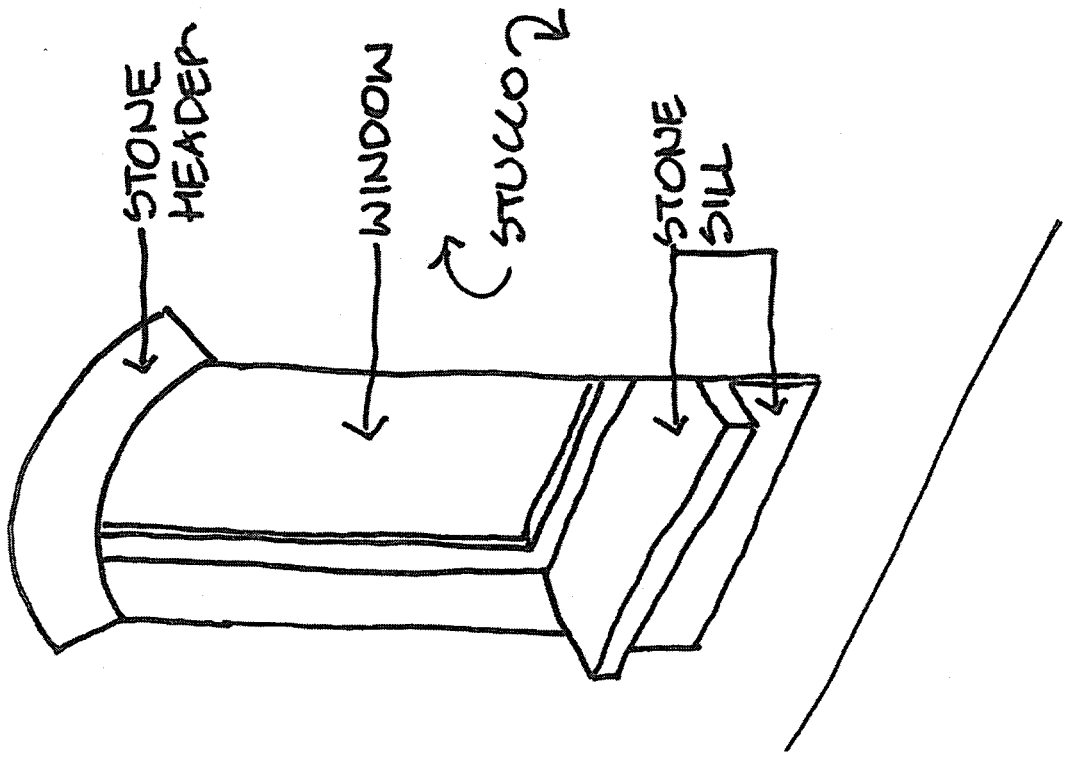
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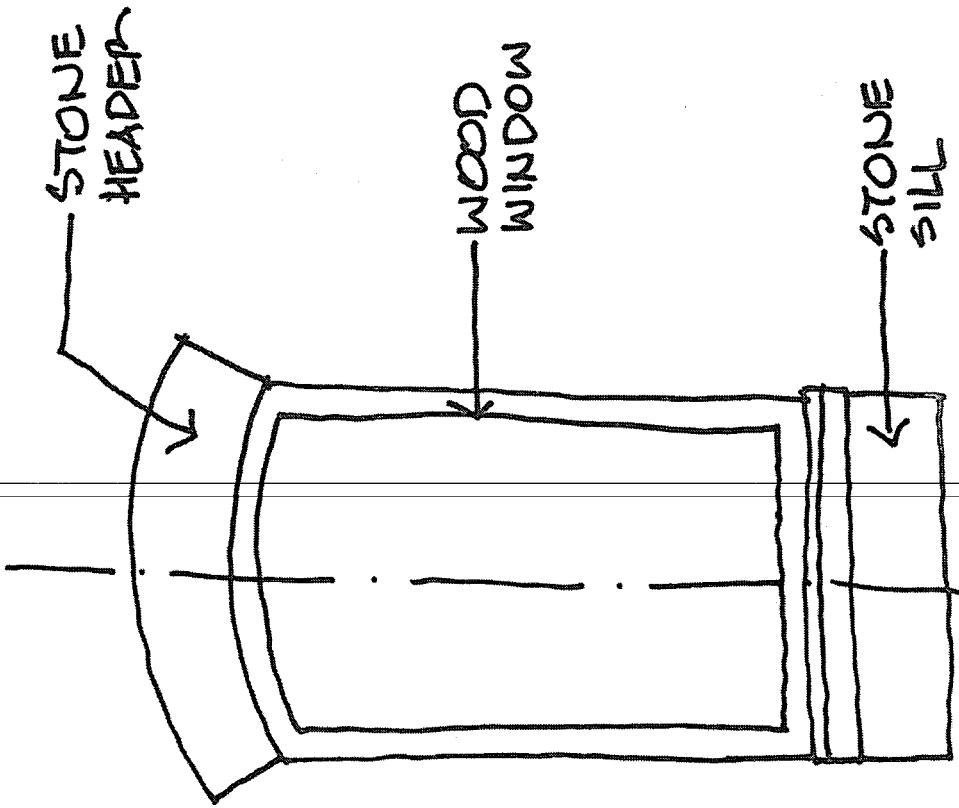
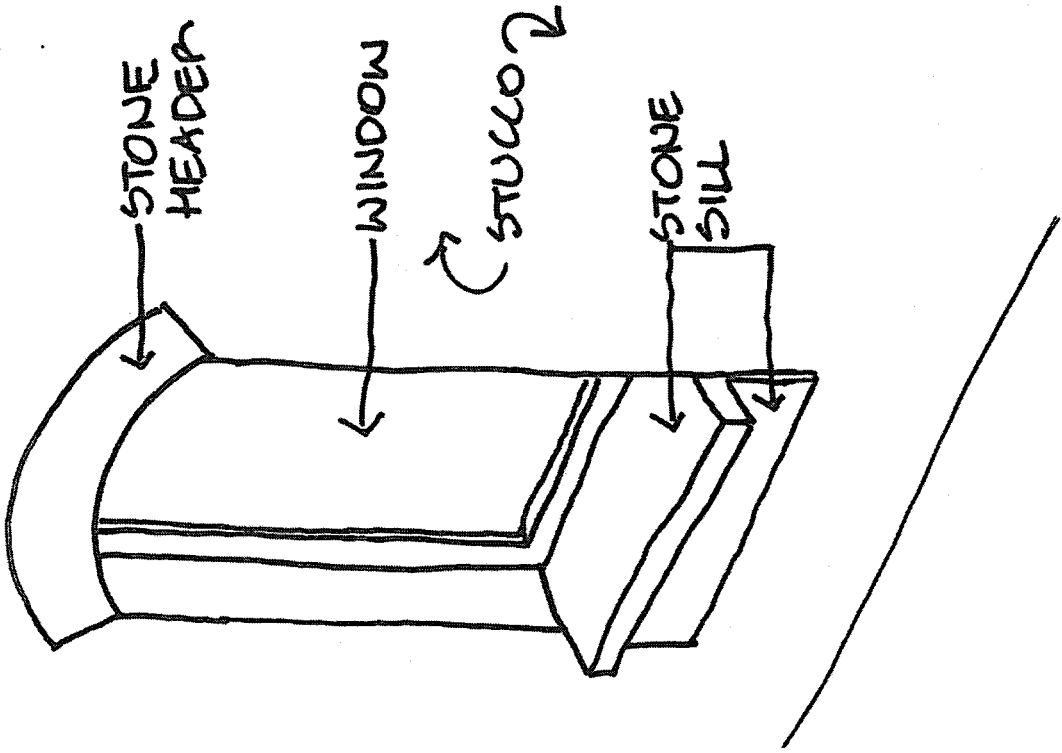


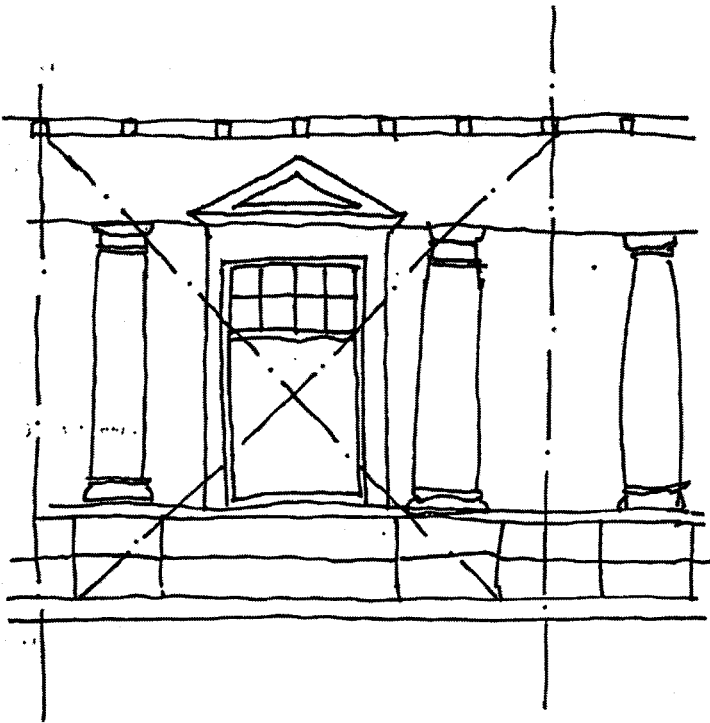
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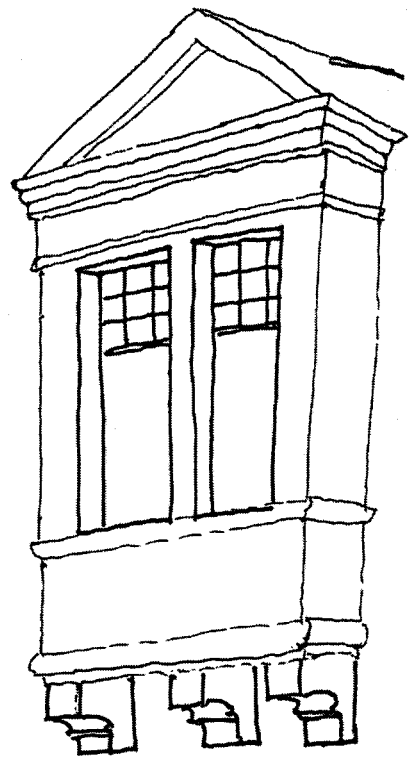
WINDOW TRIM



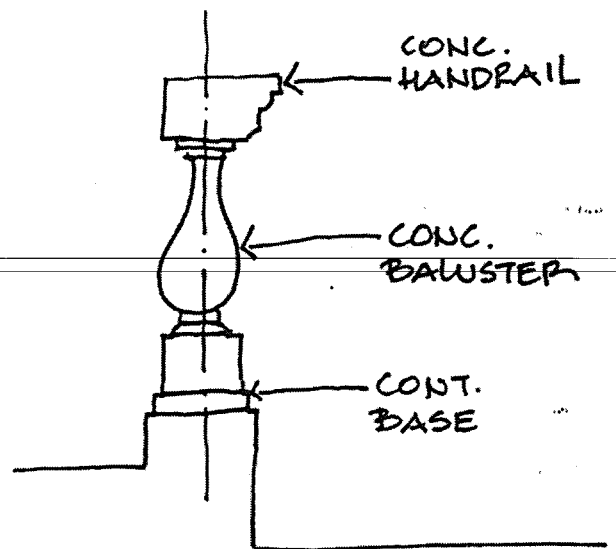
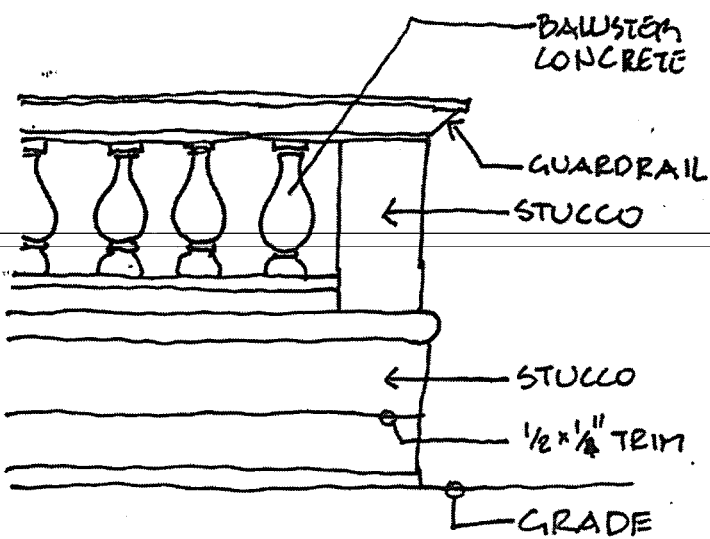


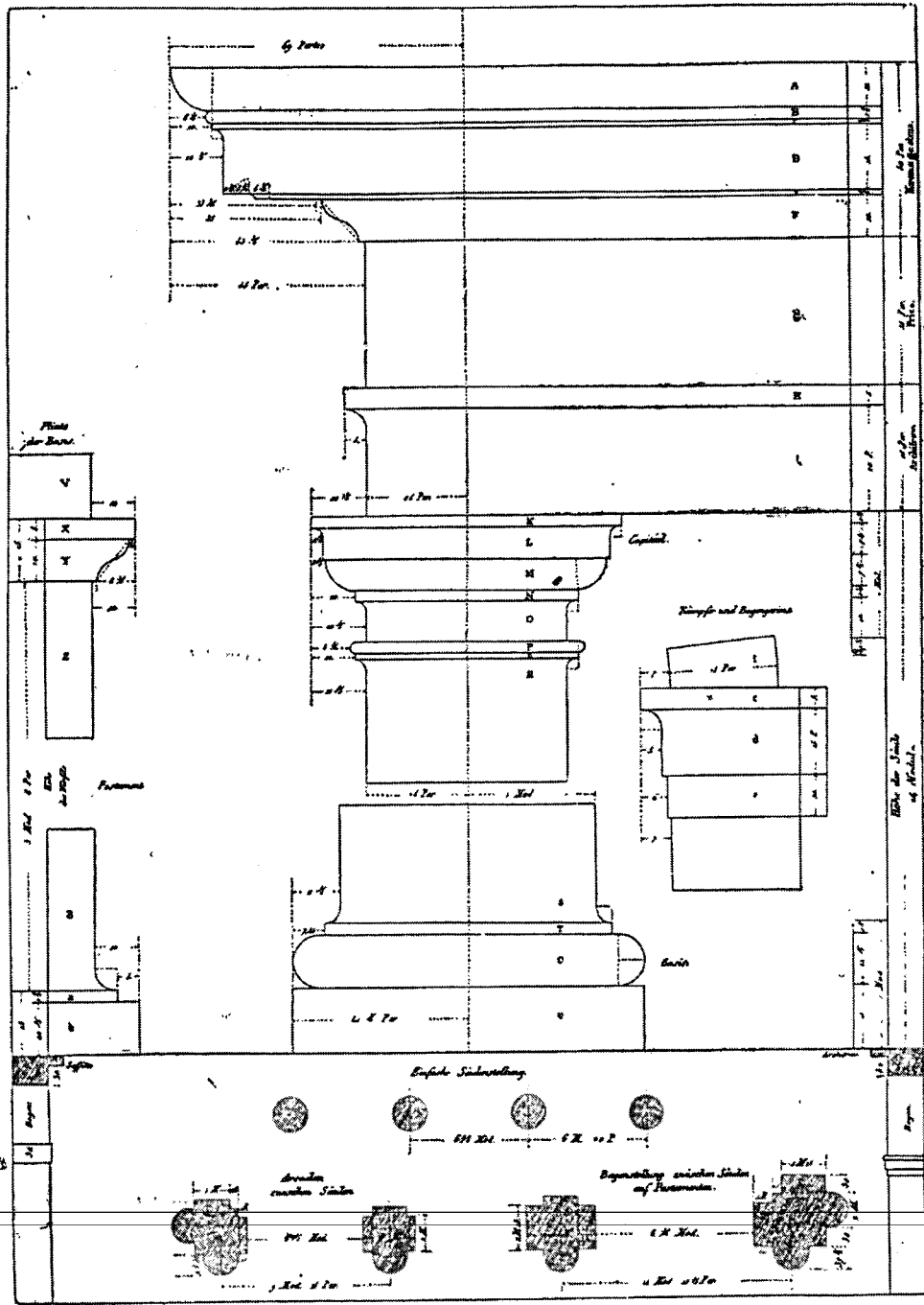


WINDOW/WALL PROPORTIONS

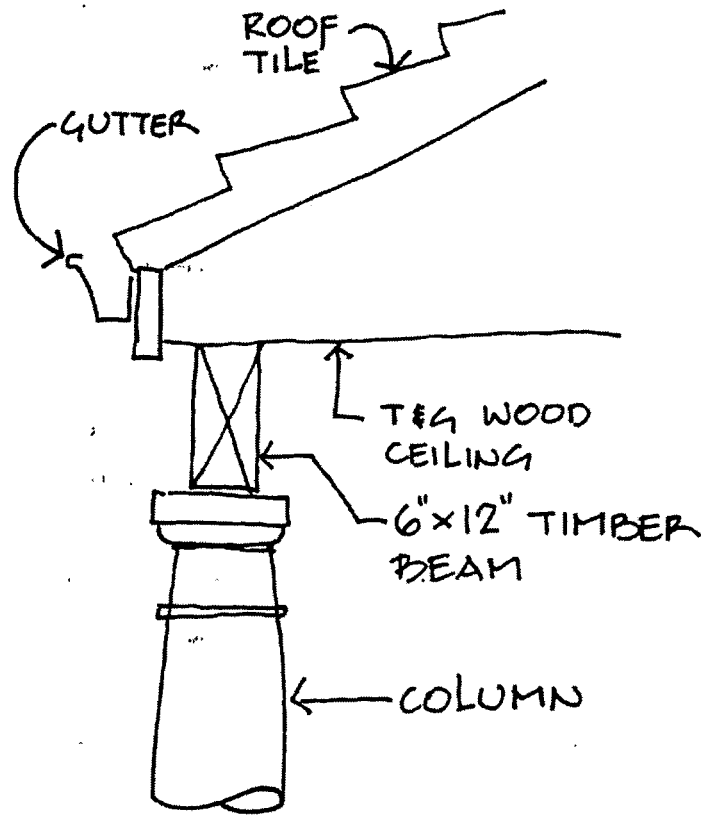


WINDOW PROJECTION

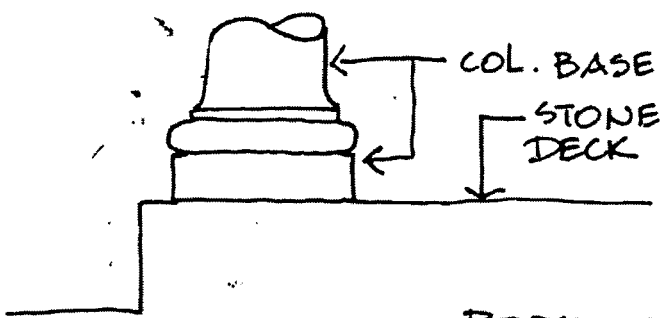




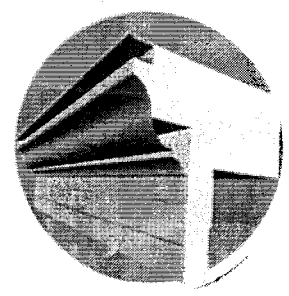
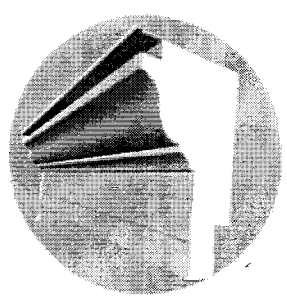
TOSCAN ORDER



PORCH DETAIL



PORCH DETAIL



5. PROJECT APPROVAL PROCESS:

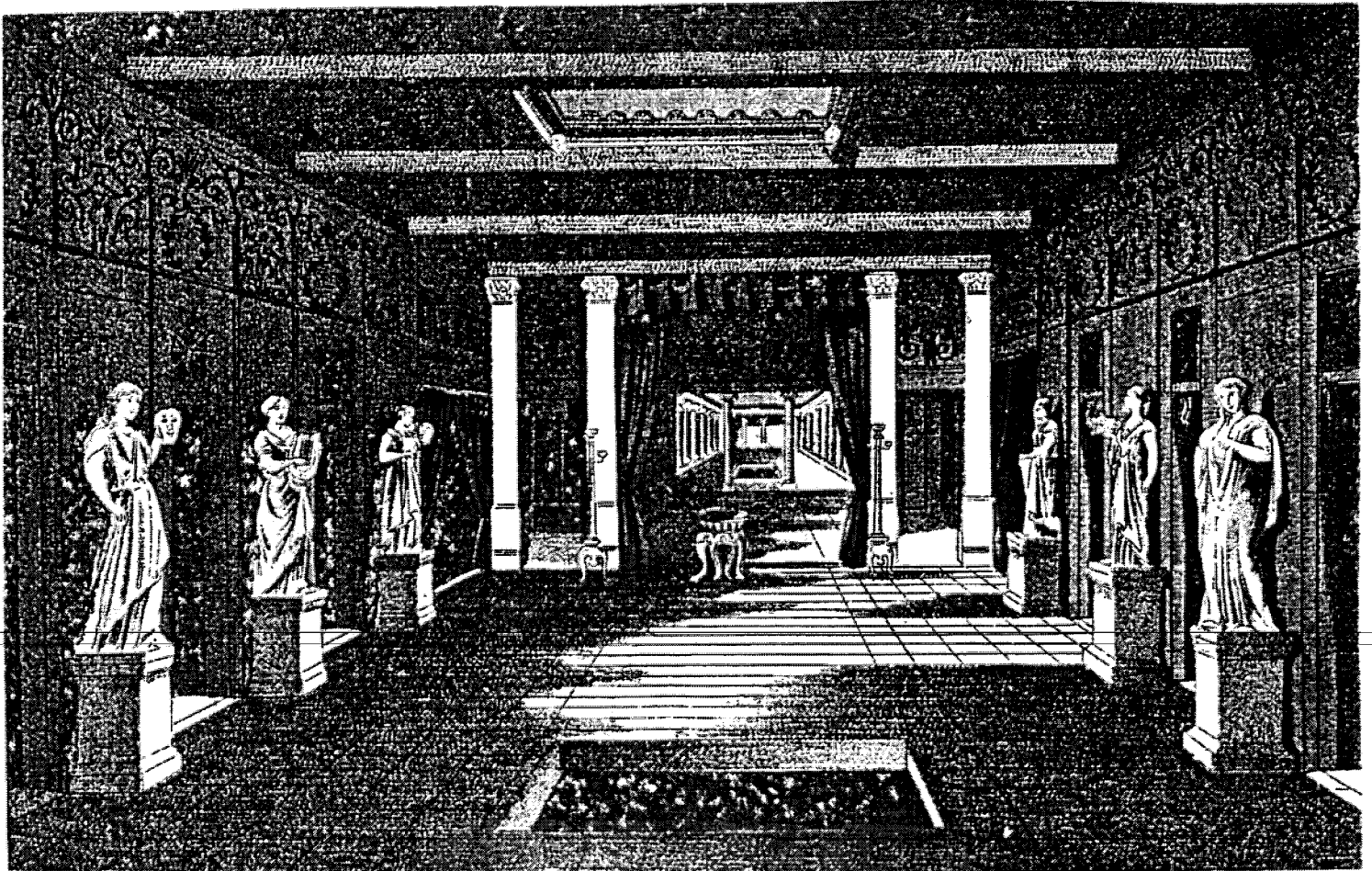
5.a City Planning Department

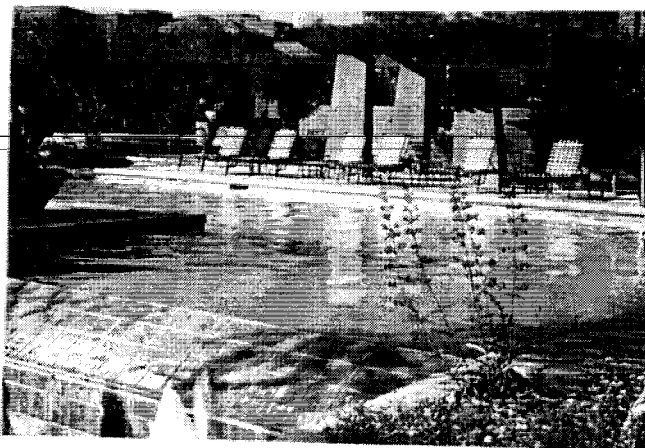
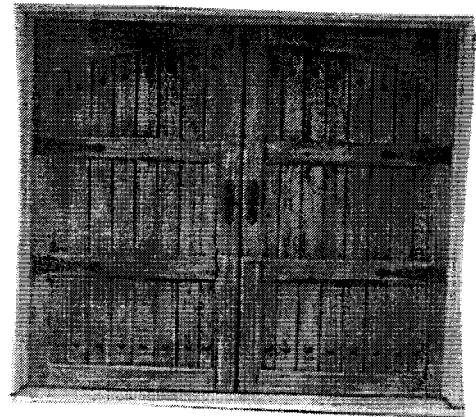
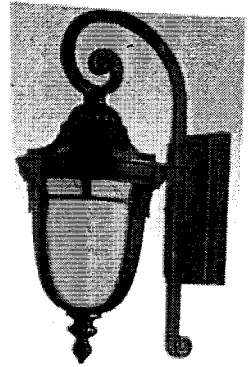
City Planning Department will appoint a planner to work with the design team and the Owner on the Project to satisfy the requirements of the Guidelines as well as City Zoning requirements.

The project Design will be approved by the Planning Department at the Staff level.

5.b City Building Department

Project construction documents will reviewed and approved by the City Building Department including Engineering Dept in order to obtain a Building Permit.





PROJECT DESCRIPTION: Liliom Restaurant

There is a shortage of fine restaurants and venues to hold special events in the South Livermore Valley Area. As a developing and beautiful wine-growing region, there are more and more people interested in visiting the Livermore Valley. It is becoming a premier tourist destination for those who enjoy fine food and wine, as well as the vineyard setting for weddings, parties and special events. There is a current overflow of these tourists from the Napa/Sonoma region. Liliom restaurant would be a great added value not only for tourists but also residents of this exquisite wine region. Furthermore, there are only few numbers of these quality venues on the Pleasanton side of this developing wine region. The Nagys believe that this is the best possible use for the existing building and the 36 acre vineyard.

Although an elegant and fine-cuisine restaurant, the family operated Liliom Restaurant would be a warm and friendly setting both for families and professionals looking for a touch of class. The master chef would create an experience for your pallet that will take you from the Italian Riviera to the shores of the Danube to the coast of California.

In addition to a gourmet restaurant, Liliom would serve as a venue for special events. Liliom would be the perfect location for elegant and romantic weddings. In cooperation with local wineries, wine tasting would be held to promote the Livermore Wine Country as well as other California Wine regions. Liliom plans to hold periodical cooking and self-enrichment classes for adults as well as children.

Site Design:

The existing building, which was the former real estate sales center office for Ruby Hill, would be turned into a gourmet Restaurant to accommodate inside dinning, outside terrace dining and special events such as weddings inside the restaurant and outside on the patio.

No major modification is proposed to the exterior of the existing building. The interior would be modified to accommodate a gourmet kitchen and restaurant dining and banquets.

Besides the main dinning hall, the restaurant would be composed of various private banquet rooms. These private rooms will be suitable for every occasion from intimate family conversations to small special events.

The second floor of the restaurant will be used for banquets, special events and dinning. Offices as well as storage facilities will be upstairs.

The existing terrace at the rear of the building would be enlarged to encircle the building. The enlarged terrace would be designed in the same style as the existing terrace. A patio would be created away from Ruby Hill Development, sheltered by the existing building and dense vegetation. The patio, which stretches into the vineyard, would be used for

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outside wedding ceremonies, as people enjoy the vineyard setting for these special events.

The occupancy inside the restaurant would be 200 guests. The terrace would have occupancy of 100 guests.

Although the vineyard is fully leased and harvested by Wente Bros., a house labeled wine is planned to be sold at the restaurant.

Before the purchase of the property, general discussions about neighbor concerns were held during a meeting with the board of Ruby Hill HOA in the fall of 2005. The Nagys were had the opportunity to meet once again with the Board on 4-27-06, and a neighborhood meeting with residents of Ruby Hill was held on 6-29-06. As a result of these meetings, the Ruby Hill HOA sent a letter describing the concerns to the Nagys and the COP on 8-28-06.

With consideration to the comments, suggestions and concerns addressed during these meetings as well as written in the letter from the Ruby Hill HOA, the Site Plan as well as the Restaurant operation plan was created and then modified several times.

Entrance

To mitigate the concern of traffic congestion on Ruby Hill Blvd, a new and separate drive way off of Vineyard Avenue was designed 500 feet away from the main entrance to Ruby Hill Blvd. The location of the new driveway was designed with the suggestion of the COP Engineering Department. This design included a \$19,000 traffic study to mitigate concerns of traffic and safety issues. The site access will be designed to traffic study recommendations and the City of Pleasanton Engineering Department standards and requirements.

Parking

The parking lot layout was changed away from West Ruby Hill Drive to be among the vines, parallel to the private driveway. This change was done to mitigate the unwanted view of parked cars by residents driving on West Ruby Hill Drive. The view from the drive would not be changed but would remain of the vineyard. The revised parking lot would be further sheltered by additional dense vegetation and shrubbery to hide the parking lot from cars traveling on Ruby Hill Blvd. The dense vegetation would also hide the cars traveling on RH Blvd from guest and patrons dining at the restaurant.

The parking lot would provide a total of 91 parking spaces. Valet parking is proposed, and the parking attendants would park the guests' cars in the parking lot in order to facilitate on-site circulation.

In order to maintain the natural beauty of the area, the parking lot will use environmentally friendly materials such as densely compacted gravel, turf stone, pavers and recycled wood.

Lighting:

Although there are no Ruby Hill homes directly next to the property, it will be ensured that lights will not pass directly to the Ruby Hill Community. To mitigate concerns of lighting, low level lighting at 4 feet will be utilized along the driveway and in the parking lot. Lights from automobiles will be absorbed by the surrounding vineyard, dense landscaping and the building itself.

Sewer:

In discussions with the RH HOA, the Nagys requested to connect into their private sewer line. The Nagys proposed to install a booster pump with a lift station and pay for the maintenance of it. In the letter from the RH HOA (8-28-06) the Nagys were informed that the HOA is unwilling to allow any party access to their private sewer line. As a result, the Nagys have decided to construct a separate sewer lateral to tie in directly to the City of Pleasanton Line.

Hours of Operation

The restaurant would be open daily serving lunch and dinner and catering/hosting special events. In consideration to neighbors and neighboring events, the hours of operation are the following:

Sun to Thurs: 10AM to 10PM (staff cleaning and closing the restaurant until 11PM)

- Restaurant Dining: Last seating would be at 9-9:30 PM
- Terrace Dining: Closed at 10PM, last seating at 9-9:30 PM
- Patio and outside special events: Closed by 9PM

Friday, Saturday and the day before Holidays: 10AM to 11PM (staff cleaning and closing the restaurant until 12 Midnight)

- Restaurant Dining: Last seating would be at 10-10:30 PM
 - Terrace Dining: Closed at 11PM, last seating at 10-10:30 PM
 - Patio and outside special events: Closed by 9PM
-

Noise

Liliom Restaurant and the Nagys understand that noise from outdoor events and dining is a concern to residents of RH. There have been a number of steps taken to address these concerns.

First of all, the outside Patio area was created for special events such as wedding ceremonies and has been positioned to be hidden from Ruby Hill by the building itself which also buffers the sound of wedding ceremonies. The intent is to also use the building to mitigate the noise from arriving and departing vehicles at the valet circle.

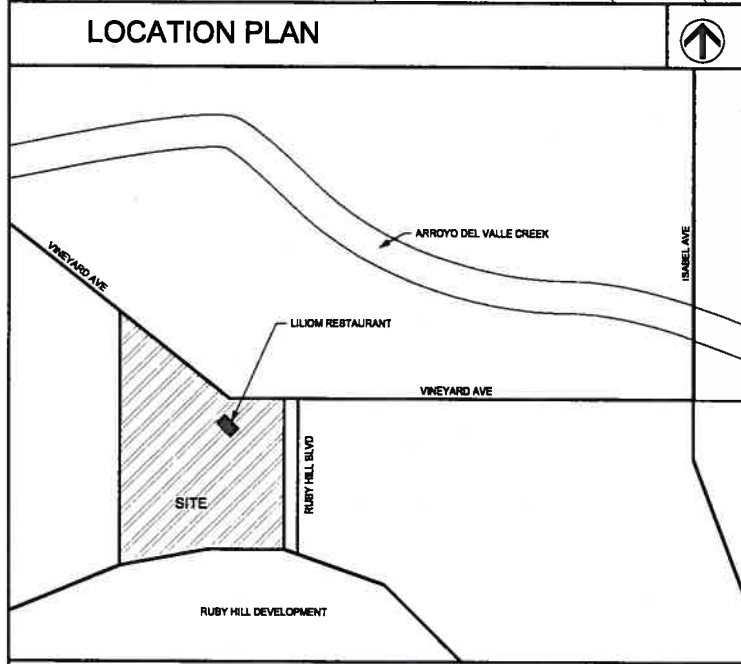
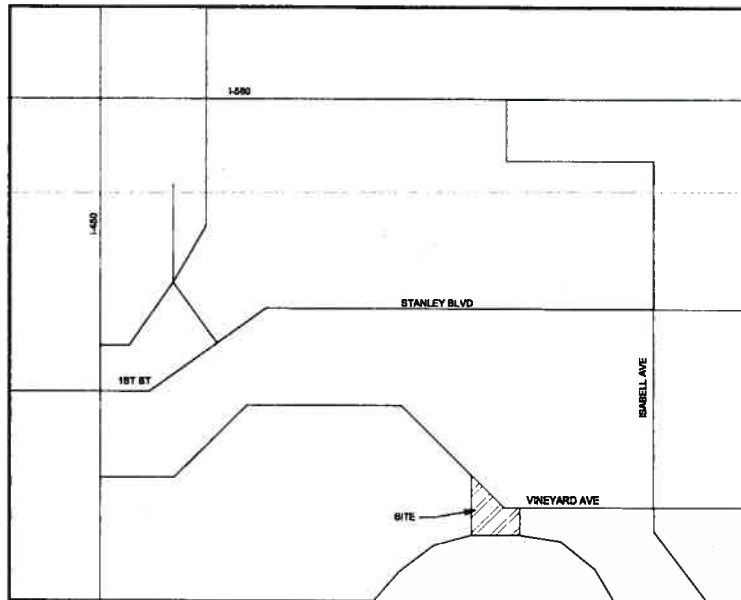
Furthermore, only acoustic music, with voice accompaniment, e.g. acoustic guitar, piano, or violin, would be played outside during special events such as wedding ceremonies. Such outside functions would also include a string quartet. Outdoor ceremonies on the patio would take place no later than 9PM.

Acoustic and amplified music would be played inside the restaurant for special events. During these event times, windows and doors would remain closed, but not locked. For dining purposes, acoustic instruments such as a piano would be played and windows and doors would be closed, but not locked by 9PM

Waste Management:

The waste management facility will be at the side of the restaurant screened with dense landscaping from the Ruby Hill Community and the restaurant. The facility will be designed to be architecturally compatible with the existing building.





DESIGN DATA	
OWNER: BARNABAS NAGY 2001 RUBY HILL ROAD PLEASANTON, CA 94568	
SITE AREA: 38 ACRES	
DEVELOPMENT AREA: 2.8 ACRES	
BUILDING AREA: EXISTING: main floor = 4136.3 sq. ft. 2nd floor = 2538.8 sq. ft. total = 6675.1 sq. ft.	
NEW: main floor = 4499 sq. ft. 2nd floor = 3340 sq. ft. basement = 9276 sq. ft. total = 17085 sq. ft.	
trash = 357 sq. ft.	
USE: FINE DINING RESTAURANT	
PARKING: 160 STALLS 6 HANDICAP (INCLUDED IN TOTAL)	
ZONING: PUD	
OCCUPANCY: A-3 (14571.8 SQ.FT. ~) B (237.8 SQ.FT. ~) S-1 (2288 SQ.FT. ~) CONSTRUCTION TYPE: V-N SPRINKLERED	
TOTAL OCCUPANCY INDOORS PER PLANNING DEPARTMENT RESTRICTION 180 PATRONS	
TOTAL OCCUPANCY TERRACE PER PLANNING DEPARTMENT RESTRICTION 80 PATRONS	

GENERAL NOTES:

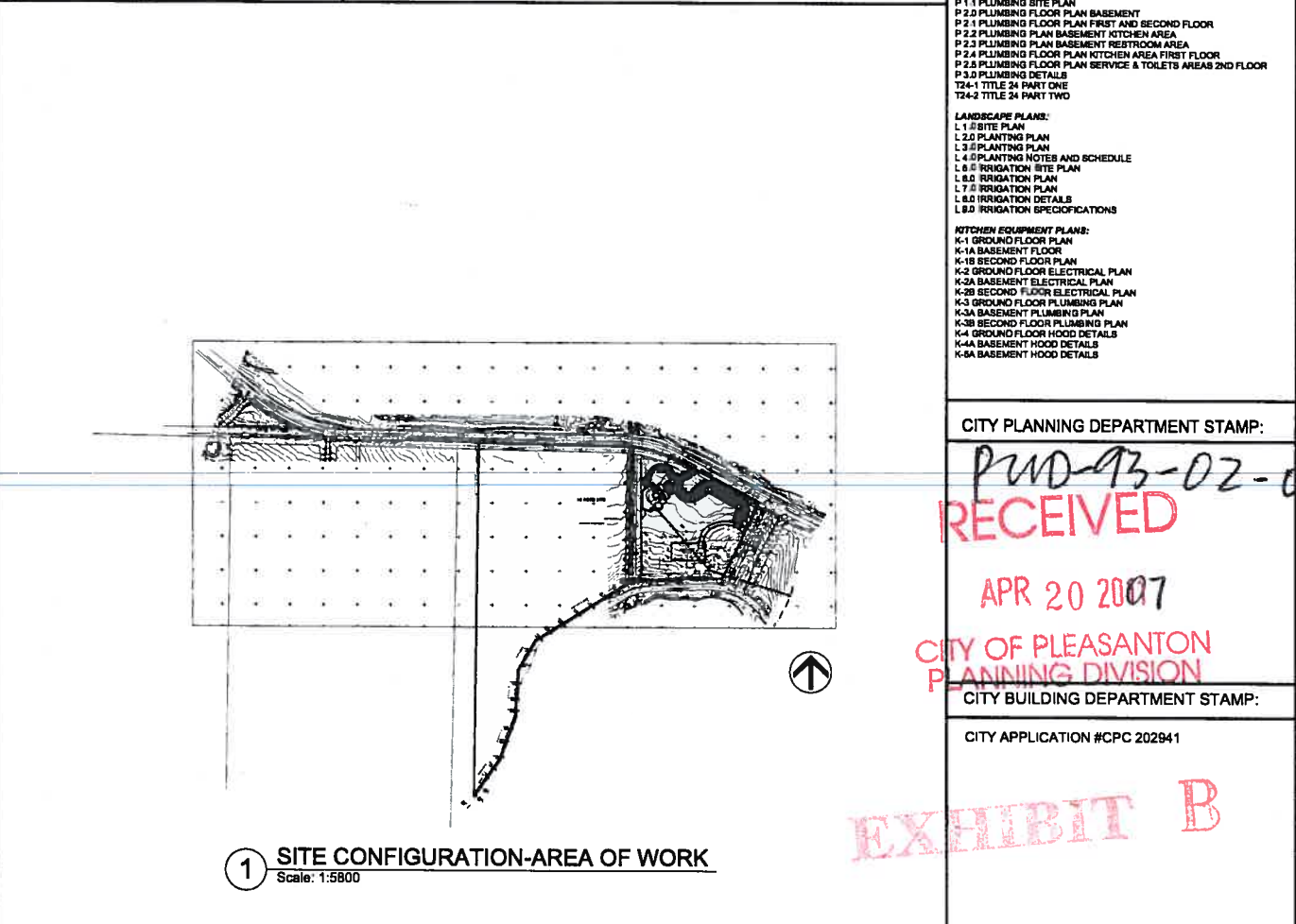
- GENERAL CONDITIONS:** THE CONTRACTOR SHALL COMPLY WITH THE CONDITIONS AND REQUIREMENTS OF THE CONTRACT AND THE CONTRACT DOCUMENTS. THIS DOCUMENT SHALL FORM PART OF THE SPECIFICATIONS SET FORTH HEREBIN.
- SAFETY MEASURES:** BUILDING WORKED ON AND OTHER PROPERTIES SHALL BE PROTECTED CONTINUOUSLY. OCCUPANTS AND OTHERS SHALL BE PROTECTED FROM ANY INJURY OR HEALTH HAZARD. ALL SAFETY CODES AND ORDINANCES SHALL BE ENFORCED.
- CONSTRUCTION CONDUCT:** THE CONTRACTOR SHALL SUPERVISE AND DIRECT WORK, USING THE CONTRACTOR'S BEST SKILL AND ABILITIES AS WELL AS ATTENTION TO CONSTRUCTION DOCUMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM THE CONSTRUCTION PROVIDED THE MEANS OF CONSTRUCTION METHODS, PROCEDURES, TECHNIQUES AND CO-ORDINATE ALL WORK UNDER THE CONTRACT.
- WORK LOCATION:** 2000 VINEYARD AVE, PLEASANTON, CA 94568 (AT RUBY HILL)
- CODES:** CONTRACTOR SHALL COMPLY WITH ALL LAWS, CODES AND ORDINANCES AND NOT LIMITED TO ITEMS LISTED BELOW:
SAFETY CODES FOR BUILDING CONSTRUCTION
CALIFORNIA ADMINISTRATIVE CODE TITLE 8
NFPA LATEST EDITION
ANY POLLUTION RESOLUTIONS
TITLE 24 CALIFORNIA ENERGY CODE 2005
CBC 2001
CEC 2004
CMC 2001
CFC 2001
CPC 2001
AND ALL EQUIVALENT UBC, UMC, UEC, UPC.
ALL PERTINENT COUNTY ORDINANCES.

IF THERE IS A CONFLICT BETWEEN CODES, MORE RESTRICTIVE ORDINANCE SHALL PREVAIL. IN CASE OF VARIANCE BETWEEN CODE AND THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE CONSULTANT RIGHT AWAY.

- SITE VISITS, INSPECTIONS AND VERIFICATION:** SCHEDULING CONSULTANT'S SITE VISITS SHALL BE CO-ORDINATED WITH THE OWNER AND THE CONSULTANT. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS TO INSURE PROPER FIT AND TIE BETWEEN NEW AND EXISTING CONSTRUCTION.
- SUBSTITUTES:** NO SUBSTITUTIONS FOR MATERIALS, METHODS, PROCESSES ETC, SPECIFIED OR SHOWN ON PLANS, SHALL BE MADE BY THE CONTRACTOR WITHOUT AUTHORIZATION (IN WRITING) BY THE CONSULTANT. THERE WILL BE ONLY A SEVEN DAY PERIOD ALLOWED FOR THE CONTRACTOR TO SUBMIT NECESSARY DATA SUPPORTING SUBSTITUTIONS MERIT.
- PROTECTION AND PROPERTY CARE:** DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL PROPERTY, INCLUDING LANDSCAPE AREAS. IN CASE OF DAMAGE, THE CONTRACTOR SHALL MAKE GOOD OF IT AT NO COST TO OWNER OR CONSULTANTS. IN CASE ANY UNDOCUMENTED CONDITION IS ENCOUNTERED, WHICH MAY INTERRUPT ANY SERVICES, THE WORK IN SUCH AREA SHALL STOP. PROMPT INFORMATION TO THE PROJECT MANAGER IS MANDATORY IN ORDER TO PROCEED FURTHER WITH WORK. ALL COMMUNICATION SHALL BE CONDUCTED IN WRITING. PROTECTION OF ALL SHOWN AND NOT SHOWN ON PLANS UTILITIES SHALL BE MANDATORY.
- CONTRACT DOCUMENTS:** CONTRACTOR SHALL BECOME FAMILIAR WITH THE DRAWINGS AND SPECIFICATIONS. IN CASE OF ANY ERRORS, NOTIFY THE CONSULTANT PRIOR TO BID SUBMITTAL. WRITTEN DIMENSIONS GOVERN OVER SCALED DIMENSIONS AND SIZES. IT IS THE INTENTION OF THESE DRAWINGS AND SPECIFICATIONS TO INCLUDE ALL ITEMS NECESSARY TO PERFORM THE WORK. HOWEVER NOT EVERY ITEM NECESSARY FOR WORK IS MENTIONED OR SHOWN. ALL SYSTEMS AND EQUIPMENT SHALL BE COMPLETE AND OPERABLE.
- SCHEDULING:** THE CONTRACTOR SHALL SUBMIT TO THE OWNER AN ITEMIZED WORK SCHEDULE SEVEN DAYS AFTER THE AWARD OF CONTRACT.
- RETROFIT:** DO ALL CUTTING, FITTING AND PATCHING IN ORDER TO COMPLETE THE WORK. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THIS WORK AND MAKE GOOD ANY DAMAGE CAUSED.
- CLEAN UP:** CLEARING OF DEMOLITION AREA AND REFUSE EVACUATION SHALL BE PERFORMED ON A DAILY BASIS. IF THE OWNER REQUIRES ADDITIONAL CLEAN UP, THE CONTRACTOR SHALL COMPLY. THE CONTRACTOR MUST CLEAN UP ALL EXPOSED SURFACES OF ALL OIL, DIRT, DUST, GREASE, ETC, CAUSED DURING AND UPON COMPLETION OF THE WORK ON THE PROJECT.
- SUBSTANTIAL COMPLETION:** MEANS THAT THE WORK WAS PERFORMED IN ACCORDANCE TO SPECIFICATIONS, DRAWINGS, ANY CHANGE ORDERS AND THE PREMISES ARE READY FOR USE INTENDED.
- CO-ORDINATION OF CONTRACTOR'S WORK:** CO-ORDINATION OF ALL WORK AND SUBCONTRACTORS AND ANY OTHER CONSTRUCTION ACTIVITIES ON THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- INTERRUPTION OF WORK:** THE WORK SHALL BE PERFORMED WITHOUT INTERRUPTION TO THE OWNER'S ACTIVITIES IN CASE THE PROJECT IS AN RETROFIT, REMODEL, ADDITION OR TENANT IMPROVEMENT.
- SIGNAGE:** NO SIGNAGE OF ANY SORT IS PERMITTED, EXCEPT CONTRACTOR'S LOGO LOCATED AT FRONT YARD OF THE BUILDING SITE.
- DOWN TIME SCHEDULING:** CONTRACTOR NEEDS TO CO-ORDINATE WITH THE OWNER DOWN TIME SCHEDULING AT LEAST THREE (3) WEEKS IN ADVANCE FOR THE SERVICES AFFECTED.
- PERMITS:** THE CONTRACTOR SHALL PAY FOR THE BUILDING AND TRADE PERMITS AND SECURE REQUIRED SIGN OFFS AND FINAL AUTHORITY HAVING JURISDICTION APPROVALS.
- TESTING:** UPON COMPLETION OF WORK THE CONTRACTOR SHALL PERFORM TESTING OF IMPROVEMENTS TO DEMONSTRATE PROPER OPERATION OF THE BUILDING SYSTEMS AND COMPONENTS. IN CASE OF DIFFICULTIES THE WORK OR MATERIAL SHALL BE CORRECTED AT NO COST TO THE OWNER.
- OPERATING DATA:** EQUIPMENT MAINTENANCE DATA AND OPERATION MANUALS SHALL BE SUBMITTED TO THE OWNER IN THREE (3) COPIES.
- REMOVAL OF DEBRIS AND REFUSE:** THE OWNER TO CO-ORDINATE AND DESIGNATE WHERE THE REFUSE WOULD BE DISPOSED OF.
- PAINTING:** PRIOR TO PAINTING WORK, THE CONTRACTOR SHALL VERIFY COLOR SAMPLES WITH THE OWNER.
- FIRE STOPPING:** PENETRATIONS THROUGH RATED WALLS AND FLOORS SHALL BE SEALED WITH MATERIALS ABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECT TO THE REQUIREMENTS OF THE TEST STANDARD SPECIFIC FOR FIRE STOPS ASTM-6-814.
- ELECTRICAL/LIGHTING:** ALL ELECTRICAL/LIGHTING AND HVAC SHALL CONFORM TO TITLE 24 REQUIREMENTS.
- NEW CONSTRUCTION:** DO ALL NEW CONSTRUCTION IN ACCORDANCE TO DRAWINGS AND SPECIFICATIONS AND GOOD CONSTRUCTION PRACTICES.

SYMBOL LEGEND:

	INTERIOR ELEVATION MARKER
	DETAIL CALLOUT WITH DETAIL NUMBER ON TOP AND SHEET # AT BOTTOM
	SECTION CALLOUT
	LEVEL ELEVATION MARKER
	REVISION MARK
	CONCRETE
	GRAVEL
	GYP. BRD
	WATERPROOF MEMBRANE
	DIMENSIONAL LUMBER
	FIBERGLASS BATT INSULATION
	CALLOUT NOTE
	STAIR RAMP DIRECTION ARROW
	COLUMN
	NORTH ARROW
	WINDOW MARKER
	DOOR MARKER



DRAWING LIST:

ARCHITECTURAL PLANS:

- A-101 DESIGN DATA
- A-102 SITE PLAN
- A-103 EXISTING FLOOR PLANS
- A-201 ACCESSIBILITY DATA-CEILING DATA
- A-202 EXISTING FLOOR PLANS
- A-203 ACCESSIBILITY STANDARDS
- A-301 MAIN FLOOR PLAN
- A-302 SECOND FLOOR PLAN
- A-303 ROOF PLAN
- A-304 BASEMENT PLAN
- A-305 1ST FLOOR CEILING PLAN
- A-306 2ND FLOOR CEILING PLAN
- A-307 BASEMENT CEILING PLAN
- A-308 DECK AND FLOOR PLAN
- A-309 FLOOR AREAS-GROSS
- A-401 FRONT AND SIDE ELEVATIONS
- A-402 REAR AND SIDE ELEVATIONS
- A-501 SECTIONS
- A-601 SCHEDULES
- A-602 STAIR DETAILS
- A-603 BATHROOM PLANS
- A-604 ELEVATOR DATA
- A-605 CEILING AND WALL BRACING DETAILS
- A-606 ASSEMBLY FIRE RATING 1
- A-607 ASSEMBLY FIRE RATING 2
- A-701 DETAILS 1
- A-702 DETAILS 2
- A-703 DETAILS 3
- A-704 RAMPS AND DECK STAIRS
- A-801 HANDRAILES
- A-802 FOUNTAIN AND BOLLARDS
- A-803 GARDEN WALLS
- A-804 SIDEWALK
- A-805 GATE DESIGN
- A-806 DECK AREAS
- A-807 MAIN FLOOR AREAS
- A-808 2ND FLOOR AREAS
- A-809 BASEMENT AREAS
- A-810 NOT USED
- A-906 CBC 2001 ACCESSIBILITY DIAGRAMS
- A-907 CBC 2001 ACCESSIBILITY DIAGRAMS
- A-908 CBC 2001 ACCESSIBILITY DIAGRAMS
- A-909 CBC 2001 ELEVATOR ACCESSIBILITY AND FIRE DEPT NOTES

CIVIL ENGINEERING PLANS:

- 1. TITLE SHEET
- 2. NOTES
- 3. DETAILS AND TYPICAL SECTION
- 4. PLAN AND PROFILE
- 5. PLAN AND PROFILE
- 6. PLAN AND PROFILE

STRUCTURAL PLANS:

- S-1 FOUNDATION PLAN
- S-2 LOWER FLOOR FRAMING PLAN
- S-3 FIRST FLOOR FRAMING PLAN
- S-4 ROOF PLAN
- S-5 STRUCTURAL DETAILS
- S-6 STRUCTURAL DETAILS
- S-7 STRUCTURAL DETAILS

MECHANICAL/ELECTRICAL/PLUMBING PLANS:

- M 1.0 GENERAL NOTES, SYMBOL LEGENDS
- M 2.0 HVAC PLAN BASEMENT
- M 2.1 HVAC PLAN FIRST FLOOR
- M 2.2 HVAC PLAN 2ND FLOOR
- M 2.3 HVAC ROOF PLAN
- M 3.0 MECHANICAL DETAILS
- M 3.1 MECHANICAL CONTROLS
- E 1.0 GENERAL NOTES SINGLE LINE DIAGRAMS
- E 1.1 ELECTRICAL SITE PLAN
- E 1.2 PHOTOMETRIC ANALYSIS
- E 1.3 SINGLE LINE DIAGRAM FEEDER SCHEDULE AND MAIN SWITCH BRD
- E 2.1 ELECTRICAL LIGHTING PLAN 1ST FLOOR PLAN
- E 2.2 ELECTRICAL LIGHTING PLAN SECOND FLOOR PLAN
- E 2.3 ELECTRICAL LIGHTING PLAN BASEMENT
- E 3.1 ELECTRICAL POWER PLAN FIRST FLOOR
- E 3.2 ELECTRICAL POWER PLAN 2ND FLOOR
- E 3.3 ELECTRICAL POWER PLAN BASEMENT
- E 3.4 ELECTRICAL POWER PLAN ROOF
- E 4.0 ELECTRICAL PANEL SCHEDULE
- E 5.0 ELECTRICAL DETAILS
- P 1.0 PLUMBING GENERAL NOTES
- P 1.1 PLUMBING SITE PLAN
- P 2.1 PLUMBING FLOOR PLAN BASEMENT
- P 2.1 PLUMBING FLOOR PLAN FIRST AND SECOND FLOOR
- P 2.2 PLUMBING PLAN BASEMENT KITCHEN AREA
- P 2.3 PLUMBING PLAN BASEMENT RESTROOM AREA
- P 2.4 PLUMBING FLOOR PLAN KITCHEN AREA FIRST FLOOR
- P 2.5 PLUMBING FLOOR PLAN SERVICE & TOILETS AREAS 2ND FLOOR
- P 3.0 PLUMBING DETAILS
- T24-1 TITLE 24 PART ONE
- T24-2 TITLE 24 PART TWO

LANDSCAPE PLANS:

- L 1.0 SITE PLAN
- L 2.0 PLANTING PLAN
- L 3.0 PLANTING PLAN
- L 4.0 PLANTING NOTES AND SCHEDULE
- L 5.0 IRRIGATION SITE PLAN
- L 6.0 IRRIGATION PLAN
- L 7.0 IRRIGATION PLAN
- L 8.0 IRRIGATION DETAILS
- L 8.0 IRRIGATION SPECIFICATIONS

KITCHEN EQUIPMENT PLANS:

- K-1 GROUND FLOOR PLAN
- K-1A BASEMENT FLOOR
- K-1B SECOND FLOOR PLAN
- K-2 GROUND FLOOR ELECTRICAL PLAN
- K-2A BASEMENT ELECTRICAL PLAN
- K-2B SECOND FLOOR ELECTRICAL PLAN
- K-3 GROUND FLOOR PLUMBING PLAN
- K-3A BASEMENT PLUMBING PLAN
- K-3B SECOND FLOOR PLUMBING PLAN
- K-4 GROUND FLOOR HOOD DETAILS
- K-4A BASEMENT HOOD DETAILS
- K-5A BASEMENT HOOD DETAILS

CITY PLANNING DEPARTMENT STAMP:
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CITY BUILDING DEPARTMENT STAMP:
CITY APPLICATION #CPC 202941

DATE: 10-12-07
SCALE:
DRAWN BY: MS
PROJECT #: 07-017
DRAWING #: A-101

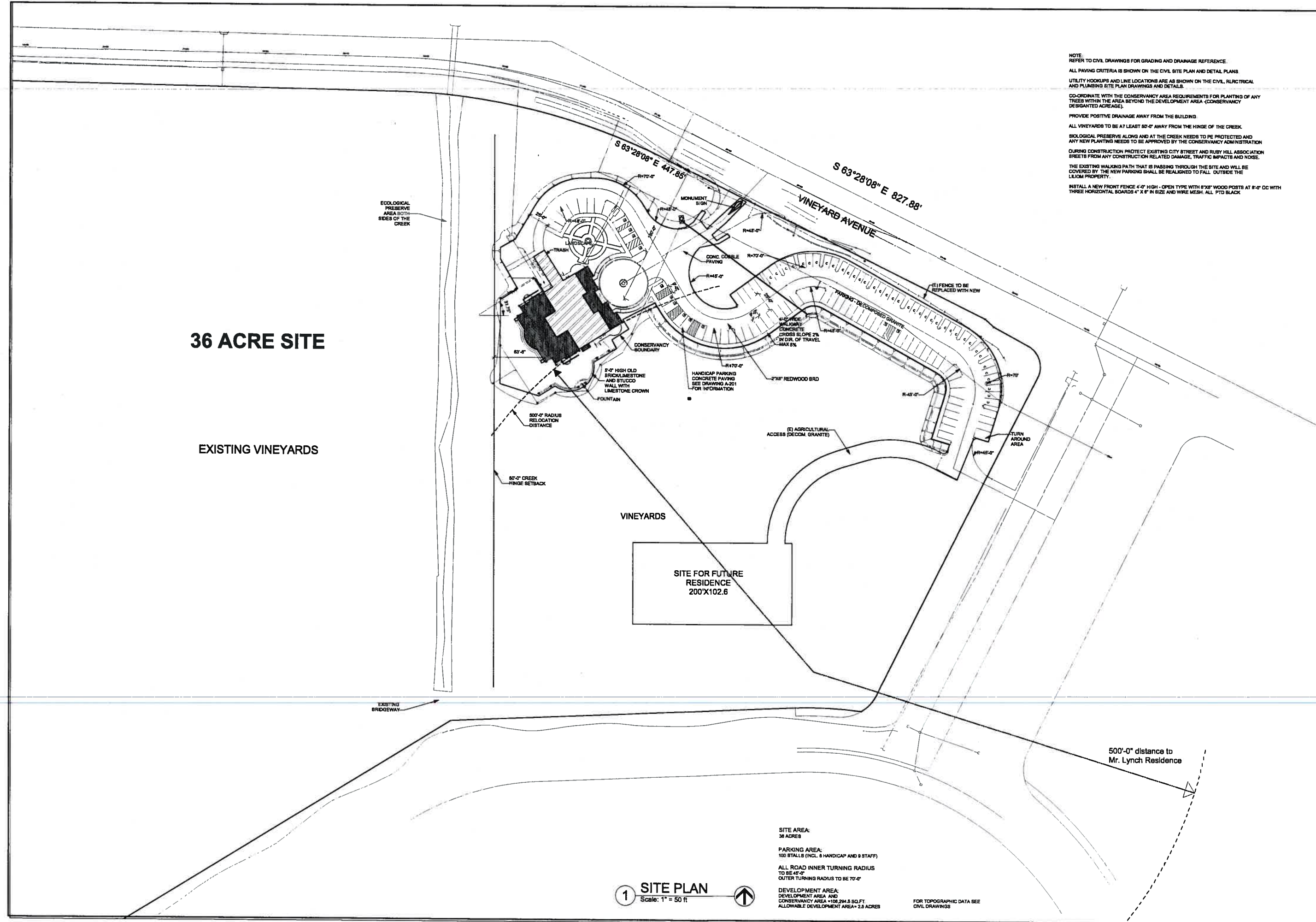
MARK STOKLOSA ARCHITECT INC

480 SAINT JOHN STREET
SUITE 220
PLEASANTON, CA 94568
925 484 2864
925 484 9817

LILLIOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

36 ACRE SITE

EXISTING VINEYARDS



NOTE:
REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE REFERENCE.
ALL PAVING CRITERIA IS SHOWN ON THE CIVIL SITE PLAN AND DETAIL PLANS
UTILITY HOOKUPS AND LINE LOCATIONS ARE AS SHOWN ON THE CIVIL, ELECTRICAL AND PLUMBING SITE PLAN DRAWINGS AND DETAILS.
COORDINATE WITH THE CONSERVANCY AREA REQUIREMENTS FOR PLANTING OF ANY TREES WITHIN THE AREA BEYOND THE DEVELOPMENT AREA (CONSERVANCY DESIGNATED ACREAGE).
PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
ALL VINEYARDS TO BE AT LEAST 80'-0" AWAY FROM THE HINGE OF THE CREEK.
BIOLOGICAL PRESERVE ALONG AND AT THE CREEK NEEDS TO BE PROTECTED AND ANY NEW PLANTING NEEDS TO BE APPROVED BY THE CONSERVANCY ADMINISTRATION.
DURING CONSTRUCTION PROTECT EXISTING CITY STREET AND RUBY HILL ASSOCIATION STREETS FROM ANY CONSTRUCTION RELATED DAMAGE, TRAFFIC IMPACTS AND NOISE.
THE EXISTING WALKING PATH THAT IS PASSING THROUGH THE SITE AND WILL BE COVERED BY THE NEW PARKING SHALL BE REALIGNED TO FALL OUTSIDE THE LILJOM PROPERTY.
INSTALL A NEW FRONT FENCE 4'-0" HIGH - OPEN TYPE WITH 8"x8" WOOD POSTS AT 8'-0" OC WITH THREE HORIZONTAL BOARDS 4" X 8" IN SIZE AND WIRE MESH ALL PTD BLACK.

2	CITY	MS
1	CITY	MS

MARK STOKLOSA ARCHITECT INC

480 SAINT JOHN STREET
SUITE 220
PLEASANTON, CA 94566
925 484 2094
925 484 9617

**LILJOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY**

SITE PLAN

DATE:	10-12-07
SCALE:	
DRAWN BY:	MS
PROJECT #	07-017
DRAWING #	

A-102

1 SITE PLAN

Scale: 1" = 50 ft

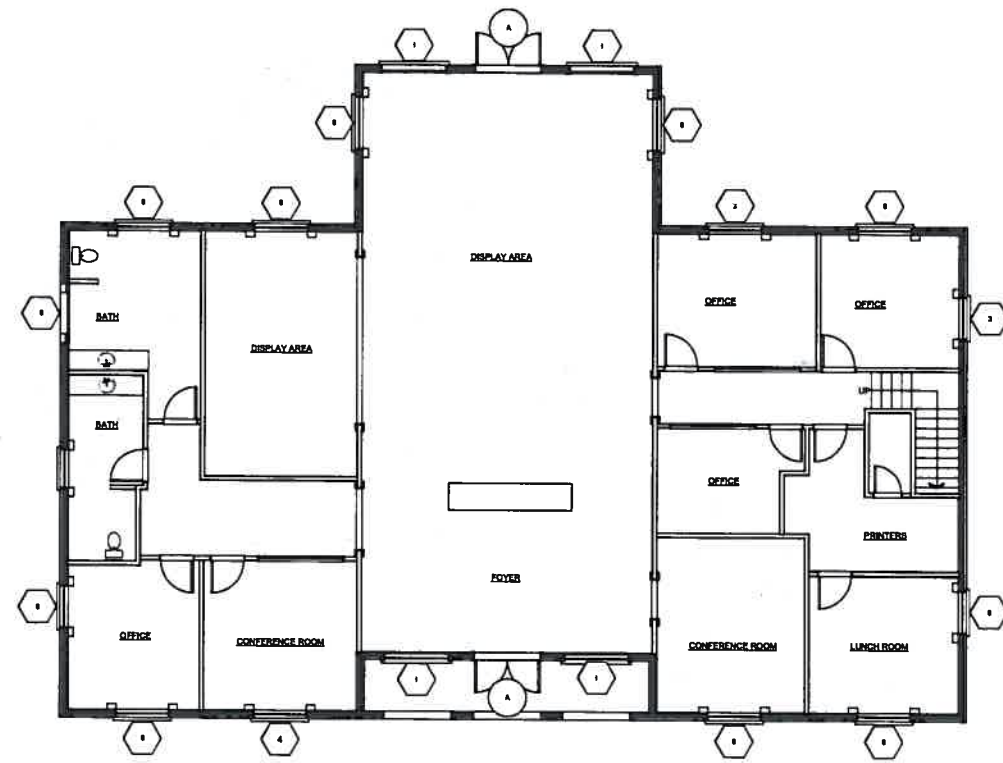
SITE AREA:
36 ACRES

PARKING AREA:
100 STALLS (INCL. 8 HANDICAP AND 9 STAFF)

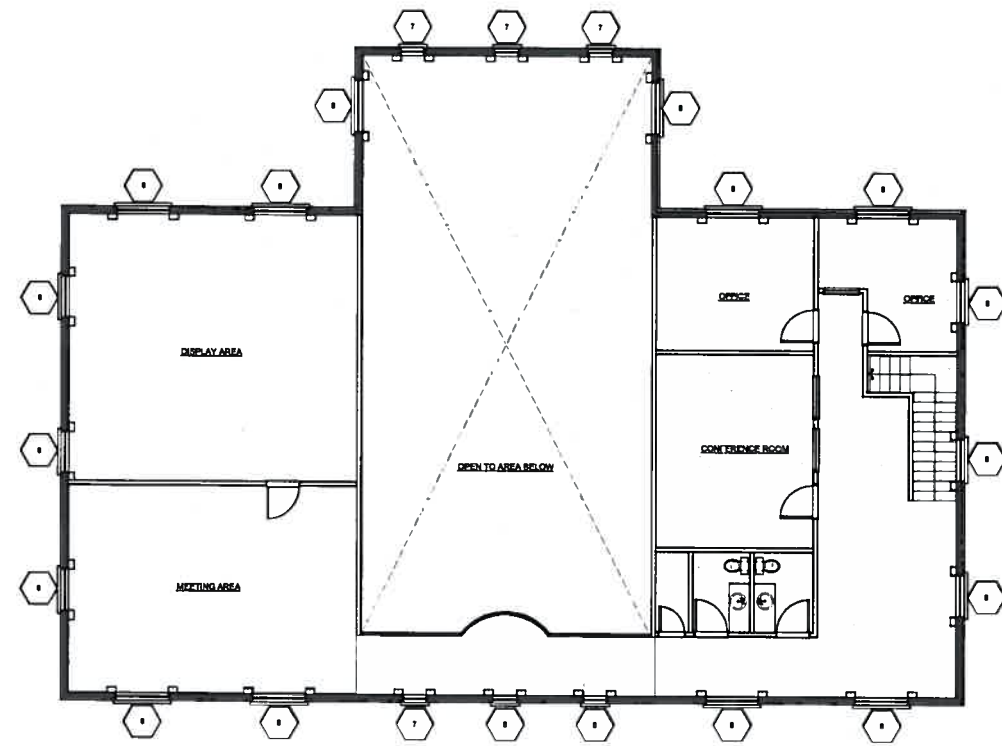
ALL ROAD INNER TURNING RADIUS
TO BE 45'-0"
OUTER TURNING RADIUS TO BE 70'-0"

DEVELOPMENT AREA:
DEVELOPMENT AREA AND
CONSERVANCY AREA = 108,294.5 SQ.FT.
ALLOWABLE DEVELOPMENT AREA = 2.5 ACRES

FOR TOPOGRAPHIC DATA SEE
CIVIL DRAWINGS



1 (E) MAIN FLOOR PLAN
 Scale: 1/8" = 1'-0" 4119 SQ.FT.



2 (E) 2 ND FLOOR PLAN
 Scale: 1/8" = 1'-0"

2	CITY	MS
	STATE	
	CITY	MS
	STATE	

MARK
 STOKLOSA
 ARCHITECT
 INC

450 SAINT JOHN STREET
 SUITE 220
 PLEASANTON, CA 94566
 925 454 2884
 925 454 9517

LILJOM FINE DINING CUISINE RESTAURANT
 AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
 FOR BARNABAS NAGY

EXISTING FLOOR PLANS

DATE	10-12-07
SCALE	
DRAWN BY	MS
PROJECT #	07-017
DRAWING #	

A-202

2	CITY 8-1-08	MS
1	CITY 3-0-08	MS

MARK STOKLOSA ARCHITECT INC







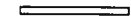

450 BART JOHN STREET
SUITE 220
PLEASANTON, CA 94588
925 484 2884
925 484 9817

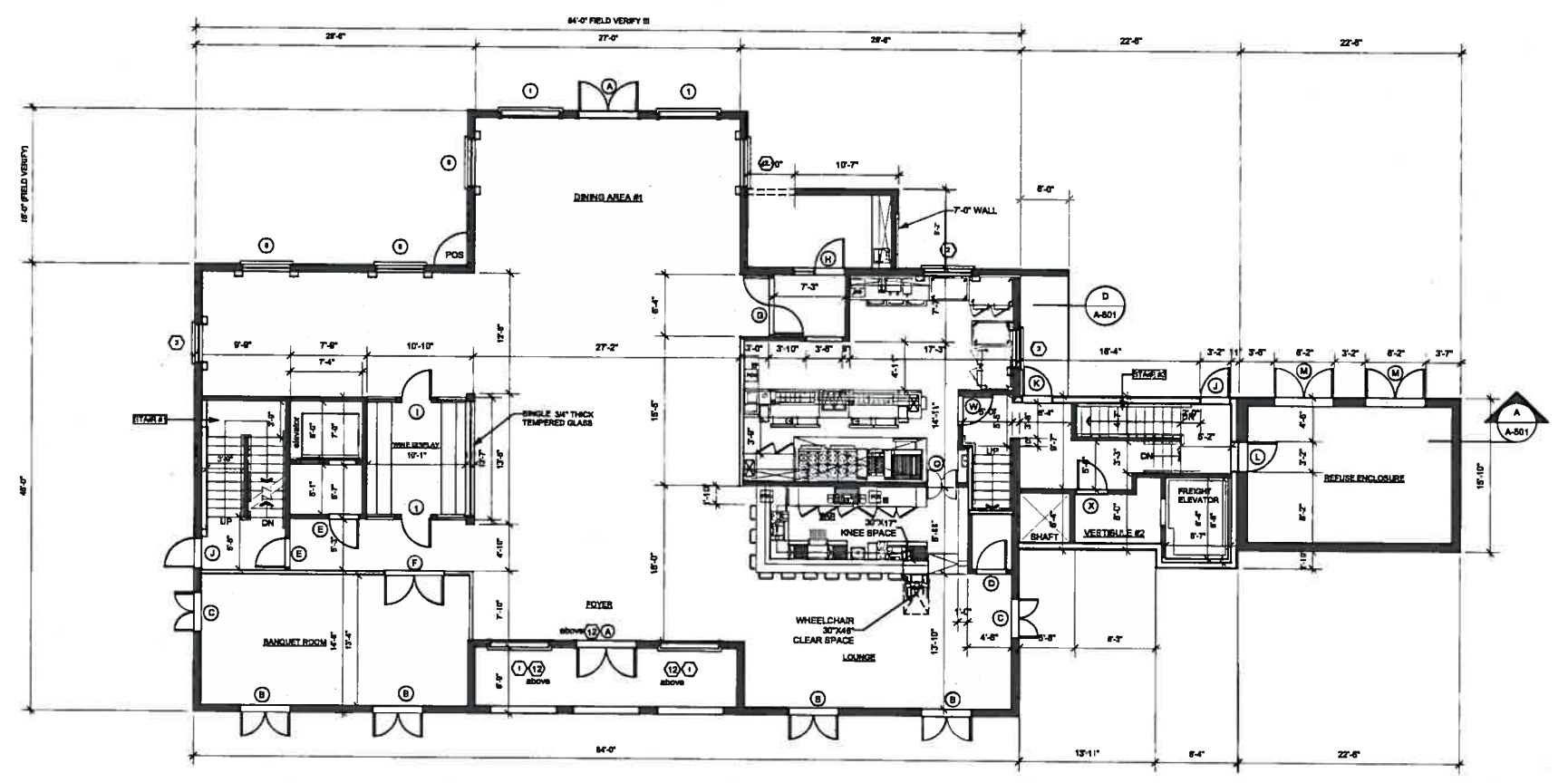
**LILLOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY**

NEW MAIN FLOOR

DATE:	10-12-07
SCALE:	1/8" = 1'-0"
DRAWN BY:	MS
PROJECT #:	07-017
DRAWING #:	

A-301

- LEGEND:**
-  EXISTING INTERIOR WALL
5/8" GYP. BRD. TYPE-X
2"x4" WOOD STUDS AT 16" OC
5/8" GYP. BRD. TYPE-X
 -  EXISTING EXTERIOR WALL:
STUCCO
BUILDING PAPER
3/8" PLYWOOD
2"x6" WOOD STUDS AT 16" OC
R-23 INSULATION
5/8" GYP. BRD. TYPE-X
(FIELD VERIFY WALL COMPONENTS)
 -  12" CONCRETE WALL
 -  NEW INTERIOR WALL:
5/8" GYPSUM BOARD TYPE-X
3/8" METAL STUDS AT 16" OC
R-11 INSULATION
5/8" GYP. BRD. TYPE-X
 -  NEW TOSCAN COLUMN:
12" DIAMETER, COMPOSITE
MATERIAL WITH FIBERGLASS
PROVIDE SHOP DRAWINGS FOR THE
COLUMNS, PAINTED WHITE.
TWO PIECE CONFIGURATION
FILL IN JOINT TO ACHIEVE SMOOTH
COLUMN FACE.
 -  WROUGHT IRON, HANDRAIL, 3'-0" HIGH
WITH 1 1/2" DIA BALLUSTERS AT 4' OC
HANDRAIL TO BE 2" DIA WROUGHT IRON,
GUARDRAIL TO BE PAINTED.
 -  3'-0" HIGH WALL, WITH WOOD CAP
5/8" GYP. BRD. TYPE-X EACH SIDE OF
2"x4" WOOD STUDS AT 16" OC
 -  12" X 12" COLUMN (8" X 8" WOOD POST CLAD IN TWO 5/8"
GYPSUM BOARD TYPE-X)



1 MAIN FLOOR PLAN
Scale: 1/8" = 1'-0"



2	CITY	MS
1	CITY	MS

MARK STOKLOSA ARCHITECT INC

480 BART JOHN STREET
SUITE 220
PLEASANTON, CA 94566
925 484 2984
925 484 9617








**LILJOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY**

NEW 2ND FLOOR PLAN

DATE	10-12-07
SCALE	1/8" = 1'-0"
DRAWN BY	MS
PROJECT #	07-017
DRAWING #	

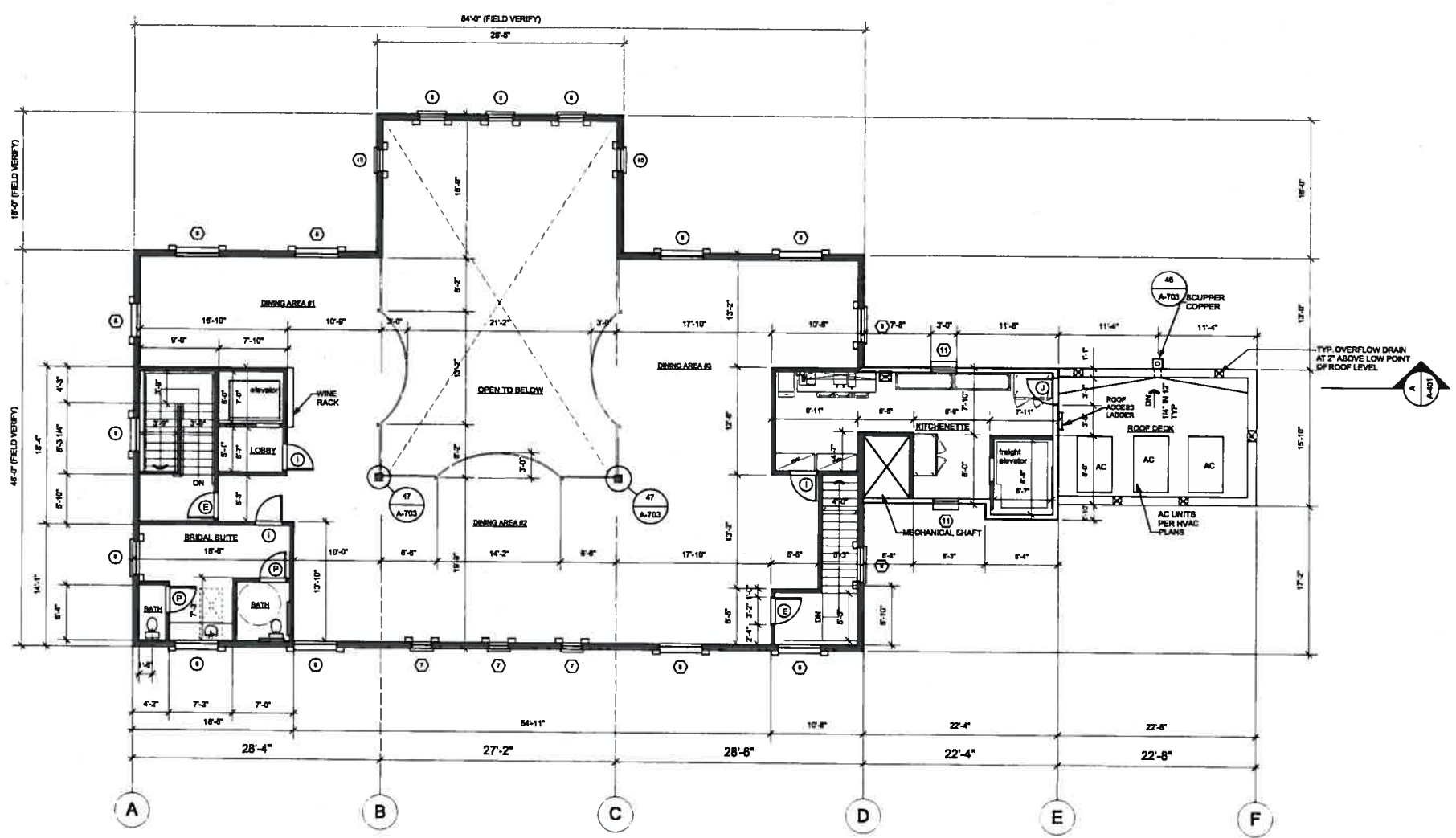
A-302

LEGEND:

-  EXISTING INTERIOR WALL:
5/8" GYP BRD TYPE-X
2"x4" WOOD STUDS AT 16" OC
5/8" GYP BRD TYPE-X
-  EXISTING EXTERIOR WALL:
STUCCO
BUILDING PAPER
3/8" PLYWOOD
2"x6" WOOD STUDS AT 16" OC
R-23 INSULATION
5/8" GYP BRD TYPE-X
(FIELD VERIFY WALL COMPONENTS)
-  12" CONCRETE WALL
-  NEW INTERIOR WALL:
5/8" GYPSUM BOARD TYPE-X
3/8" METAL STUDS AT 16" OC
R-11 INSULATION
5/8" GYP BRD TYPE-X
-  NEW 12" X 12" COLUMN PAINTED WHITE
8" X 8" WOOD POST CLAD IN (2) - 5/8" GYPSUM BOARD TYPE-X
-  WROUGHT IRON HANDRAIL 3'-6" HIGH
WITH 1/2" DIA BALLUSTERS AT 4" OC
HANDRAIL TO BE 2" DIA WOOD VARNISHED
GUARDRAIL TO BE PAINTED BLACK
-  3'-0" HIGH WALL WITH WOOD CAP
5/8" GYP BRD TYPE-X EACH SIDE OF
2"x4" WOOD STUDS AT 16" OC




NOTES:

- INSTALL ROOF SCUPPER IN ACCORDANCE TO THE REQUIREMENTS OF THE PLUMBING CODE. OVERFLOW DRAINS TO BE INSTALLED AND DISCHARGED PER CBC 1908.
- VERIFY ALL ON SITE EXISTING BUILDING CONDITIONS TO INSURE PROPER FIT AND TIE BETWEEN EXISTING AND NEW CONSTRUCTION
- FOR BATHROOMS SEE SHEET A-304



2 2ND FLOOR PLAN
Scale: 1/8" = 1'-0"
3740 SQ.FT.

LEGEND

-  5/8" GYPSUM BOARD TYPE-X
 3/8" WOOD STUDS AT 16" OC
 5/8" GYPSUM BOARD TYPE-X
-  12" CONCRETE RETAINING / BASEMENT WALL
 SMOOTH FINISH INSIDE
 ON OUTSIDE INSTALL WATERPROOF MEMBRANE
 1/8" PROTECTION BOARD AND 12" GRAVEL TRENCH
 AT BOTTOM OF THE FOUNDATION INSTALL 4" DIA
 PERFORATED PVC DRAIN LINE IN DRAIN FABRIC
-  12" CONCRETE RETAINING/BASEMENT WALL
 ON INSIDE INSTALL 1 5/8" MTL STUDS AT 16" OC
 AND 5/8" GYPSUM BOARD TYPE-X
 ON OUTSIDE INSTALL WATERPROOF MEMBRANE
 1/8" PROTECTION BOARD AND 12" GRAVEL TRENCH
 AT BOT. OF WALL FOUNDATION INSTALL 4" DIA
 PERFORATED PVC DRAIN LINE IN DRAIN FABRIC

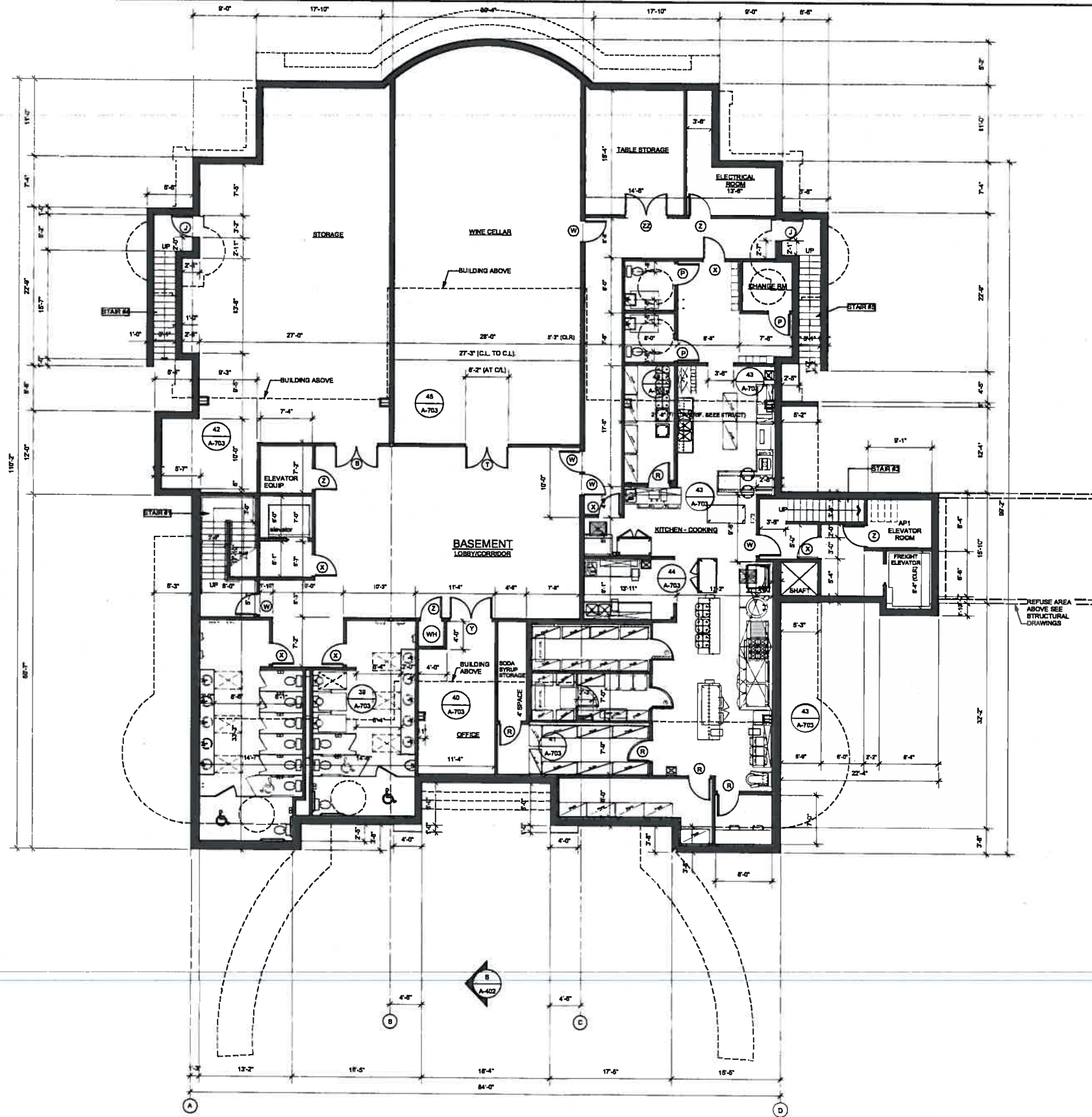
NOTE:
 FOUNDATION DRAIN LINES TO BE DESIGNED AND
 DISCHARGED PER CIVIL DRAWINGS PREPARED
 BY THE CIVIL ENGINEER

CO-ORDINATE WITH KITCHEN EQUIPMENT AND
 PLUMBING DRAWINGS LOCATION OF ALL
 FLOOR DRAINS AND FLOOR SINKS AND PROVIDE
 REQUIRED FLOOR SURFACE SLOPE
 (1/4" IN 12") TO THESE DRAINS

IN THE ELEVATOR PIT PROVIDE DRAIN WITH
 BACK FLOW PREVENTER AND EJECTION PUMP

LUMBER IN CONTACT WITH CONCRETE TO BE
 PRESSURE TREATED WOOD

FOR BATHROOMS SEE A-804



1 BASEMENT PLAN
 Scale: 1/8" = 1'-0"

BASEMENT AREA:

1. STORAGE
2. KITCHEN AUXILIARY FUNCTIONS
3. OFFICE FOR THE RESTAURANT
4. WINE CELLAR
5. BATHROOMS

2	CITY	MS
1	CITY	MS

**MARK
 STOKLOSA
 ARCHITECT
 INC**

480 SAINT JOHN STREET
 SUITE 220
 PLEASANTON, CA 94566
 925 484 2884
 925 484 8817

**LILJOM FINE DINING CUISINE RESTAURANT
 AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
 FOR BARNABAS NAGY**

BASEMENT PLAN

DATE: 10-12-07

SCALE:

DRAWN BY: MS

PROJECT # 07-017

DRAWING #

A-304



3 LEFT SIDE ELEVATION
Scale: 1/8" = 1'-0"



4 REAR ELEVATION
Scale: 1/8" = 1'-0"

2	CITY	MS
	3-1-05	
	CITY	MS
	3-1-05	

MARK
STOKLOSA
ARCHITECT
INC

480 SAINT JOHN STREET
SUITE 220
PLEASANTON, CA 94588
925 454 2884
925 454 9817

LILJOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

ELEVATIONS-REAR AND
SIDE

DATE: 10-12-07

SCALE: 1/8"=1'-0"

DRAWN BY: MS

PROJECT #: 07-017

DRAWING #

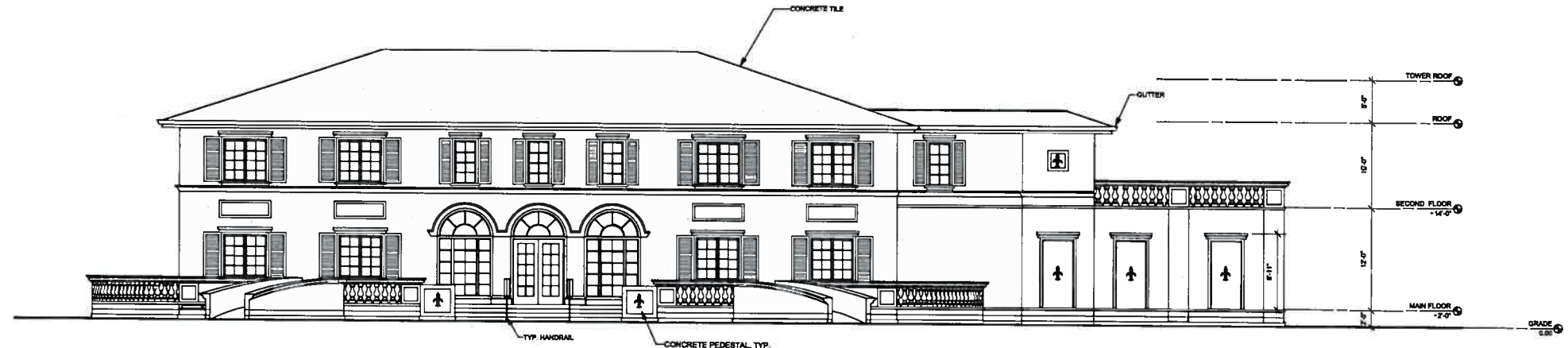
A-401

2	CITY	MS
1	CITY	MS

MARK
STOKLOSA
ARCHITECT
INC

480 SAINT JOHN STREET
SUITE 220
PLEASANTON, CA 94588
925 484 2884
925 484 9817

LILLOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY



1 FRONT ELEVATION
Scale: 1/8" = 1'-0"

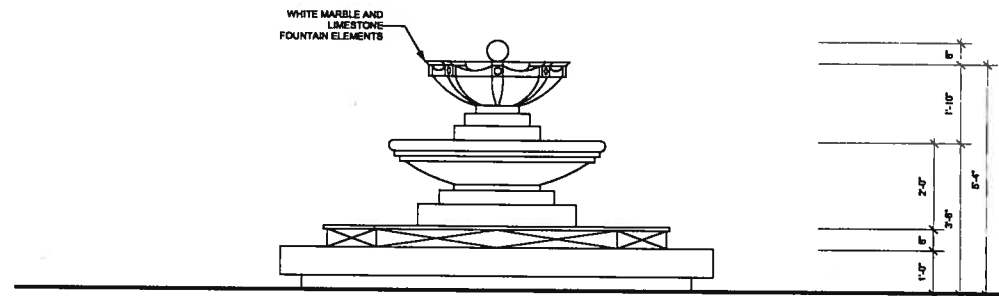
- EXTERIOR FINISHES:**
- ROOF:
NEW CONCRETE TILES TO MATCH EXISTING
 - WALL:
STUCCO TO MATCH EXISTING
 - FASCIA AND TRIM:
NEW TO MATCH EXISTING
 - GUTTERS AND DOWNSPOUTS:
ALL NEW TO REPLACE EXISTING, WITH COPPER 6" DIA.
 - BALLUSTERS:
LIMESTONE PREFABRICATED
 - DECK SURFACE:
LIMESTONE
 - WINDOWS AND DOORS:
NEW TO MATCH EXISTING
 - SHUTTERS:
NEW TO MATCH EXISTING, PAINT BLACK



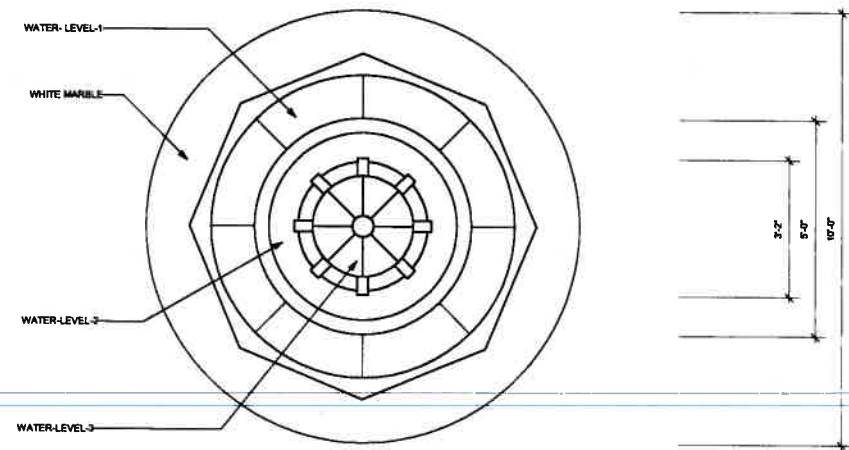
2 RIGHT SIDE ELEVATION
Scale: 1/8" = 1'-0"

FRONT AND SIDE
ELEVATIONS

DATE:	10-12-07
SCALE:	1/8"=1'-0"
DRAWN BY:	MS
PROJECT #	07-017
DRAWING #	A-402

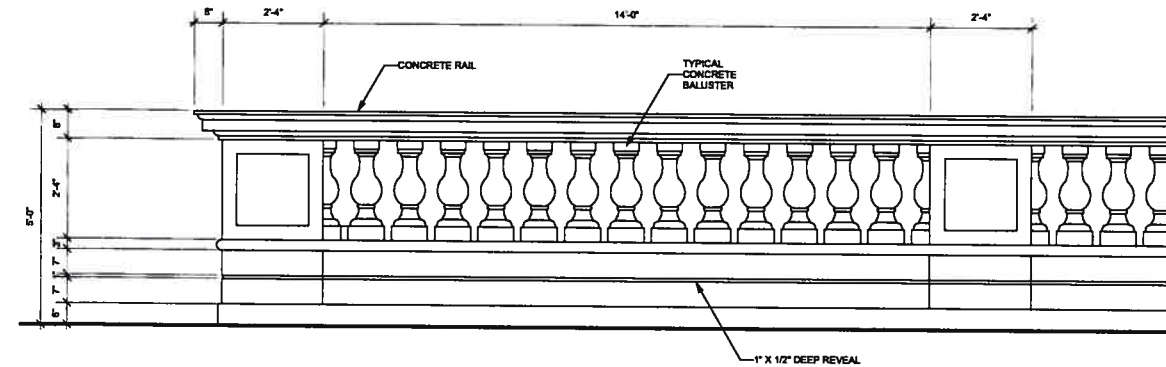


1 ELEVATION
Scale: 1/2" = 1'-0"

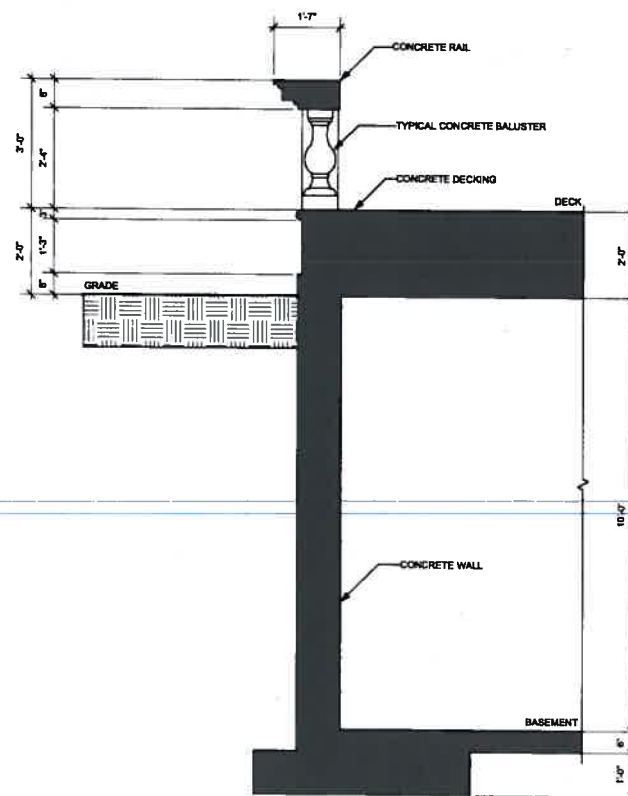


2 PLAN
Scale: 1/2" = 1'-0"

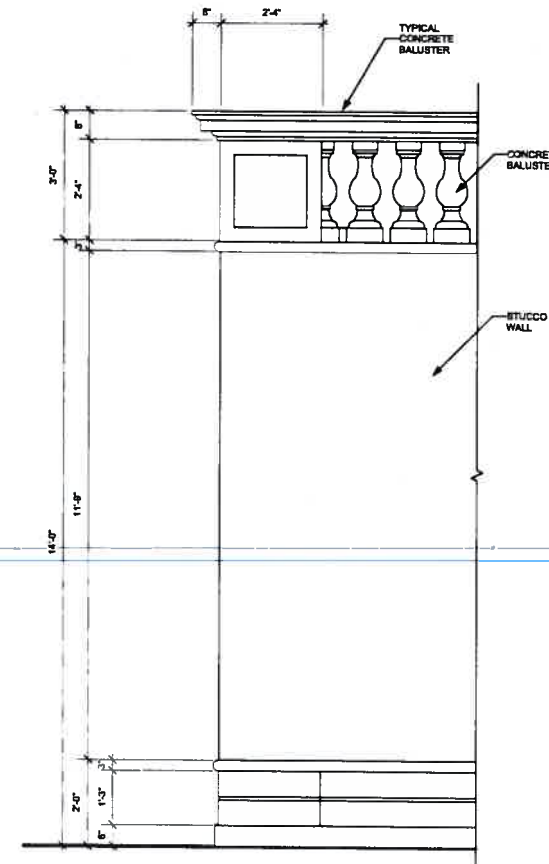
NOTE
 FOUNTAIN TO BE MANUFACTURED ITEM. PROVIDE SHOP DRAWINGS FOR THE OWNER AND ARCHITECT REVIEW.
 ALL TECHNICAL DATA NEEDS TO BE FORWARDED TO THE MECHANICAL ENGINEER
 TO ALLOW FOR APPROPRIATE HOOKUPS TO POWER AND WATER SOURCES.
 FOUNTAIN SHALL BE CLAD IN LIMESTONE AND SHALL HAVE THE LING TO PREVENT WATER LEAKAGE TO OUTSIDE.
 MOTOR TO CONSERVE ENERGY AND WATER IN THE FOUNTAIN ASSEMBLY.



1 DECK RAILING ELEVATION
Scale: 1/2" = 1'-0"



2 DECK RAILING
Scale: 1/2" = 1'-0"



1 ROOF DECK RAILING
Scale: 1/2" = 1'-0"

2	CITY	MS
3-8-08		

MARK
 STOKLOSA
 ARCHITECT
 INC

480 BANT JOHN STREET
 SUITE 200
 PLEASANTON, CA 94588
 925 484 2884
 925 484 9817

LILJOM FINE DINING CUISINE RESTAURANT
 AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
 FOR BARNABAS NAGY

FOUNTAIN AND DECK
 BALUSTERS

DATE 10-12-07

SCALE

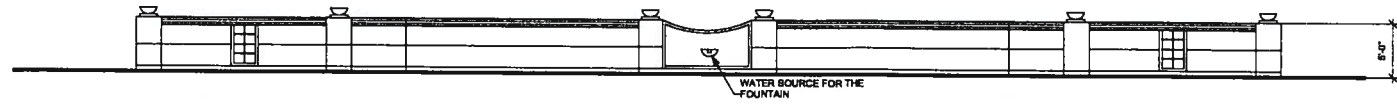
DRAWN BY MS

PROJECT # 07-017

DRAWING #

A-802

EAST WALL - SEE SHEET A-308



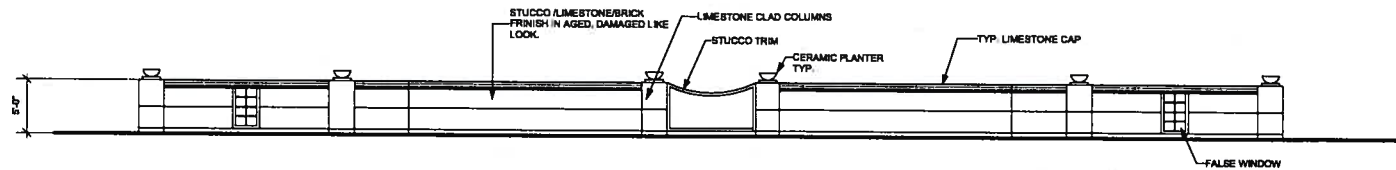
1 EAST ELEVATION
Scale: 1/8" = 1'-0"



2 NORTH ELEVATION
Scale: 1/8" = 1'-0"

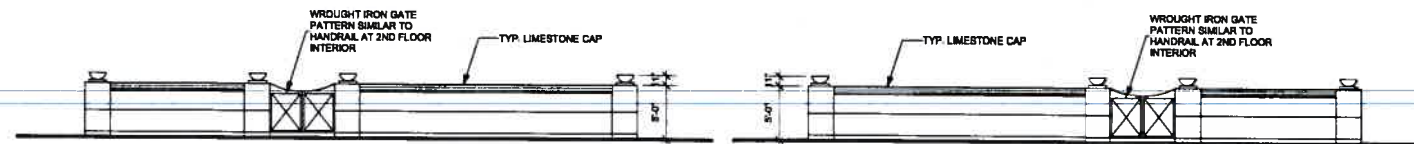


3 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



4 WEST ELEVATION
Scale: 1/8" = 1'-0"

WEST WALL - SEE SHEET A-308



A EAST ELEVATION
Scale: 1/8" = 1'-0"

A WEST ELEVATION
Scale: 1/8" = 1'-0"

2	CITY	MS
1	CITY	MS

MARK STOKLOSA ARCHITECT INC

480 SAINT JOHN STREET
SUITE 220
PLEASANTON, CA 94566
925 484 2684
925 484 8617

LILLOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

WALLS

DATE: 10-12-07

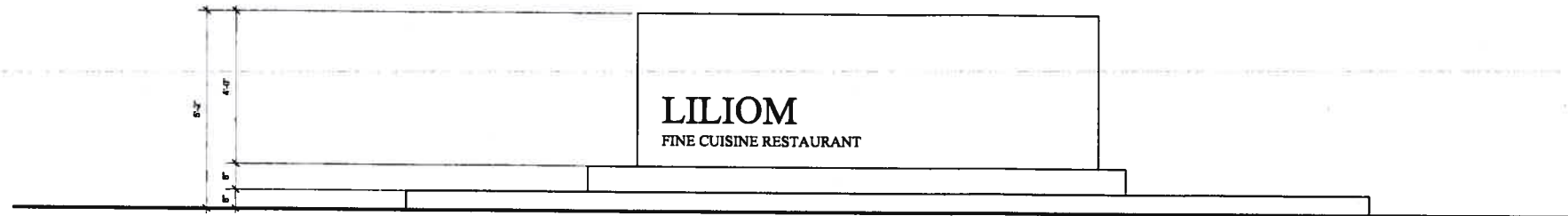
SCALE:

DRAWN BY: MS

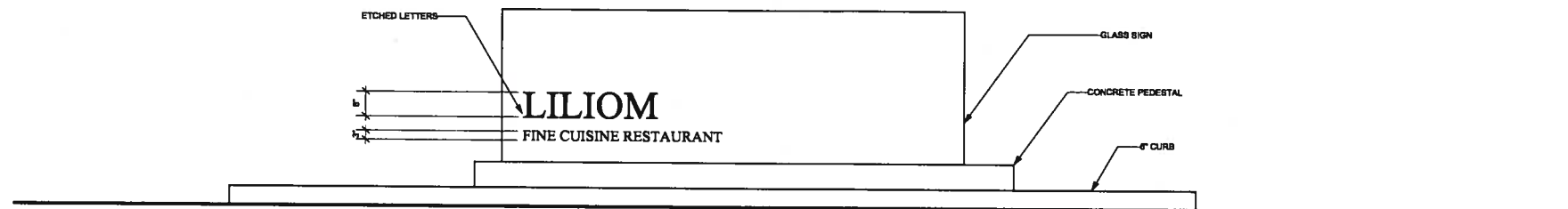
PROJECT # 07-017

DRAWING #

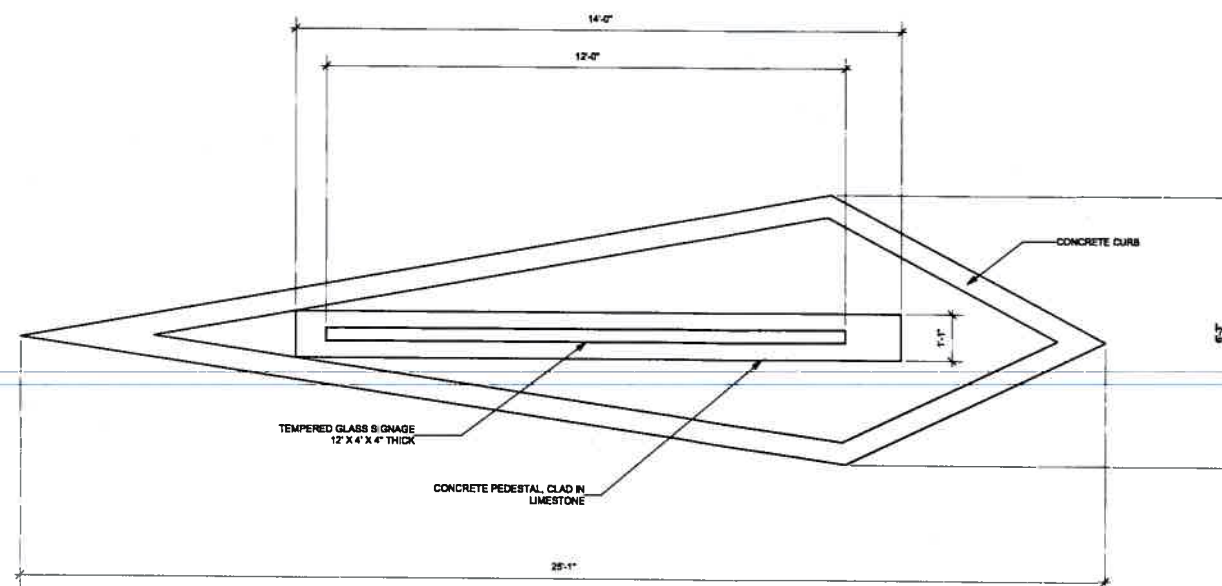
A-803



1 WEST ELEVATION
Scale: 1/2" = 1'-0"



2 EAST ELEVATION
Scale: 1/2" = 1'-0"



3 SIGN PLAN
Scale: 1/2" = 1'-0"

PROVIDE SHOP DRAWINGS FOR THE SIGN

NOTE:
 PROVIDE SHOP DRAWINGS FOR THE SIGNAGE MONUMENT.
 PROVIDE LIGHT SUBMERGED IN THE CONCRETE UNDERGRADE.
 PROVIDE POWER SUPPLY FOR THE SIGNAGE.
 VERIFY SIGNAGE FOUNDATION AND DESIGN WITH THE STRUCTURAL ENGINEER TO INSURE SIGNAGE STABILITY.
 OBTAIN PERMIT FROM ALL AGENCIES TO INSTALL THE SIGNAGE.

2	CITY	MS
1	CITY	MS

MARK
STOKLOSA
ARCHITECT
INC

480 SAINT JOHN STREET
SUITE 220
PLEASANTON, CA 94588
925 484 2064
925 484 9817

LILIOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

SIGNAGE

DATE: 10-12-07

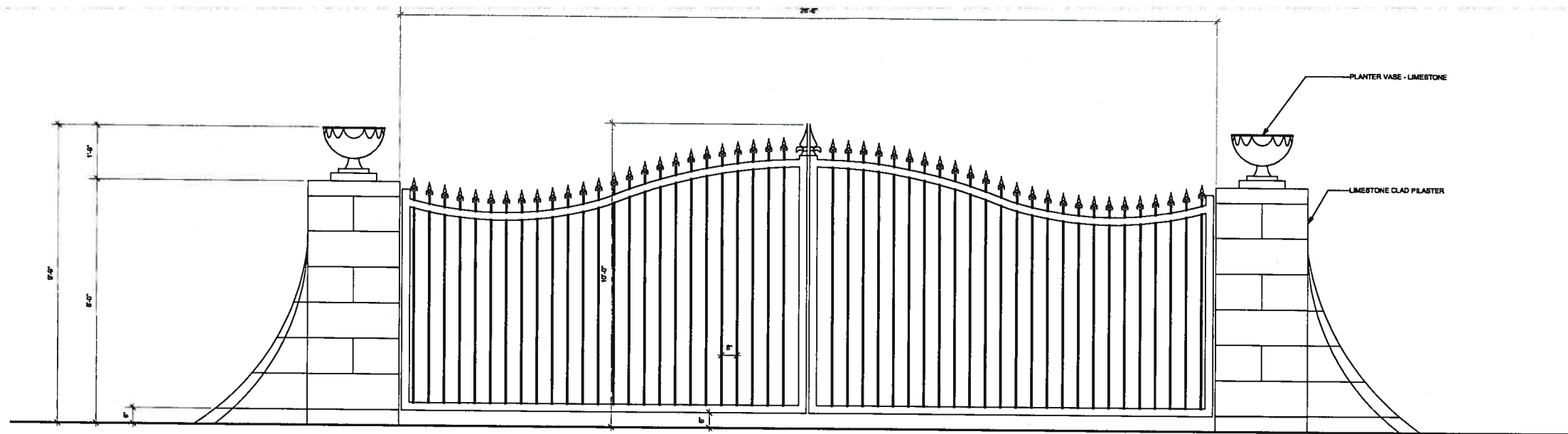
SCALE:

DRAWN BY: MG

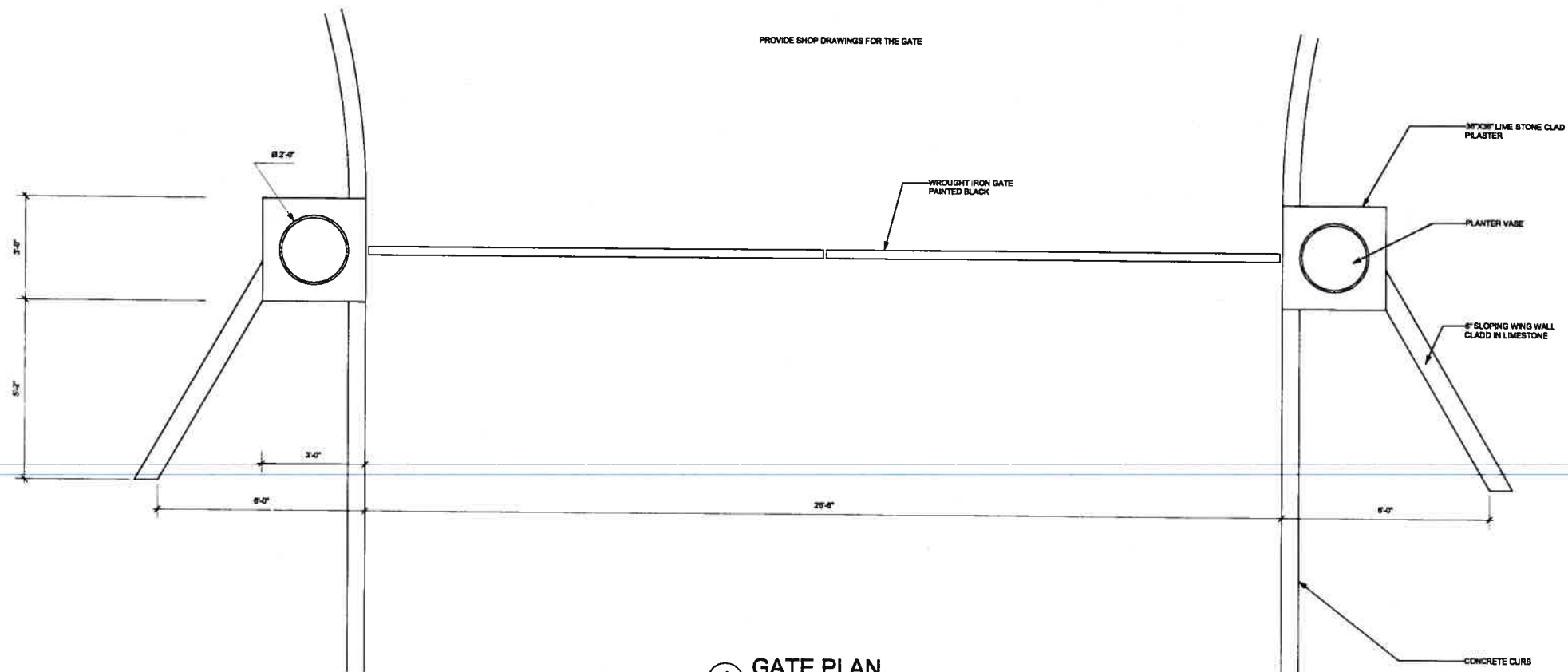
PROJECT # 07-017

DRAWING #

A-804



2 GATE ELEVATION
Scale: 1/2" = 1'-0"



1 GATE PLAN
Scale: 1/2" = 1'-0"

NOTE:
PROVIDE SHOP DRAWINGS FOR THE ARCHITECT AND
ENGINEER REVIEW, PRIOR TO GATE ORDERING AND INSTALLATION

2	CITY 5-1-05	MS
2	CITY 3-3-05	MS

MARK STOKLOSA ARCHITECT INC

480 SAINT JOHN STREET
SUITE 220
PLEASANTON, CA 94566
925 484 2534
925 484 9617

LILJOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

GATE DETAILS

DATE: 10-12-07

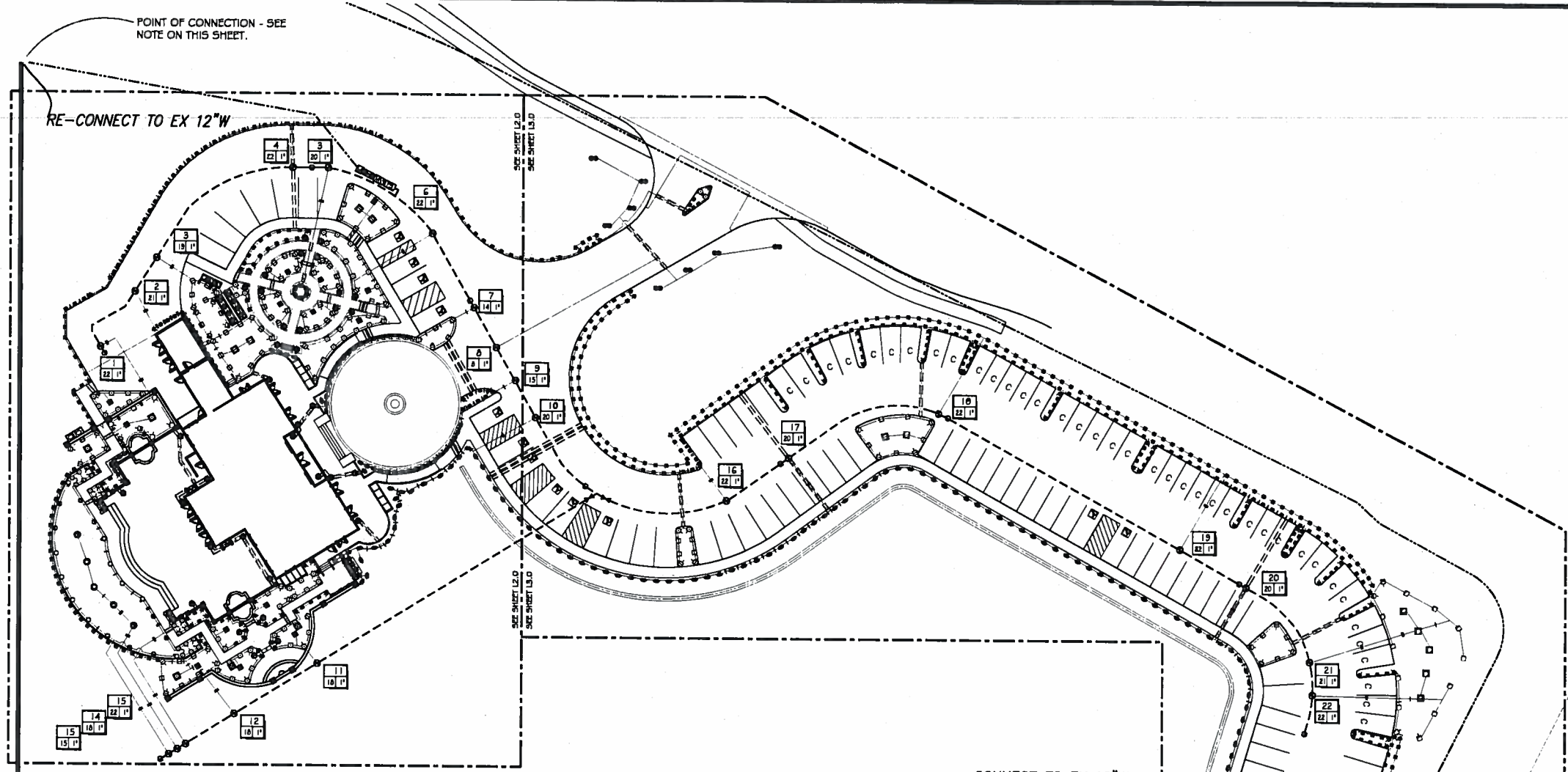
SCALE:

DRAWN BY: MG

PROJECT # 07-017

DRAWING #

A-805



POINT OF CONNECTION - SEE NOTE ON THIS SHEET.

RE-CONNECT TO EX 12"W

CONNECT TO EX 12"W

SPRINKLER LEGEND

SYMBOL	MANUFACTURER / MODEL	NOZZLE	RAD	PSI	FLOW - GPM						DETAIL	
TURF POP-UP SPRAY HEADS WITH CHECK VALVE AND PRESSURE REGULATION												
○	RAIN BIRD 1806-SAM-PRS-8	Q/T/M/F	8'	30	.26	.35	.52				1.1	M, L-3.1
○	RAIN BIRD 1806-SAM-PRS-10	Q/T/M/F	10'	30	.39	.53	.79				1.6	
○	RAIN BIRD 1806-SAM-PRS-12	Q/T/M/T/T/Q/P	12'	30	.65	.87	1.3	1.7	2.0	2.6		
○	RAIN BIRD 1806-SAM-PRS-15	Q/T/M/T/T/Q/P	15'	30	.92	1.2	1.9	2.5	2.8	3.7		
○	RAIN BIRD 1806-SAM-PRS-15 STRIP	EST/ST/CST	4x15'	30	.61/1.2/1/1.2/1							
SHRUB HI-POP SPRAY HEADS WITH CHECK VALVE AND PRESSURE REGULATION												
⊕	RAIN BIRD 1812-SAM-PRS-5	Q/T/M/F	5'	30	.10	.13	.20				.41	L, L-3.1
⊕	RAIN BIRD 1812-SAM-PRS-6	Q/T/M/F	6'	30	.26	.35	.52				1.1	
⊕	RAIN BIRD 1812-SAM-PRS-10	Q/T/M/F	10'	30	.39	.53	.79				1.6	
⊕	RAIN BIRD 1812-SAM-PRS-12	Q/T/M/T/T/Q/P	12'	30	.65	.87	1.3	1.7	2.0	2.6		
⊕	RAIN BIRD 1812-SAM-PRS-15	Q/T/M/T/T/Q/P	15'	30	.92	1.2	1.9	2.5	2.8	3.7		
⊕	RAIN BIRD 1812-SAM-PRS	15-VAN	15'	30	.46 - 3.7							
⊕	RAIN BIRD 1812-SAM-PRS-5-B	Q/M/V/CST	5'	30	0.5/1.0/1.5/0.5						D, L-3.1	
TREE BUBBLERS												
⊙	RAIN BIRD 1402	N/A	N/A	30	0.5						N, L-3.1	

EQUIPMENT LEGEND

SYMBOL	MANUFACTURER / MODEL NUMBER	SIZE	DETAIL
M	WATER METER - SEE POINT OF CONNECTION NOTE ON PLANS	3/4"	F, L-3.2
C	TORO T15-36-OD-ETE-360-SY AUTOMATIC CONTROLLER WITH R-1 KIT	36 STATION	A, L-3.1
BP	PEBCO 825YA SERIES REDUCED PRESSURE BACKFLOW PREVENTER	1"	D, L-3.1
MV	TORO 220-26-06 BRASS MASTER CONTROL VALVE	1.5"	C, L-3.1
FS	TORO TFS-100 FLOW SENSOR	1"	H, L-3.1
RS	TORO TRWS WIRELESS RAIN SENSOR	1"	H, L-3.1
BV	NIBCO T-500-70 BRONZE BALL VALVE	N/A	K, L-3.1
Q	TORO 100-SLVLC QUICK COUPLING VALVE WITH LOCKING VINYL COVER	2"	D, L-3.1
P	TORO P.220-26-04 CONTROL VALVE	1"	E, L-3.1
---	SCH 40 PVC IRRIGATION PRESSURE MAINLINE - 18" MINIMUM COVER	2"	G, L-3.1
---	CLASS 200 PVC NON-PRESSURE LATERAL LINE - 12" MINIMUM COVER	PLAN SIZE	G, L-3.1
---	SCH40 PVC NON-PRESSURE LATERAL LINE - 12" MINIMUM COVER	PLAN SIZE	G, L-3.1
---	SCH 40 PVC IRRIGATION PIPE/CONTROL WIRE SLEEVE - 18" MINIMUM COVER	PLAN SIZE	H, L-3.1
---	UP DIRECT BURIAL CONTROL WIRE WITH WATERPROOF CONNECTIONS	N/A	J, L-3.1

PRESSURE LOSS CALCULATIONS

STATION 33 - HIGHEST FLOW - FURTHEST FROM POC - 22 GPM

EQUIPMENT	SIZE	LOSS
WATER METER	0.75"	7.9
BACKFLOW DEVICE	1"	12.0
FLOW SENSOR	1"	1.0
MASTER VALVE	1.5"	4.0
MAINLINE	805' OF 2"	6.0
CONTROL VALVE	1"	3.3
LATERAL LINES	<5 FPS	2.0
SUBTOTAL PRESSURE LOSSES		36.2
MISC. LOSSES THRU SYSTEM (10%)		3.6
TOTAL PRESSURE LOSSES		39.8
PRESSURE REQUIRED AT HEAD		30.0
TOTAL PRESSURE REQUIRED		69.8
DESIGN PRESSURE		80.0
RESIDUAL PRESSURE		10.2

POINT OF CONNECTION A - POTABLE WATER METER #
 METER SIZE - 0.75"
 BACKFLOW PREVENTER SIZE - 1"
 FLOW SENSOR - 1"
 MASTER VALVE - 1.5"
 MAXIMUM DEMAND - 22 GPM
 NUMBER OF VALVES - 22 CONTROLLER SIZE - 36 STATION
 STATIC PRESSURE AT METER - 80.0 PSI
 AREA SHRUBS - 20,455 SQ. FT.
 AREA TURF - 2,294 SQ. FT.
 TOTAL AREA COVERED - 22,749 SQ. FT.



POINT OF CONNECTION
 MAKE IRRIGATION POINT OF CONNECTION INTO EXISTING 12" WATER LINE AT POINT SHOWN ON PLANS. INSTALL A NEW 1" SERVICE LINE AND A NEW 0.75" IRRIGATION WATER METER PER ALL LOCAL CODES AND STANDARDS. VERIFY EXACT LOCATION IN THE FIELD AND ADJUST AS NECESSARY. INSTALL BACKFLOW PREVENTER IMMEDIATELY DOWNSTREAM OF METER PER ALL LOCAL CODES. FINAL BACKFLOW PREVENTER LOCATION TO BE APPROVED IN THE FIELD BY THE OWNER. INSTALL MASTER VALVE AND FLOW SENSOR DOWNSTREAM OF BACKFLOW DEVICE AND WIRE TO CONTROLLER PER MANUFACTURER'S DIRECTIONS. MAXIMUM DEMAND IS 22 GPM.

WATER PRESSURE NOTE
 STATIC PRESSURE IN EXISTING 12" WATER LINE IS UNKNOWN. CONTRACTOR SHALL VERIFY PRESSURE PRIOR TO START OF INSTALLATION AND NOTIFY LANDSCAPE ARCHITECT IN WRITING IF STATIC PRESSURE IS LESS THAN 80 PSI OR GREATER THAN 100 PSI.

CONTROLLER
 INSTALL IRRIGATION CONTROLLER ADJACENT TO BUILDING AS SHOWN ON THE PLANS. FINAL CONTROLLER LOCATION TO BE APPROVED IN THE FIELD BY THE OWNER. THE OWNER IS TO PROVIDE 120V AC POWER TO THE FINAL CONTROLLER LOCATION. THE IRRIGATION CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS PER LOCAL CODES. MOUNT, GROUND, AND WIRE ALL THE CONTROL EQUIPMENT PER THE MANUFACTURER'S DIRECTIONS, THESE PLANS, AND PER ALL LOCAL CODES. CONTRACTOR SHALL PROVIDE A ONE TMR-1 REMOTE CONTROL KIT.

SLEEVING
 MAINLINE AND VALVES SHOWN OUTSIDE OF PLANTED AREAS FOR CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT IN ADJACENT PLANTED AREAS EXCEPT WHERE SLEEVING IS SHOWN ON THE PLANS. ALL PIPES AND WIRES THAT MUST RUN UNDER HARDSCAPE TO BE SLEEVED IN SCH 40 PVC SLEEVES ACCORDING TO THE SLEEVING CHART.

PIPE SIZING

+	0.75" PIPE
—	1" PIPE
—	1.25" PIPE
—	1.5" PIPE
—	2" PIPE
—	2.5" PIPE
—	3" PIPE
—	4" PIPE
—	6" PIPE
—	8" PIPE

SCH 40 PVC SLEEVING

1.25" SLEEVE	1-8 WIRES	N/A
1.5" SLEEVE	9-16 WIRES	0.5" PIPE
2" SLEEVE	17-26 WIRES	0.75" PIPE
2.5" SLEEVE	27-36 WIRES	1" PIPE
3" SLEEVE	39-54 WIRES	1.25" PIPE
4" SLEEVE	55-100 WIRES	1.5" PIPE
6" SLEEVE	100+ WIRES	2.5" PIPE
8" SLEEVE	N/A	4" PIPE
12" SLEEVE	N/A	6" PIPE

Underground Service Alert

CALL BEFORE YOU DIG

Call: TOLL FREE
 1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

REVISIONS

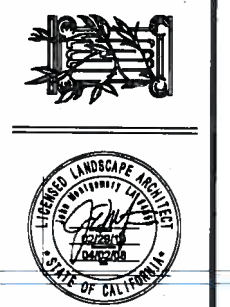
DATE:	DESCRIPTION:	BY:
2/14	IRRIGATION	VIC
3/14	IRRIGATION	VIC
4/2	PARKING	VIC

NOTES:

CLIENT INFORMATION:
 LILIOM RESTAURANT
 ARPAD & BARNABAS NAGY
 2001 RUBY HILLS BLVD
 LIVERMORE, CA 94550

JOHN MONTGOMERY
 LANDSCAPE ARCHITECTS
 GARDEN ARCHITECTURE

P.O. BOX 615-ALAMO • CA 94507
 PHONE 925.870.8884 • FAX 925.870.6465
 LICENSE NO. 4059



2.5 ACRE
 SITE PLAN

SCALE:
 1"=30'-0"

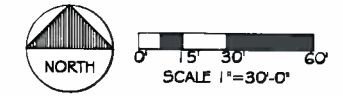
DATE:
 APRIL 19, 2007

PROJECT NO:
 LILIOM

DRAWN BY:
 VIC

CHECKED BY:
 JEM

SHEET NO:



L.I.O.

PLANTING SPECIFICATIONS

PLANT SCHEDULE

PLANT SCHEDULE (Cont.)

SITE PREPARATION:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING AND FOR ALL PLANTING AREA DRAINAGE. POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AS PER CITY CODES SHALL BE MAINTAINED. NO LOW SPOTS WHICH HOLD STANDING WATER WILL BE ACCEPTED.
- THE CONTRACTOR SHALL SPRAY ANY EXISTING WEED GROWTH WITH ROUND-UP HERBICIDE TWO WEEKS (MIN.) TO FOUR WEEKS PRIOR TO COMMENCEMENT OF SITE PREPARATION.
- PREPARE SOIL BY ROTOTILLING SIX (6) CUBIC YARDS OF ORGANIC GREEN (OR EQUIVALENT) SOIL AMENDMENT PER 1000 SQ. FEET INTO EXISTING SOIL TO A DEPTH OF 4 TO 8 INCHES IN GROUND COVER AND LAWN AREAS ONLY.
- WHERE ROTOTILLING IS NOT POSSIBLE INCORPORATE SOIL AMENDMENTS INTO THE TOP 6 INCHES WITH HAND TOOLS.
- GROWING MEDIA SHOULD BE FERTILE AND FRIABLE AND OF SUCH QUALITY THAT WILL PROMOTE THE HEALTHY GROWTH OF THE PLANT MATERIAL.
- SOIL SHOULD BE REASONABLY FREE OF ROCKS, DEBRIS AND ALL NOXIOUS WEEDS.
- IMPORTED SOIL, IF REQUIRED, SHOULD BE FREE OF DISEASES, PESTS, AND ALL NOXIOUS WEEDS AND SHOULD BE OF SIMILAR TEXTURE TO THE NATIVE MATERIAL ON THE SITE. PROVIDED THE EXISTING NATIVE MATERIAL IS SUITABLE FOR PLANTING, ALL IMPORTED SOIL SHOULD BE BLENDED TO A DEPTH OF THREE TO SIX INCHES WITH THE SUB-GRADE MATERIAL TO PREVENT INTERFACE.

PLANTING:

- SHRUBS: THE SHRUBS ARE TO BE PLANTED AS PER DETAILS ON PLANS. PLANT EACH PLANT WITH 1/2 NITRIFIED FIR, AND 1/2 AMENDED SITE SOIL. EACH PLANT SHALL HAVE A WATERING BASIN. APPLY 1 AGRIFORM TAB PER 1 GALLON, 2 TABS PER 5 GAL. 3 TABS PER 15 GAL. AND 4 TABS PER 24" BOX. (SHRUBS INCLUDE GRASSES PERENNIALS, AND ROSES).
- TREES: THE TREES ARE TO BE PLANTED AS PER DETAIL ON PLANS. TREES SHALL TYPICALLY BE LOCATED A MINIMUM OF 8 FEET FROM CURBS, WALKS, HEADERS, BUILDING OVERHANGS AND OTHER TREES WITHIN THE PROJECT. TREES TO BE LOCATED WITHIN 3 FEET OF A CURB, WALK, HEADER, OR BUILDING FOUNDATION SHALL BE PLANTED IN A "DEEP ROOT" BARRIER AS PER MANUFACTURER'S RECOMMENDATIONS. MULTI - TRUNK INDICATES (3) THREE TRUNKS (MIN.) BRANCHED FROM THE BASE OF THE TREE. STAKE ALL TREES AS PER DETAIL WITH ONE-3" ROUND LODGEPOLE TYPE TREE STAKE 8' OR 10' IN LENGTH. TIE WITH RUBBER TREE STRAPS.
- LAWN: ALL LAWN AREAS TO BE SODDED WITH BOLERO™ FESCUE MIX SUPPLIED BY DELTA BLUEGRASS SOD CO., STOCKTON, CA. APPLY STARTER FERTILIZER AT 2 LBS. PER 1000 SQ. FT. AT 1" DEPTH BEFORE LAYING SOD, WATER AND ROLL SOD IMMEDIATELY FOLLOWING INSTALLATION.
- GROUND COVER PLANTS: ALL ROOTED CUTTINGS SHOULD BE HEALTHY VEGETATIVE MATERIAL WITH WELL ESTABLISHED ROOTS AT ONE OR MORE NODES. ALL CONTAINER GROWN GROUND COVER SHOULD BE WELL ROOTED WITHIN THE ROOTING MEDIUM.
- ALL PLANTS SHOULD BE OF A REASONABLY UNIFORM AND STANDARD SIZE FOR EACH SPECIES, WELL FORMED, AND IN A HEALTHY FULLY ROOTED, THRIVING CONDITION.
- ALL PLANTS SHOULD BE TRUE TO TYPE OR NAME, BY SPECIES AND VARIETY, AS REQUIRED BY THE CALIFORNIA FOOD AND AGRICULTURE CODE.
- ALL PLANTS SHOULD BE TYPICAL OF THEIR SPECIES AND VARIETY AND SHOULD HAVE NORMAL HABIT OF GROWTH. THE TOP GROWTH SHOULD BE STRUCTURED PROPORTIONATELY SO THAT IT IS REPRESENTATIVE OF THE SPECIES.
- ALL PLANTS SHOULD COMPLY WITH FEDERAL AND STATE LAWS REQUIRING INSPECTION FOR PLANT DISEASES AND INFESTATIONS. INSPECTION CERTIFICATES REQUIRED BY LAW SHOULD ACCOMPANY EACH SHIPMENT OF PLANTS.
- CONTAINER-GROWN PLANTS SHOULD BE SUFFICIENTLY ESTABLISHED SO THAT A MINIMUM OF 75% OF EACH ROOT BALL STAYS INTACT DURING PLANTING. WHEN LIFTED BY THE TRUNK, THE TRUNK SHOULD RISE NO MORE THAN ONE INCH BEFORE THE SOIL SURFACE OF THE ROOT BALL BEGINS TO RISE. WHEN UNSUPPORTED, THE TRUNK OF TREES SHOULD LEAN NO MORE THAN 30 DEGREES FROM THE VERTICAL WHEN MEASURED WITHIN FOUR INCHES OF THE ROOT BALL.

- PRIOR TO PLANTING GROUND COVER PLANTS, SOIL AMENDMENTS AND FERTILIZERS SHOULD BE UNIFORMLY INCORPORATED INTO THE SOIL AND FINISH GRADE ESTABLISHED. PLANTS SHOULD BE EVENLY SPADED AT THE REQUIRED SPACING, PLANTED IN MOIST SOIL, AND WATERED THOROUGHLY IMMEDIATELY AFTER PLANTING.
- PLANT LOCATIONS SHOULD BE LAID OUT AS INDICATED ON THE DRAWINGS, ADJUSTING AS NECESSARY TO AVOID EXISTING UNDERGROUND AND OVERHEAD UTILITIES. PLANTS SHOULD BE LOCATED WHERE THEY WILL NOT OBSTRUCT IRRIGATION SPRINKLERS OR DRAINAGE SWALES AND FAR ENOUGH AWAY FROM THOROUGHFARES SO THEY WILL NOT ENCRONCH WHEN THEY REACH THEIR ULTIMATE SIZE.
- UPON COMPLETION OF PLANTING TREES SHRUBS AND GROUND COVERS, AND PRIOR TO THE APPLICATION OF PRE-EMERGENT WEED CONTROL AND MULCH, ALL PLANTING AREAS SHOULD BE FINAL GRADED TO RE-ESTABLISH PROPER GRADES, AND RAKED SMOOTH AND CLEAN. ALL DEBRIS, AND ROCK OR CLAY LUMPS ONE INCH AND LARGER SHOULD BE REMOVED.

CHEMICAL WEED CONTROL:

- HERBICIDES USED FOR CHEMICAL WEED CONTROL SHOULD BE APPLIED PER THE MANUFACTURER'S RECOMMENDATIONS AND MUST BE DONE IN ACCORDANCE WITH ALL REGULATIONS OF GOVERNMENT AGENCIES. USE EXTREME CARE WHEN USING HERBICIDES TO AVOID THE RISK OF DAMAGE TO OTHER PLANT MATERIALS AND INJURY TO HUMANS AND WILDLIFE.
- TREAT ALL PLANTER BED AREAS WITH RONSTAR-G PRE-EMERGENT WEED CONTROL (FOLLOW MANUFACTURER'S RECOMMENDATIONS) BEFORE APPLYING TOP MULCH.

MULCHING:

- PLANTING AREAS SHOULD BE MULCHED TO HELP KEEP THE SOIL AND YOUNG PLANT ROOTS AT A DESIRABLE TEMPERATURE, MAINTAIN MOISTURE, AND REDUCE WEED GROWTH. MULCH SHOULD BE APPLIED IN AN EVEN AND SMOOTH LAYER OVER THE PLANTING AREA AFTER FINAL GRADING IS COMPLETE AND AFTER THE APPLICATION OF AN APPROPRIATE PRE-EMERGENT HERBICIDE.

- TOP MULCH ALL PLANTER BED AREAS WITH 1" (MIN.) NITRIFIED FIR BARK (1/4" TO DUST) OR EQUAL. ALL SLOPE AREAS WITH A GRADE OF MORE THAN 10% SHALL BE MULCHED WITH 2" (MIN.) SHREDDED CEDAR MULCH.

SODDED LAWN PLANTING:

- AFTER SOIL PREPARATION IS COMPLETE, THE FINISH GRADE OF AREAS TO BE SODDED SHOULD BE APPROXIMATELY ONE INCH BELOW THE SURFACE OF ADJACENT PAVING OR OTHER EDGING.

- A SUITABLE FERTILIZER SHOULD BE APPLIED, FOLLOWING MANUFACTURER'S RECOMMENDATIONS, AND THE SOIL MOISTENED PRIOR TO SODDING.

- THE SOD SHOULD BE LAID WITH STAGGERED, BUTTED JOINTS AND SHOULD BE IN FIRM CONTACT WITH THE SOIL, WITH NO SPACES BETWEEN THE JOINTS.

- THE SOD SHOULD BE ROLLED IMMEDIATELY FOLLOWING INSTALLATION AND PRIOR TO INITIAL WATERING. HEAVY WATER SATURATION OF THE SOD, IN LIEU OF ROLLING, IS ACCEPTABLE IF A TIGHT BOND CAN BE ENSURED.

- PROPER MOISTURE SHOULD BE PROVIDED THROUGHOUT THE SOD INSTALLATION OPERATIONS TO AVOID UNNECESSARY STRESS TO THE PLANT MATERIAL. SOD SHOULD BE THOROUGHLY WATERED UPON COMPLETION OF INSTALLATION AND PROPER SOIL MOISTURE LEVEL MAINTAINED THEREAFTER.

- THE FIRST MOWING SHOULD BE DONE BEFORE THE GRASS REACHES FOUR INCHES IN HEIGHT AND WHEN THE SOIL IS IN A RELATIVELY FIRM CONDITION. NO MORE THAN ONE-THIRD OF THE LEAF SURFACE SHOULD BE REMOVED WITH ANY SINGLE MOWING.

BOTANICAL NAMES	COMMON NAMES	BY OWNER	QTY:	SIZE:
KEY: TREES :				
T1 Acer palmatum	Japanese Maple		1	24"
T2 Acer palmatum 'Burgundy Lace'	Japanese Maple		1	24"
T3 Cupressus sempervirens 'Glauca'	Italian Cypress		155	24"
T4 Cupressus sempervirens 'Spiral'	Italian Cypress		5	24"
T5 Lagerstroemia indica 'Twilight'	Grape Myrtle		2	24"
T6 Olea europaea	European Olive (Specimen)		2	
T7 Olea europaea 'Swan Hill' (Multi)	Swan Hill Olive (fruitless)		5	60"
T8 Punica granatum	Pomegranate		1	24"
KEY: PALMS				
PT1 Butia capitata	Pindo Palm		2	15 Gal.
PT2 Chamaerops humilis	Mediterranean Fan Palm (Specimen)		1	24"
PT3 Phoenix canariensis	Canary Island Date Palm (Specimen)		2	
PT4 Syagrus romanzoffianum	Queen Palm		2	24"
PT5 Trachycarpus fortunei	Windmill Palm		1	3 15 Gal.
KEY: CONTAINER PALMS:				
CA Chamaerops humilis centifera (argentea)	Mediterranean Fan Palm		8	15 Gal.
CB Cordyline australis 'Red Star'	Red Star Grass Palm		2	15 Gal.
CC Cycas revoluta	Sago Palm		2	6 15 Gal.
KEY: SHRUBS:				
S1 Abelia grandiflora 'Little Richard'	Abelia		8	5 Gal.
S2 Azalea southern indica 'Formosa'	'Formosa' Sun Azalea		8	5 Gal.
S3 Azalea southern indica 'White Lace'	'White Lace' Sun Azalea		7	5 Gal.
S4 Buxus microphylla japonica 'Green Beauty'	Japanese Boxwood		71	1 Gal.
S5 Buxus microphylla japonica 'Winter Gem'	Boxwood		540	1 Gal.
S6 Camellia japonica 'Nuccio's Gem'	Camellia		6	5 Gal.
S7 Caryopteris x clandonensis 'Dark Knight'	Bluebeard		4	5 Gal.
S8 Dodonaea viscosa 'Saratoqa'	Hop Bush		19	5 Gal.
S9 Hebe 'Autumn Glory'	Hebe		7	5 Gal.
S10 Helleborus hybrids	Hellebore		18	1 Gal.
S11 Hibiscus synacus 'Collie Mullens'	Rose of Sharon		1	5 Gal.
S12 Hibiscus synacus 'Diana'	Rose of Sharon		2	5 Gal.
S13 Hydrangea macrophylla	Blaef Hydrangea		2	5 Gal.
S14 Lavandula x intermedia 'Grosso'	Lavender		42	1 Gal.
S15 Lavandula x intermedia 'Provence'	Lavender		140	1 Gal.
S16 Lavandula Stoechas 'Otto Quast'	Spanish lavender		10	5 Gal.
S17 Loropetalum chinense 'Razzelebern'	Razzelebern Loropetalum		15	5 Gal.
S18 Olea europaea 'Little Olive-Montra'	Dwarf Olive		183	5 Gal.
S19 Pittosporum tobira 'Vaneagata'	Pittosporum		7	5 Gal.
S20 Polygala x dalmanisiana	Sweet Pea Shrub		8	5 Gal.
S21 Rosmannus officinalis 'Ken Taylor'	Ken Taylor Rosemary		3	5 Gal.
S22 Symnna x persica	Persian Lilac		1	15 Gal.
S23 Viburnum davidii	Viburnum		14	5 Gal.
KEY: PERENNIALS:				
P1 Agapanthus africanus	Lily-of-the-Nile		42	2 Gal.
P2 Campanula poscharskyana 'Alba'	Serbian Bellflower		28	1 Gal.
P3 Hemerocallis 'Gentle Shepherd'	Gentle Shepherd Day Lily		20	1 Gal.
P4 Hemerocallis 'Lavender Dew'	Daylily		19	1 Gal.
P5 Hemerocallis 'Double Gold Monold'	Daylily		38	1 Gal.
P6 Hemerocallis 'Purple Majic'	Daylily		49	1 Gal.
P7 Hemerocallis 'Stella d'Oro'	Daylily		6	1 Gal.
P8 Hemerocallis 'Sunday Gloves'	Daylily		56	1 Gal.
P9 Heuchera 'Dark Delight'	Dark Delight Coral Bells		8	1 Gal.
P10 Ins ensata	Bearded Ins		51	1 Gal.
P11 Ins sibirica	Siberian Ins		7	1 Gal.
P12 Nepeta x faassenii	Catmint		30	1 Gal.
P13 Penstemon gloxmoides 'Midnight'	Border Penstemon		8	1 Gal.
P14 Zantedeschia aethiopia	Common Calla		18	1 Gal.
KEY: FERNS:				
F1 Nephrolepis cordifolia	Southern Sword Fern		5	5 Gal.
KEY: ORNAMENTAL GRASSES:				
OG1 Carex tunulicola	Sedge		21	5 Gal.
OG2 Linope gigantea	Big Blue Lily Turf		2	5 Gal.
OG3 Nassella tenuissima	Mexican Feather Grass		143	1 Gal.
OG4 Pennisetum setaceum 'Rubrum Dwarf'	Dwarf Fountain Grass		2	5 Gal.
OG5 Phormium tenax 'Amazna Red'	New Zealand Flax		9	5 Gal.
OG6 Phormium tenax 'Chocolate'	New Zealand Flax		5	5 Gal.
OG7 Phormium tenax 'Dark Delight'	New Zealand Flax		17	5 Gal.
OG8 Phormium tenax 'Pink Stripe'	New Zealand Flax		17	5 Gal.
OG9 Phormium tenax 'Tricolor'	New Zealand Flax		6	5 Gal.
OG10 Stipa arundinacea	Feather Grass		5	5 Gal.

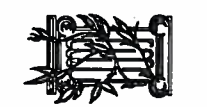
BOTANICAL NAMES	COMMON NAMES	BY OWNER	QTY:	SIZE:
KEY: TREE ROSES:				
TR1 Rosa 'Crimson Bouquet'	Tree Rose		2	5 Gal.
TR2 Rosa 'hybrid tea'	Tree Rose		2	5 Gal.
TR3 Rosa 'Melody Parfumee'	Tree Rose		1	5 Gal.
TR4 Rosa 'Just Joey'	Tree Rose		1	5 Gal.
TR5 Rosa 'Spellbound'	Tree Rose		1	5 Gal.
TR6 Rosa 'Diana Princess of Wales'	Tree Rose		1	5 Gal.
TR7 Rosa 'Mister Lincoln'	Tree Rose		1	5 Gal.
TR8 Rosa 'Double Delight'	Tree Rose		1	5 Gal.
TR9 Rosa 'Welcome Home'	Tree Rose		1	5 Gal.
TR10 Rosa 'Color Me Pink'	Tree Rose		1	5 Gal.
KEY: ROSES (BUSH):				
R1 Rosa	Rose		4	5 Gal.
R2 Rosa 'Iceberg'	Iceberg Rose Bush		5	5 Gal.
KEY: CLIMBING ROSES:				
CR1 Rosa 'Joseph's Coat'	Joseph's Coat Rose		2	5 Gal.
KEY: FRUIT BEARING TREES:				
FT1 Citrus 'Improved Meyer'	Dwarf Improved Meyer Lemon		4	15 Gal.
FT2 Citrus 'Moro'	Dwarf Blood Orange		8	15 Gal.
FT3 Citrus 'Pink Lemonade'	Dwarf Pink Lemonade Lemon		4	15 Gal.
FT4 Citrus 'Sanguinell'	Dwarf Blood Orange		4	15 Gal.
FT5 Citrus 'Valencia'	Dwarf Valencia Orange		2	15 Gal.
KEY: VINES:				
V1 Bougainvillea spectabilis 'Texas Dawn'	Bougainvillea		8	5 Gal.
V2 Ficus pumila	Creeping Fig		4	5 Gal.
V3 Parthenocissus tricuspidata 'Veitchii'	Boston Ivy		10	5 Gal.
V4 Wistena sinensis 'Alba'	Chinese Wistena		1	5 Gal.
V5 Wistena sinensis 'Amethyst'	Chinese Wistena		4	5 Gal.
KEY: GROUND COVERS:				
GC1 Mentha requienii	Jewel Mint of Corsica		48	4"
GC2 Onogonum laevigatum 'Hopley's White'	Oregano		80	4"
GC3 Rosmannus officinalis 'Irene'	Rosemary		58	1 Gal.
GC4 Stachys macrantha 'Superba'	Stachys		32	4"
GC5 Teucrium cossonii majoncum	Germander		432	4"
GC6 Veronica pedunculans 'Georgia Blue'	Veronica		208	1" O.C.
KEY: ANNUALS:				
AN Seasonal Annuals (Selection by Owner)				4"
KEY: CULINARY HERBS:				
CHA Planting Bed A:				
Allium sativum	Garlic		3	4"
Artemisia dracunculula	French Tarragon		1	4"
Conandrum sativum	Cilantro		3	4"
Milissa officinalis 'Aurea'	Lemon Balm		1	4"
Ocimum basilicum	Sweet Basil		3	4"
Salvia officinalis 'Tricolor'	Common Sage		1	4"
Thymus x citrodorus 'Aureus'	Lemon Thyme		3	4"
CHB Planting Bed B:				
Borago officinalis	Borage		1	4"
Foeniculum vulgare	Common Fennel		3	4"
Hyssopus officinalis	Hyssop		1	4"
Rosmannus o. 'Collingwood Ingram'	Rosemary		1	1 Gal.
Salvia officinalis 'Purpurascens'	Common Sage		3	1 Gal.
Thymus vulgans 'Argenteus'	Silver Thyme		3	4"
Thymus vulgans 'Orange Balsam'	Orange Thyme		3	4"
CHC Planting Bed C:				
Melichrysium italicum	Hyssop		3	4"
Ocimum basilicum 'Red Rubin'	Purple-leaf Basil		3	4"
Ocimum sanctum	Bai Kaprow		3	4"
Onogonum x majoncum	Italian Marjoram		3	4"
Petroselinum cnsium	Parsley		3	4"
Salvia officinalis 'Icterna'	Garden Sage		2	1 Gal.
Satureia douglasii	Yerba Buena		1	4"
MF Mow-Free Fescue				6,440 SQ FT
SOD Bolero™ Fescue				2,294 SQ FT

REVISIONS		
DATE:	DESCRIPTION:	BY:
4/2	PARKING	LPS

NOTES:

CLIENT INFORMATION:
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PLANTING NOTES & SCHEDULE

SCALE:
 AS NOTED
 DATE:
 APRIL 19, 2007
 PROJECT NO:
 LILLOM
 DRAWN BY: TR
 CHECKED BY: JEM
 SHEET NO:

L6.1