

# Sample & Color Board

Roof Tiles: Eagle Tiles Capistrano, Monterey Blend SCC8807



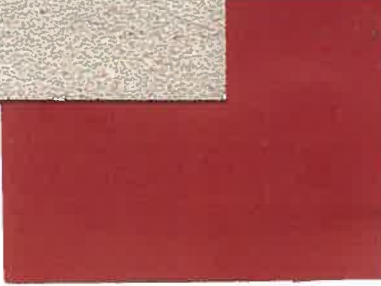
OCT 12 2011  
CITY OF PLEASANTON  
PLANNING DIVISION  
Stucco Main Body  
color: RL RR53  
PII-0002 (CWP)  
PII-0003 (ADR)



Stucco 'Stone'  
Enhancements  
color: RL SU51



Window reveals  
Stucco Accents  
RL Clay Brown RR82



Milgard Ultra Windows  
color: Cranberry

Decorative  
Lighting  
Style



Metalwork



Gutters and  
Metalwork color  
SW 6104 Kaffee

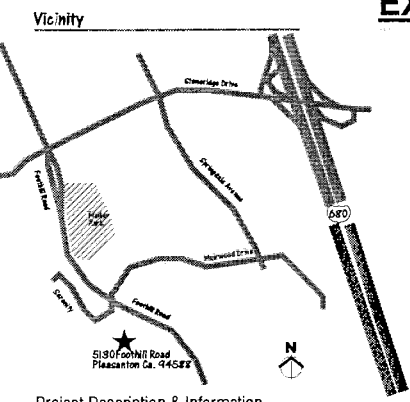
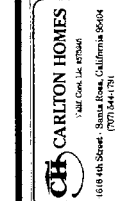
EXHIBIT B

5130 Foothills Road  
Pleasanton  
September 24<sup>th</sup> 2011



Plan Check  
Permit

Construction  
Subject to revision until permit is issued.



Project Description & Information

Remodel and Addition to (E) 4 bed 3 1/2 bath House to (N) 6 bed and two 1/2 bath house.  
 First Floor: Move and Remodel Kitchen and Family Rooms. Remodel (E) garage space to become Recreation Room with built in closet, and raise floor as rest of first floor level. Add new Entrance. Add new Powder Room and Pantry. Add new Dining and Living Room with Covered Porch.  
 Second Floor: Remodel (E) bedrooms, bathrooms and closets. Add (N) bathroom and extend deck at (E) side. Add (N) Sitting Room above (N) Entrance.  
 Lower Floor: Add 2 (N) Guest Bedrooms with bathrooms. Add (N) Recreation Room, Powder Room, Utility and Garage.  
 Exterior: The Existing House and Additions will be stucco'd and have new tile roofs. New windows throughout. The existing asphalt driveway and hardstanding do not change and are enclosed by the new buildings layout.

Occupancy	R3
Construction Type	VN
Lot Size	2.82 Acres
APN	941-188-001-503 (143-010)(C)
Zoning	R-1-4000 PUD-LDR (0.1331)
Setbacks	Determined by Design Review
(N) lot coverage	4% (allowable 25%)
Height	28.5-27.5ft (allowable 30ft)
Sprinklers	Not required.

Total (E) House Conditioned Area	3656 sqft
(E) First Floor	1696 sqft
(E) Second Floor	1962 sqft
Area of (E) Garage & Utility	657 sqft
Area of (E) Covered Porches (FF)	717 sqft
Area of (E) Balcony/Deck (2F)	632 sqft
Total Floor Area	5664 sqft
(E) FAR (Floor Area ratio)	4.6% (total floor area to lot size)

Total Additions to (E) House, conditioned	1811 sqft
New Entry Area & RR (FF)	244 sqft
New Sitting Area above (N) Entry	219 sqft
Convert (E) Garage Area to Rec Room	675 sqft
2F Conversion of Balconies to Hab. Space	473 sqft
(N) Deck at West end	148 sqft

Total (N) Additional Area, conditioned	2676 sqft
New Living Dining	1395 sqft
New Covered Porch	414 sqft
New Stairs	178 sqft
New Lw. Flr. Rec and Bedrooms	1697 sqft
New Garage & Utility Areas	1486 sqft

Total (N) House, conditioned	7928 sqft
(N) 1st Floor	4016 sqft (addition 2314 sqft)
(N) Second Floor	2654 sqft (addition 692 sqft)
(N) Lower Floor	1275 sqft
(N) Garage & Utility	1486 sqft (addition of 629 sqft)
(N) Covered Porches	414 sqft (addition of 303 sqft)
(N) Decks	307 sqft (reduction of 325 sqft)
Total Floor Area	10146
(N) FAR (Floor Area Ratio)	6.2% (total floor area to lot size)

Parking required for SFD per Code 16.88 2 spaces (4 covered provided in (N) garage)

General Notes

- Governing Codes: All Construction shall comply with California Building Code Vol. 1 & 2, 2010 Edition & 2013 Edition and California residential: California Planning Code 2007 edition, California Electrical Code 2007 Edition, Uniform Administrative Code 2007 Edition, California Mechanical Code 2007 Edition, 2001 California Fire Code 2007, Edition of Uniform Fire Code Standards, California Energy Code 2007 and all Local City of Pleasanton Ordinances that are current, and relate to the 2007 California Building Code.
- The Contractor to verify all dimensions on site prior to starting this phase of work. All discrepancies to be discussed and resolved with the Designer prior to commencement of work.
- Site Development and Erosion Control Standards per CBC 29C-343.
- Security - Openings into the dwelling and garage shall meet the requirements of CBC Security Code chapter 41, latest edition.
- All framing dimensions are to face of stud unless noted otherwise. DO NOT SCALE DRAWINGS!
- Verify all dimensions where work involves framing for windows, doors or cabinets.
- All gas appliance vents that terminate on an outside wall shall comply with CBC 806.6 and/or CPC 517.5 must terminate at least 4 ft below or horizontal, and 1 ft above any operable door window or air inlet.
- Site Grading and Drainage: Provide drainage gradient of 2 percent around structures to street or approved drainage system. Note that drainage shall not affect adjacent properties. CBC Sec. 1803.3.
- Slope grade away from Building: Provide 5 percent slope for 2 percent if impervious surface is provided) away from buildings for 10 ft minimum. CBC Sec. 1803.3.
- Slope for permeable soils and tile shall not be steeper than 2:1. Deviations from this requirement considered only with soils investigations report and engineered grading construction documents and in conformance with CBC Appendix J Sections 106, 107 & 108. Cuts and fills steeper than 5:1 (horizontal vertical) shall be constructed with swales and/or benches and setback from property lines by 1/5 of 2 feet min. per CBC figure 108.1. CBC Appendix J Sec. Sections 106, 107 & 108.

Drawing Index

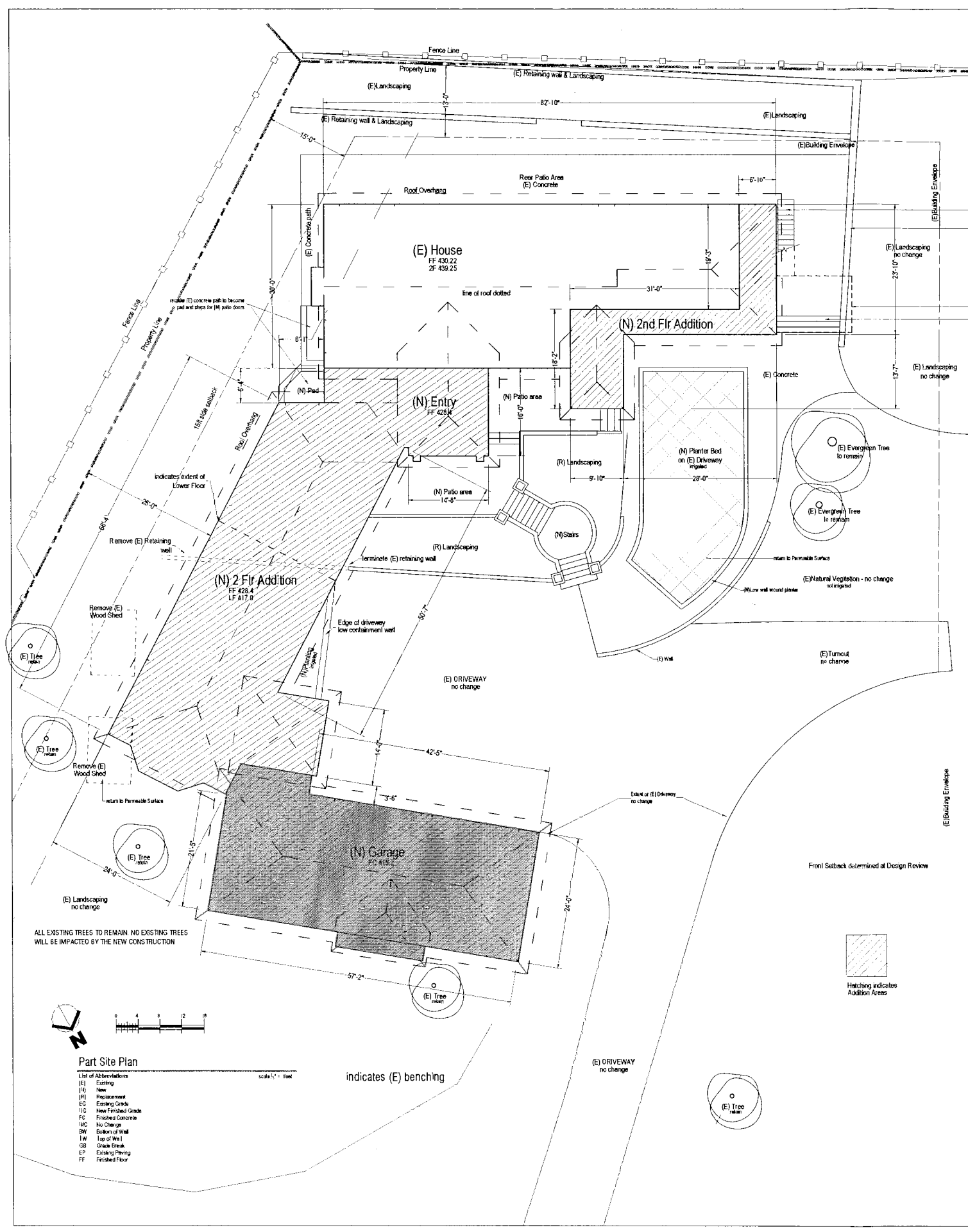
- Cover Sheet, Site Plan and Project Information
- Existing Plans and Elevations
- First Floor Layout Plan
- Second Floor Layout Plan
- Lower Floor Layout Plan and Roof Plan
- Elevations
- Grading and Drainage Plan
- Landscape Plan
- Green Sheets and T24 Report
- Title 24 Report (Cont.)

Remodel - Podiatrist Residence  
5130 Foothill Road  
Pleasanton, CA 94588  
APN 941-188-001-503

Proposed Second Floor  
(E) House Remodel

PROJECT DATE: 03-08 3.3.11

SHEET 0



- Site Plan Notes & Green Point Rating Notes
- Recycled Content Aggregate to be used in new walkways or driveway bases.
  - Any (E) Duct openings and other related air distribution components shall be covered during construction.
  - Replace Portland Cement in concrete with recycled Fly ash and slag (minimum 20%).
  - Install moisture control measures into new carpenters.
  - Install Termite Shield and separate all exterior wood to concrete connection.
  - Light Pollution from Exterior Lighting to be minimized by selection of shielded fixtures that direct lighting downwards.
  - Roof overhangs to be minimum 10".
  - Remove leaded glass to direct water away from building and terminate min 24" from building.
  - Advanced mechanical ventilation to V2. Compliance with ASHRAE 62.2 Mechanical Ventilation Standards (Title 24 part 6) & Advanced Ventilation Provisions.
  - Combined Smoke and carbon monoxide detectors to be installed in bedrooms and living rooms.
  - Install Wiring Conduit for future Photovoltaic installation on South facing roof.
  - Verification of insulation and Thermal Bypass checks prior to framing of sheetrock. House to pass Blower Door Test, with results max 2 SACH for unbalanced systems and 1 SACH for balanced systems.
  - House to pass Construction Safety Checklist Test.
  - Building Construction Performance test to exceed Title 24 minimum by 15%.
  - Roof 24 to be prepared and signed by CABEC Certified Energy stars Examiner.
  - Low VOC or Zero VOC paints, Low VOC coatings (SCAQM) rule 11.03, Low VOC Construction adhesives, sealants and caulks, to be used throughout.
  - Environmentally Preferable Materials to be used as a minimum of 50% in millwork, cabinets, shelving, trim, doors and countertops.
  - Reduce Formaldehyde in Interior Finishes to meet current CARB airborne toxic control measures.
  - All Carpet and 50% of resilient flooring to be low emitting types.
  - Install EnergyStar type Dishwasher and clothes Washer to meet CEE tier 2 and tier 3.
  - Install EnergyStar type Refrigerator.
  - Local EnergyStar recycling and composting center.
  - Comply with CAL Green Stewardship Management Plan, CAL Green Surface Water drainage requirements, & CAL Green points and openings, under spaces around pipes, cables and conduits and other openings in exterior walls during construction.

Directory

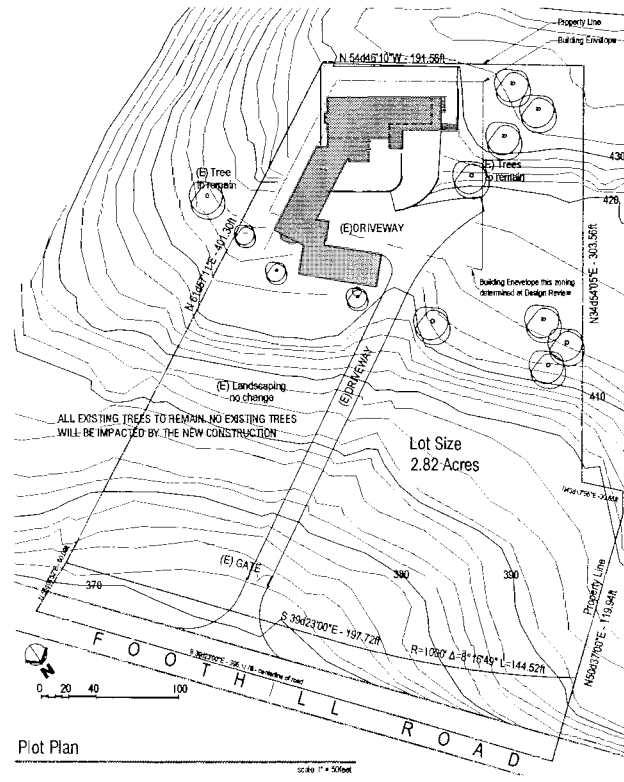
Construction/Design Carlton Homes 1816 Fourth Street Santa Rosa Ca. 95404 T (707) 544 1781	T24 - Energy Audit Ricks Energy Solutions 1523 Cavendish Ave Santa Rosa Ca. 95404 T (707) 578 5386	Design / Drafting Irvin Klein 678 Spears Road Santa Rosa Ca T (707) 695 0711
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Impervious Surfaces

(E) Impervious Surfaces area	1531 sqft
% of site	12.6%
Additions from (N) Construction	3338 sqft
Removal of Impervious Surface	899 sqft
Total (N) Impervious Surface Area	1802 sqft
% of site	14.7%

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OCT 12 2011  
CITY OF PLEASANTON  
PLANNING DIVISION

EXHIBIT B  
P11-0002 (CUP)  
P11-0003 (AOR)



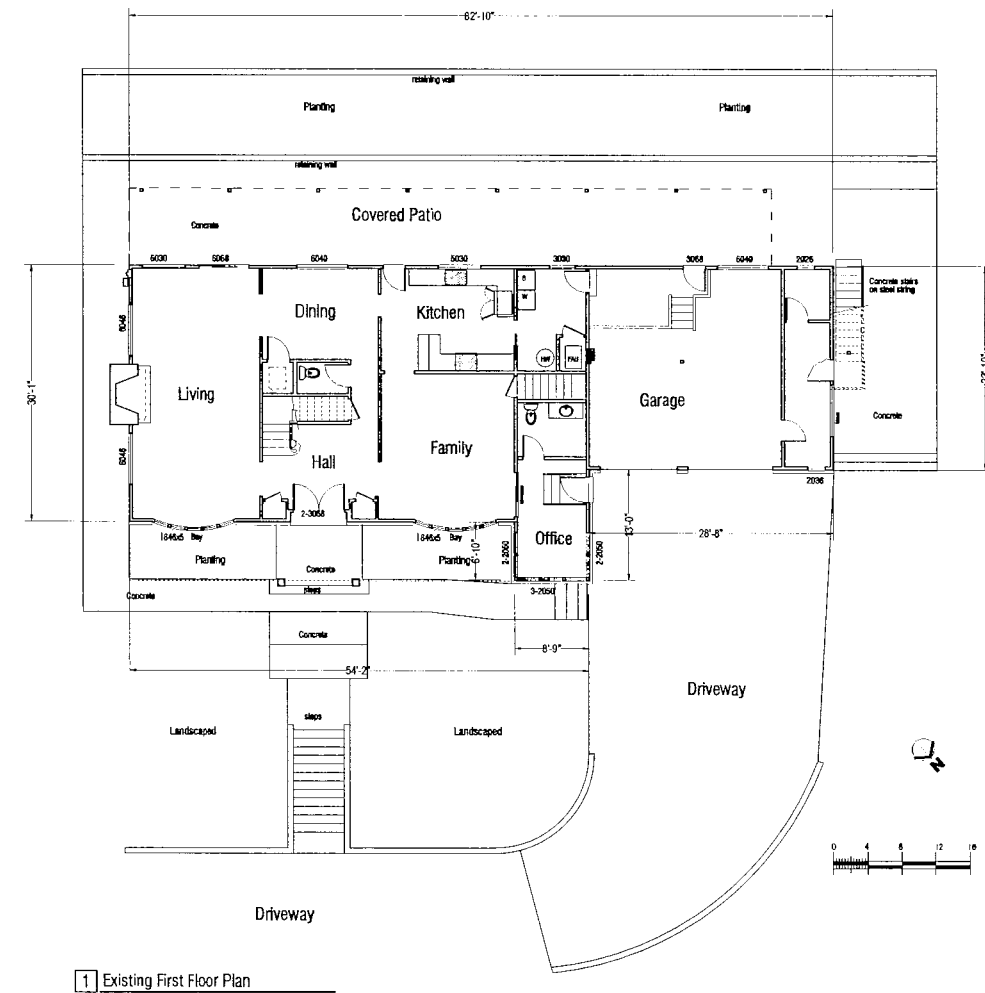
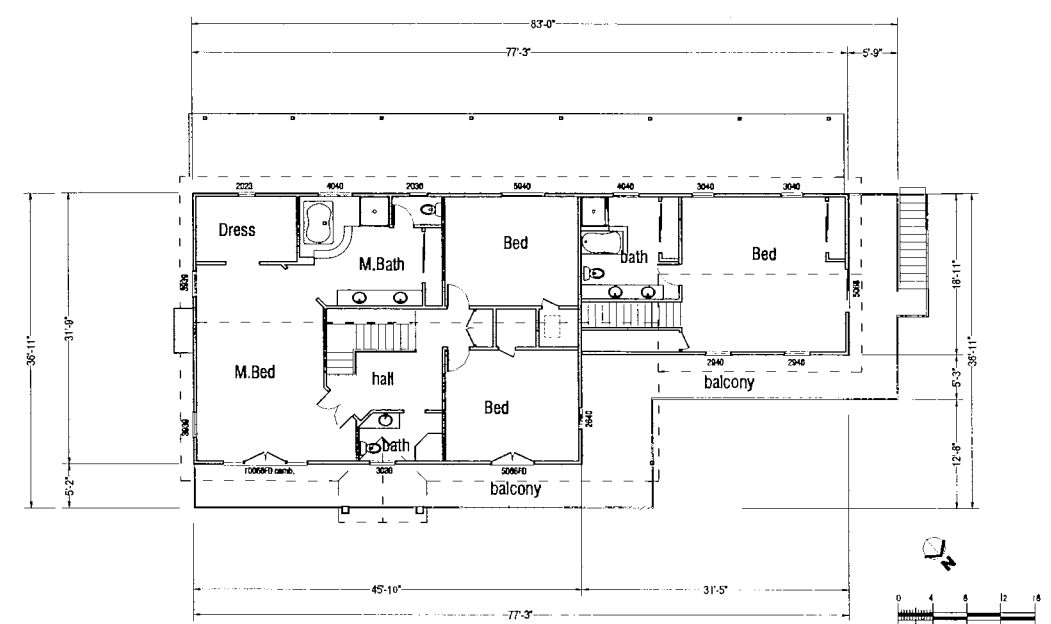
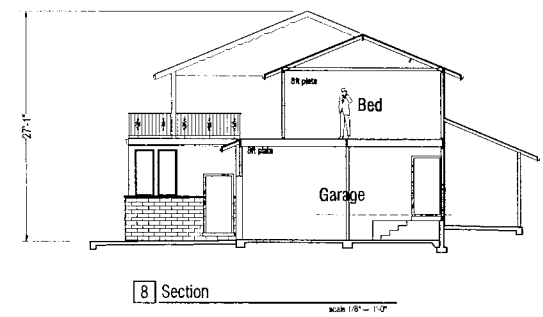
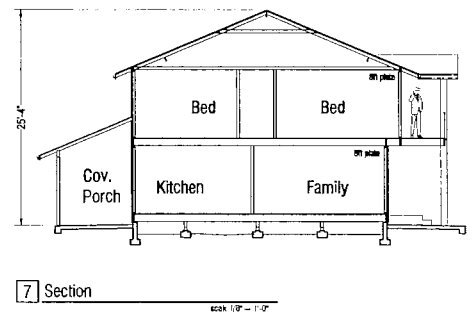
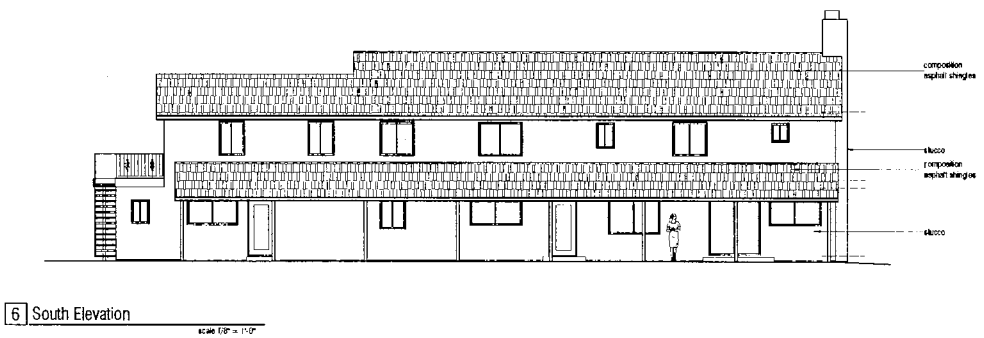
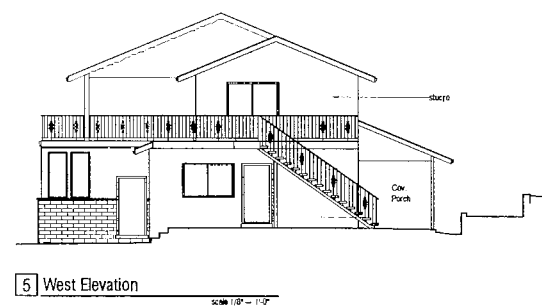
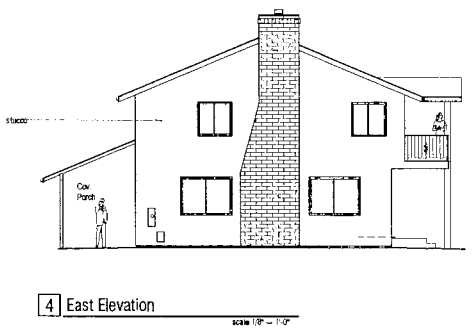
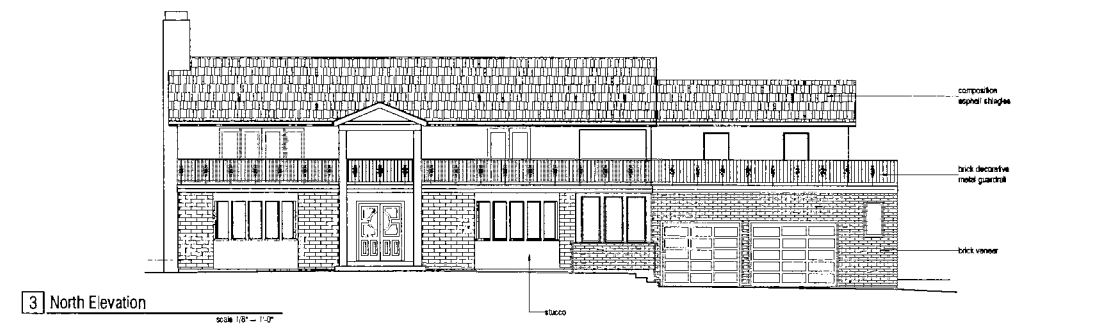


Ives Kian Design Services  
ivk@icdn.com  
707.856.0711

Plan Check  
 Permit

Construction  
Subject to revision until  
permit is issued.

**CH CARLTON HOMES**  
 Local Lic. No. 67280  
 State Lic. No. CA 95488  
 APN 941-188-001-503



Remodel - Poddalour Residence  
5130 Foothill Road  
Pleasanton, Ca. 95488  
APN 941-188-001-503

DATE	REVISION
3.10.11	1. Add information

TITLE  
**Proposed First Floor  
(E) House Remodel**

PROJECT 03-09 DATE 3.3.11

SHEET  
**1**

All files prepared by Ives Kian Design Services



Invis Klein Design Serv.  
invis@invis.net  
767 886 0111

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**CARLTON HOMES**  
Call: Carl Lee, #1188  
1816 4th Street - Santa Rosa, California 95404  
(707) 546-1701

Remodel - Poddacor Residence  
5130 Foothill Road  
Pleasanton, Ca. 95488  
APN 941-188-001-503

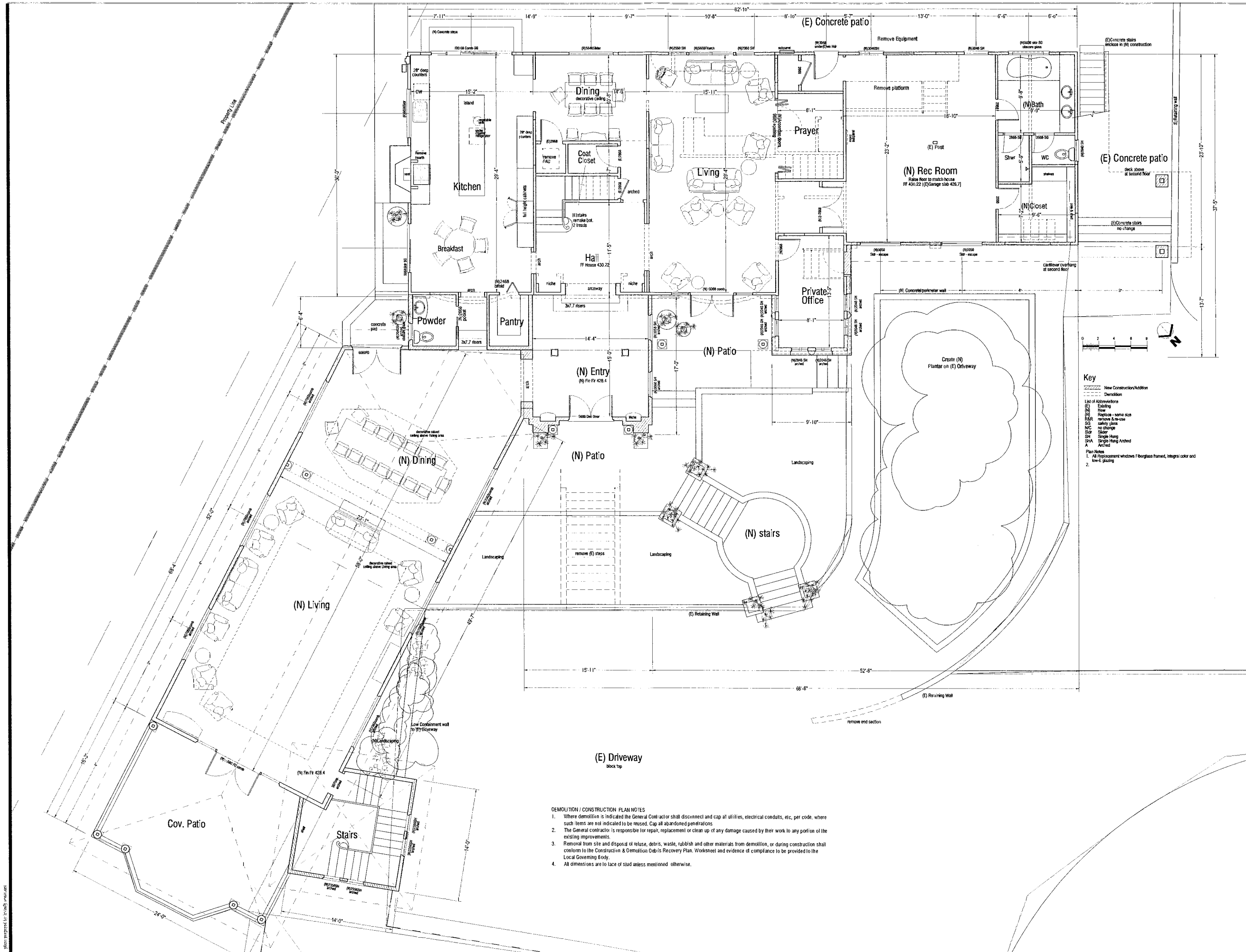
DATE: 03-09  
REVISION: 33 11

# Proposed First Floor Remodel/Addition

PROJECT DATE: 03-09 33 11

SHEET

2



**DEMOLITION / CONSTRUCTION PLAN NOTES**

1. Where demolition is indicated the General Contractor shall disconnect and cap all utilities, electrical conduits, etc., per code, where such items are not indicated to be reused. Cap all abandoned penetrations.
2. The General contractor is responsible for repair, replacement or clean up of any damage caused by their work to any portion of the existing improvements.
3. Removal from site and disposal of refuse, debris, waste, rubbish and other materials from demolition, or during construction shall conform to the Construction & Demolition Debris Recovery Plan. Worksheet and evidence of compliance to be provided to the Local Governing Body.
4. All dimensions are to face of stud unless mentioned otherwise.

When prepared by Invis Klein Design Serv.



Invis Klein Design Serv.  
invis@invis.net  
707.855.0711

- Plan Check
- Permit

Construction  
Subject to revision until permit is issued



Remodel - Poddaboori Residence  
5130 Foothills Road  
Pleasanton, Ca. 94588  
APN 941188-001-503

Remodel - Poddaboori Residence  
5130 Foothills Road  
Pleasanton, Ca. 94588  
APN 941188-001-503

DATE	REVISION
11/15/20	Address Information

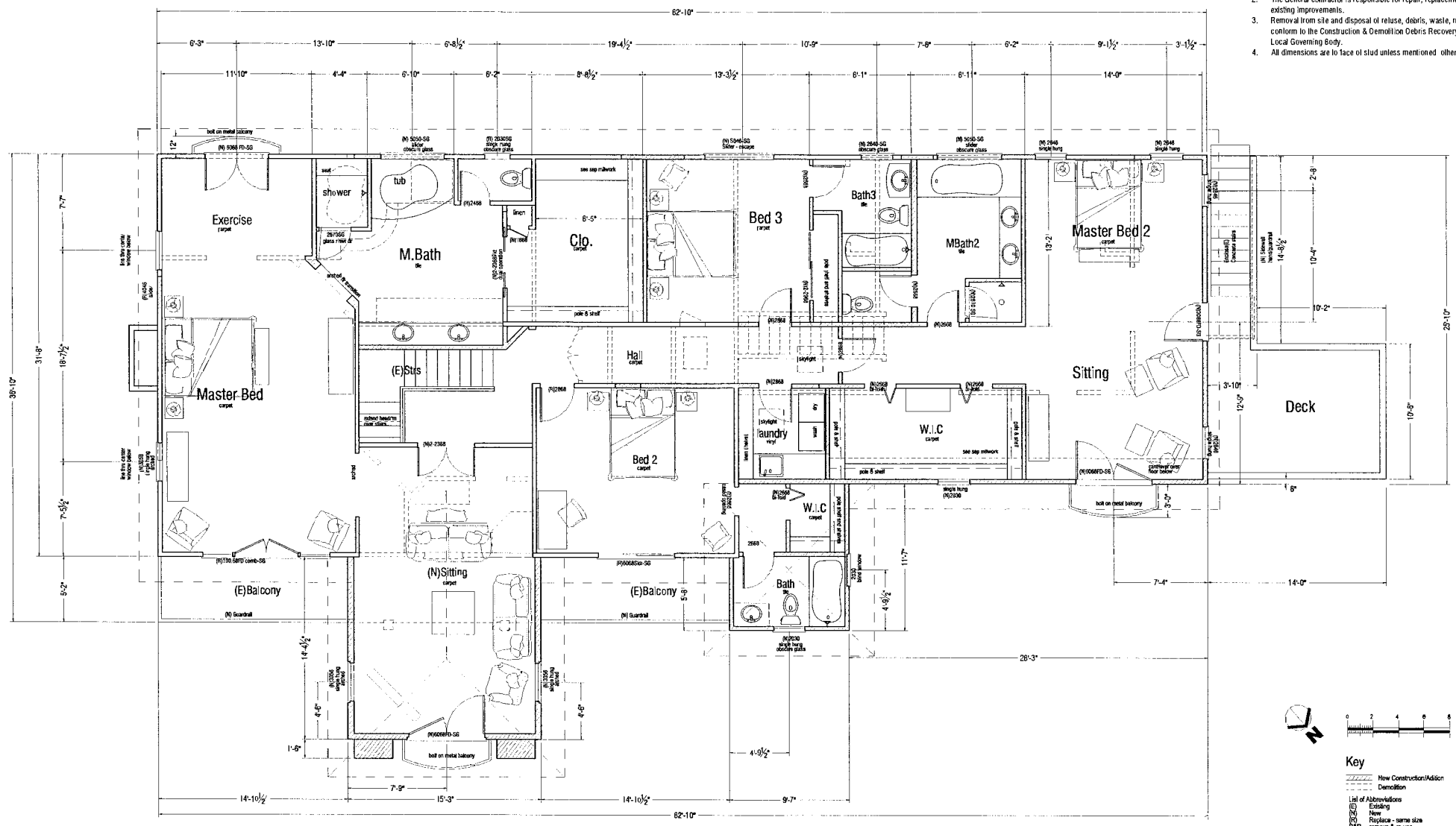
**Proposed Second Floor  
Remodel/Addition**

PROJECT DATE  
03-09 3.3.11

SHEET

**3**

- DEMOLITION / CONSTRUCTION PLAN NOTES**
- Where demolition is indicated the General Contractor shall disconnect and cap all utilities, electrical conduits, etc. per code, where such items are not indicated to be reused. Cap all abandoned penetrations.
  - The General contractor is responsible for repair, replacement or clean up of any damage caused by their work to any portion of the existing improvements.
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  - All dimensions are to face of stud unless mentioned otherwise.



- Key**
- New Construction/Addition
  - Demolition
- List of Abbreviations**
- ED Existing
  - NY New
  - RS Replace - same size
  - RUR remove & re-use
  - IG Int. Glass
  - NC no change
  - SL Slider
  - SH Single Hung
  - SHA Single Hung Arched
  - A Arched

**Plan Notes**

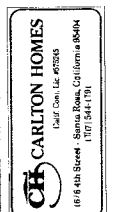
- All Replacement and New windows Fiberglass framed, integral color and low-E glazing.
- All Dimensions to Back of Stud.



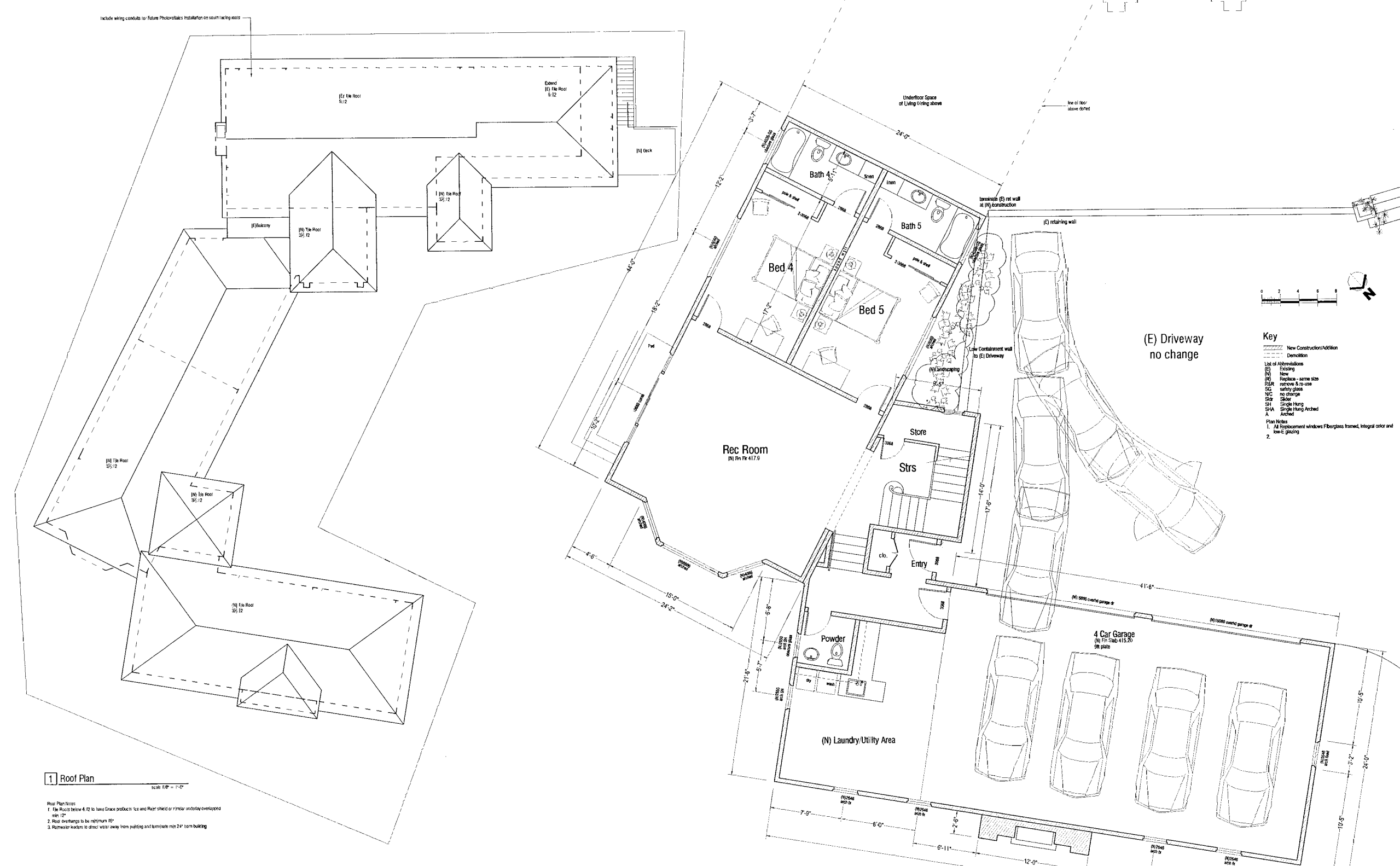
Irwin Khan Design Group  
 irwin@irwindesign.com  
 707.556.0711

Plan Check  
 Permit

Construction  
 Subject to revision until  
 permit is issued.



Carlton Homes  
 10000 Woodbridge Ave  
 San Diego, CA 92121



1 Roof Plan  
 Scale: 1/8" = 1'-0"

- Roof Plan Notes
1. The Roof below 4 (2) to have Grace products: Ice and Water shield or similar underlayment overlapped min 12"
  2. Roof overhangs to be minimum 18"
  3. Rafter hangers to direct water away from building and terminate min 2" from building

1 Lower Floor Plan  
 Scale: 1/4" = 1'-0"

- DEMOLITION / CONSTRUCTION PLAN NOTES
1. Where demolition is indicated the General Contractor shall disconnect and cap all utilities, electrical conduits, etc. per code, where such items are not indicated to be reused. Cap all abandoned penetrations
  2. The General contractor is responsible for repair, replacement or clean up of any damage caused by their work to any portion of the existing improvements.
  3. Removal from site and disposal of refuse, debris, waste, rubbish and other materials from demolition, or during construction shall conform to the Construction & Demolition Debris Recovery Plan. Worksheet and evidence of compliance to be provided to the Local Governing Body.
  4. All dimensions are to face of stud unless mentioned otherwise.

Key

--- New Construction/Addition  
 --- Demolition

List of Abbreviations

- (E) Existing
- (N) New
- (R) Replace - same size
- (R&U) remove & re-use
- (SG) safety glass
- (NC) no change
- (S) Sider
- (SH) Single Hung
- (SHA) Single Hung Arched
- (A) Arched

Plan Notes

1. All Replacement windows Fiberglass framed, integral color and low-e glazing
- 2.

Remodel - Poddaboli Residence  
 5130 Foothills Road  
 Pleasanton, Ca, 94588  
 APN 941198 001 503

DATE	REVISION
11/05/20	1. Submit for permit

Proposed Second Floor  
 Remodel/Addition

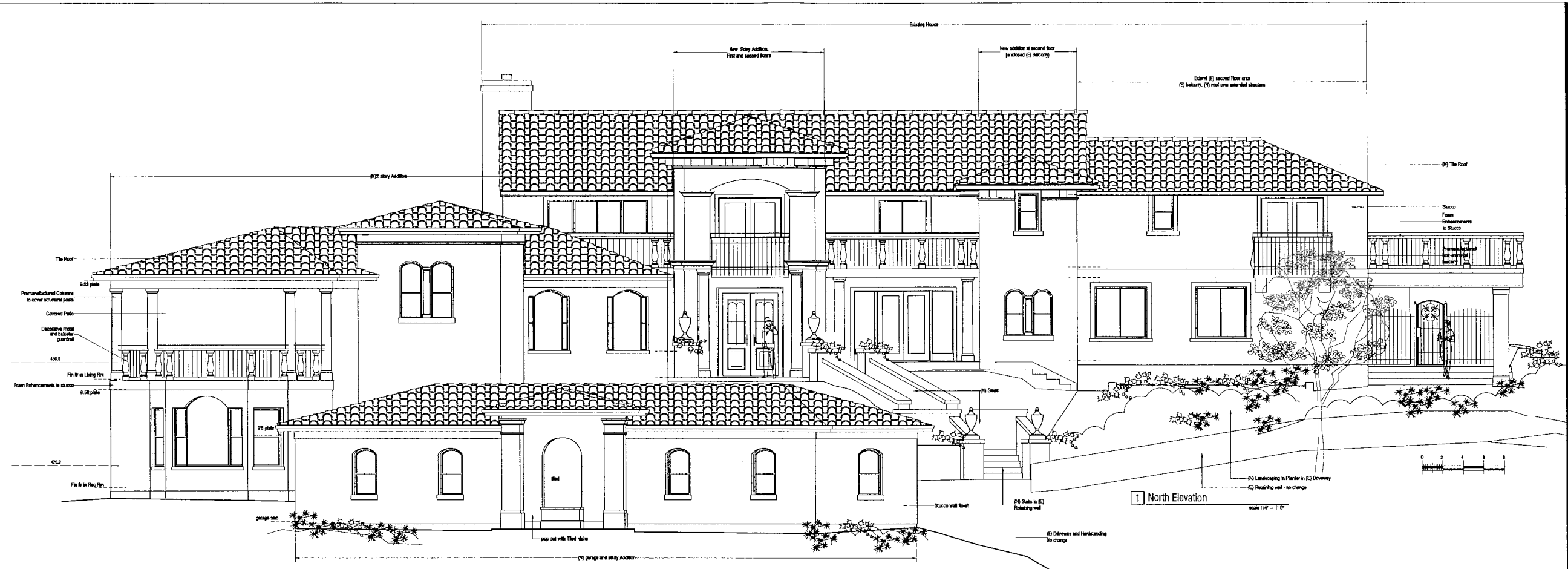
DATE: 03/09  
 SHEET: 3.3.11



Evelyn Klein Design Serv.  
 evk@evkdesign.com  
 767 886 0711

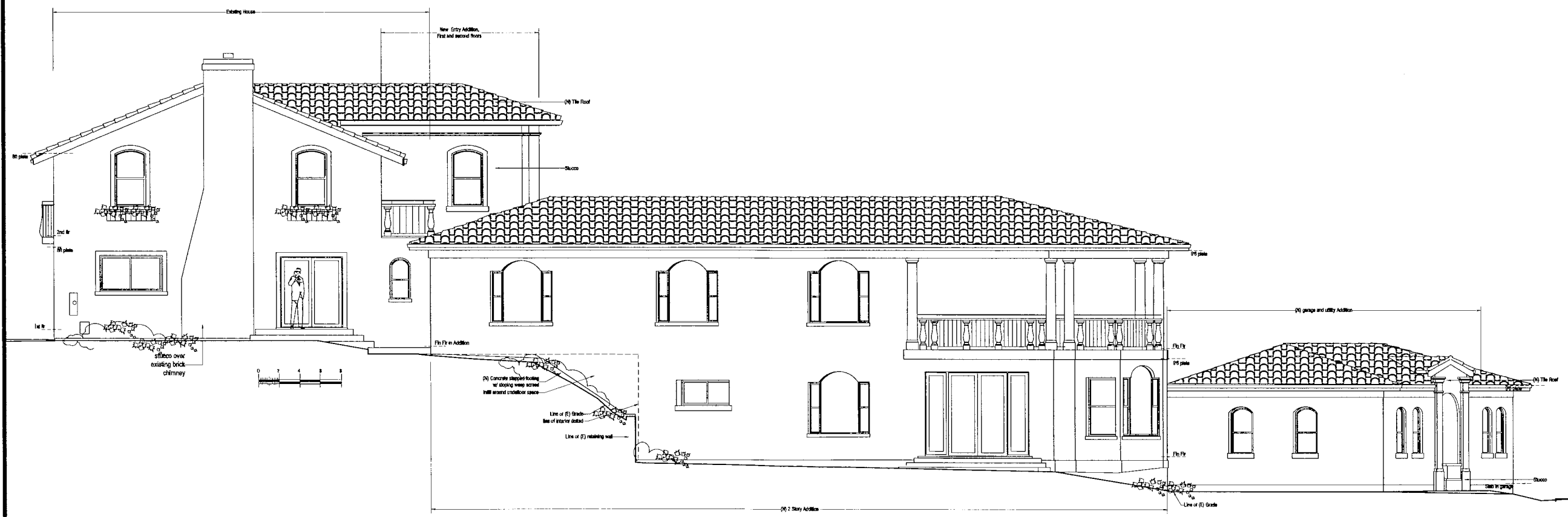
- Plan Check
- Permit

Construction  
 Subject to revision until permit is issued.



1 North Elevation

Scale 1/8" = 1'-0"



2 East Elevation

Scale 1/8" = 1'-0"

Remodel - Podiatrist Residence  
 5130 Foothills Road  
 Pleasanton, Ca. 95468  
 APN 941-198-001-503

DATE	REVISION
03-08	Initial Information

THE Elevations Remodel/Addition

PROJECT: 03-08 DATE: 3.3.11

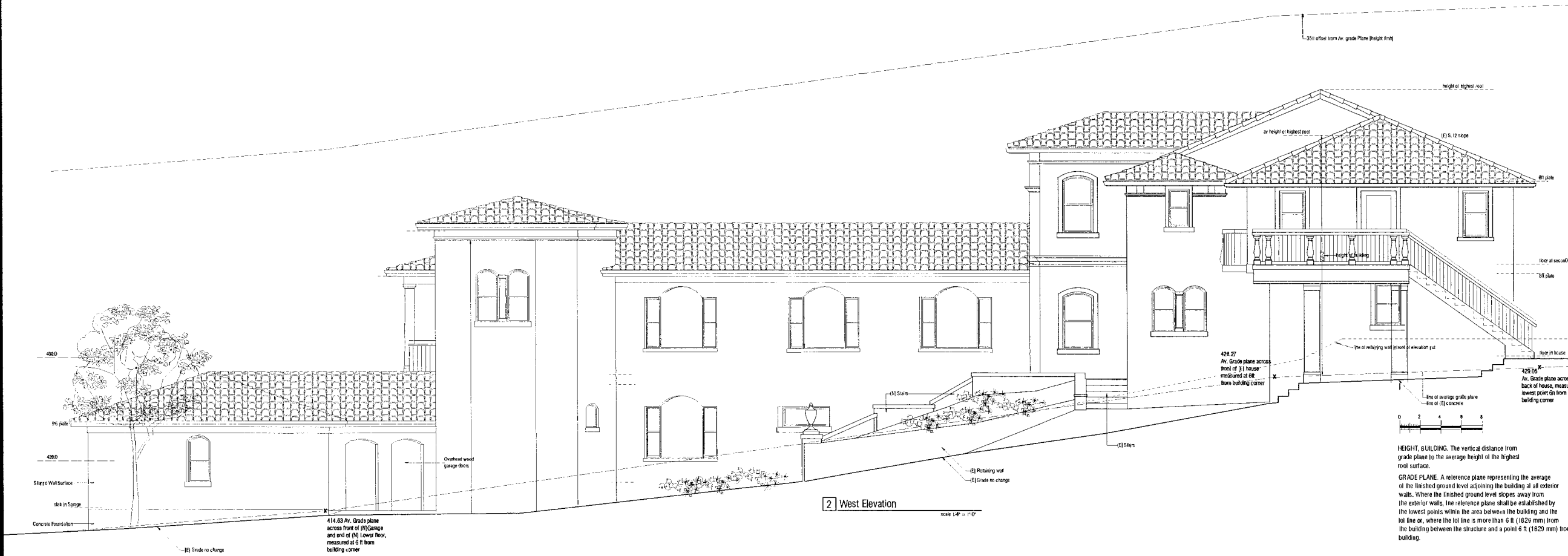


Ivan Frank Design Group  
ivfrank@icad.net  
707 695 0711

Plan Check  
 Permit

Construction  
Subject to revision until  
permit is issued

**CH CARLTON HOMES**  
Call: 949.441.1234  
Fax: 949.441.1234  
1000 S. Street, Suite 100, Carlsbad, CA 92008  
(760) 441-1234



Remodel - Puddington Residence  
5130 Foothills Road  
Pleasanton, Ca 94568  
APN 041-198-001-503

DATE	REVISION
05/01/2014	Initial Information

**Elevations  
Remodel/Addition**

PROJECT DATE  
03-09 3.3.11

SHEET  
**6**

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Carlton Homes  
1018 14th Street, Suite 100, California, CA 94501  
(925) 441-1700

Plan Check  
Permit

Construction  
Subject to revision until permit is issued

CH CARLTON HOMES  
1018 14th Street, Suite 100, California, CA 94501  
(925) 441-1700

**Soils Report**  
Soils information based on G.E.I. Geotechnical Engineers Report # 112609, dated April 22, 2006.  
Recommendations to be found on pages 8-14.  
Characteristic of local Livermore formation, the top soil is underlain by a 4-8 ft layer of loose fill, which must be penetrated to reach stiffer gravel layer below. Shallow foundations are therefore recommended to a depth of 10-15 feet. Any 'Slab on Grade' and paving areas must be underlain by compacted fill. Attention also to be given to any new back filling behind retaining walls.

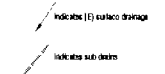
**Survey Information**  
Topographical and survey information based on DeBolt Engineering Survey dated 9.17.2000

**Grading & Drainage Notes**

1. Site Grading limited to retaining walls and underfloor areas. Cuts and fills no steeper than 2:1 (horizontal to vertical)
2. Excess earth to be removed to a site approved by the City of Pleasanton.
3. Surface drainage gradients slope finished grading away from building for first 10' at 2% for paved areas and 5% for unpaved areas.
4. Provide exterior perimeter foundation sub drains for control of ground water in vicinity of building.
5. Provide positive drainage from underfloor areas.
6. Roof gutter drip collection shall remain independent of foundation perimeter sub drains. Direct away from building using splash blocks.
7. Retaining/foundation wall drains and under slab drains shall be directed to daylight, or to the storm drain system. If connected to the storm drain system, point of connection shall be a minimum of 5 feet below the lowest point of the perforated pipe.
8. All grading shall be performed in accordance with Chapters 18.33 and appendix Chapter 23 of the C.C.S. to the criteria per the soils report, under supervision of the Soils Engineer.
9. All cut and fill scope and all areas where existing vegetation is removed during construction and not being replaced with permanent landscaping, shall be seeded with an industry standard erosion control seed mix at the rate of 500 lbs per acre, erosion matting, straw or hydro-mulching shall be used to stabilize seed. See SAEC Notes below.

Abbreviations

FTW	Retaining Wall
TP	Top of Paving
TS	Top of Slab
TC	Top of Curb
TS	Top of Slab
IS	Interior Slab
ES	Existing Grade
FG	Finished Grade
RG	Rough Grade
GB	Grade Break
HT	Height
FL	Flow Line
SD	Slope Drain
LF	Linear Foot
SS	Sanitary Sewer
W	Water
G	Gas Meter
E	Electric Meter
PH	Perimeter
FW	Top of Ret. Wall
BW	Bottom of Ret. Wall



**Erosion & Sediment Control Notes**

1. Erosion and sediment control measures shall be installed prior to October 1st, and kept in place until May 1st unless otherwise authorized by the City Engineer.
2. Materials required for Erosion and Sediment control measures shall be stockpiled onsite prior to October 1st.
3. Materials required for the repair and maintenance of the erosion and sediment control system shall be maintained onsite from October 1st thru May 1st.
4. If Contractor is authorized by the City Engineer to continue work beyond October 1st, prior to the onset of the fall/winter rains the Contractor is to incorporate the following:
  - a. All areas where natural vegetation has been removed, and with a slope of 15% or less shall have straw mechanically cast evenly on the surface at a rate of 4000 lbs per acre. Cast straw shall receive stabilizing emission (lockfill), non-asphaltic, complying with section 20 of California standard specifications, at a rate recommended by the manufacturer for the specified use and for climatic conditions at project location.
  - b. Areas with a slope of greater than 15%, or areas disturbed by construction and outside future building sales, shall be hydro-seeded and mulched. Seed & mulch materials and application shall be in accordance with section 20 of California standard specification, and shall consist of applying seed and fertilizer at the rates specified below.

Seed & fertilizer shall be applied by hydro-seeding. Hydro-seeding requires the application of fiber & stabilizing emission.

Item	pounds per acre
Blando bromo seed	30
*Rise or Crimson Clover	20
Fertilizer (10-20-0 & 15% sulphur)	500
Straw	4000
Fiber (for hydro-seeding)	500
Stabilizing emission (for hydro-seeding)	per manufacturers requirements

\* inoculated with Rhizobium Trifolii  
\*\* non-asphaltic, derived from plants

5. Straw wattles shall be manufactured by California Straw Works, Earth Saver Erosion Control products or approved alternative. Weighted core wattles shall be "Skeppard-3" by Kristar Products or approved alternative.
6. Contractor shall provide periodic maintenance for the sediment control measures. Sediment bulkups shall be removed, devices cleaned and replaced after each event, or as required to provide maximum efficiency.
7. The Erosion and Sediment Control Plan is a "Dynamic" Plan and shall be modified as required as construction proceeds. The plan as indicated addresses erosion and sediment control at the rough grade condition with the storm drainage systems in place and also after paving is installed. If by October 1st of the year construction commences, the rough grading has commenced, but the storm drainage systems are not installed, contact Project Engineer for recommended adjustments to these plans.
8. Contractor shall be responsible for cleanup of mud and debris carried onto surrounding streets and roads as a result of construction activity.

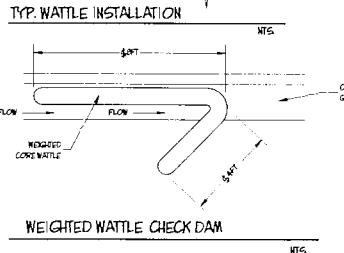
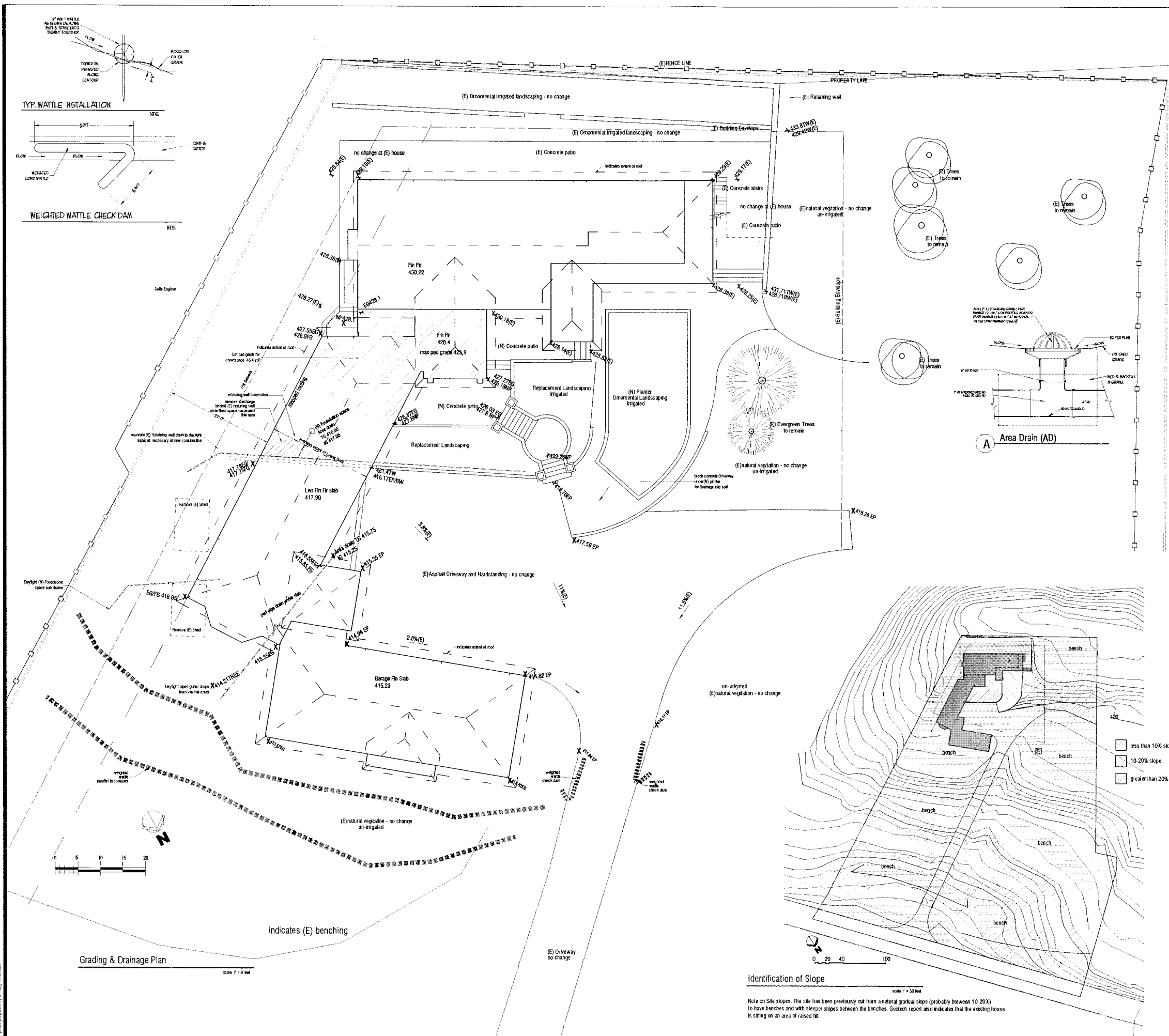
Remodel - Podiatrist Residence  
5130 Foothills Road  
Pleasanton, CA 94568  
APN 041-198-001-503

DATE: 03/09  
REVISION: 3.00/2010/ASCS information

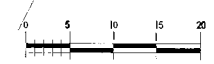
# Grading & Drainage Plan

PROJECT: 03.09  
DATE: 3.3.11

SHEET: 7



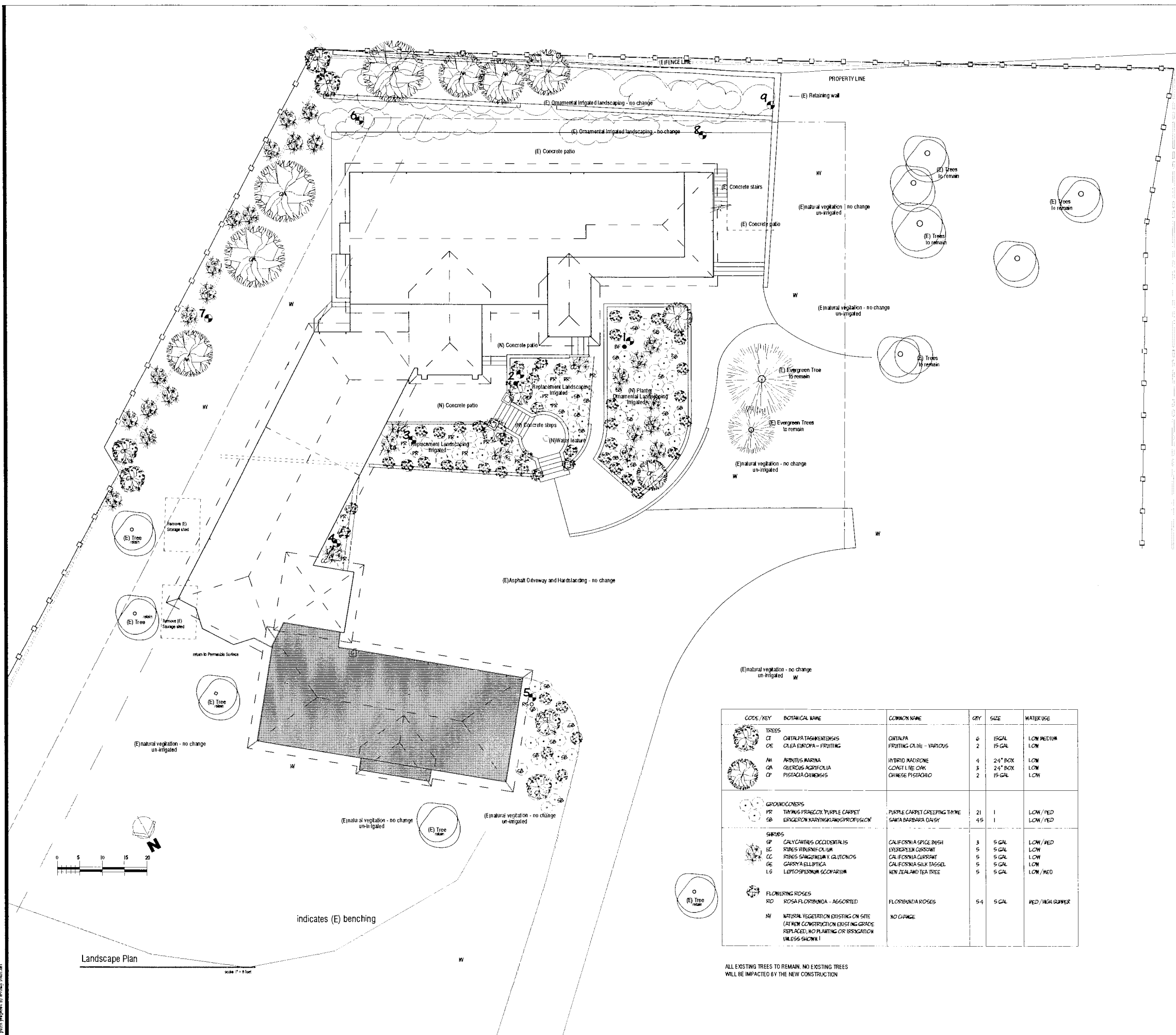
Soils Engineer



Grading & Drainage Plan  
scale 1" = 8 feet

Identification of Slope  
scale 1" = 50 feet

Note on Site Slopes: The site has been previously cut from a natural gradual slope (probably between 10-20%) to have benches and with steeper slopes between the benches. Geotech report also indicates that the existing house is sitting on an area of raised fill.



**Landscaping Notes**  
 The nature of the existing small oak, manzanita, and natural scrub vegetation is to be preserved in the new landscaping plan. Ornamental planting is to be considered only adjacent to the new building.  
 The aspect of the new construction is to be minimized by the following:

1. Maintain (E) Driveway and Hardscaping, no additional Driveway or Hardscaping anticipated. Any additional new walkways or Driveway additions to have recycled aggregate base.
2. No trees to be removed, and trees impacted by construction are to be fenced off during construction period. No change of grade at plant crown is to occur.
3. Careful use of large machinery to minimize disturbing soil during construction. Topsoil required to be moved for construction is to be protected, stored and kept covered during construction, and replaced as near to conditions as it was collected.
4. Limit extent of construction disturbance and footprint for new building break. Protect (E) landscape areas adjacent to Construction Enclosed Control zone to be provided at time of Permit Application.
5. Use and disposal of construction site water to be contained and discharged at appropriate treatment site. No construction water, paint, or chemicals to be discharged onto the soil, or into storm water drainage systems.
6. All (E) and (N) plants to have base stem or trunk located at least 38" from foundation.
- 7.
- 8.

**Irrigation Statement**  
 (N) Irrigated Landscaping to be restricted to the immediate area around the house, and entrance. Generally natural site vegetation to be retained, but not irrigated.

**Water use calculations to be provided after Design Review Approval - if approved**

**Plant Selections, water features & use limitations**

1. Selected plants to be chosen for their suitability to climate, geology and topography of the project, and will be low water-use once established.
2. To be non-invasive species listed in Cal-IPCL grouped in hydrozones. No species that require shearing, and a minimum of 75% through lowest, California native or Mediterranean or other appropriate species.
3. Plants having similar water use are grouped into hydrozones.
4. Water features will be of the water recycling type.

**Soil Conditioning & Mulching**

1. A minimum of one inch depth of non-mechanically compacted soil to underlay landscaped areas to encourage water absorption and plant root growth.
2. A minimum layer of 3 inches of porous mulch (or more if required to comply with Local Ordinance) is to be applied to all exposed soil areas of all non-turf areas within the landscaped area. Non porous mats such as plastic sheeting shall be placed under the mulch.

**Irrigation:**

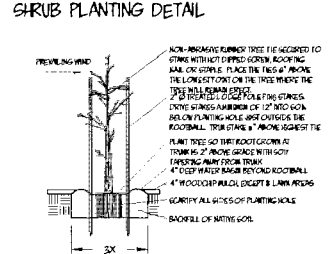
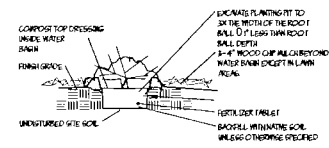
1. All landscaped areas are to be irrigated with automatic irrigation system with repeat start time potential.
2. Landscapes containing more than one type of plant list, or a variety of solar exposure shall use controllers with multiple programmes.
3. Separate irrigation circuits are to be provided for different plant types, irrigation methods, slopes, soil types and solar exposures.
4. Premium irrigation is to be provided to utilize proper operating pressure for each irrigation delivery hardware type.
5. Plant application irrigation methods are to be used throughout. Overhead water delivery systems, if used, must be designed not to cause overwatering or runoff. Rain shut-off devices are to be employed.
6. Check valves are to be included where elevational differences may cause low head drainage.
7. For valve locations it is best to locate single valves or valve manifolds locations at a water source close to the house to minimize PVC piping and trenching. drip lines to come directly from valve assembly where possible. Valve vents can be run under or around house to controller.



Plan Check  
 Permit  
 Construction

Subject to revision until permit is issued.

**CARLTON HOMES**  
 Carl, Carl, L.A. Architect  
 1101 14th Street - Santa Ana, CA, California 92701  
 (714) 544-1701



CODES/KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	WATER USE
TREES	CI QUILPATA TAGAMENTENSIS	QUILPAPA	6	15 GAL	LOW/MEDIUM
	OE OLEA EUROPA - FRUITING	FRUITING OLIVE - VARIOUS	2	15 GAL	LOW
	AM ARBUTUS MARINA	HYBRID MADRONNE	4	24" BOX	LOW
	GA QUERCUS AGRIFFOLIA	COASTAL RED OAK	3	24" BOX	LOW
CP PISTACIA CHINENSIS	CHINESE PISTACHIO	2	15 GAL	LOW	
GROUNDCOVERS	PR TINNUS PRAECOX PURPLE CARPET	PURPLE CARPET CREEPING THYME	21	1	LOW / MED
	SB ERIGERON KARINENSIS PROPAGISUM	SANTA BARBARA DAISY	45	1	LOW / MED
SHRUBS	SP CALYCANTHUS OCCIDENTALIS	CALIFORNIA SPICE BUSH	3	5 GAL	LOW / MED
	EC RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	5	5 GAL	LOW
	CC RIBES SANGUINEUM V. GLUTINOSUS	CALIFORNIA CURRANT	5	5 GAL	LOW
	GE GARRYA ELLIPTICA	CALIFORNIA SILK TASSEL	5	5 GAL	LOW
	LS LEPTOSPERMUM SCOPARIUM	NEW ZEALAND TEA TREE	5	5 GAL	LOW / MED
FLOWERING ROSES	RO ROSA FLORIBUNDA - ASSORTED	FLORIBUNDA ROSES	54	5 GAL	MED / HIGH SUMMER
	NV NATURAL VEGETATION EXISTING ON SITE (AT NEW CONSTRUCTION EXISTING GRADE REPLACED, NO PLANTING OR IRRIGATION UNLESS SHOWN)	NO CHANGE			

ALL EXISTING TREES TO REMAIN. NO EXISTING TREES WILL BE IMPACTED BY THE NEW CONSTRUCTION

Remodel - Podiatrist Residence  
 5100 Foothills Road  
 Pleasanton, Ca. 94566  
 APN 941-198-001-503

DATE	REVISION

**1 Gallon Legend**

- [Symbol] AUTOMATIC PROGRAMMABLE CONTROLLER - IRRITROL RAINBARD RD. 6000 EXTERIOR MOUNT
- [Symbol] REMOTE ZONE VALVE RAINBARD 075-AGF
- RS O RAIN SENSOR - RAINBARD MODEL RS0
- RF ● BACKFLOW PREVENTION PRESSURE REGULATION DEVICE RAINBARD MODEL RPS 2.0
- SF ● SYSTEM FILTER - AGRIFIM V575
- E CO ADJUSTABLE VACUUM BREAKER WHEN REQ'D FOR ELEV. DIFFERENCES RAINBARD RBM-CF-200FF

**DRIP IRRIGATION COMPONENTS**

- SIZE 1 PLANTS 1 GPH EMITTER
- SIZE 5 PLANTS 2 X 1 GPH EMITTER
- SIZE 15 PLANTS 3 X 2 GPH EMITTER
- 15 GAL TREE 10 GPH ADJ EMITTER

**INITIAL WATERING CYCLES**

1. WATER 3 CYCLES PER WEEK AT 30 MINUTES PER CYCLE.
2. PEAK MONTHS ADJUST TO 45 MIN PER CYCLE, 3 CYCLES PER WEEK
3. ADAPT / REDUCE WATER CYCLES AS PLANTS BECOME ESTABLISHED.
4. AVOID SHALLOW OR OVERWATERING ENCOURAGE DEEPER ROOTS BY EXTENDING WATER TIME AT EACH CYCLE

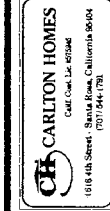
PROJECT: 03-09 DATE: 3.3.11 SHEET: 8



Iron Horse Design Serv.  
Registration No. 707 696 0711

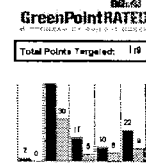
Plan Check  
 Permit

Construction  
Subject to revision until permit is issued.



10104 4th Street, Santa Rosa, California 95405  
(707) 544-1700

GreenPoint Rated Blueprint Scoresheet: Single Family  
The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is provided as a public service by Iron Horse Design, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.



This checklist is intended to be used in conjunction with the GreenPoint Rated Single Family Rating Manual. For more information please visit www.IronHorse.org/greenpoint-rated.  
A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through a Field Inspection.

Single Family New Home 4.212048 Title 24  
Residence of Pratap Podatoori  
John Woodward, Rater # 4962  
4942  
Blueprint Scoresheet

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for A. SITE, B. EXTERIOR, C. LANDSCAPE, and D. STRUCTURAL FRAME & BUILDING ENVELOPE.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for E. EXTERIOR, F. INSULATION, and G. PLUMBING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for H. HEATING, VENTILATION & AIR CONDITIONING and I. MECHANICAL SYSTEMS.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for J. ELECTRICAL and K. COMMUNITY DESIGN & PLANNING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for L. FINISHES and M. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for N. OTHER and O. COMMUNITY DESIGN & PLANNING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for P. FINISHES and Q. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for R. ELECTRICAL and S. COMMUNITY DESIGN & PLANNING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for T. FINISHES and U. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for V. OTHER and W. COMMUNITY DESIGN & PLANNING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for X. FINISHES and Y. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for Z. OTHER and AA. COMMUNITY DESIGN & PLANNING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AB. FINISHES and AC. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AD. FINISHES and AE. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AF. FINISHES and AG. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AH. FINISHES and AI. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AJ. FINISHES and AK. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AL. FINISHES and AM. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AN. FINISHES and AO. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AP. FINISHES and AQ. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AR. FINISHES and AS. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AT. FINISHES and AU. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AV. FINISHES and AW. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AX. FINISHES and AY. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for AZ. FINISHES and BA. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for BB. FINISHES and BC. APPLIANCES AND LIGHTING.

Table with columns for Feature, Points Available, and Pass/Fail status. Includes sections for BD. FINISHES and BE. APPLIANCES AND LIGHTING.

PERFORMANCE CERTIFICATE: Residential (Part 1 of 5) CF-1R. Field Inspection Energy Checklist, Insulation, Fenestration, HVAC Systems, HVAC Distribution Location, Water Heating.

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PERFORMANCE CERTIFICATE: Residential (Part 2 of 5) CF-1R. SPECIAL FEATURES INSPECTION CHECKLIST, HERS REQUIRED VERIFICATION.

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Remodel - Podatoori Residence  
5130 Footlight Road  
Pleasanton, CA 94548  
APR 94 11:59:00-1:53

Green Sheets and T24 Report

PROJECT 0309 DATE 3/31 SHEET 9

PERFORMANCE CERTIFICATE: Residential (Part 3 of 5) CF-1R
Project Name: Phoenix Podiatrist Residence
Annual Energy Use Summary table with columns for TDV, Space Heating, Space Cooling, etc.
BUILDING COMPLIES - HERS VERIFICATION REQUIRED
STATEMENT OF COMPLIANCE: This certificate of compliance lists the building features and specifications needed to comply with Title 24, Part 1.
Documentation Author: PRC Group, Inc.

CERTIFICATE OF COMPLIANCE: Residential (Part 4 of 5) CF-1R
Project Name: Phoenix Podiatrist Residence
OPaque SURFACE DETAILS table with columns for Surface Area, U, F, Solar Heat Gain Coefficient, etc.
PENETRATION SURFACE DETAILS table with columns for Item, Type, Area, U, F, Solar Heat Gain Coefficient, etc.
EXTERIOR SHADING DETAILS table with columns for Item, Type, Area, U, F, Solar Heat Gain Coefficient, etc.

CERTIFICATE OF COMPLIANCE: Residential (Part 4 of 5) CF-1R
Project Name: Phoenix Podiatrist Residence
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CERTIFICATE OF COMPLIANCE: Residential (Part 4 of 5) CF-1R
Project Name: Phoenix Podiatrist Residence
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CERTIFICATE OF COMPLIANCE: Residential (Part 4 of 5) CF-1R
Project Name: Phoenix Podiatrist Residence
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PENETRATION SURFACE DETAILS table with columns for Item, Type, Area, U, F, Solar Heat Gain Coefficient, etc.
EXTERIOR SHADING DETAILS table with columns for Item, Type, Area, U, F, Solar Heat Gain Coefficient, etc.

CERTIFICATE OF COMPLIANCE: Residential (Part 5 of 5) CF-1R
Project Name: Phoenix Podiatrist Residence
SOLAR LOAD CALCULATION TABLE table with columns for System Name, Zone Name, Area, Heating, Cooling, etc.
HVAC SYSTEMS table with columns for System Name, Q, Heating, Cooling, etc.
HVAC DISTRIBUTION table with columns for System Name, Heating, Cooling, etc.
WATER HEATING SYSTEMS table with columns for System Name, Q, Heating, Cooling, etc.
MULTI-FAMILY WATER HEATING DETAILS table with columns for Heating, Cooling, etc.

MANDATORY MEASURES SUMMARY: Residential (Page 1 of 3) MF-1R
Project Name: Phoenix Podiatrist Residence
15100.1 All electrical systems ducts and plenums installed and insulated to meet minimum requirements of Section 15100.1.
15100.2 All electrical systems ducts and plenums installed and insulated to meet minimum requirements of Section 15100.2.

MANDATORY MEASURES SUMMARY: Residential (Page 2 of 3) MF-1R
Project Name: Phoenix Podiatrist Residence
15100.101 Permanently installed lighting in bathrooms, bedrooms and detached garages, laundry rooms, closets and utility rooms shall be high efficiency.
15100.102 Permanently installed lighting in other areas shall be high efficiency.

MANDATORY MEASURES SUMMARY: Residential (Page 3 of 3) MF-1R
Project Name: Phoenix Podiatrist Residence
15100.103 Permanently installed lighting in other areas shall be high efficiency.
15100.104 Permanently installed lighting in other areas shall be high efficiency.



Carlton Homes logo and address information

Plan Check and Permit status information

Carlton Homes logo and contact information

Additional project information and dates

T24 Report (Cont.) title block with project name and address

Revision table with dates and descriptions

SHEET number 10