

Google maps

To see all the details that are visible on the screen, use the "Print" link next to the map.



PHOTO REFERENCES

PERLEGOS NEW HOME
5982 KOLB RANCH DR.
PLEASANTON, CA 94588
PH. (510) 552-6257

EXHIBIT B
 P11-0798
RECEIVED
 FEB 16 2012
 CITY OF PLEASANTON
 PLANNING DIVISION

①



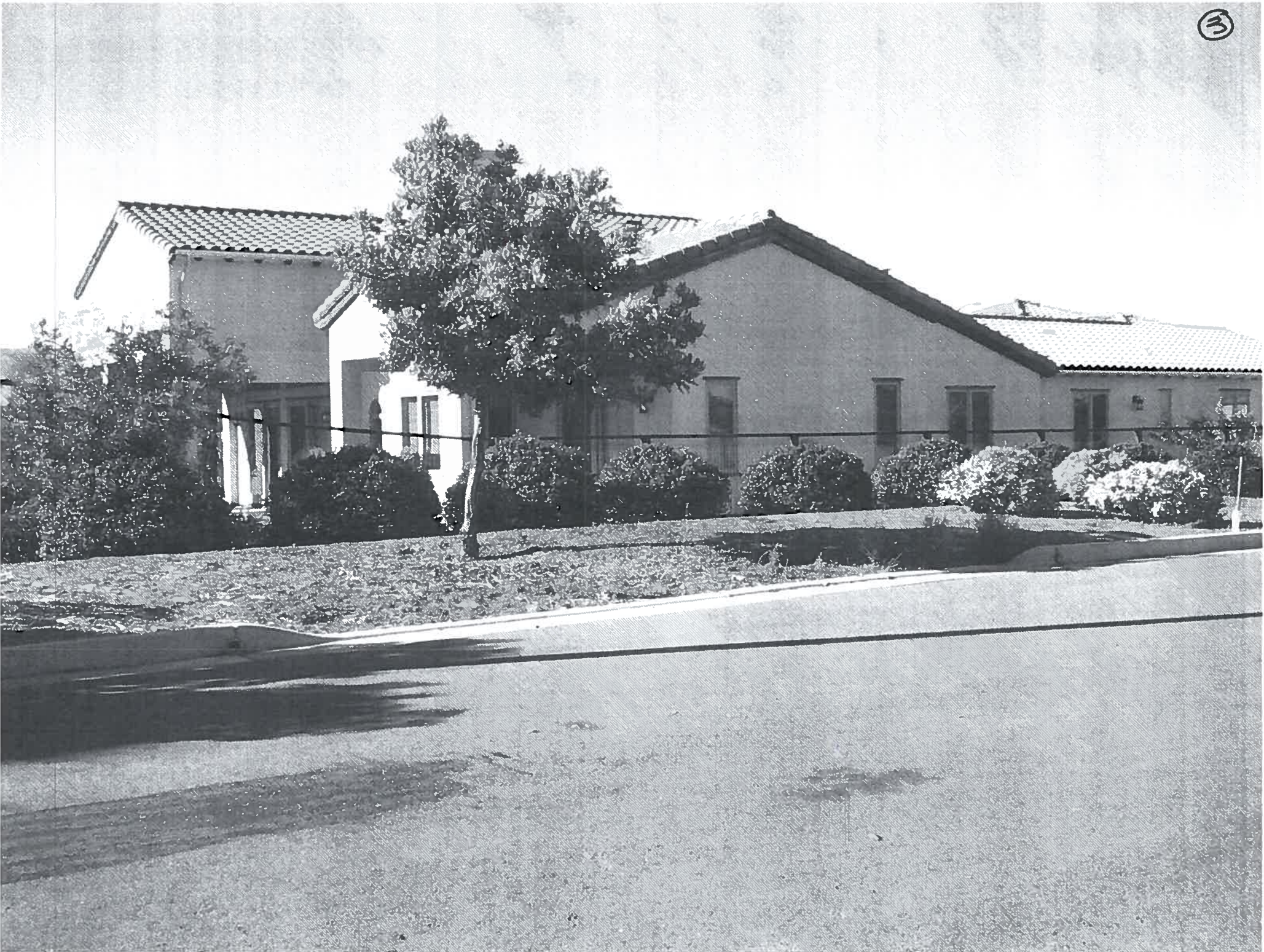
6010 KCB
RANCH

② Y



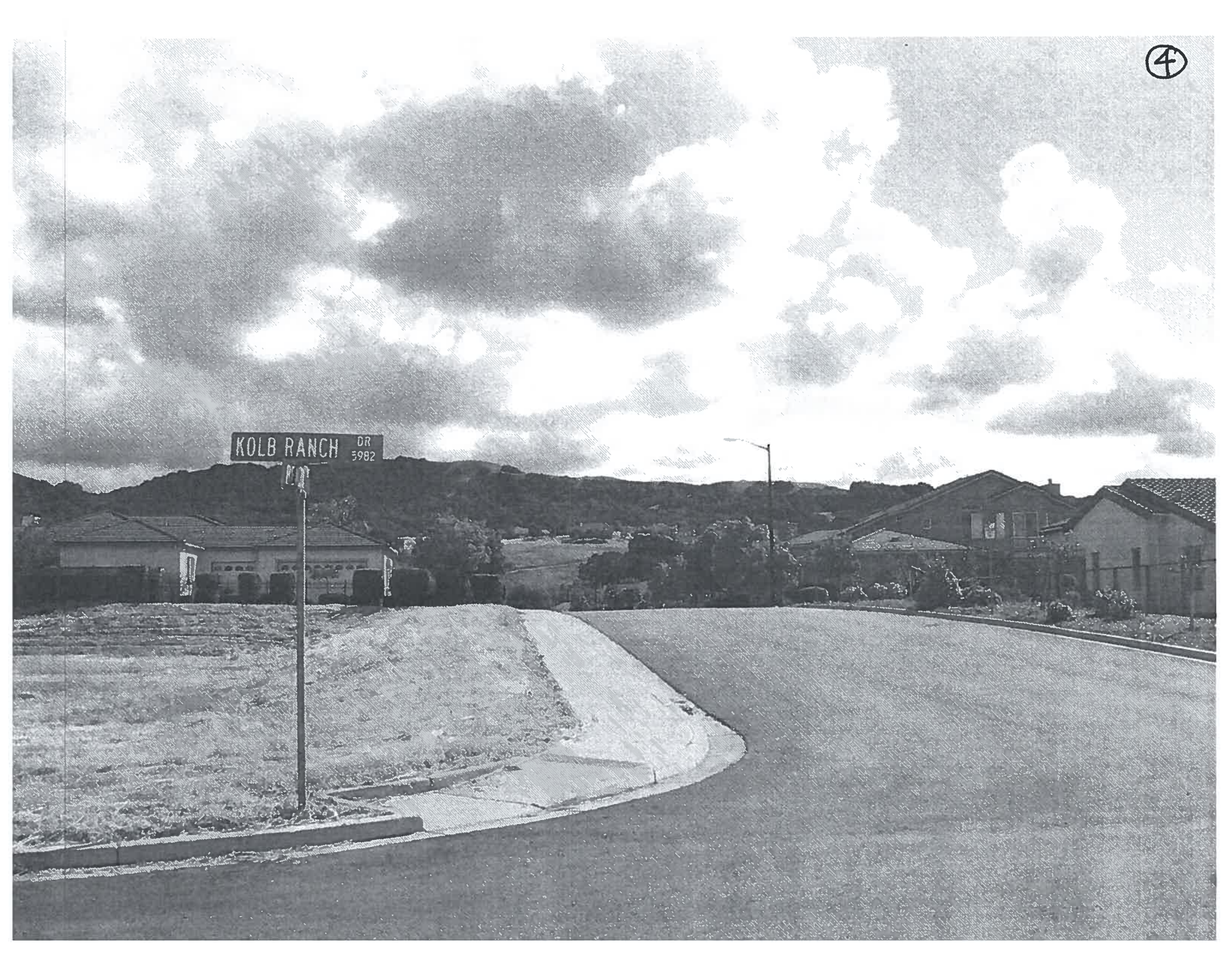
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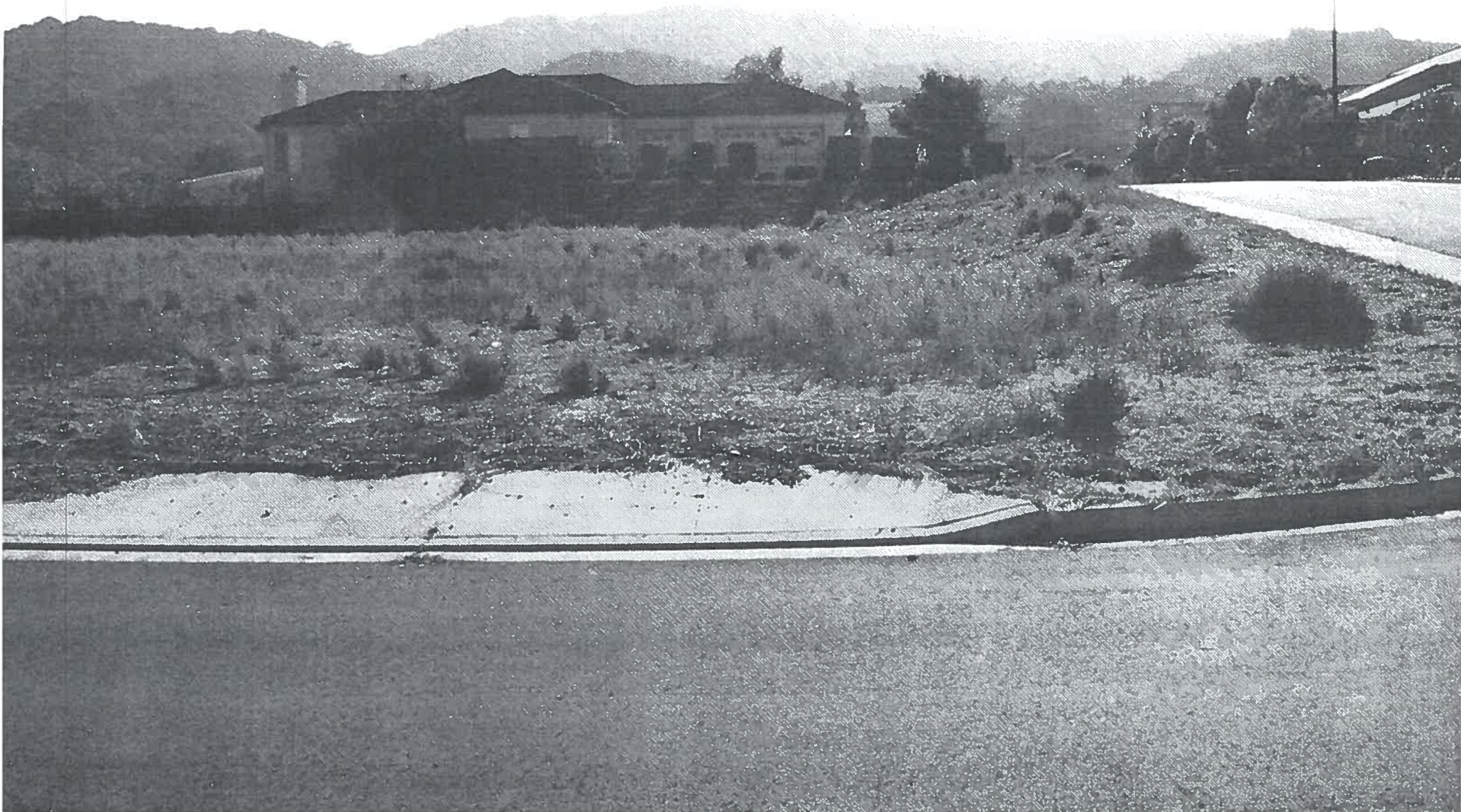
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KOLB RANCH DR
5982



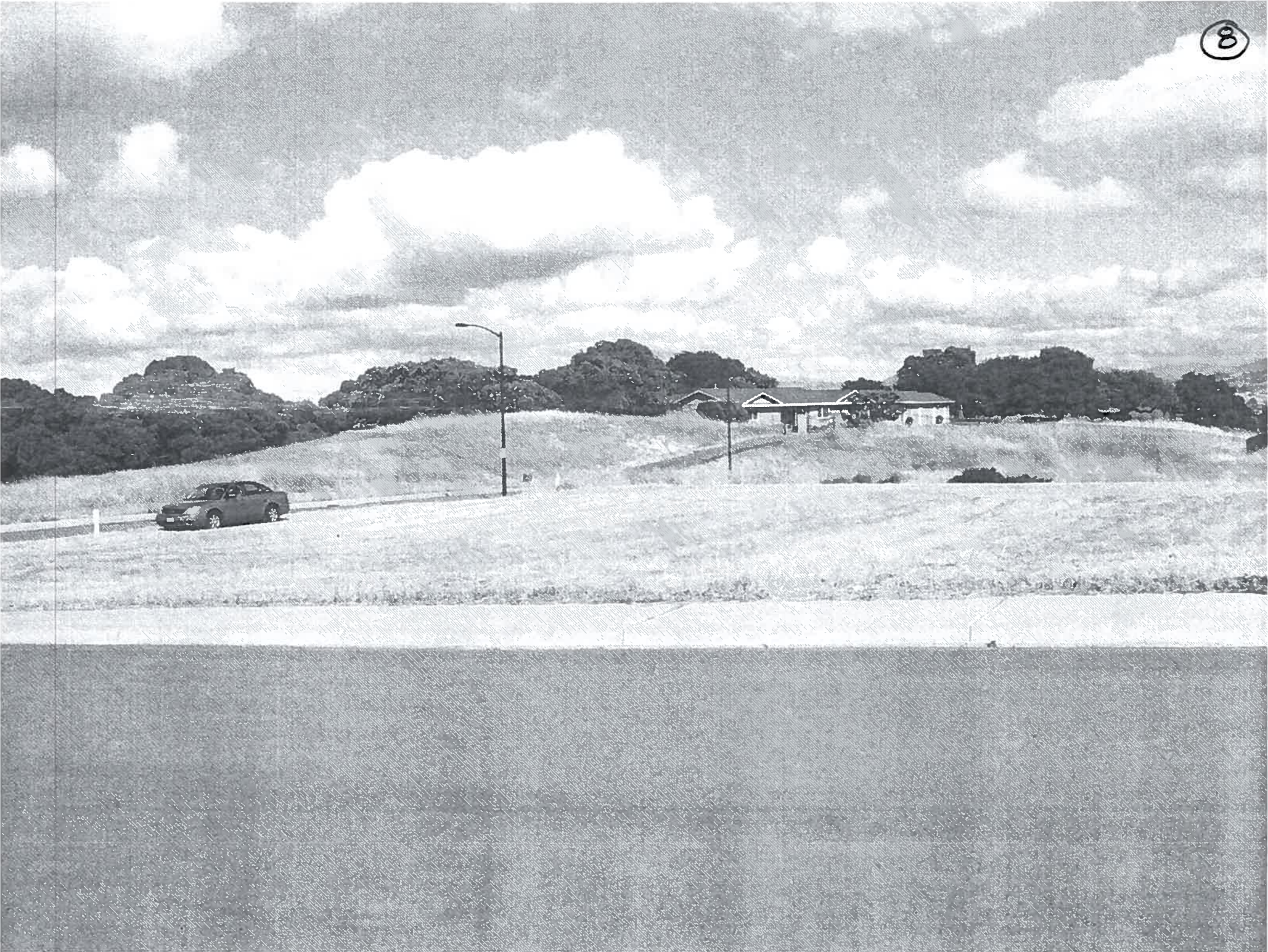
REAR NEIGHBOR ON BENZON

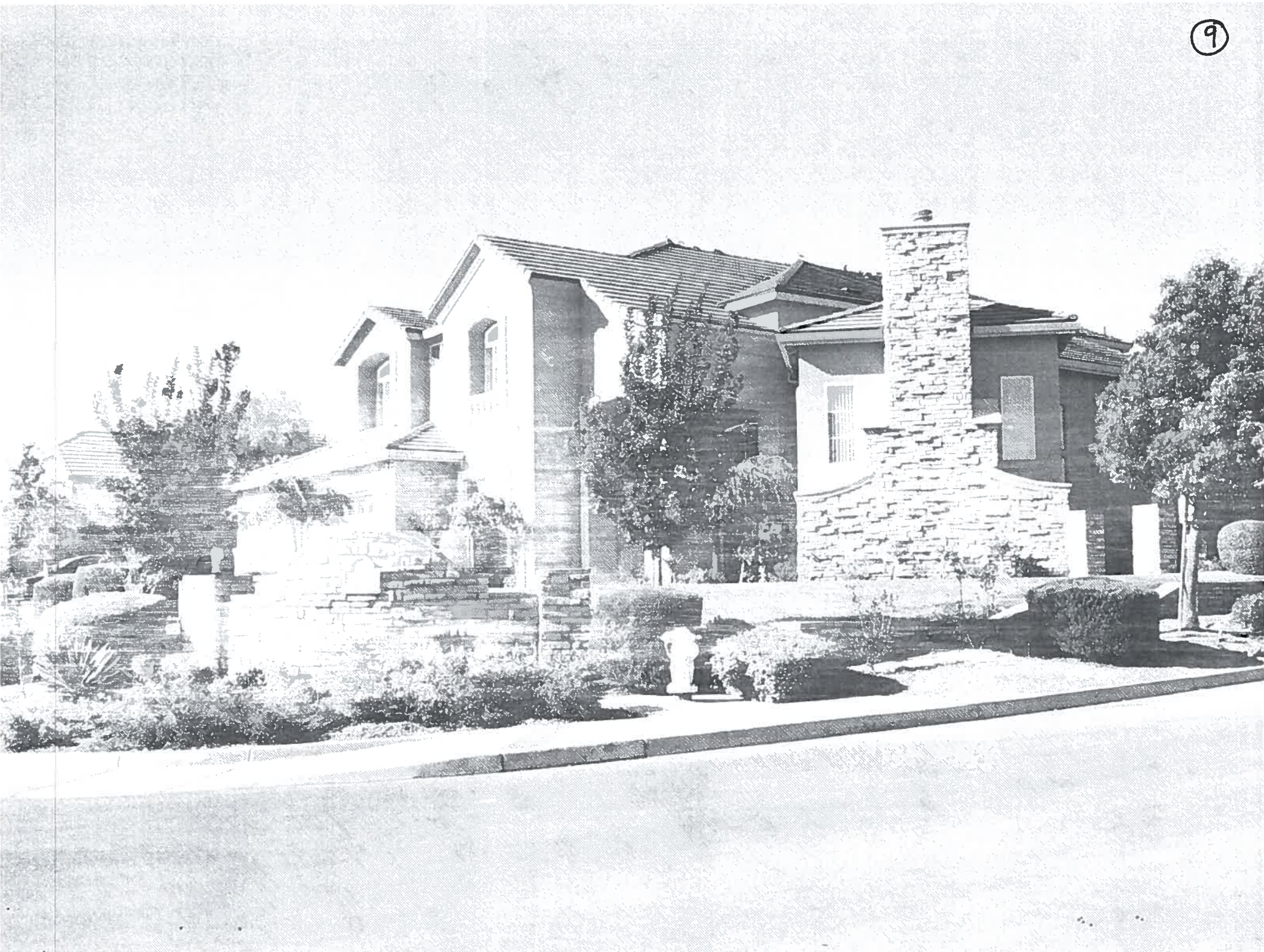
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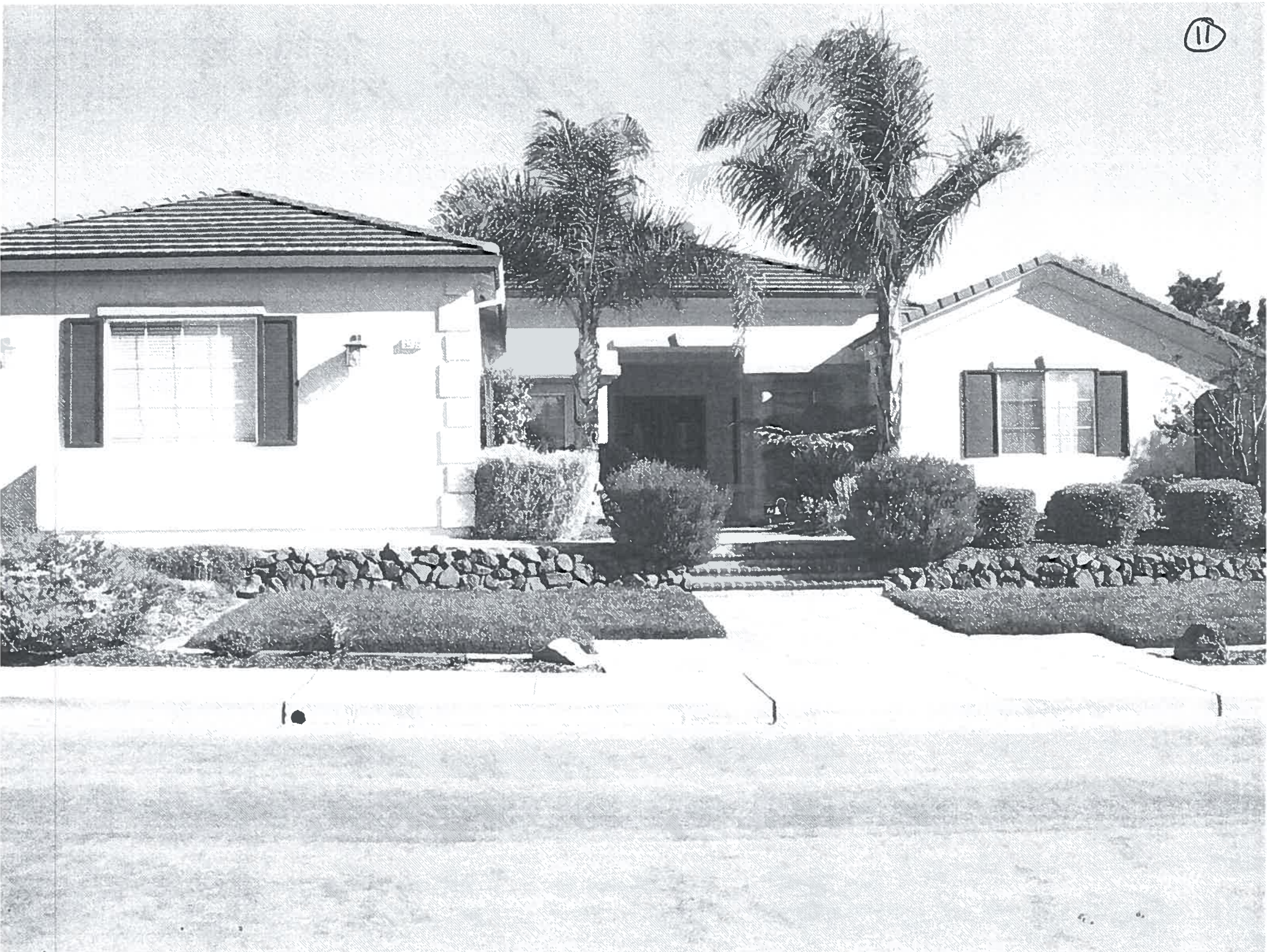








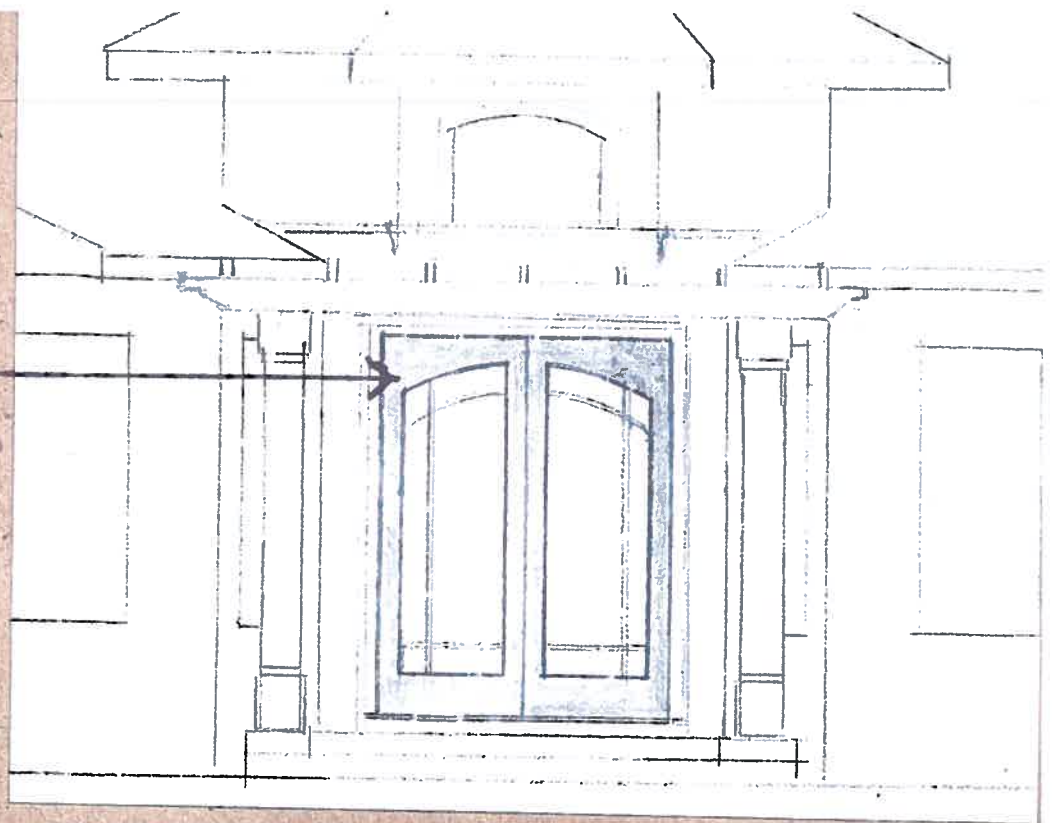
11



12



NATURAL WOOD
ENTRY DOOR



CANYON RIDGE® collection



SERIES 1

SERIES 2

SERIES 3

11

12

13

21

22

23

31

32

33

34

35

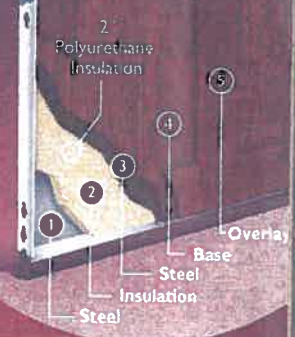
36

37

38



Handcrafted 5-Layer Construction



Model Shown:
CAN136 optional
decorative hardware

Faux Wood Options / Base Material



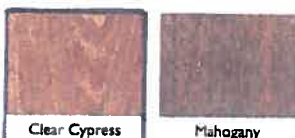
Pecky Cypress

Clear Cypress

Mahogany

*

Faux Wood Options / Overlay Material



Clear Cypress

Mahogany

*

Finish Options



Medium Finish

Dark Finish

White

Primed

*

*White available only on Mahogany doors.

Window / Top Section



TOP11 (Solid)



REC11



REC13



REC14



SQ23



ARCH1 (Solid ARCH)



ARCH1



ARCH1



ARCH1



ARCH1

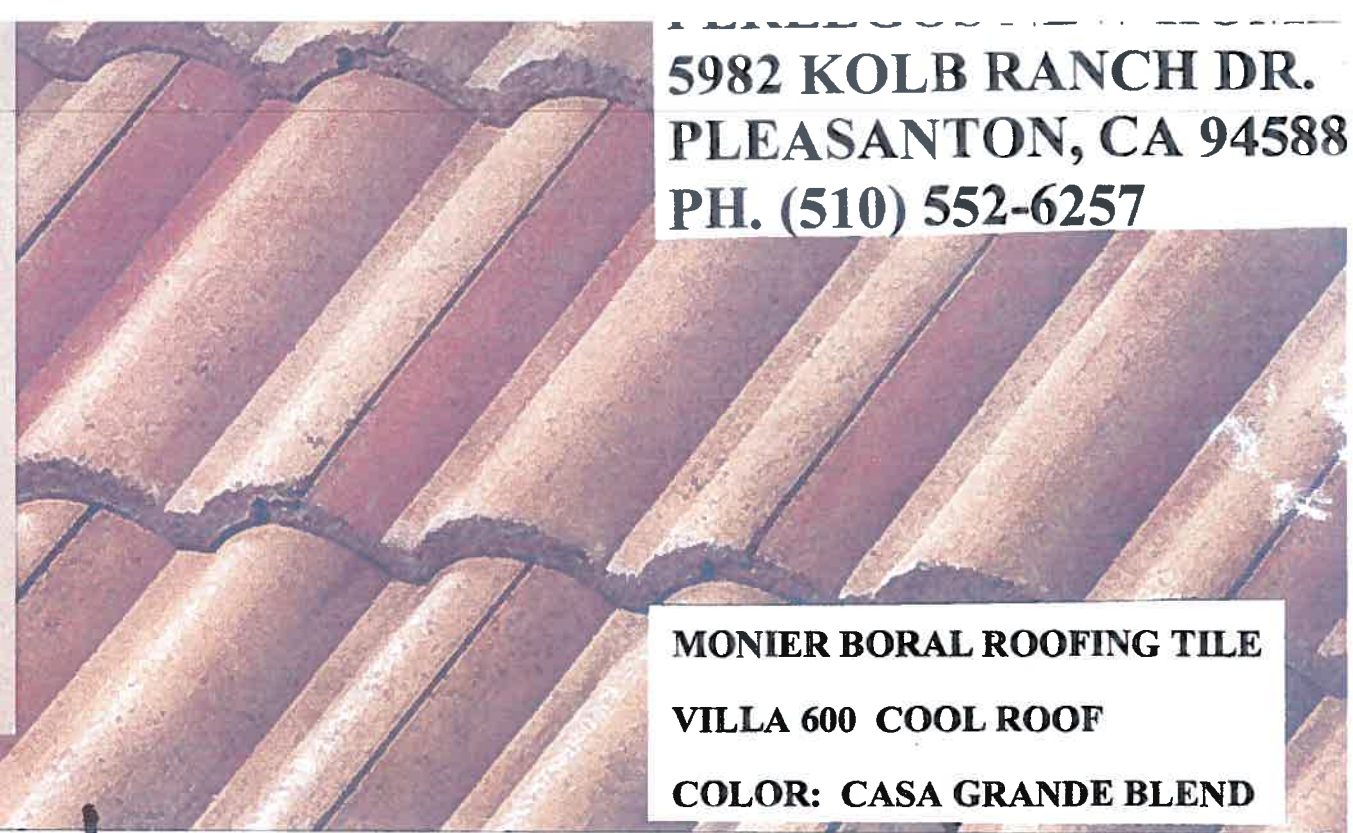
* SERIES 3 is not available with windows.



TRIM
ICI DULUX #2002 "BONE WHITE"

WALLS
ICI DULUX 533 "OBELISK"

**5982 KOLB RANCH DR.
PLEASANTON, CA 94588
PH. (510) 552-6257**



**MONIER BORAL ROOFING TILE
VILLA 600 COOL ROOF
COLOR: CASA GRANDE BLEND**

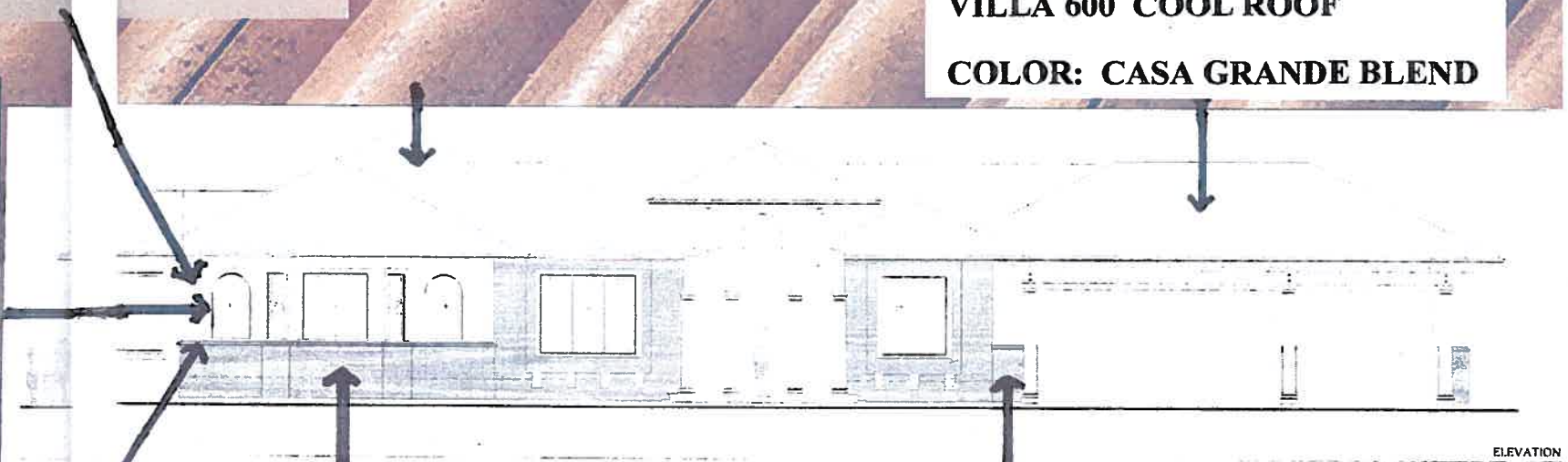
**TRAVERTINE SERIES
ELDORADO**

COLORS:
Roman



Molding Color: Roman

TEXTURE:
Travertine



ELEVATION
SCALE 1/4" = 1'-0"

**500 SERIES
CORONADO**

COLORS:

Oatmeal

TEXTURES:
Limestone

**CURVES
AVAILABLE**

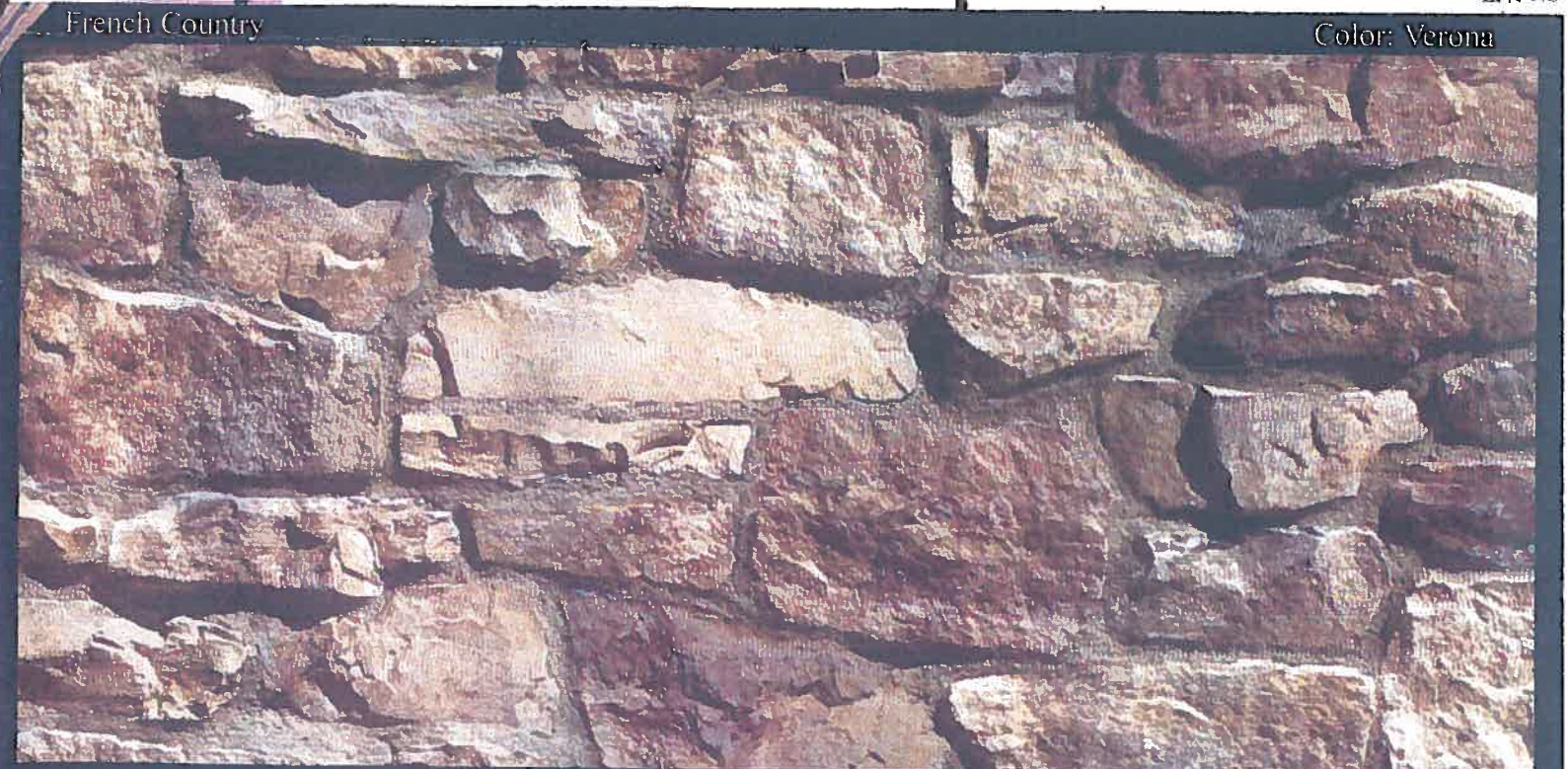


Sill Color: Oatmeal
(Available in smooth texture only)



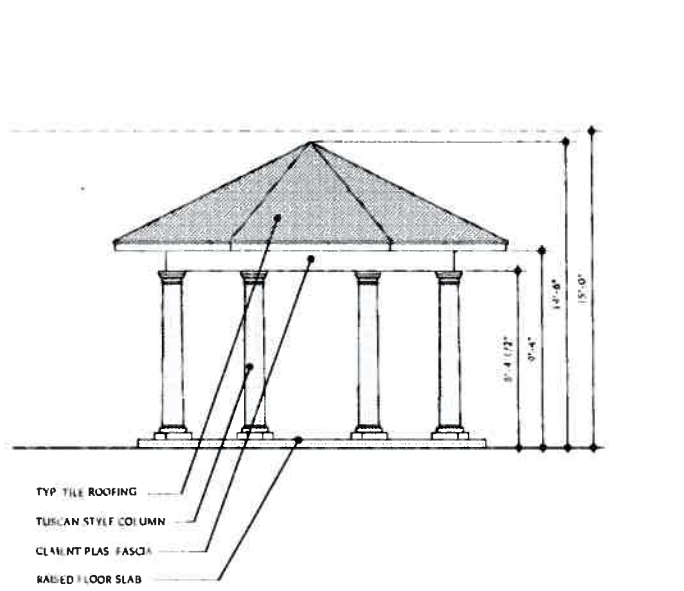
French Country

Color: Verona

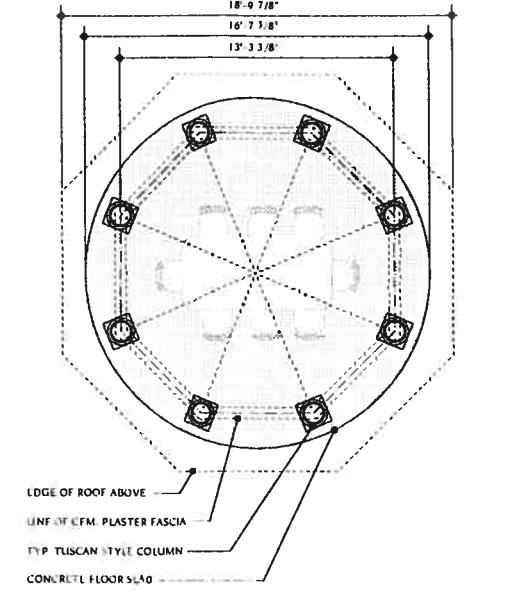


Square foot coverage for Villa Stone is based on installation with a 1/2" mortar joint. **CORONADO** 11

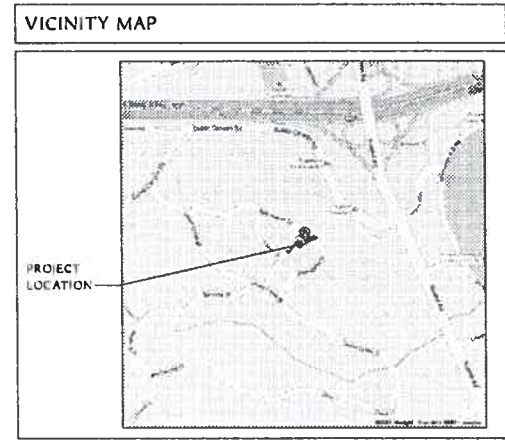
Perlegos Required Masonry Wall Area	
Minimum exterior wall perimeter (ft.)	378.6
Maximum height of perimeter wall (ft.)	10.7
Minimum exterior wall area (sq. ft.)	4051.0
Area Adjustments	
Add for Bedroom 2 bay	26.1
Add for Master Bath bay	8.4
Subtract for raised door leading to Nook	-387.1
Subtract for kitchen bay	16.4
Add for Bedroom 3 bay	10.3
Add for Bedroom 4 bay	10.3
Add for Sunlit Room bay	26.1
Add for Porch 2 arch faces	83.4
Add for Porch side returns	119.0
Add for full Living Room south wall	81.9
Add for full Living Room wall returns	12.8
Wall Surface Subtract	4,032.4
Deduct for North Elevation windows	-184.2
Deduct for South Elevation windows	-197.3
Deduct for West Elevation windows	-102.3
Deduct for East Elevation windows	-189.7
Deduct for Wood Garage doors	-255.1
Deduct for South Elevation doors	-213.1
Deduct for Family Patio doors	-117.1
Deduct for North Elevation window trim	-68.6
Deduct for South Elevation window trim	-70.8
Deduct for West Elevation window trim	-65.1
Deduct for East Elevation window trim	-71.7
Deduct for wood garage door trim	-27.7
Deduct for South Elevation door trim	-45.9
Deduct for Family Patio door trim	-34.1
Subtotal windows, doors and trim deduct	-1,822.9
Net wall surface	2,409.5
Required masonry area (50% of NWI)	1,204.8
	599.0
Proposed Masonry Surface Areas	
Master Bedroom	40.8
Length	4.3
Height	175.4
Area	41.7
Bedroom 2	15.5
Length	10.3
Height	167.4
Area	45.3
Subtract for window	26.1
Add for sides of bay window	146.2
Guest Bedroom	18.0
Length (portion at garage face excluded)	10.3
Height	194.4
Area	-30.0
Subtract for window	26.1
Add for sides of bay window	190.5
Garage	80.7
Length	4.3
Height	347.0
Area	19.4
Subtract for large Garage door	-77.4
Subtract for small Garage door	-43.4
Subtract for rear main door	-12.9
Area	232.7
Laundry	7.9
Length	10.8
Height	85.3
Area	-16.3
Bedroom 4 Bath 3 Shower 3 Bedroom 3	53.1
Length	4.3
Height	324.0
Area	10.7
Subtract for Bedroom 3 bay	12.4
Subtract for Bedroom 4 bay	21.3
Add for bay window trim	12.8
Add for remaining window trim	236.0
Wash Room	3.5
Length	10.8
Height	37.8
Living Room	7.9
Length	7.9
Height	62.3
Area	47.6
Dining Room	12.2
Length	10.8
Height	111.8
Area	54.0
Subtract for window	77.8
Diner Window Trims	11.2
Kitchen window & door trim area	44.3
Nook window trim area	29.5
Family Room window trim area	36.3
Master Bath door & window trim area	127.3
Total Masonry Area	1,438.3



GAZEBO ELEVATION 1
Scale: 1/4" = 1'-0"



GAZEBO FLOOR PLAN 2
Scale: 1/4" = 1'-0"



PROJECT SCOPE

A NEW 1 STORY HOUSE AND ATTACHED GARAGE IS TO BE CONSTRUCTED ON AN EXISTING GRADED LOT. THE SITE AND BUILDING DESIGN IS BELIEVED TO CONFORM TO DESIGN GUIDELINES FOR THE KOLD RANCH ESTATES, TRACT 691.

EXTERIOR WALL MATERIALS ARE SIMULATED STONE, STUCCO WALL FINISH, ALUMINUM CLAD WOOD WINDOWS, AND WOOD AND STUCCO TRIM. ROOF MATERIAL IS CONCRETE TILE. FAVES ARE SOFTIFIED WITH A STUCCO FINISH.

THE SITE IS A CORNER LOT, MOSTLY FLAT WITH A RISING SLOPE BANK - 3' HIGH AT THE REAR AND STREET SIDE YARD. PROPOSED DEVELOPMENT CONFORMS TO REQUIRED SETBACKS. AN EXISTING DRIVEWAY CURB CUT IS TO BE WIDENED.

PROJECT DATA

ITEM	PROPOSED	REQUIRED
A.P.N.	94-7620 011-00	
ZONE	RUBEN C PH:7 WO 10 18351	
SITL AREA	28,113 S.F.	20,000 S.F. MIN
LOT WIDTH	> 152'	100' MIN
LOT DEPTH	> 122'	125' MIN
HOUSE FLOOR AREA, NO GARAGE BURDEN	4,232 S.F.	4,500 S.F.
GARAGE FLOOR AREA	866 S.F.	S.F. OVER 600 S.F. INCLUDED IN HOUSE TOTAL
HOUSE FLOOR AREA, WITH GARAGE BURDEN	4,498 S.F.	4,500 S.F.
GROSS FLOOR AREA (GFA)	5,098 S.F.	5,100 S.F. MAXIMUM
FLOOR AREA RATIO - (GFA/SITL AREA)	0.18	0.21 MAX
FRONT YARD SETBACK (HOUSE)	> 4'	25' MIN
SIDE YARD SETBACK	20'-0" - 22'-6"	5' MIN (EAST SIDE CORNER LOT)
REAR YARD SETBACK	> 70'	25' MIN
BUILDING HEIGHT (PER ZONING ORDINANCE)	7'-3" @ RIGID SHILATHING	7' MAX
OCCUPANCY	R-3	
CONSTRUCTION TYPE	V-N	
BUILDING HEIGHT (PER CBC)	1 STORY	

CODE COMPLIANCE

CALIFORNIA CODE	FENTION
CALIFORNIA RESIDENTIAL CODE	1010
CALIFORNIA ELECTRICAL CODE	2010
CALIFORNIA FIRE CODE	1010
CALIFORNIA MECHANICAL CODE	1010
CALIFORNIA PLUMBING CODE	1010
CALIFORNIA ENERGY CODE	1010
CALIFORNIA GREEN BUILDING STANDARDS	1010
ALAMEDA CO WASTE MANAGEMENT AUTHORITY NEW HOME GREEN BUILDING GUIDELINES	

FIRE SPRINKLERS REQUIRED

FIRE SPRINKLER PLAN AND CALLS WILL BE SUBMITTED AS A SEPARATE PACKAGE FOR PERMIT.

SMOKE & CARBON MONOXIDE ALARMS

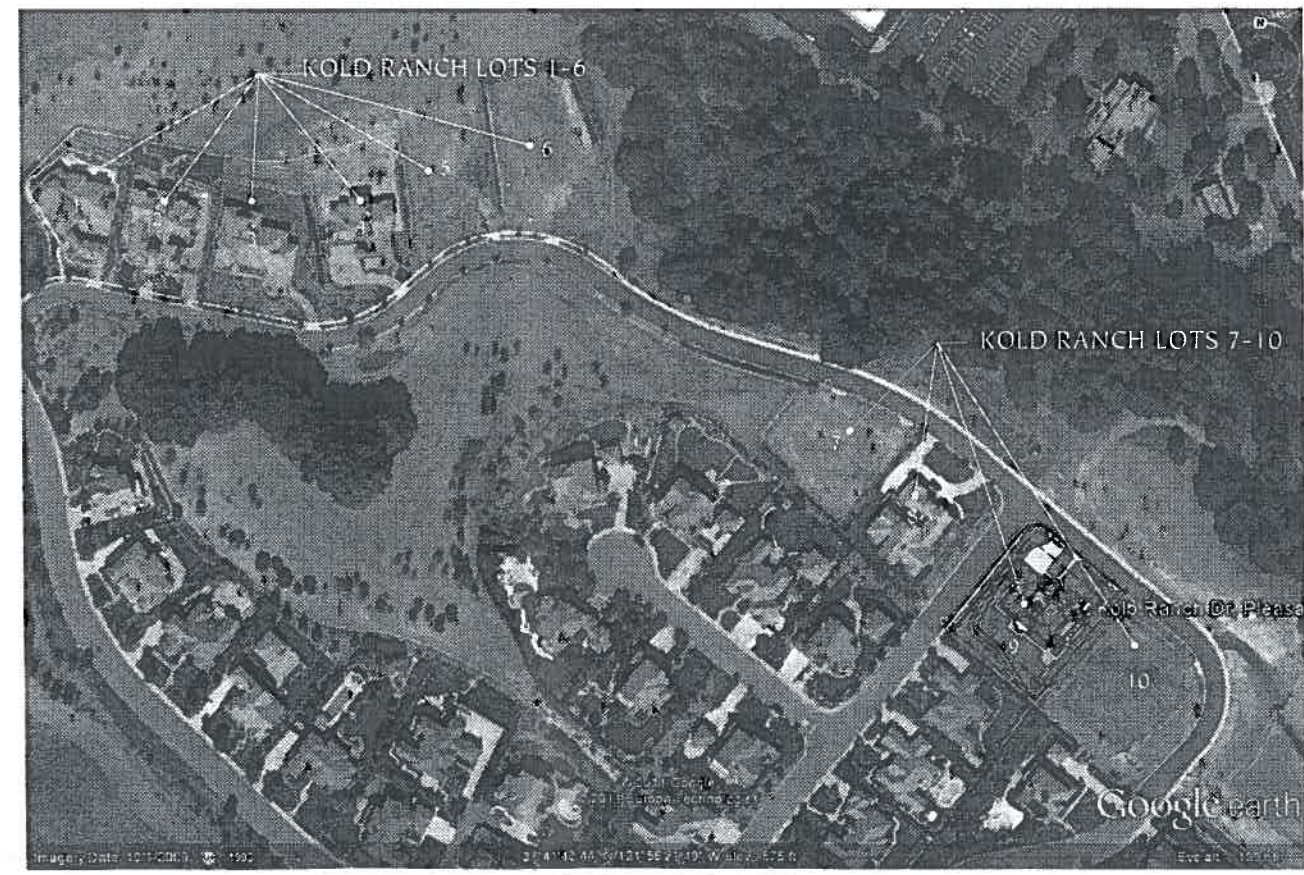
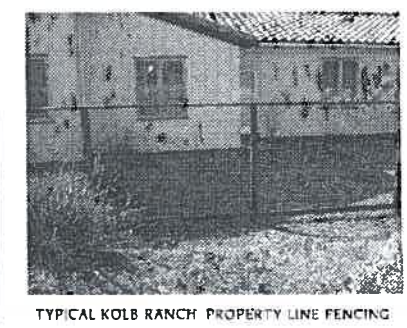
CONTRACTOR TO FURNISH AND INSTALL SMOKE & CARBON MONOXIDE ALARMS AS INDICATED ON DRAWINGS AND IN CONFORMANCE WITH CALIFORNIA RESIDENTIAL CODE.

SKYLIGHTS:

ALL SKYLIGHTS ARE MANUFACTURED BY VELUX, A NATIONAL ACCEPTED MANUFACTURER FOR TEST DATA, SEE PER 216, WHICH CONTAINS THE ORIGINAL ICBO REPORTS. REPORT IS AVAILABLE BY CONTACTING VELUX AT 1-800-68-VELUX.

Index of Drawings

NO.	DESCRIPTION	NO.	DESCRIPTION
1	PROJECT DATA, GAZEBO PLAN		
2	SITE PLAN		
3	FLOOR PLAN		
4	DOOR PLANS, ATTIC PLANS		
5	ELEVATIONS		
6	ELEVATIONS & SECTIONS		
7	SECTIONS		
C1	GRADING AND DRAINAGE PLAN		
C2	EROSION CONTROL PLAN		
C3	POLLUTION PREVENTION PLAN		
E1	LANDSCAPE PLAN & IRRIGATION SCHEMATIC		
E2	PLANTING PLAN		
E3	DETAILS		
E4	CUT & FILL DIAGRAM		



DATE: 12/11/14 ISSUE: HOA REVIEW

PERLEGOS NEW HOME
5982 KOLB RANCH DRIVE
PULFASANTON, CALIFORNIA 94588
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LINDA RANDOLPH, AIA
1707 BODDLY AVENUE
FREMONT, CA 94536
PHONE/FAX: 510.445.9518

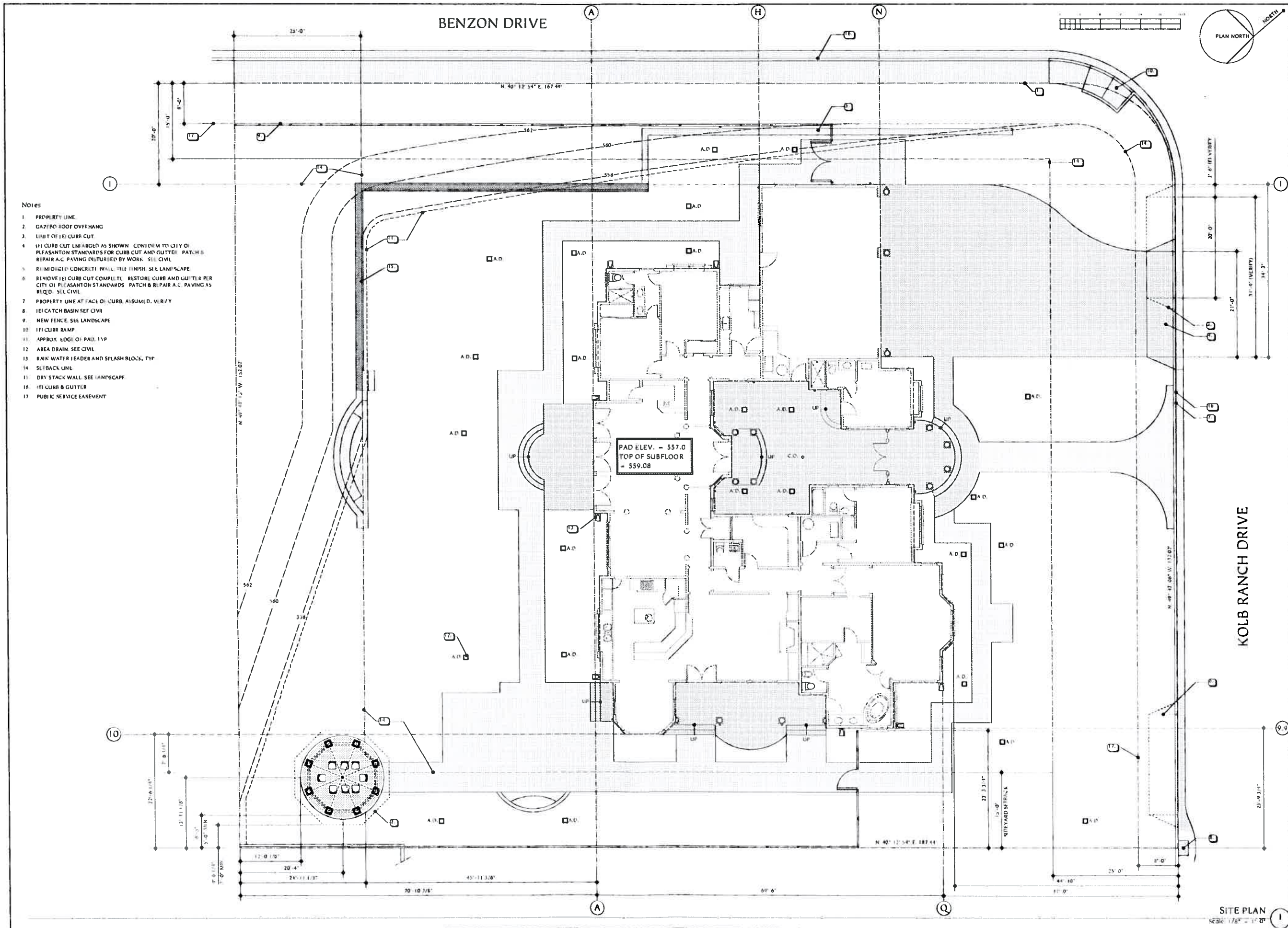
PROJECT: Perlegos New Home #11
PROJECT: Perlegos New Home #11

PROJECT SCOPE & DATA
INDEX OF DRAWINGS
VICINITY MAP
GAZEBO PLAN & ELEVATION

DESIGNED ARCHITECT
LINDA RANDOLPH
No. C-21982
Exp. 1-31-11
F.A.C.E. OF CALIFORNIA

DATE: 1/20/15
SCALE: AS SHOWN
DRAWN BY: DW
SHEET: 1

of x sheets



Notes

- 1 PROPERTY LINE
- 2 GAZEBO ROOF OVERHANG
- 3 LIMIT OF 1E CURB CUT
- 4 1E CURB CUT ENLARGED AS SHOWN. CONFORM TO CITY OF PLEASANTON STANDARDS FOR CURB CUT AND GUTTER. PATCH & REPAIR A.C. PAVING DISTURBED BY WORK. SEE CIVIL.
- 5 REINFORCED CONCRETE WALL TILE FINISH. SEE LANDSCAPE.
- 6 REMOVE 1E CURB CUT COMPLETELY. RESTORE CURB AND GUTTER PER CITY OF PLEASANTON STANDARDS. PATCH & REPAIR A.C. PAVING AS REQ'D. SEE CIVIL.
- 7 PROPERTY LINE AT FACE OF CURB. ASSUMED. VERIFY.
- 8 1E CATCH BASIN. SEE CIVIL.
- 9 NEW FENCE. SEE LANDSCAPE.
- 10 1E CURB RAMP.
- 11 APPROX. EDGE OF PAD. TYP.
- 12 AREA DRAIN. SEE CIVIL.
- 13 RAIN WATER LEADER AND SPLASH BLOCK. TYP.
- 14 SETBACK LINE.
- 15 DRY STACK WALL. SEE LANDSCAPE.
- 16 1E CURB & GUTTER.
- 17 PUBLIC SERVICE EASEMENT.

DATE	ISSUE
12.21.11	10A REVIEW

PERLEGOS NEW HOME
 5982 KOLB RANCH DRIVE
 PLEASANTON, CALIFORNIA 94588
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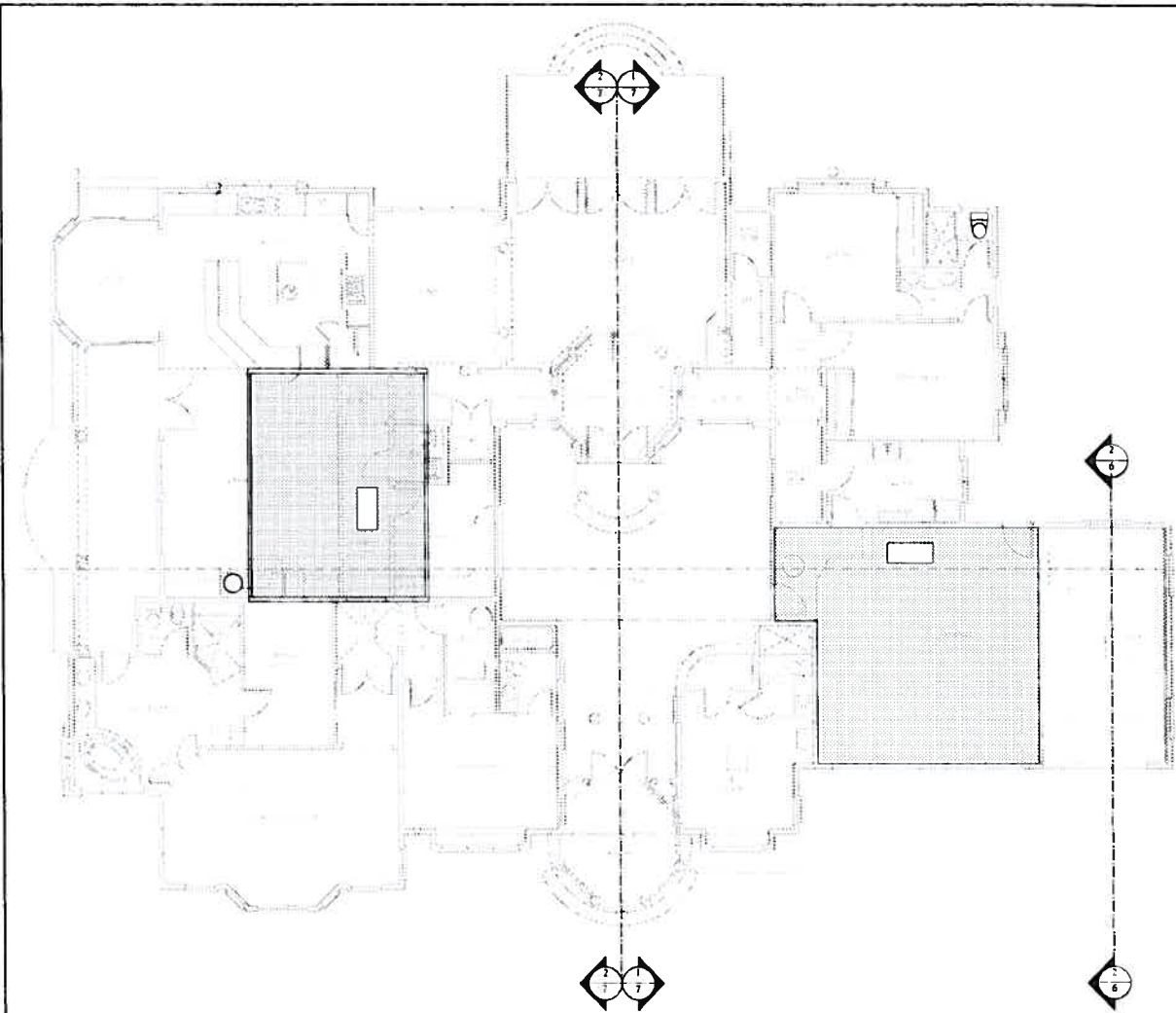
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 PRINT: Wednesday, February 1, 2012

SITE PLAN



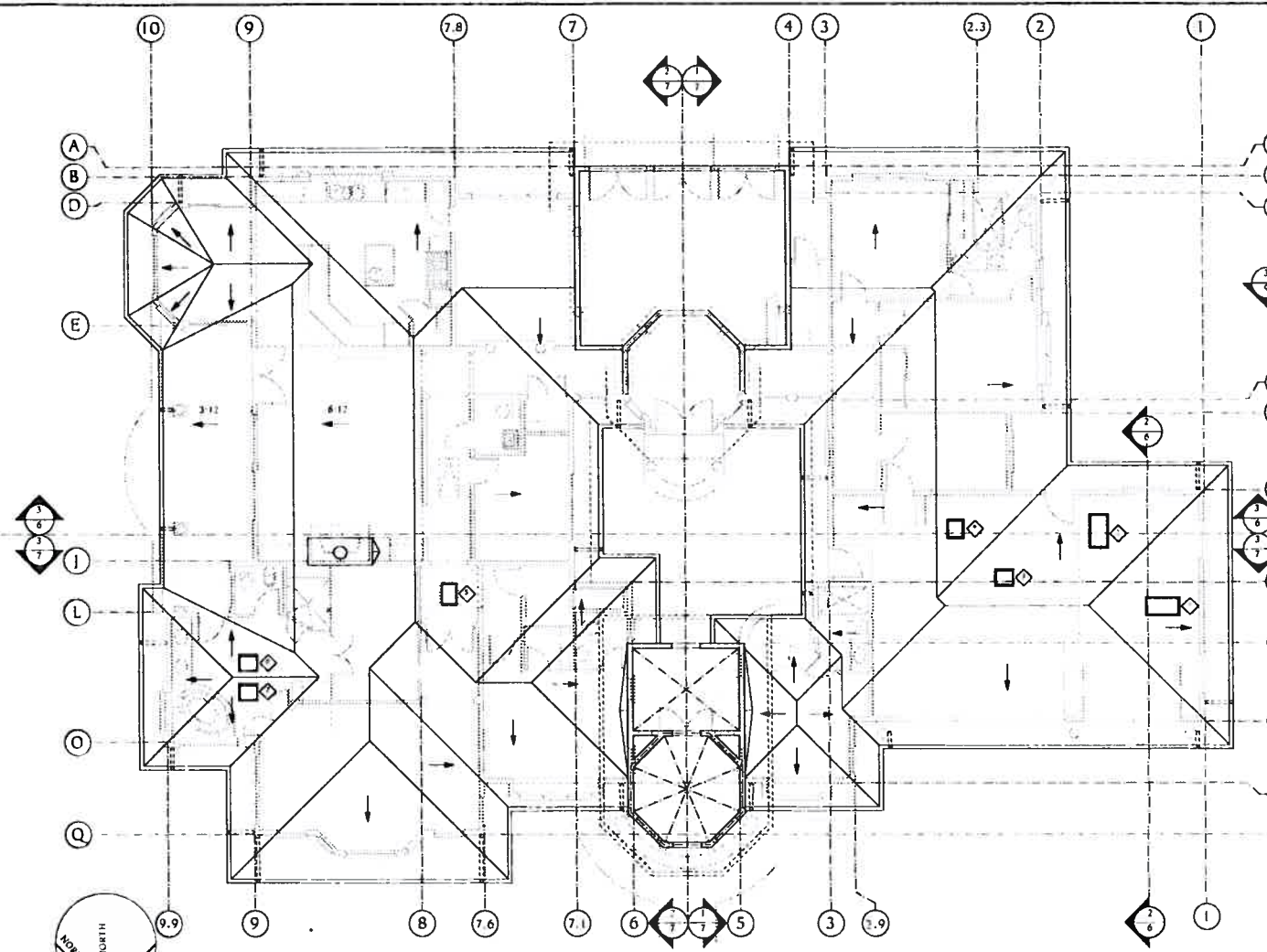
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 DRAWN: DW
 CHECKED: TRP

SITE PLAN
 SCALE: 1/8" = 1'-0"



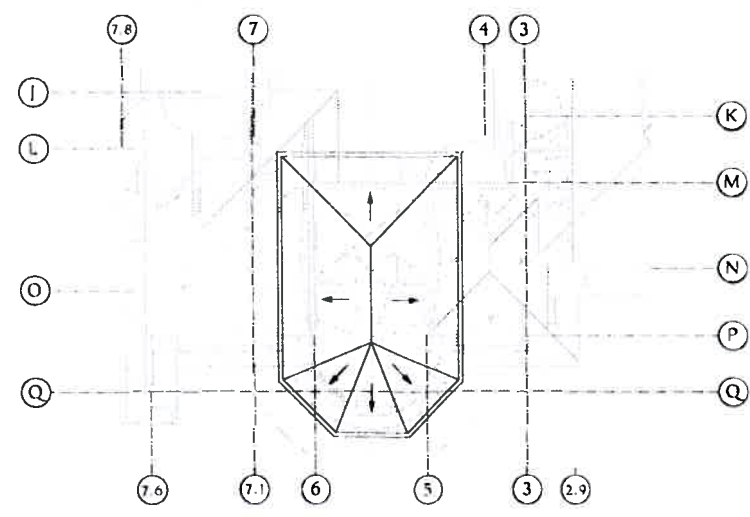
ATTIC PLAN
Scale: 1/8" = 1'-0"

1



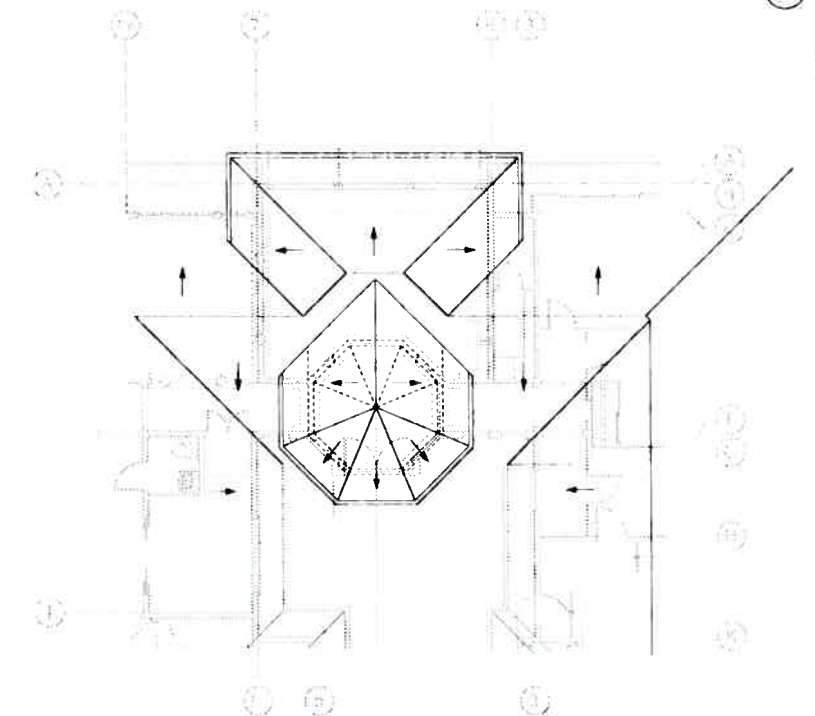
LOWER ROOF PLAN
Scale: 1/8" = 1'-0"

2



PARTIAL UPPER ROOF PLAN AT FRONT ENTRANCE
Scale: 1/8" = 1'-0"

3



PARTIAL UPPER ROOF PLAN AT ENTRY & LIVING ROOM
Scale: 1/8" = 1'-0"

4

DATE	ISSUE
11.17.11	HOA REVIEW

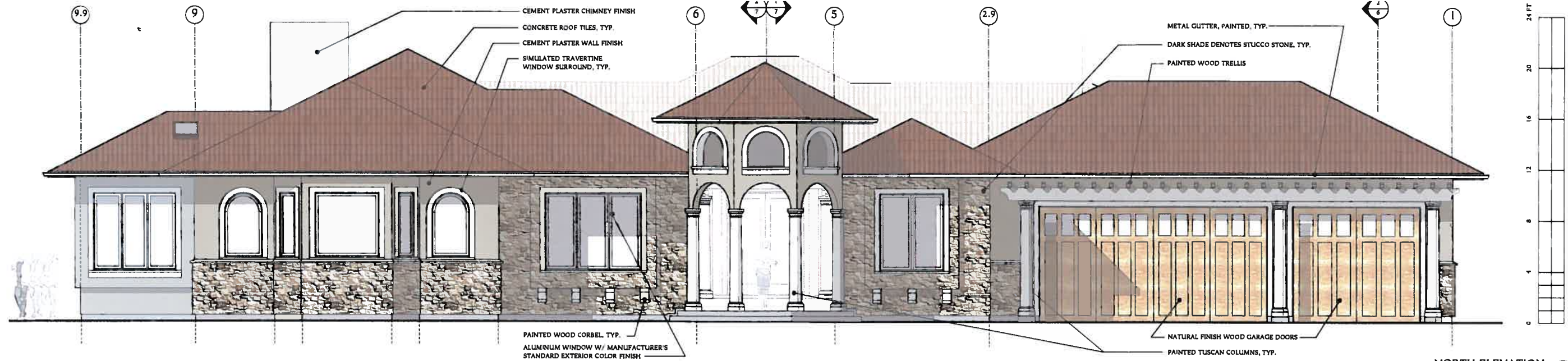
PERLEGOS NEW HOME
5982 KOI B RANCH DRIVE
PLEASANTON CALIFORNIA 94588
510.557.0257

LINDA RANDOLPH, AIA
3000 WILSON AVENUE
FREMONT, CA 94538
PHONE/FAX: 510.745.0318

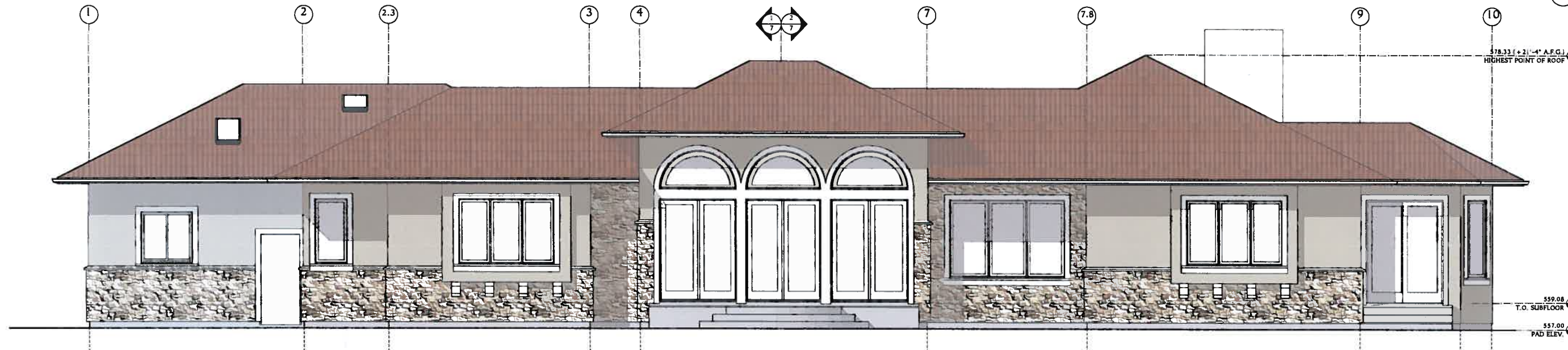
Perlegos, Perlegos & Associates
15117 Woodside, Fremont, CA 94538



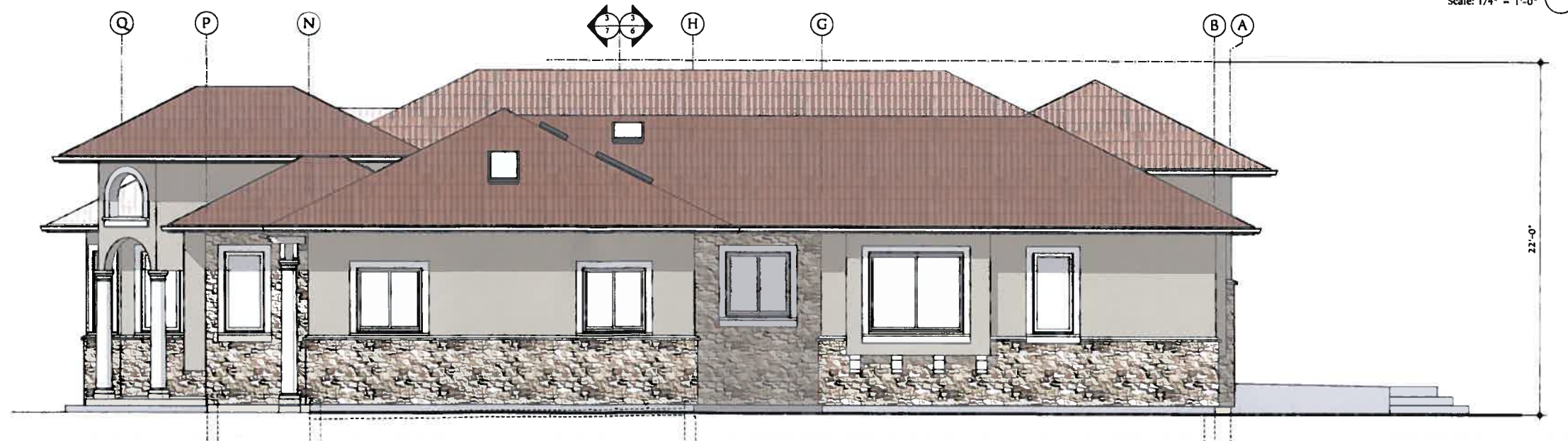
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NORTH ELEVATION
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SOUTH ELEVATION
Scale: 1/4" = 1'-0"



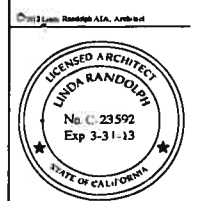
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13-23-11	HOA REVIEW

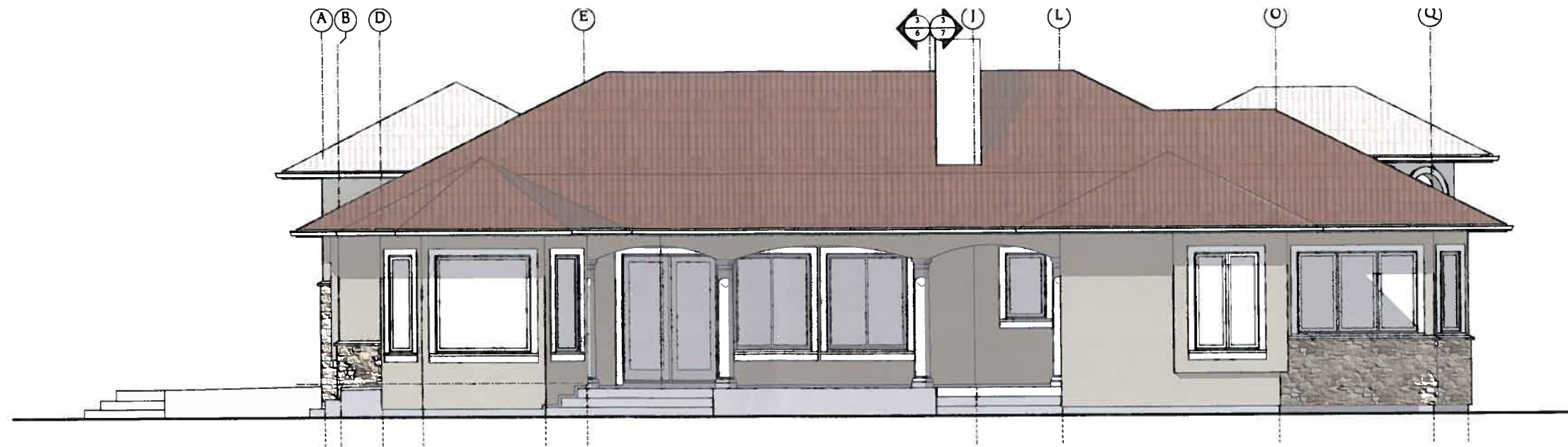
PERLEGOS NEW HOME
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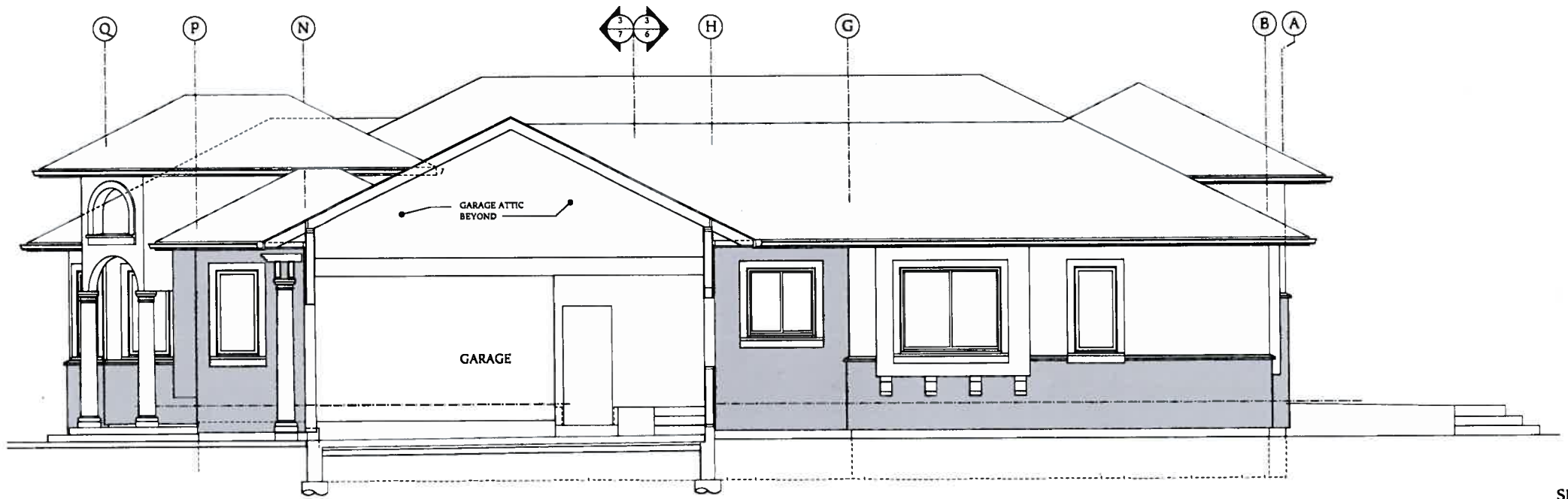
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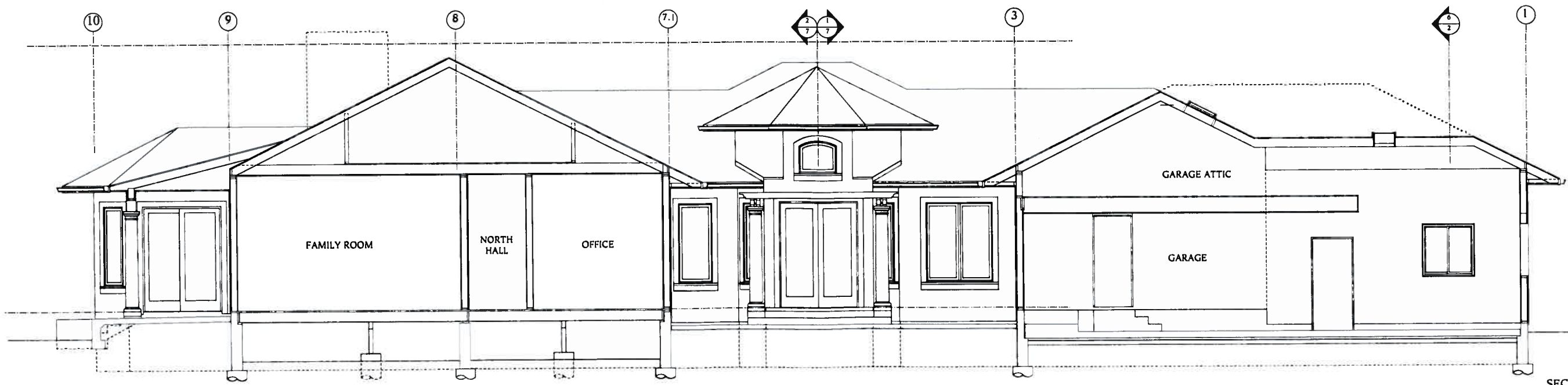
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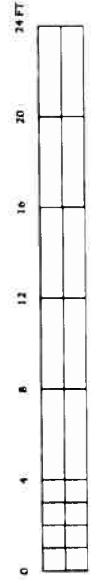
EAST ELEVATION 1
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SECTION 2
Scale: 1/4" = 1'-0"



SECTION 3
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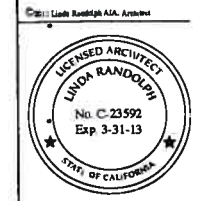


12-23-11	HOA REVIEW

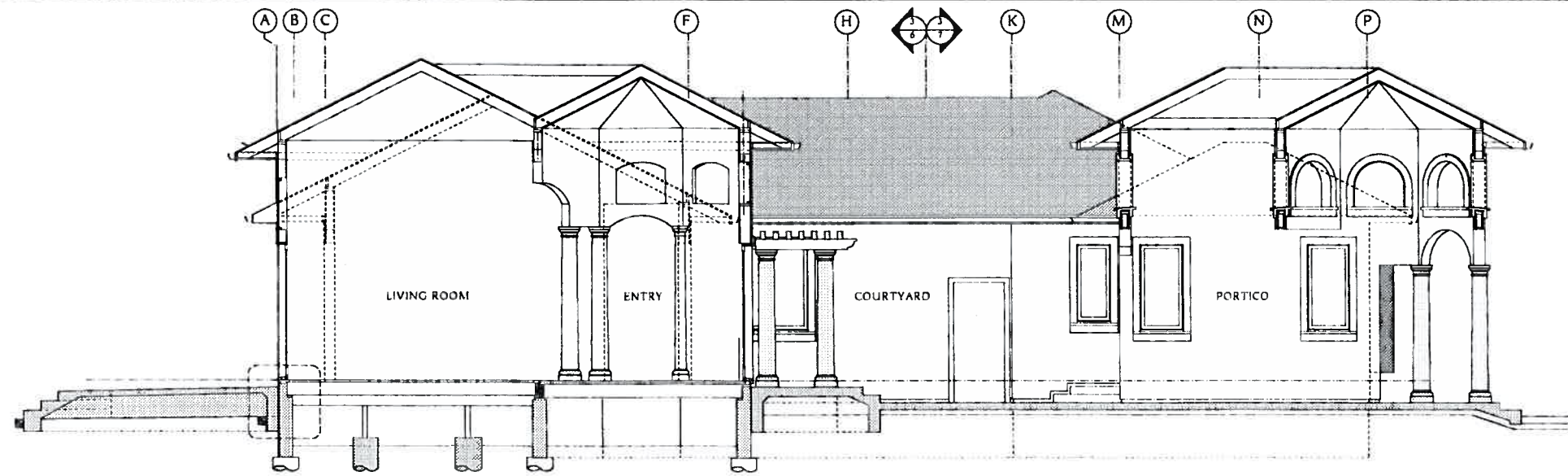
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3707 BOBBY AVENUE
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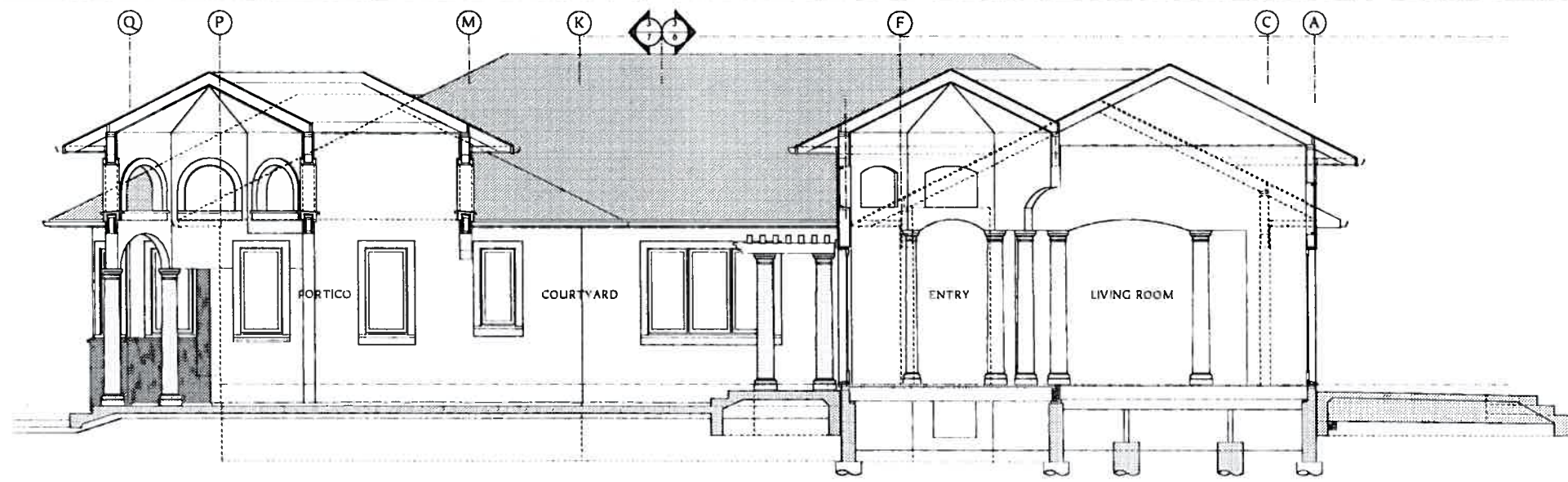
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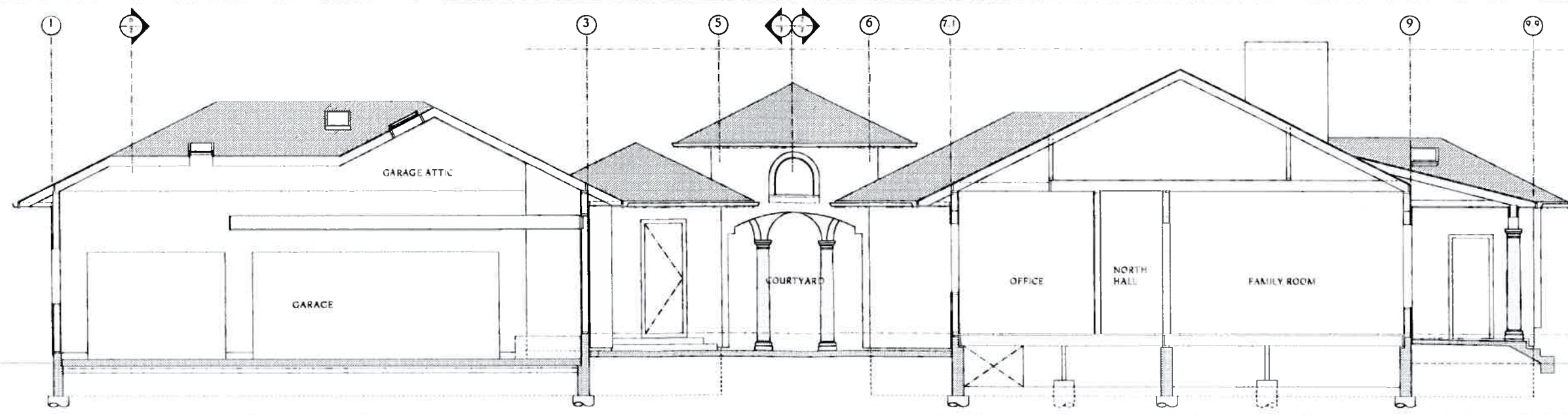
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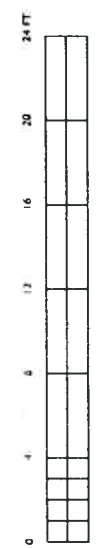
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SECTION 2
Scale: 1/4" = 1'-0"



SECTION 3
Scale: 1/4" = 1'-0"



DATE	ISSUE
12-23-11	HOA REVIEW

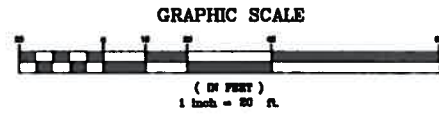
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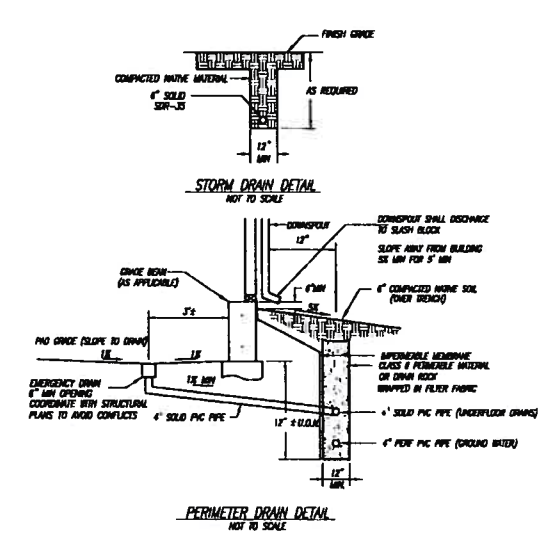
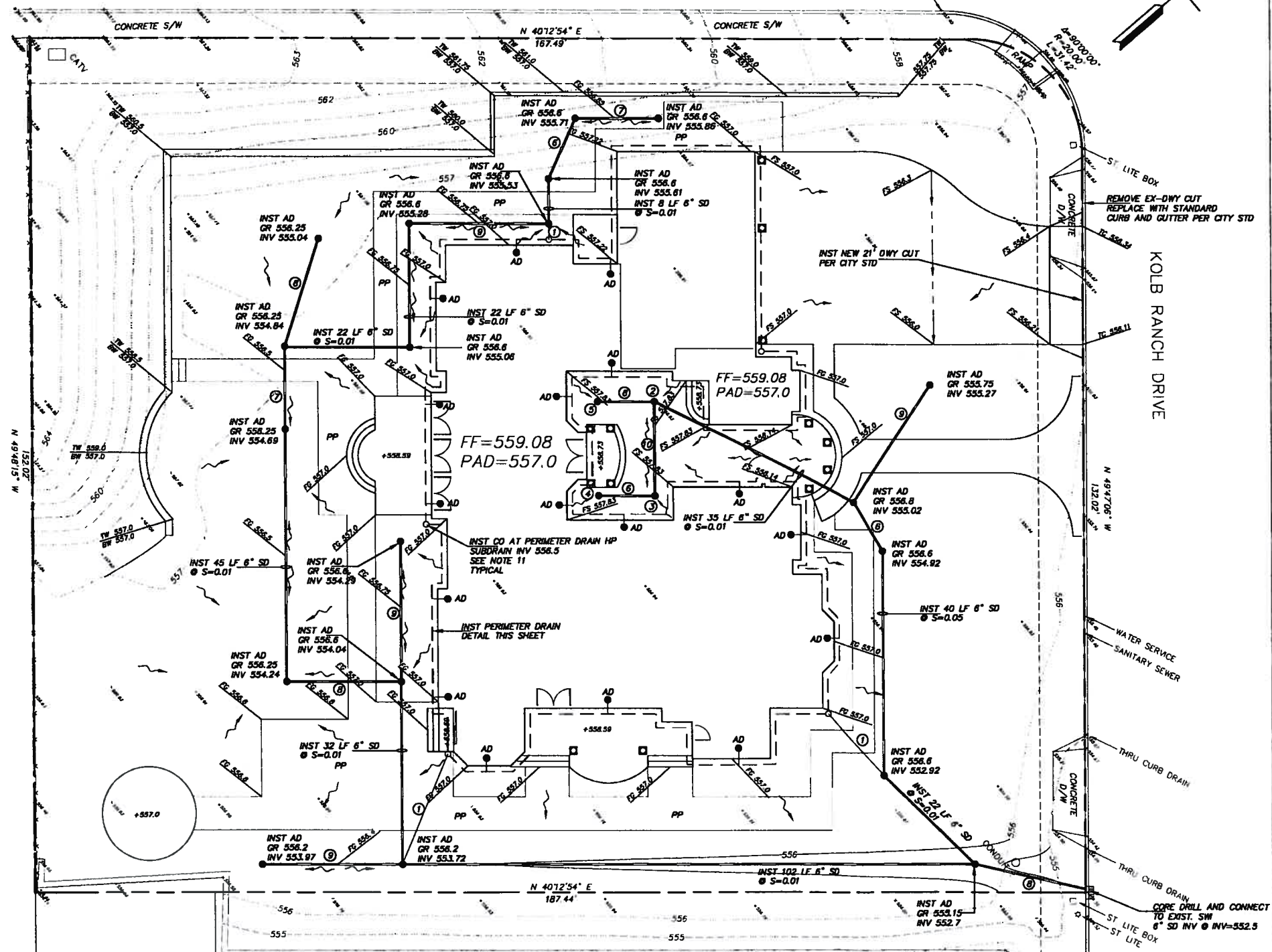
FILE: Perlegos DM Submittal
PROJECT: Wednesday, 1 February 1, 2011



DATE: 1/26/12
SCALE: AS NOTED
DRAWN: DW
SHEET:



BENZON DRIVE



* PER THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S CLEAN WATER (C.3) REQUIREMENTS, WATER FROM THE ROOF AND HARDSCAPE INTENDED TO RUN THROUGH LANDSCAPING BEFORE ENTERING STORM DRAIN SYSTEM.

GRADING NOTES:

1. ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
2. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
3. ALL DOWNSPOUTS SHALL DRAIN TO SPLASH BLOCKS AND DIRECTED AWAY FROM FOUNDATION. EXCEPT WHERE NOTED OTHERWISE.
4. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM SIX SLOPE FOR MINIMUM DISTANCE OF 5 FEET.
5. SURFACE WATER SLOPES SHALL HAVE A 1% MINIMUM SLOPE AND BE CONVEYED TO AREA DRAINS.
6. AREA DRAINS SHALL HAVE A MINIMUM 6 INCHES DIAMETER GRATE OPENING.
7. ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
8. ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS, NOT THROUGH THEM. ANY SUBDRAINS PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PILES AND/OR GRADE BEAMS.
9. WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
10. ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, HIGH-FLEXIBLE PVC PIPE. PERFORATED PIPE SHALL BE USED FOR SUBDRAINS ONLY. STORM DRAIN TO BE PVC SDP-33 OR APPROVED EQUAL. (SEE DETAILS)
11. CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
12. EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 13 IF WORK CONTINUES INTO THE RAINY SEASON.
13. THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
14. THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
15. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPOUTS, AND DRAINAGE SLOPES.

BASIS OF BEARINGS

THE BEARINGS SHOWN UPON THIS MAP ARE BASED UPON TRACT MAP 6851, FILED IN BOOK 275 AT PAGE 90 ALAMEDA COUNTY RECORDS.

BASIS OF ELEVATIONS

ELEVATIONS SHOWN ON THIS MAP ARE BASED UPON THE IMPROVEMENT PLANS FOR TRACT 6851.

NOTES:

ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, NOT FIELD LOCATED.
IMPERMEABLE AREA = 8,978 SQ FT

- SEE ARCHITECT'S PLAN FOR MORE INFORMATION REGARDING THE FLOOR PLAN.
- SEE LANDSCAPE PLAN FOR FURTHER GRADING AND DRAINAGE INFORMATION.
- PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.
- GARAGE FLOOR TO SLOPE TOWARDS THE FRONT AT 1% MIN.

ABBREVIATIONS

- AD AREA DRAIN
- CD CLEAN-OUT
- DI DRAIN INLET (HANSON P18 OR EQUAL)
- PP PERMEABLE PAVEMENT
- BT BOTTOM OF RETAINING WALL
- FF FINISHED FLOOR
- FL FLOWLINE
- FG FINISHED GRADE
- FS FINISHED SURFACE
- GP TOP OF GRADE
- HP HIGHPOINT
- INV INVERT
- GF GARAGE FINISHED FLOOR
- SW STORM WATER INLET
- TC TOP OF CURB
- TR TOP OF GRADE
- TW TOP OF RETAINING WALL

LEGEND

- DRAINAGE ARROW INDICATES DIRECTION OF DRAINAGE
- STORM DRAIN
- PERIMETER DRAIN
- EX CONTOUR
- NEW CONTOUR
- SWALE
- PROPERTY LINE
- X REMOVE TREE

- 1 CONNECT TO STORM DRAIN SEE NOTE 9 TYPICAL
- 2 INST AD GR 557.7 INV 555.37
- 3 INST AD GR 557.74 INV 555.54
- 4 INST AD GR 557.71 INV 555.64
- 5 INST AD GR 557.7 INV 555.47
- 6 INST 10 LF 6" SD @ S=0.01
- 7 INST 15 LF 6" SD @ S=0.01
- 8 INST 20 LF 6" SD @ S=0.01
- 9 INST 25 LF 6" SD @ S=0.01
- 10 INST 17 LF 4" SD @ S=0.01

NO.	DATE	BY	REVISIONS

ALEXANDER & ASSOCIATES INC.
147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 468-8868

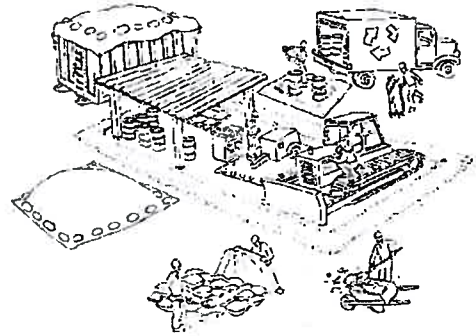
DRAWN BY	RD
DESIGNED BY	RD
CHECKED BY	DA
SCALE	1"=10'

GRADING AND DRAINAGE PLAN
5982 KOLB RANCH DRIVE
CITY OF PLEASANTON
ALAMEDA COUNTY, CALIFORNIA



PROJECT NAME	5982 KOLB RANCH DRIVE
CITY	PLEASANTON
COUNTY	ALAMEDA
DATE	12-15-11
SHEET NO.	C1
OF	3 SHEETS

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.

Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast growing grasses as soon as possible. Place fiber rolls down slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Regional Water Quality Control Board or local hazardous waste management agency for help in determining what testing should be done, and manage disposal of contaminated soil according to their instructions.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

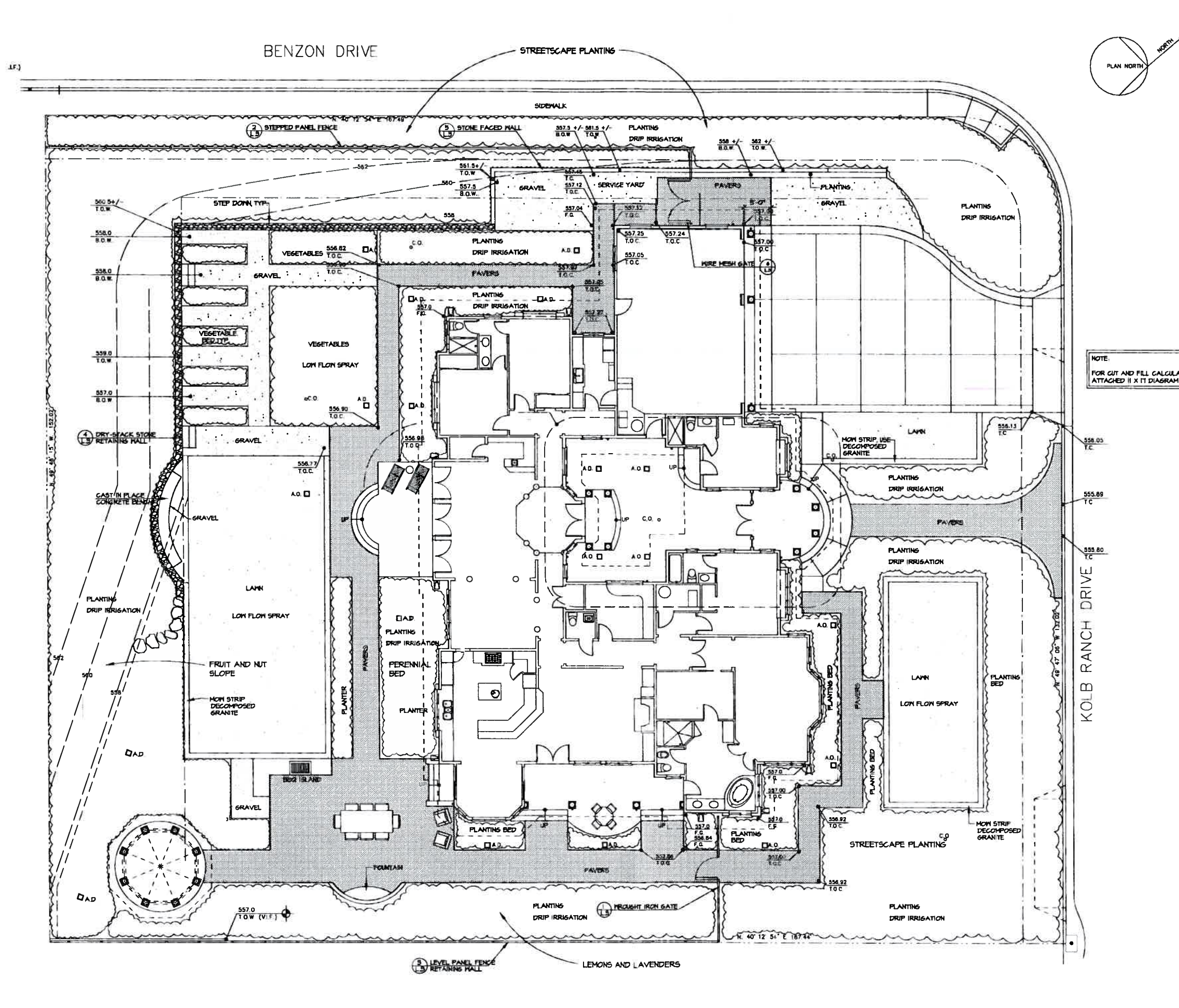


Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



PROJECT NAME		POLLUTION PREVENTION PLAN	
PROJECT NO.		5982 KOILB RANCH DRIVE	
DRAWN BY		CITY OF PLEASANTON	
CHECKED BY		ALAMEDA COUNTY, CALIFORNIA	
DATE	11/12/04	SCALE	
NO.	3	BY	
REV.		DATE	
ALEXANDER & ASSOCIATES INC. SURVEYORS ENGINEERS PLANNERS 147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 461-8888			



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 7126 Marlborough Terrace
 Berkeley, CA 94705
 T. 510-914-5822
 F. 510-450-0091
 CLA 3490

Perlegos New Home
 5982 Kolb Ranch Drive
 Pleasanton, California 94588

OWNER _____

ARCHITECT _____

STRUCTURAL ENGINEER _____

CONSULTANT _____

NOTE
 FOR CUT AND FILL CALCULATIONS SEE ATTACHED I X IT DIAGRAM L-4

ISSUES/REVISIONS	DATE	DESCRIPTION	DRAWN
1	1/17/2012	PLANNING REVIEW SUBMITTAL	JW

REGISTERED LANDSCAPE ARCHITECT
Jeni Webber
 #3490
 August 19, 2011
 STATE OF CALIFORNIA

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LANDSCAPE PLAN AND IRRIGATION SCHEMATIC

PROJECT NUMBER: 0807 PROJECT NAME: PERLEGOS NEW HOME

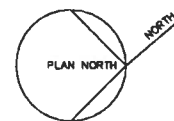
SCALE: 1/8" = 1'-0" 0 4 8 12

NORTH SHEET NUMBER

L-1
 PLAN NORTH

BENZON DRIVE

STREETSCAPE PLANTING



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 5982 Kolb Ranch Drive
 Pleasanton, California 94588

OWNER

ASSOCIATE ARCHITECT

STRUCTURAL ENGINEER

CONSULTANT

DATE

1 1/17/2012

PLANNING REVIEW SUBMITTAL

JW

STATE OF CALIFORNIA
 JENI WEBBER ASSOCIATES
 #3490
 Jeni Webber
 August 19, 2011
 STATE OF CALIFORNIA

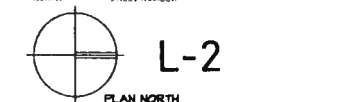
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PLANTING PLAN

PROJECT NUMBER: 0807 PROJECT NAME: PERLEGOS NEW HOME

SCALE: 1/8" = 1' 0"

NORTH SHEET NUMBER



Plant Common Name	Key
Pomegranate	Pom
Crepe Myrtle	Lag
Citrus Mixed	CiM
Fig	Fig
Plum	Plu
Olive "Swan Hill" (Non-bearing)	OIS
Walnut	Jug
Almond	Ped
Ceanothus "Dark Star"	Ced
Arbutus	Arb
Arctostaphylos	Arc
Mixed Dwarf Fruit Trees	MFT
Lilac	SyV
Red bud	Cer
Rose- landscape type	Roe
Salvia	Sal
Pink Muhly Grass	Muc
Carpet Rose	RCA

STREET TREE TYP SEE PLANT SYMBOL LEGEND

6" STREET TREE SETBACK LINE FROM INSIDE CURB

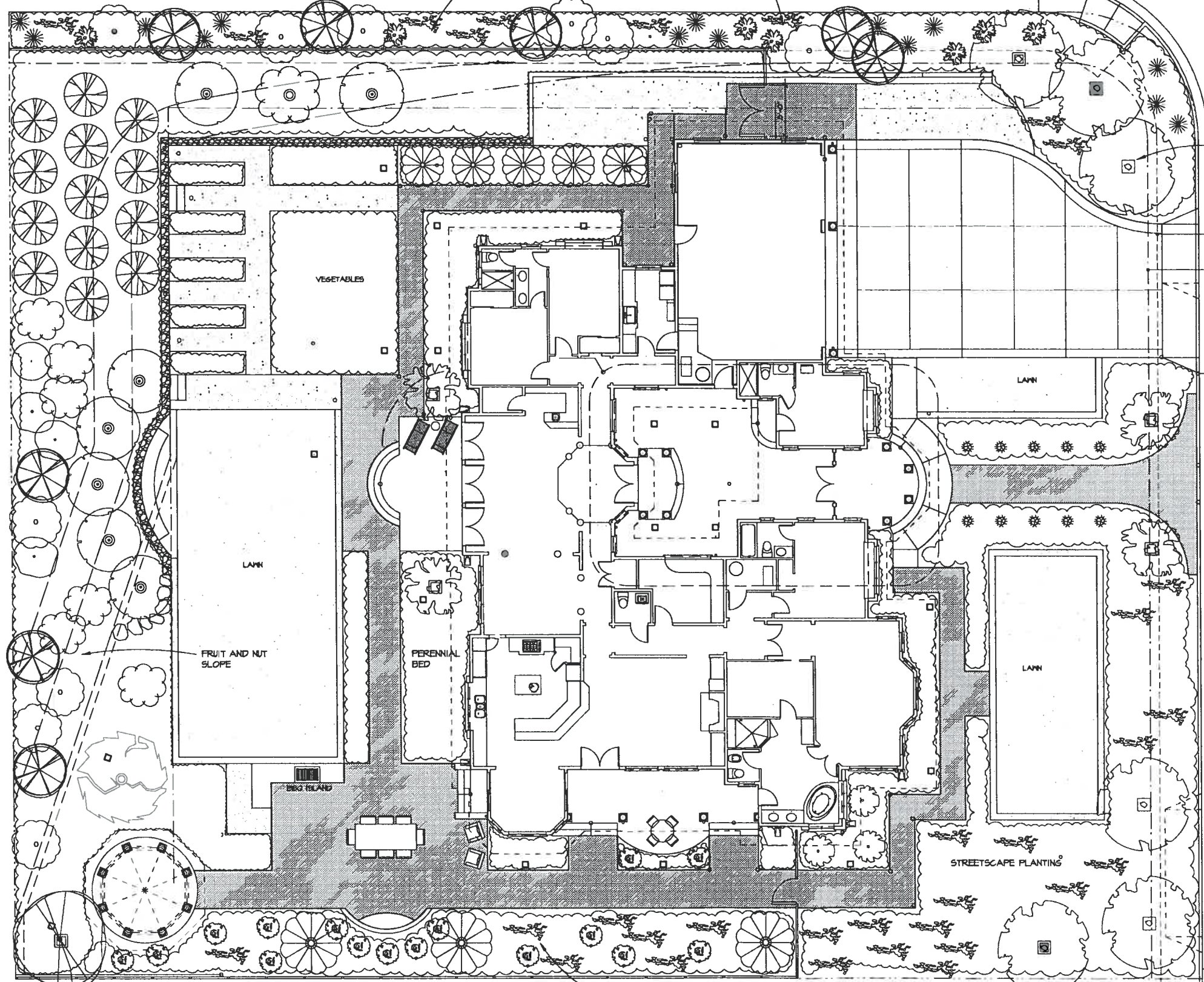
PROPERTY LINE

Plant Symbol Legend

Pom		Ped	
Lag		Ced	
CiM		Arb	
Fig		Arc	
Plu		MFT	
OIS		SyV	
Jug		Cer	
		Roe	
		Sal	
		Muc	
		RCA	

- 24" BOX STREET TREE
- 24" BOX 5 PER 28,000 SF
- 15 GAL 10 PER 28,000 SF

NOTES
 1. FOR PLANT IMAGES SEE ATTACHED 11 X 17 BOOKLET



LEMONS AND LAVENDERS

OWNER

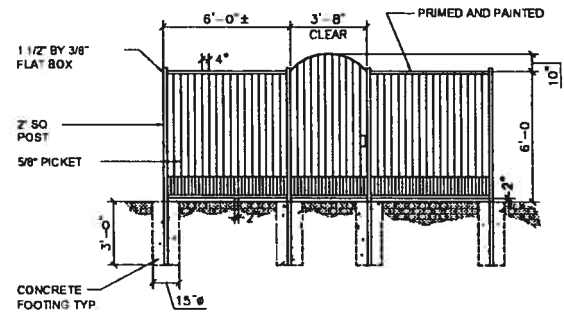
ASSOCIATE ARCHITECT

STRUCTURAL ENGINEER

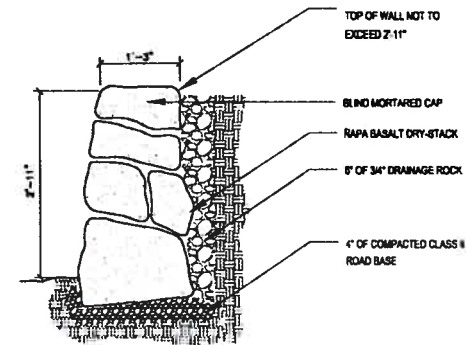
CONSULTANT

ISSUES REVIEW

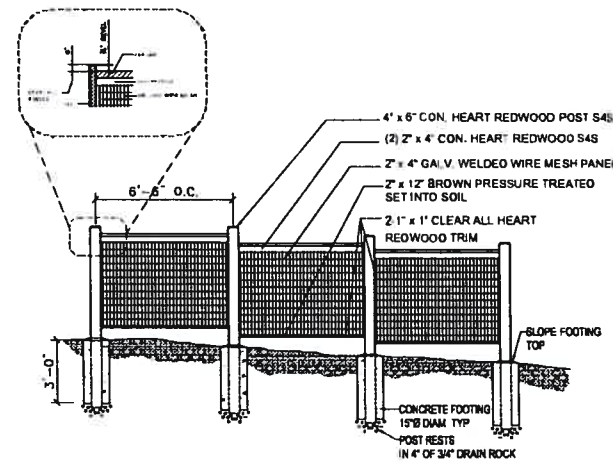
#	DATE	DESCRIPTION	DRAWN
1	1/17/2012	PLANNING REVIEW SUBMITTAL	JW



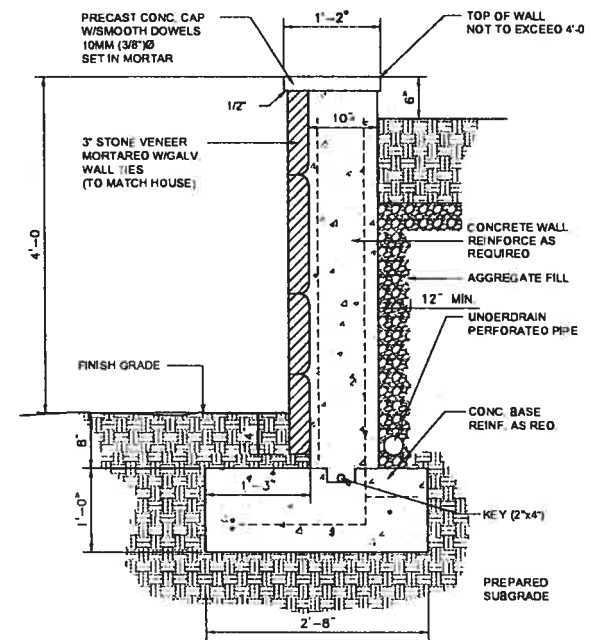
1 WROUGHT IRON GATE
1/4" = 1'-0"



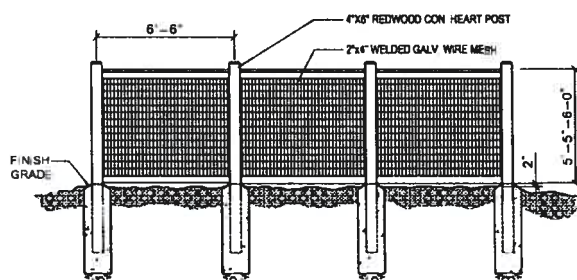
4 DRY STACK WALL
3/4" = 1'-0"



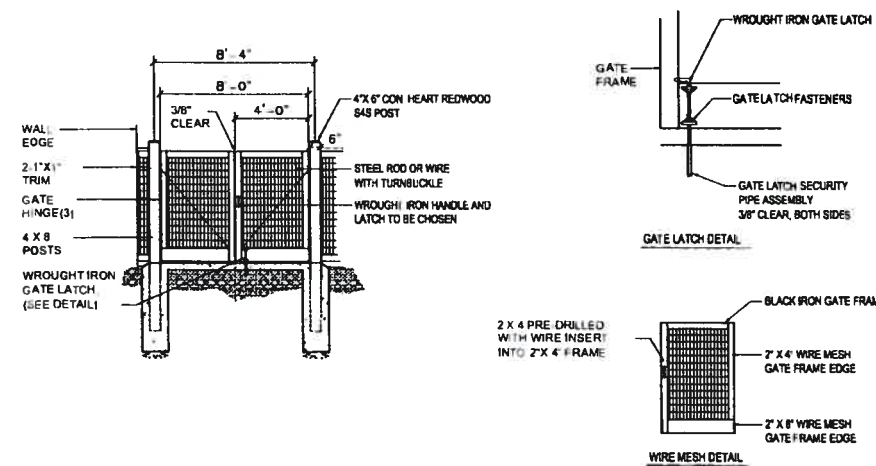
3 STEPPED PANELS FENCE
1/4" = 1'-0"



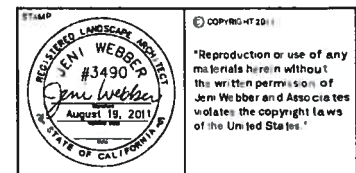
5 CONCRETE WALL WITH STONE VENEER
1" = 1'-0"



3 LEVEL PANEL FENCE
1/4" = 1'-0"



6 WIRE MESH AND REDWOOD GATE
1/4" = 1'-0"



DETAIL SHEET

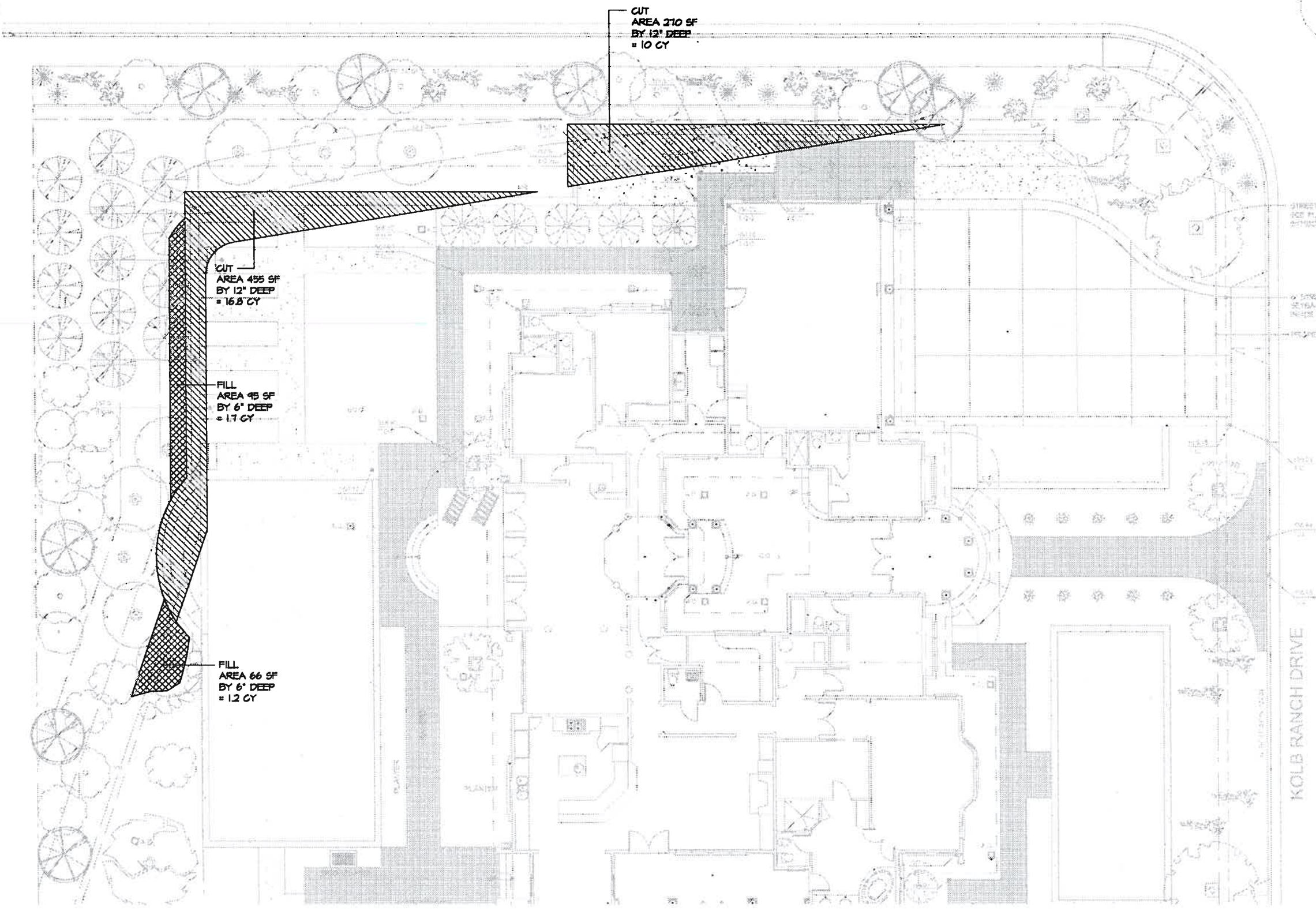
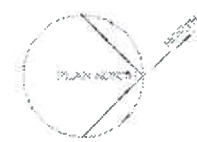
PROJECT NUMBER: 0807 PROJECT NAME: PERLEGOS NEW HOME

SCALE: AS NOTED

NORTH SHEET NUMBER

L-3

BENZON DRIVE

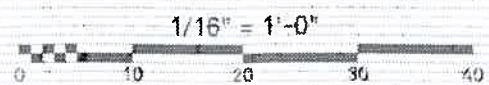


CUT AND FILL CALCULATIONS	
CUT:	26.8 CUBIC YARDS
FILL:	2.9 CUBIC YARDS
TOTAL CUT:	23.9 CUBIC YARDS

Cut and Fill Diagram

Perlegos New Home

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 CLA 3490



5982 Kolb Ranch Drive
 Pleasanton, California 94588
 1/17/2012

GreenPoint Rated Checklist: Single Family

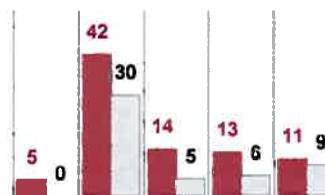
The GreenPoint Rated checklist tracks green features incorporated into the home. **A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.** GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Energy (30), Indoor Air Quality/Health (5), Resources (6), and Water (9); and meet the prerequisites A.2.a, H10a., J.2., N.1, and Q0.



Total Points Targeted: 85

This checklist accommodates the verification of mandatory CALGreen measures but does not signify compliance unless accepted by enforcing agency. All CALGreen measures within the checklist must be selected as "Yes" or "n/a" for compliance with GreenPoint Rated. Build It Green is not a code enforcement agency.



The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated

Single Family New Home 4.2 / 2008 Title 24

5982 Kolb Ranch Drive		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
A. SITE		Possible Points						
1. Protect Topsoil and Minimize Disruption of Existing Plants & Trees								
Yes	a. Protect Topsoil and Reuse after Construction	2	1				1	
No	b. Limit and Delineate Construction Footprint for Maximum Protection	0					1	
2. Divert/Recycle Job Site Construction Waste (Including Green Waste and Existing Structures)								
Yes	a. Required: Divert 50% (by weight) of All Construction and Demolition Waste (Recycling or Reuse) (CALGreen Code)	Y				R		
No	b. Divert 100% of Asphalt and Concrete and 65% (by weight) of Remaining Materials	0				2		
No	c. Divert 100% of Asphalt and Concrete and 80% (by weight) of Remaining Materials	0				2		
3. Use Recycled Content Aggregate (Minimum 25%)								
No	a. Walkway and Driveway Base	0				1		
No	b. Roadway Base	0				1		
No	4. Cool Site: Reduce Heat Island Effect On Site	0	1					
5. Construction Environmental Quality Management Plan, Duct Sealing, and Pre-Occupancy Flush-Out [*This credit is a requirement associated with J4: EPA IAP]								
Yes	a. Duct openings and other related air distribution component openings shall be covered during construction. (CALGreen code if applicable)	1			1			
No	b. Full environmental quality management plan and pre-occupancy flush out is conducted (Prerequisite is A5a)	0			1			
Total Points Available in Site = 12		3						
B. FOUNDATION		Possible Points						

5982 Kolb Ranch Drive

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
No	1. Replace Portland Cement in Concrete with Recycled Fly Ash and/or Slag (Minimum 20%)	0				2		
No	2. Use Frost-Protected Shallow Foundation in Cold Areas (CEC Climate Zone 16)	0				2		
No	3. Use Radon Resistant Construction [*This credit is a requirement associated with J4: EPA IAP]	0			2			
No	4. Install a Foundation Drainage System [*This credit is a requirement associated with J4: EPA IAP]	0				2		
Yes	5. Moisture Controlled Crawlspace [*This credit is a requirement associated with J4: EPA IAP]	2			2			
6. Design and Build Structural Pest Controls								
No	a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections	0				1		
No	b. All Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation	0				1		
Total Points Available in Foundation = 12		2						
C. LANDSCAPE			Possible Points					
0%	<i>Enter in the % of landscape area. (Projects with less than 15% of the total site area (i.e. total lot size) as landscape area are capped at 6 points for the following measures: C1 through C7 and C9 through C11.</i>							
Yes	1. Group Plants by Water Needs (Hydrozoning)	2					2	
Yes	2. Mulch All Planting Beds to the Greater of 3 Inches or Local Water Ordinance Requirement	2					2	
3. Construct Resource-Efficient Landscapes								
Yes	a. No Invasive Species Listed by Cal-IPC Are Planted	1					1	
No	b. No Plant Species Will Require Shearing	0			1			
No	c. 75% of Plants Are Drought Tolerant, California Natives or Mediterranean Species or Other Appropriate Species	0					3	
4. Minimize Turf in Landscape Installed by Builder								
Yes	a. Turf Shall Not Be Installed on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less than 8 Feet Wide	1					2	
≤25%	b. Turf is Small Percentage of Landscaped Area (2 Points for ≤25%, 4 Points for ≤10%)	0					4	
No	5. Plant Shade Trees	0	1	1			1	
6. Install High-Efficiency Irrigation Systems								
No	a. System Uses Only Low-Flow Drip, Bubblers, or Sprinklers	0					2	
TBD	b. System Has Smart (Weather-Based) Controller (CALGreen code if applicable)	0					3	
No	7. Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil	0					3	
8. Rain Water Harvesting System								
No	a. Cistern(s) is Less Than 750 Gallons	0					1	
No	b. Cistern(s) is 750 to 2,500 Gallons	0					1	
No	c. Cistern(s) is Greater Than 2,500 Gallons	0					1	
No	9. Irrigation System Uses Recycled Wastewater	0					1	
No	10. Submetering for Landscape Irrigation	0					1	
11. Design Landscape to Meet Water Budget								

5982 Kolb Ranch Drive

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
No	a. Install Irrigation System That Will Be Operated at ≤70% Reference ET (Prerequisites for Credit are C1. and C2.)	0					1	
No	b. Install Irrigation System That Will Be Operated at ≤50% Reference ET (Prerequisites for Credit are C1, C2, and C6a or C6b.)	0					1	
No	12. Use Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content E) Finger-Jointed or F) Local	0				1		
No	13. Reduce Light Pollution by Shielding Fixtures and Directing Light Downward	0	1					
Total Points Available in Landscape = 35		6						
D. STRUCTURAL FRAME & BUILDING ENVELOPE			Possible Points					
1. Apply Optimal Value Engineering								
No	a. Place Joists, Rafters and Studs at 24-Inch On Center	0				3		
No	b. Door and Window Headers are Sized for Load	0				1		
No	c. Use Only Cripple Studs Required for Load	0				1		
2. Construction Material Efficiencies								
No	a. Wall and Floor Assemblies (Excluding Solid Wall Assemblies) are Delivered Panelized from Supplier (Minimum of 80% Square Feet)	0				2		
≥25%	b. Modular Components Are Delivered Assembled to the Project (Minimum 25%)	2				6		
3. Use Engineered Lumber								
No	a. Engineered Beams and Headers	0				1		
Yes	b. Wood I-Joists or Web Trusses for Floors	1				1		
No	c. Engineered Lumber for Roof Rafters	0				1		
No	d. Engineered or Finger-Jointed Studs for Vertical Applications	0				1		
No	e. Oriented Strand Board for Subfloor	0				1		
No	f. Oriented Strand Board for Wall and Roof Sheathing	0				1		
No	4. Insulated Headers	0	1					
5. Use FSC-Certified Wood								
No	a. Dimensional Lumber, Studs and Timber (Minimum 40%)	0				6		
No	b. Panel Products (Minimum 40%)	0				3		
6. Use Solid Wall Systems (Includes SIPS, ICFs, & Any Non-Stick Frame Assembly)								
Yes	a. Floors	2				2		
No	b. Walls	0				2		
Yes	c. Roofs	1				1		
No	7. Energy Heels on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)	0		1				
8. Install Overhangs and Gutters								
Yes	a. Minimum 16-Inch Overhangs and Gutters	1				1		
Yes	b. Minimum 24-Inch Overhangs and Gutters	1		1				
9. Reduce Pollution Entering the Home from the Garage [*This credit is a requirement associated with J4: EPA IAP]								
No	a. Install Garage Exhaust Fan OR Build a Detached Garage	0			1			

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		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
No	b. Tightly Seal the Air Barrier between Garage and Living Area (Performance Test Required)	0			1			
Total Points Available in Structural Frame and Building Envelope = 39		8						
E. EXTERIOR			Possible Points					
No	1. Use Environmentally Preferable Decking	0			2			
No	2. Flashing Installation Techniques Specified and Third-Party Verified [*This credit is a requirement associated with J4: EPA IAP]	0			1			
No	3. Install a Rain Screen Wall System	0			2			
Yes	4. Use Durable and Non-Combustible Siding Materials	1			1			
Yes	5. Use Durable and Fire Resistant Roofing Materials or Assembly	2			2			
Total Points Available in Exterior = 8		3						
F. INSULATION			Possible Points					
1. Install Insulation with 75% Recycled Content								
No	a. Walls	0			1			
No	b. Ceilings	0			1			
No	c. Floors	0			1			
Total Points Available in Insulation = 3		0						
G. PLUMBING			Possible Points					
1. Distribute Domestic Hot Water Efficiently (Max. 5 points, G1a. is a Prerequisite for G1b-e)								
Yes	a. Insulate All Hot Water Pipes [*This credit is a requirement associated with J4: EPA IAP]	2		1			1	
No	b. Use Engineered Parallel Plumbing	0					1	
No	c. Use Engineered Parallel Plumbing with Demand Controlled Circulation Loop(s)	0					1	
No	d. Use Traditional Trunk, Branch and Twig Plumbing with Demand Controlled Circulation Loop(s)	0		1			2	
No	e. Use Central Core Plumbing	0		1		1	1	
2. Water Efficient Fixtures								
TBD	a. High Efficiency Showerheads ≤2.0 Gallons Per Minute (gpm) at 80 psi. (Multiple showerheads shall not exceed maximum flow rates) (CALGreen code if applicable)	0					3	
TBD	b. High Efficiency Bathroom Faucets ≤ 1.5 gpm at 60psi (CALGreen code)	0					1	
TBD	c. High Efficiency Kitchen and Utility Faucets ≤1.8 gpm (CALGreen code if applicable)	0					1	
TBD	3. Install Only High Efficiency Toilets (Dual-Flush or ≤1.28 Gallons Per Flush (gpf)) (CALGreen code if applicable)	0					2	
Total Points Available in Plumbing = 12		2						
H. HEATING, VENTILATION & AIR CONDITIONING			Possible Points					
1. Properly Design HVAC System and Perform Diagnostic Testing								
Yes	a. Design and Install HVAC System to ACCA Manual J, D, and S Recommendations (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	4		4				
No	b. Test Total Supply Air Flow Rates [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	c. Third Party Testing of Mechanical Ventilation Rates for IAQ (meet ASHRAE 62.2)	0		1				

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		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
2. Install Sealed Combustion Units [*This credit is a requirement associated with J4: EPA IAP]								
Yes	a. Furnaces	2			2			
Yes	b. Water Heaters	2			2			
Yes	3. Install High Performing Zoned Hydronic Radiant Heating	2		1	1			
Yes	4. Install High Efficiency Air Conditioning with Environmentally Preferable Refrigerants	1	1					
5. Design and Install Effective Ductwork								
No	a. Install HVAC Unit and Ductwork within Conditioned Space	0		1				
Yes	b. Use Duct Mastic on All Duct Joints and Seams [*This credit is a requirement associated with J4: EPA IAP]	1		1				
No	c. Pressure Relieve the Ductwork System [*This credit is a requirement associated with J4: EPA IAP]	0		1				
Yes	6. Install High Efficiency HVAC Filter (MERV 6+) [*This credit is a requirement associated with J4: EPA IAP]	1			1			
No	7. No Fireplace OR Install Sealed Gas Fireplace(s) with Efficiency Rating >60% using CSA Standards [*This credit is a requirement associated with J4: EPA IAP]	0			1			
TBD	8. Install ENERGY STAR Bathroom Fans on Timer or Humidistat (CALGreen code if applicable)	0			1			
9. Install Mechanical Ventilation System for Cooling (Max. 4 Points)								
No	a. Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & All Bedrooms	0		1				
TBD	b. Install Whole House Fan (Credit Not Available if H9c Chosen) (CALGreen code if applicable)	0		1				
No	c. Automatically Controlled Integrated System with Variable Speed Control	0		3				
10. Advanced Mechanical Ventilation for IAQ								
Yes	a. Required: Compliance with ASHRAE 62.2 Mechanical Ventilation Standards (as adopted in Title 24 Part 6) [*This credit is a requirement associated with J4: EPA IAP]	Y			R			
No	b. Advanced Ventilation Practices (Continuous Operation, Sone Limit, Minimum Efficiency, Minimum Ventilation Rate, Homeowner Instructions)	0			1			
No	c. Outdoor Air Ducted to Bedroom and Living Areas of Home	0			2			
Yes	11. Install Carbon Monoxide Alarm(s) (or No Combustion Appliances in Living Space and No Attached Garage) [*This credit is a requirement associated with J4: EPA IAP]	1			1			
Total Points Available in Heating, Ventilation and Air Conditioning = 27		14						
I. RENEWABLE ENERGY								
			Possible Points					
No	1. Pre-Plumb for Solar Water Heating	0			1			
Yes	2. Install Wiring Conduit for Future Photovoltaic Installation & Provide 200 ft² of South-Facing Roof	1			1			
0.0%	3. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind) <i>Enter % total energy consumption offset, 1 point per 4% offset</i>	0		25				

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Total Available Points in Renewable Energy = 27		1						
J. BUILDING PERFORMANCE			Possible Points					
1. Building Envelope Diagnostic Evaluations								
No	a. Verify Quality of Insulation Installation & Thermal Bypass Checklist before Drywall [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	b. House Passes Blower Door Test [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	c. Blower Door Results are Max 2.5 ACH ₅₀ for Unbalanced Systems (Supply or Exhaust) or Max 1.0 ACH ₅₀ for Balanced Systems (2 Total Points for J1b. and J1c.)	0		1				
No	d. House Passes Combustion Safety Backdraft Test	0			1			
15%	2. Required: Building Performance Exceeds Title 24 (Minimum 15%) <i>(Enter the Percent Better Than Title 24, Points for Every 1% Better Than Title 24)</i>	30		≥30				
No	3. Design and Build Near Zero Energy Homes <i>(Enter number of points, minimum of 2 and maximum of 6 points)</i>	0		6				
No	4. Obtain EPA Indoor airPlus Certification <i>(Total 42 points, not including Title 24 performance; read comment)</i>	0			2			
Yes	5. Title 24 Prepared and Signed by a CABEC Certified Energy Plans Examiner (CEPE)	1		1				
6. Participation in Utility Program with Third Party Plan Review								
No	a. Energy Efficiency Program [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	b. Renewable Energy Program with Min. 30% Better Than Title 24 (High Performing Home)	0		1				
Total Available Points in Building Performance = 45+		31						
K. FINISHES			Possible Points					
No	1. Design Entryways to Reduce Tracked-In Contaminants	0			1			
2. Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)								
TBD	a. Low-VOC Interior Wall/Ceiling Paints (CALGreen code if applicable) (<50 Grams Per Liter (gpl) VOCs Regardless of Sheen) [*This credit is a requirement associated with J4: EPA IAP]	0			1			
No	b. Zero-VOC: Interior Wall/Ceiling Paints (<5 gpl VOCs Regardless of Sheen)	0			2			
TBD	3. Use Low-VOC Coatings that Meet SCAQMD Rule 1113 (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	0			2			
TBD	4. Use Low-VOC Caulks, Construction Adhesives and Sealants that Meet SCAQMD Rule 1168 (CALGreen code if applicable)	0			2			
No	5. Use Recycled-Content Paint	0				1		
6. Use Environmentally Preferable Materials for Interior Finish A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content or E) Finger-Jointed F) Local								
No	a. Cabinets (50% Minimum)	0				3		

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		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
No	b. Interior Trim (50% Minimum)	0				2		
No	c. Shelving (50% Minimum)	0				2		
No	d. Doors (50% Minimum)	0				2		
No	e. Countertops (50% Minimum)	0				2		
TBD	7. Reduce Formaldehyde in Interior Finish – Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	N			0			
	8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory Compliance Dates							
No	a. Doors (90% Minimum)	0		1				
No	b. Cabinets & Countertops (90% Minimum)	0		2				
No	c. Interior Trim and Shelving (90% Minimum)	0		1				
No	9. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb	0			3			
Total Available Points in Finishes = 27		0						
L. FLOORING			Possible Points					
No	1. Use Environmentally Preferable Flooring (Minimum 15% Floor Area) A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable, D) Recycled-Content, E) Exposed Concrete, F) Local. <i>Flooring Adhesives Must Meet SCAQMD Rule 1168 for VOCs.</i>	0				4		
No	2. Thermal Mass Floors (Minimum 50%)	0		1				
≥80%	3. Low Emitting Flooring (Section 01350, CRI Green Label Plus, Floorscore [*This credit is a requirement associated with J4: EPA IAP]	3			3			
TBD	4. All carpet and 50% of Resilient Flooring is low emitting. (CALGreen code if applicable)	N						
Total Available Points in Flooring = 8		3						
M. APPLIANCES AND LIGHTING			Possible Points					
Yes	1. Install ENERGY STAR Dishwasher (Must Meet Current Specifications)	2		1			1	
	2. Install ENERGY STAR Clothes Washer							
No	a. Meets ENERGY STAR and CEE Tier 2 Requirements (Modified Energy Factor 2.0, Water Factor 6.0 or less)	0		1			2	
No	b. Meets ENERGY STAR and CEE Tier 3 Requirements (Modified Energy Factor 2.2, Water Factor 4.5 or less)	0					2	
	3. Install ENERGY STAR Refrigerator							
No	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity	0		1				
No	b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity	0		1				
	4. Install Built-In Recycling Center or Composting Center							
No	a. Built-In Recycling Center	0				1		
No	b. Built-In Composting Center	0				1		
	5. Install High-Efficacy Lighting and Design Lighting System							

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		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
Yes	a. Install High-Efficacy Lighting	1		1				
No	b. Install a Lighting System to IESNA Footcandle Standards or Hire Lighting Consultant	0		1				
Total Available Points in Appliances and Lighting = 13		3						
N. OTHER			Possible Points					
Yes	1. Required: Incorporate GreenPoint Rated Checklist in Blueprints [*This credit is a requirement associated with J4: EPA IAP]	Y				R		
No	2. Pre-Construction Kick-Off Meeting with Rater and Subs	0	1					
No	3. Homebuilder's Management Staff are Certified Green Building Professionals	0	1					
	4. Develop Homeowner Education							
TBD	a. Develop Homeowner Manual of Green Features/Benefits (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	0		1			1	
No	b. Conduct Educational Walkthroughs (Prerequisite is N4a) [*This credit is a requirement associated with J4: EPA IAP]	0			1			
No	5. Install a Home System Monitor OR Participate in a Time-of-Use Pricing Program	0		1				
Total Available Points in Other = 6		0						
O. COMMUNITY DESIGN & PLANNING			Possible Points					
1. Develop Infill Sites								
No	a. Project is an Urban Infill Development	0	1			1		
No	b. Home(s)/Development is Located within 1/2 Mile of a Major Transit Stop	0	2					
No	2. Build on Designated Brownfield Site	0	3					
3. Cluster Homes & Keep Size in Check								
No	a. Cluster Homes for Land Preservation	0	1			1		
No	b. Conserve Resources by Increasing Density (10 Units per Acre or Greater)	0	2			2		
	c. Home Size Efficiency	0				9		
	i. Enter Average Unit Square Footage							
	ii. Enter Average Number of Bedrooms/Unit							
4. Design for Walking & Bicycling								
	a. Site Has Pedestrian Access Within 1/2 Mile of Community Services:							
	TIER 1: Enter Number of Services Within 1/2 Mile							
	1) Day Care 2) Community Center 3) Public Park 4) Drug Store							
	5) Restaurant 6) School 7) Library 8) Farmer's Market 9) After School Programs 10) Convenience Store Where Meat & Produce are Sold							
	TIER 2: Enter Number of Services Within 1/2 Mile							
	1) Bank 2) Place of Worship 3) Laundry/Cleaners 4) Hardware							
	5) Theater/Entertainment 6) Fitness/Gym 7) Post Office							
	8) Senior Care Facility 9) Medical/Dental 10) Hair Care							
	11) Commercial Office or Major Employer 12) Full Scale Supermarket							
	i. 5 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	0	1					
	ii. 10 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	0	1					

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		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
No	b. Development is Connected with A Dedicated Pedestrian Pathway to Places of Recreational Interest Within 1/4 mile	0	1					
No	c. Install Traffic Calming Strategies (Minimum of Two): - Designated Bicycle Lanes are Present on Roadways; - Ten-Foot Vehicle Travel Lanes; - Street Crossings Closest to Site are Located Less Than 300 Feet Apart; - Streets Have Rumble Strips, Bulbouts, Raised Crosswalks or Refuge Islands	0	2					
5. Design for Safety & Social Gathering								
TBD	a. All Home Front Entrances Have Views from the Inside to Outside Callers	0	1					
TBD	b. All Home Front Entrances Can be Seen from the Street and/or from Other Front Doors	0	1					
TBD	c. Orient Porches (min. 100sf) to Streets and Public Spaces	0	1					
No	d. Development Includes a Social Gathering Space	0	1					
6. Design for Diverse Households (6a. is a Prerequisite for 6b. and 6c.)								
No	a. All Homes Have At Least One Zero-Step Entrance	0	1					
Yes	b. All Main Floor Interior Doors & Passageways Have a Minimum 32-Inch Clear Passage Space	0	1					
Yes	c. Locate Half-Bath on the Ground Floor	0	1					
No	d. Provide Full-Function Independent Rental Unit	0	1					
Total Achievable Points in Community Design & Planning = 35		0						
P. INNOVATION			Possible Points					
A. Site								
1. Stormwater Control: Prescriptive Path (Maximum of 3 Points, Mutually Exclusive with PA2.)								
Yes	a. Use Permeable Paving for 25% of Driveways, Patios and Walkways	1	1					
No	b. Install Bio-Retention and Filtration Features	0	2					
Yes	c. Route Downspout Through Permeable Landscape	1	1					
Yes	d. Use Non-Leaching Roofing Materials	1	1					
No	e. Include Smart Street/Driveway Design	0	1					
No	2. Stormwater Control: Performance Path (Mutually Exclusive with PA1): Perform Soil Percolation Test and Capture and Treat 85% of Total Annual Runoff	0	3					
C. Landscape								
Yes	1. Meet Local Landscape Program Requirement	2					2	
D. Structural Frame & Building Envelope								
1. Design, Build and Maintain Structural Pest and Rot Controls								
Yes	a. Locate All Wood (Siding, Trim, Structure) At Least 12" Above Soil	1			1			
No	b. All Wood Framing 3 Feet from the Foundation is Treated with Borates (or Use Factory-Impregnated Materials) OR Walls are Not Made of Wood	0			1			
Yes	2. Use Moisture Resistant Materials in Wet Areas: Kitchen, Bathrooms, Utility Rooms, and Basements [*This credit is a requirement associated with J4: EPA IAP]	2			1	1		
E. Exterior								
No	1. Vegetated Roof (Minimum 25%)	0	2	2				

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		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
G. Plumbing								
No	1. Greywater Pre-Plumbing (Includes Washing Machine at Minimum)	0					1	
No	2. Greywater System Operational (Includes Washing Machine at Minimum)	0					2	
No	3. Innovative Wastewater Technology (Constructed Wetland, Sand Filter, Aerobic System)	0					1	
No	4. Composting or Waterless Toilet	0					2	
No	5. Install Drain Water Heat-Recovery System	0		1				
No	6. Install a Hot Water Desuperheater	0		2				
H. Heating, Ventilation, and Air Conditioning								
No	1. Humidity Control Systems (Only in California Humid/Marine Climate Zones 1,3,5,6,7) [*This credit is a requirement associated with J4: EPA IAP]	0			1			
Yes	2. Design HVAC System to Manual T for Register Design	1		1				
K. Finishes								
No	1. Materials Meet SMaRT Criteria (Select the number of points, up to 5 points)	0				5		
N. Other								
No	1. Detailed Durability Plan and Third-Party Verification of Plan Implementation	0				2		
2. Educational Signage of Project's Green Features								
No	a. Promotion of Green Building Practices	0	1					
No	b. Installed Green Building Educational Signage	0	1					
3. Innovation: List innovative measures that meet green building objectives. Enter in the number of points in each category for a maximum of 4 points for the measure in the blue cells. Points achieved column will be automatically fill in based on the sum of the points in each category. Points and measures will be evaluated by Build It Green.								
No	Innovation: Enter up to 4 Points at right. Enter description here	0						
No	Innovation: Enter up to 4 Points at right. Enter description here	0						
No	Innovation: Enter up to 4 Points at right. Enter description here	0						
No	Innovation: Enter up to 4 Points at right. Enter description here	0						
No	Innovation: Enter up to 4 Points at right. Enter description here	0						
Total Achievable Points in Innovation = 33+		9						
Q. CALIFORNIA CALGreen CODE			Possible Points					
No	Home meets all applicable CAL Green measures listed in above Sections A - P of the GreenPoint Rated checklist.	N	R					
<p><i>The following measures are mandatory in the CALGreen code and do not earn points in the GreenPoint Rated Checklist, but have been included in the Checklist for the convenience of jurisdictions.</i></p> <p><i>The GreenPoint Rater is not a code enforcement official. The measures in this section may be verified by the GreenPoint Rater at their own discretion and/or discretion of the building official.</i></p>								
Yes	1. CALGreen 4.106.2 Storm water management during construction.	Y						
Yes	2. CALGreen 4.106.3 Design for surface water drainage away from buildings.	Y						
N/A	3. CALGreen 4.303.1 As an alternative to prescriptive compliance, a 20% reduction in baseline water use shall be demonstrated through calculation	N/A						

