

TBD	3	Use of a Rain Screen Wall System	4	Possible Points	
Yes	3	Use Durable and Non-Combustible Siding Materials	4	Possible Points	
Yes	3	Use Durable and Fire Resistant Roofing Materials or Assembly	4	Possible Points	
Total Points Available in Exterior = 12					
P. INSULATION					
Yes	1	1. Insulate with 75% Recycled Content	2	Possible Points	
Yes	1	a. Walls	2	Possible Points	
Yes	1	b. Ceilings	2	Possible Points	
Yes	1	c. Floors	2	Possible Points	
Total Points Available in Insulation = 3					
Q. PLUMBING					
Yes	1	1. Distribute Domestic Hot Water Efficiently (Max. 8 points, 0 pts. is a prerequisite for G1-b)	2	Possible Points	
Yes	1	a. Insulate All Hot Water Pipes	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	b. Use Engineered Parallel Pumping	2	Possible Points	
Yes	1	c. Use Engineered Parallel Pumping with Demand Controlled Circulation Logic	2	Possible Points	
Yes	1	2. Use Traditional Tank Branch and Ring Plumbing with Demand Controlled Circulation Logic	2	Possible Points	
Yes	1	a. Use Central Tank Plumbing	2	Possible Points	
Yes	1	b. High Efficiency Showers with 2.0 Gallons Per Minute (gpm) at 60 psi (Multiple Showers)	2	Possible Points	
Yes	1	c. High Efficiency Bathroom Fixtures with 1.1 gpm at 60 psi (CAL Green code if applicable)	2	Possible Points	
Yes	1	3. Install Only High Efficiency Toilets (Dual-Flush or 1.28 Gallons Per Flush (gpf)) (CAL Green code if applicable)	2	Possible Points	
Total Points Available in Plumbing = 12					
R. HEATING, VENTILATION & AIR CONDITIONING					
Yes	1	1. Properly Design HVAC System and Perform Diagnostic Testing	2	Possible Points	
Yes	1	a. Design and install HVAC System to ACC Manual - Part 1 and 8 Requirements	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	b. Test Total Supply Air Flow Rate	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	c. Test Particulate Matter Concentration	2	Possible Points	
Yes	1	2. Install Sealed Combustion Units	2	Possible Points	
Yes	1	a. Furnaces	2	Possible Points	
Yes	1	b. Water Heaters	2	Possible Points	
Yes	1	3. Install High Performing Zoned Hydronic Radiant Heating	2	Possible Points	
Yes	1	4. Install High Efficiency Air Conditioning with Environmentally Preferable Refrigerants	2	Possible Points	
Yes	1	5. Design and Install Effective Ductwork	2	Possible Points	
Yes	1	a. Install HVAC Units in Conditioned and Sealed Space	2	Possible Points	
Yes	1	b. Use Duct Mass on All Duct Joints and Seams	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	c. Pressure Seal the Ductwork System	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	6. Install High Efficiency HVAC Filter (MERV 8+)	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	7. No Replace OR Insulated Sealed Gas Appliances with Efficiency Rating 40% using CSA Standards	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	8. Install ENERGY STAR Bathroom Fans on Time of Humidistat (CAL Green code if applicable)	2	Possible Points	
Yes	1	a. Exhaust Fans	2	Possible Points	
Yes	1	b. Exhaust Fans with Humidity Sensors	2	Possible Points	
Yes	1	c. Exhaust Fans with Humidity Sensors and CO2 Sensors	2	Possible Points	
Yes	1	d. Exhaust Fans with Humidity Sensors and CO2 Sensors and Demand Control Ventilation	2	Possible Points	
Yes	1	9. Automatically Controlled Infiltration System with Variable Speed Control	2	Possible Points	
Yes	1	a. Required Compliance with ASHRAE 62.2 Mechanical Ventilation Standards and applicable ASHRAE 90.1 Part 5. [This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	b. Automatic Infiltration System with Variable Speed Control	2	Possible Points	
Yes	1	c. Outdoor Air Excess to Design and Log Area of Home	2	Possible Points	
Yes	1	10. Install Carbon Monoxide Alarms (if No Carbon Monoxide Appliance in Living Space and No Attached Garage)	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Total Points Available in Heating, Ventilation and Air Conditioning = 27					
S. RENEWABLE ENERGY					
Yes	1	1. Pre-Insulate Solar Water Heating	2	Possible Points	
Yes	1	2. Install Wiring Conduit for Future Photovoltaic Installation & Provide 200 ft ² of South-Facing Roof	2	Possible Points	
Yes	1	3. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind)	2	Possible Points	
Yes	1	4. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind)	2	Possible Points	
Yes	1	5. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind)	2	Possible Points	
Total Available Points in Renewable Energy = 17					
T. BUILDING PERFORMANCE					
Yes	1	1. Building Envelope Diagnostic Evaluations	2	Possible Points	
Yes	1	a. Verify Quality of Installation and Sealant (Bypass Criteria) to be in Accordance with the requirements associated with LEED E-PA100	2	Possible Points	
Yes	1	b. House Passes Blower Door Test	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	c. Blower Door Results are 1.2 ACH ₅₀ for Unbalanced System (Supply or Exhaust) or 1.0 ACH ₅₀ for Balanced System (2 Total Points for JTB and JTB)	2	Possible Points	
Yes	1	d. House Passes Combustion Safety Backdraft Test	2	Possible Points	
Yes	1	2. Required Building Performance Exceeds Title 24 (Minimum 4%)	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	3. Design and Build New 2 or 3 Energy Homes	2	Possible Points	
Yes	1	4. Obtain EPA Indoor Air Plus Certification	2	Possible Points	
Yes	1	5. Title 24 Prepared and Signed by a CADEC Certified Energy Plans Examiner (CEPE)	2	Possible Points	
Yes	1	6. Participation in Utility Program with Third Party Plan Review	2	Possible Points	
Yes	1	a. Energy Efficiency Program	2	Possible Points	
Yes	1	b. Renewable Energy Program with 10% Savings	2	Possible Points	
Yes	1	c. Renewable Energy Program with 20% Savings	2	Possible Points	
Yes	1	d. Renewable Energy Program with 30% Savings	2	Possible Points	
Yes	1	e. Renewable Energy Program with 40% Savings	2	Possible Points	
Yes	1	f. Renewable Energy Program with 50% Savings	2	Possible Points	
Yes	1	7. Renewable Energy Program with 60% Savings	2	Possible Points	
Yes	1	8. Renewable Energy Program with 70% Savings	2	Possible Points	
Yes	1	9. Renewable Energy Program with 80% Savings	2	Possible Points	
Yes	1	10. Renewable Energy Program with 90% Savings	2	Possible Points	
Yes	1	11. Renewable Energy Program with 100% Savings	2	Possible Points	
Total Available Points in Building Performance = 38					
U. FINISHES					
Yes	1	1. Design Entryways to Reduce Traffic-4in Contaminants	2	Possible Points	
Yes	1	2. Use Low-VOC or Zero-VOC Paint (Minimum 3 Points)	2	Possible Points	
Yes	1	a. Low-VOC Interior Wallcovering Paints (CAL Green code if applicable)	2	Possible Points	
Yes	1	b. Low-VOC Interior Wallcovering Paints (CAL Green code if applicable)	2	Possible Points	
Yes	1	c. Low-VOC Interior Wallcovering Paints (CAL Green code if applicable)	2	Possible Points	
Yes	1	3. Use Low-VOC Coatings that Meet SCQMD Rule 1113 (CAL Green code if applicable)	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	4. Use Low-VOC Coatings that Meet SCQMD Rule 1113 (CAL Green code if applicable)	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	5. Use Recycled Content Paint	2	Possible Points	
Yes	1	6. Use Environmentally Preferable Materials for Interior Finishes	2	Possible Points	
Yes	1	a. Carpet with 50% Recycled Content	2	Possible Points	
Yes	1	b. Carpet with 50% Recycled Content	2	Possible Points	
Yes	1	c. Carpet with 50% Recycled Content	2	Possible Points	
Yes	1	d. Carpet with 50% Recycled Content	2	Possible Points	
Yes	1	e. Carpet with 50% Recycled Content	2	Possible Points	
Yes	1	f. Carpet with 50% Recycled Content	2	Possible Points	
Yes	1	7. Reduce Formaldehyde in Interior Finish - Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Units by Mandatory Compliance Date (CAL Green code if applicable)	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Yes	1	8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Units by Mandatory Compliance Date	2	Possible Points	
Yes	1	a. Density 90% Minimum	2	Possible Points	
Yes	1	b. Density 90% Minimum	2	Possible Points	
Yes	1	c. Density 90% Minimum	2	Possible Points	
Yes	1	d. Density 90% Minimum	2	Possible Points	
Yes	1	e. Density 90% Minimum	2	Possible Points	
Yes	1	f. Density 90% Minimum	2	Possible Points	
Yes	1	9. Also Installation of Finish Test of Indoor Air Shows Formaldehyde Level < 27ppb	2	Possible Points	
Yes	1	[This credit is a requirement associated with LEED E-PA100]	2	Possible Points	
Total Available Points in Finishes = 27					

GreenPoint Rated Checklist: Single Family

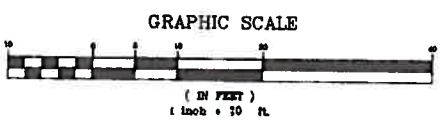
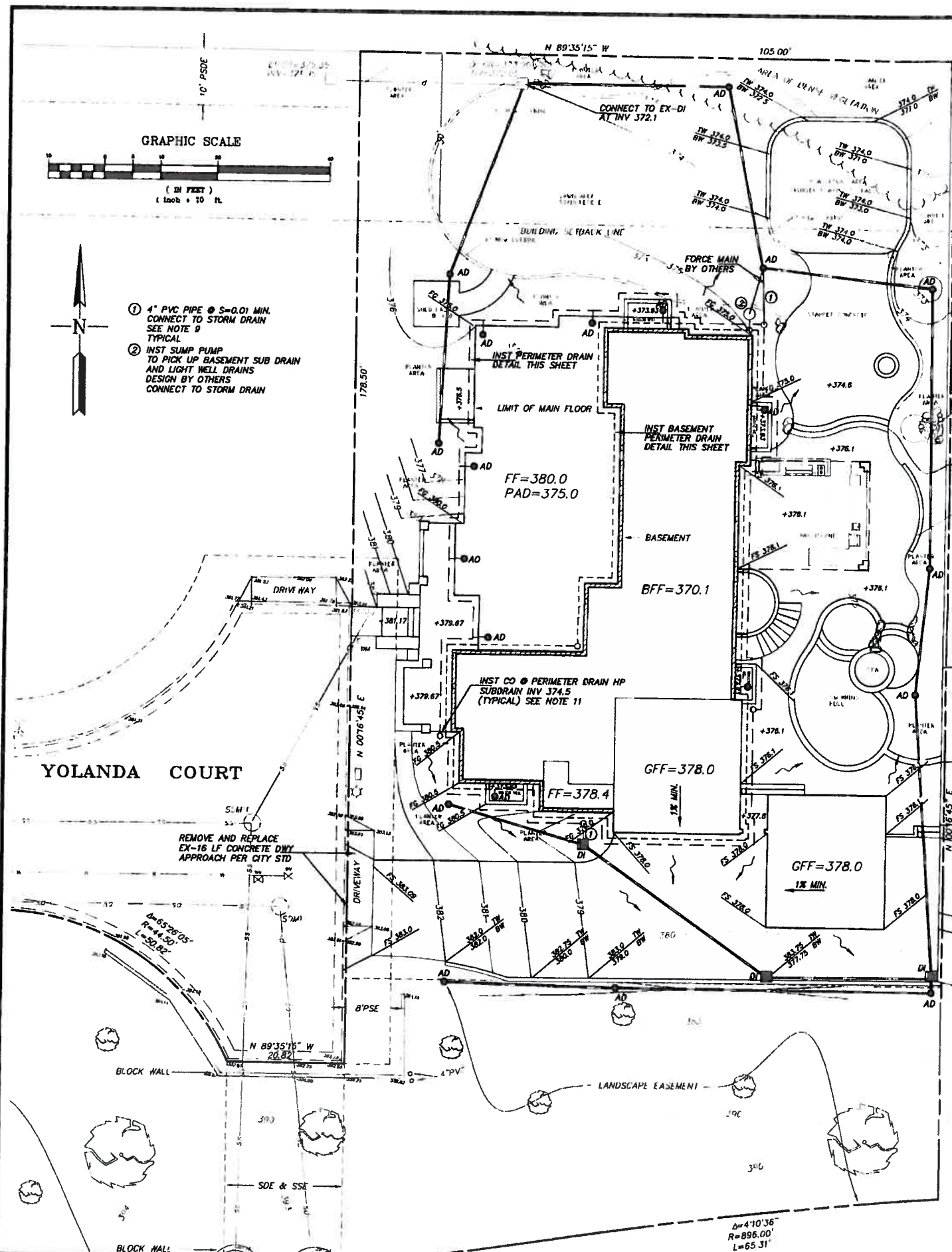
The GreenPoint Rated checklist checks green features incorporated into the home. A home is only GreenPoint Rated if it has been certified by a Certified GreenPoint Rated through GreenPoint Rated. GreenPoint Rated is provided as a public service by Build Green, a professional non-profit organization that promotes energy and resource-efficient buildings in California. The minimum required GreenPoint Rated score is 40 out of 50 possible points. Earn the following minimum points on category Energy (10), Indoor Air Quality (15), Resources (16) and Water (9) and meet the prerequisites A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z.

GreenPointRATED

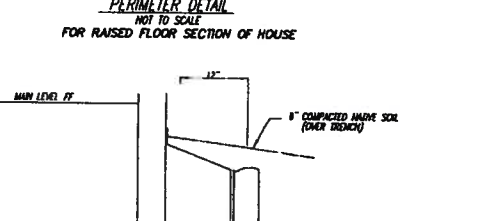
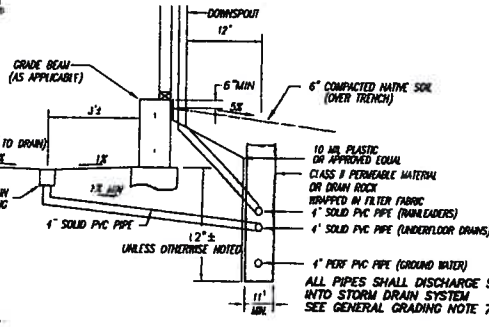
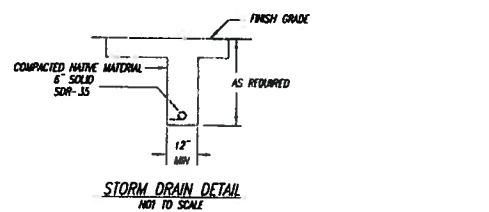
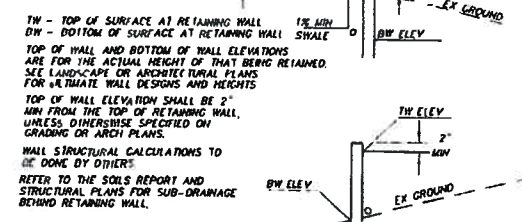
Total Points Targeted: 145

Wall Residence - 2505 Yolanda Ct

Category	Points	Requirement	Points	Notes
A. SITE	16	1. Protect Topsoil and Minimize Disruption of Existing Plants & Trees	2	
Yes	2	2. Diver/Recycle Job Site Construction Waste (Including Green Waste and Existing Structures)	2	
Yes	2	3. Use Recycled Content Aggregate (Minimum 20%)	2	
Yes	2	4. Use Recycled Content Aggregate (Minimum 20%)	2	
Yes	2	5. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	6. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	7. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	8. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	9. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	10. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	11. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	12. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	13. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	14. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	15. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	16. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	17. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	18. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	19. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	20. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	21. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	22. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	23. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	24. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	25. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	26. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	27. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	28. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	29. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	30. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	31. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	32. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	33. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	34. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	35. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	36. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	37. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	38. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	39. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	40. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	41. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	42. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	43. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	44. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	45. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	46. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	47. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	48. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	49. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	50. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	51. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	52. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	53. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	54. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	55. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	56. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	57. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	58. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	59. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	60. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	61. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	62. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	63. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	64. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	65. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	66. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	67. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	68. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	69. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	70. Construction Environmental Quality Management Plan, Dust Sealing and Pre-occupancy Flush-Out (This credit is a requirement associated with LEED E-PA100)	2	
Yes	2	71. Construction Environmental Quality Management Plan, Dust Sealing and		



- ① 4" PVC PIPE @ S=0.01 MIN. CONNECT TO STORM DRAIN SEE NOTE 9 TYPICAL
- ② INST SUMP PUMP TO PICK UP BASEMENT SUB DRAIN AND LIGHT WELL DRAINS DESIGN BY OTHERS CONNECT TO STORM DRAIN



- ABBREVIATIONS**
- AD AREA DRAIN
 - CD CLEAN-OUT
 - DI DRAIN INLET (MANSON P18 OR EQUAL)
 - BW BOTTOM OF RETAINING WALL
 - FF FINISHED FLOOR
 - FL FLOW LINE
 - FG FINISHED GRADE
 - FS FINISHED SURFACE
 - GR TOP OF GRADE
 - HP HIGH-POINT
 - HW INVERT
 - GFF GARAGE FINISHED FLOOR
 - LS LANDSCAPED AREA
 - PA PLANTER AREA
 - SW STORM WATER INLET
 - TC TOP OF CURB
 - TG TOP OF GRADE
 - TW TOP OF RETAINING WALL

- GRADING NOTES:**
1. ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
 2. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
 3. ALL DOWNSPOUTS SHALL HAVE A MINIMUM 3" DIAMETER SOLID DRAIN LINES AND SHALL DISCHARGE TO SPLASH BLOCKS, AND DIRECTED AWAY FROM THE FOUNDATION.
 4. SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE FOR: 5% MIN. FOR 5' MIN. (NATIVE SOIL OR LANDSCAPED AREAS) 2% MIN. FOR 5' MIN. (PAVED SURFACES)
 5. SURFACE WATER SWALES SHALL HAVE A 1% MINIMUM SLOPE AND BE CONVEYED TO AREA DRAINS.
 6. AREA DRAINS SHALL HAVE A MINIMUM 6 INCHES DIAMETER GRATE OPENING.
 7. ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
 8. ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS. NOT THROUGH THEM. ANY SUBDRAINS PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PIERS AND/OR GRADE BEAMS.
 9. WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
 10. ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-FLEXIBLE PVC PIPE. PERFORATED PIPE SHALL BE USED FOR SUBDRAINS ONLY. 6" STORM DRAIN TO BE PVC SDR-35 OR APPROVED EQUAL. (SEE DETAILS)
 11. CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
 12. EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 15 IF WORK CONTINUES INTO THE RAINY SEASON.
 13. THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
 14. THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF GRASS AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
 15. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPOUTS, AND DRAINAGE SWALES.

The Following (a) and (b) shall be provided to the building inspector before and foundation inspection will be performed. Item (c) shall be provided before the shear and roof inspection. Item (d) shall be provided before a frame inspection will be performed.

a. A Licensed Land Surveyor must verify building setbacks to property lines and also pad elevation(s). This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.

b. When FFI is employed under the building a soils engineer must verify pad compaction. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.

c. A Licensed Land Surveyor must verify finish floor elevations. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of shear and roof inspection.

d. A Licensed Land Surveyor must verify the highest elevation of the highest point of any roof ridge of roof projection. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of frame inspection.

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON WERE BASED ON TRACT 7499 (275 M 64), ALAMEDA COUNTY RECORDS.

BASIS OF ELEVATIONS

THE ELEVATIONS SHOWN HEREON WERE BASED ON THE IMPROVEMENT PLANS FOR TRACT 7499.

NOTES:

- ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, AND FIELD LOCATED.
- IMPERMEABLE AREA = 9,724 SQ FT
- PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.
- SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION THIS PLAN IS INTENDED FOR GRADING AND DRAINAGE

LEGEND

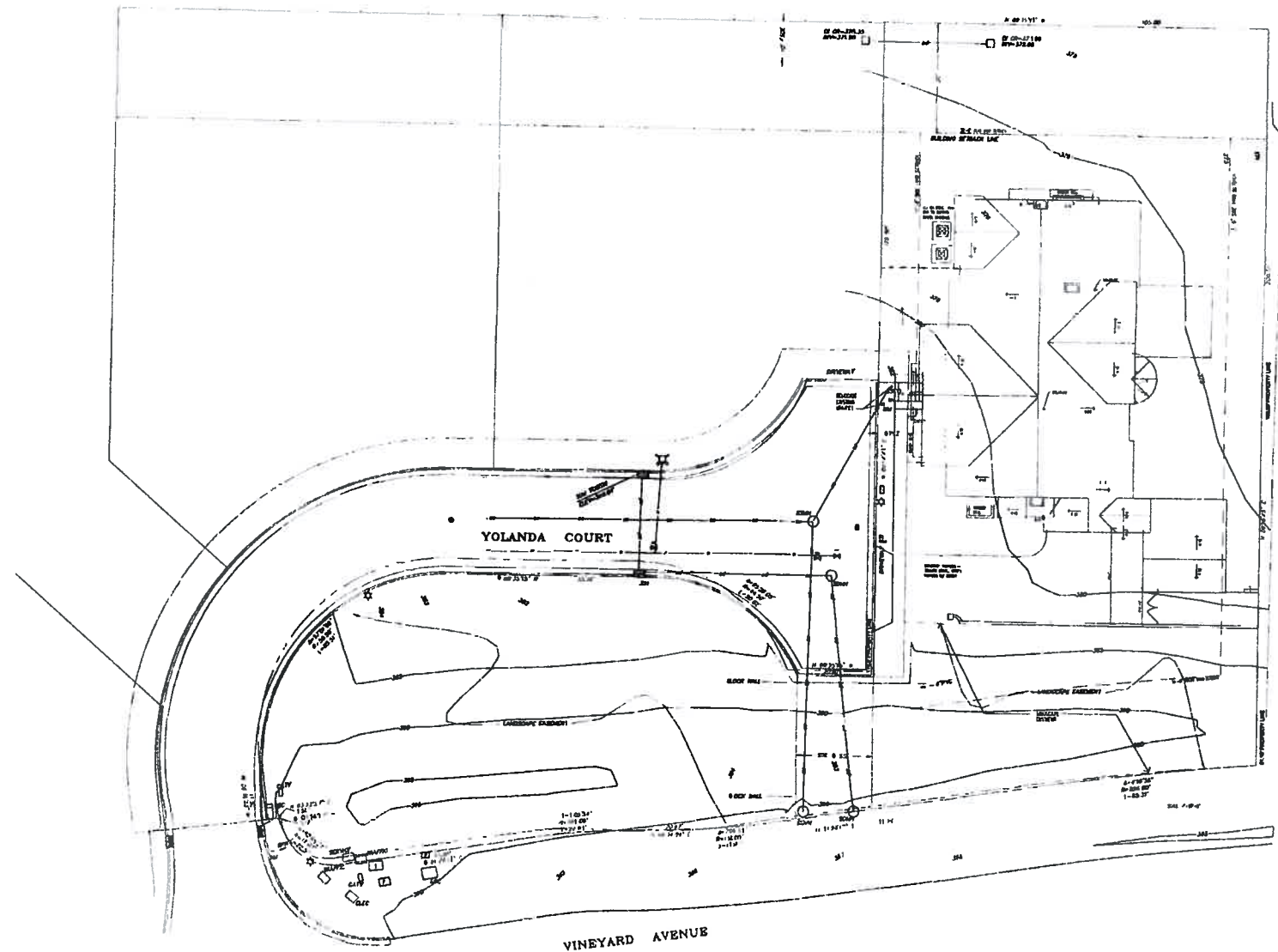
- DRAINAGE ARROW INDICATES DIRECTION OF DRAINAGE
- STORM DRAIN
- PERIMETER DRAIN
- EX CONTOUR
- 100 — NEW CONTOUR
- SWALE
- PROPERTY LINE



ALEXANDER & INC.
 SUBSURFACE ENGINEERS PLANNERS
 147 OLD BERNARD AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 468-8295
 1"=10'
 5/27/12
 PROJECT NAME: GRADING AND DRAINAGE PLAN
 LOT 5 TRACT 7499
 CITY OF PLEASANTON
 ALAMEDA COUNTY, CALIFORNIA
 SHEET NO. C1
 OF 1 SHEETS

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH AT LEAST THE MINIMUM STANDARDS OF THE LATEST ADOPTED CODES AND ORDINANCES INCLUDING THE 2010 CRC, CGC, CEC, CFC, EFC AND 2010 IFC (ENERGY COMPLIANT) STANDARDS.
2. INFORMATION CONTAINED WITHIN THESE DRAWINGS AND SPECIFICATIONS SHALL NOT BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE REFERENCED CODES.
3. THE CONTRACTOR SHALL EXAMINE THE DOCUMENTS AND THE SITE AND NOTIFY THE OWNER OR THE DESIGNER IN WRITING OF ANY DISCREPANCIES DURING THE COURSE OF CONSTRUCTION. VERIFY LOCATION OF ALL EXISTING STRUCTURES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. THE CONTRACTOR SHALL FURNISH TEMPORARY BRACKETS, SHORING AND GUYS NEEDED TO SUPPORT ALL LOADS TO WHICH THE SITE AND BUILDING COMPONENTS, ADJACENT SOILS AND STRUCTURES, UTILITIES AND RIGHT-OF-WAYS WHICH MAY BE SUBJECT TO TRAFFIC CONSTRUCTION.
5. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK.
6. PRIOR TO STARTING ANY WORK, OBTAIN ALL HOMEOWNERS ASSOCIATION APPROVALS, DESIGN REVIEW APPROVALS, AND BUILDING PERMITS.
7. PROVIDE GUTTER AND DRAINAGE SYSTEM, VERIFY LOCATIONS WITH OWNER.
8. ALL FENCE AND GATES BY FINISH CONTRACTOR. GENERAL CONTRACTOR TO COORDINATE WORK WITH FINISH CONTRACTOR. VERIFY FENCE AND GATE LOCATIONS WITH OWNER BEFORE CONSTRUCTION BEGINS.
9. PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, TYP.
10. LANDSCAPE, IRRIGATION, FERTILIZING & DRAINAGE PLANS(S) TO BE PROVIDED BY OTHERS.
11. VERIFY UTILITY MARK UPS WITH ALL UTILITY COMPANIES. ALL UTILITY LOCATIONS TO BE APPROVED BY ALL UTILITY COMPANIES.



SITE PLAN

SCALE: 1" = 20'-0"



NOTE: OWNER IS TO VERIFY ALL BACKLASH AND PROPERTY LINES PRIOR TO START OF CONSTRUCTION. THIS DRAWING IS FOR REFERENCE ONLY. OWNER USES THIS DRAWING FOR BUILDING DEPARTMENT SUBMISSION. HE SHALL ASSUME ALL RESPONSIBILITY FOR ERRORS AND OMISSIONS.

YAKESIDE ESTATES TRACT 7499
LOT 5

Jeff Randolph
Pacific Crest Builders Inc.
925-766-7889

OWNER:
ERIC & MICHELLE WALL
486 KENT CT
LIVERMORE, CA 94551
408-594-4065

E.O.R.
CHRIS OLIVEIRA
2222 Francisco Blvd suite
510-119
El Dorado Hills, CA 95762

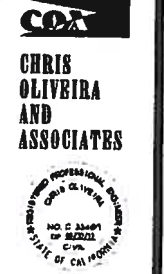
DESIGNER:
FIFTYSIX DESIGN
3116 W. SODIESA CT.
ELK GROVE, CA 95758
916-217-0124

INTERIOR DESIGNER:
SUZANNE HANZAL
275 ROSE AVE. ST. 200
PLEASANTON CA 94566
PH: 925 426 8441

FIFTYSIX
DESIGN &
DRAFTING
PH: 916 217 0124
FX: 916 307 5059
FIFTYSIXDESIGN.COM

ALL WORK SHALL COMPLY WITH THE 2010 CRC, CGC, CEC, CFC, EFC AND 2010 IFC (ENERGY COMPLIANT) STANDARDS.

READ STANDARD SPECIFICATIONS PERTAINING TO THE CALIFORNIA BUILDING CODE WITH REGARD TO THE CONSTRUCTION OF THIS BUILDING.



BUILDING OCCUPANCY:
R-3 / U1 (RESIDENTIAL)
TYPE CONSTRUCTION: V-R
SPRINKLED

PROJECT ADDRESS
WALL RESIDENCE
2505 YOLANDA COURT
PLEASANTON, CA
APN: 946-4608-007-00

NO.	REVISION	DATE

DATE: 5/22/12
SCALE: N/A
JOB:
SHEET:

SIT PLAN
SHEET NO:
A1.1

ALL WORK SHALL CONFORM TO THE 2010 C.R.C. C.C.B.C., C.E.C. C.M.C. C.P.C. AND THE 2010 TITLE 24 ENERGY REQUIREMENTS

READ STANDARD SPECIFICATIONS PERTAINING TO THE CALIFORNIA BUILDING CODE WITH REGARD TO THE CONSTRUCTION OF THIS BUILDING



CHRIS OLIVEIRA AND ASSOCIATES



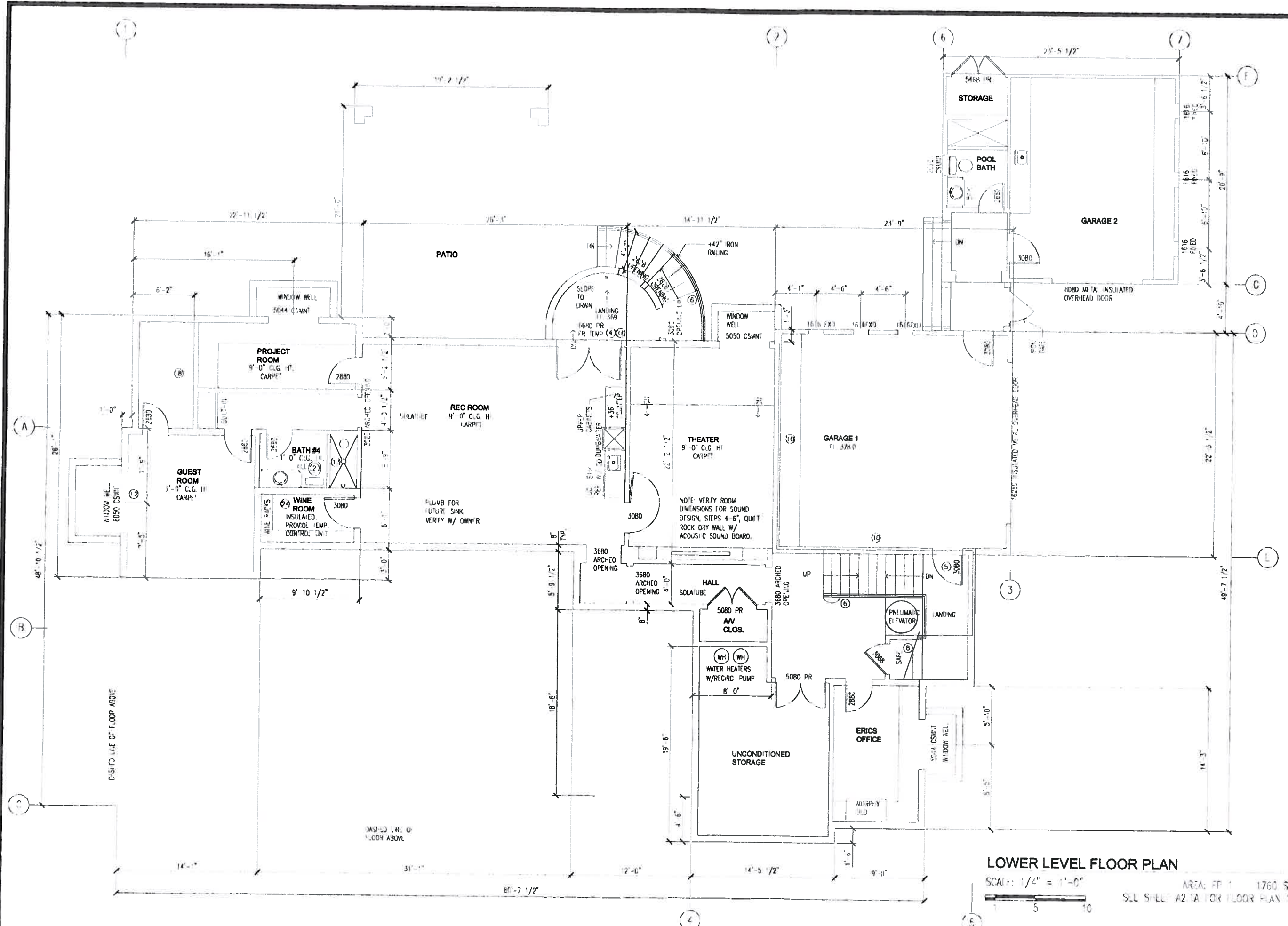
BUILDING OCCUPANCY: 3-1 / J (RESIDENTIAL)
TYPE CONSTRUCTION: V-B
SPRINKLED

PROJECT ADDRESS
WALL RESIDENCE
2505 YOUNGER COURT
PLEASANTON, CA
APN: 946-4608-007-00

NO.	REVISION	DATE

DATE: 5.22.12
SCALE: NOTED
JOB:
SHEET:

LOWER LEVEL FLOOR PLAN
SHEET NO. **A2.1**



LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA: 1760 SQ. FT.
SEE SHEET A2.1A FOR FLOOR PLAN NO.

ALL WORK SHALL CONFORM TO THE 2010 CBC, CGBC, CEC, CMC, CPC AND THE 2010 TITLE 24 ENERGY REQUIREMENTS

READ STANDARD SPECIFICATIONS PERTAINING TO THE CALIFORNIA BUILDING CODE WITH REGARD TO THE CONSTRUCTION OF THIS BUILDING



CHRIS OLIVIERA AND ASSOCIATES



BUILDING OCCUPANCY: R-1 / U1 (RESIDENTIAL)
TYPE CONSTRUCTION: V-B
SPRINKLED

PROJECT ADDRESS
WALL RESIDENCE
2505 YOLANDA COURT
PLEASANTON, CA
APN: 946-4608-007-C3

NO.	REVISION	DATE

DATE: 5.22.12

SCALE: NOTED

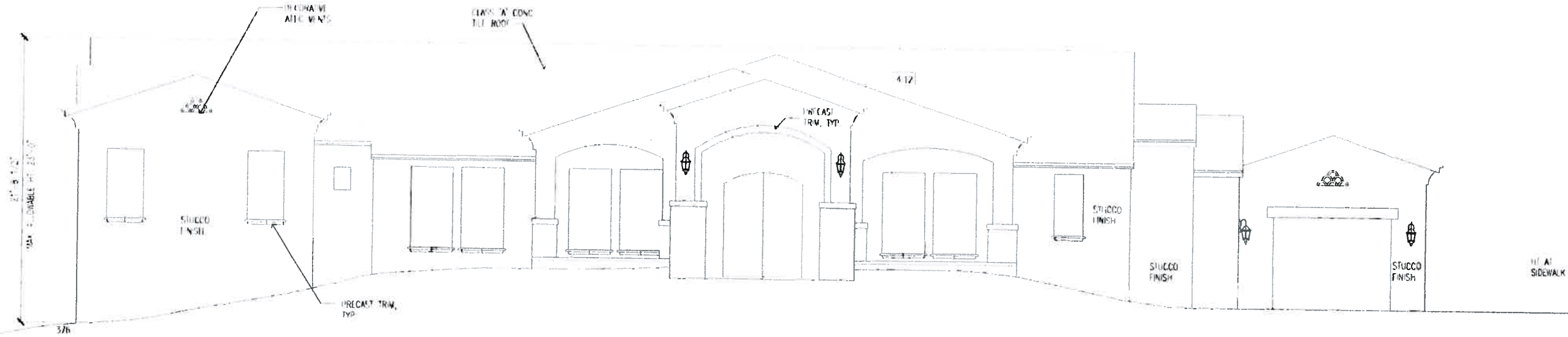
JOB:

SHEET:

ELEVATIONS

SHEET NO.

A3.1

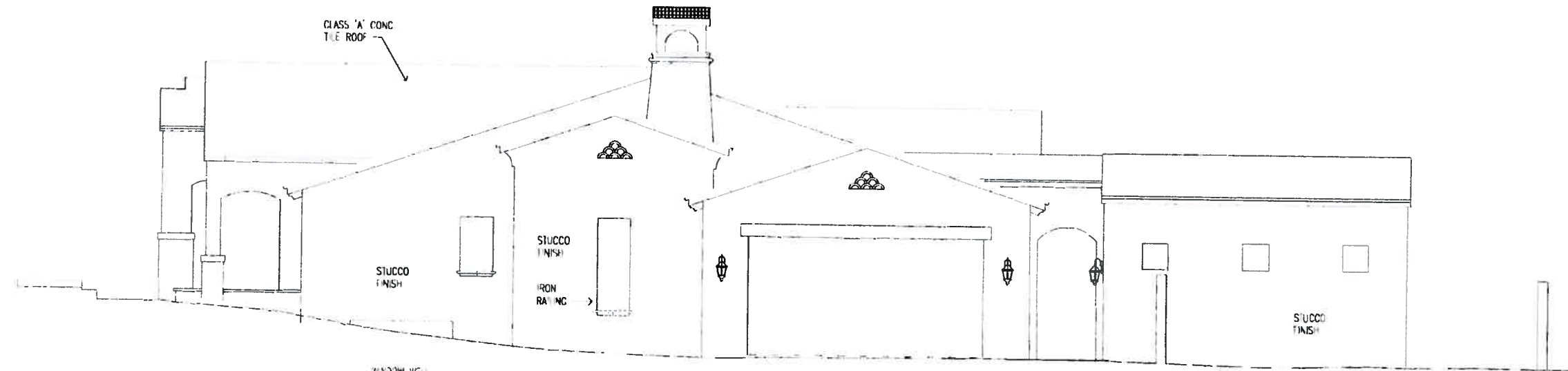


FRONT ELEVATION

SCALE: 1/4" = 1'-0"



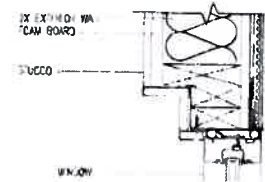
LINE OF BASELINE BELOW



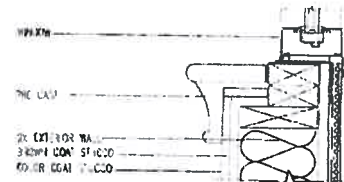
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

LINE OF BASELINE BELOW



HEAD / JAMB



SILL

1 TYP TRIM
A3

2 TYP TRIM
A3

ALL WORK SHALL CONFORM TO THE 2010 CRC, CGBC, CEC, CMC, CPC AND THE 2010 TITLE 24 ENERGY REQUIREMENTS
 READ STANDARD SPECIFICATIONS PERTAINING TO THE CALIFORNIA BUILDING CODE WITH REGARD TO THE CONSTRUCTION OF THIS BUILDING

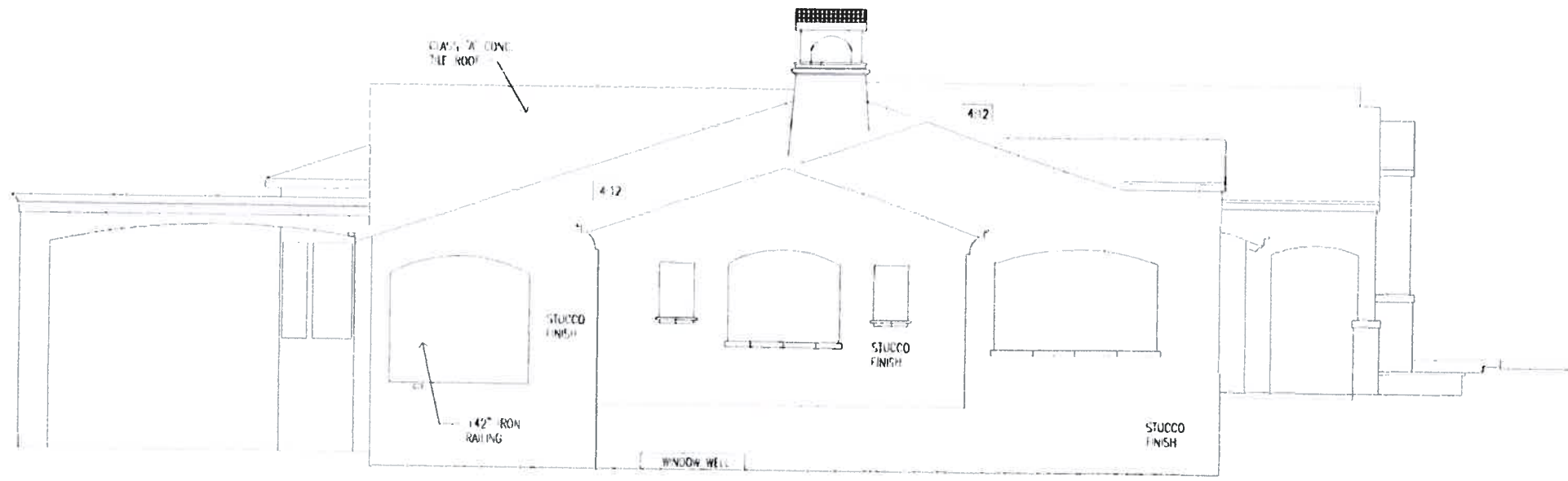


CHRIS OLIVEIRA AND ASSOCIATES

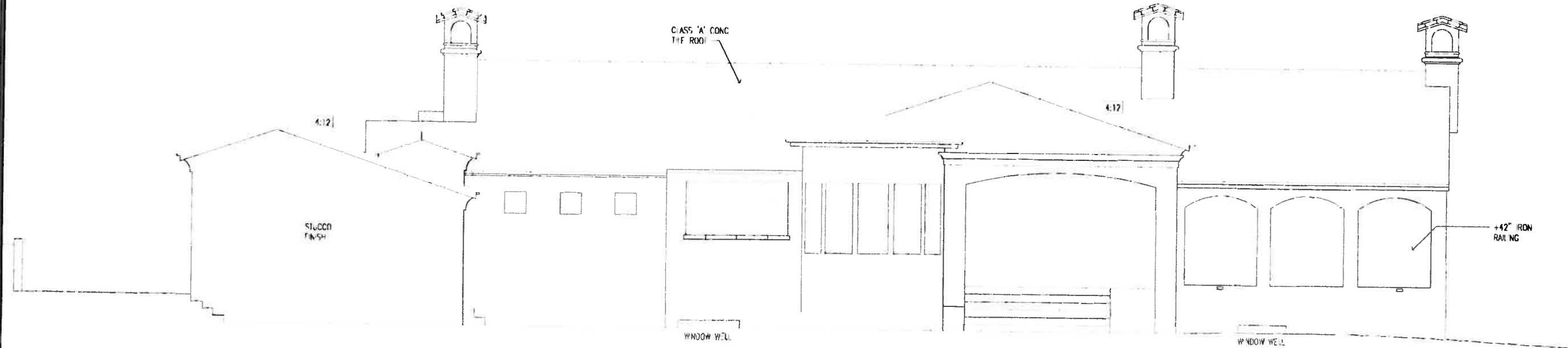


BUILDING OCCUPANCY: R-3 / US (RESIDENTIAL)
 TYPE CONSTRUCTION: V-II
 SPRINKLED

PROJECT ADDRESS
 HALL RESIDENCE
 2505 YOLANDA COURT
 PLEASANTON, CA
 APN: 946-4608-007-00



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"



NO	REVISION	DATE

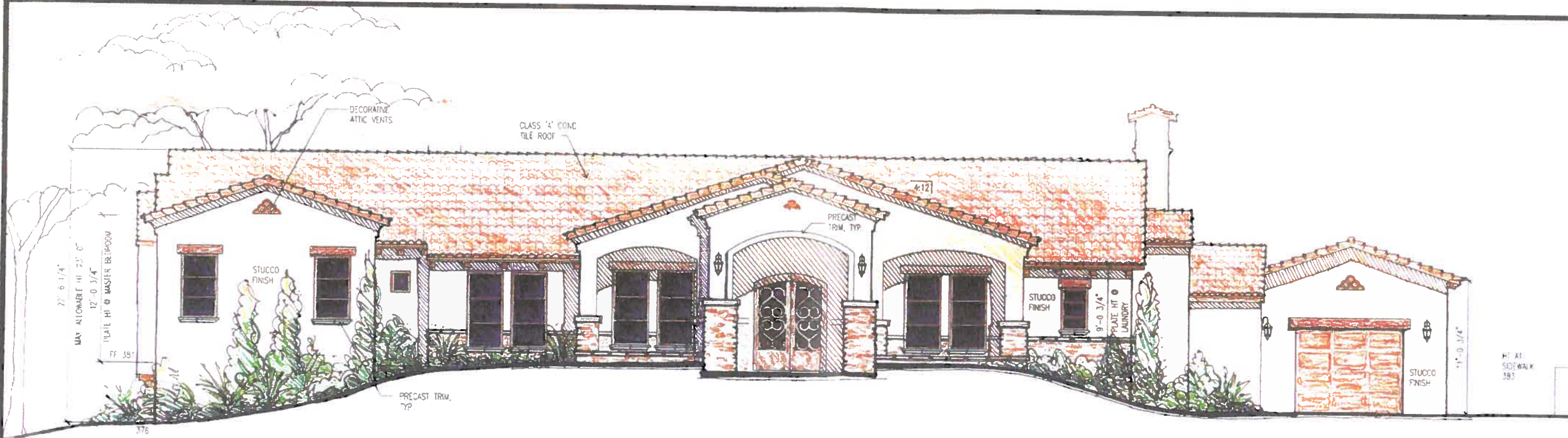
DATE: 5.22.12
 SCALE: NOTED
 JOB

SHEET:
 ELEVATIONS

SHEET NO:
A3.2

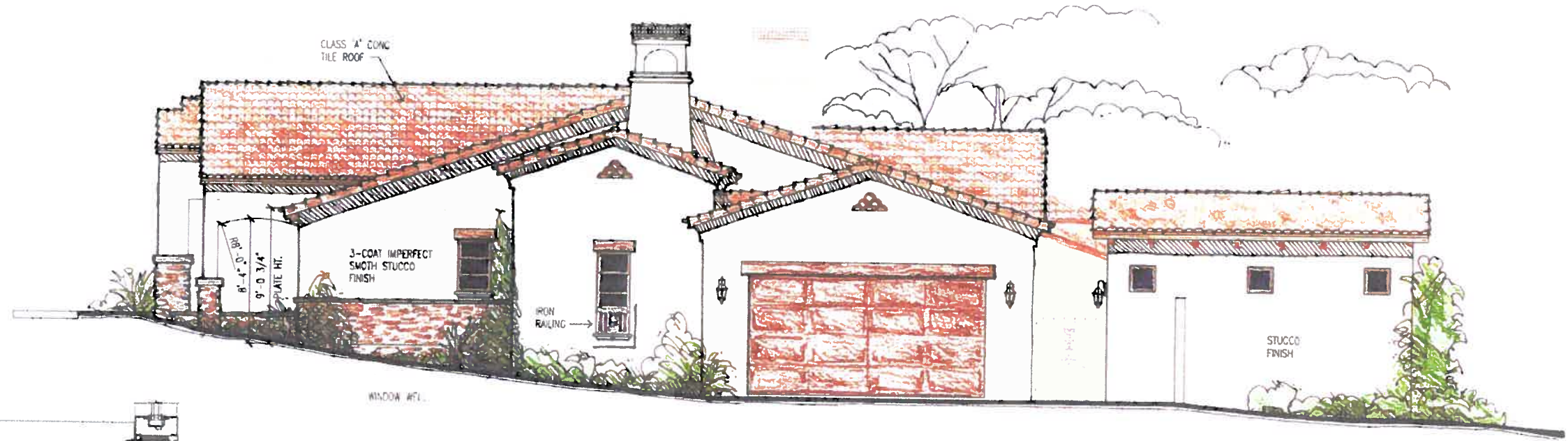


BUILDING OCCUPANCY
 R-3 / U-1 (RESIDENTIAL)
 TYPE CONSTRUCTION I-B



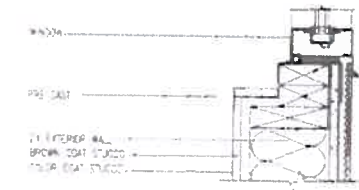
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

LINE OF BASEMENT BELOW FF 37.1



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

LINE OF BASEMENT BELOW FF 37.1



1 TYP TRIM

2 TYP TRIM

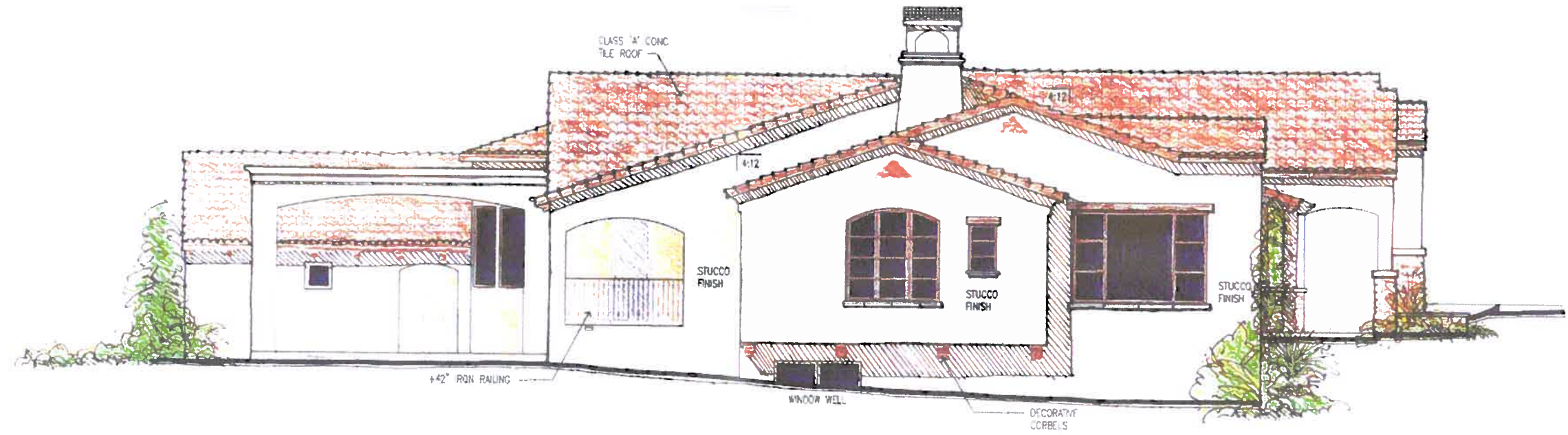
PROJECT ADDRESS

NO. REVISION DATE

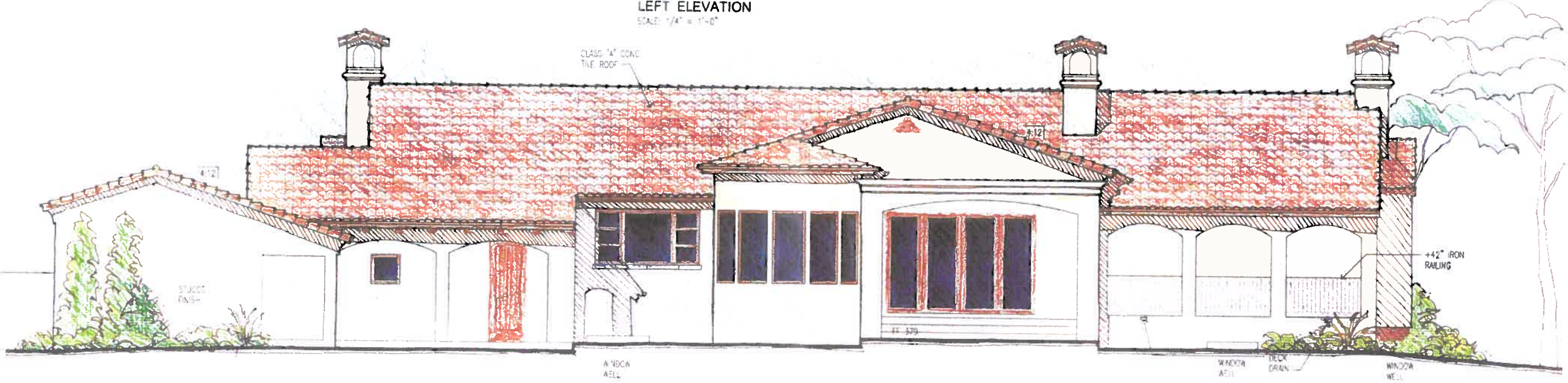
DATE NOTED
 SCALE JOB
 SHEET

ELEVATIONS

SHEET NO
A3.1



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

COX
CHRIS OLIVEIRA AND ASSOCIATES
REGISTERED ARCHITECT
NO. 53807
STATE OF CALIFORNIA
BUILDING OCCUPANCY
P-3 J-1 RESIDENTIAL
CONSTRUCTION #18

PROJECT ADDRESS

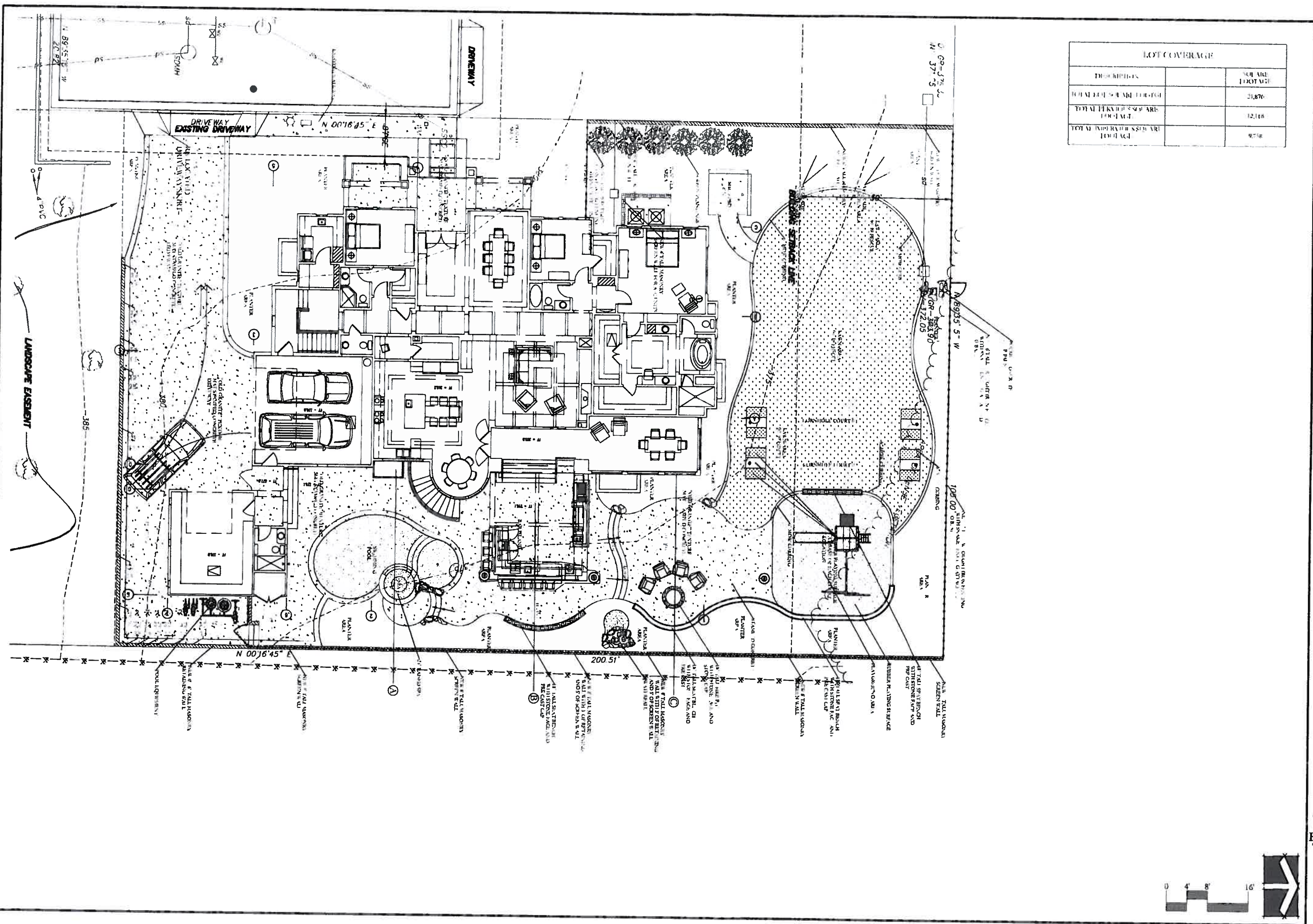
NO. REVISION DATE

DATE NOTED
JOB
SHEET

ELEVATIONS

SHEET NO.

A3.2



LOT COVERAGE	
DESCRIPTION	SQ. FT. FOOTAGE
FOOTING SQUARE FOOTAGE	21,876
TOTAL PLANTING SQUARE FOOTAGE	12,116
TOTAL IMPROVEMENT SQUARE FOOTAGE	9,718



GROUND DEVELOPMENT CORPORATION
 PRIDE. PROMINENCE. PERFECTION.

WE SPEAK YOUR LANGUAGE. WE BUILD YOUR DREAMS.

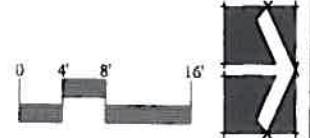
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ERIC WALL
 YOLANDA COURT
 LIVERMORE, CALIFORNIA

NO.	DATE	ISSUE/DESCRIPTION
2	5/23/12	DESIGN REVIEW

JOB NUMBER: _____
 DRAWN BY: D. THOMAS
 DATE PLOTTED: 5/22/12
 SCALE: 1/8" = 1'-0"

HARDSCAPE PLAN
 SHEET:
L1.0
 DRAWINGS 1 OF 5



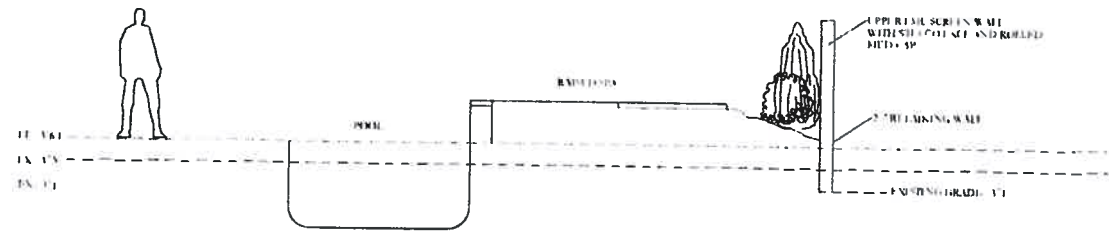


G * D * C

LAND DEVELOPMENT CORPORATION
PRIDE. PROMINENCE. PERFECTION.

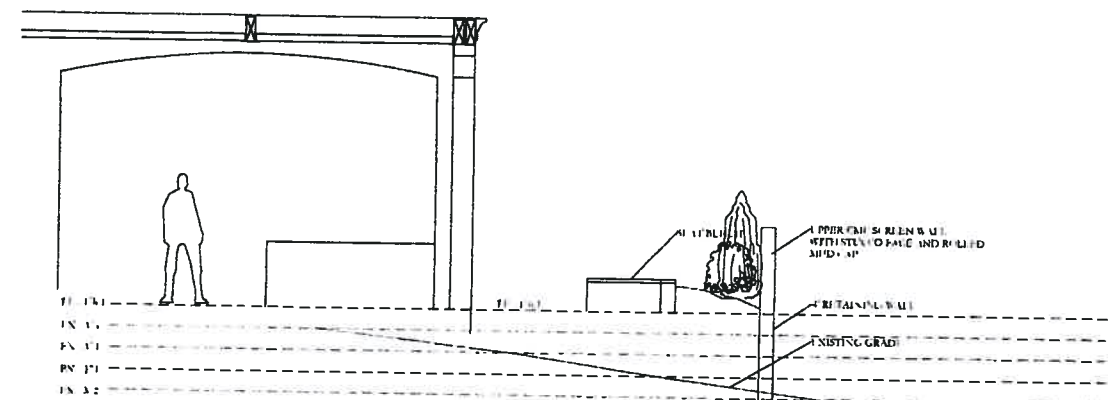
2220011 TERRACE BLVD., SUITE 200
DUBLIN, CA 94568
(925) 885-2121

ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
AND ARE THE PROPERTY OF GDC. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DUBLIN SPECIFICATIONS AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF GDC.



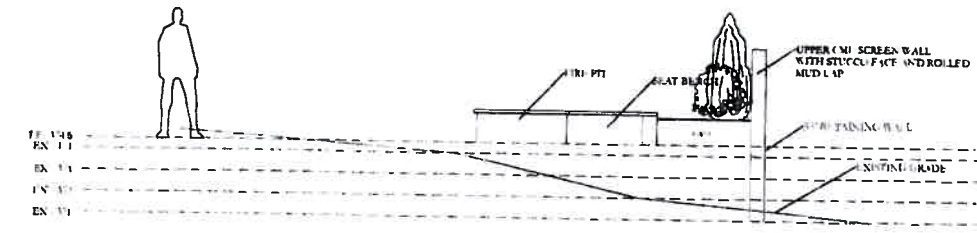
A SPA FENCE LINE ELEVATION

SCALE: 1/4" = 1'-0"



B LOGGIA FENCE LINE ELEVATION

SCALE: 1/4" = 1'-0"



C FIRE PIT FENCE LINE ELEVATION

SCALE: 1/4" = 1'-0"

ERIC WALL
YOLANDA COURT
LIVERMORE, CALIFORNIA

NO	DATE	ISSUE/DESCRIPTION
2	5/25/12	DESIGN REVIEW

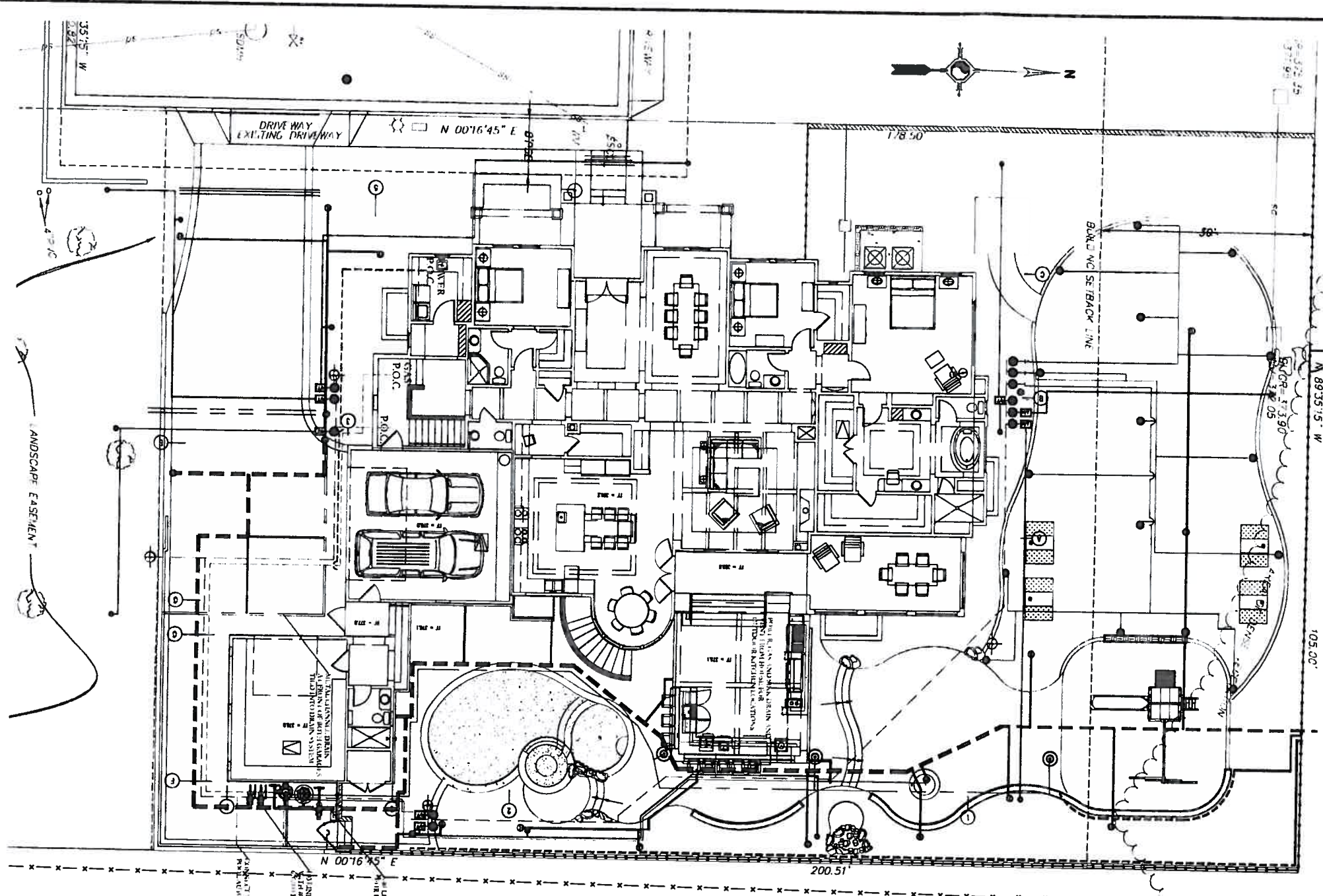
JOB NUMBER: _____
DRAWN BY: D. THOMAS
DATE PLOTTED: 5/22/12
SCALE: 1/8" = 1'-0"

ELEVATIONS
SHEET

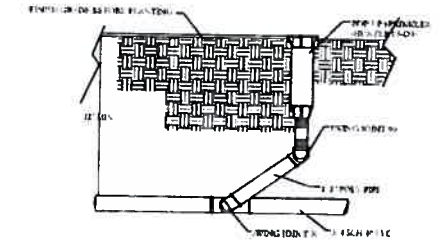
L1.1

DRAWINGS 2 OF 5

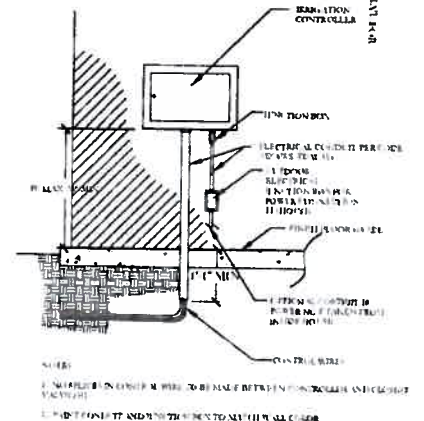




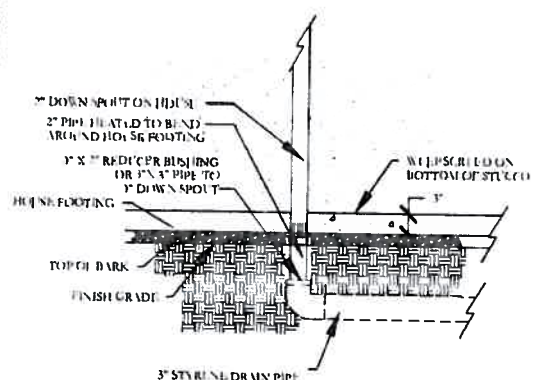
KEY	LEGEND
□	WATER MAIN
○	WATER METER
●	1\"/>



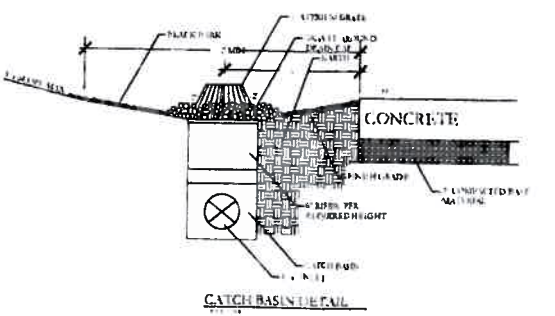
POP-UP SPRAY DETAIL
NOT TO SCALE



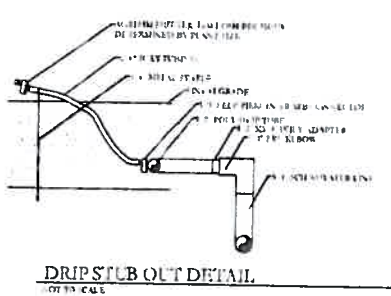
AUTOMATIC CONTROLLER DETAIL (WALL MOUNTED)



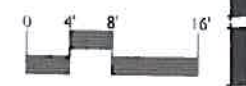
DOWN SPOUT CONNECTION DETAIL



CATCH BASIN DETAIL



DRIP STUB OUT DETAIL
NOT TO SCALE



1225 SATELLITE BLVD. LOS ANGELES, CA 90045
PH: (213) 441-1100 FAX: (213) 441-1101

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ERIC WALL
YOLANDA COURT
LIVERMORE, CALIFORNIA

NO.	DATE	ISSUE/DESCRIPTION
2	3/23/12	DESIGN REVIEW

JOB NUMBER:
DRAWN BY: D. THOMAS
DATE PLOTTED: 3/22/12
SCALE: 1/8" = 1'-0"

IRRIGATION PLAN

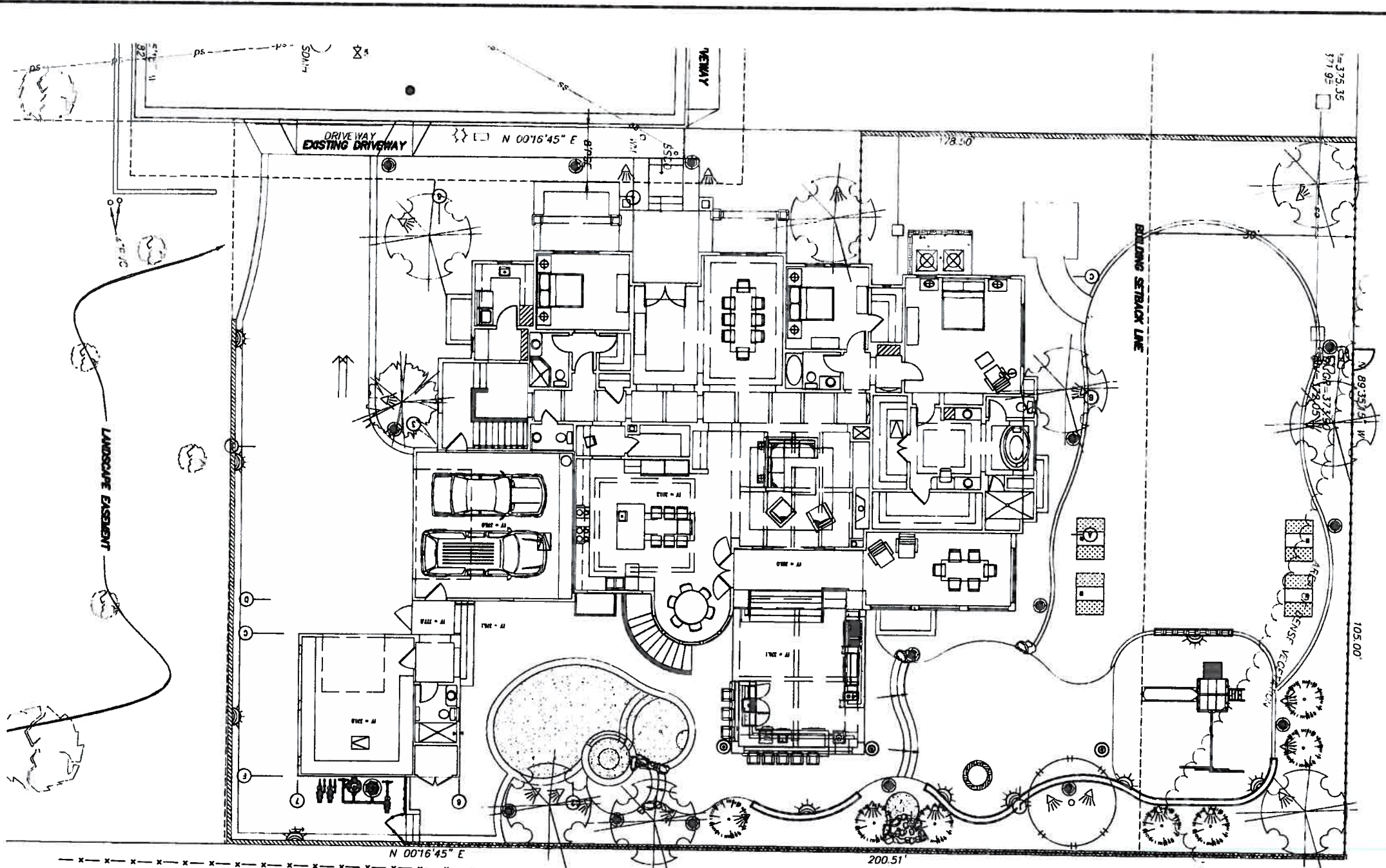
SHEET:
L2.0



G + D + C
 GLORIA DEVELOPMENT CORPORATION
 PRIDE. PROMINENCE. PERFECTION.

2300 FT. LUMINAIRE, 1.500"
 11" TAP W/ DIRECT BURIAL WIRE
 12" TAP W/ DIRECT BURIAL WIRE

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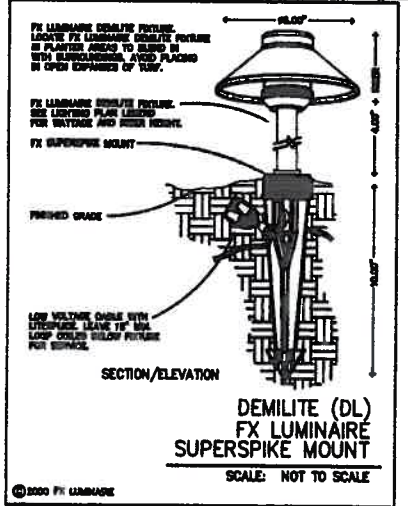
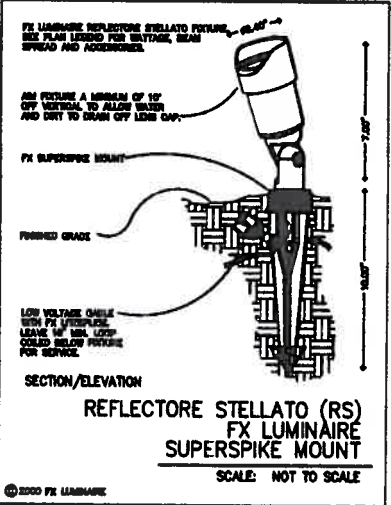
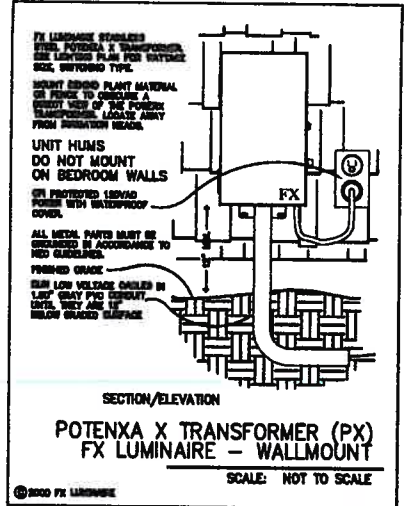


LOW VOLTAGE LIGHTS

- FX DL-20 (BRONZE) (15 FIXTURES REQ.)
- ▲ FX RS-20 (BRONZE) (21 FIXTURES REQ.)
- FX TC-20 (BRONZE) (0 FIXTURES REQ.)
- ☼ FX LM-20 (BRONZE) (11 FIXTURES REQ.)

- 11 VOLT TAP W/ DIRECT BURIAL WIRE
- 12 VOLT TAP W/ DIRECT BURIAL WIRE
- 13 VOLT TAP W/ DIRECT BURIAL WIRE
- 14 VOLT TAP W/ DIRECT BURIAL WIRE
- 3/4" - 1" CONDUIT FOR TRANSFORMER POWER

- 300W FX TRANSFORMER (0 REQ.)
- 600W FX TRANSFORMER (0 REQ.)
- 900W FX TRANSFORMER (2 REQ.)



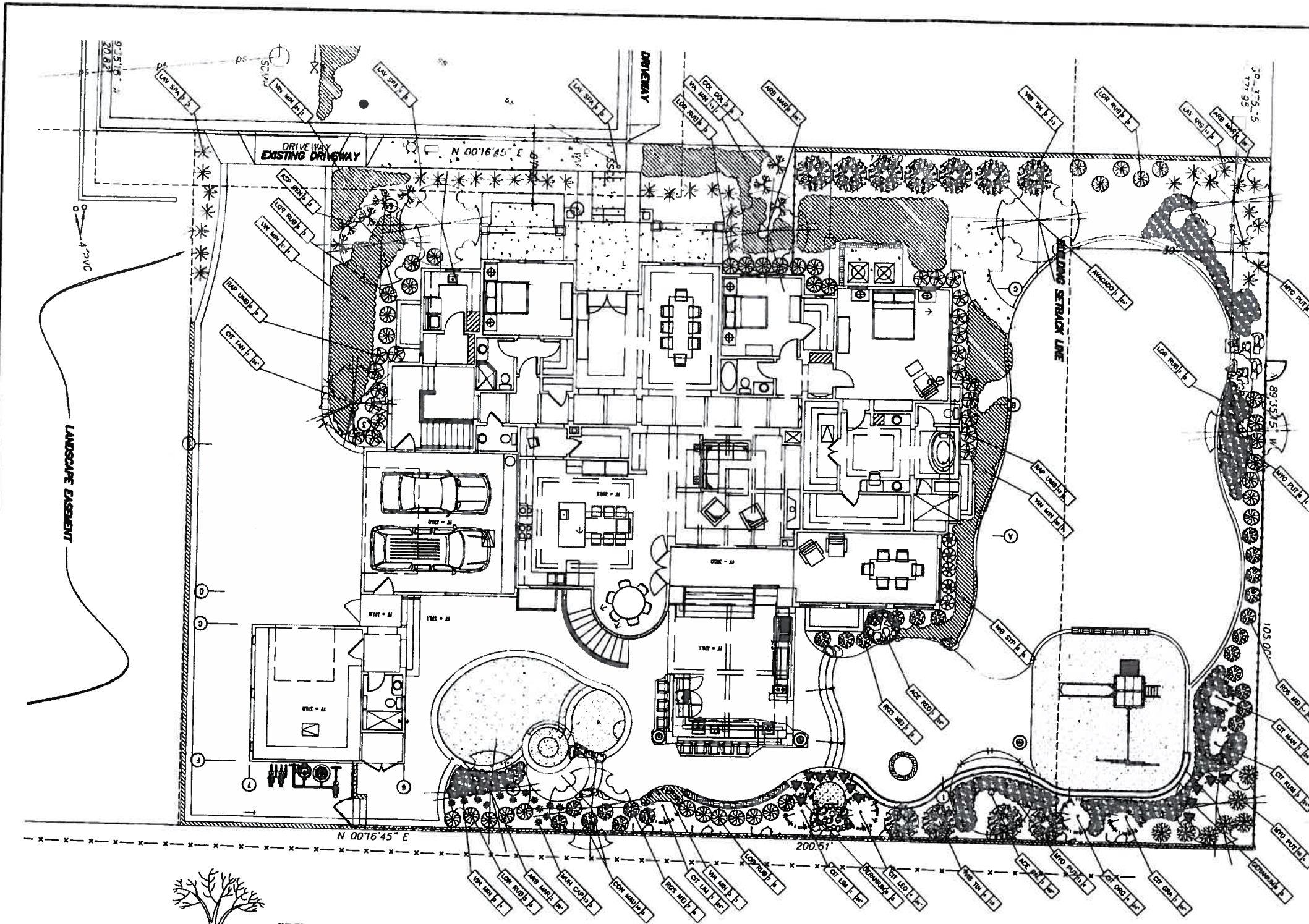
NO.	DATE	ISSUE/DESCRIPTION
1	5/23/12	DESIGN REVIEW

JOB NUMBER _____
 DRAWN BY: D. THOMAS
 DATE PLOTTED: 5/22/12
 SCALE: 1/8"=1'-0"

LIGHTING PLAN

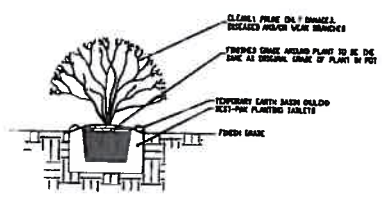
SHEET:
L4.0





KEY	BOTANICAL & COMMON NAMES	QUAN.	SIZE
SHRUBS			
1	AGAVE	1	24"
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NOTE:
 PROVIDE ONE 1 GPH AGRARIA
 EMITTER PER 1 GAL PLANT,
 1 EMITTER PER 2 OR 3 GAL PLANT,
 2 EMITTERS PER 15 GAL PLANT
 AND 4 EMITTERS PER 24" BOX
 PLANT. USE MICRO SPRAYS ON ALL
 GROUND COVER FROM PLATS.



- NOTES:**
1. PIT SIZE TWICE AS WIDE AND SAME DEPTH AS ROOT BALL.
 2. PLANTING DEPTH 1" TO 2" HIGHER THAN FINISH GRADE.
 3. PLANTING TABLETS: USE BEST-PAK PLANTING TABLETS. QUANTITY TO BE THE AMOUNT RECOMMENDED ON PACKAGE.
 4. BACKFILL MATERIAL TO BE THE AMENDED NATIVE SOIL FROM AS IT IS BEING ADDED BACK INTO PLANTING HOLE.
 5. EARTH BASH TO BE BUILT FOR FIRST FEW WATERING AND THEN KNOCKED DOWN UNLESS ON A SLOPE.

SPECIAL CIRCUMSTANCES

1. WHEN PLANTING, USE AGRARIA MICRO-SPRAYS AND ADD 5-10 LB WITH THE NATIVE SOIL AND FERTILIZER. ALLOW THE SOIL AS EX

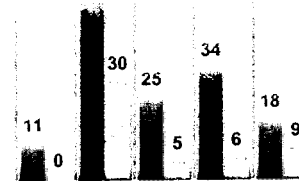
GreenPoint Rated Checklist: Single Family

The GreenPoint Rated checklist tracks green features incorporated into the home. **A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.** GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California. The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Energy (30), Indoor Air Quality/Health (5), Resources (6), and Water (9); and meet the prerequisites A.2.a, H10a., J.2., N.1, and Q0.



92-0801

Total Points Targeted: 145



This checklist accommodates the verification of mandatory CALGreen measures but does not signify compliance unless accepted by enforcing agency. All CALGreen measures within the checklist must be selected as "Yes" or "n/a" for compliance with GreenPoint Rated. Build It Green is not a code enforcement agency.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated

Single Family New Home 4.2 / 2008 Title 24

Wall Residence - 2505 Yolanda Ct		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
A. SITE			Possible Points					
1. Protect Topsoil and Minimize Disruption of Existing Plants & Trees								
Yes	a. Protect Topsoil and Reuse after Construction	2	1				1	
Yes	b. Limit and Delineate Construction Footprint for Maximum Protection	1					1	
2. Divert/Recycle Job Site Construction Waste (Including Green Waste and Existing Structures)								
Yes	a. Required: Divert 50% (by weight) of All Construction and Demolition Waste (Recycling or Reuse) (CALGreen Code)	Y				R		
Yes	b. Divert 100% of Asphalt and Concrete and 65% (by weight) of Remaining Materials	2				2		
Yes	c. Divert 100% of Asphalt and Concrete and 80% (by weight) of Remaining Materials	2				2		
3. Use Recycled Content Aggregate (Minimum 25%)								
Yes	a. Walkway and Driveway Base	1				1		
No	b. Roadway Base	0				1		
TBD	4. Cool Site: Reduce Heat Island Effect On Site	0	1					
5. Construction Environmental Quality Management Plan, Duct Sealing, and Pre-Occupancy Flush-Out [*This credit is a requirement associated with J4: EPA IAP]								
Yes	a. Duct openings and other related air distribution component openings shall be covered during construction. (CALGreen code if applicable)	1			1			
Yes	b. Full environmental quality management plan and pre-occupancy flush out is conducted (Prerequisite is A5a)	1			1			
Total Points Available in Site = 12		10						
B. FOUNDATION			Possible Points					
≥20%	1. Replace Portland Cement in Concrete with Recycled Fly Ash and/or Slag (Minimum 20%)	1				2		

Wall Residence - 2505 Yolanda Ct		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
No	2. Use Frost-Protected Shallow Foundation in Cold Areas (CEC Climate Zone 16)	0				2		
No	3. Use Radon Resistant Construction [*This credit is a requirement associated with J4: EPA IAP]	0			2			
Yes	4. Install a Foundation Drainage System [*This credit is a requirement associated with J4: EPA IAP]	2				2		
No	5. Moisture Controlled Crawlspace [*This credit is a requirement associated with J4: EPA IAP]	0			2			
6. Design and Build Structural Pest Controls								
No	a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections	0				1		
Yes	b. All Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation	1				1		
Total Points Available in Foundation = 12		4						
C. LANDSCAPE			Possible Points					
0%	<i>Enter in the % of landscape area. (Projects with less than 15% of the total site area (i.e. total lot size) as landscape area are capped at 6 points for the following measures: C1 through C7 and C9 through C11.</i>							
TBD	1. Group Plants by Water Needs (Hydrozoning)	0					2	
TBD	2. Mulch All Planting Beds to the Greater of 3 Inches or Local Water Ordinance Requirement	0					2	
3. Construct Resource-Efficient Landscapes								
TBD	a. No Invasive Species Listed by Cal-IPC Are Planted	0					1	
TBD	b. No Plant Species Will Require Shearing	0			1			
TBD	c. 75% of Plants Are Drought Tolerant, California Natives or Mediterranean Species or Other Appropriate Species	0					3	
4. Minimize Turf in Landscape Installed by Builder								
TBD	a. Turf Shall Not Be Installed on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less than 8 Feet Wide	0					2	
TBD	b. Turf is Small Percentage of Landscaped Area (2 Points for ≤25%, 4 Points for ≤10%)	0					4	
TBD	5. Plant Shade Trees	0	1	1			1	
6. Install High-Efficiency Irrigation Systems								
TBD	a. System Uses Only Low-Flow Drip, Bubblers, or Sprinklers	0					2	
TBD	b. System Has Smart (Weather-Based) Controller (CAL Green code if applicable)	0					3	
TBD	7. Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil	0					3	
8. Rain Water Harvesting System								
TBD	a. Cistern(s) is Less Than 750 Gallons	0					1	
TBD	b. Cistern(s) is 750 to 2,500 Gallons	0					1	
TBD	c. Cistern(s) is Greater Than 2,500 Gallons	0					1	
TBD	9. Irrigation System Uses Recycled Wastewater	0					1	
TBD	10. Submetering for Landscape Irrigation	0					1	
11. Design Landscape to Meet Water Budget								
TBD	a. Install Irrigation System That Will Be Operated at ≤70% Reference ET (Prerequisites for Credit are C1. and C2.)	0					1	
TBD	b. Install Irrigation System That Will Be Operated at ≤50% Reference ET (Prerequisites for Credit are C1, C2, and C6a or C6b.)	0					1	

Wall Residence - 2505 Yolanda Ct		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	12. Use Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content E) Finger-Jointed or F) Local	0				1		
TBD	13. Reduce Light Pollution by Shielding Fixtures and Directing Light Downward	0	1					
Total Points Available in Landscape = 35		0						
D. STRUCTURAL FRAME & BUILDING ENVELOPE			Possible Points					
1. Apply Optimal Value Engineering								
No	a. Place Joists, Rafters and Studs at 24-Inch On Center	0				3		
Yes	b. Door and Window Headers are Sized for Load	1				1		
Yes	c. Use Only Cripple Studs Required for Load	1				1		
2. Construction Material Efficiencies								
No	a. Wall and Floor Assemblies (Excluding Solid Wall Assemblies) are Delivered Panelized from Supplier (Minimum of 80% Square Feet)	0				2		
No	b. Modular Components Are Delivered Assembled to the Project (Minimum 25%)	0				6		
3. Use Engineered Lumber								
Yes	a. Engineered Beams and Headers	1				1		
Yes	b. Wood I-Joists or Web Trusses for Floors	1				1		
Yes	c. Engineered Lumber for Roof Rafters	1				1		
Yes	d. Engineered or Finger-Jointed Studs for Vertical Applications	1				1		
Yes	e. Oriented Strand Board for Subfloor	1				1		
Yes	f. Oriented Strand Board for Wall and Roof Sheathing	1				1		
Yes	4. Insulated Headers	1		1				
5. Use FSC-Certified Wood								
≥40%	a. Dimensional Lumber, Studs and Timber (Minimum 40%)	2				6		
≥40%	b. Panel Products (Minimum 40%)	1				3		
6. Use Solid Wall Systems (Includes SIPS, ICFs, & Any Non-Stick Frame Assembly)								
No	a. Floors	0				2		
Yes	b. Walls	2				2		
No	c. Roofs	0				1		
Yes	7. Energy Heels on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)	1		1				
8. Install Overhangs and Gutters								
Yes	a. Minimum 16-Inch Overhangs and Gutters	1				1		
No	b. Minimum 24-Inch Overhangs and Gutters	0		1				
9. Reduce Pollution Entering the Home from the Garage [*This credit is a requirement associated with J4: EPA IAP]								
Yes	a. Install Garage Exhaust Fan OR Build a Detached Garage	1				1		
Yes	b. Tightly Seal the Air Barrier between Garage and Living Area (Performance Test Required)	1				1		
Total Points Available in Structural Frame and Building Envelope = 39		18						
E. EXTERIOR			Possible Points					
TBD	1. Use Environmentally Preferable Decking	0				2		

Wall Residence - 2505 Yolanda Ct		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
Yes	2. Flashing Installation Techniques Specified and Third-Party Verified [*This credit is a requirement associated with J4: EPA IAP]	1				1		
TBD	3. Install a Rain Screen Wall System	0				2		
Yes	4. Use Durable and Non-Combustible Siding Materials	1				1		
Yes	5. Use Durable and Fire Resistant Roofing Materials or Assembly	2				2		
Total Points Available in Exterior = 8		4						
F. INSULATION			Possible Points					
1. Install Insulation with 75% Recycled Content								
Yes	a. Walls	1				1		
Yes	b. Ceilings	1				1		
Yes	c. Floors	1				1		
Total Points Available in Insulation = 3		3						
G. PLUMBING			Possible Points					
1. Distribute Domestic Hot Water Efficiently (Max. 5 points, G1a. is a Prerequisite for G1b-e)								
Yes	a. Insulate All Hot Water Pipes [*This credit is a requirement associated with J4: EPA IAP]	2		1			1	
TBD	b. Use Engineered Parallel Plumbing	0					1	
TBD	c. Use Engineered Parallel Plumbing with Demand Controlled Circulation Loop(s)	0					1	
Yes	d. Use Traditional Trunk, Branch and Twig Plumbing with Demand Controlled Circulation Loop(s)	3		1			2	
TBD	e. Use Central Core Plumbing	0		1		1	1	
2. Water Efficient Fixtures								
Yes	a. High Efficiency Showerheads ≤2.0 Gallons Per Minute (gpm) at 80 psi. (Multiple showerheads shall not exceed maximum flow rates) (CALGreen code if applicable)	3					3	
Yes	b. High Efficiency Bathroom Faucets ≤ 1.5 gpm at 60psi (CALGreen code)	1					1	
Yes	c. High Efficiency Kitchen and Utility Faucets ≤1.8 gpm (CALGreen code if applicable)	1					1	
Yes	3. Install Only High Efficiency Toilets (Dual-Flush or ≤1.28 Gallons Per Flush (gpf)) (CALGreen code if applicable)	2					2	
Total Points Available in Plumbing = 12		12						
H. HEATING, VENTILATION & AIR CONDITIONING			Possible Points					
1. Properly Design HVAC System and Perform Diagnostic Testing								
Yes	a. Design and Install HVAC System to ACCA Manual J, D, and S Recommendations (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	4		4				
Yes	b. Test Total Supply Air Flow Rates [*This credit is a requirement associated with J4: EPA IAP]	1		1				
Yes	c. Third Party Testing of Mechanical Ventilation Rates for IAQ (meet ASHRAE 62.2)	1		1				
2. Install Sealed Combustion Units [*This credit is a requirement associated with J4: EPA IAP]								
Yes	a. Furnaces	2			2			
Yes	b. Water Heaters	2			2			
TBD	3. Install High Performing Zoned Hydronic Radiant Heating	0		1	1			
Yes	4. Install High Efficiency Air Conditioning with Environmentally Preferable Refrigerants	1	1					
5. Design and Install Effective Ductwork								

Wall Residence - 2505 Yolanda Ct		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
No	a. Install HVAC Unit and Ductwork within Conditioned Space	0		1				
Yes	b. Use Duct Mastic on All Duct Joints and Seams [*This credit is a requirement associated with J4: EPA IAP]	1		1				
Yes	c. Pressure Relieve the Ductwork System [*This credit is a requirement associated with J4: EPA IAP]	1		1				
Yes	6. Install High Efficiency HVAC Filter (MERV 6+) [*This credit is a requirement associated with J4: EPA IAP]	1			1			
Yes	7. No Fireplace OR Install Sealed Gas Fireplace(s) with Efficiency Rating >60% using CSA Standards [*This credit is a requirement associated with J4: EPA IAP]	1			1			
Yes	8. Install ENERGY STAR Bathroom Fans on Timer or Humidistat (CALGreen code if applicable)	1			1			
9. Install Mechanical Ventilation System for Cooling (Max. 4 Points)								
Yes	a. Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & All Bedrooms	1		1				
TBD	b. Install Whole House Fan (Credit Not Available if H9c Chosen) (CALGreen code if applicable)	0		1				
Yes	c. Automatically Controlled Integrated System with Variable Speed Control	3		3				
10. Advanced Mechanical Ventilation for IAQ								
Yes	a. Required: Compliance with ASHRAE 62.2 Mechanical Ventilation Standards (as adopted in Title 24 Part 6) [*This credit is a requirement associated with J4: EPA IAP]	Y			R			
Yes	b. Advanced Ventilation Practices (Continuous Operation, Sone Limit, Minimum Efficiency, Minimum Ventilation Rate, Homeowner Instructions)	1			1			
TBD	c. Outdoor Air Ducted to Bedroom and Living Areas of Home	0			2			
Yes	11. Install Carbon Monoxide Alarm(s) (or No Combustion Appliances in Living Space and No Attached Garage) [*This credit is a requirement associated with J4: EPA IAP]	1			1			
Total Points Available in Heating, Ventilation and Air Conditioning = 27		22						
I. RENEWABLE ENERGY				Possible Points				
TBD	1. Pre-Plumb for Solar Water Heating	0			1			
Yes	2. Install Wiring Conduit for Future Photovoltaic Installation & Provide 200 ft ² of South-Facing Roof	1			1			
0.0%	3. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind) <i>Enter % total energy consumption offset, 1 point per 4% offset</i>	0		25				
Total Available Points in Renewable Energy = 27		1						
J. BUILDING PERFORMANCE				Possible Points				
1. Building Envelope Diagnostic Evaluations								
Yes	a. Verify Quality of Insulation Installation & Thermal Bypass Checklist before Drywall [*This credit is a requirement associated with J4: EPA IAP]	1		1				
Yes	b. House Passes Blower Door Test [*This credit is a requirement associated with J4: EPA IAP]	1		1				
Yes	c. Blower Door Results are Max 2.5 ACH ₅₀ for Unbalanced Systems (Supply or Exhaust) or Max 1.0 ACH ₅₀ for Balanced Systems (2 Total Points for J1b. and J1c.)	1		1				
Yes	d. House Passes Combustion Safety Backdraft Test	1			1			

Wall Residence - 2505 Yolanda Ct		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
15%	2. Required: Building Performance Exceeds Title 24 (Minimum 15%) (Enter the Percent Better Than Title 24, Points for Every 1% Better Than Title 24)	30		230				
TBD	3. Design and Build Near Zero Energy Homes (Enter number of points, minimum of 2 and maximum of 6 points)	0		6				
TBD	4. Obtain EPA Indoor airPlus Certification (Total 42 points, not including Title 24 performance; read comment)	0			2			
Yes	5. Title 24 Prepared and Signed by a CABEC Certified Energy Plans Examiner (CEPE)	1		1				
6. Participation in Utility Program with Third Party Plan Review								
Yes	a. Energy Efficiency Program [*This credit is a requirement associated with J4: EPA IAP]	1		1				
TBD	b. Renewable Energy Program with Min. 30% Better Than Title 24 (High Performing Home)	0		1				
Total Available Points in Building Performance = 45+		36						
K. FINISHES			Possible Points					
Yes	1. Design Entryways to Reduce Tracked-In Contaminants	1			1			
2. Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)								
Yes	a. Low-VOC Interior Wall/Ceiling Paints (CALGreen code if applicable) (<50 Grams Per Liter (gpl) VOCs Regardless of Sheen) [*This credit is a requirement associated with J4: EPA IAP]	1			1			
TBD	b. Zero-VOC: Interior Wall/Ceiling Paints (<5 gpl VOCs Regardless of Sheen)	0			2			
Yes	3. Use Low-VOC Coatings that Meet SCAQMD Rule 1113 (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	2			2			
Yes	4. Use Low-VOC Caulks, Construction Adhesives and Sealants that Meet SCAQMD Rule 1168 (CALGreen code if applicable)	2			2			
TBD	5. Use Recycled-Content Paint	0				1		
6. Use Environmentally Preferable Materials for Interior Finish A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content or E) Finger-Jointed F) Local								
$\geq 50\%$	a. Cabinets (50% Minimum)	2				3		
TBD	b. Interior Trim (50% Minimum)	0				2		
TBD	c. Shelving (50% Minimum)	0				2		
TBD	d. Doors (50% Minimum)	0				2		
TBD	e. Countertops (50% Minimum)	0				2		
Yes	7. Reduce Formaldehyde in Interior Finish – Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	Y			0			
8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory Compliance Dates								
Yes	a. Doors (90% Minimum)	1				1		
Yes	b. Cabinets & Countertops (90% Minimum)	2				2		

Wall Residence - 2505 Yolanda Ct		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
Yes	c. Interior Trim and Shelving (90% Minimum)	1			1			
TBD	9. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb	0			3			
Total Available Points in Finishes = 27		12						
L. FLOORING			Possible Points					
TBD	1. Use Environmentally Preferable Flooring (Minimum 15% Floor Area) A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable, D) Recycled-Content, E) Exposed Concrete, F) Local. Flooring Adhesives Must Meet SCAQMD Rule 1168 for VOCs.	0			4			
TBD	2. Thermal Mass Floors (Minimum 50%)	0						
TBD	3. Low Emitting Flooring (Section 01350, CRI Green Label Plus, Floorscore [*This credit is a requirement associated with J4: EPA IAP])	0			5			
Yes	4. All carpet and 50% of Resilient Flooring is low emitting. (CALGreen code if applicable)	Y						
Total Available Points in Flooring = 8		0						
M. APPLIANCES AND LIGHTING			Possible Points					
Yes	1. Install ENERGY STAR Dishwasher (Must Meet Current Specifications)	2		1			1	
	2. Install ENERGY STAR Clothes Washer							
Yes	a. Meets ENERGY STAR and CEE Tier 2 Requirements (Modified Energy Factor 2.0, Water Factor 6.0 or less)	3		1			2	
Yes	b. Meets ENERGY STAR and CEE Tier 3 Requirements (Modified Energy Factor 2.2, Water Factor 4.5 or less)	2					2	
	3. Install ENERGY STAR Refrigerator							
Yes	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity	1		1				
TBD	b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity	0		1				
	4. Install Built-In Recycling Center or Composting Center							
Yes	a. Built-In Recycling Center	1					1	
TBD	b. Built-In Composting Center	0					1	
	5. Install High-Efficacy Lighting and Design Lighting System							
Yes	a. Install High-Efficacy Lighting	1		1				
TBD	b. Install a Lighting System to IESNA Footcandle Standards or Hire Lighting Consultant	0		1				
Total Available Points in Appliances and Lighting = 13		10						
N. OTHER			Possible Points					
Yes	1. Required: Incorporate GreenPoint Rated Checklist in Blueprints [*This credit is a requirement associated with J4: EPA IAP]	Y				R		
Yes	2. Pre-Construction Kick-Off Meeting with Rater and Subs	1	1					
Yes	3. Homebuilder's Management Staff are Certified Green Building Professionals	1	1					
	4. Develop Homeowner Education							
Yes	a. Develop Homeowner Manual of Green Features/Benefits (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	2		1			1	
Yes	b. Conduct Educational Walkthroughs (Prerequisite is N4a) [*This credit is a requirement associated with J4: EPA IAP]	1			1			

Wall Residence - 2505 Yolanda Ct		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
Yes	5. Install a Home System Monitor OR Participate in a Time-of-Use Pricing Program	1	1					
Total Available Points in Other = 6		6						
O. COMMUNITY DESIGN & PLANNING		Possible Points						
1. Develop Infill Sites								
TBD	a. Project is an Urban Infill Development	0	1		1			
TBD	b. Home(s)/Development is Located within 1/2 Mile of a Major Transit Stop	0	2					
TBD	2. Build on Designated Brownfield Site	0	3					
3. Cluster Homes & Keep Size in Check								
TBD	a. Cluster Homes for Land Preservation	0	1		1			
TBD	b. Conserve Resources by Increasing Density (10 Units per Acre or Greater)	0	2		2			
	c. Home Size Efficiency	0			9			
5100	i. Enter Average Unit Square Footage							
5	ii. Enter Average Number of Bedrooms/Unit							
4. Design for Walking & Bicycling								
	a. Site Has Pedestrian Access Within 1/2 Mile of Community Services:							
	TIER 1: Enter Number of Services Within 1/2 Mile							
	1) Day Care 2) Community Center 3) Public Park 4) Drug Store							
	5) Restaurant 6) School 7) Library 8) Farmer's Market 9) After School Programs 10) Convenience Store Where Meat & Produce are Sold							
	TIER 2: Enter Number of Services Within 1/2 Mile							
	1) Bank 2) Place of Worship 3) Laundry/Cleaners 4) Hardware							
	5) Theater/Entertainment 6) Fitness/Gym 7) Post Office							
	8) Senior Care Facility 9) Medical/Dental 10) Hair Care							
	11) Commercial Office or Major Employer 12) Full Scale Supermarket							
	i. 5 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	0	1					
	ii. 10 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	0	1					
TBD	b. Development is Connected with A Dedicated Pedestrian Pathway to Places of Recreational Interest Within 1/4 mile	0	1					
TBD	c. Install Traffic Calming Strategies (Minimum of Two):							
	- Designated Bicycle Lanes are Present on Roadways;	0	2					
	- Ten-Foot Vehicle Travel Lanes;							
	- Street Crossings Closest to Site are Located Less Than 300 Feet Apart;							
	- Streets Have Rumble Strips, Bulbouts, Raised Crosswalks or Refuge Islands							
5. Design for Safety & Social Gathering								
Yes	a. All Home Front Entrances Have Views from the Inside to Outside Callers	1	1					
Yes	b. All Home Front Entrances Can be Seen from the Street and/or from Other Front Doors	1	1					
Yes	c. Orient Porches (min. 100sf) to Streets and Public Spaces	1	1					
TBD	d. Development Includes a Social Gathering Space	0	1					
6. Design for Diverse Households (6a. is a Prerequisite for 6b. and 6c.)								
Yes	a. All Homes Have At Least One Zero-Step Entrance	1	1					
Yes	b. All Main Floor Interior Doors & Passageways Have a Minimum 32-Inch Clear Passage Space	1	1					
Yes	c. Locate Half-Bath on the Ground Floor	1	1					

Wall Residence - 2505 Yolanda Ct		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	d. Provide Full-Function Independent Rental Unit	0	1					
Total Achievable Points in Community Design & Planning = 35		6	Possible Points					
P. INNOVATION								
A. Site								
1. Stormwater Control: Prescriptive Path (Maximum of 3 Points, Mutually Exclusive with PA2.)								
TBD	a. Use Permeable Paving for 25% of Driveways, Patios and Walkways	0	1					
TBD	b. Install Bio-Retention and Filtration Features	0	2					
TBD	c. Route Downspout Through Permeable Landscape	0	1					
TBD	d. Use Non-Leaching Roofing Materials	0	1					
TBD	e. Include Smart Street/Driveway Design	0	1					
TBD	2. Stormwater Control: Performance Path (Mutually Exclusive with PA1): Perform Soil Percolation Test and Capture and Treat 85% of Total Annual Runoff	0	3					
C. Landscape								
TBD	1. Meet Local Landscape Program Requirement	0					2	
D. Structural Frame & Building Envelope								
1. Design, Build and Maintain Structural Pest and Rot Controls								
TBD	a. Locate All Wood (Siding, Trim, Structure) At Least 12" Above Soil	0			1			
TBD	b. All Wood Framing 3 Feet from the Foundation is Treated with Borates (or Use Factory-Impregnated Materials) OR Walls are Not Made of Wood	0			1			
TBD	2. Use Moisture Resistant Materials in Wet Areas: Kitchen, Bathrooms, Utility Rooms, and Basements [*This credit is a requirement associated with J4: EPA IAP]	0		1	1			
E. Exterior								
TBD	1. Vegetated Roof (Minimum 25%)	0	2	2				
G. Plumbing								
TBD	1. Greywater Pre-Plumbing (Includes Washing Machine at Minimum)	0					1	
TBD	2. Greywater System Operational (Includes Washing Machine at Minimum)	0					2	
TBD	3. Innovative Wastewater Technology (Constructed Wetland, Sand Filter, Aerobic System)	0					1	
TBD	4. Composting or Waterless Toilet	0					2	
TBD	5. Install Drain Water Heat-Recovery System	0		1				
TBD	6. Install a Hot Water Desuperheater	0		2				
H. Heating, Ventilation, and Air Conditioning								
TBD	1. Humidity Control Systems (Only in California Humid/Marine Climate Zones 1,3,5,6,7) [*This credit is a requirement associated with J4: EPA IAP]	0			1			
TBD	2. Design HVAC System to Manual T for Register Design	0		1				
K. Finishes								
TBD	1. Materials Meet SMaRT Criteria (Select the number of points, up to 5 points)	0				5		
N. Other								
TBD	1. Detailed Durability Plan and Third-Party Verification of Plan Implementation	0				2		
TBD	2. Educational Signage of Project's Green Features							
Yes	a. Promotion of Green Building Practices	1	1					
TBD	b. Installed Green Building Educational Signage	0	1					

Wall Residence - 2505 Yolanda Ct		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
3. Innovation: List innovative measures that meet green building objectives. Enter in the number of points in each category for a maximum of 4 points for the measure in the blue cells. Points achieved column will be automatically fill in based on the sum of the points in each category. Points and measures will be evaluated by Build It Green.								
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
Total Achievable Points in Innovation = 33+		1						
Q. CALIFORNIA CALGreen CODE			Possible Points					
Yes	Home meets all applicable CAL Green measures listed in above Sections A - P of the GreenPoint Rated checklist.	Y	R					
<p>The following measures are mandatory in the CALGreen code and do not earn points in the GreenPoint Rated Checklist, but have been included in the Checklist for the convenience of jurisdictions.</p> <p>The GreenPoint Rater is not a code enforcement official. The measures in this section may be verified by the GreenPoint Rater at their own discretion and/or discretion of the building official.</p>								
Yes	1. CALGreen 4.106.2 Storm water management during construction.	Y						
Yes	2. CALGreen 4.106.3 Design for surface water drainage away from buildings.	Y						
Yes	3. CALGreen 4.303.1 As an alternative to prescriptive compliance, a 20% reduction in baseline water use shall be demonstrated through calculation	Y						
Yes	4. CALGreen 4.406.1 Joints and openings. Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected	Y						
Yes	5. CALGreen 4.503.1 Gas fireplace shall be a direct-vent sealed-combustion type. Woodstove or pellet stove shall comply with US EPA Phase II emission limits	Y						
Yes	6. CALGreen 4.505.2 Vapor retarder and capillary break is installed at slab on grade foundations.	Y						
Yes	7. CALGreen 4.505.3 19% moisture content of building framing materials	Y						
Yes	8. CALGreen 702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.	Y						
Total Achievable Points in California Green Code = 0		0						
Summary								
Total Available Points in Specific Categories			35	96+	44	110	56	
Minimum Points Required in Specific Categories			50	0	30	5	6	9
Total Points Achieved:			145	11	57	25	34	18

Project has met all recommended minimum requirements