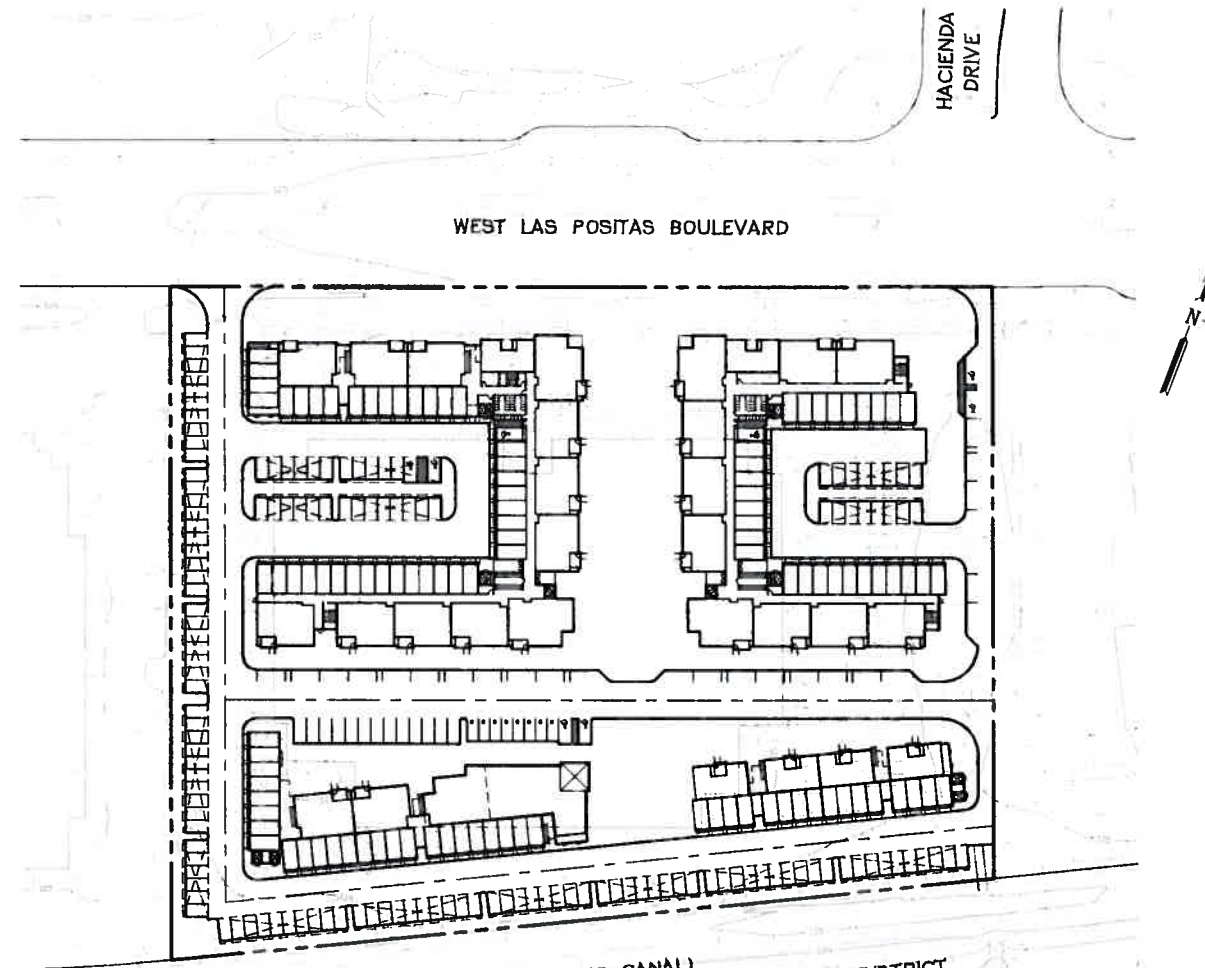


# PRE-SUBMITTAL 5850 WEST LAS POSITAS BOULEVARD CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA FOR: SUMMERHILL APARTMENT COMMUNITIES



**VICINITY MAP**



(ARROYO MOCHO CANAL)  
ALAMEDA COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT

**GENERAL NOTES**

1. **OWNER:** LAS POSITAS PROPERTY, LLC  
5850 WEST LAS POSITAS BOULEVARD  
PLEASANTON, CA 94588
2. **DEVELOPER:** SUMMERHILL APARTMENT COMMUNITIES  
777 S. CALIFORNIA AVENUE  
PALO ALTO, CA 94304  
TEL: (650) 842-2268  
CONTACT: KEVIN EBRAHIMI
3. **CIVIL ENGINEER:** RUGGERI-JENSEN-AZAR  
4690 CHABOT DRIVE, SUITE 200  
PLEASANTON, CA 94588  
TEL: (925) 227-9100  
CONTACT: EDIE SIEU
4. **ARCHITECT:** KTCY GROUP, INC.  
1733 OCEAN AVENUE, SUITE 250  
SANTA MONICA, CA 90401  
TEL: (310) 394-2623  
CONTACT: SARA FERNANDEZ
5. **LANDSCAPE ARCHITECT:** VAN DORN ABED LANDSCAPE ARCHITECTS, INC.  
81 14TH STREET  
SAN FRANCISCO, CA 94103  
TEL: (415) 864-1921  
CONTACT: ZERO ABED
6. **JOINT TRENCH:** TARRAR  
3381 WALNUT BOULEVARD  
BRENTWOOD, CA 94515  
TEL: (925) 240-2595  
CONTACT: KHALID TARRAR

**SHEET INDEX**

**ARCHITECTURAL DRAWINGS**

SHEET NO.	DESCRIPTION
A1.0	COVER
A1.1	SITE PHOTOS
A1.2	CONCEPTUAL SITE PLAN
A1.3	OPEN SPACE DIAGRAM
A2.1	FLOOR PLANS
A2.2	FLOOR PLANS
A3.1	UNIT PLANS
A3.2	UNIT PLANS
A3.3	UNIT PLANS
A3.4	UNIT PLANS
A4.1	CONCEPTUAL ELEVATIONS
A5.1	PERSPECTIVE VIEWS
A5.2	PERSPECTIVE VIEWS
A5.3	PERSPECTIVE VIEWS
A5.4	PERSPECTIVE VIEWS

**LANDSCAPE DRAWINGS**

SHEET NO.	DESCRIPTION
L1.0	CONCEPTUAL LANDSCAPE PLAN
L1.1	CONCEPTUAL LANDSCAPE ENLARGEMENTS
L2.0	CONCEPTUAL LANDSCAPE DETAILS
L2.1	CONCEPTUAL LANDSCAPE DETAILS
L2.2	CONCEPTUAL LANDSCAPE DETAILS
L3.0	CONCEPTUAL PLANT LIST
L3.1	CONCEPTUAL PLANT IMAGES

**CIVIL ENGINEERING DRAWINGS**

SHEET NO.	DESCRIPTION
C1.0	EXISTING CONDITIONS PLAN
C2.0	PRELIMINARY SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	UTILITY PLAN
C5.0	STORMWATER MANAGEMENT PLAN

RECEIVED

AUG 21 2013

CITY OF PLEASANTON  
PLANNING DIVISION



**RUGGERI-JENSEN-AZAR**  
ENGINEERS • PLANNERS • SURVEYORS  
4180 CHABOT DRIVE, SUITE 200, PLEASANTON, CA 94588  
PHONE: (925) 227-9100 FAX: (925) 227-4300



**5850 WEST LAS POSITAS BLVD**  
**PRELIMINARY ARCHITECTURAL DESIGN**  
 SUBMITTAL DATE: AUGUST 21, 2013

**TABLE OF CONTENTS**

A1.0 COVER  
 A1.1 SITE PHOTOS  
 A1.2 CONCEPTUAL SITE PLAN  
 A1.3 OPEN SPACE DIAGRAM  
 A2.1-A2.2 FLOOR PLANS  
 A3.1-A3.4 UNIT PLANS  
 A4.1 CONCEPTUAL ELEVATIONS  
 A5.1-A5.4 PERSPECTIVE VIEWS

A PROJECT BY:



**SUMMERHILL APARTMENT COMMUNITIES**  
 3000 EXECUTIVE PARKWAY, SUITE 450  
 SAN RAMON, CA 94583  
 CONTACT: KEVIN EBRAHIMI  
 T: 650.842.2268  
 KEBRAHIMI@SHHONES.COM



**ARCHITECT:**  
 KTGy GROUP INC.  
 1733 OCEAN AVE, SUITE 250  
 SANTA MONICA, CA 90401  
 CONTACT: MANNY GONZALEZ  
 T: 310.394.2623  
 MGONZALEZ@KTGY.COM  
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 VAN DORN ABED LANDSCAPE ARCHITECTS  
 81 14TH STREET  
 SAN FRANCISCO, CA 94103  
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 T: 415.864.1921 X 104  
 ZEKI@VALAINC.COM  
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**CIVIL ENGINEER:**  
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 4690 CHABOT DRIVE  
 SUITE 200  
 PLEASANTON, CA 94588  
 CONTACT: EDDIE SIUE, P.E.  
 T: 925.227-9100  
 ESIEU@RJA-GPS.COM  
 WWW.RJA-GPS.COM



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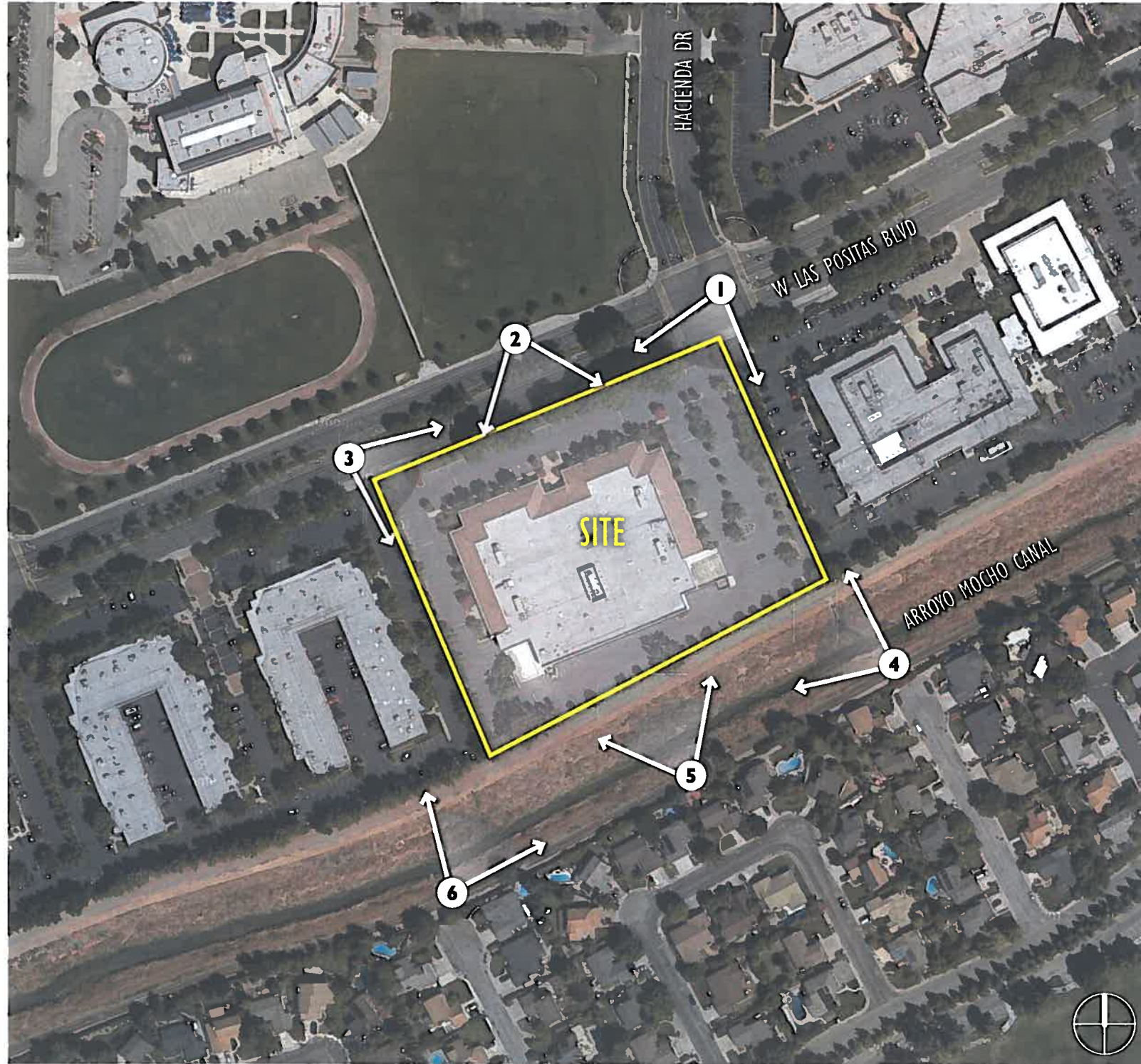
**COVER SHEET**

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**Architecture+Planning**  
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**A1.0**



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# SITE PHOTOS

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UNIT MIX:	BUILDING				TOTAL
	A	B	C	D	
1-BEDROOM	30	28	10	20	88
2-BEDROOM	35	31	6		72
3-BEDROOM	8	8	1		17
	73	67	17	20	177 units

- 2 Story Massing
- 3 Story Massing
- 4 Story Massing
- Carport

## PROJECT SUMMARY

Site Area: 5.9 acres  
 Total Units: 177 DU  
 Density: 30.0 DU/AC  
 Building Heights: 2 to 4 Stories

### DEVELOPMENT STANDARDS: (Per Housing Site Design Guidelines)

Front Setbacks: 33' min. from public streets  
 17' min. from internal streets  
 Side Setbacks: 8' min. to carports  
 50' min. from west property line to bldg.  
 Rear Setback: 8' min. to carports  
 Alley Setbacks: 5' min. to garage door  
 3' min. to upper stories  
 Drive aisle widths: 26' min. internal streets  
 24' min. alleys

### PARKING REQUIRED:

1.5 spaces per 1-bedrm unit x 88 + 2 = 134 spaces  
 1.5 spaces per 2-bedrm unit x 72 = 108 spaces  
 2 spaces per 3-bedrm unit x 17 = 34 spaces  
 1 visitor space per 7 units x 177 = 25 spaces  
**301 spaces required**

### PARKING PROVIDED:

Garage spaces - 10' x 20' min. 110 spaces (2 accessible)  
 Carport spaces - 9' x 18' min. 142 spaces (2 accessible)  
 Uncovered spaces - 9' x 18' min. 41 spaces (4 accessible)  
 Compact spaces - 8' x 16' min. 8 spaces  
**301 (8 accessible) spaces provided**

### SECURE BICYCLE PARKING REQUIRED:

0.8 per unit x 177 = **142 spaces required**

### SECURE BICYCLE PARKING PROVIDED:

Inside Private Garages: 110 spaces  
 Inside Bicycle Storage Rooms: 32 spaces  
**142 spaces provided**

### RESIDENTIAL STORAGE REQUIRED:

40 cu. ft. per unit x 177 = **7080 cu. ft. required**

### RESIDENTIAL STORAGE PROVIDED:

40 cu. ft. patio storage x 160 = **6400 cu. ft. provided on patios**  
 2'w x 3'd x 6'-8"h typ. locker x 152 = **6080 cu. ft. provided in storage rooms**

5850 WEST LAS POSITAS BLVD

## CONCEPTUAL SITE PLAN



Scale 0 15 30 60

A1.2

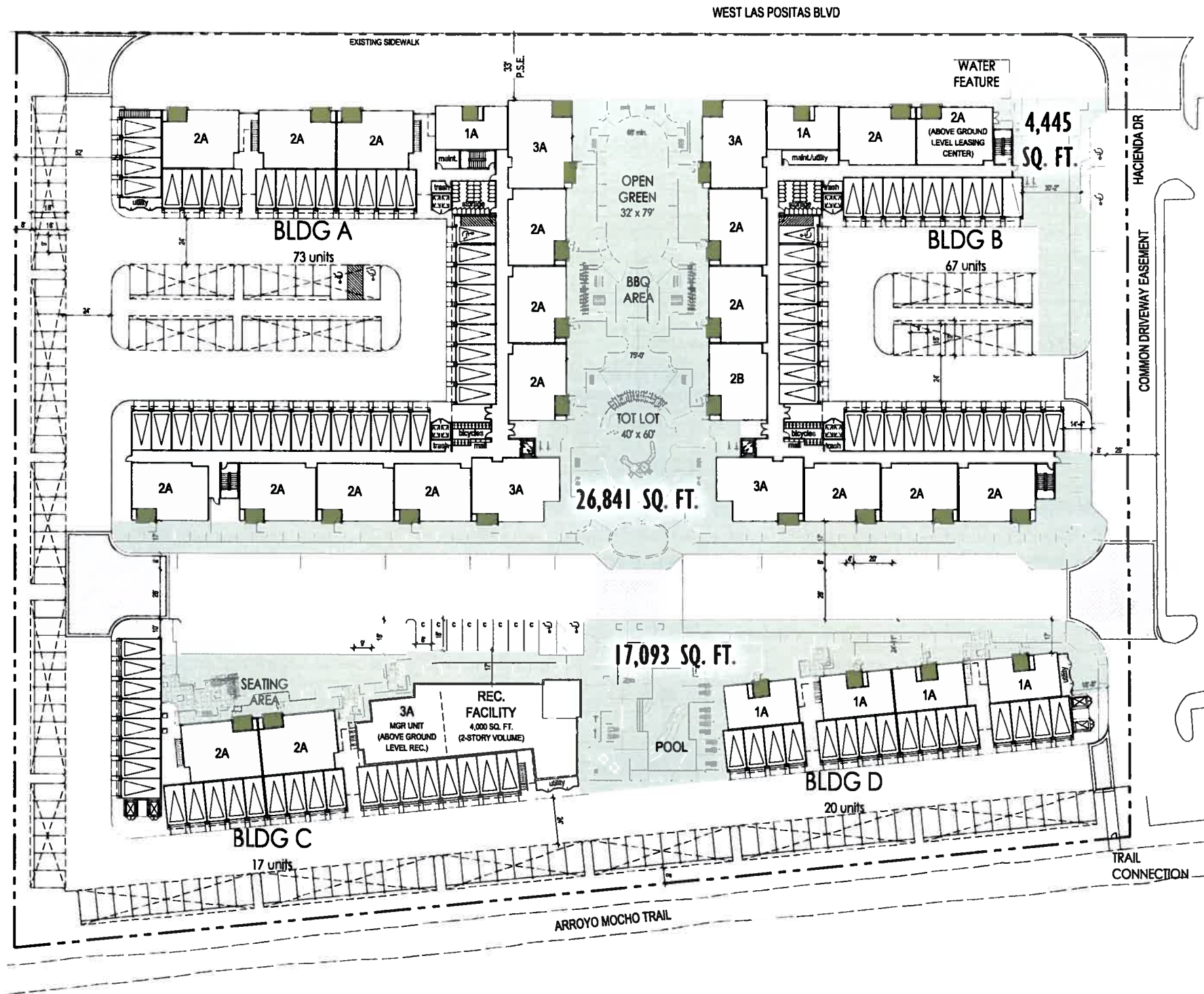


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## OPEN SPACE SUMMARY

**USABLE OPEN SPACE REQUIRED:**  
 300 sq. ft. per unit x 177 = **53,100 sq. ft. required**

**USABLE OPEN SPACE PROVIDED:**  
 Group Usable Open Space  
 (min. dimension 15') **48,379 sq. ft.**

**Private Open Space (min. dimension 5')**

Plan 1A:	56 sq. ft. x 57 units =	3,192 sq. ft.
Plan 1B:	64 sq. ft. x 31 units =	1,984 sq. ft.
Plan 2A:	68 sq. ft. x 72 units =	4,896 sq. ft.
Plan 3A:	63 sq. ft. x 9 units =	567 sq. ft.
	143 sq. ft. x 8 units =	1,114 sq. ft.
<b>Total Private Open Space</b>		<b>11,753 sq. ft.</b>
		<b>23,506 sq. ft. (at 2:1 credit)</b>

**Total Usable Open Space Provided** **71,885 sq. ft. provided**

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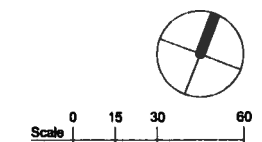


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## OPEN SPACE PLAN

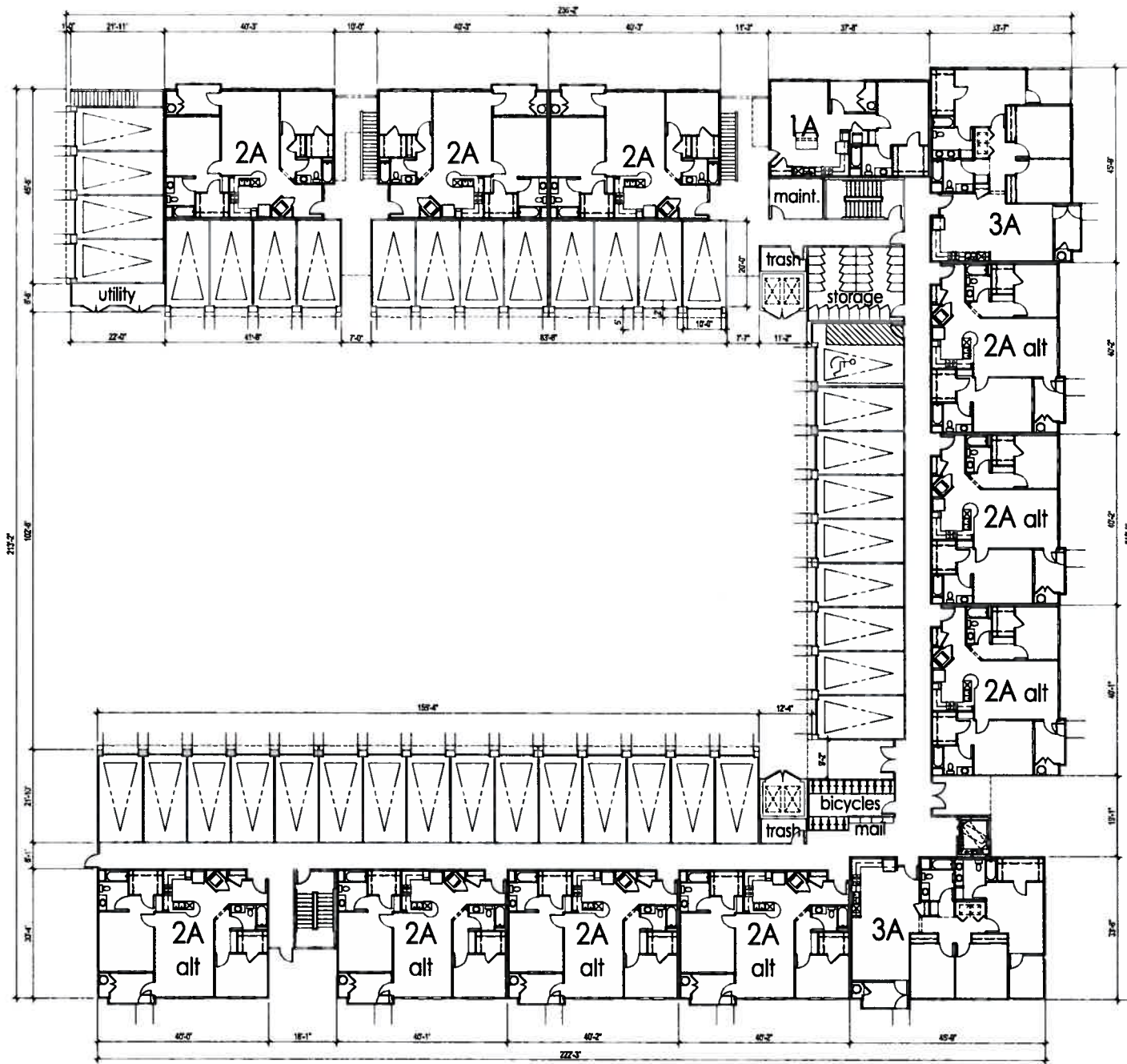
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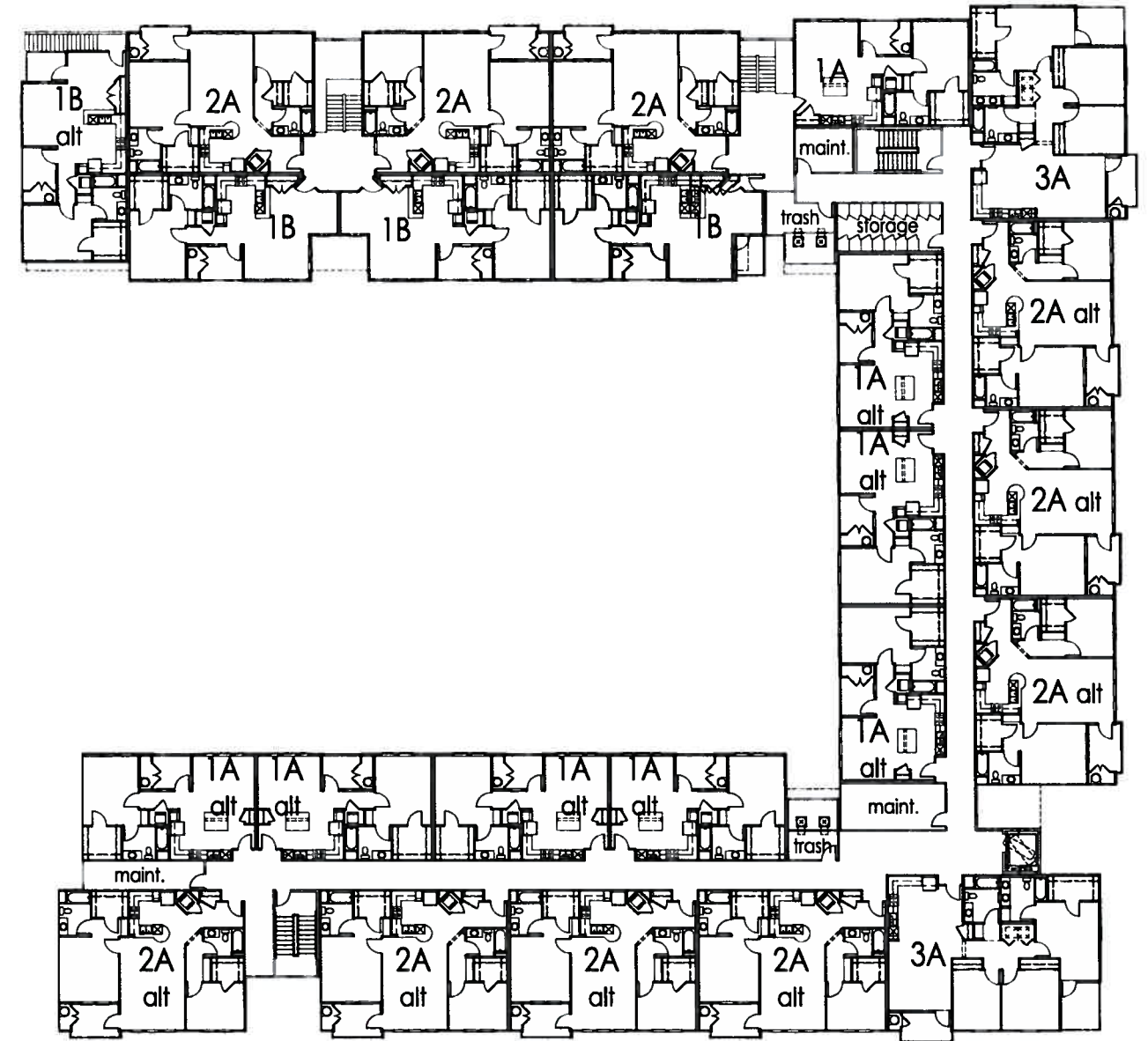


A1.3





GROUND LEVEL



SECOND LEVEL

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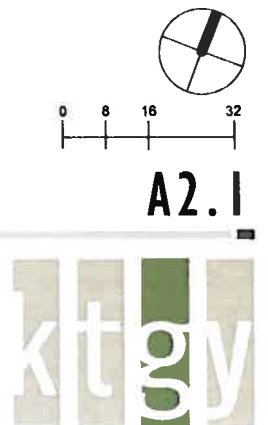


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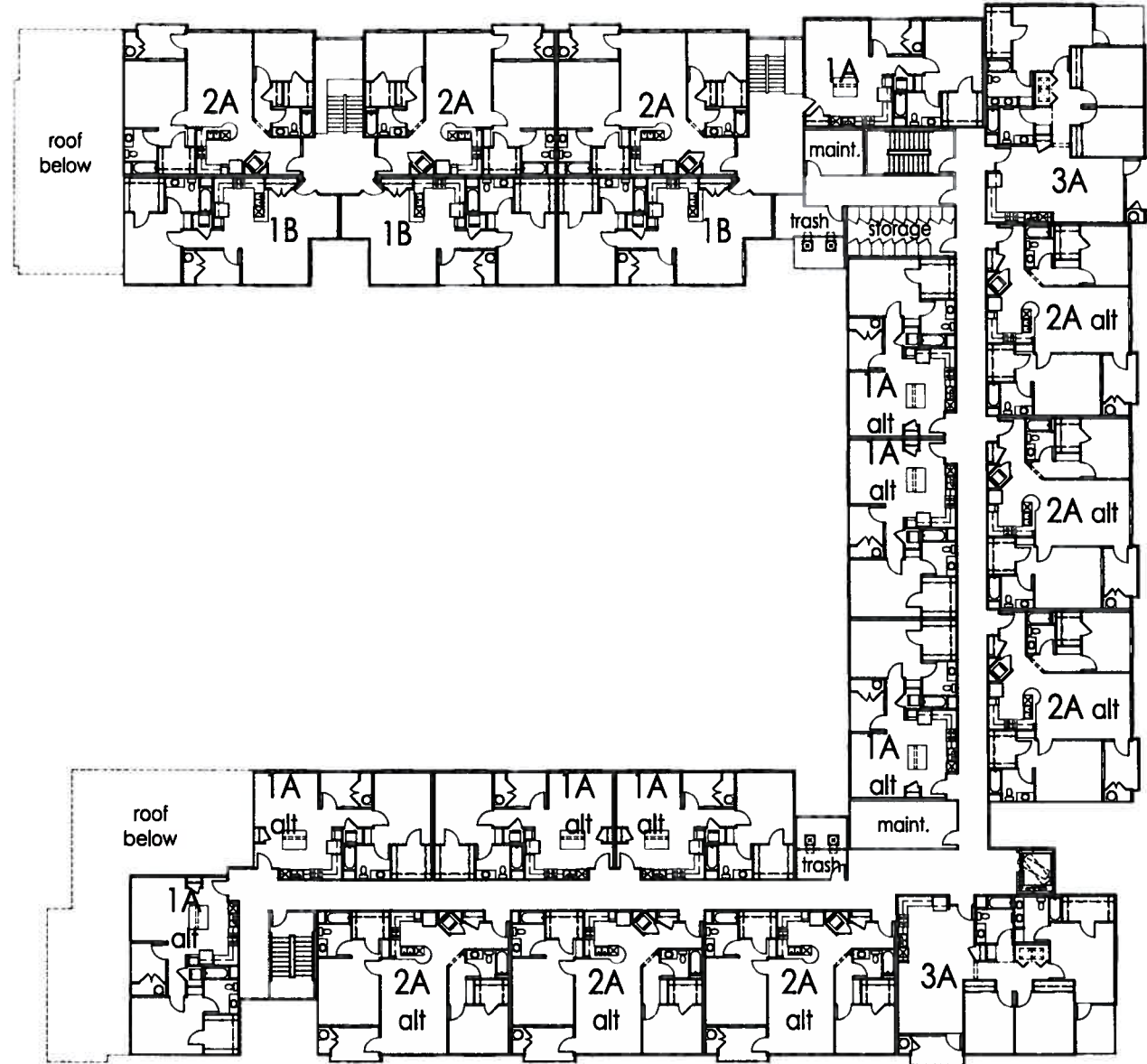
BUILDING A FLOOR PLANS

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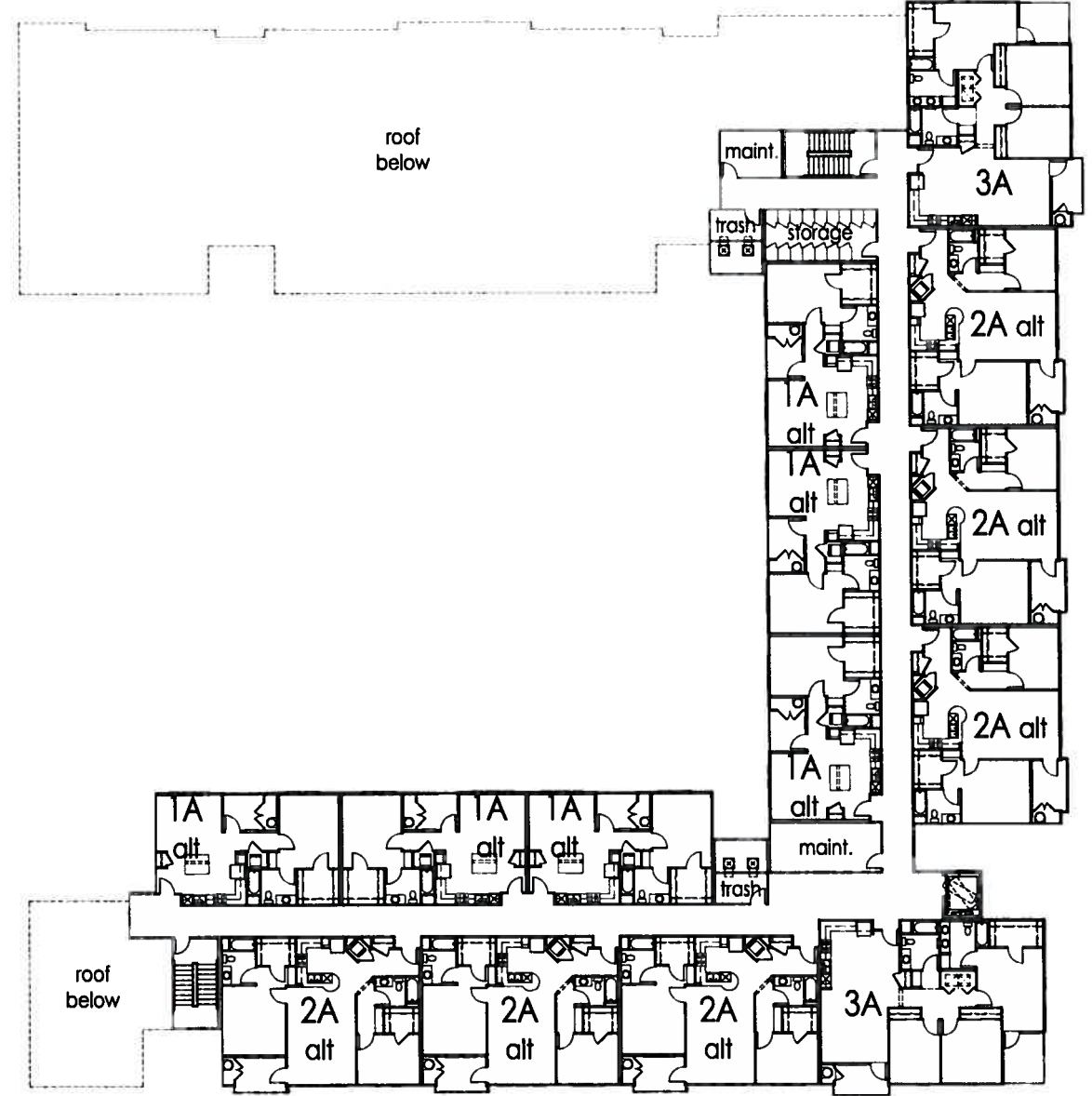
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A2.1



THIRD LEVEL



FOURTH LEVEL

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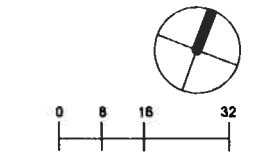


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BUILDING A FLOOR PLANS

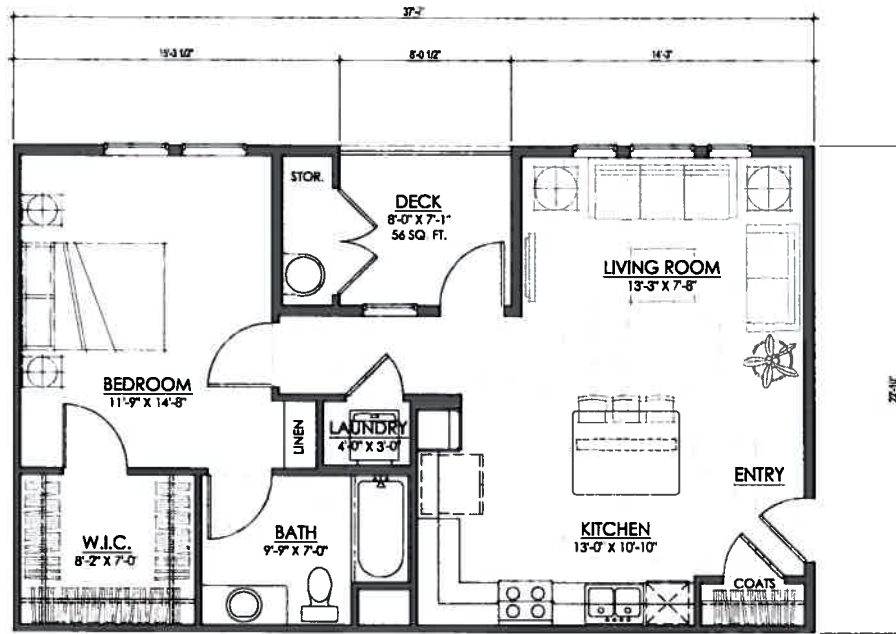
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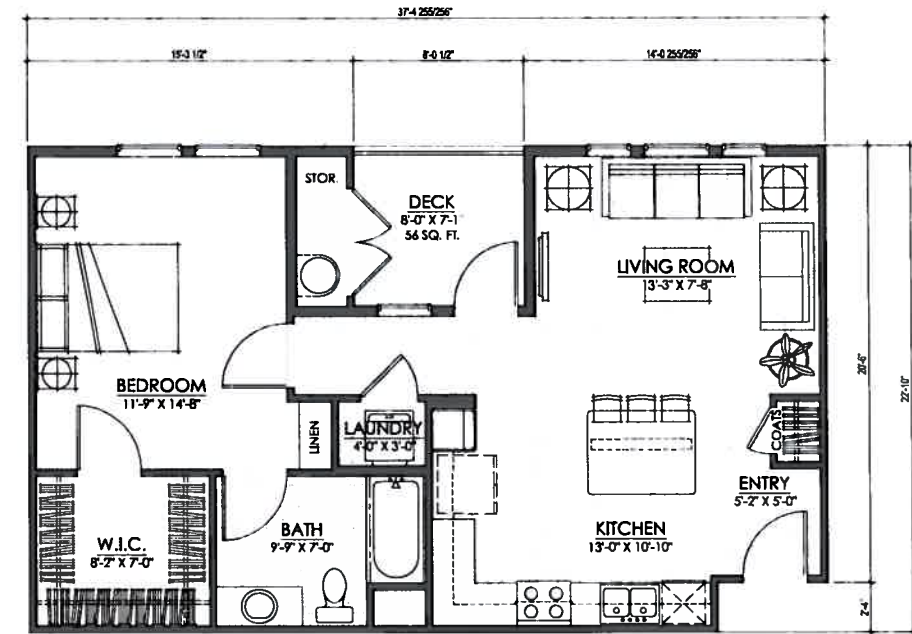


A2.2





**1A - 1BDR/1BATH**  
 GROSS: 783 SQ. FT.  
 NET: 715 SQ. FT.  
 PRIVATE OPEN SPACE: 56 SQ. FT.  
 PRIVATE STORAGE: 40 CU. FT. MIN.



**1A alt - 1BDR/1BATH**  
 GROSS: 778 SQ. FT.  
 NET: 702 SQ. FT.  
 PRIVATE OPEN SPACE: 56 SQ. FT.  
 PRIVATE STORAGE: 40 CU. FT. MIN.

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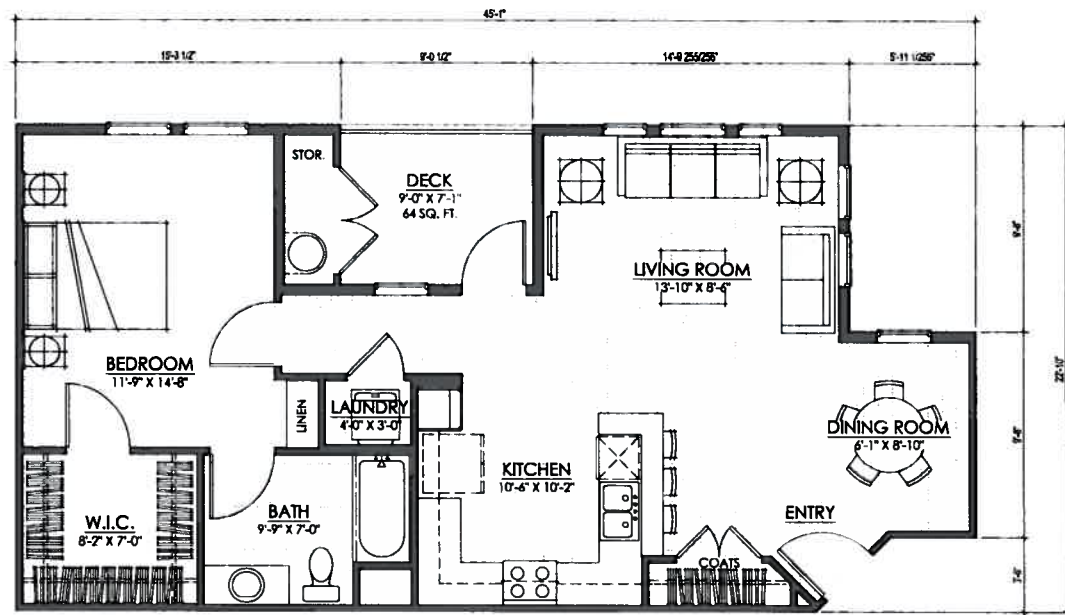
ONE-BEDROOM UNIT PLANS

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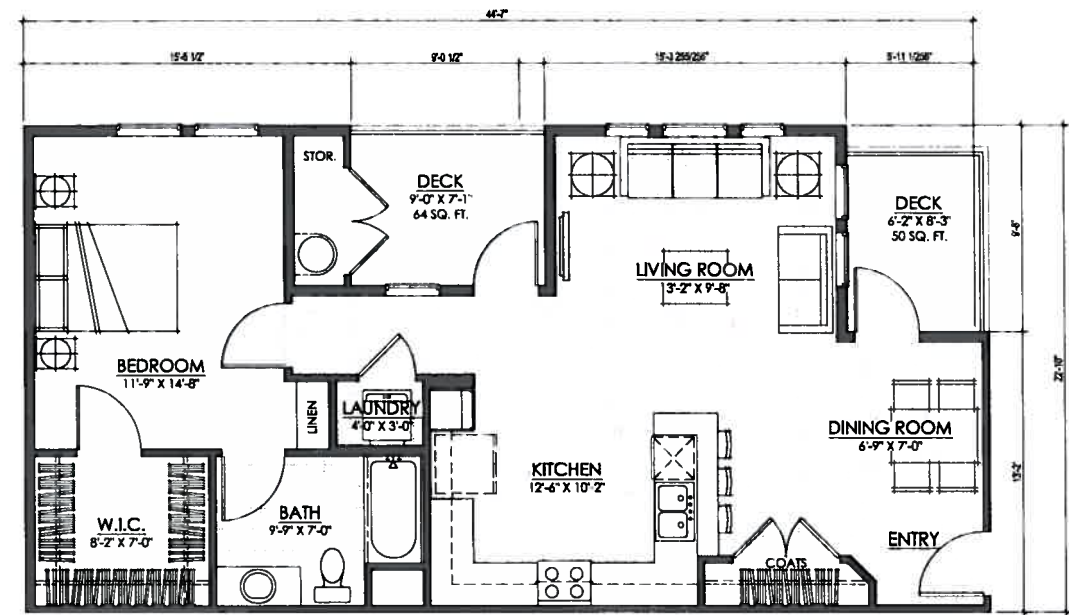
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**1B - 1BDR/1BATH**  
 GROSS: 870 SQ. FT.  
 NET: 796 SQ. FT.  
 PRIVATE OPEN SPACE: 64 SQ. FT.  
 PRIVATE STORAGE: 40 CU. FT. MIN



**1B alt - 1BDR/1BATH**  
 GROSS: 886 SQ. FT.  
 NET: 810 SQ. FT.  
 PRIVATE OPEN SPACE: 64 SQ. FT.  
 PRIVATE STORAGE: 40 CU. FT. MIN

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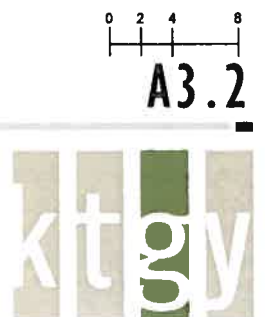


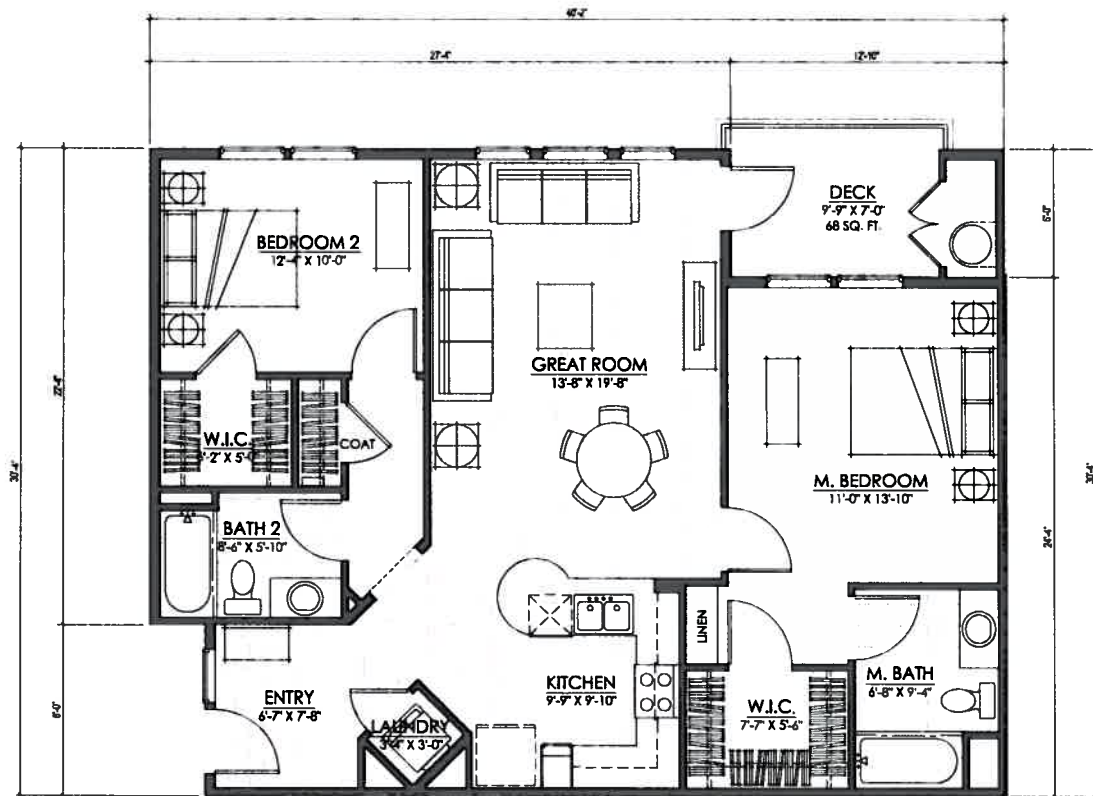
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ONE-BEDROOM UNIT PLANS

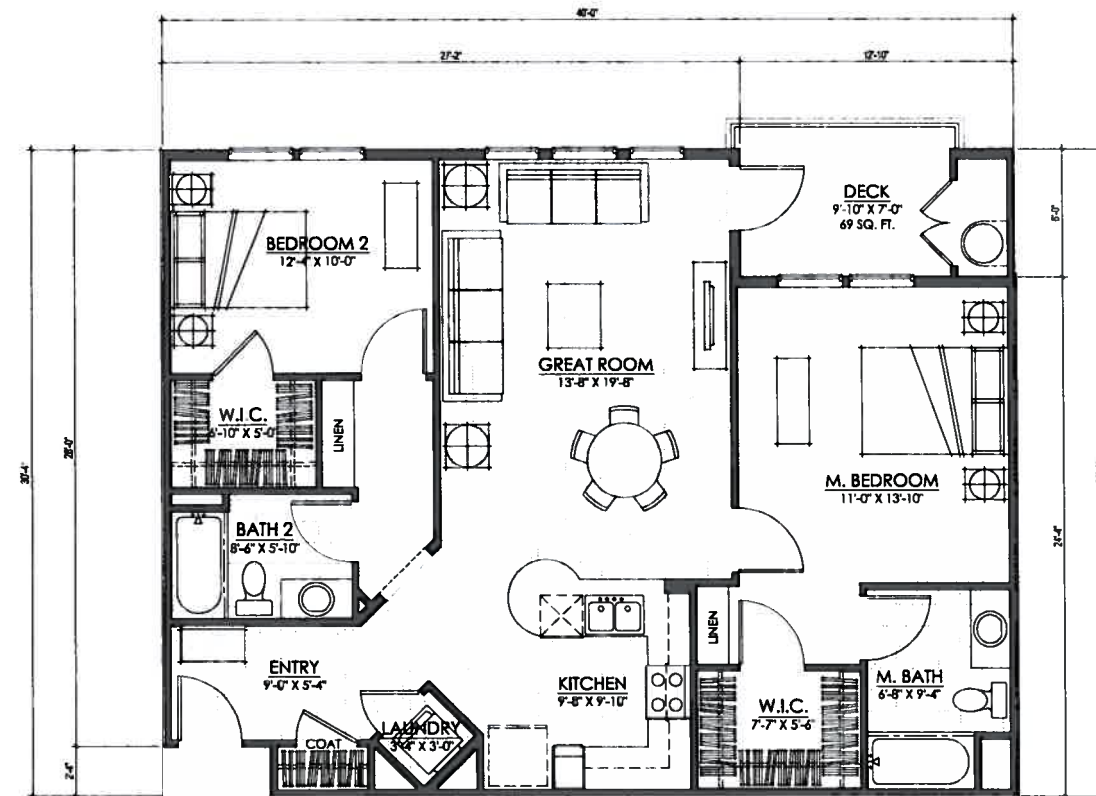
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**2A - 2BDR/2BATH**  
 GROSS: 1126 SQ. FT.  
 NET: 1054 SQ. FT.



**2A alt - 2BDR/2BATH**  
 GROSS: 1129 SQ. FT.  
 NET: 1063 SQ. FT.

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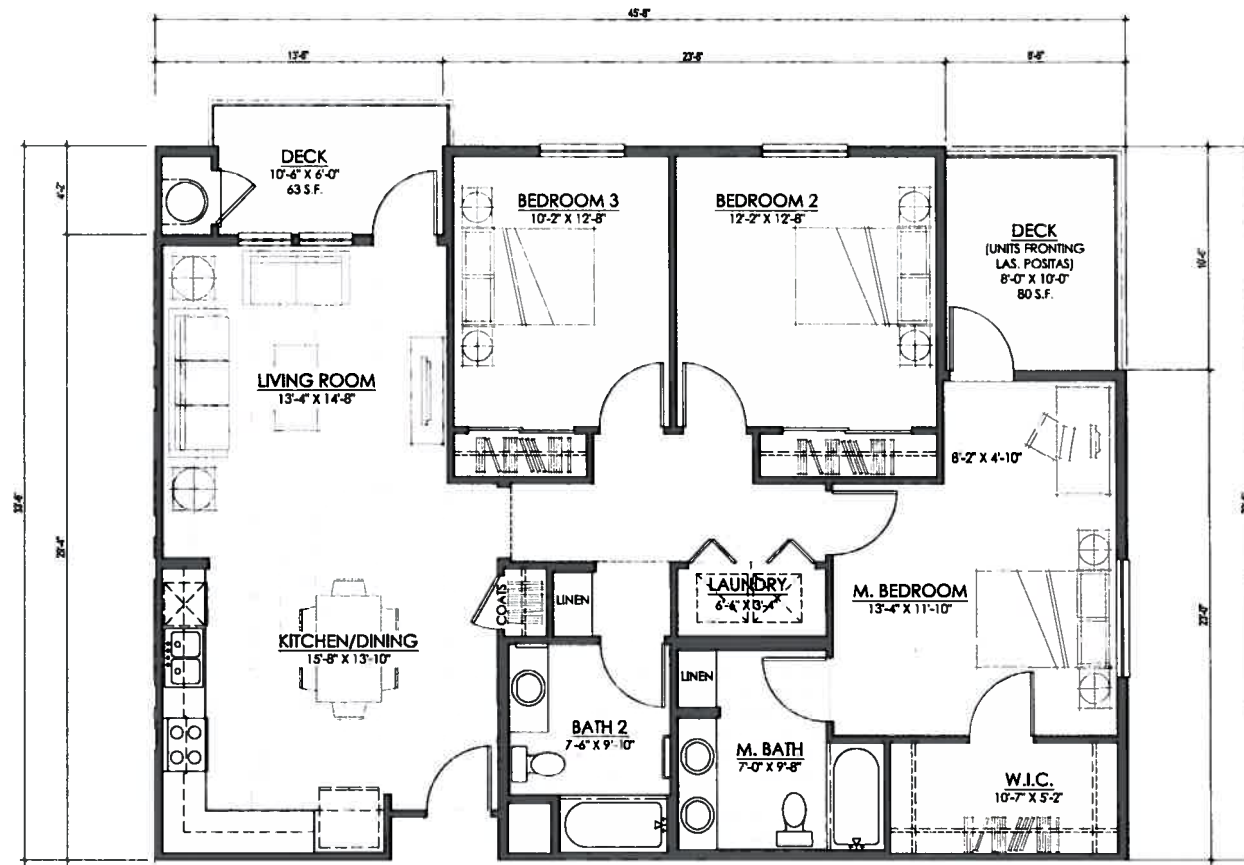
TWO-BEDROOM UNIT PLANS

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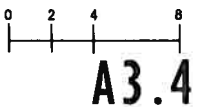
A3.3



**3A - 3BDR/2BATH**  
 GROSS: 1387 SQ. FT.  
 NET: 1298 SQ. FT.  
 PRIVATE OPEN SPACE: 63 TO 143 SQ. FT.

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THREE-BEDROOM UNIT PLANS



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NORTH ELEVATION - BUILDING A



NORTH ELEVATION - BUILDING B



5850 WEST LAS POSITAS BLVD

CONCEPTUAL ELEVATIONS

0 4 8 16  
A4.1



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PERSPECTIVE VIEW - BUILDING B FROM NORTHEAST

A5.1



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## PERSPECTIVE VIEW - BUILDING A FROM NORTHWEST

A5.2

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PERSPECTIVE VIEW - CENTRAL PASEO FROM NORTH

A5.3

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BUILDING B FROM NORTHEAST



BUILDING A FROM NORTHWEST



LAS POSITAS ELEVATION



5850 WEST LAS POSITAS BLVD

STREETSCENE WITH EXISTING MATURE TREES

A5.4



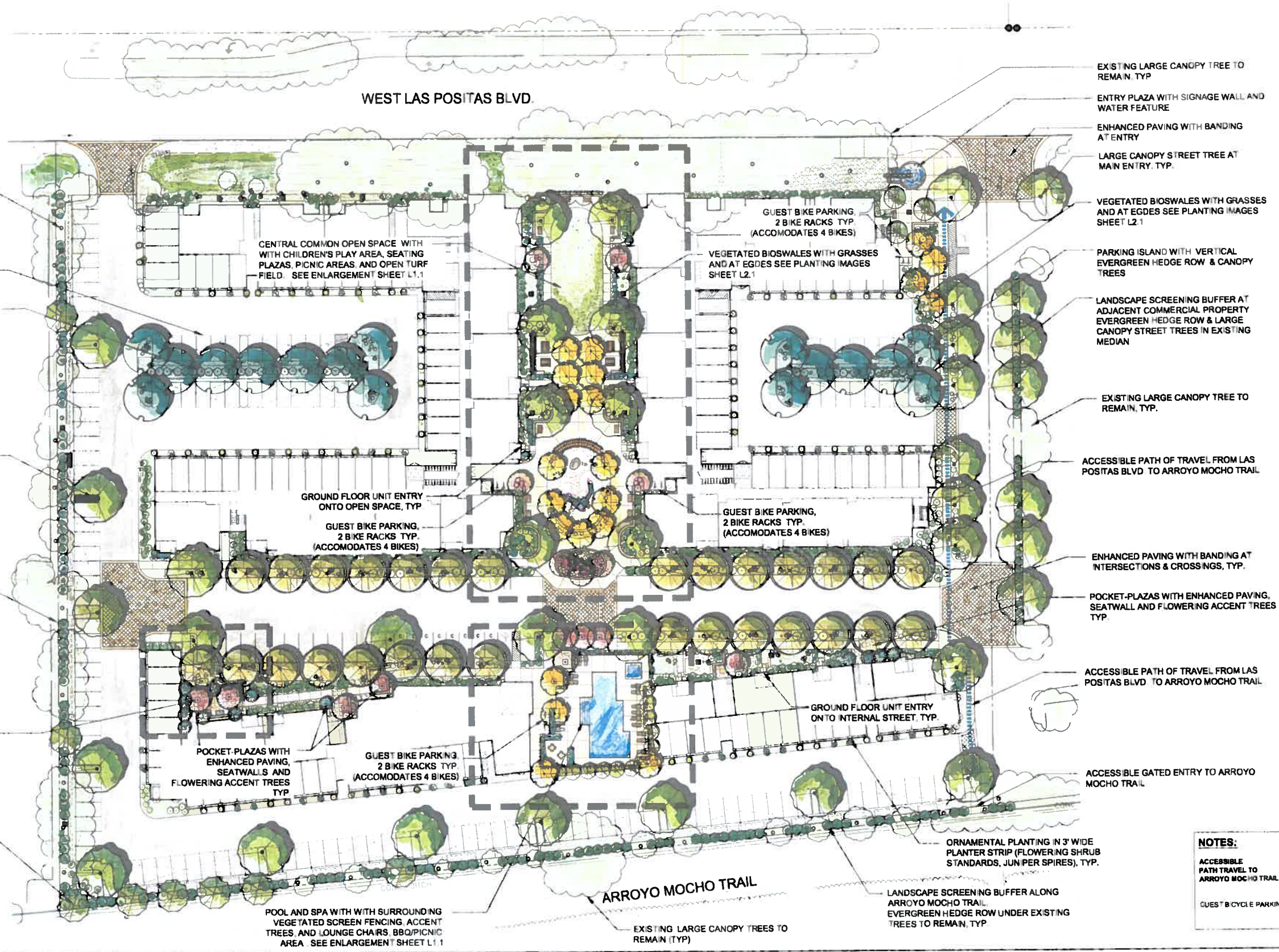
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EXISTING LARGE CANOPY TREE TO REMAIN, TYP

COVERED CARPORT SEE ARCH PLANS, TYP.

PARKING ISLAND WITH EVERGREEN HEDGE ROW & CANOPY TREES

LARGE CANOPY STREET TREE IN PARKING ISLAND, TYP.

LANDSCAPE SCREENING BUFFER AT ADJACENT COMMERCIAL PROPERTY EVERGREEN HEDGE ROW UNDER EXISTING LARGE CANOPY TREES TO REMAIN, TYP.

TERMINUS PLAZA WITH ENHANCED PAVING, L-TRELLIS, BENCHES, SEATWALLS, FLOWERING ACCENT TREES AND TWO SPECIMEN SHADE TREE SEE ENLARGEMENT SHEET L1.1

INFILL SCREEN TREES ON PERIMETER (PYRUS & PRUNUS) TO MATCH EX. TREES TO REMAIN

EXISTING LARGE CANOPY TREE TO REMAIN, TYP.

ENTRY PLAZA WITH SIGNAGE WALL AND WATER FEATURE

ENHANCED PAVING WITH BANDING AT ENTRY

LARGE CANOPY STREET TREE AT MAIN ENTRY, TYP.

VEGETATED BIOSWALES WITH GRASSES AND AT EDGES SEE PLANTING IMAGES SHEET L2.1

PARKING ISLAND WITH VERTICAL EVERGREEN HEDGE ROW & CANOPY TREES

LANDSCAPE SCREENING BUFFER AT ADJACENT COMMERCIAL PROPERTY EVERGREEN HEDGE ROW & LARGE CANOPY STREET TREES IN EXISTING MEDIAN

EXISTING LARGE CANOPY TREE TO REMAIN, TYP.

ACCESSIBLE PATH OF TRAVEL FROM LAS POSITAS BLVD TO ARROYO MOCHO TRAIL

ENHANCED PAVING WITH BANDING AT INTERSECTIONS & CROSSINGS, TYP.

POCKET-PLAZAS WITH ENHANCED PAVING, SEATWALL AND FLOWERING ACCENT TREES TYP.

ACCESSIBLE PATH OF TRAVEL FROM LAS POSITAS BLVD TO ARROYO MOCHO TRAIL

ACCESSIBLE GATED ENTRY TO ARROYO MOCHO TRAIL

POOL AND SPA WITH SURROUNDING VEGETATED SCREEN FENCING, ACCENT TREES AND LOUNGE CHAIRS, BBQ/PICNIC AREA SEE ENLARGEMENT SHEET L1.1

EXISTING LARGE CANOPY TREES TO REMAIN (TYP)

ORNAMENTAL PLANTING IN 3' WIDE PLANTER STRIP (FLOWERING SHRUB STANDARDS, JUNIPER SPIRES), TYP.

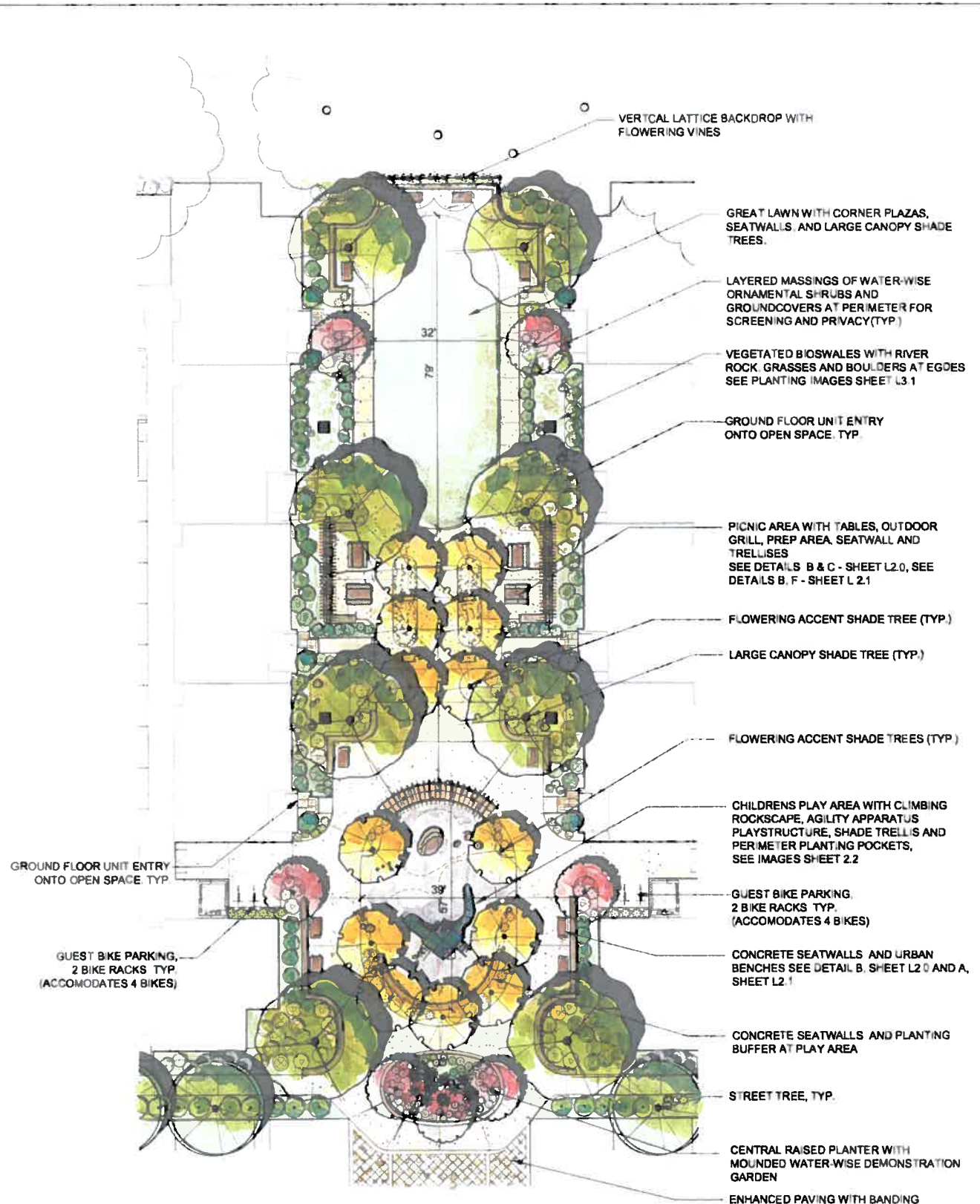
LANDSCAPE SCREENING BUFFER ALONG ARROYO MOCHO TRAIL EVERGREEN HEDGE ROW UNDER EXISTING TREES TO REMAIN, TYP.

**NOTES:**

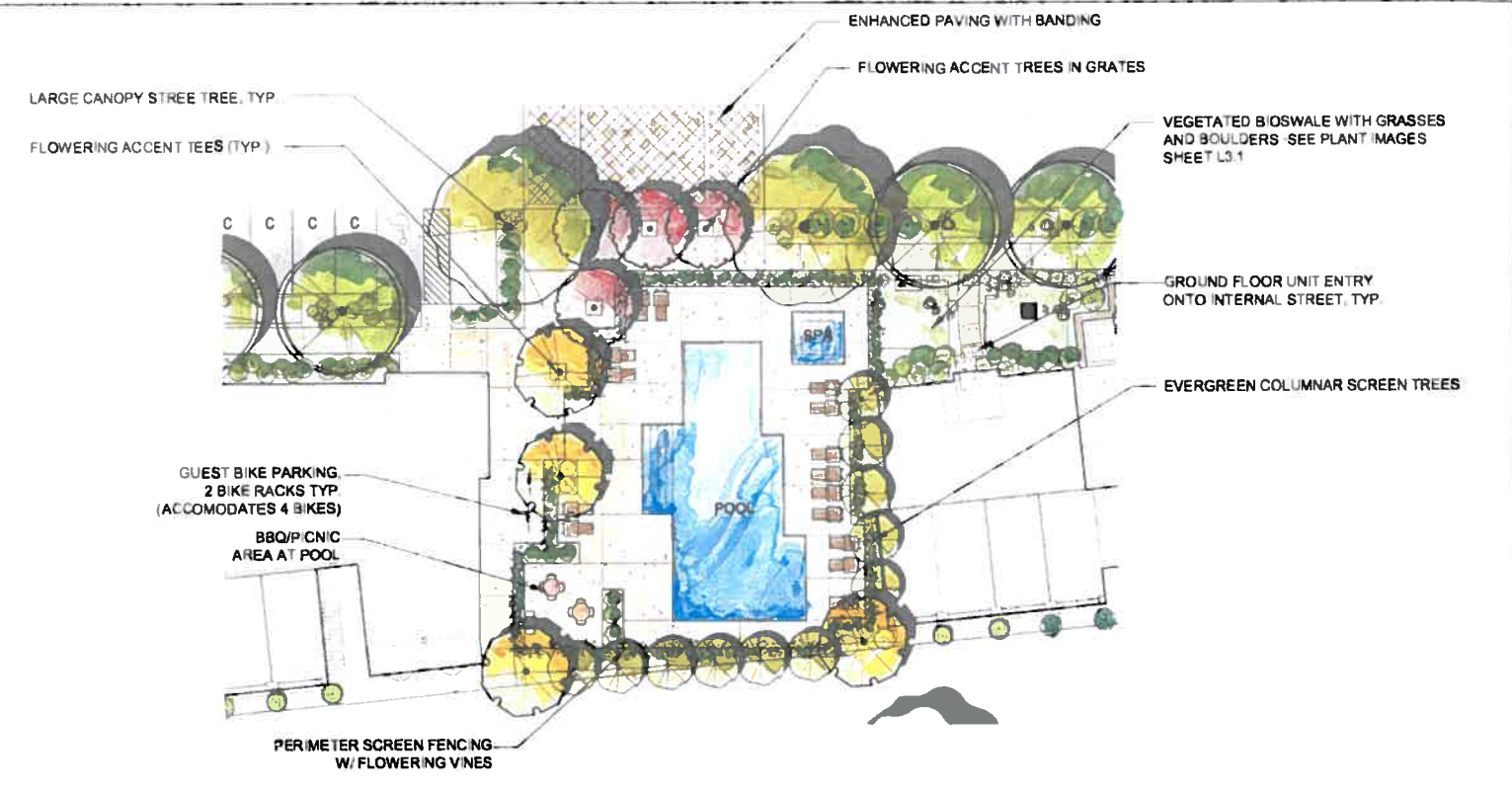
ACCESSIBLE PATH TRAVEL TO ARROYO MOCHO TRAIL

GUEST BI-CYCLE PARKING 7 REQUIRED 18 PROVIDED

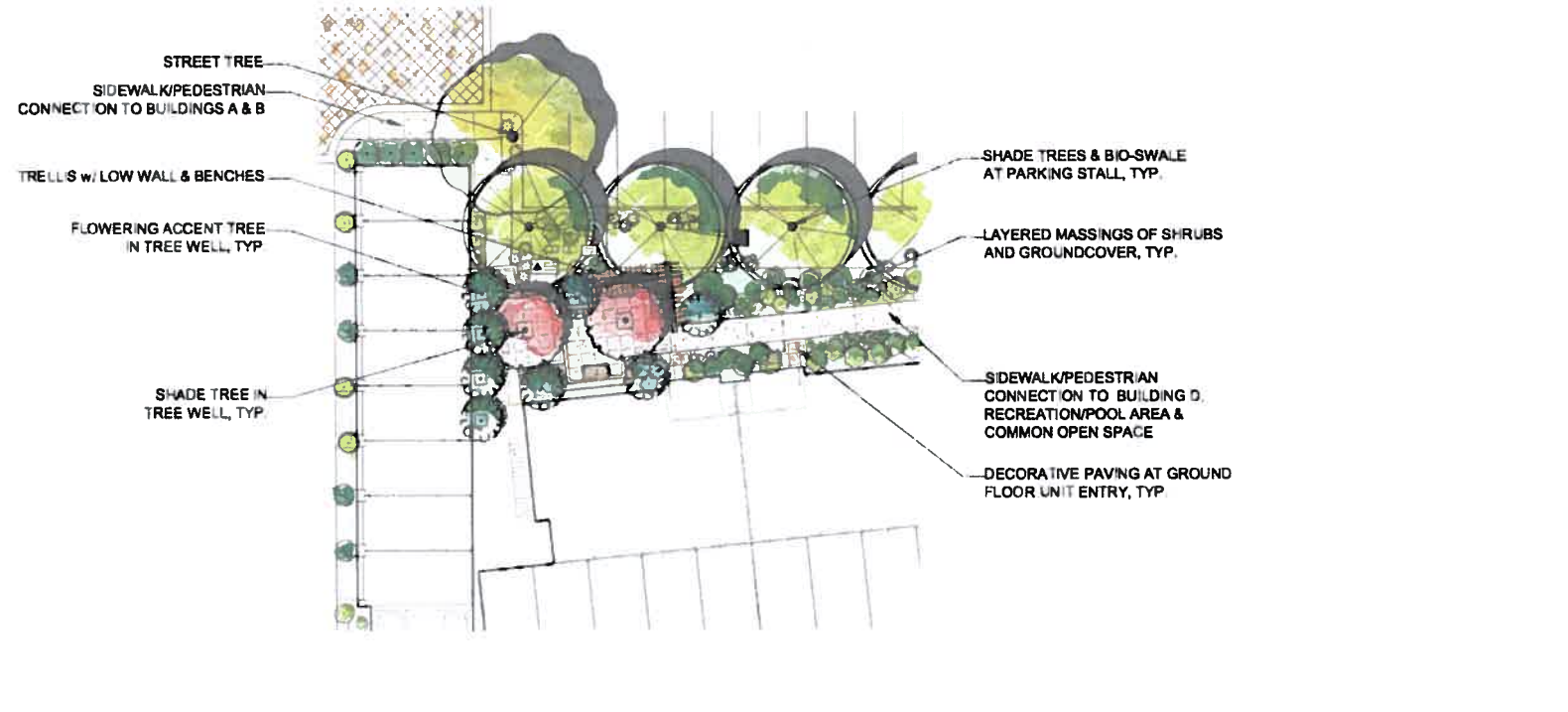




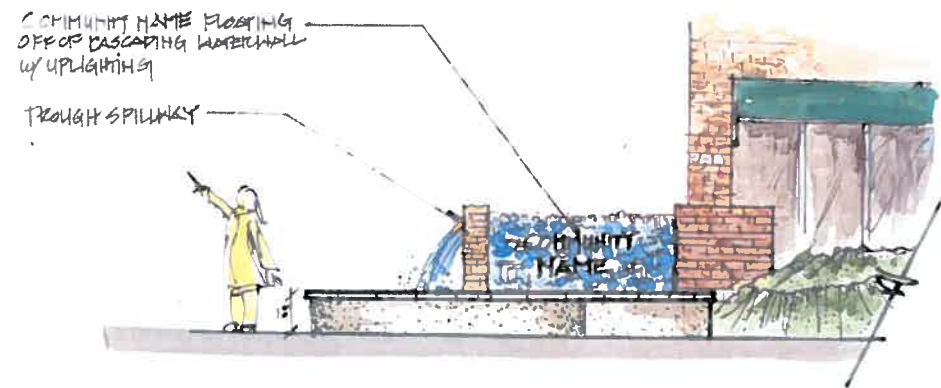
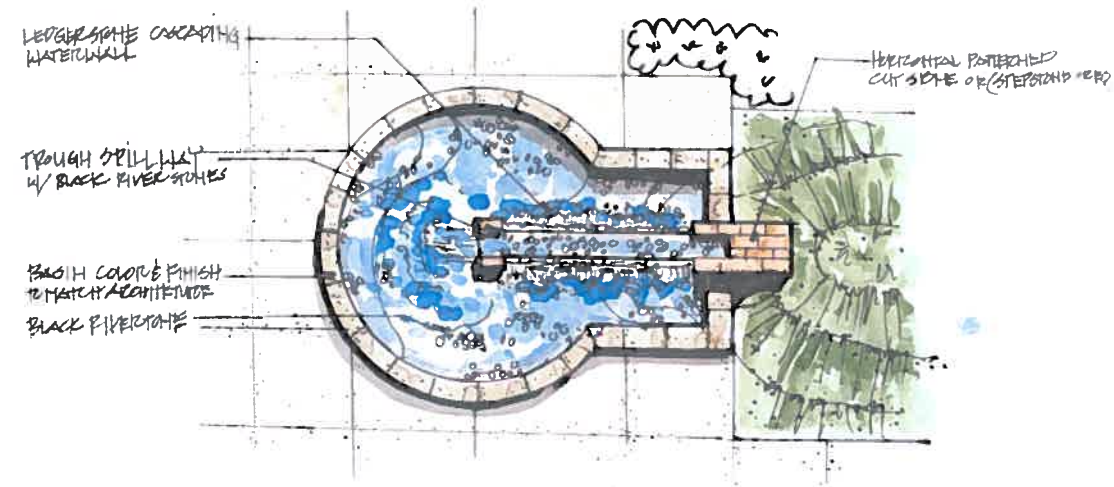
**A** COMMON OPEN SPACE LANDSCAPE ENLARGEMENT  
1/16" = 1'-0"



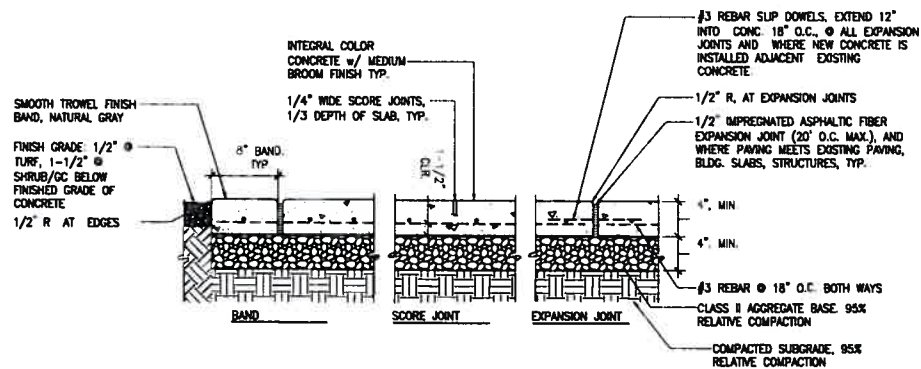
**B** POOL AREA LANDSCAPE ENLARGEMENT  
1/16" = 1'-0"



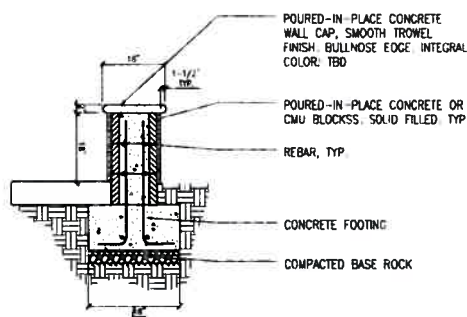
**C** TERMINUS PLAZA AT BLDG. C  
1/16" = 1'-0"



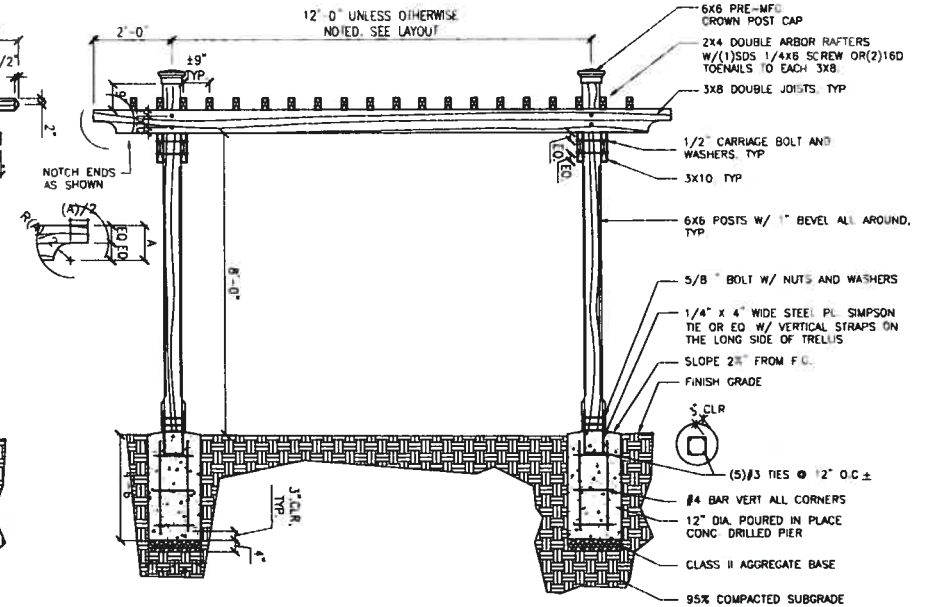
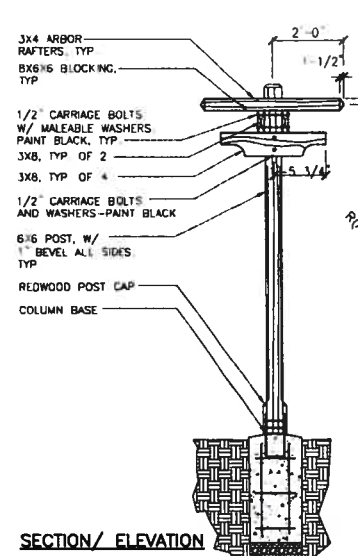
**A** ENTRY PLAZA WITH WATER FEATURE & SIGNAGE WALL  
NTS



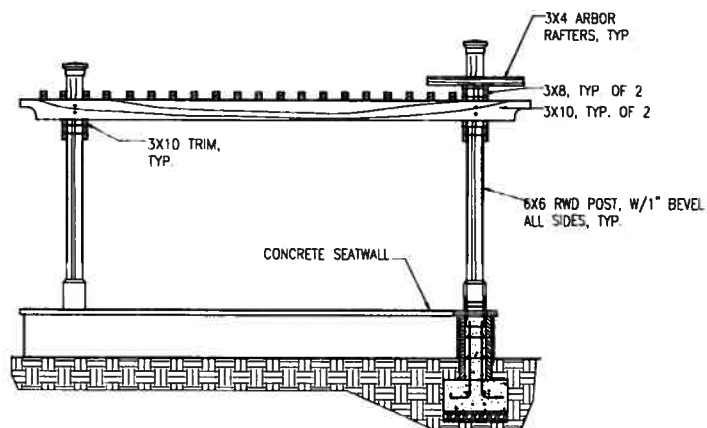
**A DECORATIVE SCORED CONCRETE PAVING w/ BANDING**  
SCALE: NTS



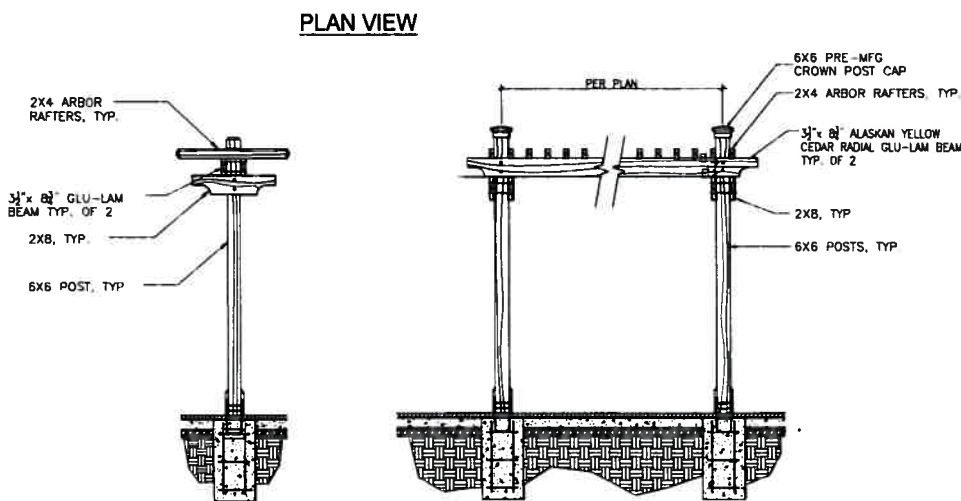
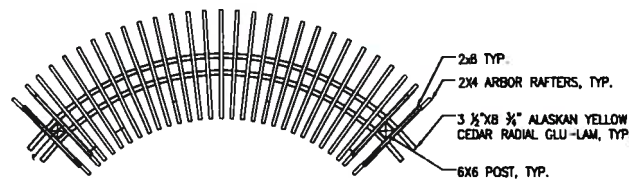
**B CONCRETE SEATWALL**  
SCALE: NTS



**C 2-POST TRELLIS**  
SCALE: NTS



**D L-SHAPED TRELLIS ON SEATWALL**  
SCALE: NTS



**E RADIAL TRELLIS AT PLAY AREA**  
SCALE: NTS





6' BENCH - WOOD w/ POWDERCOAT FRAME  
"TRIO" BY FORMS & SURFACES  
OR EQUIVALENT

**A** BENCH  
SCALE: NTS



6' TABLE & BENCHES - WOOD w/ POWDERCOAT FRAME  
"TRIO EMSEMBLE" BY FORMS & SURFACES  
OR EQUIVALENT

**B** TABLE & BENCH ASSEMBLY  
SCALE: NTS



36" TALL LED PATH LIGHT - POWDERCOAT ALUMINUM  
"HAWTHORNE" BY LANDSCAPE FORMS  
OR EQUIVALENT

**C** BOLLARD LIGHT  
SCALE: NTS



12' TALL LED POLE LIGHT - POWDERCOAT ALUMINUM  
"ALCOTT" BY LANDSCAPE FORMS  
OR EQUIVALENT

**D** POLE LIGHT  
SCALE: NTS



MODERN U-SHAPE BIKE RACK  
"TRIO" BY FORMS & SURFACES  
OR EQUIVALENT

**E** BIKE RACK  
SCALE: NTS



OUTDOOR GRILL - SURFACE MOUNTED  
CHAR BROIL, KENMORE  
OR EQUIVALENT

**F** OUTDOOR GRILL  
SCALE: NTS



**"TREE HOUSE & CLIMBING ROCK" PLAY STRUCTURE**  
BY LANDSCAPE FORMS  
OR EQUIVALENT



**BOULDERS IN LANDSCAPE AROUND PERIMETER AND IN  
PLAY AREA FOR CLIMBING**



**"TREE STUMPS" BY LANDSCAPE FORMS  
OR EQUIVALENT**

**A PLAY AREA**  
SCALE: NTS

CONCEPTUAL TREE & SHRUBS PALETTE

CODE	BOTANICAL NAME	COMMON NAME	CONT.	WUCOLS WATER USE
ACE RUB	ACER RUBRUM	RED MAPLE	24"BOX	M
ARB UNE	ARBUTUS UNEDO	STRAWBERRY TREE	15 GAL	L
ARB HYB	ARBUTUS X 'MARINA'	ARBUTUS STANDARD	15 GAL	L
CEL SN	CELTIS SINENSIS	CHINESE HACKBERRY	24"BOX	L
CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD	5 GAL	L
FRA OXY	FRAXINUS OXYCARPA 'RAYWOOD' TM	RAYWOOD ASH	24"BOX	M
GIN BIL	GINKGO BILOBA - PRINCETON SENTRY	GINKGO	24"BOX	M
JAC MEM	JACARANDA MIMOSIFOLIA	JACARANDA	24" BOX	M
LAG HOP	LAGERSTROEMIA FAURIEI 'HOPI'	CREPE MYRTLE	15 GAL	L
LAG TRI	LAGERSTROEMIA HYBRIDS 'COMMANDE'	INDIAN TRIBE CRAPE MYRTLE	15 GAL	L
LAG MUS	LAGERSTROEMIA INDICA 'MUSKOGEE'	CREPE MYRTLE	15 GAL	L
LAG ZUM	LAGERSTROEMIA X 'ZUM'	JAPANESE CRAPE MYRTLE MULTI-TRUNK	15 GAL	L
LAU BAR	LAIUS NOBILIS 'BARATOGA'	SWEET BAY	15 GAL	L
TRI CON	LOPHOSTEMON CONFERTUS	BRISBANE BOX	15 GAL	L
MAG LIT	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	DWARF MAGNOLIA	15 GAL	M
MAG BOU	MAGNOLIA BOULANGIANA 'LILLIPUTIAN'	MULTI-TRUNK LILLIPUTIAN MAGNOLIA	24"BOX	M
MAG STE	MAGNOLIA STELLATA	STAR MAGNOLIA MULTI-TRUNK	15 GAL	M
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	24"BOX	L
PRU CHA	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	15 GAL	M
PYR FEA	PYRUS CALLERYANA 'REDSPIRE'	REDSPIRE GALLERY PEAR	24"BOX	M
ROB IDA	ROBINIA X AMBIGUA 'IDAHOENSIS'	IDAHO LOCUST	24"BOX	M
CHI TAB	X CHITALPA TASHKENTENSIS 'PINK DAWN'	PINK DAWN CHITALPA	15 GAL	L
CODE	BOTANICAL NAME	COMMON NAME	CONT.	WUCOLS WATER USE
ABE EDW	ABELIA X GRANDIFLORA 'EDWARD GOUCHER'	GLOSSY ABELIA	5 GAL	M
ASU PIN	ABUTILON HYBRIDUM 'PINK'	FLOWERING MAPLE	5 GAL	M
BER CRU	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 GAL	L
BER COR	BERGENIA CORDIFOLIA	HEARTLEAF BERGENIA	1 GAL	M
CAL LIT	GALLIETIMON CITRINUS 'LITTLE JOHN'	DWARF BOTTLE BRUSH	1 GAL	L
COL PUL	COLEONEMA PULCHRUM	PINK BREATH OF HEAVEN	5 GAL	M
DIE BIC	DIETES BICOLOR	FORTNIGHT LILY	1 GAL	L
DOD PUR	DODONAEA VISOOSA 'PURPUREA'	PURPLE LEAFED HOPBEED BUSH	5 GAL	L
ERI WAY	ERIGERON GLAUOUS 'WAYNE RODERICK'	SEASIDE DAISY	1 GAL	L
ERI KAR	ERIGERON KARVINSKANUS	FLEABANE	1 GAL	L
ERY BOW	ERYTHRUM 'BOWLES MAJAE'	WALLFLOWER	5 GAL	L
ERY APR	ERYTHRUM X 'APRICOT TWIST'	APRICOT TWIST WALLFLOWER	5 GAL	L

CONCEPTUAL SHRUBS PALETTE (cont.)

EUP RED	EUPHORBIA X MARTINI 'RED MARTIN'	EUPHORBIA	5 GAL	L
FUC GAR	FUCHSIA HYBRIDA 'GARTENMEISTER BONSTEEDT'	FUCHSIA	5 GAL	M
GRE NOE	GREVILLEA HYBRID 'NOELLI'	GREVILLEA	5 GAL	L
HEB SPE	HEBE SPECIOSA	SHOWY HEBE	5 GAL	M
HEB AUT	HEBE X 'AUTUMN GLORY'	AUTUMN GLORY HEBE	5 GAL	M
HEB COE	HEBE 'COED'	HEBE	5 GAL	M
HEM HYB	HEMEROCALLIS HYBRID	FLOWERING DAYLILY	1 GAL	L
HEU SAC	HEUCHERA X 'SANTA ANA CARDINAL'	CORAL BELLS	1 GAL	M
JUN RO2	JUNIPERUS C. SPARTAN	NCH	15 GAL	L
JUN BK2	JUNIPERUS S. SKYROCKET	NCH	15 GAL	L
LAV ABS	LAVATERA ABSURGENTIFLORA	MALLOW	5 GAL	L
LIR GIG	LIRIOPE GIGANTEA	GIANT LIRIOPE	5 GAL	M
LOR CHI	LOROPETALUM CHINENSE	GREEN FINCH FLOWER	5 GAL	L
OLE LIT	OLEA EUROPAEA 'LITTLE OLLIE' STANDARD	LITTLE OLLIE OLIVE - STANDARD	15 GAL	VL
PEN WH2	PENNISETUM SETACEUM 'WHITE'	WHITE FOUNTAIN GRASS	5 GAL	L
PHO TT	PHORMIUM TENAX 'TOM THUMB'	DWARF GREEN FLAX	1 GAL	L
PHO WAV	PHORMIUM TENAX 'YELLOW WAVE'	NEW ZEALAND FLAX	5 GAL	L
PHO MQ	PHORMIUM 'MAORI QUEEN'	NEW ZEALAND FLAX	5 GAL	L
PIT GM	PITTOSPORUM TOBIRA 'CREAM DE MINT' TM	CREAM DE MINT DWARF MOCK ORANGE	5 GAL	L
PIT WHE	PITTOSPORUM TOBIRA 'WHEELERS DWARF'	WHEELER'S DWARF MOCK ORANGE	5 GAL	M
PRU CAR	PRUNUS CAROLINIANA 'BRIGHT-N-TIGHT'	CAROLINA LAUREL CHERRY	15 GAL	L
ROB CAL	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GAL	L
ROB IC2	ROSA FLORIBUNDA 'ICEBERG'	ROSE	5 GAL	M
ROB RED	ROSA FLOWER CARPET RED	GROUNDCOVER ROSE	2 GAL	M
ROB IC3	ROSA (ICEBERG) (STANDARD)	ROSE	15 GAL STD	M
ROB FLC	ROSA X 'FLOWER CARPET APPLEBLOSSOM' TM	GROUNDCOVER ROSE	2 GAL	M
ROB FL8	ROSA X 'FLOWER CARPET WHITE'	GROUNDCOVER ROSE	2 GAL	M
SOL RAN	SOLANUM RANTONNETII (STANDARD)	PARAGUAY NIGHTSHADE	15 GAL STD.	L
TAG LEM	TAGETES LEMMONII	COPPER CANYON DAISY	1 GAL	L
TIB UR2	TIBOUCHINA URVILLEANA	PRINCESS FLOWER	5 GAL	M
WEB FRU	WEBSTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	L

CONCEPTUAL GRASSES & GROUNDCOVER

CODE	BOTANICAL NAME	COMMON NAME	CONT.	WUCOLS WATER USE
CAR PAN	CAREX PANSA	SANDDUNE SEDGE	FLAT	L
FEB DA	FESTUCA IDAHOENSIS	IDAHO FESCUE	1 GAL	L
FEB OVI	FESTUCA OVINA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL	L
NAB TEN	NABIELLA TENUISSIMA	MEXICAN FEATHERGRASS	5 GAL	L
CODE	BOTANICAL NAME	COMMON NAME	CONT.	WUCOLS WATER USE
BOO	FESTUCA ELATOR 'MEDALLION'	FESTUCA MEDALLION BOO	BOO	H
FEB MOW	FESTUCA X 'NO MOW'	FESTUCA X 'NO MOW'	BOO	M
FRA CHI	FRAGARIA CHILDENSIS	BEACH STRAWBERRY	FLAT	L

PLANTING & WATER EFFICIENCY DESIGN INTENT STATEMENT

THE PLANTING DESIGN INCORPORATES PRINCIPLES INCLUDED IN THE "BAY FRIENDLY LANDSCAPE GUIDELINES"

THE PLANTING DESIGN MINIMIZES TURF/LAWN AREAS AND UTILIZES PRIMARILY LOW WATER USE & NATIVE PLANT SPECIES AND ORNAMENTAL PLANTS ADAPTED TO LOCAL CLIMATIC CONDITIONS. PLANTS ARE GROUPED BY HYDROZONE, & EXPOSURE. THE PLANTING DESIGN ALLOWS FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE AND ELIMINATES THE NEED FOR EXCESSIVE PRUNING OR HEDGING.

SELECTED TREES HAVE BEEN CHOSEN TO PROVIDE A VARIATION OF HEIGHTS, WIDTHS, COLORS, TEXTURES, AND CHARACTER. TREE LOCATION AND ORIENTATION HAVE BEEN DESIGNED FOR MAXIMUM AESTHETIC EFFECT AND PASSIVE SOLAR BENEFITS.

VEGETATED SWALES AND BIORETENTION TREATMENT AREAS WILL BE PLANTED WITH APPROVED WATER CONSERVING CAREX PANSA OR ALTERNATIVE GRASS SPECIES, AND PERIMETER SHRUBS THAT ARE ADAPTED TO BIO-SWALE CONDITIONS.

THE TREES, SHRUBS AND TURF PLANTING AREAS WILL BE DESIGNED IN CONJUNCTION WITH THE IRRIGATION SYSTEM FOR MAXIMUM WATER CONSERVATION. THE LANDSCAPES ESTIMATED TOTAL WATER USE WILL NOT EXCEED THE PROJECTS MAXIMUM WATER ALLOWANCE AS SPECIFIED IN THE THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

THE PLANTING & IRRIGATION DESIGN WILL COMPLY WITH THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

THE PLANTS HAVE BEEN SELECTED UTILIZING THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PLANT LIST, WUCOLS III. NO PLANTS ARE USED THAT ARE CONSIDERED INVASIVE IN THE THE REGION AS LISTED BY THE CAL-IPC.

IRRIGATION DESIGN INTENT STATEMENT

THE IRRIGATION SYSTEMS WILL UTILIZE A COMBINATION OF PRESSURE COMPENSATING LOW VOLUME DRIP EMITTERS, PRESSURE COMPENSATING LOW FLOW BUBBLERS & SPRAY HEADS. THE LOW, MEDIUM AND HIGH WATER USE PLANTS WILL BE ON SEPARATE VALVE CIRCUITS. PLANT SPECIES WILL BE GROUPED BY HYDROZONE AS STATED ABOVE.

ALL NEW TREES WILL BE IRRIGATED WITH DEEP WATERING BUBBLERS. THE GREAT LAWN WILL BE IRRIGATED WITH LOW GALLON USE SPRAY HEADS WITH MATCHED PRECIPITATION RATE HEADS. ADJACENT PAVING WILL BE DESIGNED TO DRAIN ENTIRELY TO THE LANDSCAPE AREAS SHOULD ANY OVER-SPRAY OCCUR.

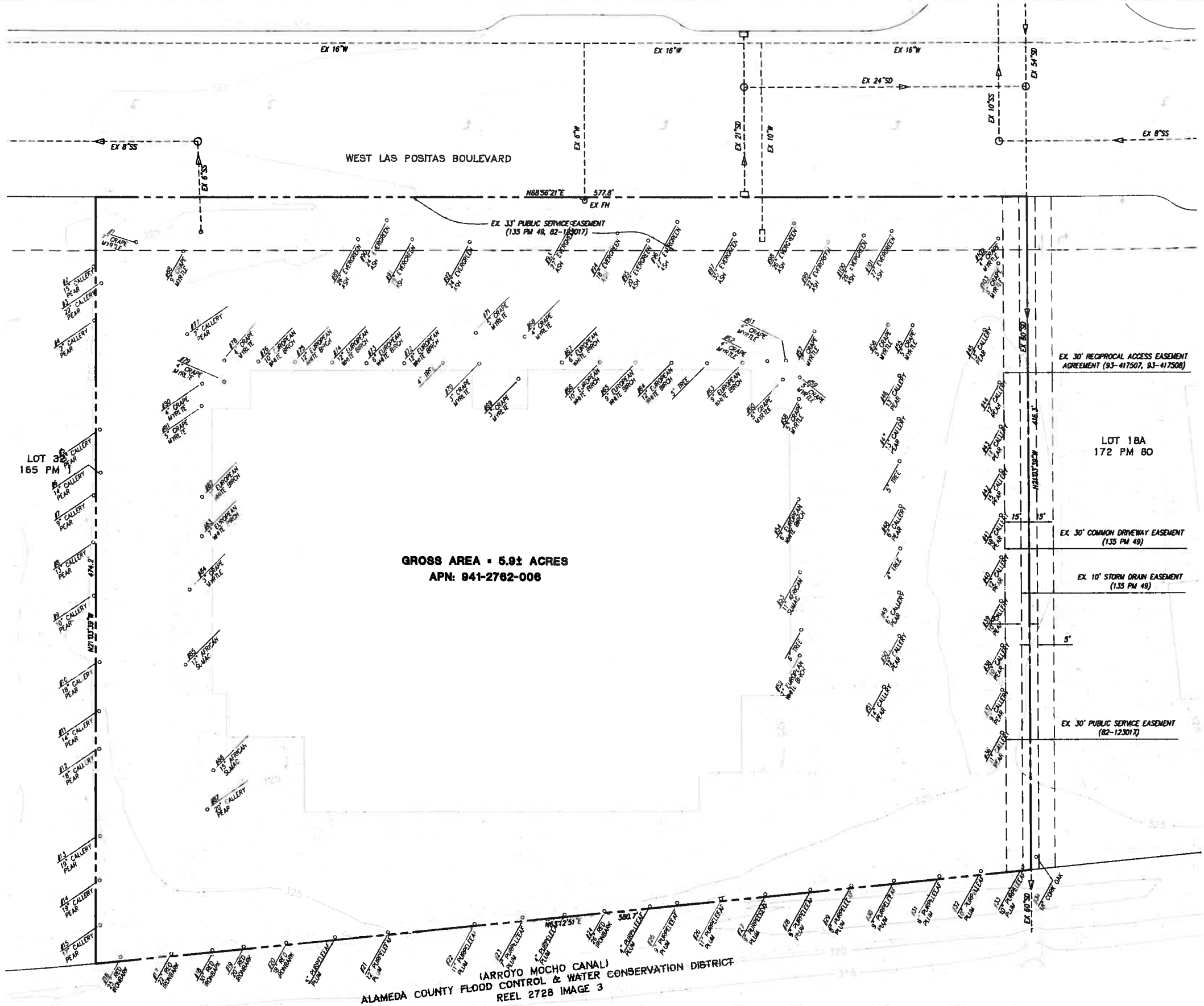
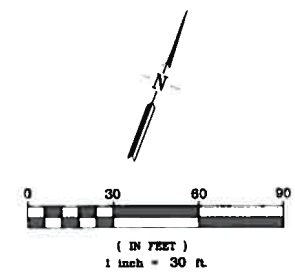
SMART E.T. BASED IRRIGATION CONTROLLERS SHALL BE UTILIZED TO OPTIMIZE EFFICIENT WATER APPLICATION. SMART CONTROLLERS AUTOMATICALLY ADJUST THEIR DAILY WATER SCHEDULE PROGRAMMING BASED UPON THE LOCAL CLIMATE AT THE PROJECT SITE. SMART CONTROLLERS RECEIVE WIRELESS DATA DAILY FROM THE IRRIGATION MANUFACTURERS WEATHER DATA SERVICE. A RAIN SWITCH WILL BE INSTALLED TO PREVENT IRRIGATION DURING RAINY PERIODS.

A FLOW SENSOR AND MASTER VALVE WILL BE CONNECTED TO THE SMART CONTROLLER TO ALLOW AUTOMATIC SHUT OFF OF ANY VALVE CIRCUIT OR MAIN LINE IN THE EVENT OF A PIPE BRAKE TO PREVENT WATER WASTE.

THE IRRIGATION SYSTEM DESIGN WILL COMPLY WITH THE 2010 CALIFORNIA WATER EFFICIENT LANDSCAPE ORDINANCE.







GROSS AREA = 5.9± ACRES  
APN: 841-2762-006

**EXISTING CONDITIONS PLAN**  
**5850 WEST LAS POSITAS BOULEVARD**  
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA  
FOR: SUMMERHILL APARTMENT COMMUNITIES

**RJA**  
**RUGGERI-JENSEN-AZAR**  
ENGINEERS • PLANNERS • SURVEYORS  
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588  
PHONE: (925) 227-9100 FAX: (925) 227-9300

NO.	DATE	DESCRIPTION	BY

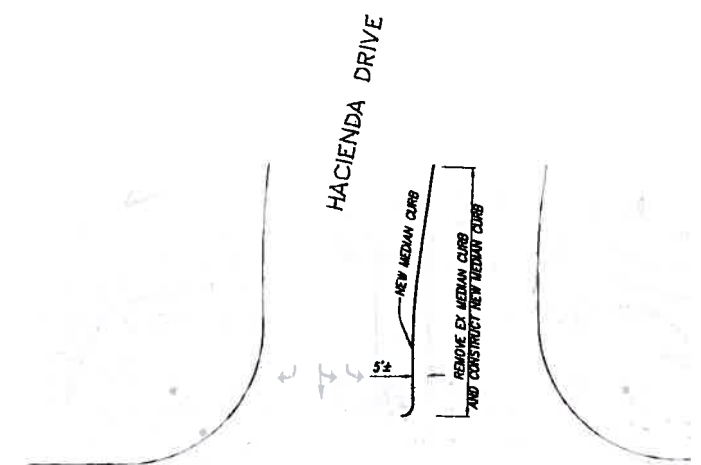
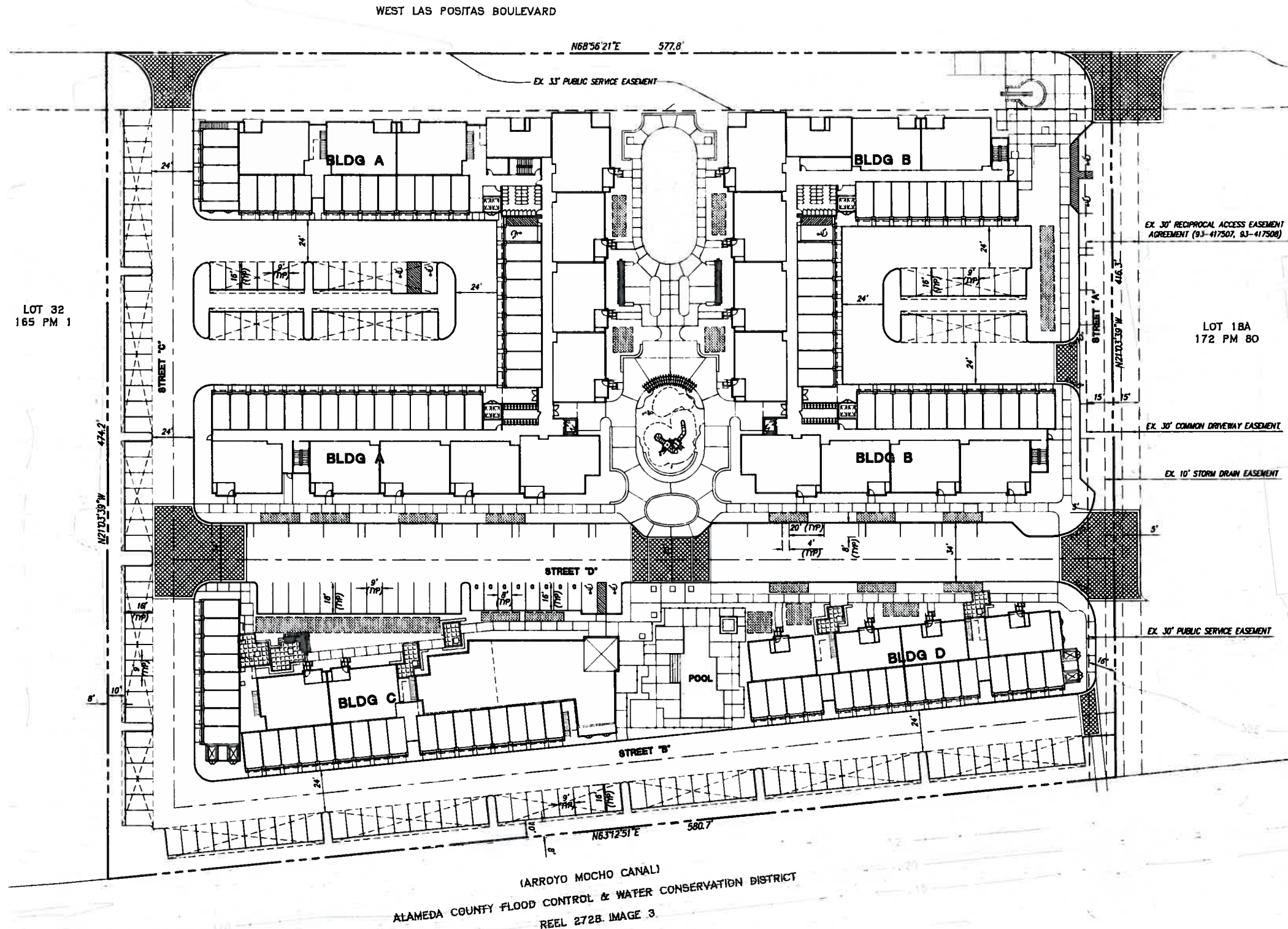
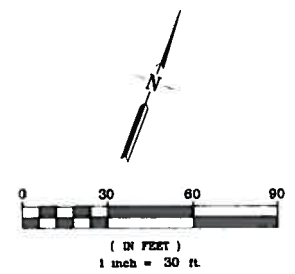
DATE: AUGUST 21, 2013

JOB NO.: 131045

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SEE HACIENDA DRIVE DETAIL ON THIS SHEET



(ARROYO MOCHO CANAL)  
ALAMEDA COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT  
REEL 272B, IMAGE 3.

**PRELIMINARY SITE PLAN**  
**5850 WEST LAS POSITAS BLVD.**  
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA  
FOR: SUMMERHILL APARTMENT COMMUNITIES

**SUMMARY PARKING COUNT**

GARAGE	110
CARPORT	142
ON-STREET	49
<b>TOTAL</b>	<b>301</b>

**RJA**  
**RUGGERI-JENSEN-AZAR**  
ENGINEERS • PLANNERS • SURVEYORS  
4690 CHABOT DR. VE., SUITE 200 PLEASANTON, CA 94588  
PHONE: (925) 227-9100 FAX: (925) 227-9300

NO.	DATE	DESCRIPTION	BY

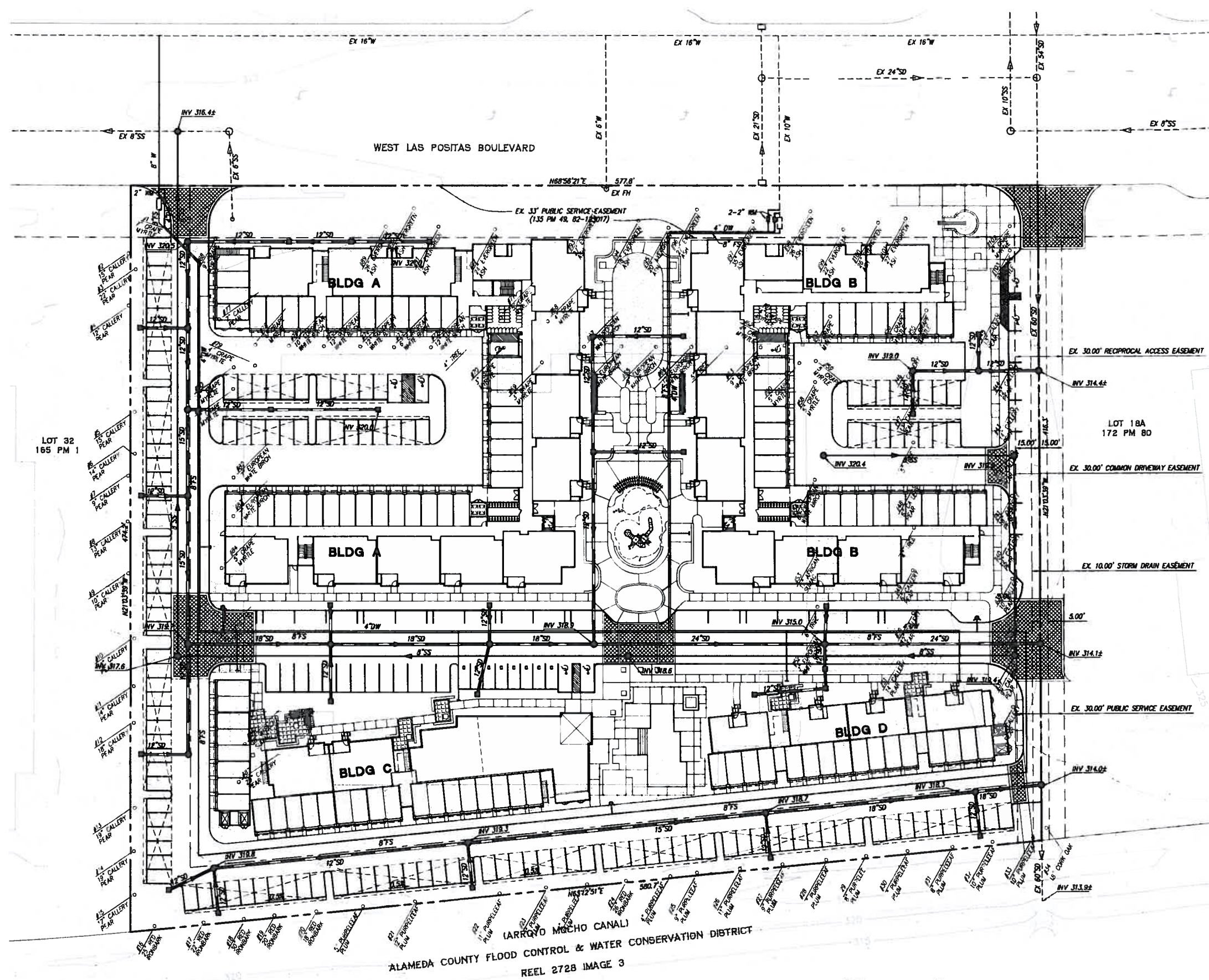
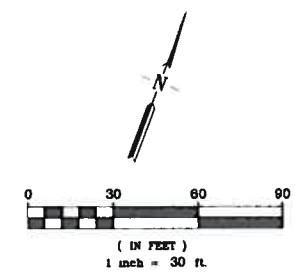
DATE: AUGUST 21, 2013

JOB NO.: 131045

SHEET NO.  
**C-2.0**

131045.P01 PRE-SUBMITTAL (131045-C2-D-SITE PLAN) 8/14/2013 2:02:28 PM ROBERT FONG





LOT 32  
165 PM 1

EX. 30.00' RECIPROCAL ACCESS EASEMENT

LOT 18A  
172 PM 80

EX. 30.00' COMMON DRIVEWAY EASEMENT

EX. 10.00' STORM DRAIN EASEMENT

EX. 30.00' PUBLIC SERVICE EASEMENT

ALAMEDA COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT  
REEL 2728 IMAGE 3

**UTILITY PLAN**  
**5850 WEST LAS POSITAS BLVD.**  
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA  
FOR: SUMMERHILL APARTMENT COMMUNITIES

**RJA**  
**RUGGERI-JENSEN-AZAR**  
ENGINEERS • PLANNERS • SURVEYORS  
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588  
PHONE (925) 227-9100 FAX (925) 227-9100

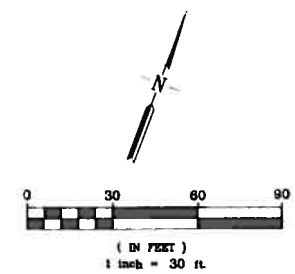
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JOB NO.: 131045

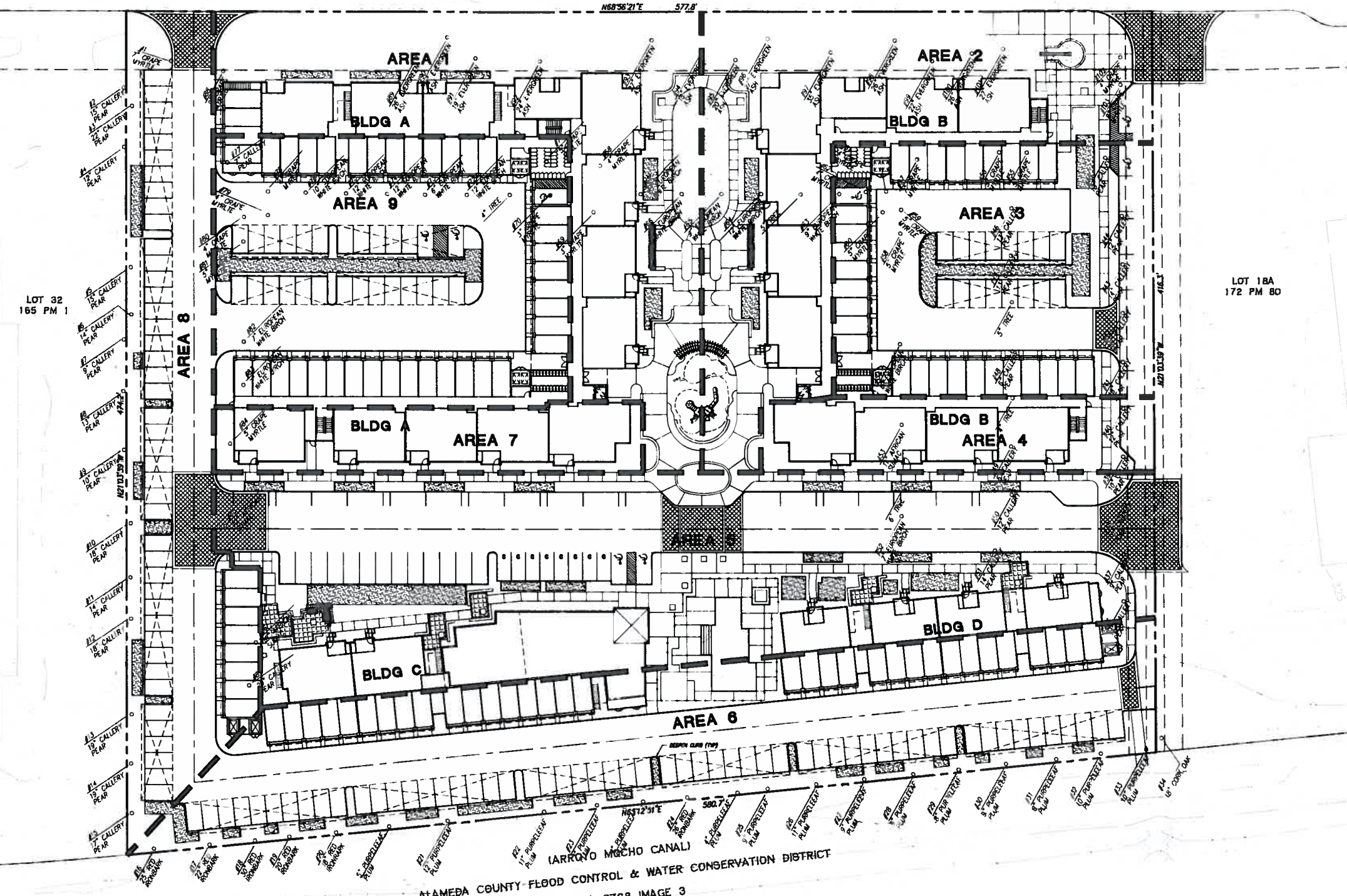
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**C-4.0**

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WEST LAS POSITAS BOULEVARD

N88°56'21"E 577.8'



LOT 32  
165 PM 1

LOT 18A  
172 PM 80

STORMWATER TREATMENT CALCULATION

AREA ID	SURFACE	IMPERVIOUS AREA (SF)	BMP USED	SIZING FACTOR	REQUIRED SURFACE AREA (SF)	SURFACE AREA AS PROVIDED (SF)
AREA 1	ROOF/PAY	13,835	BIO RETENTION	0.04	553	700
AREA 2	ROOF/PAY	13,835	BIO RETENTION	0.04	553	659
AREA 3	ROOF/PAY	27,000	BIO RETENTION	0.04	1,080	1,104
AREA 4	ROOF	7,900	BIO RETENTION	0.04	319	333
AREA 5	ROOF/PAY	57,200	BIO RETENTION	0.04	2,288	2,300
AREA 6	ROOF/PAY	34,505	BIO RETENTION	0.04	1,380	1,400
AREA 7	ROOF	9,200	BIO RETENTION	0.04	368	444
AREA 8	ROOF/PAY	19,663	BIO RETENTION	0.04	787	1,049
AREA 9	ROOF/PAY	30,600	BIO RETENTION	0.04	1,224	1,328


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ALAMEDA COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT  
 (ARRIJO MACHO CANAL)  
 REEL 2728 IMAGE 3

# STORMWATER MANAGEMENT PLAN

## 5850 WEST LAS POSITAS BLVD.

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA  
 FOR: SUMMERHILL APARTMENT COMMUNITIES



**RUGGERI-JENSEN-AZAR**  
 ENGINEERS • PLANNERS • SURVEYORS  
 4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588  
 PHONE: (925) 227-9100 FAX: (925) 227-9300

NO.	DATE	DESCRIPTION	BY

DATE: AUGUST 21, 2013

JOB NO.: 131045

SHEET NO.

**C-5.0**

**NORTH ELEVATION - BUILDING A**

**EXHIBIT B**



**NORTH ELEVATION - BUILDING B**



**5850 WEST LAS POSITAS BLVD**

**CONCEPTUAL ELEVATIONS**

0 4 8 16  
**A4.1**

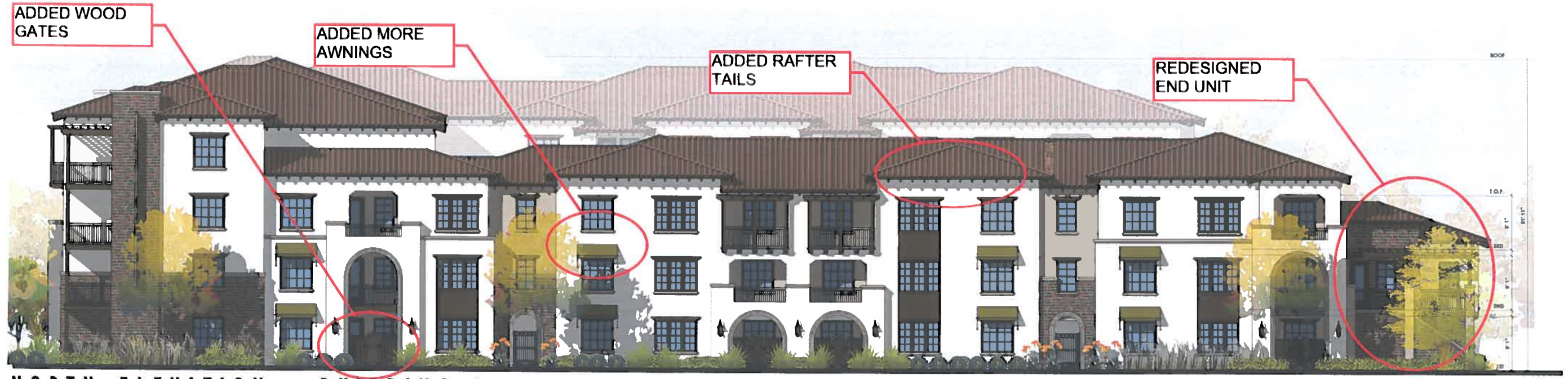


**SummerHill Apartment Communities**  
3000 Executive Parkway, Suite 450  
San Ramon, CA 94583  
650.842.2268  
www.shapartments.com

**PLEASANTON, CALIFORNIA**  
K T G Y # 2013-0313 08/21/2013

**KTGY Group, Inc.**  
**Architecture+Planning**  
1733 Ocean Ave., Suite 250  
Santa Monica, CA 90401  
310.394.2623  
ktgy.com





**NORTH ELEVATION - BUILDING A**



**NORTH ELEVATION - BUILDING B**

Building height dimensions are measured from finished floor to top of roof and do not include slab height to finished grade, which is a minimum of 8" and will vary depending on site grading. Colors depicted are representations and may not be accurate due to printing variations. Refer to Material Board for actual samples.

**5850 WEST LAS POSITAS BLVD**

**BUILDING A ELEVATIONS**

PLEASANTON, CALIFORNIA  
X T G Y # 2013-0313 12/20/2013

0 4 8 16  
**A6.1**



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**PROPOSED ELEVATION ENHANCEMENTS**



**5850 WEST LAS POSITAS BLVD**

**PERSPECTIVE VIEW - BUILDING B FROM NORTHEAST**

**A5.1**



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[www.shapartments.com](http://www.shapartments.com)

**PLEASANTON, CALIFORNIA**  
 K T G Y # 2013-0313      08/21/2013

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PERSPECTIVE VIEW - BUILDING B FROM NORTHEAST

A7.1

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PROPOSED ELEVATION ENHANCEMENTS



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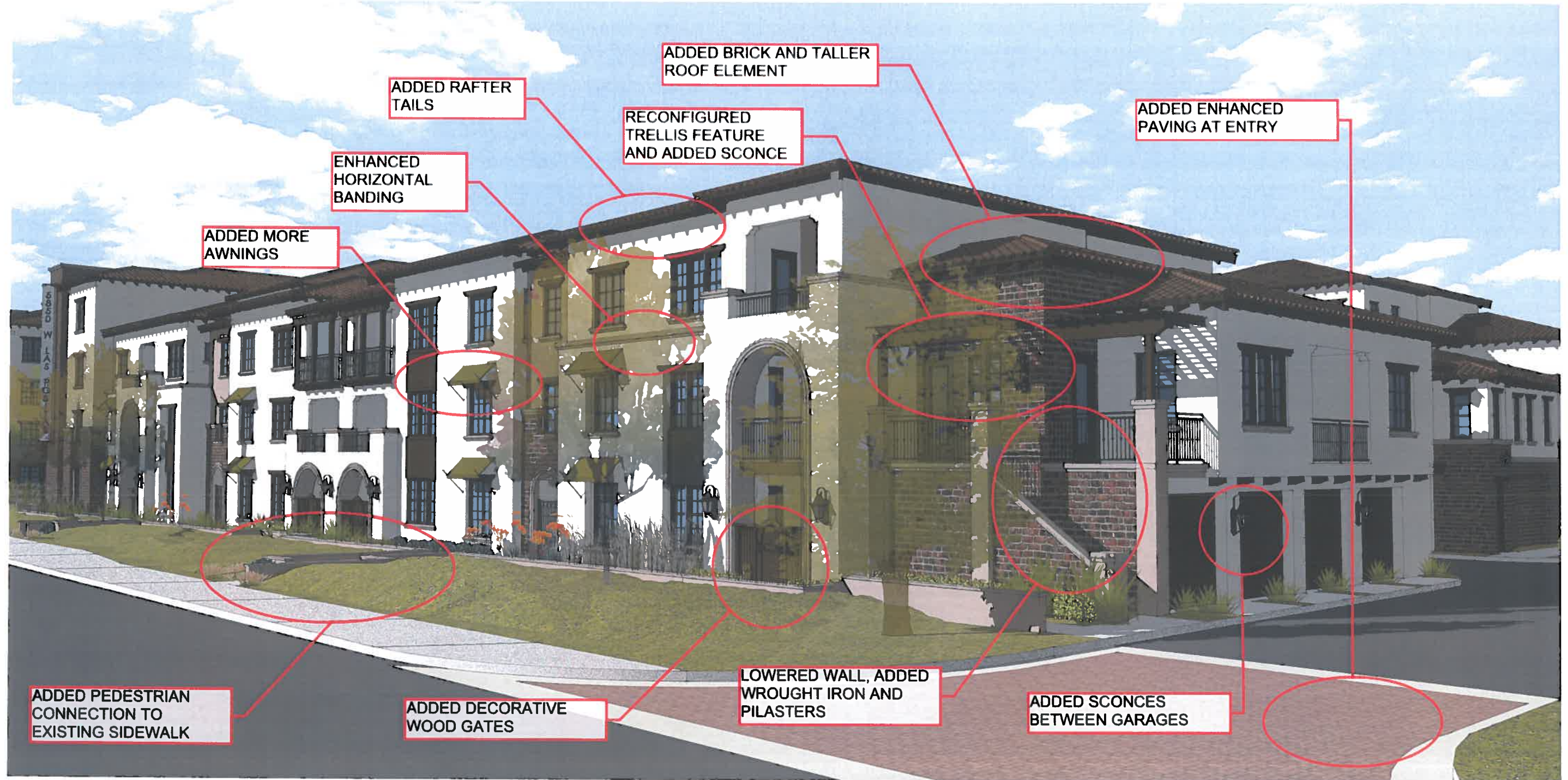
## PERSPECTIVE VIEW - BUILDING A FROM NORTHWEST

A5.2

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COMMUNITIES OF DISTINCTION

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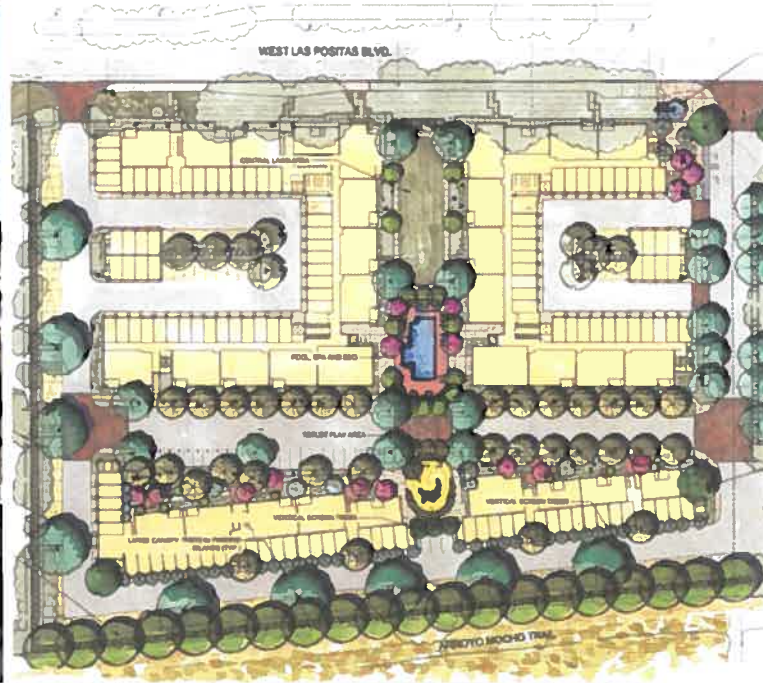
## PERSPECTIVE VIEW - BUILDING A FROM NORTHWEST

A7.2

PLEASANTON, CALIFORNIA  
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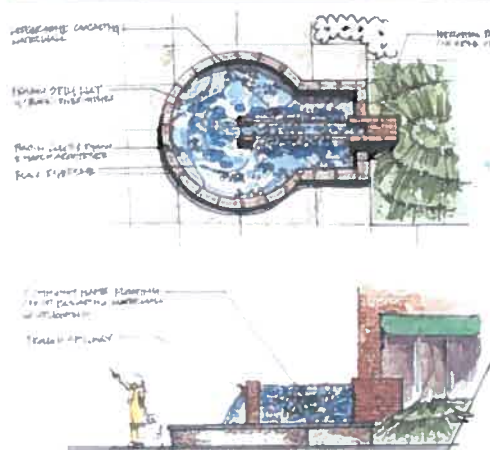




SHEET INDEX

EXHIBIT B

A1.1	EXISTING SITE PHOTOS
A1.2	LAND USE CONTEXT
A1.3	CIRCULATION CONTEXT
A1.4	CONCEPTUAL SITE PLAN
A1.5	OPEN SPACE DIAGRAM
A2.1-A2.6	FLOOR PLANS
A3.1-A3.2	ROOF PLANS
A4.1-A4.6	UNIT PLANS
A5.1	TYPICAL BUILDING SECTIONS
A6.1-A6.9	CONCEPTUAL ELEVATIONS
A7.1-A7.4	CONCEPTUAL PERSPECTIVES
A8.1	COLORS & MATERIALS
L1.0	CONCEPTUAL LANDSCAPE PLAN
L1.1-L1.2	CONCEPTUAL LANDSCAPE ENLARGEMENTS
L2.0-L2.2	CONCEPTUAL LANDSCAPE DETAILS
L3.0	CONCEPTUAL PLANT LIST & DESIGN INTENT
L3.1	CONCEPTUAL PLANT IMAGERY
C1.0	EXISTING CONDITIONS PLAN
C2.0	PRELIMINARY SITE PLAN
C3.0	PRELIMINARY FIRE HYDRANT LOCATION AND FIRE TURNING PATH PLAN
C4.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C5.0	PRELIMINARY UTILITY PLAN
C6.0	PRELIMINARY STORMWATER MANAGEMENT PLAN
JT1	JOINT TRENCH COMPOSITE TITLE SHEET
JT2-JT4	JOINT TRENCH GENERAL NOTES AND DETAILS
JT5-JT8	JOINT TRENCH COMPOSITE PLANS
SL1-SL2	STREET LIGHTING GENERAL NOTES AND DETAILS
SL3-SL6	STREET LIGHTING SITE PLAN
PE	PHOTOMETRIC EXHIBIT



AN APARTMENT COMMUNITY BY:

DESIGN TEAM:

OWNER/DEVELOPER:



SHAC LAS POSITAS APARTMENTS LLC  
3000 EXECUTIVE PARKWAY, SUITE 450  
SAN RAMON, CA 94583  
CONTACT: KEVIN EBRAHIMI  
T: 650.842.2268  
KEBRAHIMI@SHHOMES.COM

ARCHITECT:



KTGY GROUP INC.  
1733 OCEAN AVE, SUITE 250  
SANTA MONICA, CA 90401  
CONTACT: MANNY GONZALEZ  
T: 310.394.2623  
MGONZALEZ@KTGY.COM

LANDSCAPE ARCHITECT:



YAN DORN ABED  
81 14TH STREET  
SAN FRANCISCO, CA 94103  
CONTACT: ZEKI ABED  
T: 415.864.1921 X 104  
ZEKI@VALAINC.COM  
WWW.VALAINC.COM

CIVIL ENGINEER:

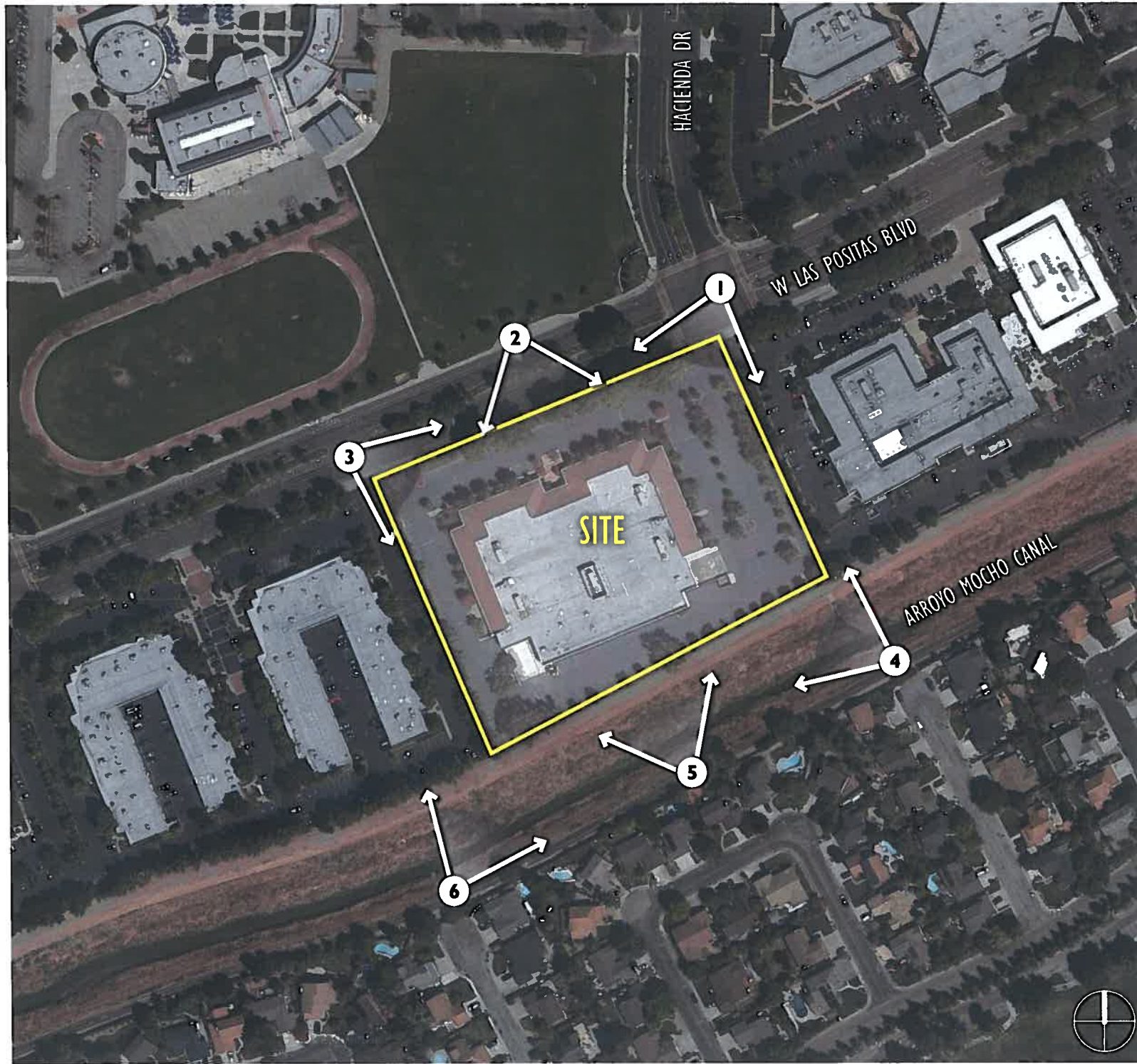


RUGGERI - JENSEN - AZAR  
4690 CHABOT DRIVE  
SUITE 200  
PLEASANTON, CA 94588  
CONTACT: EDDIE SIUE, P.E.  
T: 925.227.9100  
ESIEU@RJA-GPS.COM  
WWW.RJA-GPS.COM

UTILITY CONSULTANT:



TARRAR  
3361 WALNUT BLVD  
SUITE 100  
BRENTWOOD, CA 94513  
CONTACT: KHALID TARRAR  
T: 925.240.2595  
KHALID@TARRAR.COM  
WWW.TARRAR.COM



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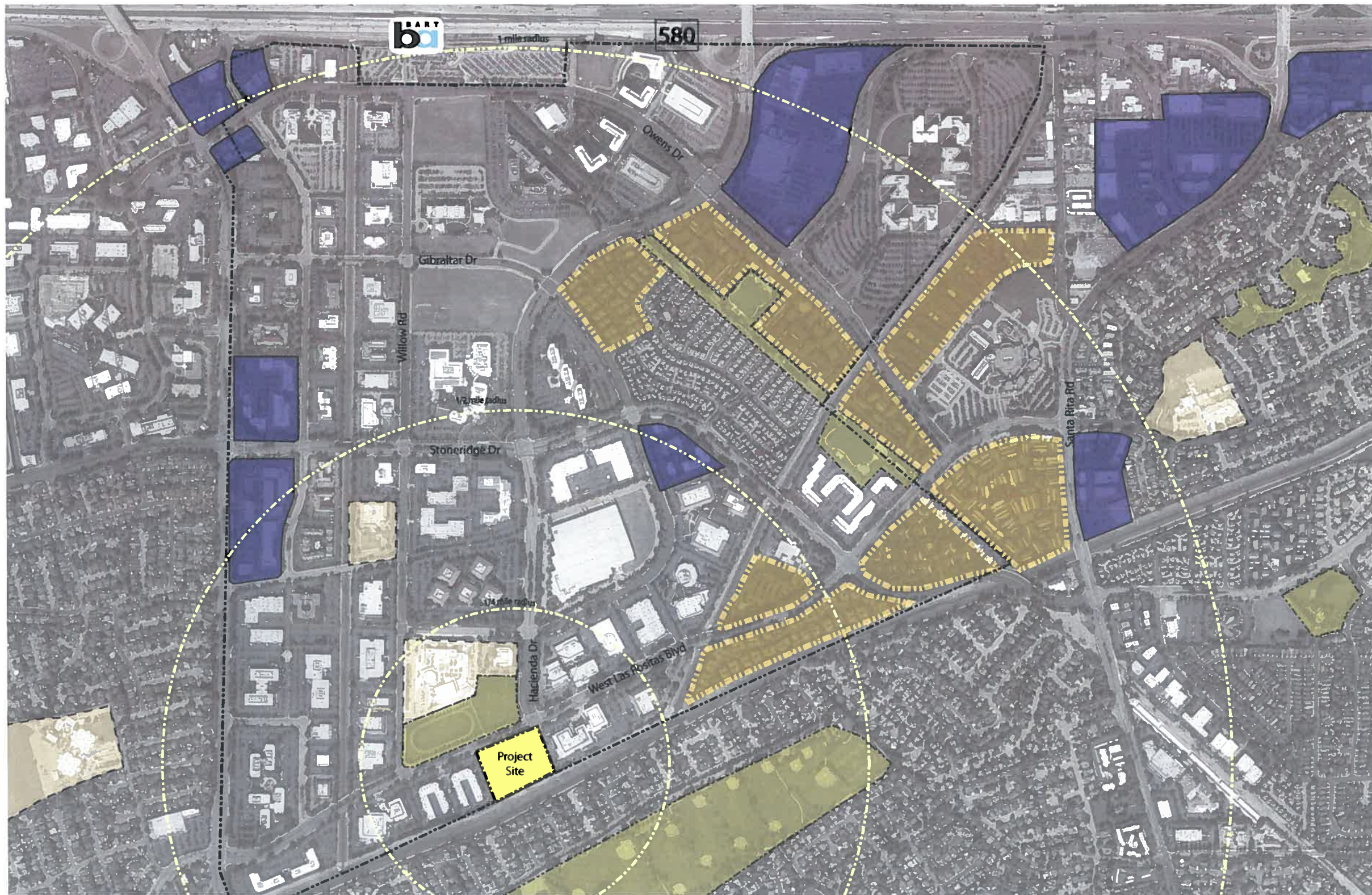
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SITE PHOTOS









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**LEGEND:**

-  BART Station
-  Project Site
-  Major Shopping Areas
-  Schools
-  Multifamily Housing
-  Parks & Open Spaces
-  Hacienda Business Park
-  Walking Distances from the Site (1/4, 1/2, 1 mile)



# 5850 WEST LAS POSITAS BLVD

# LAND USE CONTEXT

AI.2

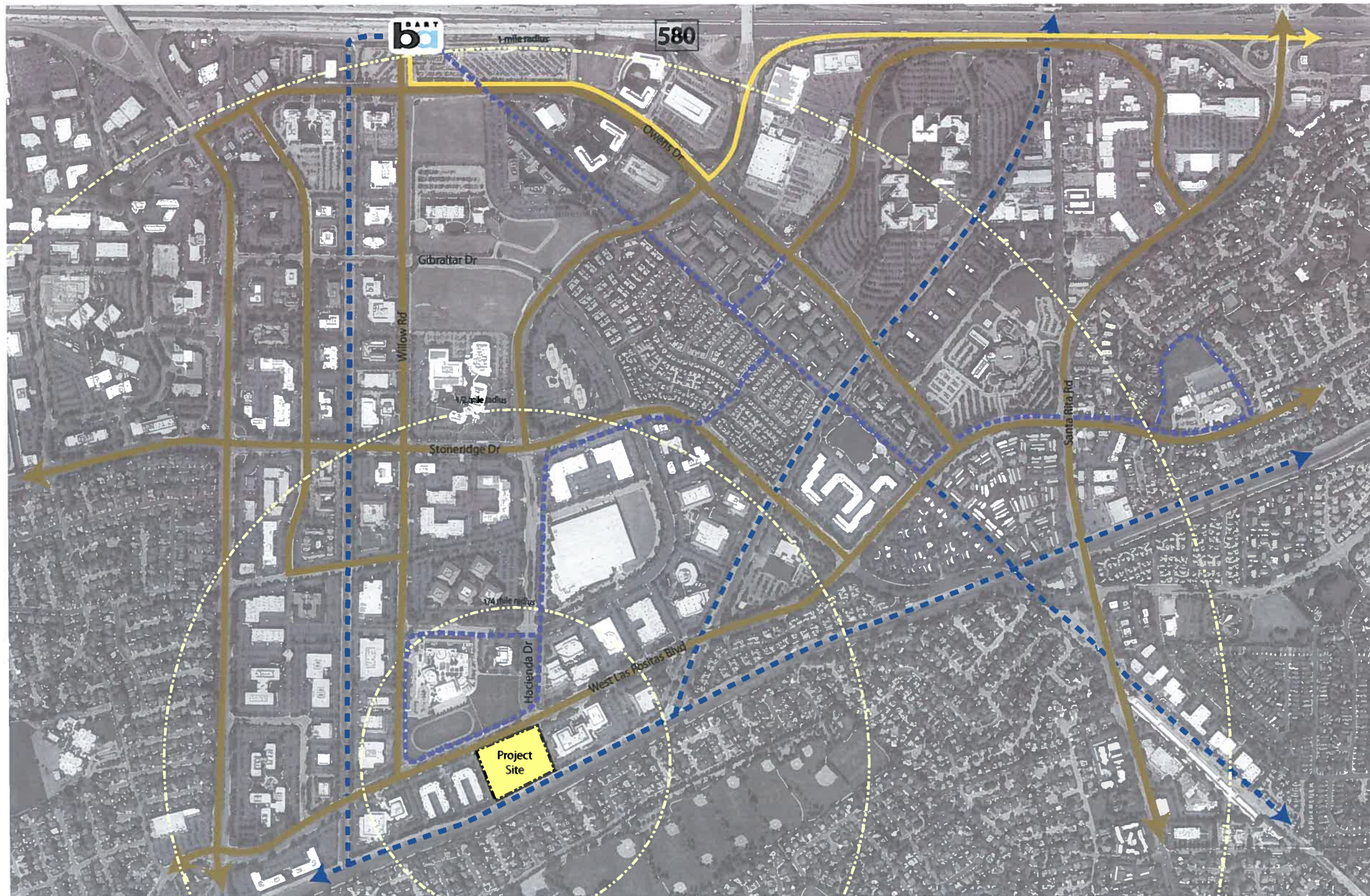


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





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**LEGEND:**

-  BART Station
-  Project Site
-  Wheels Routes
-  Wheels Connection to Ace Train
-  Walkways/Bikeways to Schools
-  Class 1 Bikeway/ Multi-use Trail
-  Walking Distances from the Site (1/4, 1/2, 1 mile)

# 5850 WEST LAS POSITAS BLVD

# CIRCULATION CONTEXT

AI.3

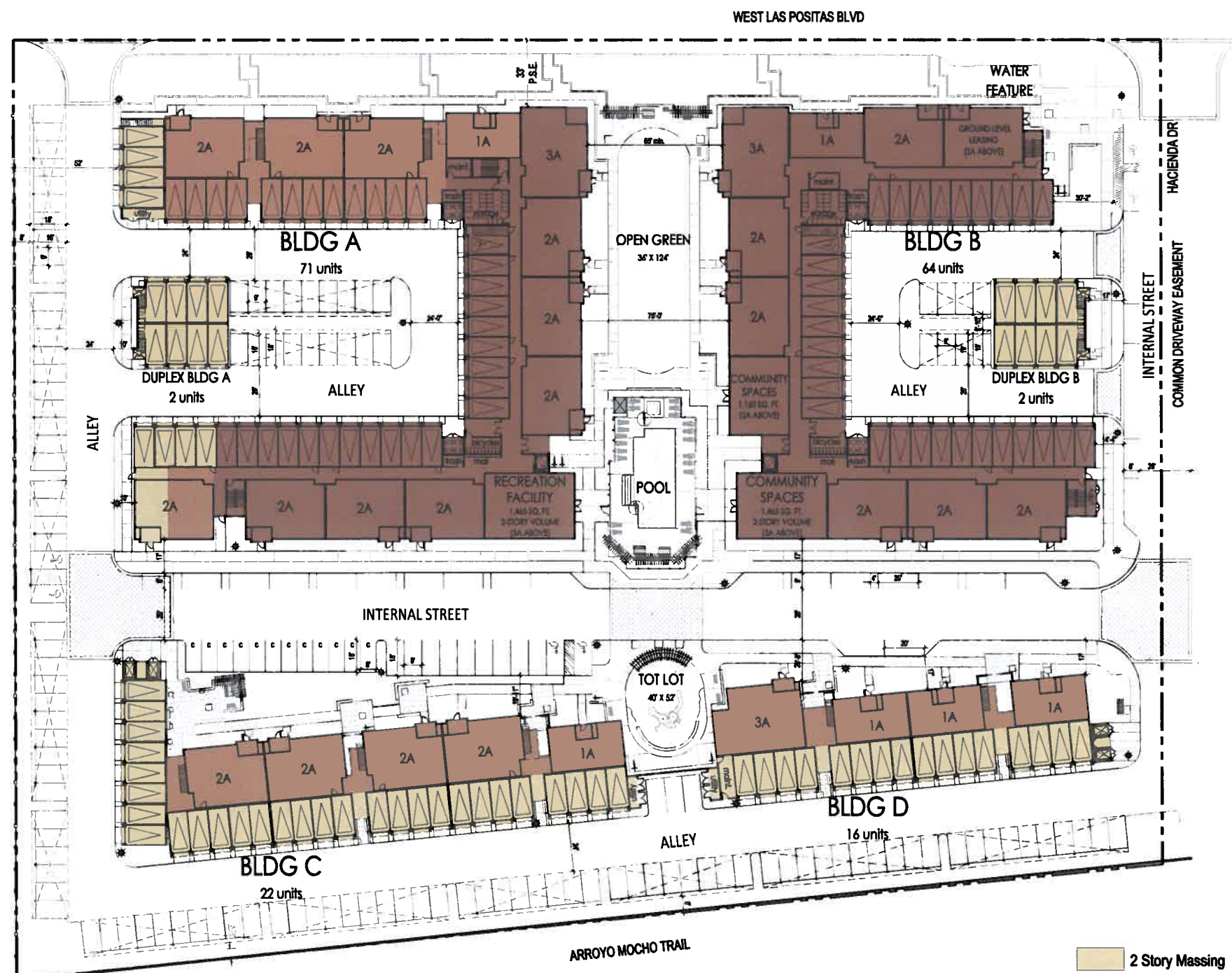


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# PROJECT SUMMARY

Site Area: 5.9 acres or 257,283 sq. ft.      Gross Floor Area: 227,060 sq. ft.  
 Total Units: 177 DU      Building Footprint: 85,000 sq. ft.  
 Density: 30.0 DU/AC      Building Coverage: 33%  
 Building Heights: 2 to 4 Stories      Landscaped Area: 44,530 sq. ft.

## DEVELOPMENT STANDARDS: (Per Housing Site Design Guidelines)

Front Setbacks: 33' min. from public streets  
 17' min. from internal streets  
 Side Setbacks: 8' min. to carports  
 50' min. from west property line to bldg.  
 Rear Setback: 8' min. to carports  
 Alley Setbacks:\* 5' min. to garage door  
 3' min. to upper stories  
 Drive aisle widths: 26' min. internal streets  
 24' min. alleys

**PARKING REQUIRED:**  
 1.5 spaces per 1-bedrm unit x 85 = 130 spaces  
 1.5 spaces per 2-bedrm unit x 77 = 116 spaces  
 2 spaces per 3-bedrm unit x 15 = 30 spaces  
 1 visitor space per 7 units x 177 = 25 spaces  
**301 spaces required**

**PARKING PROVIDED:**  
 Garage spaces - 10' x 20' min. 130 spaces (2 accessible)  
 Carport spaces - 9' x 18' min.\*\* 124 spaces (2 accessible)  
 Uncovered spaces - 9' x 18' min. 38 spaces (4 accessible)  
 Compact spaces - 8' x 16' min. 12 spaces  
**304 (8 accessible) spaces provided**

**SECURE BICYCLE PARKING REQUIRED:**  
 0.8 per unit x 177 = **142 spaces required**

**SECURE BICYCLE PARKING PROVIDED:**  
 Inside Private Garages: 130 spaces  
 Inside Bicycle Storage Rooms: 20 spaces  
**150 spaces provided**

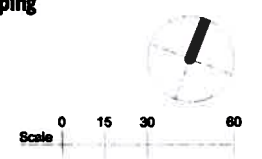
**RESIDENTIAL STORAGE REQUIRED:**  
 40 cu. ft. per unit x 177 = **7,080 cu. ft. storage required**

**RESIDENTIAL STORAGE PROVIDED:**  
 40 cu. ft. patio storage x 153 = 6,120 cu. ft. provided on patios  
 2'w x 3'd x 6'-8"h typ. locker x 152 = 6,080 cu. ft. provided in storage rooms  
**12,200 cu. ft. storage provided**

**NOTES:**  
 \* Zero setbacks to face of carriage buildings, with 2' garage door recess  
 \*\* Carport depth includes 2' vehicle overhang above landscaping

UNIT MIX:	BUILDING				TOTAL
	A	B	C	D	
1-BEDROOM	32	30	10	13	85
2-BEDROOM	35	30	12		77
3-BEDROOM	6	6		3	15
	73	66	22	16	177 units

- 2 Story Massing
- 3 Story Massing
- 4 Story Massing
- Carport



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CONCEPTUAL SITE PLAN

A1.4



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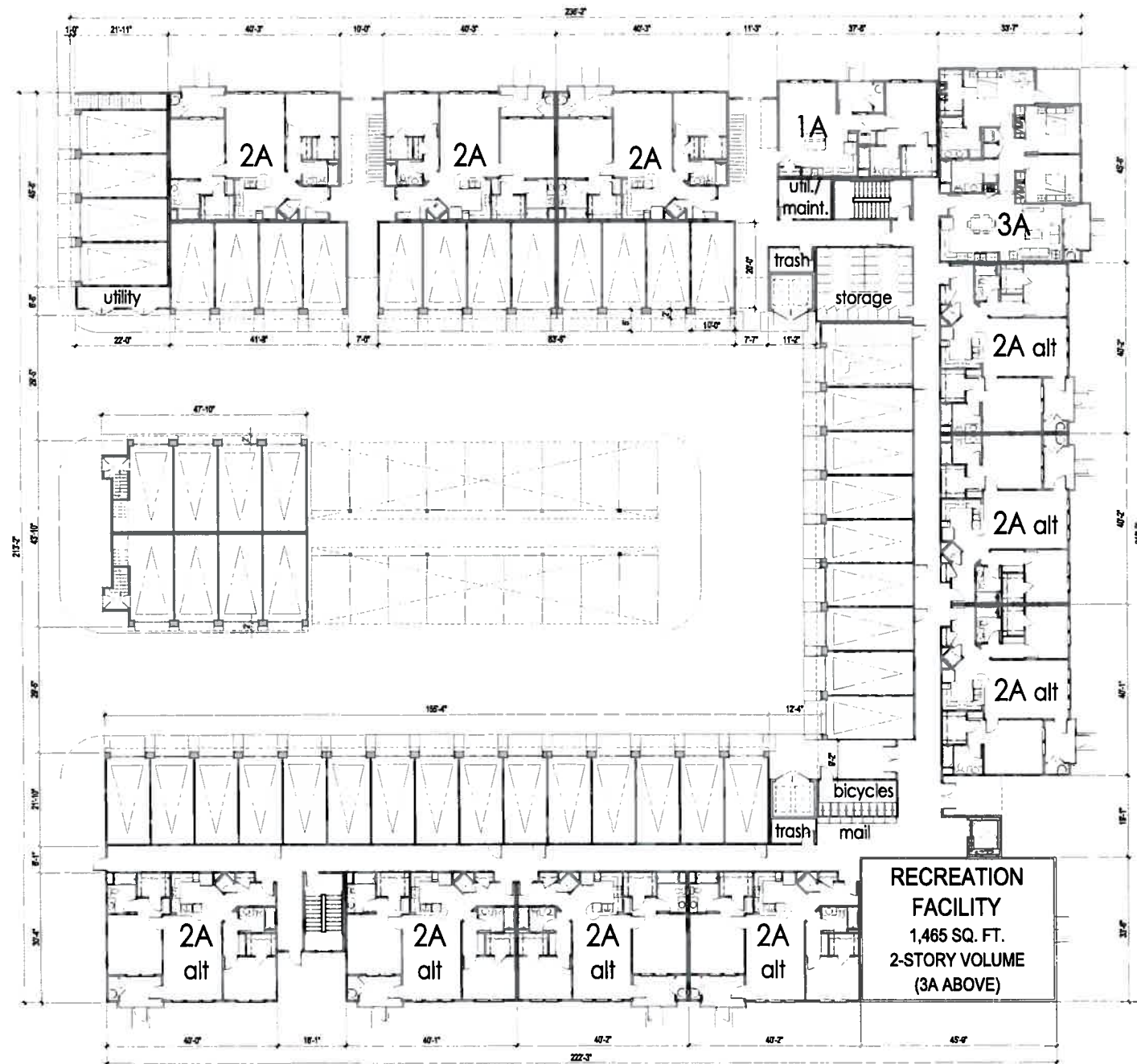
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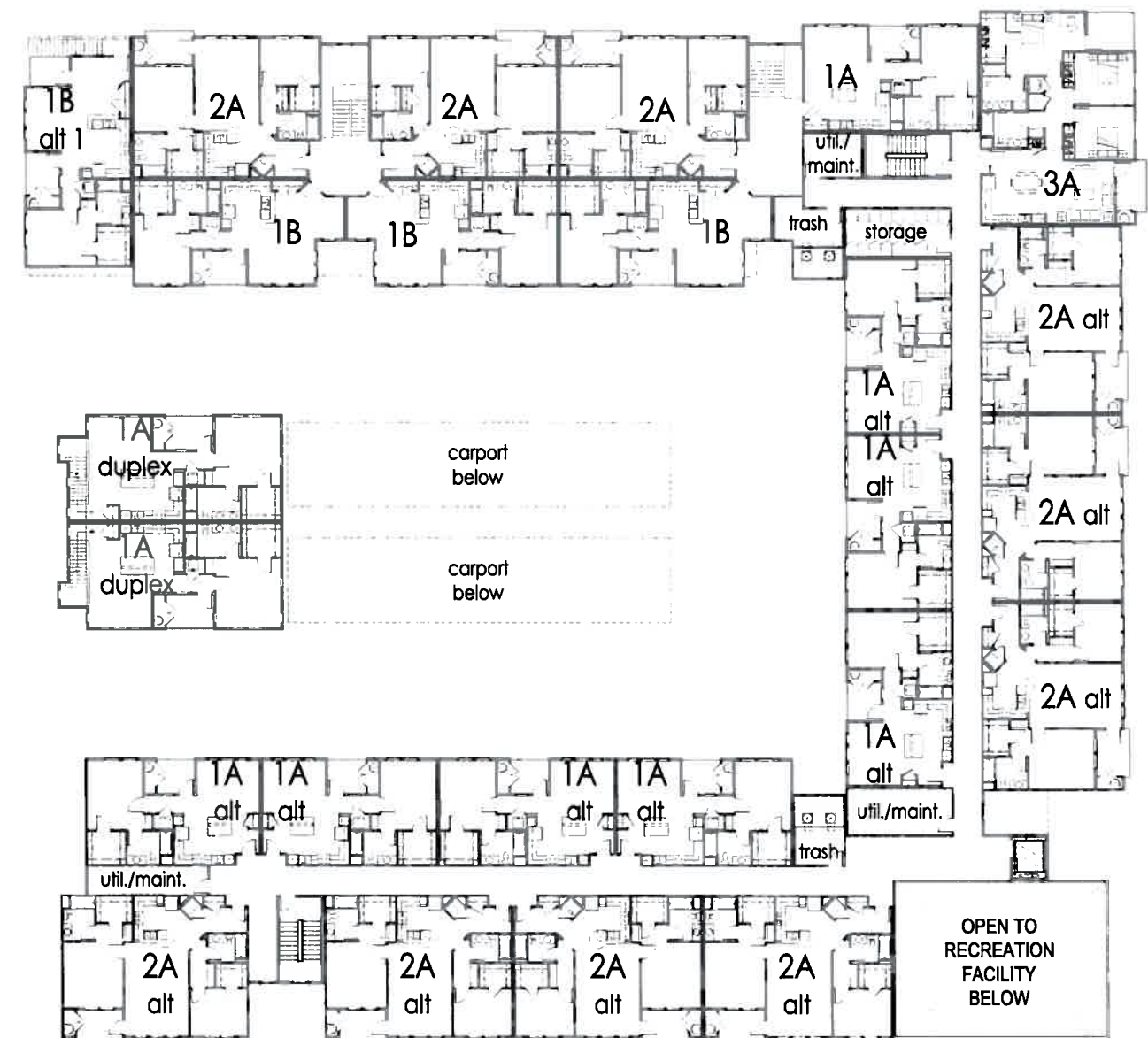




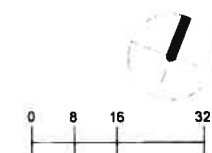




GROUND LEVEL



SECOND LEVEL



5850 WEST LAS POSITAS BLVD

BUILDING A FLOOR PLANS

A2.1

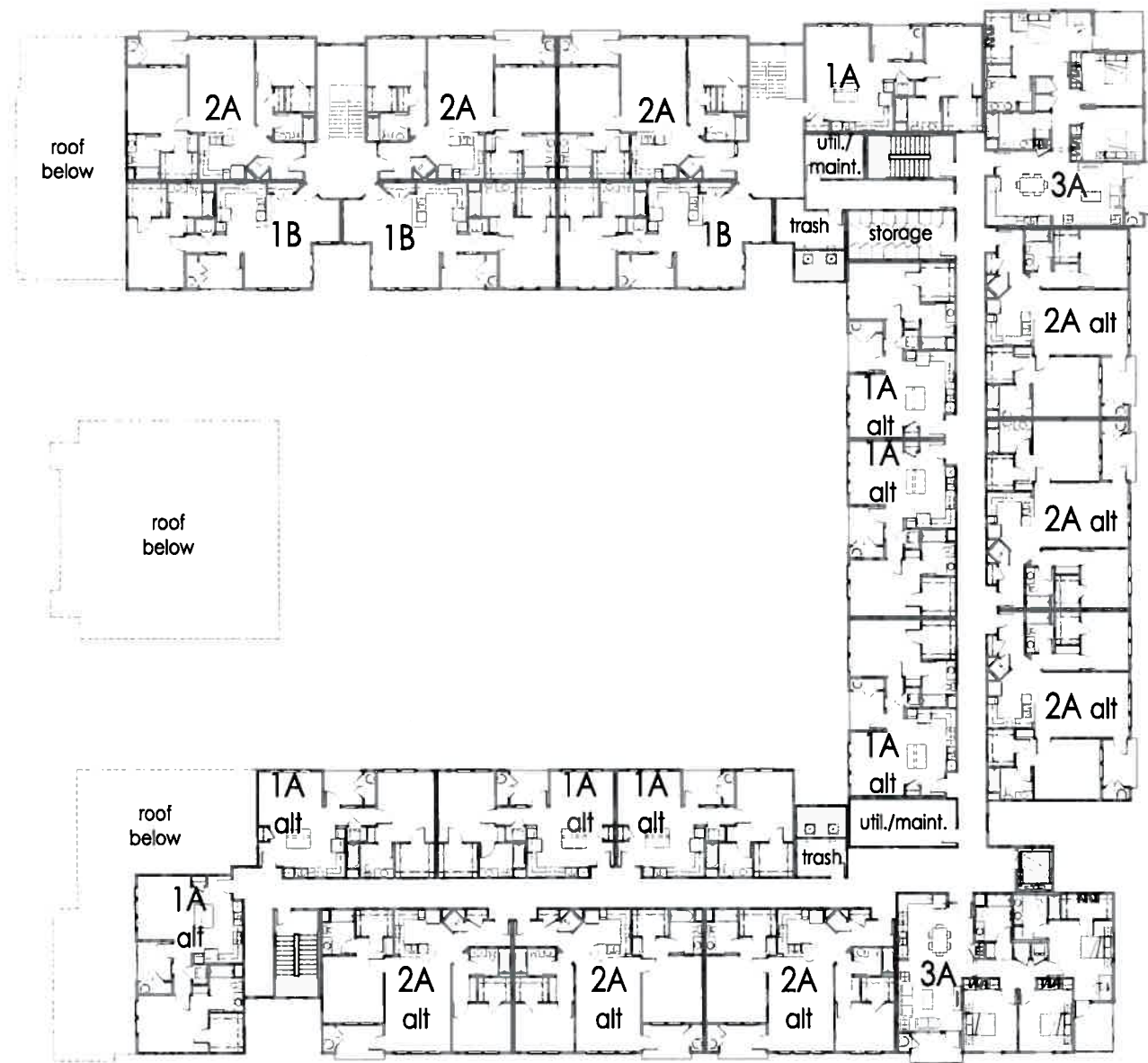


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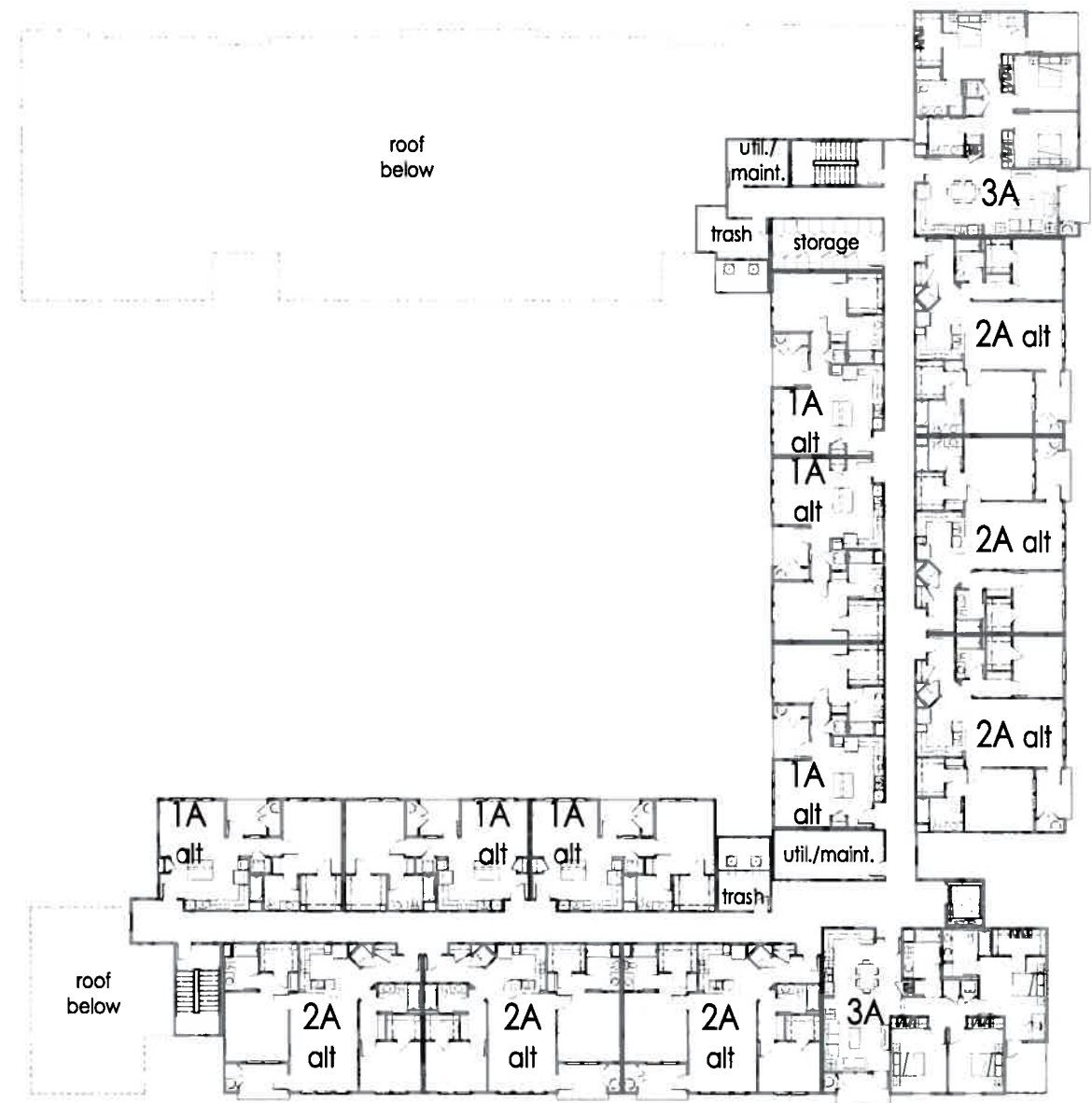
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THIRD LEVEL



FOURTH LEVEL

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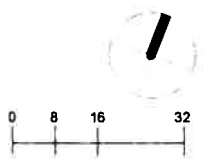


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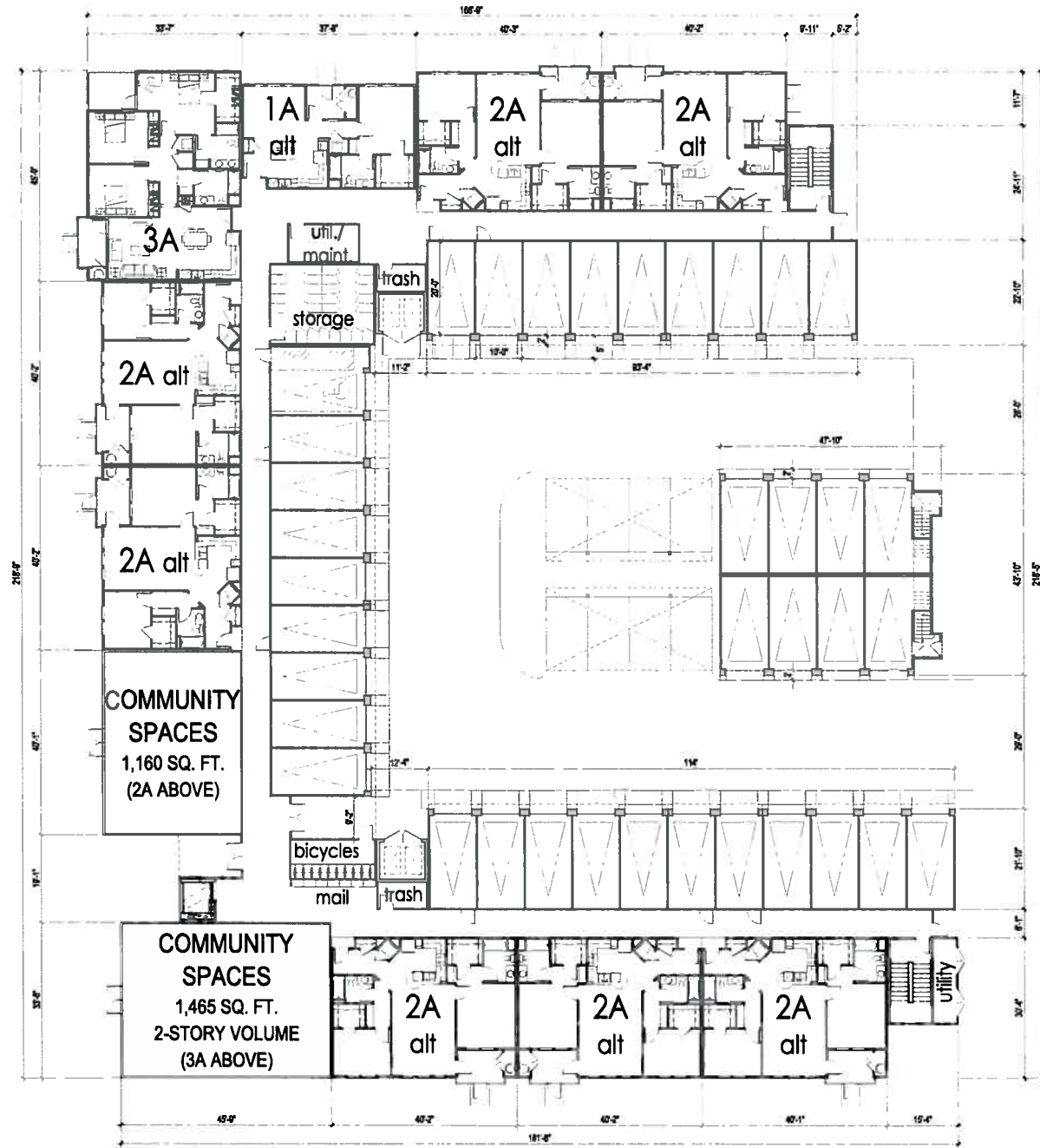
BUILDING A FLOOR PLANS

PLEASANTON, CALIFORNIA  
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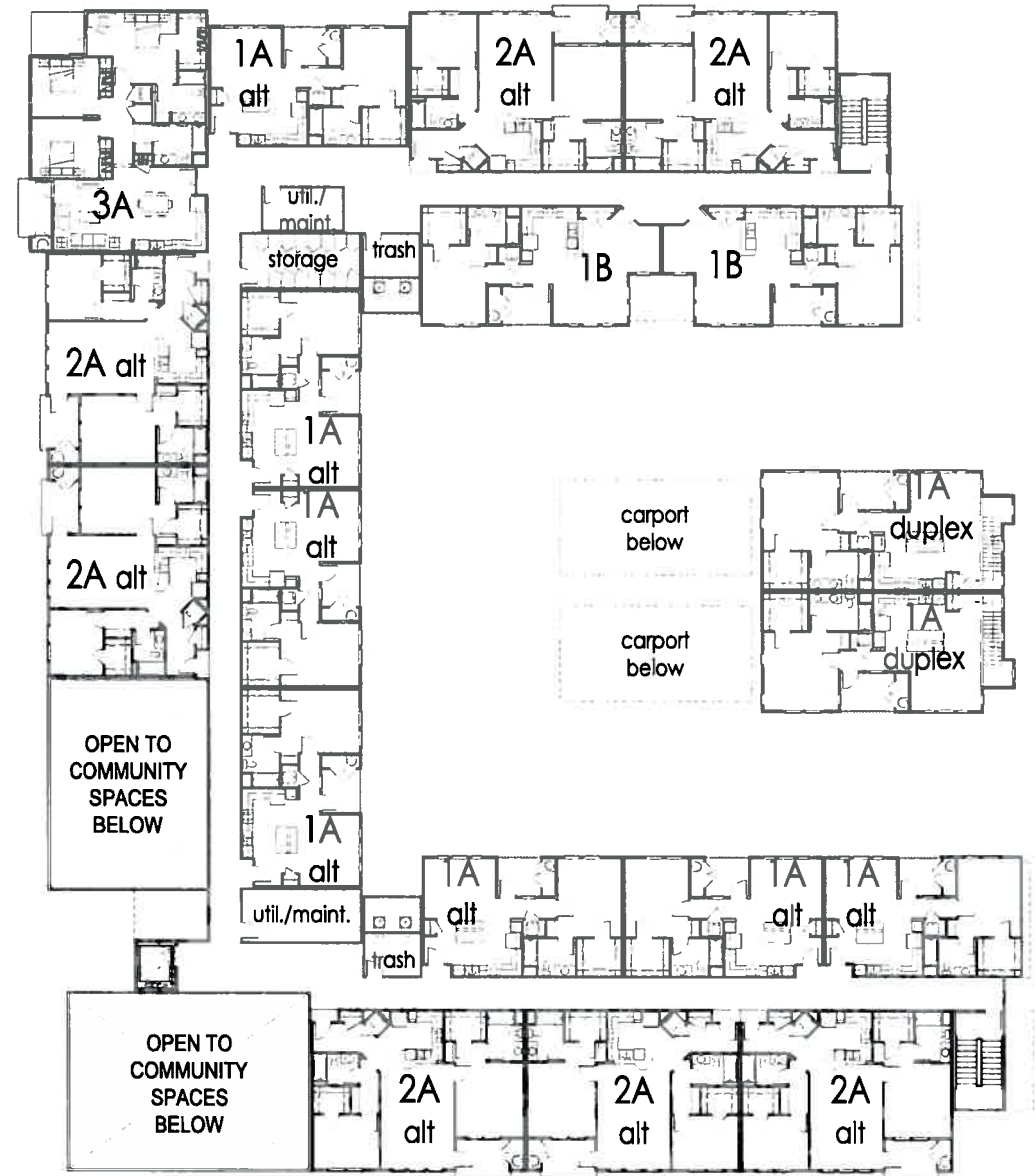
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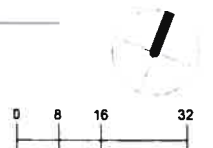
A2.2



GROUND LEVEL



SECOND LEVEL



5850 WEST LAS POSITAS BLVD

BUILDING B FLOOR PLANS

A2.3

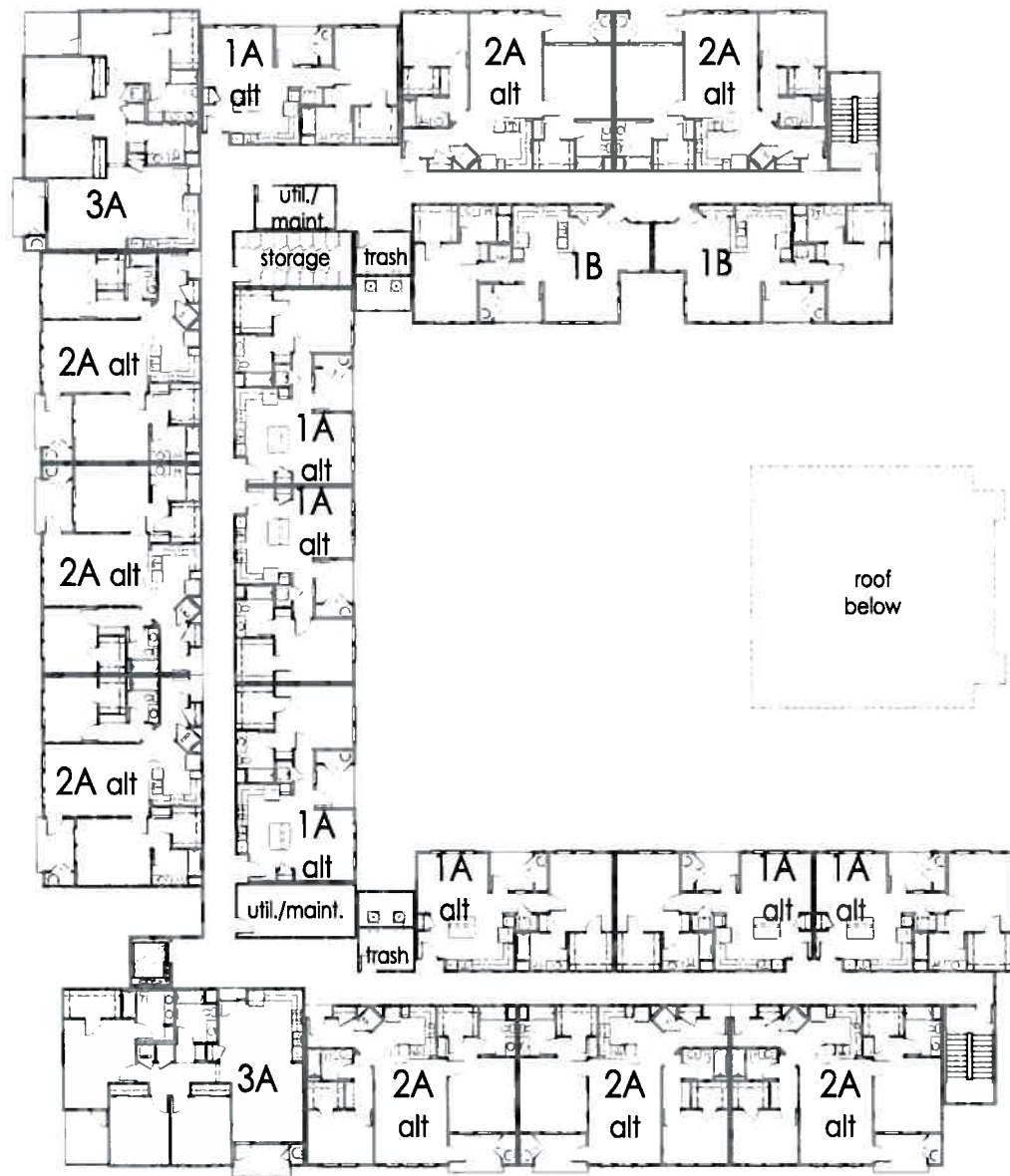


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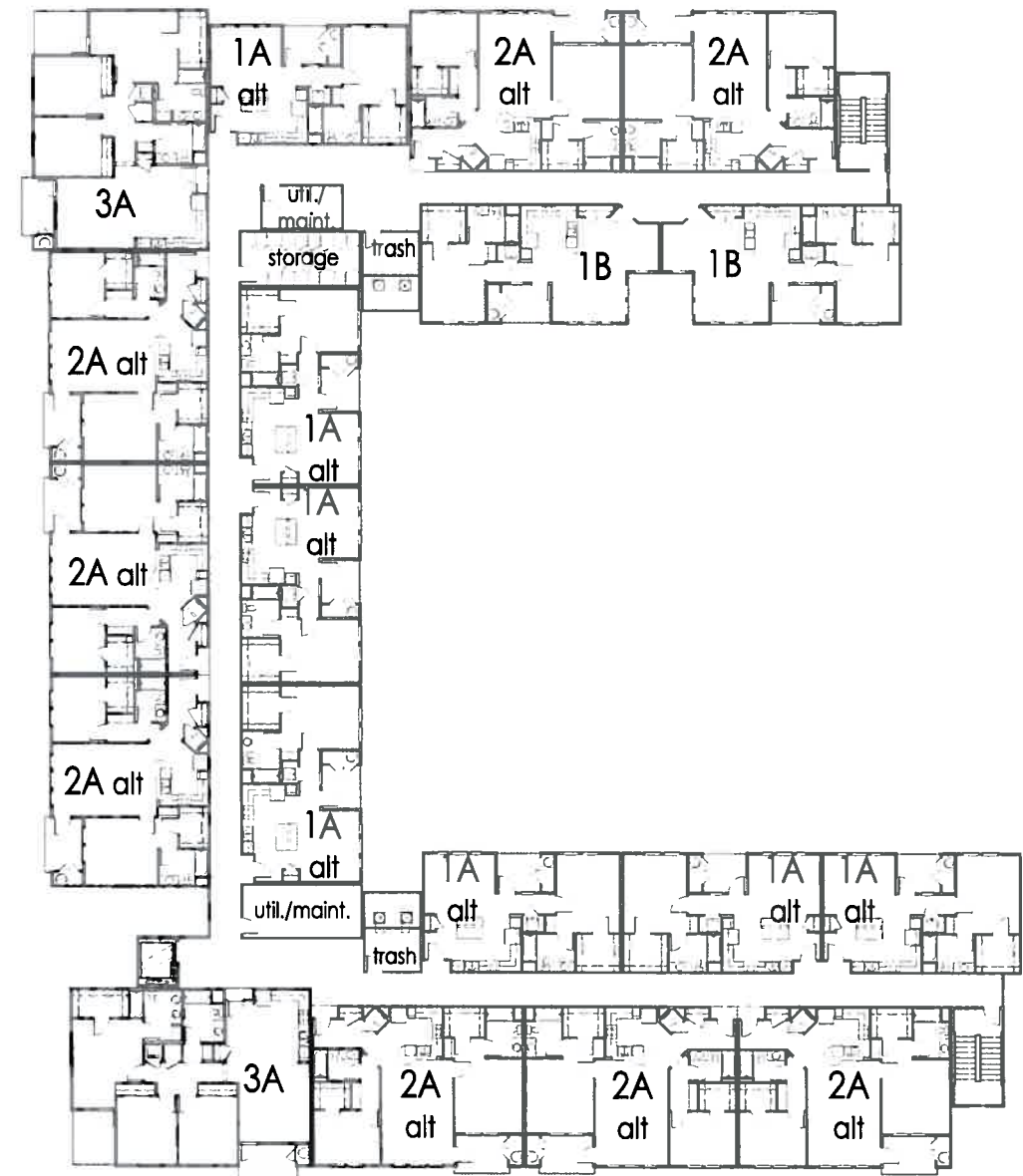
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THIRD LEVEL



FOURTH LEVEL



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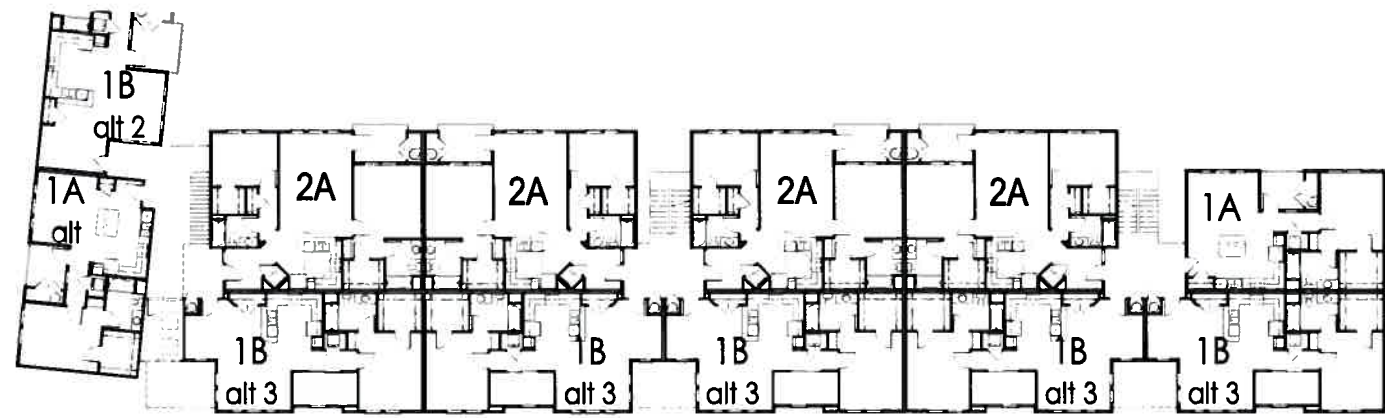
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BUILDING B FLOOR PLANS

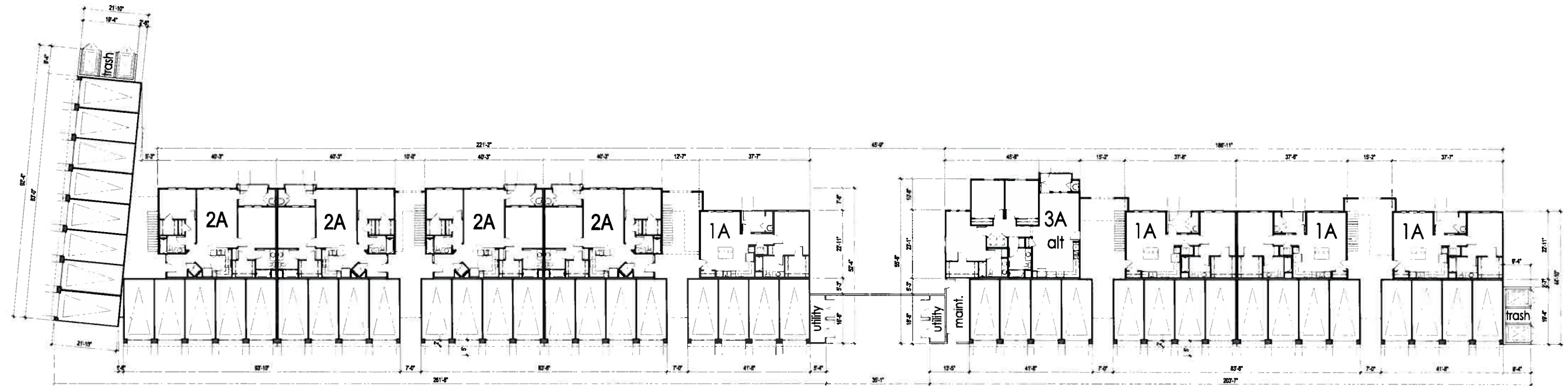
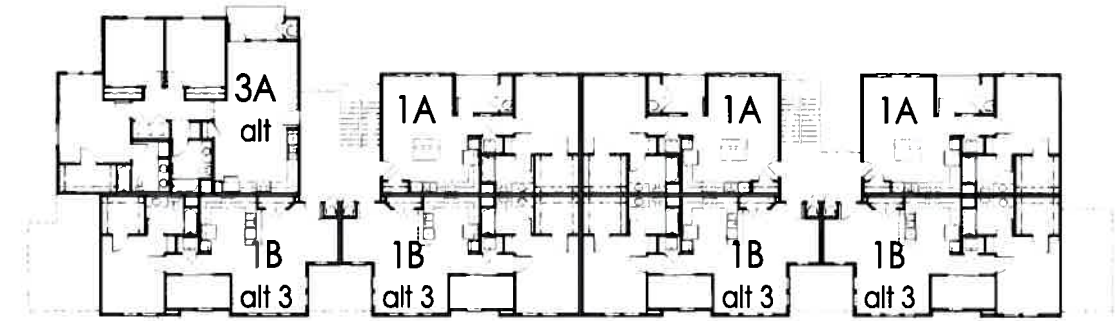
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SECOND LEVEL



GROUND LEVEL



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BUILDINGS C & D FLOOR PLANS

A2.5



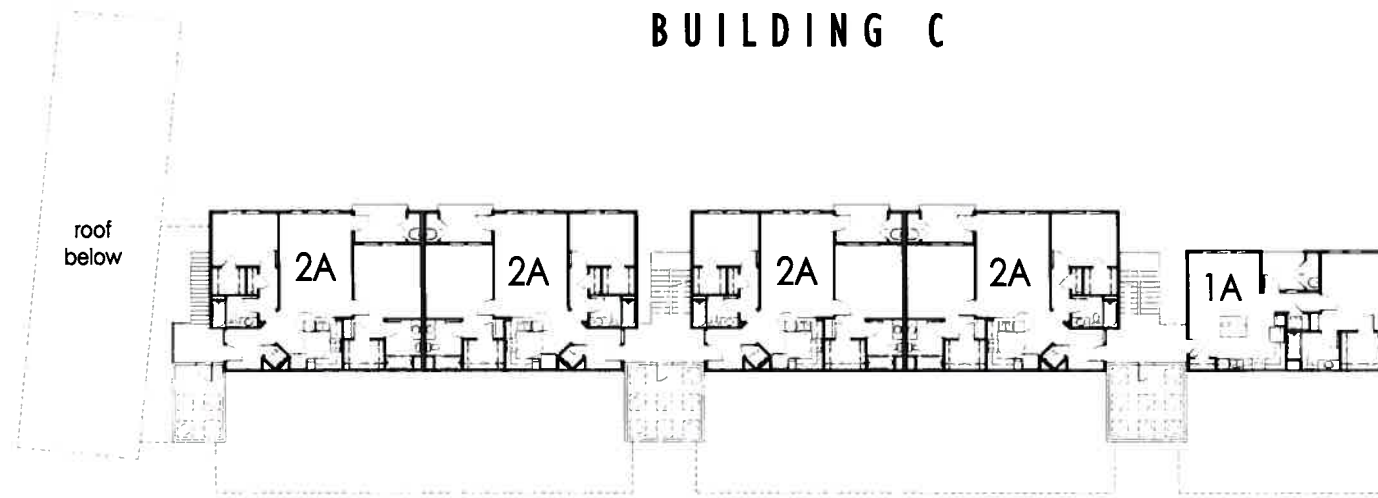
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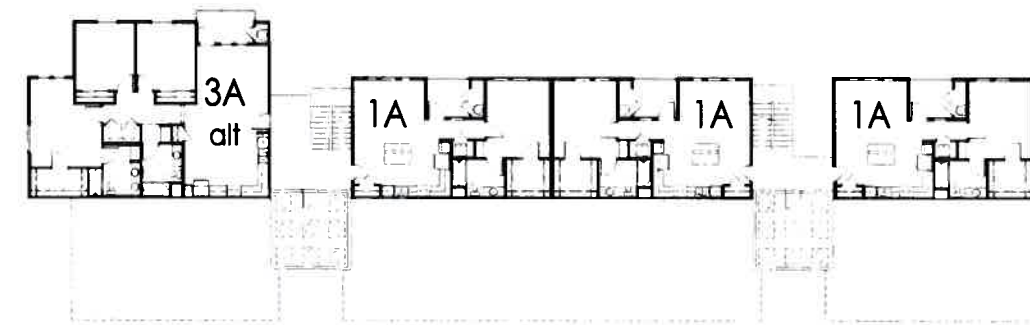
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BUILDING C



BUILDING D



THIRD LEVEL

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BUILDINGS C & D FLOOR PLANS

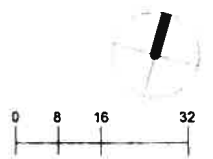
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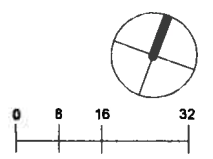
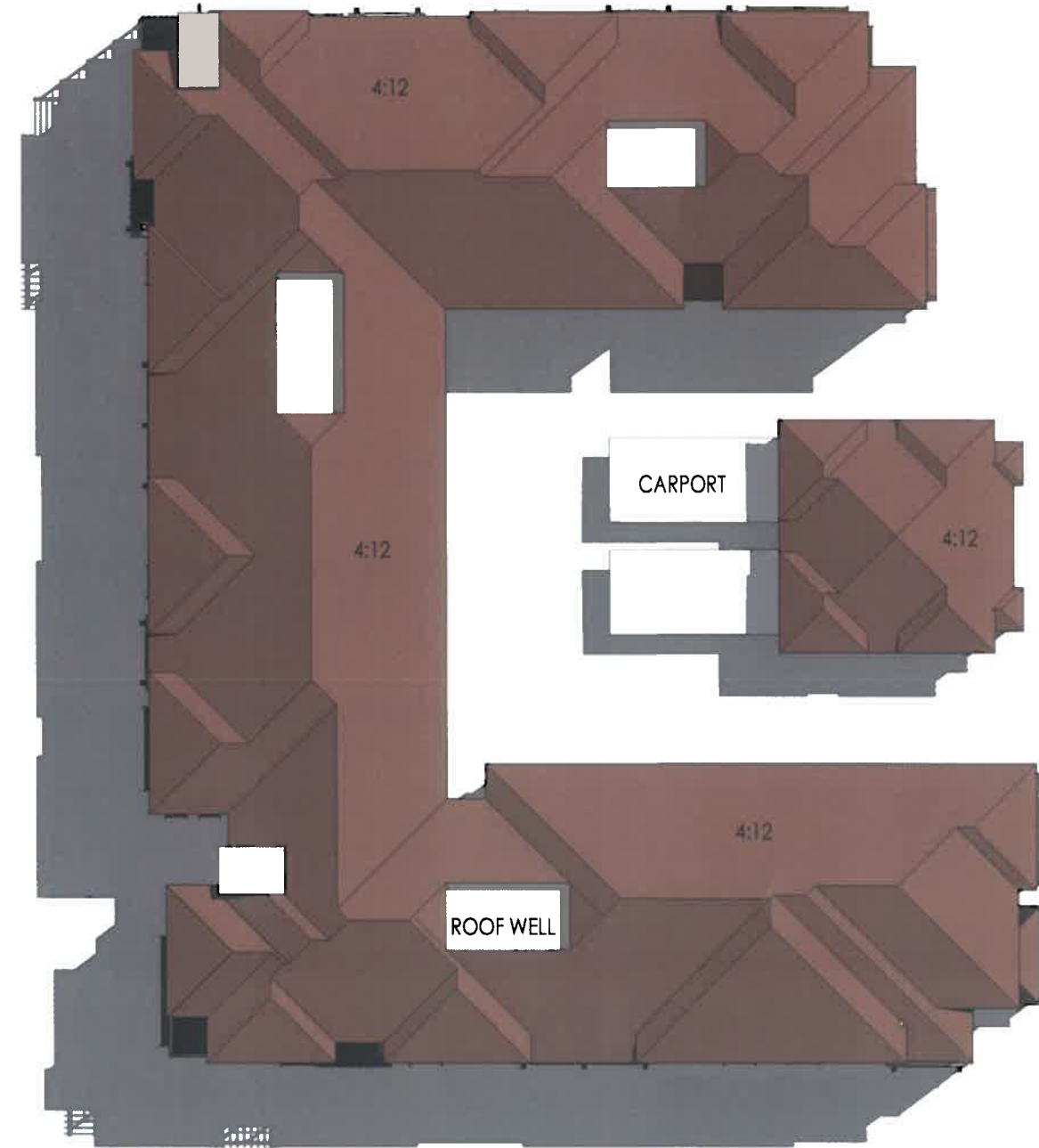
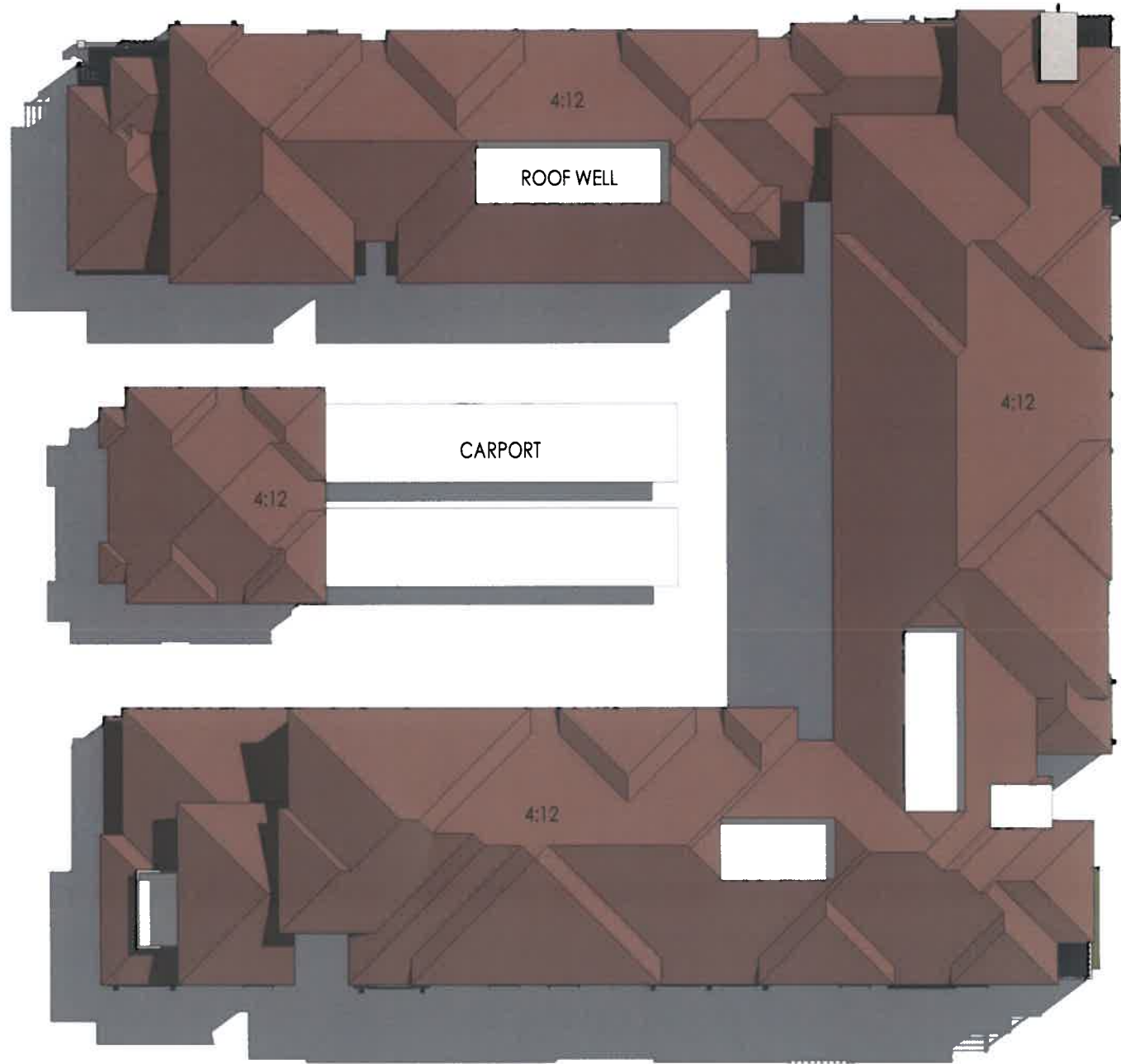


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**BUILDINGS A & B ROOF PLANS**

**A3.1**



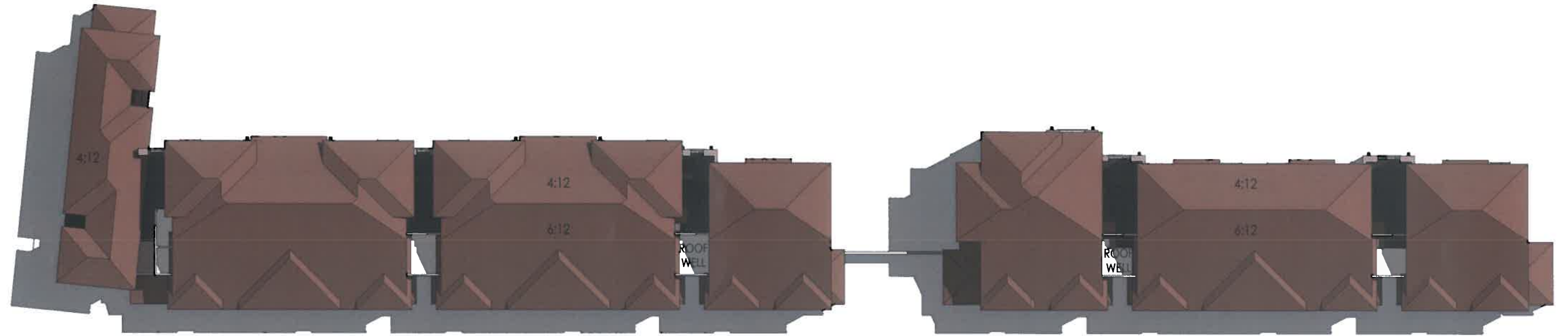
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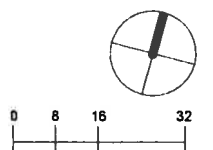






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BUILDINGS C & D ROOF PLANS



A3.2

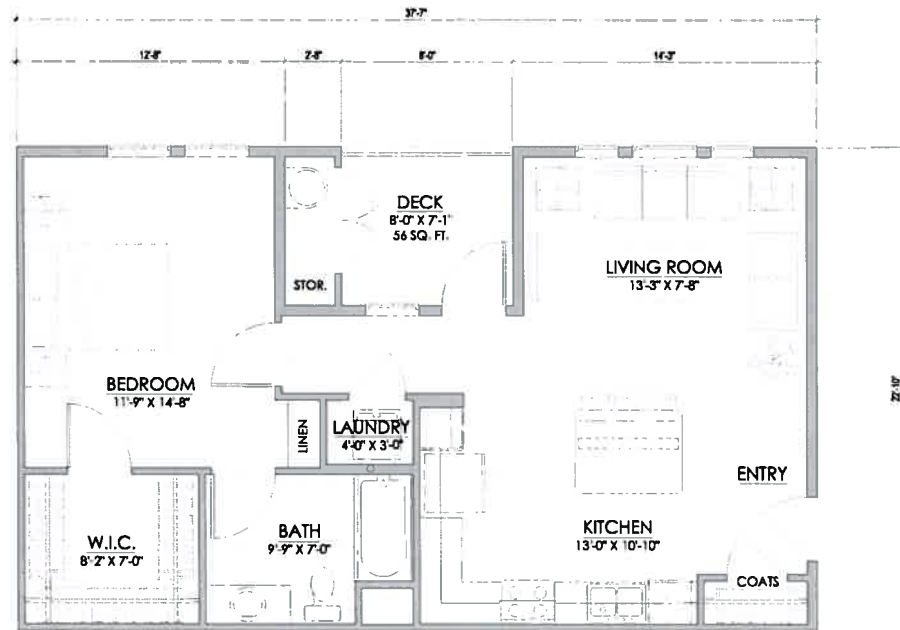


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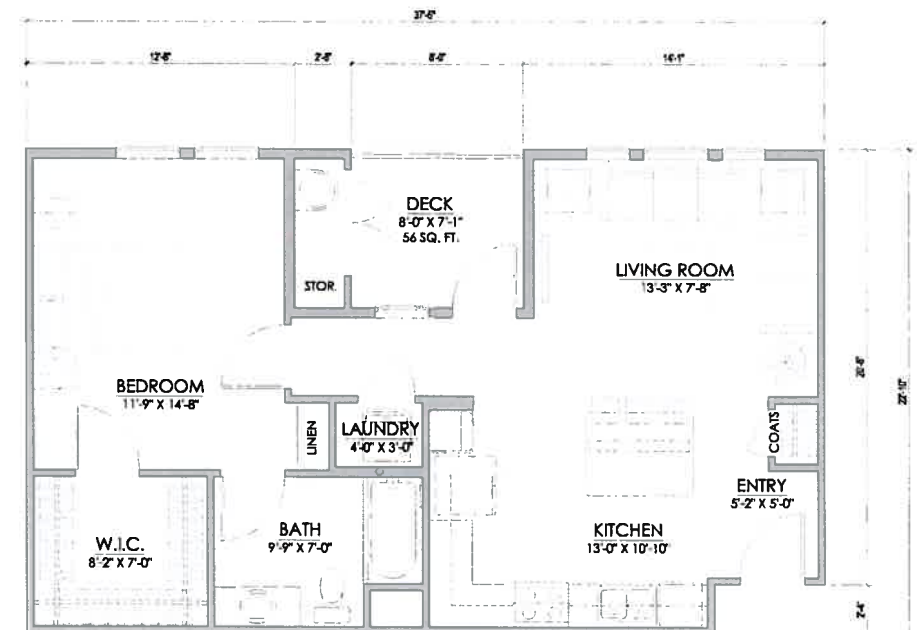
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**1A - 1BDR/1BATH**  
 UNIT AREA: 715 SQ. FT.  
 PRIVATE OPEN SPACE: 56 SQ. FT.  
 PRIVATE STORAGE: 40 CU. FT. MIN.



**1A alt - 1BDR/1BATH**  
 UNIT AREA: 702 SQ. FT.  
 PRIVATE OPEN SPACE: 56 SQ. FT.  
 PRIVATE STORAGE: 40 CU. FT. MIN.

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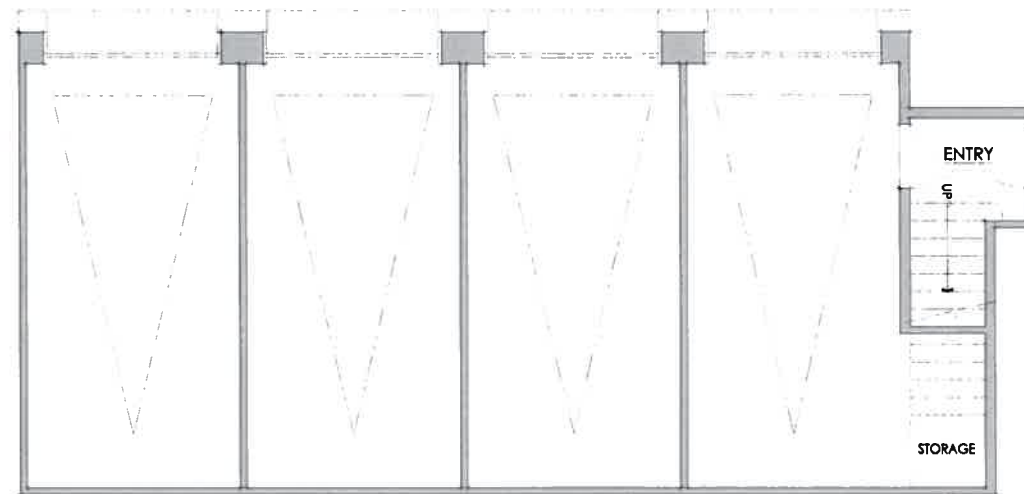
## ONE-BEDROOM UNIT PLANS

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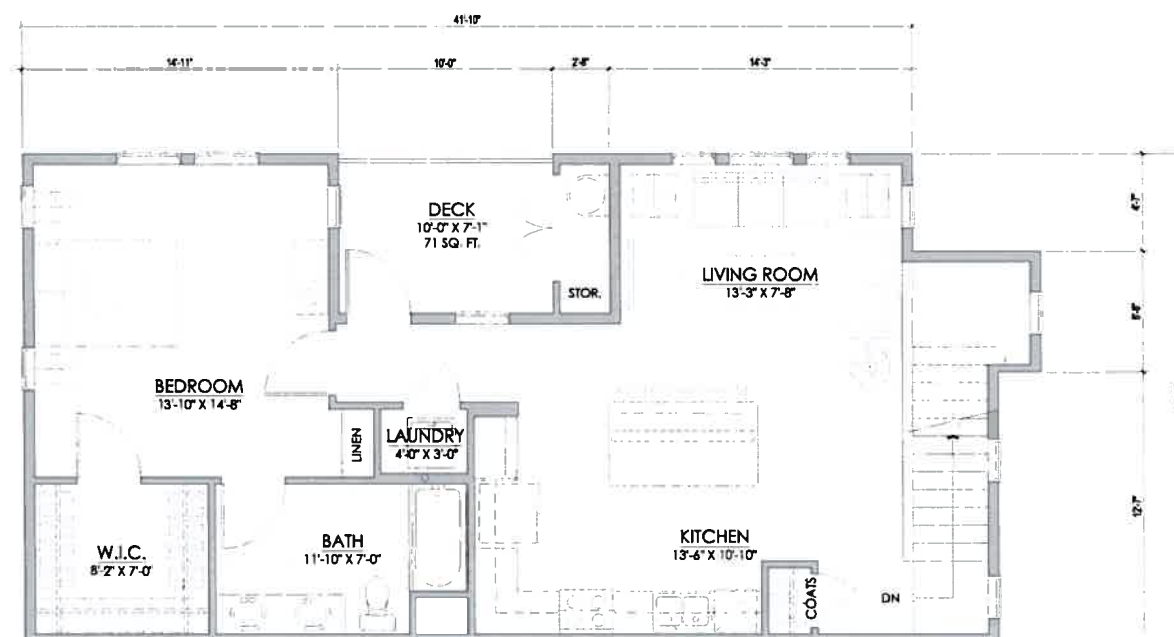
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A4.1



1A duplex unit -  
GROUND LEVEL ENTRY



1A duplex unit -  
LEVEL 2  
1BDR/1BATH  
UNIT AREA: 860 SQ. FT.  
PRIVATE OPEN SPACE: 71 SQ. FT.  
PRIVATE STORAGE: 40 CU. FT. MIN.

5850 WEST LAS POSITAS BLVD

ONE-BEDROOM UNIT PLANS

0 2 4 8  
A4.2

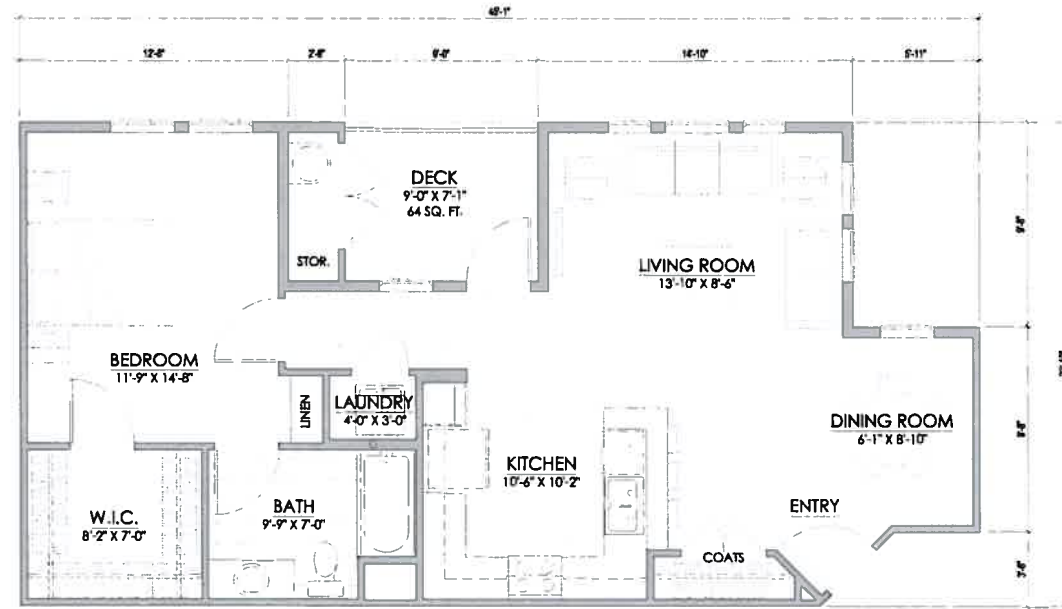


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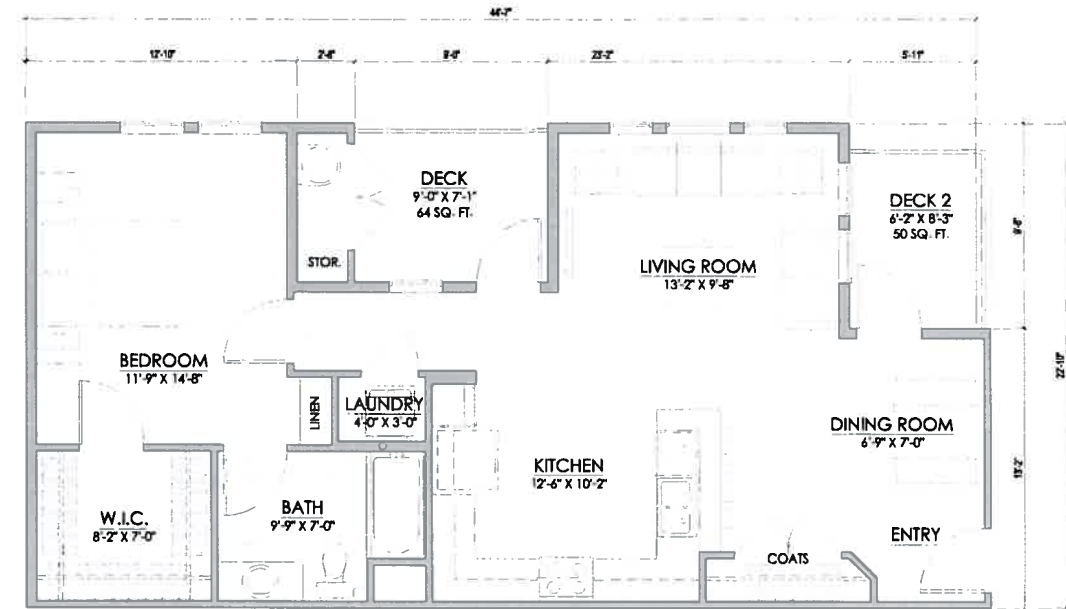
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**1B - 1BDR/1BATH**  
 UNIT AREA: 796 SQ. FT.  
 PRIVATE OPEN SPACE: 64 SQ. FT.  
 PRIVATE STORAGE: 40 CU. FT. MIN.



**1B alt 1 - 1BDR/1BATH**  
 UNIT AREA: 810 SQ. FT.  
 PRIVATE OPEN SPACE: 114 SQ. FT.  
 PRIVATE STORAGE: 40 CU. FT. MIN.

## 5850 WEST LAS POSITAS BLVD



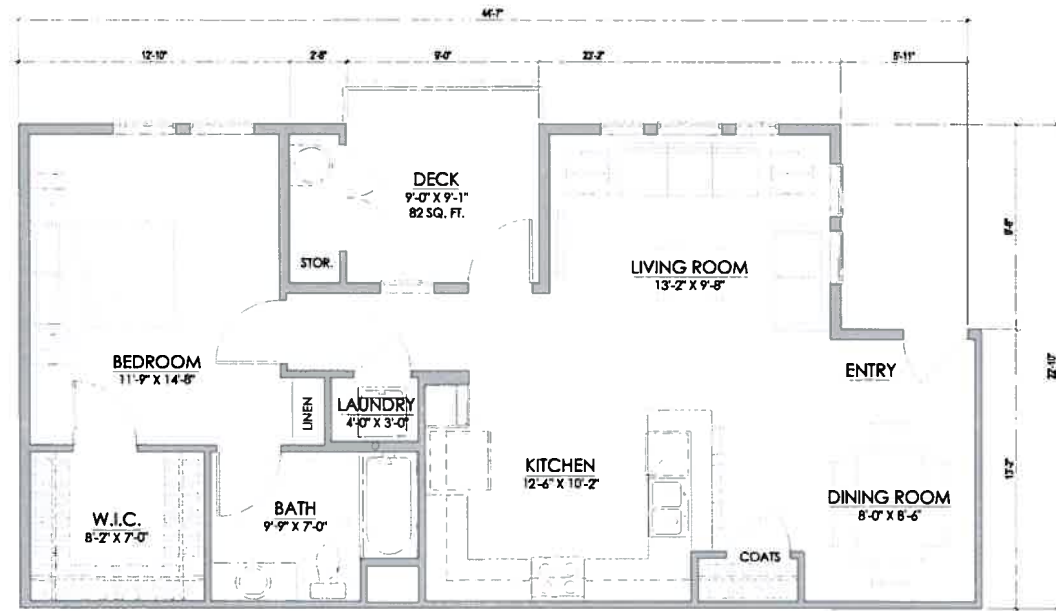
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[www.shapartments.com](http://www.shapartments.com)

## ONE-BEDROOM UNIT PLANS

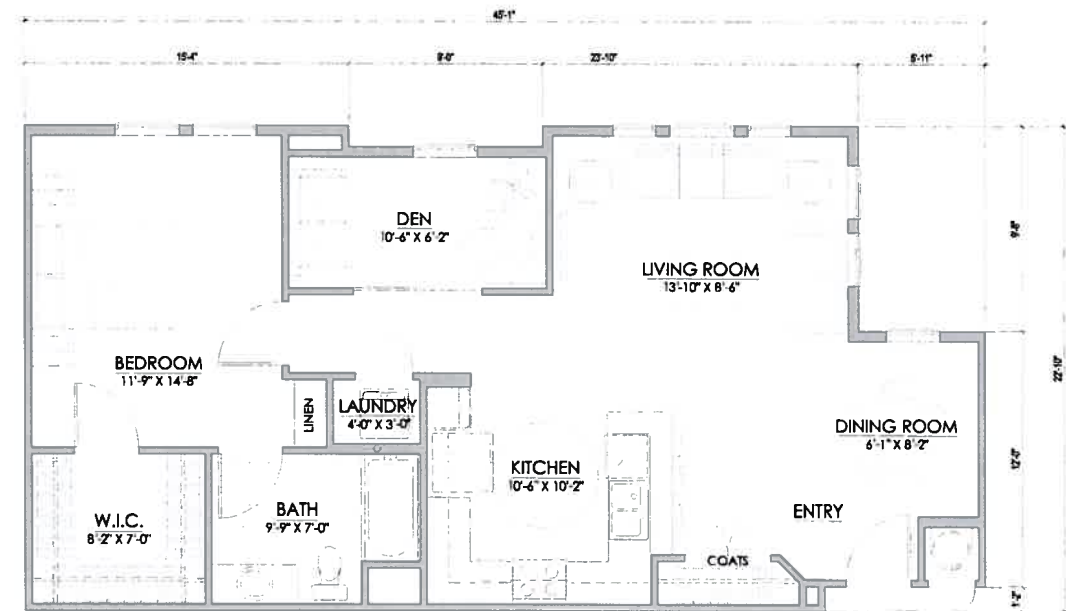
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1B alt 2 - 1BDR/1BATH  
 UNIT AREA: 810 SQ. FT.  
 PRIVATE OPEN SPACE: 82 SQ. FT.  
 PRIVATE STORAGE: 40 CU. FT. MIN.



1B alt 3 - 1BDR/1BATH + DEN  
 UNIT AREA: 881 SQ. FT.

## 5850 WEST LAS POSITAS BLVD



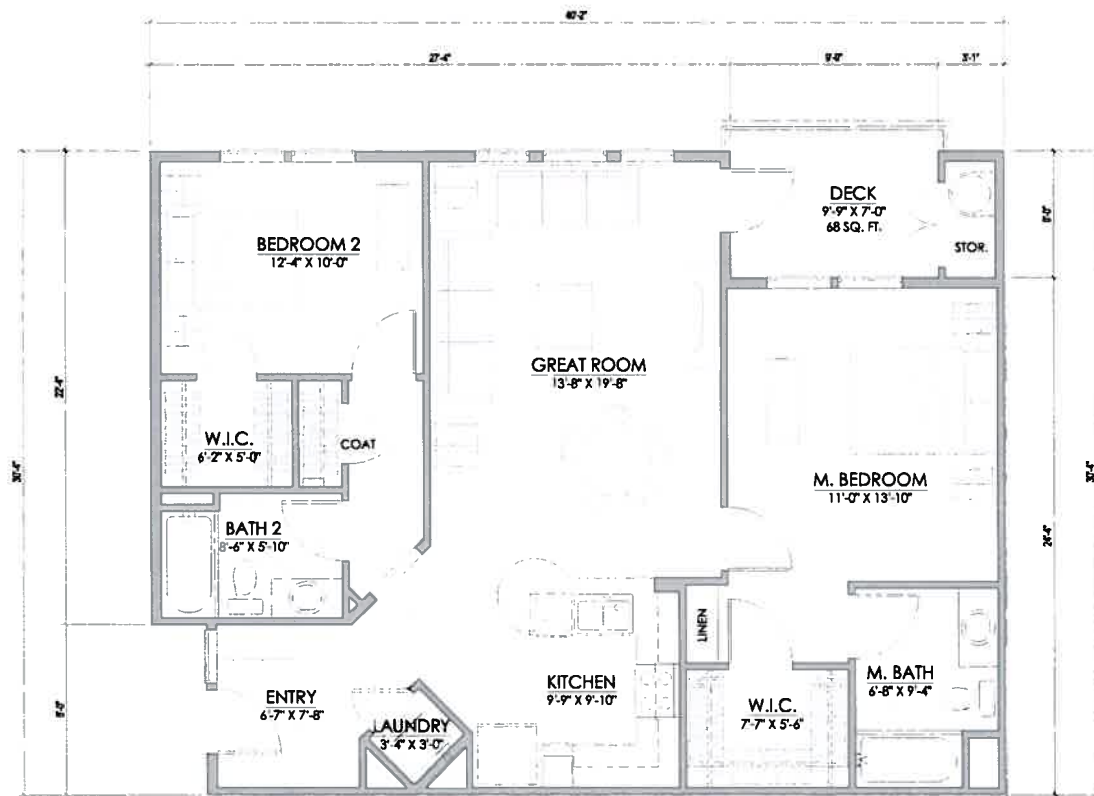
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## ONE-BEDROOM UNIT PLANS

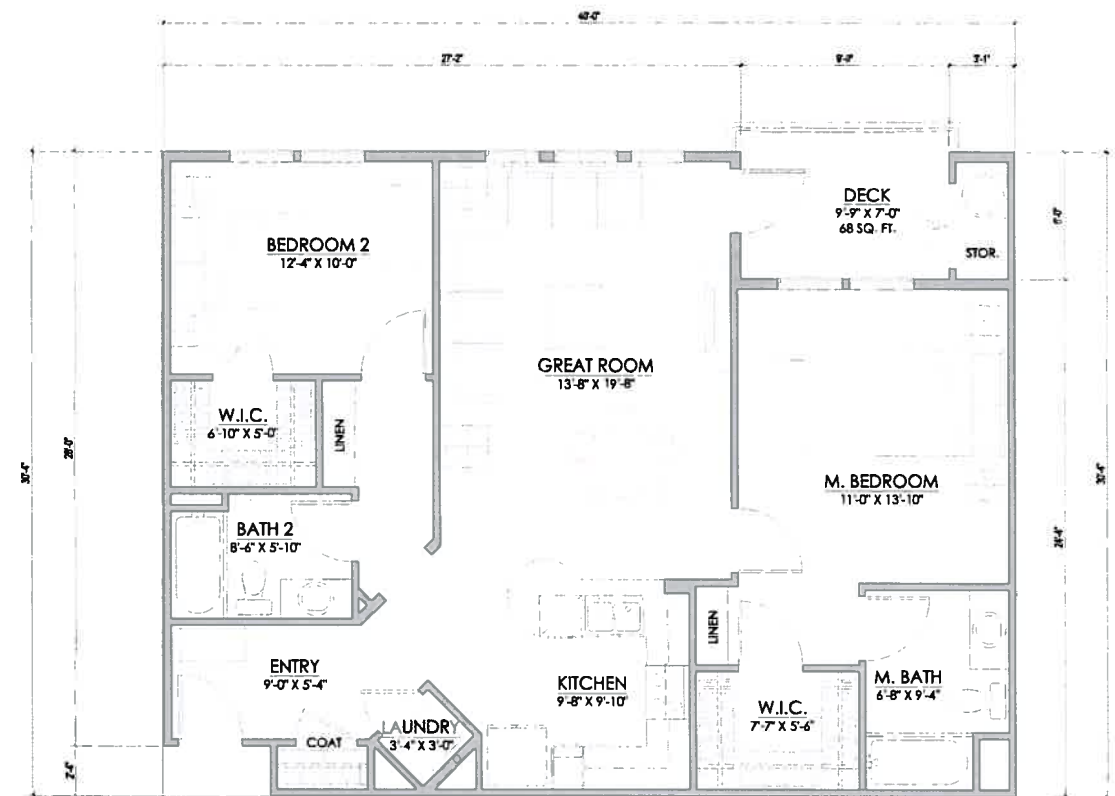
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2A - 2BDR/2BATH  
 UNIT AREA: 1054 SQ. FT.  
 PRIVATE OPEN SPACE: 68 SQ. FT.  
 PRIVATE STORAGE: 40 CU. FT. MIN.



2A alt - 2BDR/2BATH  
 UNIT AREA: 1063 SQ. FT.  
 PRIVATE OPEN SPACE: 68 SQ. FT.  
 PRIVATE STORAGE: 40 CU. FT. MIN.

# 5850 WEST LAS POSITAS BLVD



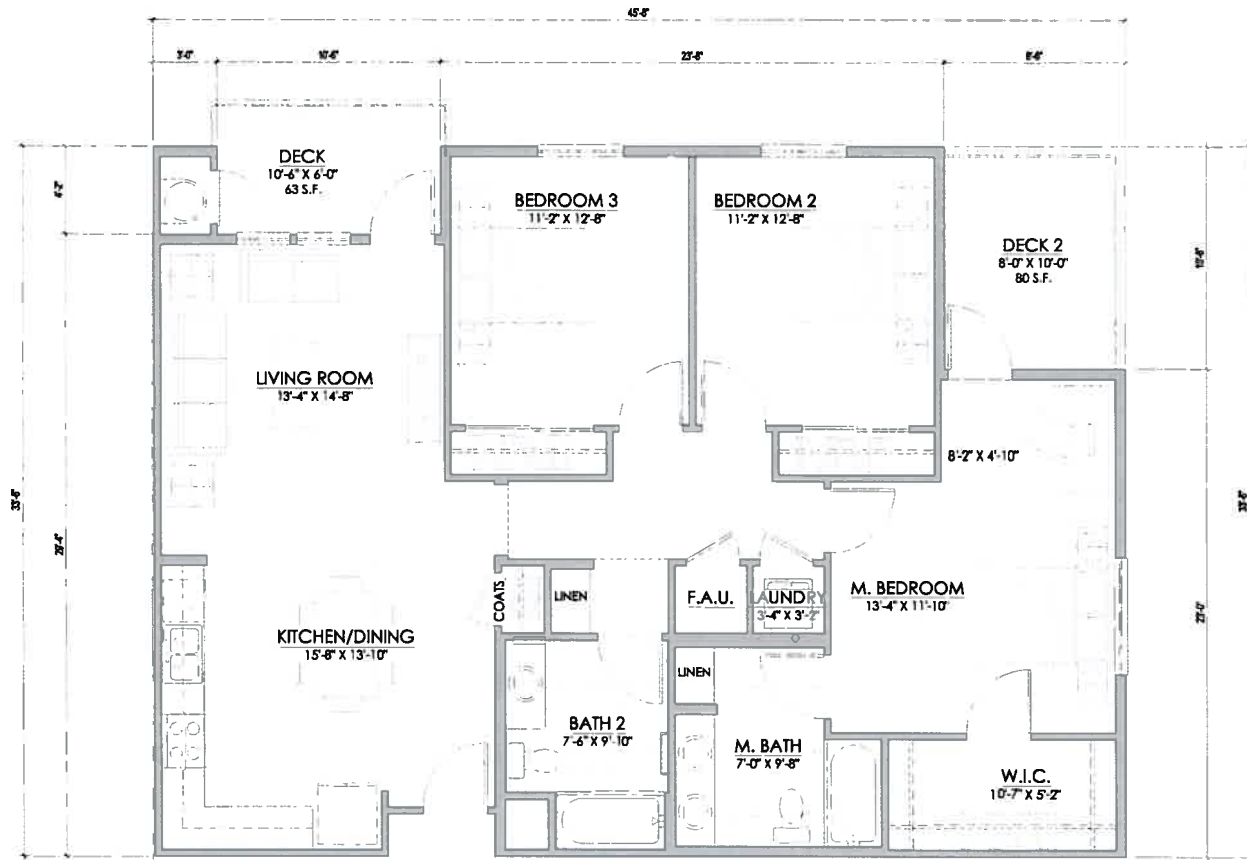
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# TWO-BEDROOM UNIT PLANS

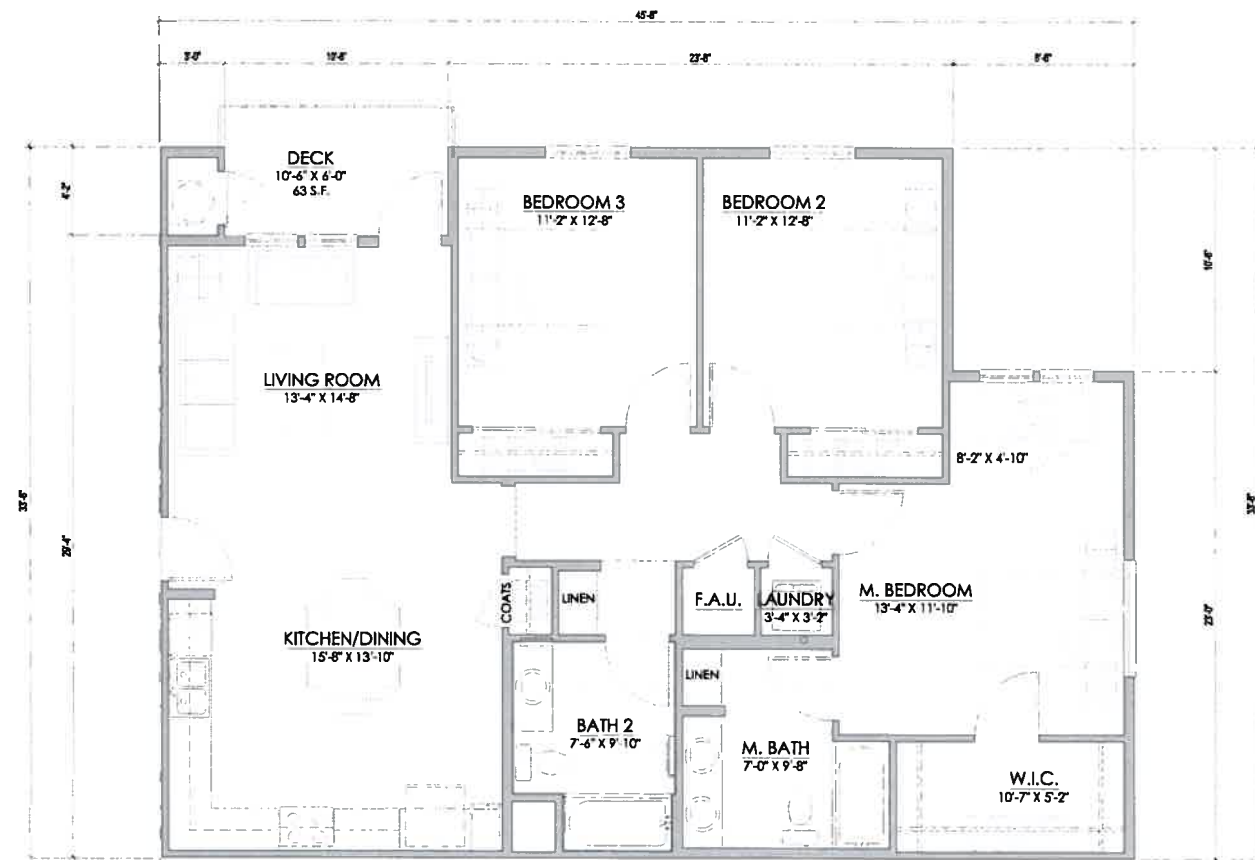
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**3A - 3BDR/2BATH**  
 UNIT AREA: 1298 SQ. FT.  
 PRIVATE OPEN SPACE: 143 SQ. FT.



**3A alt - 3BDR/2BATH**  
 UNIT AREA: 1309 SQ. FT.  
 PRIVATE OPEN SPACE: 63 SQ. FT.

**5850 WEST LAS POSITAS BLVD**

**THREE-BEDROOM UNIT PLANS**

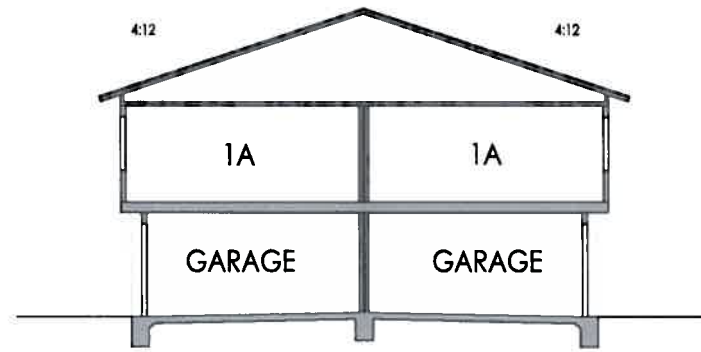


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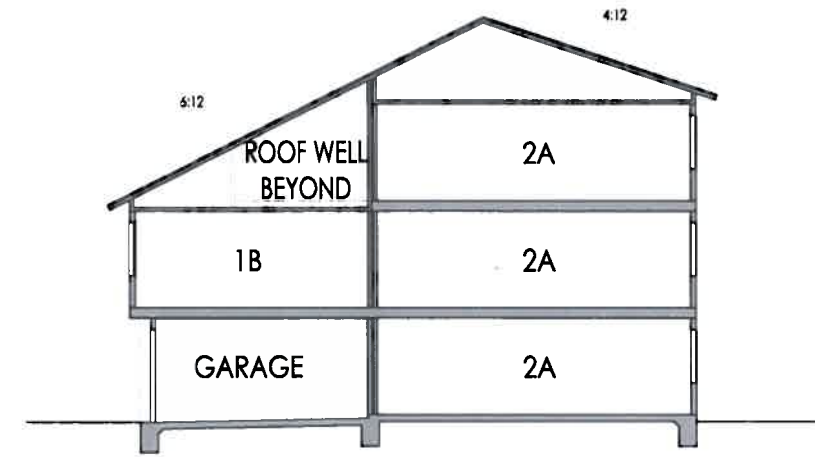
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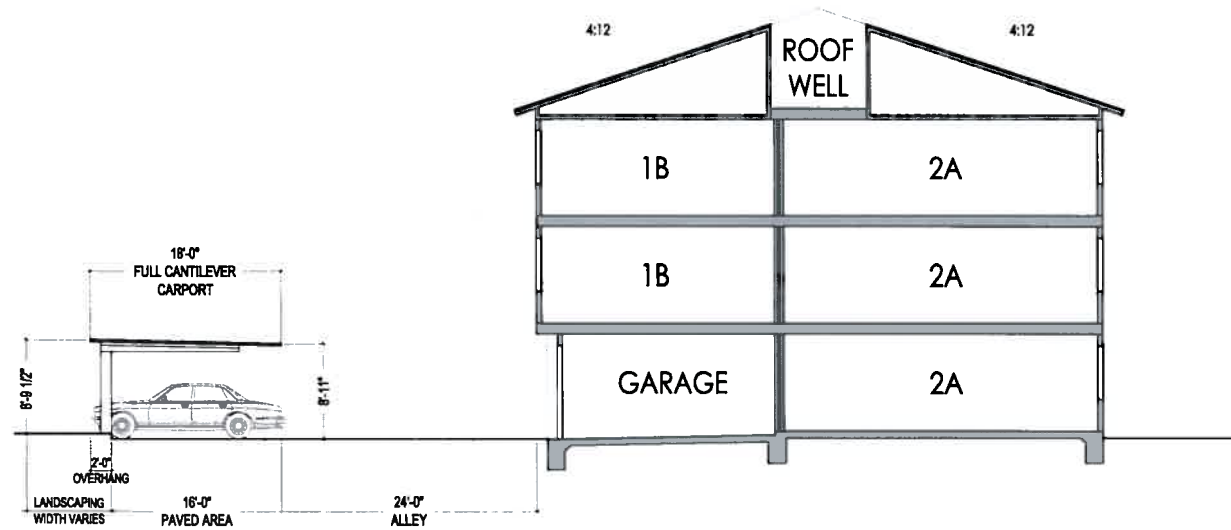




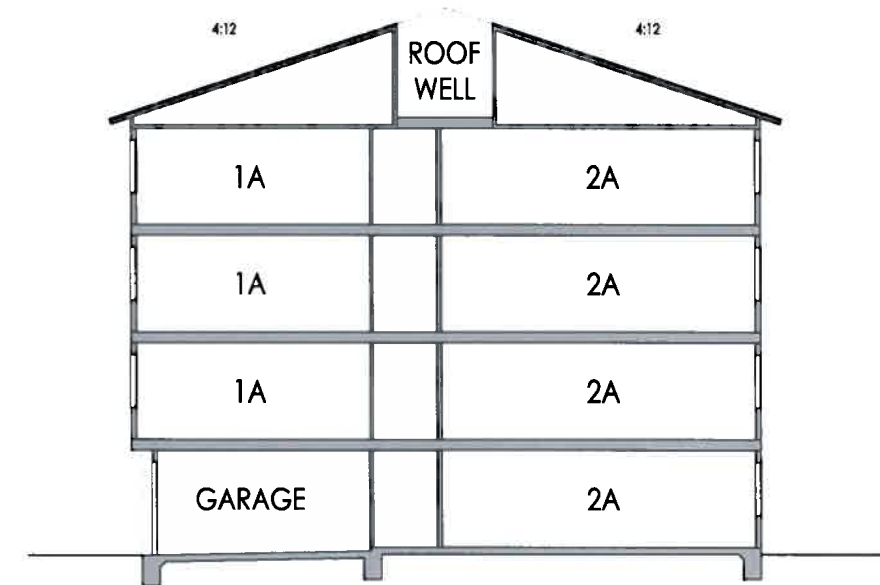
DUPLEX BUILDINGS A & B



BUILDINGS C & D



BUILDING A



BUILDINGS A & B

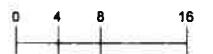
5850 WEST LAS POSITAS BLVD



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TYPICAL BUILDING SECTIONS

PLEASANTON, CALIFORNIA  
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A5.1

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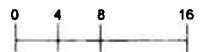


**NORTH ELEVATION - BUILDING A**



**EAST ELEVATION - BUILDING A**

Building height dimensions are measured from finished floor to top of roof and do not include slab height to finished grade, which is a minimum of 8" and will vary depending on site grading. Colors depicted are representations and may not be accurate due to printing variations. Refer to Material Board for actual samples.



**A6.1**

**5850 WEST LAS POSITAS BLVD**



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**BUILDING A ELEVATIONS**

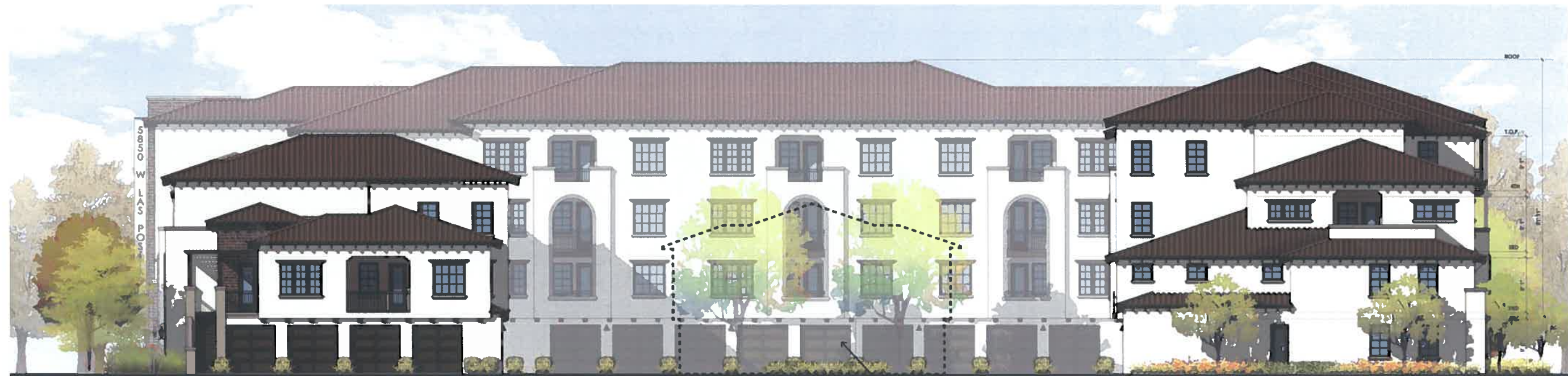
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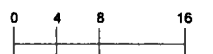
**SOUTH ELEVATION - BUILDING A**



**WEST ELEVATION - BUILDING A**

SEE SHEET A6.5 FOR  
DUPLEX BUILDING ELEVATIONS

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**5850 WEST LAS POSITAS BLVD**

**BUILDING A ELEVATIONS**

**A6.2**

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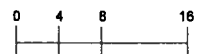
**NORTH ELEVATION - BUILDING B**



**EAST ELEVATION - BUILDING B**

SEE SHEET A6.5 FOR  
DUPLEX BUILDING ELEVATIONS

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**A6.3**

**5850 WEST LAS POSITAS BLVD**

**BUILDING B ELEVATIONS**

PLEASANTON, CALIFORNIA  
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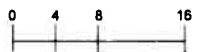


**SOUTH ELEVATION - BUILDING B**



**WEST ELEVATION - BUILDING B**

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**A6.4**

**5850 WEST LAS POSITAS BLVD**

**BUILDING B ELEVATIONS**

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FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

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A6.5

5850 WEST LAS POSITAS BLVD



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DUPLEX BUILDING ELEVATIONS

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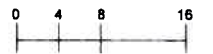


NORTH ELEVATION - BUILDING C



EAST ELEVATION - BUILDING C

Building height dimensions are measured from finished floor to top of roof and do not include slab height to finished grade, which is a minimum of 8" and will vary depending on site grading. Colors depicted are representations and may not be accurate due to printing variations. Refer to Material Board for actual samples.



A6.6

5850 WEST LAS POSITAS BLVD



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**BUILDING C ELEVATIONS**

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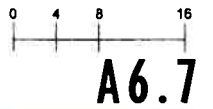


**SOUTH ELEVATION - BUILDING C**



**WEST ELEVATION - BUILDING C**

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**5850 WEST LAS POSITAS BLVD**

**BUILDING C ELEVATIONS**

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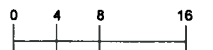


NORTH ELEVATION - BUILDING D



EAST ELEVATION - BUILDING D

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A6.8

5850 WEST LAS POSITAS BLVD



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**BUILDING D ELEVATIONS**

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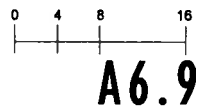


**SOUTH ELEVATION - BUILDING D**



**WEST ELEVATION - BUILDING D**

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## 5850 WEST LAS POSITAS BLVD

## PERSPECTIVE VIEW - BUILDING B FROM NORTHEAST

A7.1



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## 5850 WEST LAS POSITAS BLVD



COMMUNITIES OF DISTINCTION

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## PERSPECTIVE VIEW - BUILDING A FROM NORTHWEST

A7.2

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## 5850 WEST LAS POSITAS BLVD

## PERSPECTIVE VIEW - CENTRAL PASEO FROM NORTH

A7.3



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## 5850 WEST LAS POSITAS BLVD

## PERSPECTIVE VIEW - INTERNAL STREET FROM EAST

A7.4



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LIGHTING FIXTURES  
EVERGREEN MADRID SERIES



LANTERN STYLE ON  
PRIMARY FACADES



DARK SKY FIXTURES ON  
ALLEY FACADES

VINYL WINDOWS  
MILGARD CHOCOLATE



30/30 SAND FINISH PLASTER (BLDGS C & D)  
SW 7038 TONY TAUPE SW 6154 NACRE



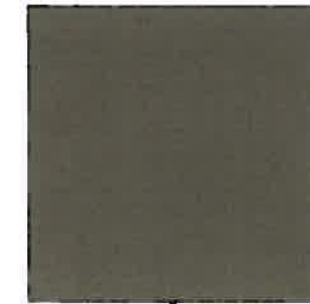
SMOOTH COAT PLASTER (BLDGS A & B)  
OMEGA 404 BARN SWALLOW OMEGA 12 CHENILLE



PAINTED FOAM TRIM, FACIA, AND  
SMOOTH STUCCO ACCENTS  
SW 7041 VAN DYKE BROWN



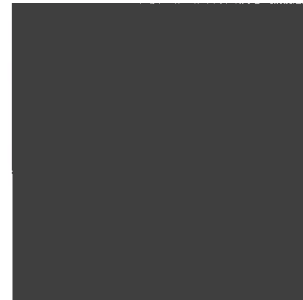
CANVAS AWNING  
SUNBRELLA 46" PALM



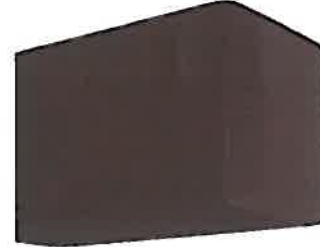
THIN BRICK VENEER  
EL DORADO TUNDRA  
HARTFORD



WROUGHT IRON  
RAILINGS  
SW 7675 SEAL SKIN



RAFTER TAILS  
FACTORY FINISH OR  
PAINTED TO MATCH TRIM



WOOD PATIO GATES



CONCRETE S-TILE  
EAGLE ROOFING  
CAPISTRANO - 3723 ADOBE BLEND



SIMULATED STONE TRIM



Materials may be substituted for equivalents during final design.  
Refer to Material Board for actual samples.

5850 WEST LAS POSITAS BLVD

COLORS & MATERIALS

A8.1

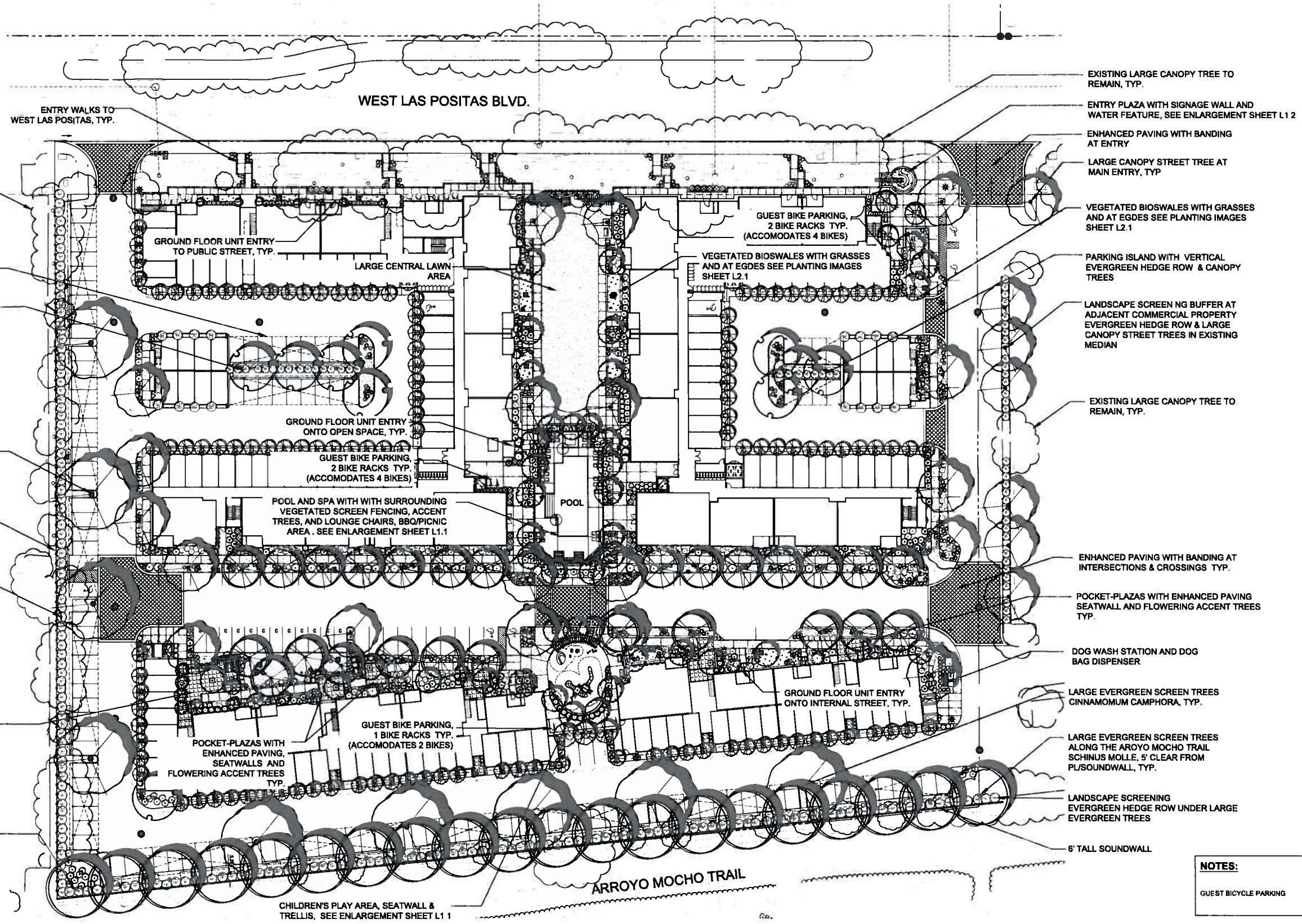


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EXISTING LARGE CANOPY TREE TO REMAIN, TYP.

COVERED CARPORT SEE ARCH. PLANS, TYP.

PARKING ISLAND WITH EVERGREEN HEDGE ROW & CANOPY TREES

LARGE CANOPY TREE IN PARKING ISLAND CINNAMOMUM CAMPHORA TYP.

4' TALL TUBE STEEL FENCE

LANDSCAPE SCREENING BUFFER AT ADJACENT COMMERCIAL PROPERTY EVERGREEN HEDGE ROW UNDER EXISTING LARGE CANOPY TREES TO REMAIN, TYP.

TERMINUS PLAZA WITH ENHANCED PAVING, L-TRELLIS, BENCHES, SEATWALLS, FLOWERING ACCENT TREES AND TWO SPECIMEN SHADE TREE SEE ENLARGEMENT SHEET L1.1

TREE 5' CLEAR FROM PL/SOUNDWALL, TYP.

EXISTING LARGE CANOPY TREE TO REMAIN, TYP.

ENTRY PLAZA WITH SIGNAGE WALL AND WATER FEATURE, SEE ENLARGEMENT SHEET L1.2

ENHANCED PAVING WITH BANDING AT ENTRY

LARGE CANOPY STREET TREE AT MAIN ENTRY, TYP.

VEGETATED BIOSWALES WITH GRASSES AND AT EDGES SEE PLANTING IMAGES SHEET L2.1

PARKING ISLAND WITH VERTICAL EVERGREEN HEDGE ROW & CANOPY TREES

LANDSCAPE SCREENING BUFFER AT ADJACENT COMMERCIAL PROPERTY EVERGREEN HEDGE ROW & LARGE CANOPY STREET TREES IN EXISTING MEDIAN

EXISTING LARGE CANOPY TREE TO REMAIN, TYP.

ENHANCED PAVING WITH BANDING AT INTERSECTIONS & CROSSINGS TYP.

POCKET-PLAZAS WITH ENHANCED PAVING SEATWALL AND FLOWERING ACCENT TREES TYP.

DOG WASH STATION AND DOG BAG DISPENSER

LARGE EVERGREEN SCREEN TREES CINNAMOMUM CAMPHORA, TYP.

LARGE EVERGREEN SCREEN TREES ALONG THE ARROYO MOCHO TRAIL SCHINUS MOLLE, 5' CLEAR FROM PL/SOUNDWALL, TYP.

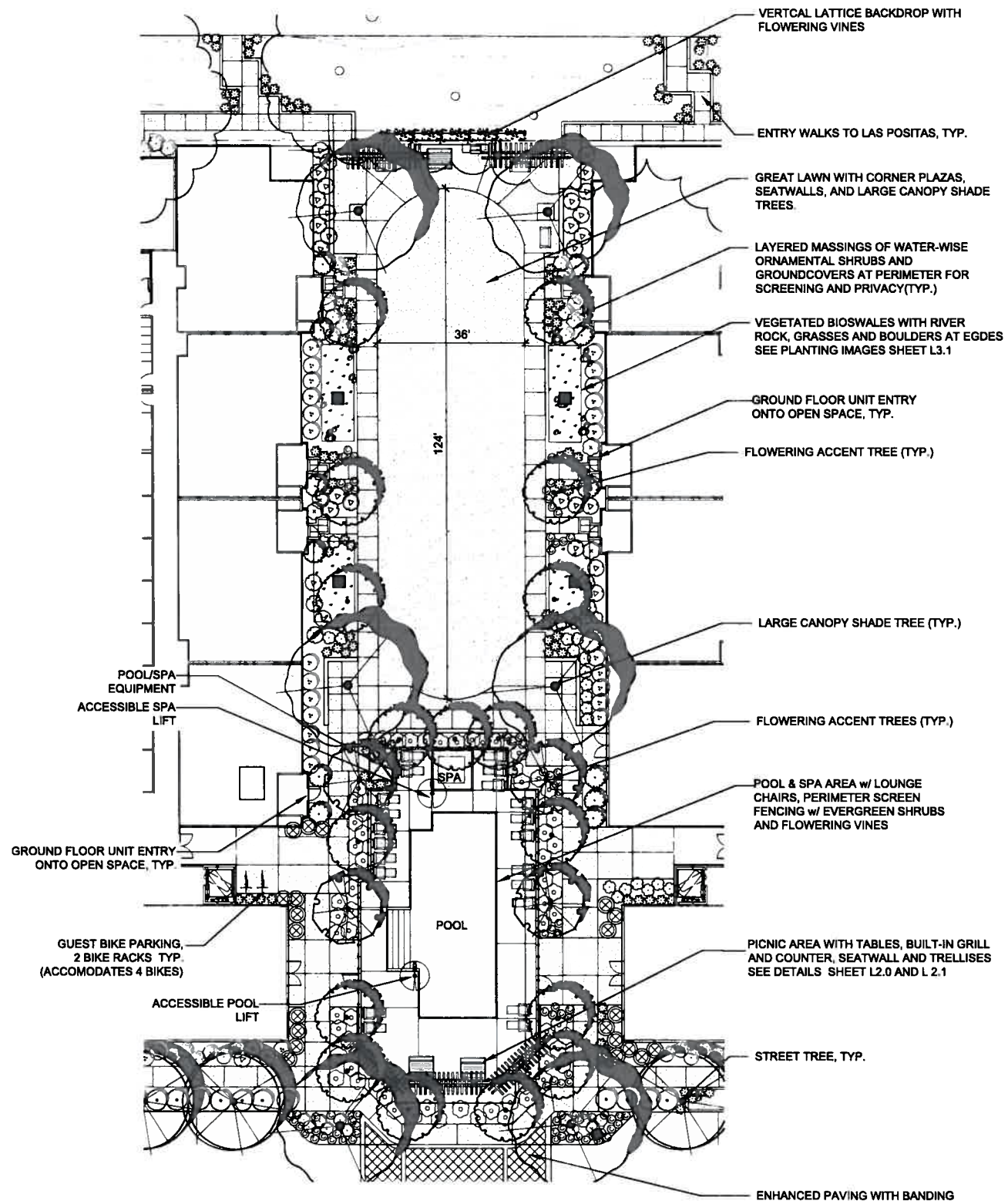
LANDSCAPE SCREENING EVERGREEN HEDGE ROW UNDER LARGE EVERGREEN TREES

6' TALL SOUNDWALL

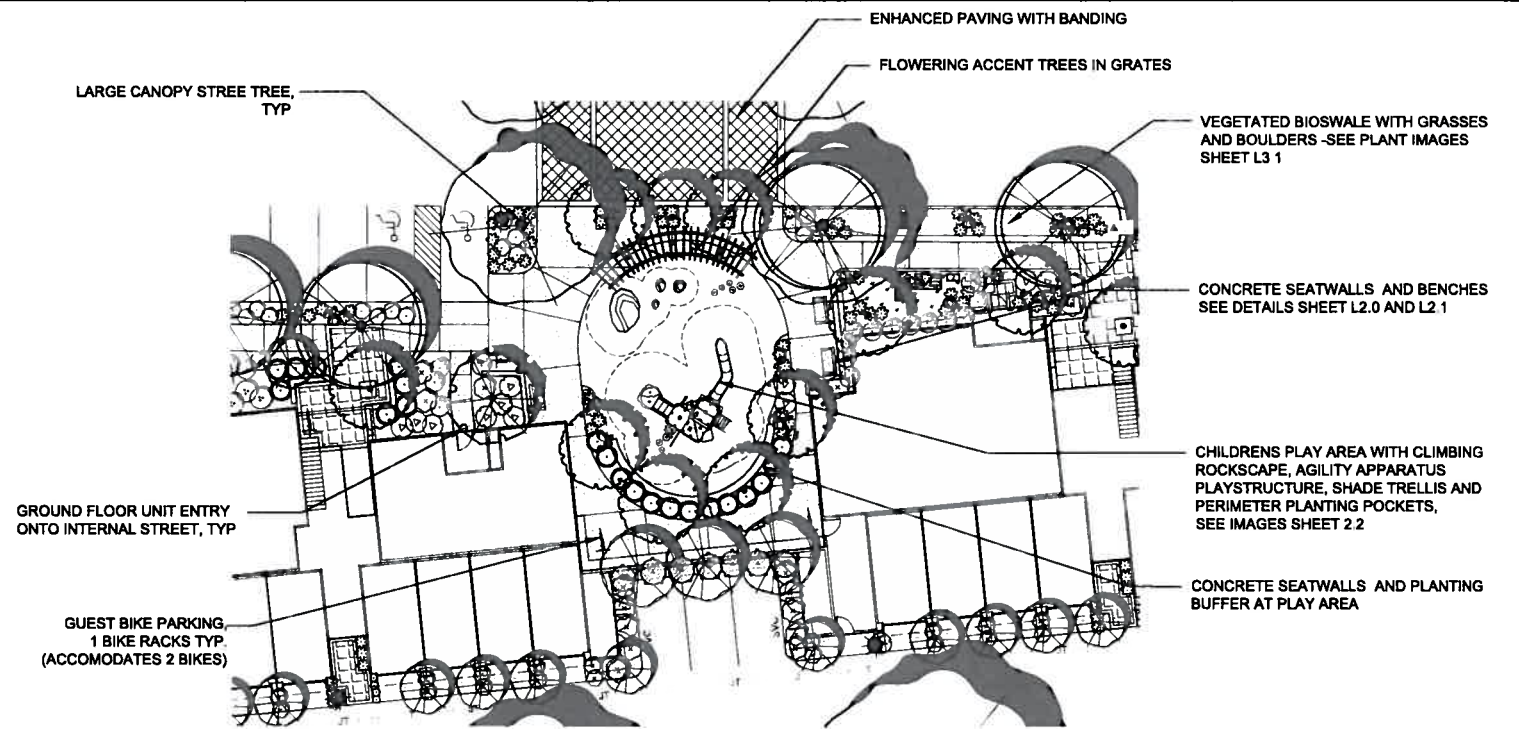
**NOTES:**

GUEST BICYCLE PARKING 7 REQU RED 12 PROVIDED

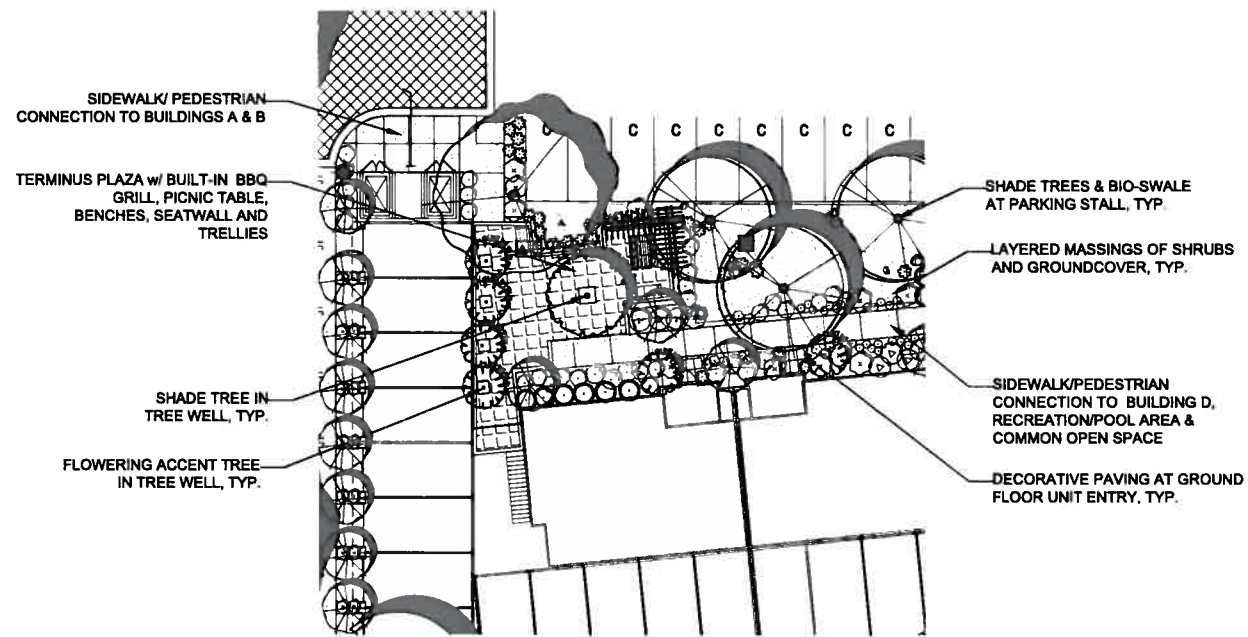




**A** COMMON OPEN SPACE LANDSCAPE ENLARGEMENT  
1/16" = 1'-0"



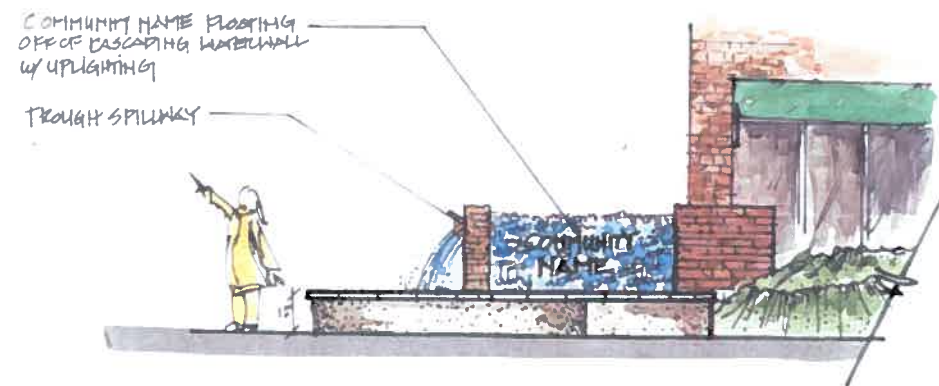
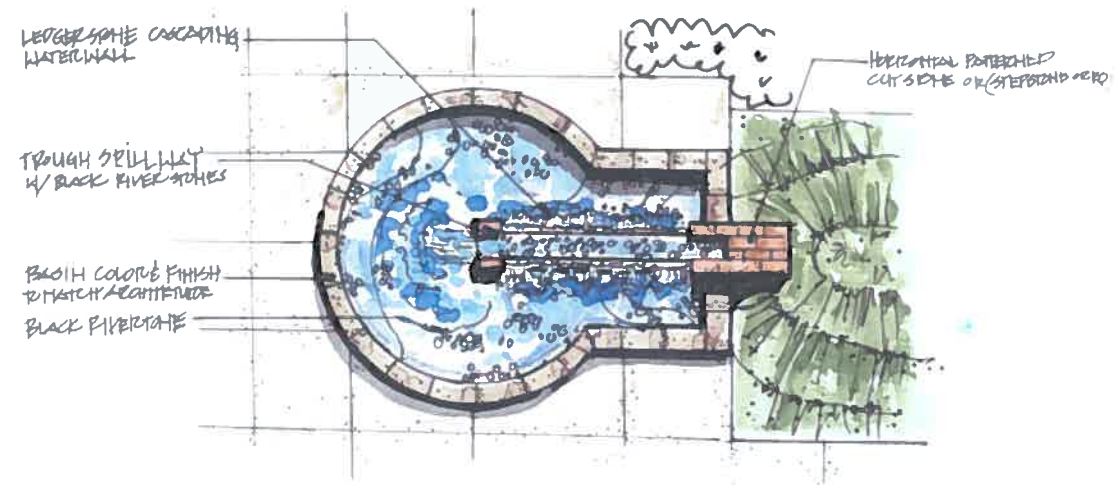
**B** POOL AREA LANDSCAPE ENLARGEMENT  
1/16" = 1'-0"



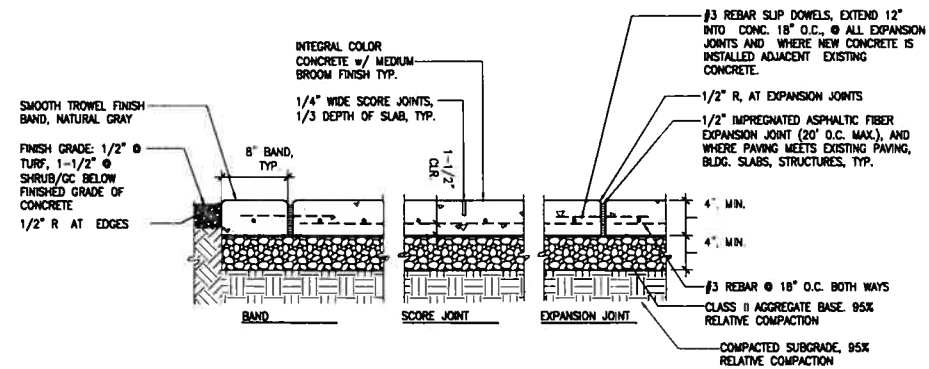
**C** TERMINUS PLAZA AT BLDG. C  
1/16" = 1'-0"



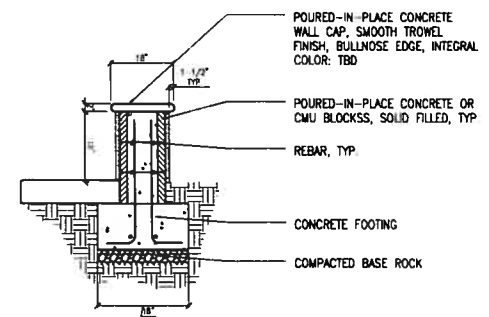




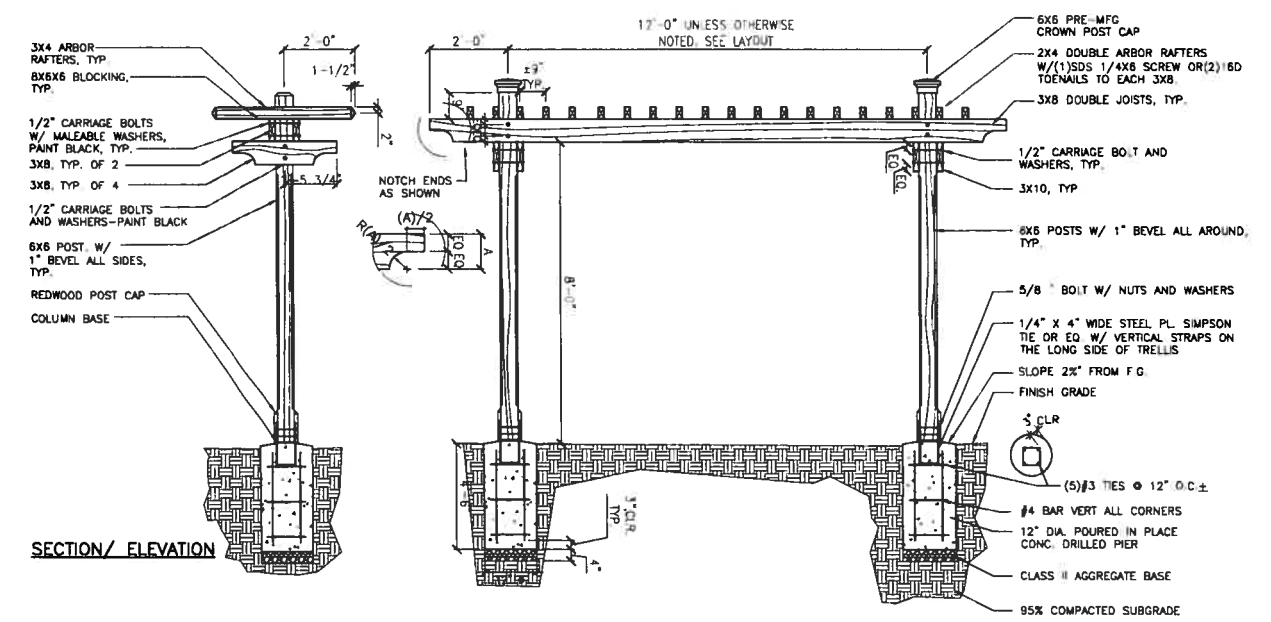
**A** ENTRY PLAZA WITH WATER FEATURE & SIGNAGE WALL  
NTS



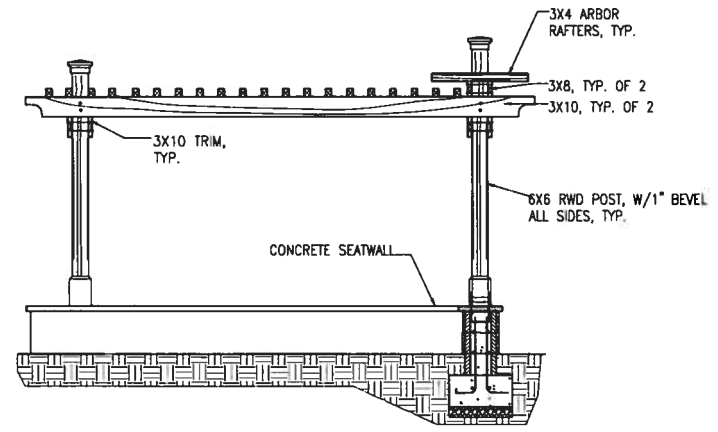
**A DECORATIVE SCORED CONCRETE PAVING w/ BANDING**  
 SCALE: NTS



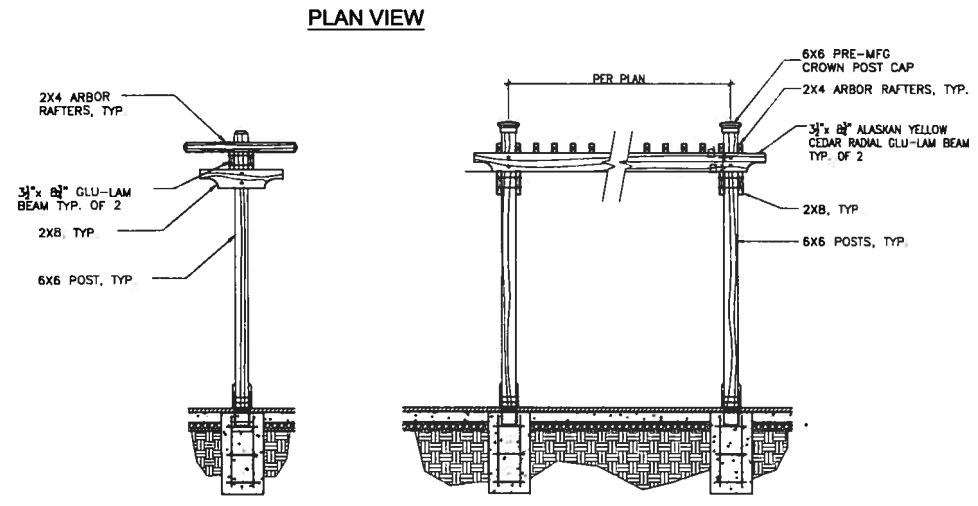
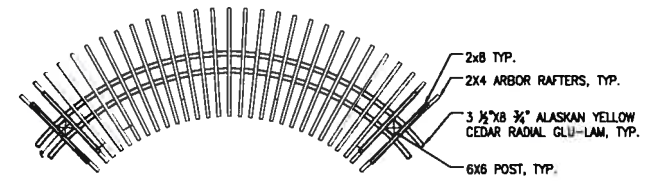
**B CONCRETE SEATWALL**  
 SCALE: NTS



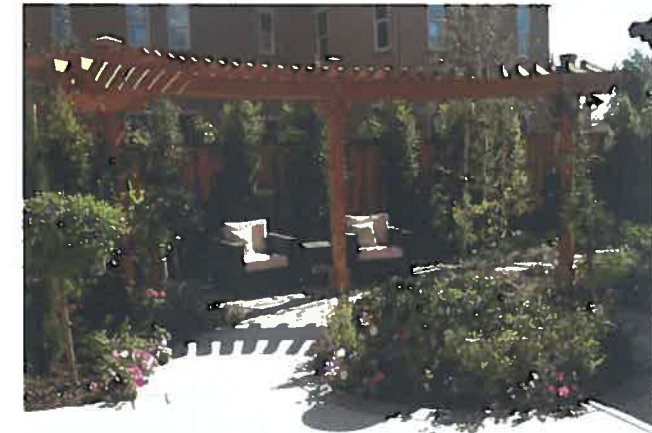
**C 2-POST TRELLIS**  
 SCALE: NTS



**D L-SHAPED TRELLIS ON SEATWALL**  
 SCALE: NTS



**E RADIAL TRELLIS AT PLAY AREA**  
 SCALE: NTS





6' BENCH - WOOD w/ POWDERCOAT FRAME  
"TRIO" BY FORMS & SURFACES  
OR EQUIVALENT

**A BENCH**  
SCALE: NTS



6' TABLE & BENCHES - WOOD w/ POWDERCOAT FRAME  
"TRIO EMSEMBLE" BY FORMS & SURFACES  
OR EQUIVALENT

**B TABLE & BENCH ASSEMBLY**  
SCALE: NTS



38" TALL LED PATH LIGHT - POWDERCOAT ALUMINUM  
"HAWTHORNE" BY LANDSCAPE FORMS  
OR EQUIVALENT

**C BOLLARD LIGHT**  
SCALE: NTS



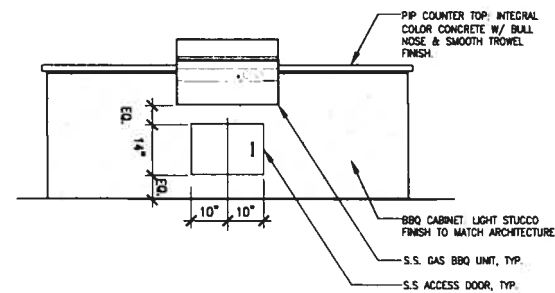
12' TALL LED POLE LIGHT - POWDERCOAT ALUMINUM  
"ALCOTT" BY LANDSCAPE FORMS  
OR EQUIVALENT

**D POLE LIGHT**  
SCALE: NTS

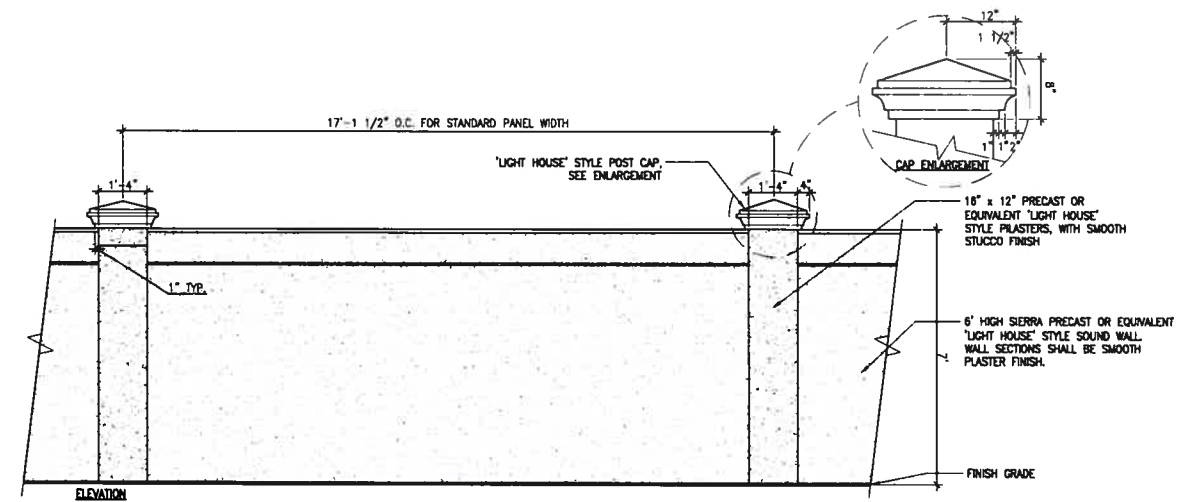


MODERN U-SHAPE BIKE RACK  
"TRIO" BY FORMS & SURFACES  
OR EQUIVALENT

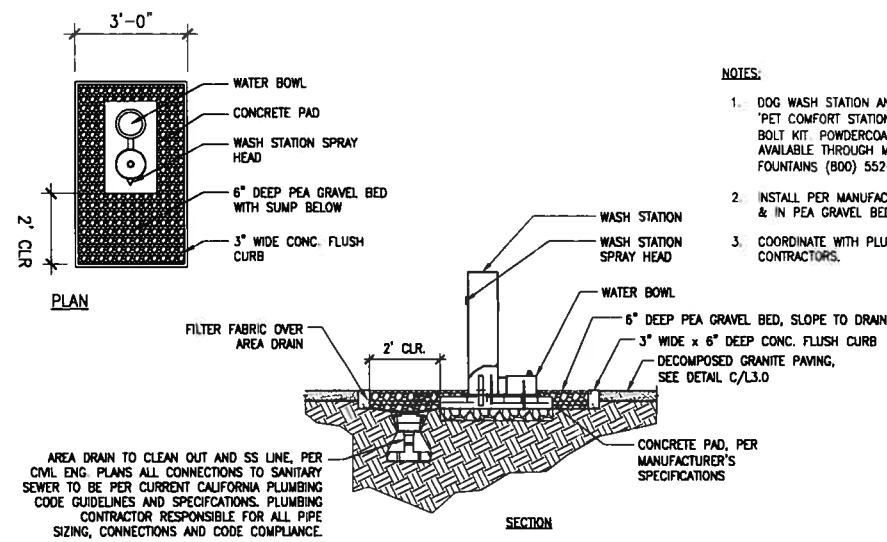
**E BIKE RACK**  
SCALE: NTS



**F BUILT-IN GRILL w/ CONCRETE COUNTER**  
SCALE: NTS



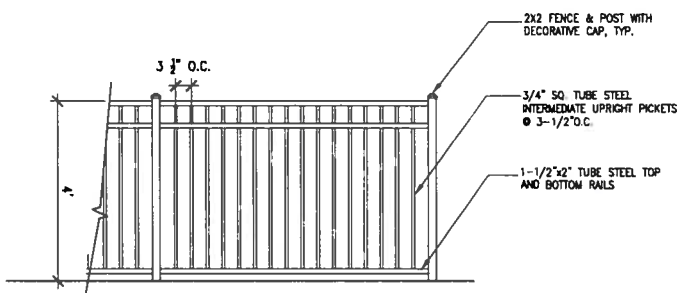
**G 6' TALL SOUNDWALL**  
SCALE: NTS



**NOTES:**

1. DOG WASH STATION AND WATERING BOWL: 'PET COMFORT STATION' MODEL #325 & SS BOLT KIT. POWDERCOAT COLOR: 'CHROME' AVAILABLE THROUGH MOST DEPENDABLE FOUNTAINS (800) 552-6331.
2. INSTALL PER MANUFACTURER'S SPECIFICATIONS & IN PEA GRAVEL BED AS SHOWN.
3. COORDINATE WITH PLUMBING AND ELEC. CONTRACTORS.

**A DOG WASHING STATION**  
SCALE: NTS



**B 4' TALL TUBE STEEL FENCE**  
SCALE: NTS

**C PLAY AREA**  
SCALE: NTS



**"TREE HOUSE & CLIMBING ROCK" PLAY STRUCTURE**  
BY LANDSCAPE FORMS  
OR EQUIVALENT

**"TREE STUMPS" BY LANDSCAPE FORMS**  
OR EQUIVALENT

**BOULDERS IN LANDSCAPE AROUND PERIMETER AND IN**  
**PLAY AREA FOR CLIMBING**

**CONCEPTUAL TREE & SHRUBS PALETTE**

CODE	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS WATER USE
ACE RUB	ACER RUBRUM	RED MAPLE	24"BOX	M
ARB UNE	ARBUTUS UNEDO	STRAWBERRY TREE	15 GAL	L
ARB HYB	ARBUTUS X 'MARINA'	ARBUTUS STANDARD	15 GAL	L
CEL SIN	CELTIS SINENSIS	CHINESE HACKBERRY	24"BOX	L
CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD	5 GAL	L
FRA OXY	FRAXINUS OXYCARPA 'RAYWOOD' TM	RAYWOOD ASH	24"BOX	M
GIN BIL	GINKGO BILOBA - PRINCETON SENTRY	GINKGO	24"BOX	M
JAC MIM	JACARANDA MIMOSIFOLIA	JACARANDA	24" BOX	M
LAG HOP	LAGERSTROEMIA FAURIEI 'HOPI'	CREPE MYRTLE	15 GAL	L
LAG TRI	LAGERSTROEMIA HYBRIDS 'COMMANCE'	INDIAN TRIBE CRAPE MYRTLE	15 GAL	L
LAG MUS	LAGERSTROEMIA INDICA 'MUSKOGEE'	CREPE MYRTLE	15 GAL	L
LAG ZUN	LAGERSTROEMIA X 'ZUNI'	JAPANESE CRAPE MYRTLE MULTI-TRUNK	15 GAL	L
LAU SAR	LAURUS NOBILIS 'SARATOGA'	SWEET BAY	15 GAL	L
TRI CON	LOPHOSTEMON CONFERTUS	BRISBANE BOX	15 GAL	L
MAG LIT	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	DWARF MAGNOLIA	15 GAL	M
MAG SOU	MAGNOLIA SOULANGIANA 'LILLIPUTIAN'	MULTI-TRUNK LILLIPUTIAN MAGNOLIA	24"BOX	M
MAG STE	MAGNOLIA STELLATA	STAR MAGNOLIA MULTI-TRUNK	15 GAL	M
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	24"BOX	L
PRU CHA	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	15 GAL	M
PYR PEA	PYRUS CALLERYANA 'REDSPIRE'	REDSPIRE CALLERY PEAR	24"BOX	M
ROB IDA	ROBINIA X AMBIGUA 'IDAHOENSIS'	IDAHO LOCUST	24"BOX	M
CHI TAS	X CHITALPA TASHKENTENSIS 'PINK DAWN'	PINK DAWN CHITALPA	15 GAL	L
CODE	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS WATER USE
ABE EDW	ABELIA X GRANDIFLORA 'EDWARD GOUCHER'	GLOSSY ABELIA	5 GAL	M
ABU PIN	ABUTILON HYBRIDUM 'PINK'	FLOWERING MAPLE	5 GAL	M
BER CRI	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 GAL	L
BER COR	BERGENIA CORDIFOLIA	HEARTLEAF BERGENIA	1 GAL	M
CAL LIT	CALLISTEMON CITRINUS 'LITTLE JOHN'	DWARF BOTTLE BRUSH	1 GAL	L
COL PUL	COLEONEMA PULCHRUM	PINK BREATH OF HEAVEN	5 GAL	M
DIE BIC	DIETES BICOLOR	FORTNIGHT LILY	1 GAL	L
DOD PUR	DODONAEA VISCOSA 'PURPUREA'	PURPLE LEAFED HOPSEED BUSH	5 GAL	L
ERI WAY	ERIGERON GLAUCUS 'WAYNE RODERICK'	SEASIDE DAISY	1 GAL	L
ERI KAR	ERIGERON KARVINSKIANUS	FLEABANE	1 GAL	L
ERY BOW	ERYSIMUM 'BOWLES MAUVE'	WALLFLOWER	5 GAL	L
ERY APR	ERYSIMUM X 'APRICOT TWIST'	APRICOT TWIST WALLFLOWER	5 GAL	L

**CONCEPTUAL SHRUBS PALETTE (cont.)**

EUP RED	EUPHORBIA X MARTINI 'RED MARTIN'	EUPHORBIA	5 GAL	L
FUC GAR	FUCHSIA HYBRIDA 'GARTENMEISTER BONSTEDT'	FUCHSIA	5 GAL	M
GRE NOE	GREVILLEA HYBRID 'NOELLI'	GREVILLEA	5 GAL	L
HEB SPE	HEBE SPECIOSA	SHOWY HEBE	5 GAL	M
HEB AUT	HEBE X 'AUTUMN GLORY'	AUTUMN GLORY HEBE	5 GAL	M
HEB COE	HEBE 'COED'	HEBE	5 GAL	M
HEM HYB	HEMEROCALLIS HYBRID	FLOWERING DAYLILY	1 GAL	L
HEU SAC	HEUCHERA X 'SANTA ANA CARDINAL'	CORAL BELLS	1 GAL	M
JUN RO2	JUNIPERUS C. SPARTAN	NCN	15 GAL	L
JUN SK2	JUNIPERUS S. SKYROCKET	NCN	15 GAL	L
LAV ASS	LAVATERA ASSURGENTIFLORA	MALLOW	5 GAL	L
LIR GIG	LIRIOPE GIGANTEA	GIANT LIRIOPE	5 GAL	M
LOR CHI	LOROPETALUM CHINENSE	GREEN FINGE FLOWER	5 GAL	L
OLE LIT	OLEA EUROPAEA 'LITTLE OLLIE' STANDARD	LITTLE OLLIE OLIVE - STANDARD	15 GAL	VL
PEN WH2	PENNISETUM SETACEUM 'WHITE'	WHITE FOUNTAIN GRASS	5 GAL	L
PHO TT	PHORMIUM TENAX 'TOM THUMB'	DWARF GREEN FLAX	1 GAL	L
PHO WAV	PHORMIUM TENAX 'YELLOW WAVE'	NEW ZEALAND FLAX	5 GAL	L
PHO MQ	PHORMIUM 'MAORI QUEEN'	NEW ZEALAND FLAX	5 GAL	L
PIT CM	PITTIOSPORUM TOBIRA 'CREAM DE MINT' TM	CREAM DE MINT DWARF MOCK ORANGE	5 GAL	L
PIT WHE	PITTIOSPORUM TOBIRA 'WHEELERS DWARF'	WHEELER'S DWARF MOCK ORANGE	5 GAL	M
PRU CAR	PRUNUS CAROLINIANA 'BRIGHT-N-TIGHT'	CAROLINA LAUREL CHERRY	15 GAL	L
ROS CAL	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GAL	L
ROS IC2	ROSA FLORIBUNDA 'ICEBERG'	ROSE	5 GAL	M
ROS RED	ROSA FLOWER CARPET RED	GROUNDCOVER ROSE	2 GAL	M
ROS IC3	ROSA ICEBERG (STANDARD)	ROSE	15 GAL STD	M
ROS FLC	ROSA X 'FLOWER CARPET APPLEBLOSSOM' TM	GROUNDCOVER ROSE	2 GAL	M
ROS FL6	ROSA X 'FLOWER CARPET WHITE'	GROUNDCOVER ROSE	2 GAL	M
SOL RAN	SOLANUM RANTONNETII (STANDARD)	PARAGUAY NIGHTSHADE	15 GAL STD.	L
TAG LEM	TAGETES LEMMONII	COPPER CANYON DAISY	1 GAL	L
TIB UR2	TIBOUCHINA URVILLEANA	PRINCESS FLOWER	5 GAL	M
WES FRU	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	L

**CONCEPTUAL GRASSES & GROUND COVER**

CODE	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS WATER USE
CAR PAN	CAREX PANSA	SANDDUNE SEDGE	FLAT	L
FES IDA	FESTUCA IDAHOENSIS	IDAHO FESCUE	1 GAL	L
FES OVI	FESTUCA OVINA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL	L
NAS TEN	NASSELLA TENUSSIMA	MEXICAN FEATHERGRASS	5 GAL	L
CODE	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS WATER USE
SOD	FESTUCA ELATOR 'MEDALLION'	FESTUCA MEDALLION SOD	SOD	H
FES MOW	FESTUCA X 'NO MOW'	FESTUCA X 'NO MOW'	SOD	M
FRA CHI	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	FLAT	L

**PLANTING & WATER EFFICIENCY DESIGN INTENT STATEMENT**

THE PLANTING DESIGN INCORPORATES PRINCIPLES INCLUDED IN THE 'BAY FRIENDLY LANDSCAPE GUIDELINES'.

THE PLANTING DESIGN MINIMIZES TURF/LAWN AREAS AND UTILIZES PRIMARILY LOW WATER USE & NATIVE PLANT SPECIES AND ORNAMENTAL PLANTS ADAPTED TO LOCAL CLIMATIC CONDITIONS. PLANTS ARE GROUPED BY HYDROZONE, & EXPOSURE. THE PLANTING DESIGN ALLOWS FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE AND ELIMINATES THE NEED FOR EXCESSIVE PRUNING OR HEDGING.

SELECTED TREES HAVE BEEN CHOSEN TO PROVIDE A VARIATION OF HEIGHTS, WIDTHS, COLORS, TEXTURES, AND CHARACTER. TREE LOCATION AND ORIENTATION HAVE BEEN DESIGNED FOR MAXIMUM AESTHETIC EFFECT AND PASSIVE SOLAR BENEFITS.

VEGETATED SWALES AND BIORETENTION TREATMENT AREAS WILL BE PLANTED WITH APPROVED WATER CONSERVING CAREX PANSA OR ALTERNATIVE GRASS SPECIES, AND PERIMETER SHRUBS THAT ARE ADAPTED TO BIO-SWALE CONDITIONS.

THE TREES, SHRUBS AND TURF PLANTING AREAS WILL BE DESIGNED IN CONJUNCTION WITH THE IRRIGATION SYSTEM FOR MAXIMUM WATER CONSERVATION. THE LANDSCAPES ESTIMATED TOTAL WATER USE WILL NOT EXCEED THE PROJECTS MAXIMUM WATER ALLOWANCE AS SPECIFIED IN THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

THE PLANTING & IRRIGATION DESIGN WILL COMPLY WITH THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

THE PLANTS HAVE BEEN SELECTED UTILIZING THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PLANT LIST, WUCOLS III. NO PLANTS ARE USED THAT ARE CONSIDERED INVASIVE IN THE THE REGION AS LISTED BY THE CAL-IPC.

**IRRIGATION DESIGN INTENT STATEMENT**

THE IRRIGATION SYSTEMS WILL UTILIZE A COMBINATION OF PRESSURE COMPENSATING LOW VOLUME DRIP EMITTERS, PRESSURE COMPENSATING LOW FLOW BUBBLERS & SPRAY HEADS. THE LOW, MEDIUM AND HIGH WATER USE PLANTS WILL BE ON SEPARATE VALVE CIRCUITS. PLANT SPECIES WILL BE GROUPED BY HYDROZONE AS STATED ABOVE.

ALL NEW TREES WILL BE IRRIGATED WITH DEEP WATERING BUBBLERS. THE GREAT LAWN WILL BE IRRIGATED WITH LOW GALLON USE SPRAY HEADS WITH MATCHED PRECIPITATION RATE HEADS. ADJACENT PAVING WILL BE DESIGNED TO DRAIN ENTIRELY TO THE LANDSCAPE AREAS SHOULD ANY OVER SPRAY OCCUR.

SMART E.T. BASED IRRIGATION CONTROLLERS SHALL BE UTILIZED TO OPTIMIZE EFFICIENT WATER APPLICATION. SMART CONTROLLERS AUTOMATICALLY ADJUST THEIR DAILY WATER SCHEDULE PROGRAMMING BASED UPON THE LOCAL CLIMATE AT THE PROJECT SITE. SMART CONTROLLERS RECEIVE WIRELESS DATA DAILY FROM THE IRRIGATION MANUFACTURERS WEATHER DATA SERVICE. A RAIN SWITCH WILL BE INSTALLED TO PREVENT IRRIGATION DURING RAINY PERIODS.

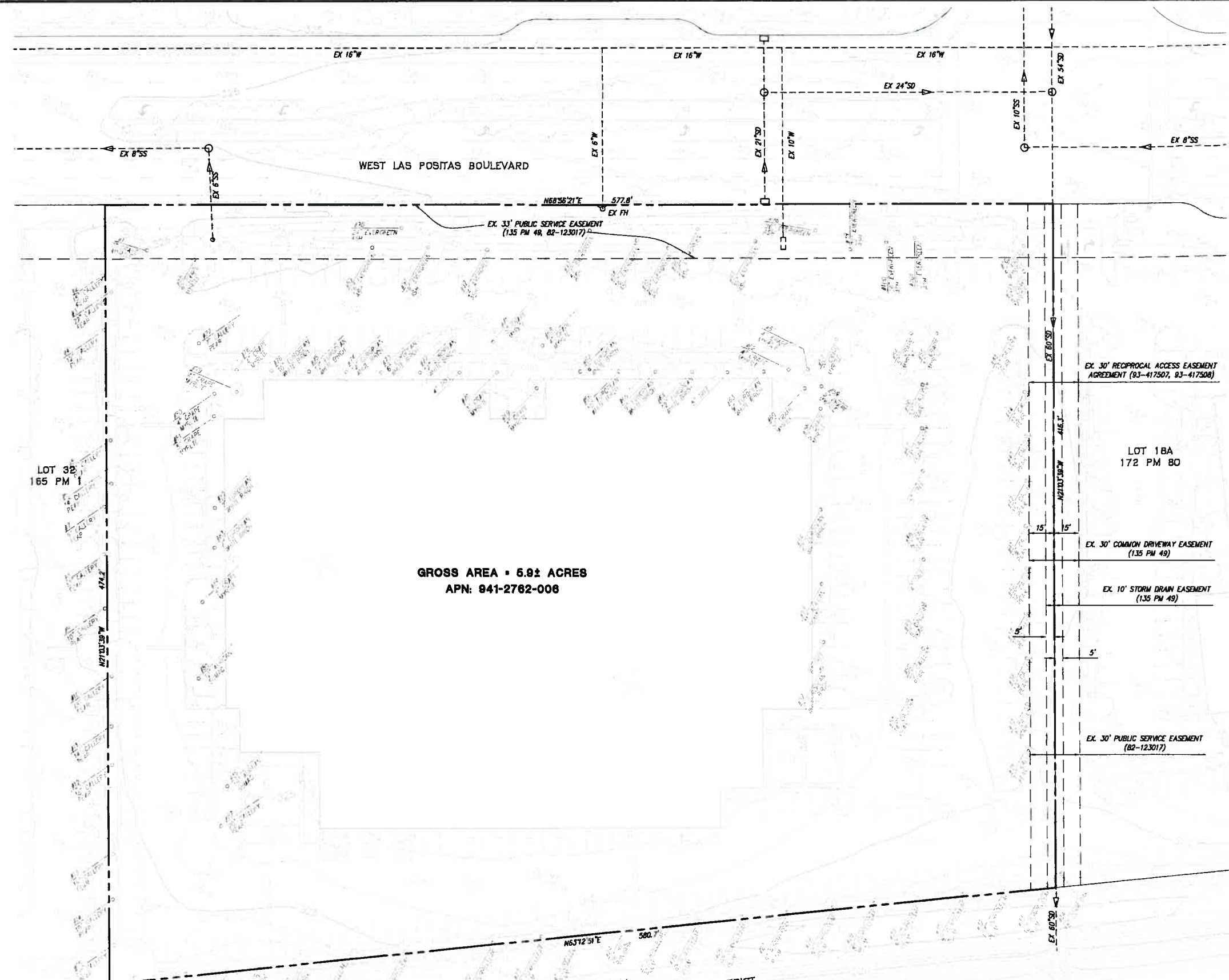
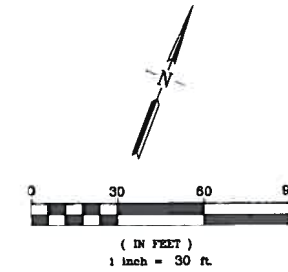
A FLOW SENSOR AND MASTER VALVE WILL BE CONNECTED TO THE SMART CONTROLLER TO ALLOW AUTOMATIC SHUT OFF OF ANY VALVE CIRCUIT OR MAIN LINE IN THE EVENT OF A PIPE BRAKE TO PREVENT WATER WASTE.

THE IRRIGATION SYSTEM DESIGN WILL COMPLY WITH THE 2010 CALIFORNIA WATER EFFICIENT LANDSCAPE ORDINANCE.

CONCEPTUAL TREE PALETTE

CONCEPTUAL SHRUBS & GROUNDCOVER PALETTE





ARROYO MOCHO CANAL  
 ALAMEDA COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT  
 REEL 272B IMAGE 3

**EXISTING CONDITIONS PLAN**  
**5850 WEST LAS POSITAS BOULEVARD**

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA  
 FOR: SHAC LAS POSITAS APARTMENTS LLC.

**RJA**  
**RUGGERI-JENSEN-AZAR**  
 ENGINEERS • PLANNERS • SURVEYORS  
 4800 CHARLES DRIVE, SUITE 200 PLEASANTON, CA 94588  
 PHONE: (925) 227-8100 FAX: (925) 227-6300

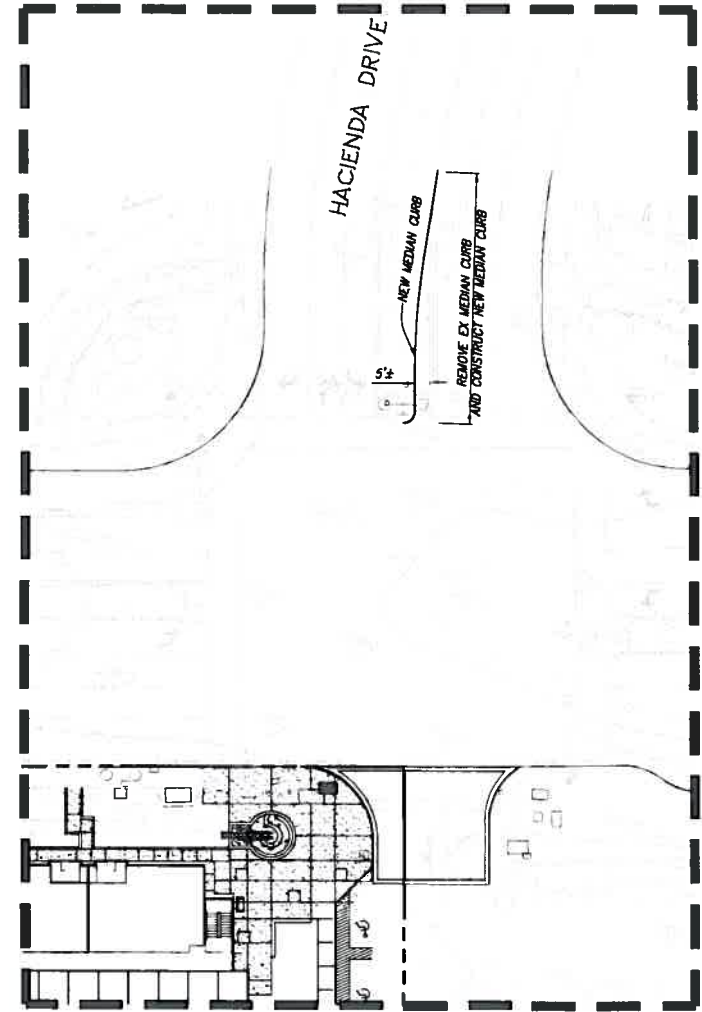
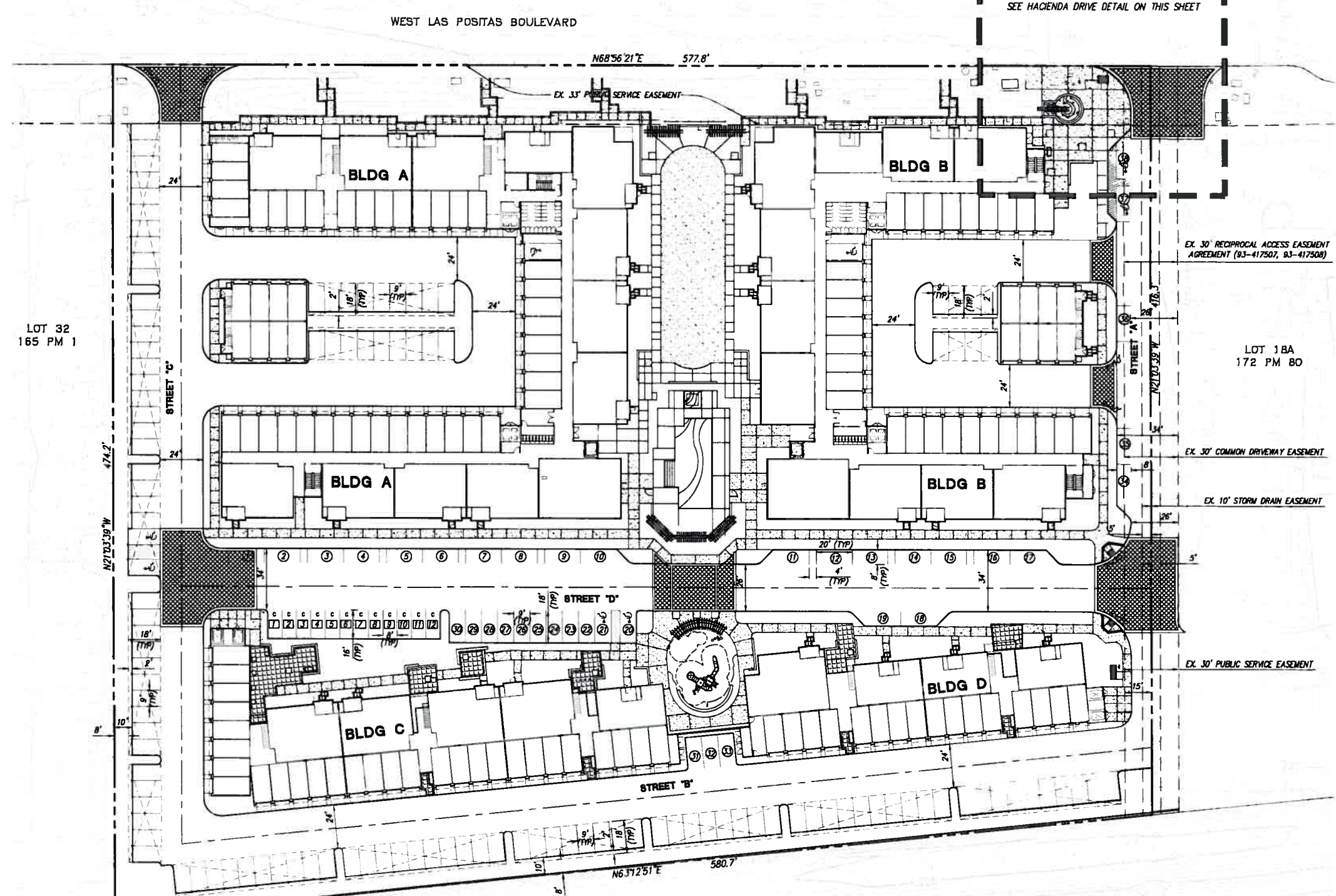
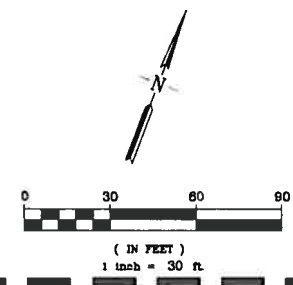
NO.	DATE	DESCRIPTION	BY

DATE: DECEMBER 20, 2013

JOB NO.: 131045

SHEET NO.  
**C-1.0**

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HACIENDA DRIVE DETAIL

© L:\02011\131045\131045-C2.0 SITE PLAN.DWG 12/21/2013 3:46:33 PM DOMINIC CARROZ

# PRELIMINARY SITE PLAN

## 5850 WEST LAS POSITAS BLVD.

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA  
FOR: SHAC LAS POSITAS APARTMENTS LLC.

**SUMMARY PARKING COUNT**

GARAGE	130
CARPORT	124
ON-STREET	38
ON-STREET(COMPACT)	12
<b>TOTAL</b>	<b>304</b>

**RJA**  
**RUGGERI-JENSEN-AZAR**  
ENGINEERS • PLANNERS • SURVEYORS  
4540 CHARLES DRIVE, SUITE 200 PLEASANTON, CA 94588  
PHONE: (925) 227-9100 FAX: (925) 227-9200

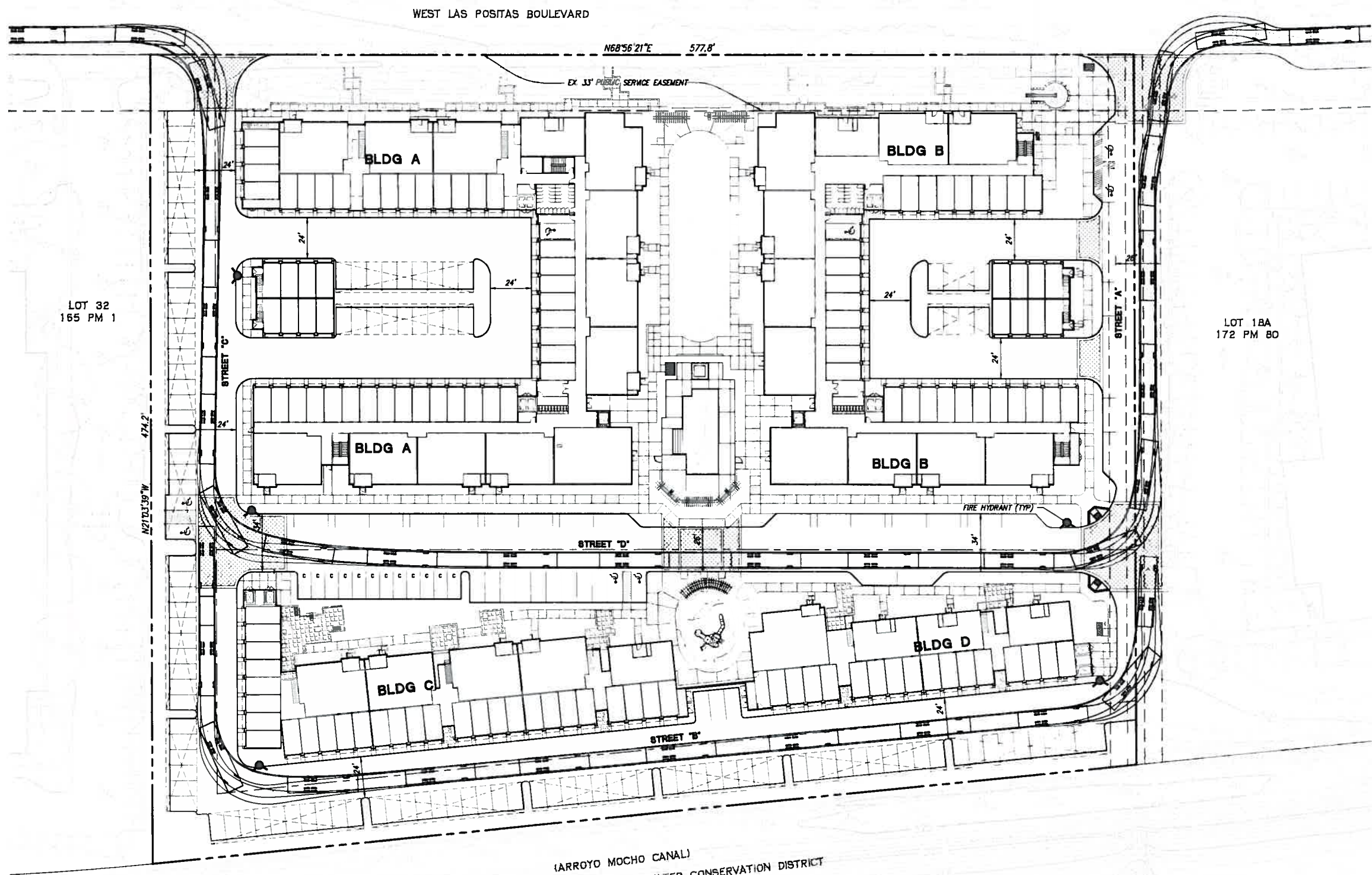
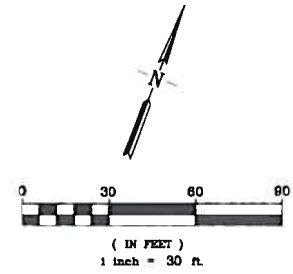
NO.	DATE	DESCRIPTION	BY

DATE: DECEMBER 20, 2013

JOB NO.: 131045

SHEET NO.  
**C-2.0**





LOT 32  
165 PM 1

LOT 18A  
172 PM 80

(ARROYO MOCHO CANAL)  
ALAMEDA COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT  
REEL 2728 IMAGE 3

**PRELIMINARY FIRE HYDRANT LOCATION AND FIRE TURNING PATH PLAN**

**5850 WEST LAS POSITAS BLVD.**

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA  
FOR: SHAC LAS POSITAS POSITAS APARTMENTS LLC

**RJA**  
**RUGGERI-JENSEN-AZAR**  
ENGINEERS • PLANNERS • SURVEYORS

NO.	DATE	DESCRIPTION	BY

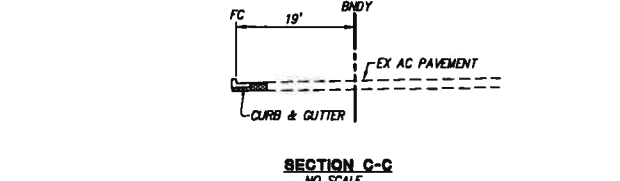
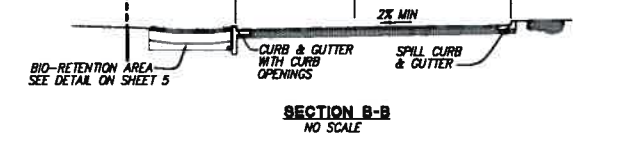
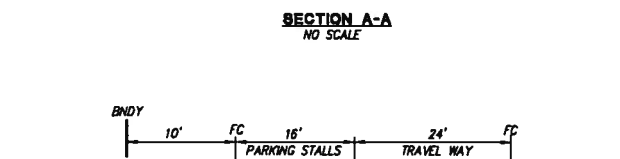
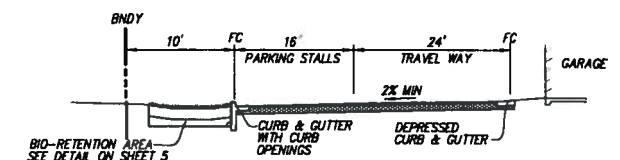
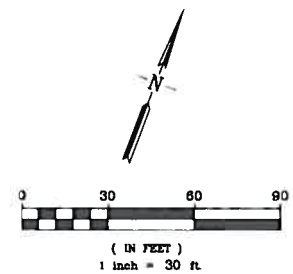
DATE: DECEMBER 20, 2013

JOB NO.: 131045

SHEET NO.  
**C-3.0**

G:\AR2013\131045\131045-CLC-FIRE HYDRANT TURNING.DWG 12/21/2013 10:56:07 AM DOMINIC CARROO

NOTE:  
1. TREES 92 AND 99 MAY NEED TO BE REMOVED DUE TO THE PROXIMITY OF PEDESTRIAN ACCESS TO W. LAS POSITAS BOULEVARD. DETERMINATION WILL BE MADE BY PROJECT ARBORIST AT TIME OF CONSTRUCTION.



**ESTIMATED EARTHWORK QUANTITIES**

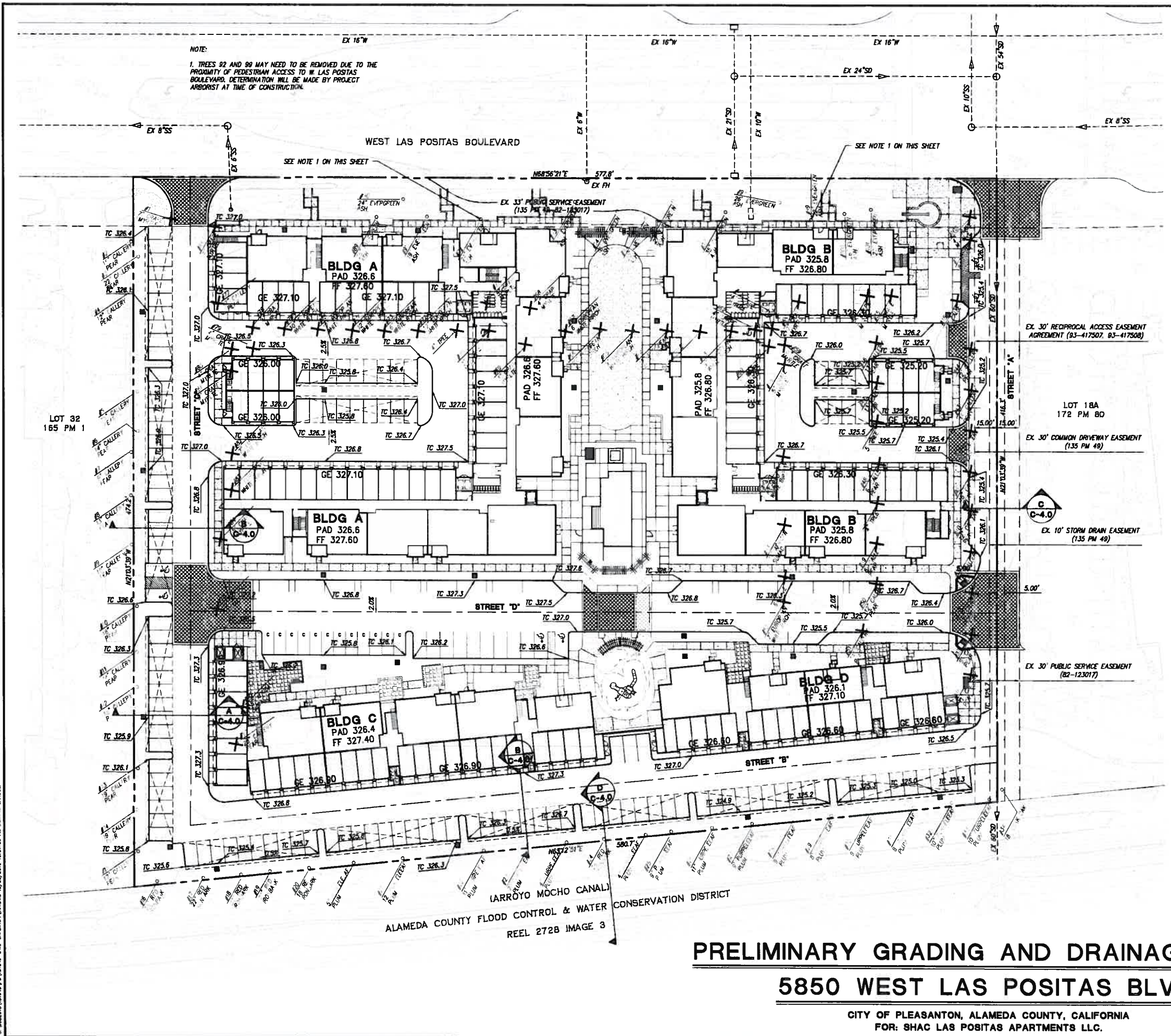
ITEMS	CUT (C.Y.)	FILL (C.Y.)
BUILDING & LANDSCAPE AREA	1,300	2,200
STREET AREA	3,000	-
BIO-RETENTION AREA	800	-
TRENCH SPOIL	3,000	-
SHRINKAGE (ASSUME 15%)	-	300
<b>TOTAL</b>	<b>8,000</b>	<b>2,500</b>

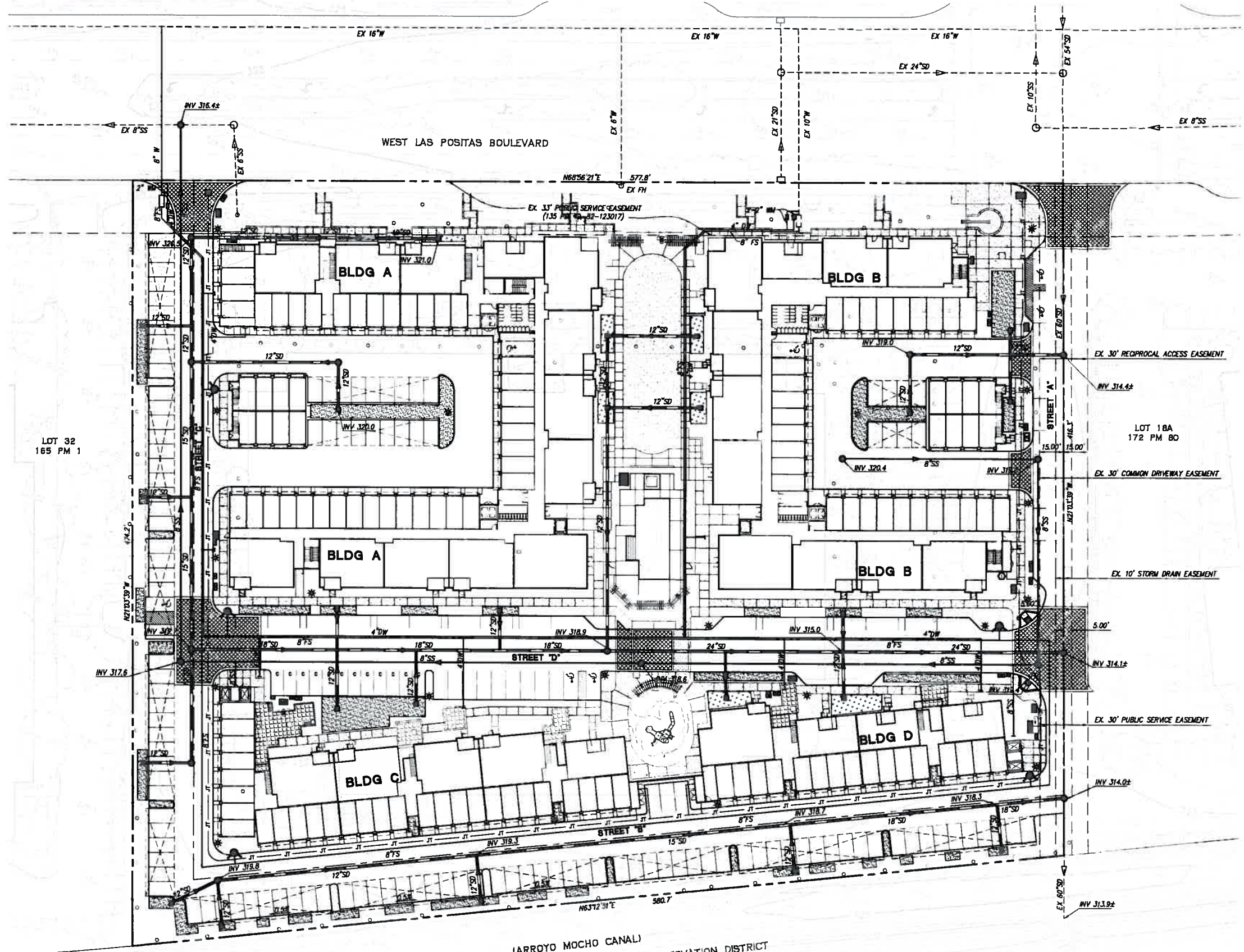
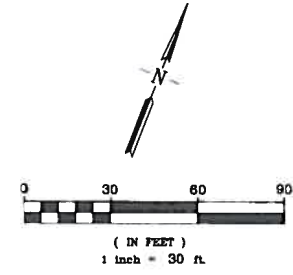
- ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE, CALCULATED CUT AND FILL ARE TO "ROUGH GRADE" AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD OF OPERATION.
- IT IS ASSUMED DEMO OF EXISTING BUILDING FOUNDATION (ESTIMATED 1,700 CY) AND REMOVAL OF EXISTING AC PAVEMENT (ESTIMATED 1,100 CY) QUANTITIES WILL BE OFF-HAULED SEPARATELY OR USED AS A SUBBASE AND ARE NOT INCLUDED IN THE ESTIMATED EARTHWORK QUANTITIES.
- THIS ESTIMATE QUANTITY DOES NOT INCLUDE FOUNDATION & PLUMBING SPOILS.

**RJA**  
**RUGGERI-JENSEN-AZAR**  
ENGINEERS • PLANNERS • SURVEYORS  
4830 CHERRY DRIVE, SUITE 200 • FLEMINGTON, CA 94504  
PHONE (925) 227-9100 • FAX (925) 227-9200

NO.	DATE	DESCRIPTION	BY

DATE: DECEMBER 20, 2013  
JOB NO.: 131045  
**C-4.0**





**LEGEND**

- DW DOMESTIC WATER
- FS FIRE SERVICE
- SD STORM DRAIN
- SS SANITARY SEWER
- JT JOINT TRENCH

**NOTE:**

1. TRASH CAPTURE DEVICES SHALL BE INSTALLED AT DOWNSTREAM ENDS OF NEW STORM DRAINS PRIOR TO DISCHARGING INTO THE EXISTING 60" CITY STORM DRAIN PER THE CITY REQUIREMENTS.
2. GREASE INTERCEPTORS SHALL BE INSTALLED FOR ALL TRASH ENCLOSURES.


C:\LABOR\2013\131045\131045-05-0-UTILITY PLAN DWG 12/21/2013 16:56:51 AM DOMINIC CARRO

ALAMEDA COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT  
 (ARROYO MOCHO CANAL)  
 REEL 2728 IMAGE 3

## PRELIMINARY UTILITY PLAN

### 5850 WEST LAS POSITAS BLVD.

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA  
 FOR: SHAC LAS POSITAS APARTMENTS LLC.



**RUGGERI-JENSEN-AZAR**  
 ENGINEERS • PLANNERS • SURVEYORS  
 4530 DUNSTON DRIVE, SUITE 200 PLEASANTON, CA 94566  
 PHONE (925) 227-9100 FAX (925) 227-9200

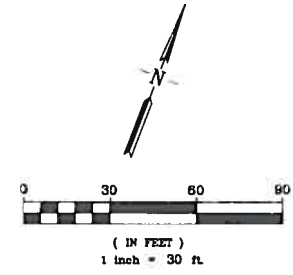
NO.	DATE	DESCRIPTION	BY

DATE: DECEMBER 20, 2013

JOB NO.: 131045

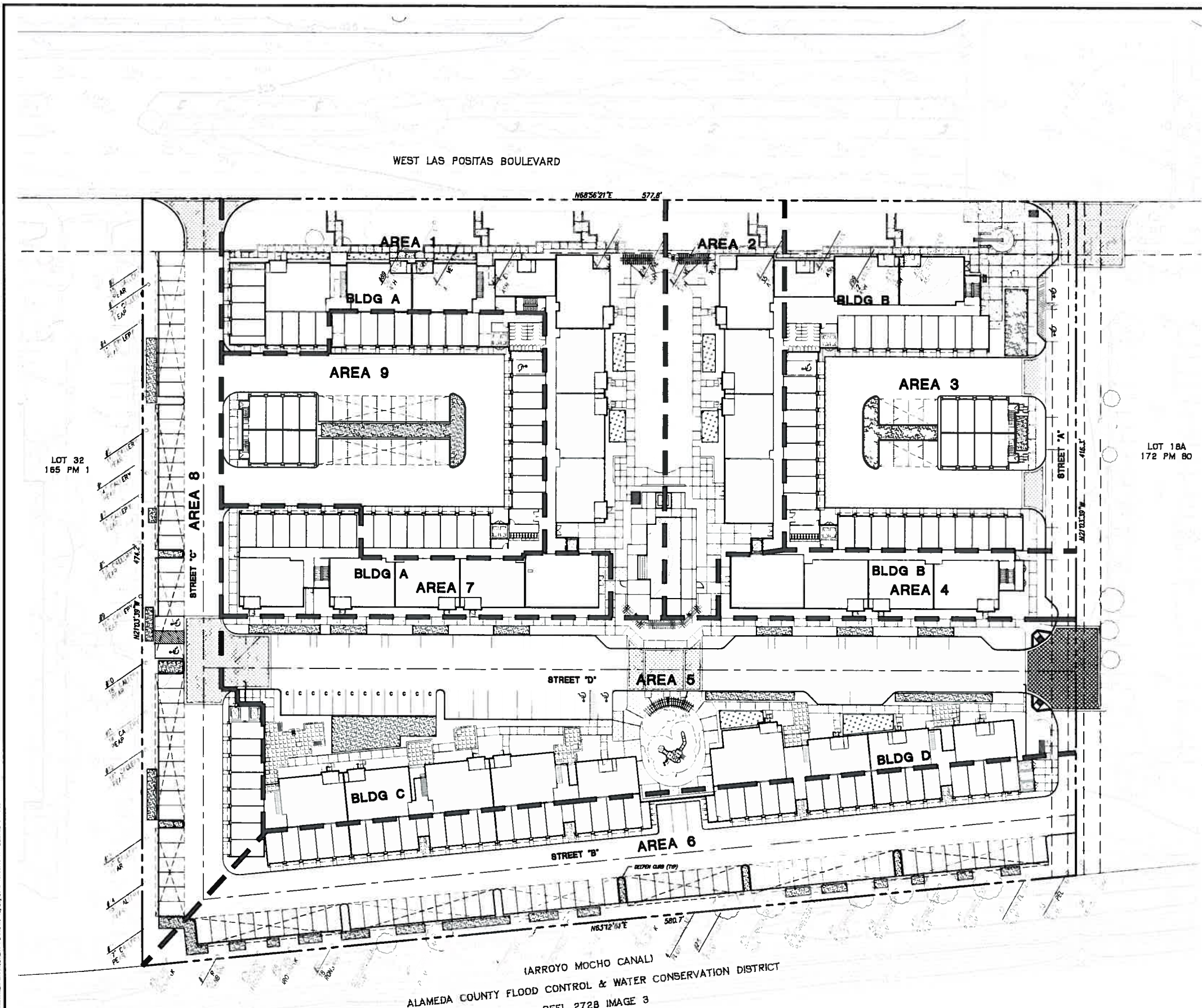
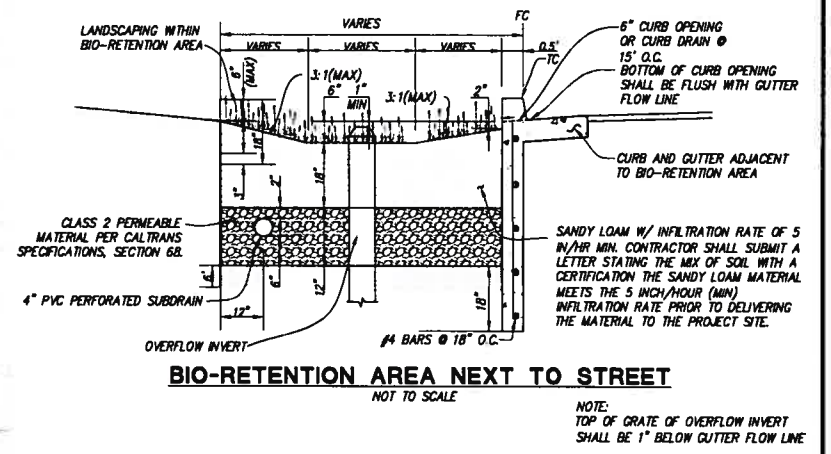
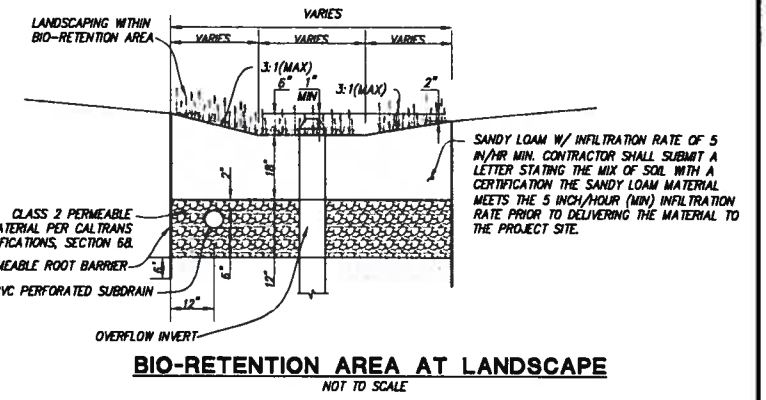
SHEET NO.

C-5.0



**STORMWATER TREATMENT CALCULATION**

AREA ID	SURFACE	IMPERVIOUS AREA (SF)	BMP USED	SIZING FACTOR	REQUIRED SURFACE AREA (SF)	SURFACE AREA AS PROVIDED (SF)
AREA 1	ROOF/PAV	15,584	BIO RETENTION	0.04	623	694
AREA 2	ROOF/PAV	6,720	BIO RETENTION	0.04	269	380
AREA 3	ROOF/PAV	35,151	BIO RETENTION	0.04	1,406	1,406
AREA 4	ROOF	7,980	BIO RETENTION	0.04	319	333
AREA 5	ROOF/PAV	57,200	BIO RETENTION	0.04	2,288	3,000
AREA 6	ROOF/PAV	34,505	BIO RETENTION	0.04	1,380	1,424
AREA 7	ROOF	11,950	BIO RETENTION	0.04	478	555
AREA 8	ROOF/PAV	19,663	BIO RETENTION	0.04	787	931
AREA 9	ROOF/PAV	26,500	BIO RETENTION	0.04	1,060	1,060



ALAMEDA COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT  
REEL 2728 IMAGE 3

# PRELIMINARY STORMWATER MANAGEMENT PLAN

## 5850 WEST LAS POSITAS BLVD.

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA  
FOR: SHAC LAS POSITAS APARTMENTS LLC.

**RJA**  
**RUGGERI-JENSEN-AZAR**  
ENGINEERS • PLANNERS • SURVEYORS

NO.	DATE	DESCRIPTION	BY

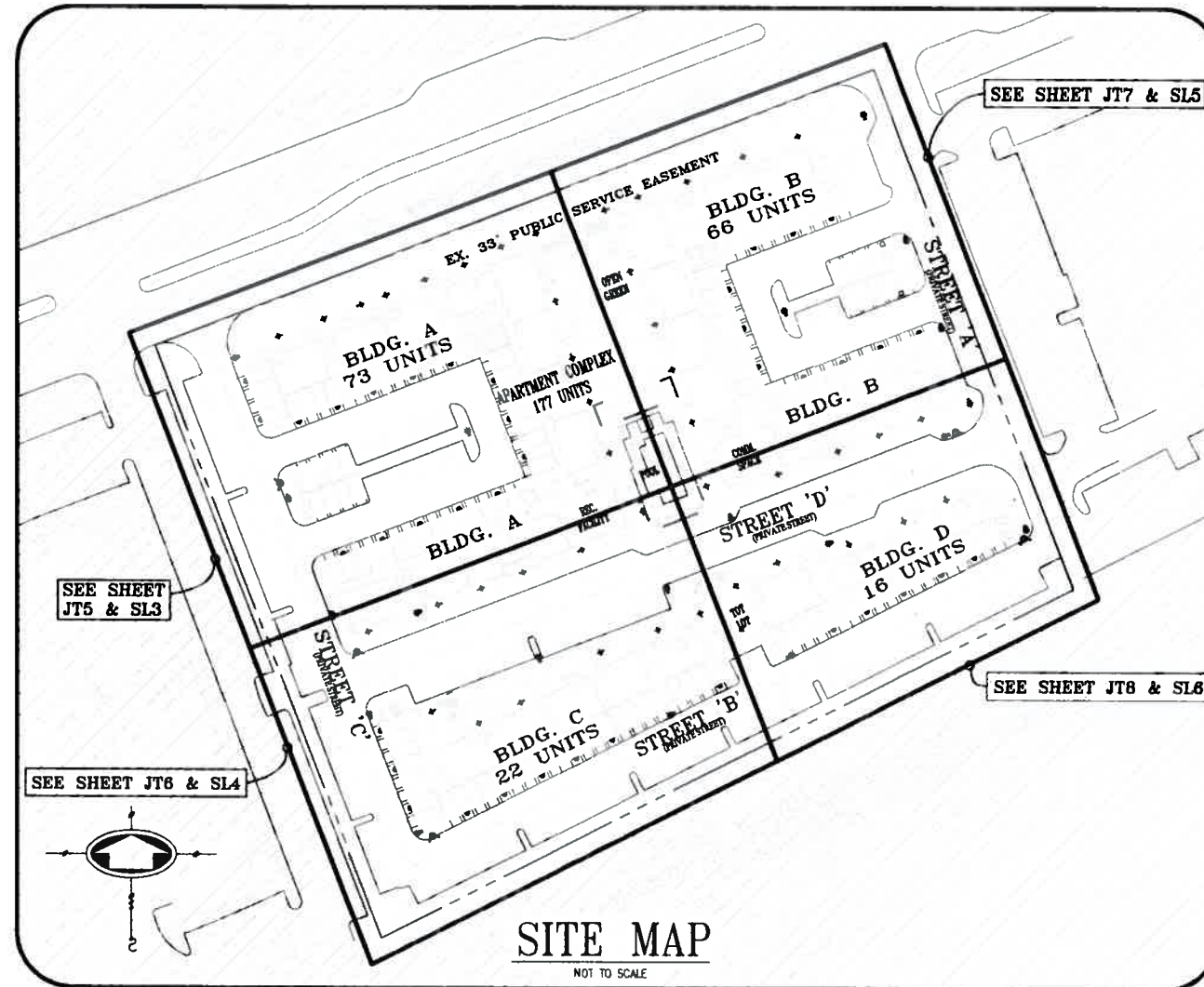
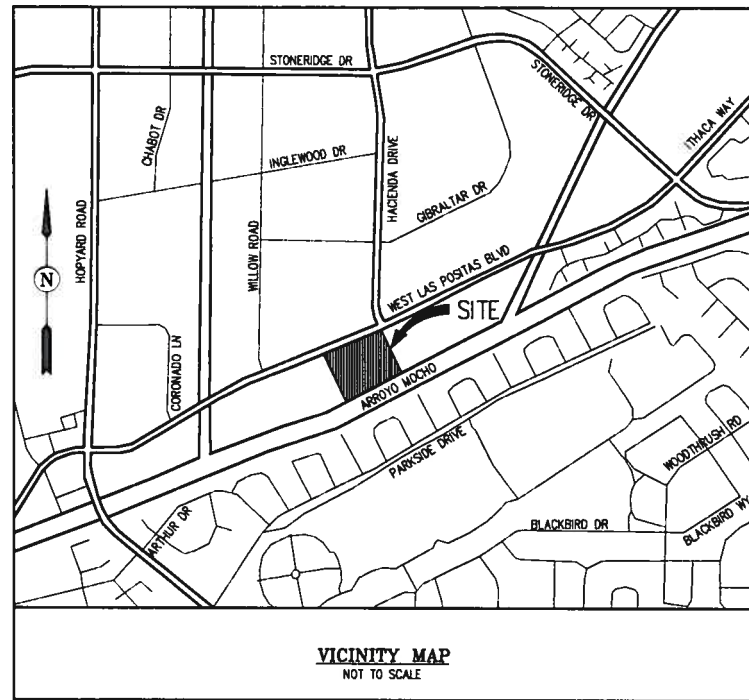
DATE: DECEMBER 20, 2013

JOB NO.: 131045

SHEET NO.  
**C-6.0**

C:\L\2013\131045\131045-06-0-Stormwater Management Plan.dwg 12/23/2013 10:56:15 AM DYNAMIC CONCEPT

# SUMMERHILL HOMES CANNAE PLEASANTON ALAMEDA COUNTY CALIFORNIA



SHEET INDEX	
SHEET NO.	DESCRIPTION
JT1	JOINT TRENCH COMPOSITE TITLE SHEET
JT2	JOINT TRENCH GENERAL NOTES AND DETAILS
JT3	JOINT TRENCH DETAILS
JT4	JOINT TRENCH SECTIONS AND DETAILS
JT5 - JT8	JOINT TRENCH COMPOSITE PLAN
SL1-SL2	STREET LIGHTING GENERAL NOTES AND DETAILS
SL3 - SL6	STREET LIGHTING SITE PLAN
PE	PHOTOMETRIC EXHIBIT

- 4 NEW FULL SERVICE COMPLETIONS (MULTI FAMILY DWELLINGS 177 UNITS)
- 1 NEW FULL SERVICE COMPLETION (REC. CENTER)

1,415 L.F. OF JOINT TRENCH, XXXX L.F. OF STREET LIGHT TRENCH, 16 POST TOP STREET LIGHTS AND 36 BOLLARD LIGHTS SHALL BE INSTALLED WITH THIS JOINT TRENCH PLAN SET

TARRAR UTILITY REP.:	KHALID TARRAR	JOB NO.	21325	PHONE NO.	(925) 240-2595
DEVELOPER:	SUMMERHILL HOMES (KEVIN EBRAHIM)	JOB NO.	21325	PHONE NO.	(650) 842-2288
PG&E ELECTRIC COORDINATOR:	RENEE ROMO	JOB NO.	R-PGEJOBNO	PHONE NO.	(408) 625-2077
PG&E GAS COORDINATOR:	RENEE ROMO	JOB NO.	R-PGEJOBNO	PHONE NO.	(408) 625-2077
TELEPHONE REP.:	JAMES WILBERT MILLAN	JOB NO.	R-TELEJOBNO	PHONE NO.	(925) 823-1587
CABLE T.V. REP.:	ROBERT OBIACORO	JOB NO.	R-CATVJOBNO	PHONE NO.	(925) 206-5121

FILES STATUS			
DESCRIPTION:	BY:	DATE:	STATUS:
CIVIL PLANS (ELECTRONIC FILE)	RUGGERI - JENSEN - AZAR	11-07-2013	R
ARCHITECTURAL PLANS (ELECTRONIC FILE)	KTGY GROUP, INC.	08-10-2013	R
LANDSCAPE PLANS (ELECTRONIC FILE)	VAN DORN ABED LANDSCAPE ARCHITECTS, INC.	11-07-2013	R
GAS DESIGN	TARRAR UTILITY CONSULTANTS	XX-XX-XXXX	XXXX
ELECTRIC DESIGN	LOPES UTILITY DESIGN SERVICES	XX-XX-XXXX	XXXX
TELEPHONE INTENT REPLY	JAMES WILBERT MILLAN (AT&T)	XX-XX-XXXX	XXXX
CATV INTENT REPLY	ROBERT OBIACORO (SFPNCO)	XX-XX-XXXX	XXXX
STREET LIGHT PLANS - PUBLIC	TARRAR UTILITY CONSULTANTS	XX-XX-XXXX	XXXX
STREET LIGHT PLANS - PRIVATE	TARRAR UTILITY CONSULTANTS	XX-XX-XXXX	XXXX
SOILS REPORT	TBD	XX-XX-XXXX	XXXX

A = APPROVED • ANS = APPROVED NOT SIGNED • NA = NOT APPROVED • F = FIRST SUBMITTAL • SS = SECOND SUBMITTAL • R = RECEIVED

**COMPOSITE DRAWING BY DEVELOPER**

Estimate # \_\_\_\_\_

Approved \_\_\_\_\_ Gas ADE \_\_\_\_\_ Date \_\_\_\_\_

Approved \_\_\_\_\_ Electric ADE \_\_\_\_\_ Date \_\_\_\_\_

PG & E is not responsible for the accuracy of the specifications shown on this drawing.

**COMPOSITE DRAWING BY DEVELOPER**

Approved \_\_\_\_\_ Telephone representative \_\_\_\_\_ Date \_\_\_\_\_

Approved \_\_\_\_\_ CATV representative \_\_\_\_\_ Date \_\_\_\_\_

LEGEND	
	PROPOSED JOINT TRENCH
	PROPOSED JOINT TRENCH CROSSING
	PROPOSED JOINT TRENCH SERVICE
	EXISTING JOINT TRENCH
	PROPOSED GAS
	EXISTING GAS
	EXISTING STORM DRAIN
	EXISTING SEWER
	EXISTING WATER
	EXISTING UNDERGROUND CATV LINES
	EXISTING UNDERGROUND ELECTRIC LINES
	EXISTING UNDERGROUND UTILITY LINES
	EXISTING UNDERGROUND TELEPHONE LINES
	EXISTING OVERHEAD UTILITY LINES
	EXISTING OVERHEAD CATV LINES
	EXISTING OVERHEAD TELEPHONE LINES
	EXISTING OVERHEAD ELECTRIC LINES
	EXISTING OVERHEAD HIGH VOLTAGE ELECTRIC LINES
	PROPOSED STORM DRAIN
	PROPOSED SEWER
	PROPOSED WATER
	PROPOSED OVERHEAD UTILITY LINES
	DESIGNATES UTILITY LINES TO BE REMOVED
	EXISTING PRIMARY SPLICE BOX
	EXISTING SECONDARY SPLICE BOX
	PG&E SERVICE BOX, 17" x 30" x 18"/17" x 30" x 26"
	PG&E SPLICE BOX, 3' x 5' x 3'6"
	PG&E SPLICE BOX, 4'6" x 8'6" x 8'
	PG&E SUBSURFACE TRANSFORMER, 3' x 5' x 4'6"
	TELEPHONE SERVICE BOX, 14" x 20" x 15"
	10" x 15" x 12"/11" x 17" x 12"/11" x 17" x 18"
	TELEPHONE SERVICE BOX, 30" x 48" x 32"
	TELEPHONE SERVICE BOX, 24" x 36" x 42"
	CATV SPLICE BOX, 17" x 30" x 12"
	CATV SPLICE BOX PEDESTAL, 24" x 36" x 18"/12" x 30" x 14"
	ELECTROULER, POST TOP (XW)
	LIGHTING BOLLARD
	LIGHTING, WALL MOUNTED (BY OTHERS)
	STREET LIGHT PULL BOX STATE TYPE #3 1/2, 15" x 20" x 12"
	STREET LIGHT GROUND BOX STATE TYPE #5, 18" x 27.5" x 12"
	EXISTING TRAFFIC SIGNAL
	EXISTING ELECTROULER, SINGLE ARM
	IRRIGATION CONTROLLER (BY OTHERS)
	GAS ETS BOX, 17" x 30" x 18"
	BELLHOLE, 4" x 4"
	JOINT TRENCH LABEL, XX INDICATES SECTION NUMBER - X' INDICATES TRENCH SECTION LENGTH
	PG&E SKETCH LOCATION NUMBER
	PHOTO NUMBER REFERENCE, SEE PHOTO EXHIBIT SHEET(S)

**DEVELOPER  
PLEASE NOTE AND SIGN**

ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPER'S ENGINEER. ALL COSTS TO RELOCATE OR READJUST BOXES AT A LATER DATE WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR JOB SUPT. VERIFY THE CORRECT GRADE OF ALL ENCLOSURES AND BOXES, AND SIGN AND DATE DRAWING.

THANK YOU

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

3361 Walnut Blvd.  
Suite 100  
Brentwood, CA 94513  
(925) 240-2595  
(925) 240-7013 fax  
www.tarrar.com



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- PG&E Gas Design
- PG&E Elec Design
- H.E.P. Design
- Cost Analysis
- Due Diligence

## JOINT TRENCH COMPOSITE TITLE SHEET SUMMERHILL HOMES CANNAE PLEASANTON CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: DECEMBER 2013    DATE LAST WORKED ON: 12/20/2013

SCALE: NOT TO SCALE    DRAWN: AR    CHECKED: KT

JOB NO: 21325    PRELIMINARY NOT FOR CONSTRUCTION

INTENT TO CONSTRUCT



SHEET  
**JT1**  
OF  
**JT8**  
SHEETS

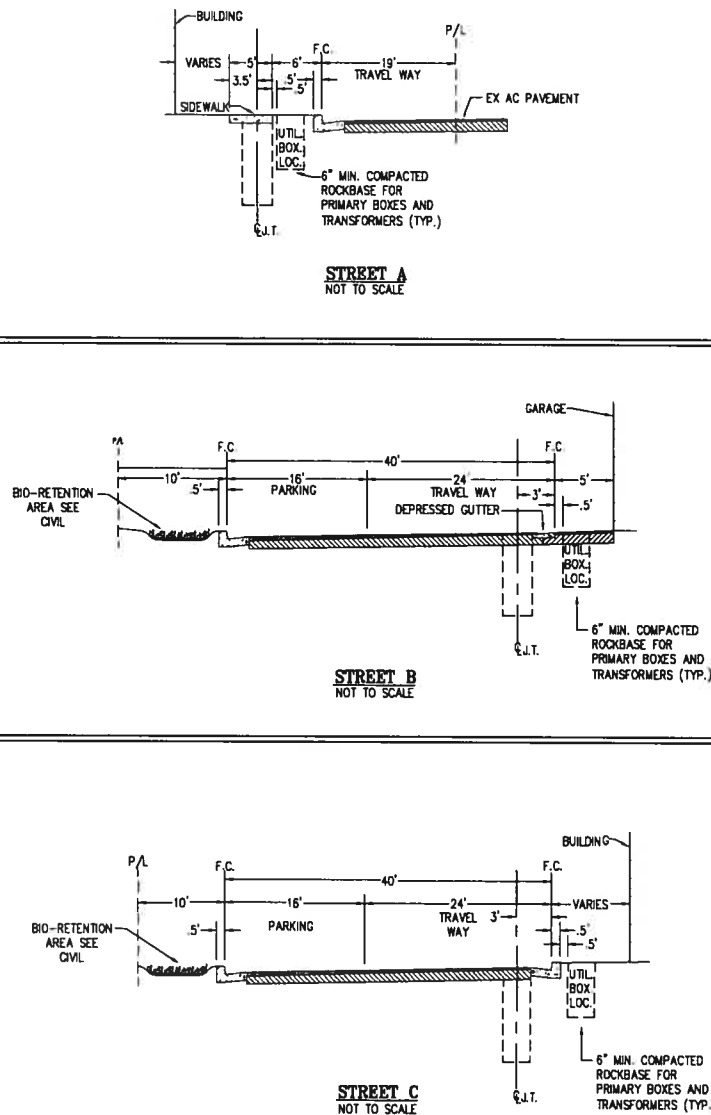
**PROJECT NOTES:**

- FIELD ADJUST SERVICES TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYPICAL).
- CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BACKFILLING AND OTHER WORK AS SHOWN OR NOTED ON PLANS, AND AS SPECIFIED ON UTILITY BID DOCUMENTS.
- FIELD ADJUST SPULCE BOXES TO KEEP CLEAR OF SIDEWALK, DRIVEWAYS AND EXISTING FACILITIES (TYPICAL).
- A 3 FOOT LEVEL WORKING AREA MUST BE MAINTAINED AROUND ALL ELECTRIC ENCLOSURES. PRIOR TO ENERGIZING THE SYSTEM, THE ELECTRIC UTILITY COMPANY INSPECTOR WILL DETERMINE IF RETAINING WALLS ARE REQUIRED TO MEET MINIMUM CLEARANCE BETWEEN ENCLOSURES AND THE TOPS OR TOES OF SLOPES. IF RETAINING WALLS ARE REQUIRED, THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE CITY/COUNTY BUILDING DEPARTMENT PRIOR TO WALL CONSTRUCTION.
- TRANSITION TO VAULTS FROM TRENCH NOT SHOWN, SEE TRANSITION DETAIL SHEET JT3 (TYPICAL).
- CONTRACTOR SHALL PLACE ALL UTILITY SPULCE BOXES, ENCLOSURES & CONDUIT IN PROPER RELATIONSHIP TO FINAL GRADE (SHOWN SCHEMATICALLY).
- ALL PG&E, TELEPHONE, CABLE T.V. AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER, WATER LATERALS AND DRIVEWAYS.
- CONTRACTOR SHALL COORDINATE ALL CONNECTIONS BETWEEN PROPOSED AND EXISTING FACILITIES AS DIRECTED BY THE RESPECTIVE UTILITY COMPANY INSPECTOR. UTILITY COMPANY PERSONNEL SHALL MAKE ALL "HOT TIE-INS"; THE CONTRACTOR IS PROHIBITED FROM WORKING IN ANY ENERGIZED FACILITIES.
- THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE STREET EXCAVATION AND ENCRDACHMENT PERMIT(S) FROM THE CITY/COUNTY PRIOR TO STARTING WORK IN THE PUBLIC STREET AREA.
- FIELD LOCATE JOINT TRENCH FACILITIES TO KEEP CLEAR OF SERVICE LATERALS. SERVICE LATERALS TO BE ROUTED TO AVOID SPULCE BOX (ADDITIONAL P.U.E MAY BE REQUIRED).
- RESPECTIVE UTILITY COMPANY TO OBTAIN CITY APPROVAL OF ALL ABOVE GROUND EQUIPMENT.
- UNLESS OTHERWISE SHOWN ON THE PLANS, NATURAL BENDS SHALL BE USED FOR ALL CONDUIT EXCEPT STREET LIGHT CONDUIT.
- INCIDENTAL TRENCHING TO SPULCE BOXES NOT SHOWN (TYPICAL). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPULCE BOXES AND CABINETS (TYPICAL).
- ALL CONDUITS SHALL ENTER OR EXIT PERPENDICULAR TO BOX WALLS.
- ALL CONDUITS MUST BE MANDREL TESTED AND APPROVED.
- OFFSET SPULCE BOXES TO ROUTE TELEPHONE/FIBER OPTIC CONDUIT AS NEEDED (TYPICAL).
- PULL ROPES SHALL BE PLACED IN ALL EMPTY CONDUITS AS REQUIRED BY EACH UTILITY COMPANY.
- ALL PG&E SPULCE BOXES ADJACENT TO TRANSFORMER SHALL BE 26" IN DEPTH (TYPICAL).
- ALL CONDUITS NOT ENTERING SPULCE BOXES OR ENCLOSURES SHALL BE CAPPED.
- COORDINATE TIE-IN WITH UTILITY COMPANY AS REQUIRED.
- THE STREET LIGHT SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" AND LIGHT SCHEDULE AS SHOWN ON THESE PLANS.
- ALL EXISTING DUCTS TO BE USED IN THESE PLANS SHALL BE "VERIFIED" BY PULLING A MANDREL THROUGH THE ENTIRE EXISTING LENGTH PRIOR TO CONNECTION.
- EDGE OF SPULCE BOXES & PEDESTALS SHALL BE 5' FROM EDGE OF FIRE HYDRANT AND 3' FROM STREET LIGHT (TYPICAL). CONTRACTOR TO AVOID DISTURBING FIRE HYDRANT THRUST BLOCK.
- ALL UTILITY SUBSTRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" SHOWN ON THESE PLANS.
- MAINTAIN 3' CLEARANCE AND LEVEL AREA AROUND PRIMARY SPULCE BOXES & XFMRs.
- DUE TO UNCERTAINTIES OF THE EXACT LOCATION OF EXISTING FACILITIES, FIELD LOCATION OF PROPOSED FACILITIES MAY BE REQUIRED. CONFIRM WITH VARIOUS UTILITIES FOR EXACT PLACEMENT.
- FOR CLARITY - BOXES/PEDESTALS ARE SHOWN AT LARGER SIZE THAN ACTUAL. FIELD ADJUST TO KEEP CLEAR OF DRIVEWAYS (TYPICAL).
- ALL SERVICE FACILITIES SHALL BE EXTENDED TO EITHER THE PROPERTY LINE OR TO POSITION SHOWN ON THE PLANS, AND THEN CAPPED, BURIED AND LOCATION STAKED.
- THESE PLANS WERE PREPARED UTILIZING PLANS RECEIVED FROM RUGGERI-JENSEN-AZAR (925) 227-9100.

**ABBREVIATION LIST**

B/C	BACK OF CURB	H.P.S.	HIGH PRESSURE SODIUM	RT	RETAINING WALL
B/W	BACK OF WALK	IRR.	IRRIGATION CONTROLLER	R/W	RIGHT OF WAY
BTU	BRITISH THERM UNITS	J.T.	JOINT TRENCH	SCH.	SCHEDULE
CB	CATCH BASIN	KV	KILO-VOLTS	SD	STORM DRAIN
CL	CENTERLINE	LE	LANDSCAPE EASEMENT	SHT.	SHEET
CAT.	CATALOG	LF	LINEAR FOOT/FEET	S/W	SIDE WALK
C OR CATV	CABLE TELEVISION	MH	MANHOLE	SS	SANITARY SEWER
CFH	CUBIC FEET PER HOUR	MDL	MINIMUM	SSE	SANITARY SEWER EASEMENT
CLP.	CAPITAL IMPROVEMENT PROJECT	MPOE	MINIMUM POINT OF ENTRY	ST. LT.-S/L	STREET LIGHT
CL	CENTER LINE	N.T.S.	NOT TO SCALE	SUBD'Y	SUBDIVISION
CU	COPPER	O.D.	OUTER DIAMETER	Sq.Ft.	SQUARE FOOTAGE
E	ELECTRIC	O.H.	OVER HEAD	T	TELEPHONE
EP	EDGE OF PAVEMENT	PRVE	PRIVATE INGRESS, EGRESS, AND UTILITY EASEMENT	TUC	TARRANT UTILITY CONSULTANTS
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	P	PROPERTY LINE	TYP.	TYPICAL
EX	EXISTING	P.S.	POWER SUPPLY	T/S	TRAFFIC SIGNAL
F/C	FACE OF CURB	PROJ.	PROJECT	U.G.	UNDERGROUND
PH	FIRE HYDRANT	PSDE	PRIVATE STORM DRAIN EASEMENT	U.G.N.	UNLESS OTHERWISE NOTED
FUT.	FUTURE	PSE	PUBLIC SERVICE EASEMENT	V	VOLT
F.O.	FIBER OPTIC	PVAV	PRIVATE VEHICLE ACCESS WAY	W	WATT
G	GAS	P.V.C.	POLY VINYL CHLORIDE	WT	WATER
GALV.	GALVANIZE	PWE	PUBLIC WATER LINE EASEMENT	W/	WITH
G.E.	GENERAL ELECTRIC	PWR	POWER	W/O	WITHOUT
GRD.	GROUND	PUE	PUBLIC UTILITY EASEMENT	WLE	WATER LINE EASEMENT
H.O.A.	HOME OWNERS ASSOCIATION	XFMR	TRANSFORMER		

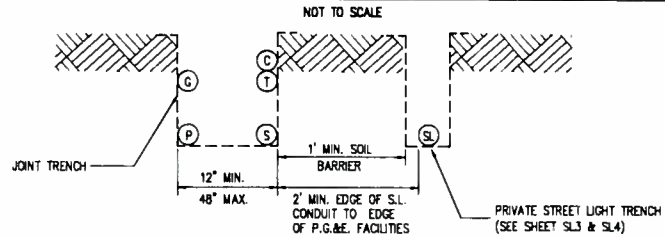
**JOINT TRENCH AND UTILITY BOX LOCATION**



**JOINT TRENCH STREET SECTIONS**

NOTE: SEE PLANS FOR CONFIGURATIONS AND ARRANGEMENTS. \* UNLESS OTHERWISE SHOWN  
WITHIN ROADWAY SECTION  
(95% RELATIVE COMPACTION FOR THE TOP 6" BELOW ROAD SUBGRADE AND 90% BELOW THAT)

**PRIVATE STREET LIGHT TRENCH LOCATION ADJACENT TO JOINT TRENCH**



**GENERAL NOTES:**

- ALL JOINT TRENCH CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH PG&E UTILITY OPERATIONS UO STANDARD 55453.
- ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND SATISFACTION OF ALL PARTICIPATING UTILITIES AND CITY INSPECTORS.
- BACKFILL SELECTION SHALL BE SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY COMPANIES, THE SOILS ENGINEER AND THE CITY AND/OR COUNTY WHERE THE PROJECT IS LOCATED. CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACKFILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
- THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES AND A SAND CUSHION MINIMUM OF 4" MAY BE REQUIRED AS A PAD ON WHICH UTILITY FACILITIES CAN REST.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND NOTIFY ALL PARTICIPATING UTILITY INSTALLATIONS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRANT UTILITY CONSULTANTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND/OR PRECISE LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. TARRANT UTILITY CONSULTANTS MAKES NO WARRANTY WHATSOEVER THAT THE EXISTING UNDERGROUND UTILITIES AND/OR STRUCTURES DEPICTED ON THE PLANS HAVE BEEN ACCURATELY LOCATED OR THAT THERE ARE NO OTHER UNDERGROUND UTILITIES AND STRUCTURES IN ADDITION TO WHAT HAS BEEN SHOWN. CALL U.S.A. A MINIMUM OF 48 HOURS PRIOR TO STARTING CONSTRUCTION. FOR CALIFORNIA NORTH, (KERN COUNTY AND NORTHERLY, AND NEVADA) CALL (800)227-2600. FOR CALIFORNIA SOUTH, (SAN BERNARDINO COUNTY AND SOUTHERLY) CALL (800)422-4133.
- CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES AND WITH THE REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, O.S.H.A. AND ANY OTHER GOVERNMENTAL AGENCY RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT AND LABOR PERSONNEL.
- THE DRAWINGS AND SPECIFICATIONS SHALL BE COMPLEMENTARY TO EACH OTHER. ANYTHING SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, OR MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, SHALL BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH IF DISCREPANCY IS FOUND, NOTIFY TARRANT UTILITY CONSULTANTS PRIOR TO STARTING WORK.
- TRENCH AND CONDUIT LAYOUTS ARE SHOWN SCHEMATICALLY.
- TRENCHING OR SUBSTRUCTURE EXCAVATION MAY NECESSITATE OPERATION OVER, UNDER, OR ADJACENT TO OTHER UNDERGROUND UTILITIES (STORM, SEWER, WATER, ETC.). THE CONTRACTOR IS RESPONSIBLE TO LOCATE, PROSPECT, EXPOSE AND PROTECT ALL ADJACENT OR CROSSING UNDERGROUND UTILITIES. THIS WORK TO PROTECT THOSE UTILITIES IS NOT CONSIDERED AS EXTRA WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW IMPROVEMENT PLANS, IN CONJUNCTION WITH THIS PLAN, AND BID THE WORK ACCORDINGLY.
- THE QUANTITIES SHOWN ON THESE PLANS ARE ONLY ESTIMATES OF WHAT WILL ACTUALLY BE REQUIRED FOR THE CONSTRUCTION OF THE OVERALL PROJECT. FINAL QUANTITIES MAY VARY ACCORDING TO CHANGES, ADDITIONS, DELETIONS OR OMISSIONS ON THE ORIGINAL PLAN.
- VERIFY ALL SUBSTRUCTURE EXCAVATION DIMENSIONS WITH SUPPLIER(S) BEFORE BIDDING.
- TARRANT UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHOULD REVIEW THE PROJECT SITE PRIOR TO SUBMITTING ITS BID.
- THE CONTRACTOR IS REQUIRED TO EXCAVATE BELL HOLE(S) AT TIE-IN LOCATIONS AS DIRECTED BY PARTICIPATING UTILITY.
- CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AS-BUILT DRAWINGS AFTER INSTALLATION OF PG&E'S GAS AND ELECTRIC SYSTEMS (PRIOR TO "HOT TIE-INS").
- THE CITY INSPECTOR SHALL BE NOTIFIED TWO WORKING DAYS PRIOR TO COMMENCEMENT OF WORK. COORDINATE WITH THE INSPECTOR ANY SERVICES TO BE ABANDONED.
- THE CONTRACTOR IS TO VERIFY THE RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.
- PG&E'S GENERAL TERM AND CONDITIONS FOR GAS AND ELECTRIC EXTENSION AND SERVICE CONSTRUCTION BY "APPLICANT" (EFFECTIVE 07/1/95) TO BE UTILIZED FOR ALL TRENCHING, BACKFILLING, AND INSTALLATION WORK.
- IN THE EVENT OF DISPUTES OR DISAGREEMENT OVER ANY INSTALLATIONS, DESIGNS, PLANS OR DRAWINGS, THE SPECIFICATIONS AND REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANIES AND THEIR INSPECTORS SHALL TAKE PRECEDENCE. IN CASE OF DISCREPANCIES WITHIN THE DRAWINGS AND SPECIFICATIONS HEREIN, THE CONTRACTOR SHALL CONSULT TARRANT UTILITY CONSULTANTS FOR INTERPRETATION BEFORE WORK IS STARTED.
- TARRANT UTILITY CONSULTANTS HEREIN, ASSUMES NO RESPONSIBILITY WHATSOEVER FOR THE QUALITY, QUANTITY OR TIMING OF WORK TO BE PERFORMED BY THE CONTRACTOR, UTILITY COMPANY CONSTRUCTION CREWS, OR OTHER SUB-CONTRACTOR OF DEVELOPER.
- ALL TRENCHING, BACKFILLING AND INSTALLATION WORK IS TO BE IN ACCORDANCE WITH THE STANDARD PRACTICES AND SPECIFICATIONS OF EACH UTILITY COMPANY PARTICIPATING IN THE UTILITY TRENCHES WITHIN THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POINTS OF ACCESS THAT ARE AGREEABLE TO ADJACENT LAND USES AND TENANTS AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING WHAT INSPECTIONS WILL BE REQUIRED FOR APPROVAL OF THE WORK AND FOR COORDINATING ALL SUCH INSPECTIONS. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS PRIOR NOTICE TO THE CITY, SOILS ENGINEER, UTILITY COMPANIES OR ANY OTHER INDIVIDUALS OR PUBLIC AGENCIES, THAT THE WORK IS READY FOR INSPECTION.
- THE CONTRACTOR SHALL NOTIFY DEVELOPER 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKING. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL CONSTRUCTION STAKING SET BY THE DEVELOPER'S SURVEYORS AND WILL BE BACK CHARGED FOR ANY RE-STAKING THAT IS REQUIRED. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO AND PAID FOR BY THE CONTRACTOR.
- ALL TRANSFORMERS AND TRANSFORMER PADS ARE TO BE INSTALLED PER PG&E SPECIFICATIONS. PROTECTIVE BOLLARDS ARE TO BE PLACED WHERE NEEDED.
- THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
- KEEP ALL BOXES AND PEDESTALS WITHIN PUBLIC UTILITY EASEMENTS OR RIGHT OF WAY AS SHOWN.
- ALL SAND BACKFILL MUST HAVE TESTING OF PH LEVEL AS WELL AS SAND EQUIVALENT. SEE CITY PLEASANTON REQUIREMENTS.
- THE PROPOSED CONSTRUCTION OPERATION MAY TAKE PLACE AT OR NEAR FENCE LINES, PROPERTY LINES AND PROPERTY IMPROVEMENTS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THESE AREAS AND FOR MAINTAINING THESE AREAS AND FACILITIES AT ALL TIMES DURING THE CONSTRUCTION OPERATION.
- THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITION AND SHALL DEFEND AND HOLD THE DEVELOPER AND TARRANT UTILITY CONSULTANTS HARMLESS FROM ANY ALLEGED CLAIMS OR LIABILITIES, EXCEPT THOSE ARISING FROM SOLE NEGLIGENCE OF THE DEVELOPER OR TARRANT UTILITY CONSULTANTS.
- THE APPROXIMATE LOCATIONS OF ALL EXISTING UTILITY COMPANY UNDERGROUND LINES, POLES BOXES, ETC., WERE OBTAINED FROM A REVIEW OF AVAILABLE UTILITY COMPANY RECORDS, REPRESENTATIONS OF UTILITY COMPANY PERSONAL OR FIELD OBSERVATIONS. NEITHER THE DEVELOPER NOR TARRANT UTILITY CONSULTANTS ASSUME ANY RESPONSIBILITY FOR VARIANCES BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. NO EXTRA PAYMENT WILL BE MADE TO THE CONTRACTOR FOR ANY ADDITIONAL TRENCHING, BOX EXCAVATIONS, MATERIALS, ETC., THAT MAY BE REQUIRED TO COMPLETE THIS PROJECT IN THE EVENT AN EXISTING TIE-IN POINT SUBSTRUCTURE IS EITHER NON-EXISTING OR IS NOT SHOWN ON THE PLANS IN ITS ACTUAL FIELD POSITION. IT IS THE CONTRACTOR'S OBLIGATION AND RESPONSIBILITY TO SAFELY LOCATE ALL EXISTING UNDERGROUND FACILITIES BY SURFACE MARKING AND/OR HAND EXCAVATION PRIOR TO STARTING CONSTRUCTION.
- "DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE TO OBTAIN A CITY OF PLEASANTON ENCRDACHMENT PERMIT FOR ALL WORK DONE IN THE PUBLIC RIGHT OF WAY. DEVELOPER AND/OR CONTRACTOR IS ALSO RESPONSIBLE TO PROVIDE JOINT TRENCH PLANS TO THE CITY OF PLEASANTON AT THE TIME OF APPLICATION FOR THE ENCRDACHMENT PERMIT."

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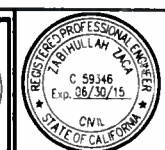
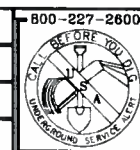


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**JOINT TRENCH GENERAL NOTES AND DETAILS**  
SUMMERHILL HOMES  
CANNAE  
PLEASANTON CALIFORNIA

NO.	REVISIONS	BY	DATE

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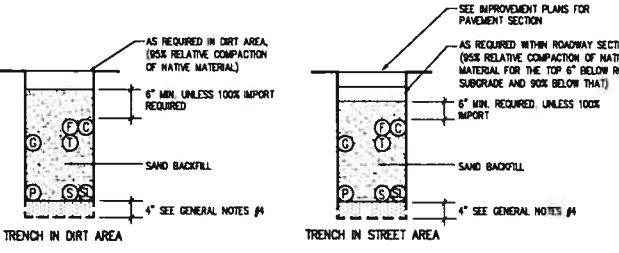
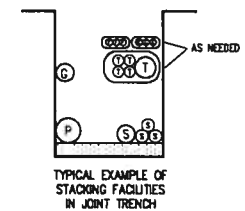


SHEET  
**JT2**  
**JT8**  
OF  
SHEETS

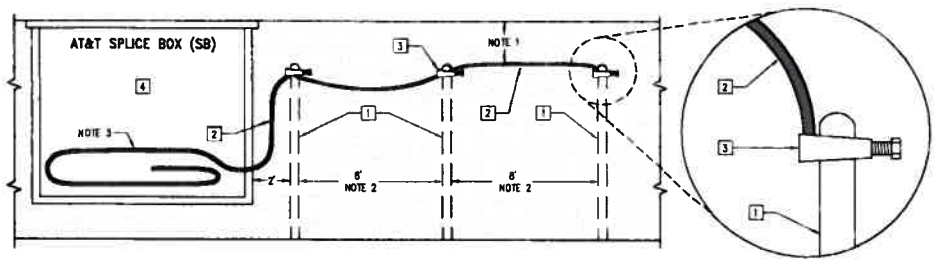


**JOINT TRENCH MINIMUM COVER AND CLEARANCES**  
MINIMUM SEPARATION FROM

UTILITY	G	T	C	S	P	SL	SL	F	MINIMUM COVER
G (GAS*)	12"	12"	6"	12"	6"	12"	24"	30"	IN STREET
T (TELEPHONE)	12"	1"	12"	12"	12"	1"	24"	30"	IN STREET
C (CABLE T.V.)	12"	1"	12"	12"	12"	1"	24"	30"	IN STREET
S (ELECT. SECONDARY)	6"	12"	12"	3"	1"	12"	24"	30"	IN STREET
P (ELECT. PRIMARY)	12"	12"	12"	3"	1"	12"	30"	36"	IN STREET
SL (PUBLIC AND PRIVATE-STREET LIGHT)**	12"	12"	12"	12"	12"	12"	24"	30"	IN STREET
SL (P.O.E.-STREET LIGHT)	12"	12"	12"	1"	1"	12"	24"	30"	IN STREET
F (FIBER OPTIC)	12"	1"	1"	12"	12"	12"	24"	30"	IN STREET



- LEGEND**
- MEETS UTILITY TRENCH ALLOTMENT
  - EXCEEDS UTILITY TRENCH ALLOTMENT
  - ⊙ GAS
  - ⊙ ELECTRIC PRIMARY
  - ⊙ ELECTRIC SECONDARY
  - ⊙ TELEPHONE
  - ⊙ CATV
  - ⊙ STREET LIGHT (PUBLIC OR PO&E)
  - ⊙ FIBER OPTIC



- LEGEND**
1. 8' LENGTH x 5/8" DIAMETER GROUND ROD POLES
  2. BARE CONTINUOUS SOLID NUMBER 6 AWG. WIRE
  3. GROUND CLAMP
  4. TELEPHONE SPLICE BOX

- NOTES**
1. MINIMUM DEPTH = 12 INCHES
  2. GROUND BEDS MAY BE PLACED IN ANY CONFIGURATION AS LONG AS THE 8 FOOT SEPARATION BETWEEN GROUND RODS IS MAINTAINED AND THE 2 FOOT SEPARATION FROM THE SB WALL IS NOT ENDOGRADED UPON.
  3. BARE #6 GROUND WIRE TO ENTER THROUGH SIDEWALL OR BOTTOM OF SB AND WRAP SB ONCE.

DETAIL 1 AT&T AERIAL AND BURIED  
N.T.S. JT4 GROUND BED DESIGN

**JOINT TRENCH NOTES:**

1. TRENCH COVER & CLEARANCES SHOWN ARE MINIMUMS ONLY AND MAY REQUIRE ALTERATIONS TO SUIT FIELD CONDITIONS.
2. IT IS RECOMMENDED THAT ALL FACILITIES ARE TO BE A MINIMUM OF 12" BELOW SUB-BASE DISTURBANCE.
3. \* WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED, SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
4. \*\* WHERE 6" GAS MAIN IS LOCATED IN THE JOINT TRENCH A 12" MINIMUM SEPARATION FROM GAS MAIN TO ALL UTILITIES WILL BE REQUIRED.
5. \*\* WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, STREET LIGHT SEPARATION MAY BE REDUCED TO 0" BETWEEN STREET LIGHT AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
6. TRENCH CONFIGURATIONS SHOWN ARE FOR INSTALLATION WHERE EACH OCCUPANT IS UTILIZING HIS ENTIRE SPACE ALLOCATION. OTHER CONFIGURATIONS OR REDUCED DIMENSIONS MAY BE USED, PROVIDED THAT MINIMUM COVER AND CLEARANCES ARE MAINTAINED.
7. THE CONTRACTOR IS TO ADJUST TRENCH DEPTHS AT ALL JOINT TRENCH LATERAL CROSSINGS TO MAINTAIN REQUIRED CLEARANCES BETWEEN ALL PARTICIPATING UTILITIES.
8. TRENCH SECTIONS ARE SHOWN SCHEMATICALLY AND INDICATE AREAS OF OCCUPANCY ONLY; THEY DO NOT REFLECT SIZE OR QUANTITY OF FACILITIES TO BE INSTALLED.
9. TRENCH FOOTAGES PER SECTION ARE APPROXIMATE. SECTIONS ARE DESIGNED TO ACCOMMODATE ALL REQUIRED FACILITIES AS INDICATED ON EACH TRENCH PARTICIPANT'S CONSTRUCTION DRAWINGS.
10. THE CONTRACTOR SHALL VERIFY TRENCH FOOTAGES FOR ACCURACY PRIOR TO EXCAVATION AND TAKE NECESSARY PRECAUTION CROSSING WATER AND SEWER FACILITIES.
11. THE CONTRACTOR SHALL REFER TO THE COMPOSITE, CONDUIT, AND/OR EACH RESPECTIVE UTILITY INSTALLATION PLAN FOR THE NECESSARY CONDUIT CABLE AND/OR PIPE TO BE INSTALLED IN THIS PROJECT.
12. TYPE "M2" TRENCH SHALL BE INSTALLED AFTER CURB AND GUTTER INSTALLATION. CONTRACTOR SHALL COORDINATE ADDITIONAL MOVE-INS NECESSARY TO COMPLETE THE SERVICES TO THE DWELLING UNITS WITH THE DEVELOPER, ALL AGENCIES AND THE UTILITY COMPANIES. THE COST OF THESE MOVE-INS SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR TRENCHING.
13. THE AVERAGE TRENCH DEPTHS SHOWN ARE BASED ON THE MINIMUM UTILITY COMPANY REQUIREMENTS FOR DEPTH AND SEPARATION. CONTRACTOR SHALL ADJUST TRENCH WIDTH & DEPTH AS REQUIRED TO ADEQUATELY CLEAR EXISTING UNDERGROUND FACILITIES AND MAINTAIN MINIMUM UTILITY CLEARANCES. ALL TRENCHES OVER 60" DEEP MUST COMPLY WITH OSHA REQUIREMENTS. (SEE THE JOINT TRENCH MINIMUM COVER AND CLEARANCE TABLE)
14. CONTRACTOR SHALL USE SAND BEDDING AND SHADING AS REQUIRED BY THE UTILITY COMPANIES. ALL TRENCH SECTIONS SHOWN HEREON INCLUDE A 4" THICK BEDDING LAYER (UDN).
15. ALL TRENCHING AND BACKFILLING TO BE DONE IN ACCORDANCE WITH THE CITY OF PLEASANTON ENGINEERING STANDARDS AND SPECIFICATIONS.
16. ALL PO&E, TELEPHONE, CABLE, AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER AND WATER LATERALS AND DRIVEWAYS. ALL UTILITY VAULTS, BOXES, PEDESTALS, ETC. MUST MAINTAIN A 5' MINIMUM CLEARANCE FROM FIRE HYDRANTS, AND 3' MINIMUM FROM STREETLIGHTS.

**JOINT TRENCH OCCUPANCY GUIDE**

TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	
GAS	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
TELEPHONE	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
CABLE T.V.	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
ELECTRIC SEC.	X	X	X	X	X	X	X	X							X	X	X	X	X	X	X	X	X	
ELECTRIC PRL.	X	X	X	X	X	X	X	X																
FIBER OPTICS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	

\*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

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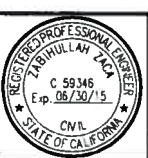


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**JOINT TRENCH SECTIONS AND DETAILS**  
SUMMERHILL HOMES  
CANNAE  
PLEASANTON CALIFORNIA

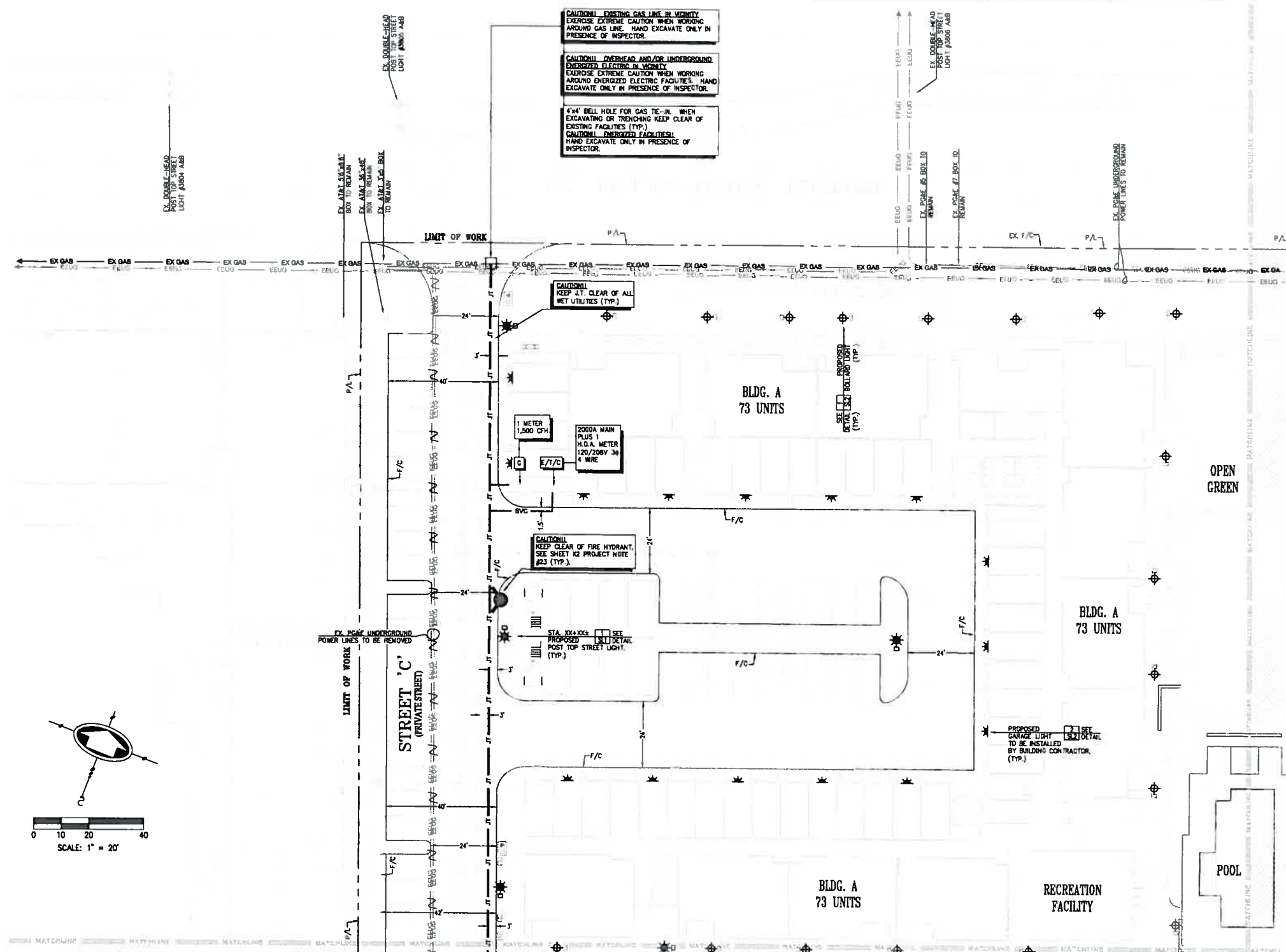
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OF  
JT8  
SHEETS





MATCH LINE SEE SHEET JT7

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MATCH LINE SEE SHEET JT6

**NOTE "A"**

- JOINT TRENCH CONTRACTOR TO STUB CONDUITS 5' OUT FROM BUILDING WALL.
- BUILDING CONTRACTOR TO TIE-IN TO CONDUITS THAT ARE STUBBED BY JOINT TRENCH CONTRACTOR.
- JOINT TRENCH CONTRACTOR TO VERIFY SERVICE STUB LOCATION WITH DEVELOPER SITE SUPERINTENDENT.

**SERVICE TERMINATION LEGEND**

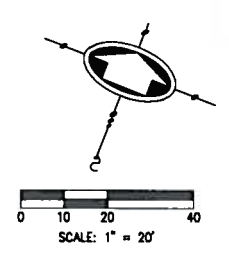
**E.T.C.** ELECTRIC, TELEPHONE, CATV CLOSET

**G** GAS CLOSET

NOTE: JOINT TRENCH CONTRACTOR TO TIE-IN TO CONDUIT STUBS INSTALLED BY THE BUILDING CONTRACTOR. ADJUST SERVICE TRENCH ROUTE AS NECESSARY.

**PG&E BUILDING GAS LOAD CHART FOR RESIDENTIAL UNITS**

BUILDING #	NO. OF UNITS	BUILDING GAS LOAD
A	73	5,500 CFH
B	67	5,050 CFH
C	17	1,275 CFH
D	20	1,500 CFH
REC. FACILITY	1	600 CFH
TOTAL	178	13,925 CFH



**JOINT TRENCH OCCUPANCY GUIDE**

TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I*	J*	K*	L*	M*	N*	O*	P*	Q*	R*	S*	T*	U*	V*	W*
GAS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PHL.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

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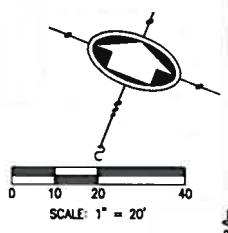
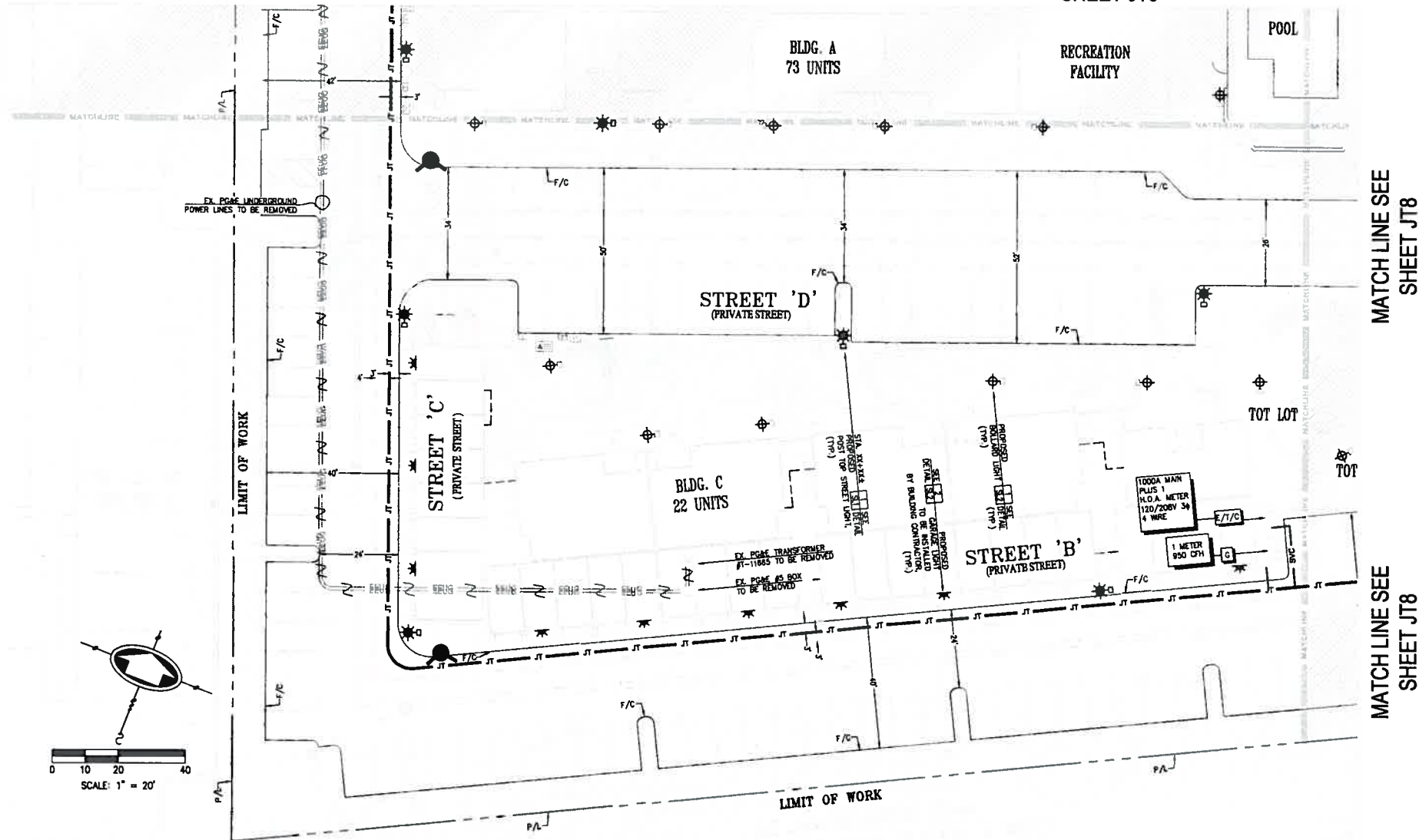
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CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.

3361 Walnut Blvd Suite 100 Brentwood, CA 94513 (925) 240-2595 (925) 240-7013 fax www.tarrar.com	<h1>TARRAR</h1> <b>UTILITY CONSULTANTS</b>	<ul style="list-style-type: none"> <li>Planning</li> <li>Design</li> <li>Estimating</li> <li>Joint Trench</li> <li>Street Lighting</li> <li>Fiber Optic</li> <li>T-24</li> <li>PE&amp;E Gas Design</li> <li>PE&amp;E Elec Design</li> <li>M.E.P. Design</li> <li>Cost Analysis</li> <li>Due Diligence</li> </ul>	<b>JOINT TRENCH COMPOSITE PLAN</b> <b>SUMMERHILL HOMES</b> <b>CANNAE</b> <b>PLEASANTON CALIFORNIA</b>				NO. _____ REVISIONS _____ BY _____ DATE _____	DATE: DECEMBER 2013 DATE LAST WORKED ON: 12/20/2013	SCALE: 1" = 20' JOB NO: 21325	DRAWN BY _____ CHECKED: KT PRELIMINARY NOT FOR CONSTRUCTION	800-227-2800 	SHEET <b>JT5</b> OF <b>JT8</b> SHEETS
			<b>INTENT TO CONSTRUCT</b>									

MATCH LINE SEE SHEET JT5

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**NOTE "A"**

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**SERVICE TERMINATION LEGEND**

<b>[E.T.C.]</b>	ELECTRIC, TELEPHONE, CATV CLOSET
<b>[G]</b>	GAS CLOSET

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BUILDING #	NO. OF UNITS	BUILDING GAS LOAD
A	73	5,500 CFH
B	87	5,050 CFH
C	17	1,275 CFH
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REC. FACILITY	1	600 CFH
TOTAL	178	13,925 CFH

**JOINT TRENCH OCCUPANCY GUIDE**

TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I*	J*	K*	L*	M*	N*	O*	P*	Q*	R*	S*	T*	U*	V*	W*
GAS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE TV	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PHL.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

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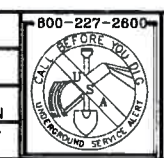


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**JOINT TRENCH COMPOSITE PLAN**  
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 CANNAE  
 PLEASANTON CALIFORNIA

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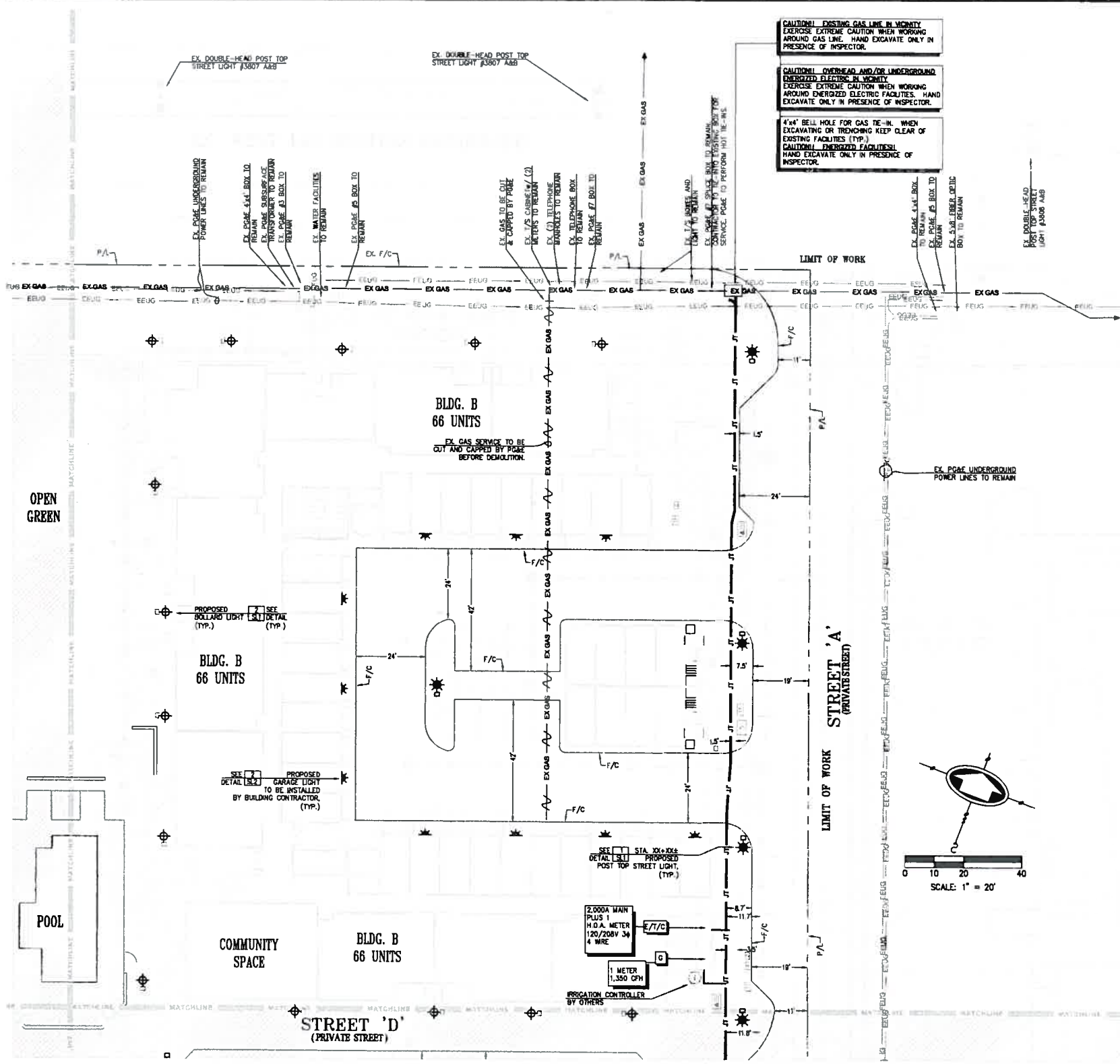
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**JT6**  
 OF  
**JT8**  
 SHEETS

MATCH LINE SEE SHEET JT5

MATCH LINE SEE SHEET JT5

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MATCH LINE SEE SHEET JT8



**CAUTION! EXISTING GAS LINE IN VICINITY**  
EXERCISE EXTREME CAUTION WHEN WORKING AROUND GAS LINE. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

**CAUTION! OVERHEAD AND/OR UNDERGROUND ENERGIZED ELECTRIC IN VICINITY**  
EXERCISE EXTREME CAUTION WHEN WORKING AROUND ENERGIZED ELECTRIC FACILITIES. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

**4" BELL HOLE FOR GAS TIE-IN** WHEN EXCAVATING OR TRENCHING KEEP CLEAR OF EXISTING FACILITIES (TYP.)  
**CAUTION! ENERGIZED FACILITIES!**  
HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

**NOTE "A"**

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**SERVICE TERMINATION LEGEND**

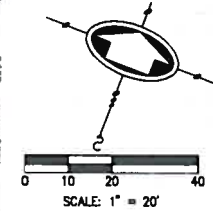
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REC. FACILITY	1	800 CFH
<b>TOTAL</b>	<b>178</b>	<b>13,825 CFH</b>



**JOINT TRENCH OCCUPANCY GUIDE**

TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V
GAS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PPL.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

\*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

**CAUTION !! CAUTION !! CAUTION !!**  
EX. JOINT TRENCH AND EX. GAS AND ALL OTHER UTILITY LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED BY OTHERS AND FIELD OBSERVATION. JOINT TRENCH CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING FACILITIES PRIOR TO ANY JOINT TRENCH CONSTRUCTION. POTHOLES IF NECESSARY. CONTACT U.S.A. DIG ALERT 24 HOURS IN ADVANCE

CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.E.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.

3361 Walnut Blvd.  
Suite 100  
Brentwood, CA 94513  
(925) 240 2595  
(925) 240 7013 fax  
www.tarrar.com

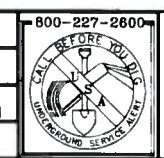


- Planning
- Design
- Estimating
- Joint Trench
- Street Trenching
- Fiber Optic
- T-74
- PG&E Gas Design
- PG&E Elec Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

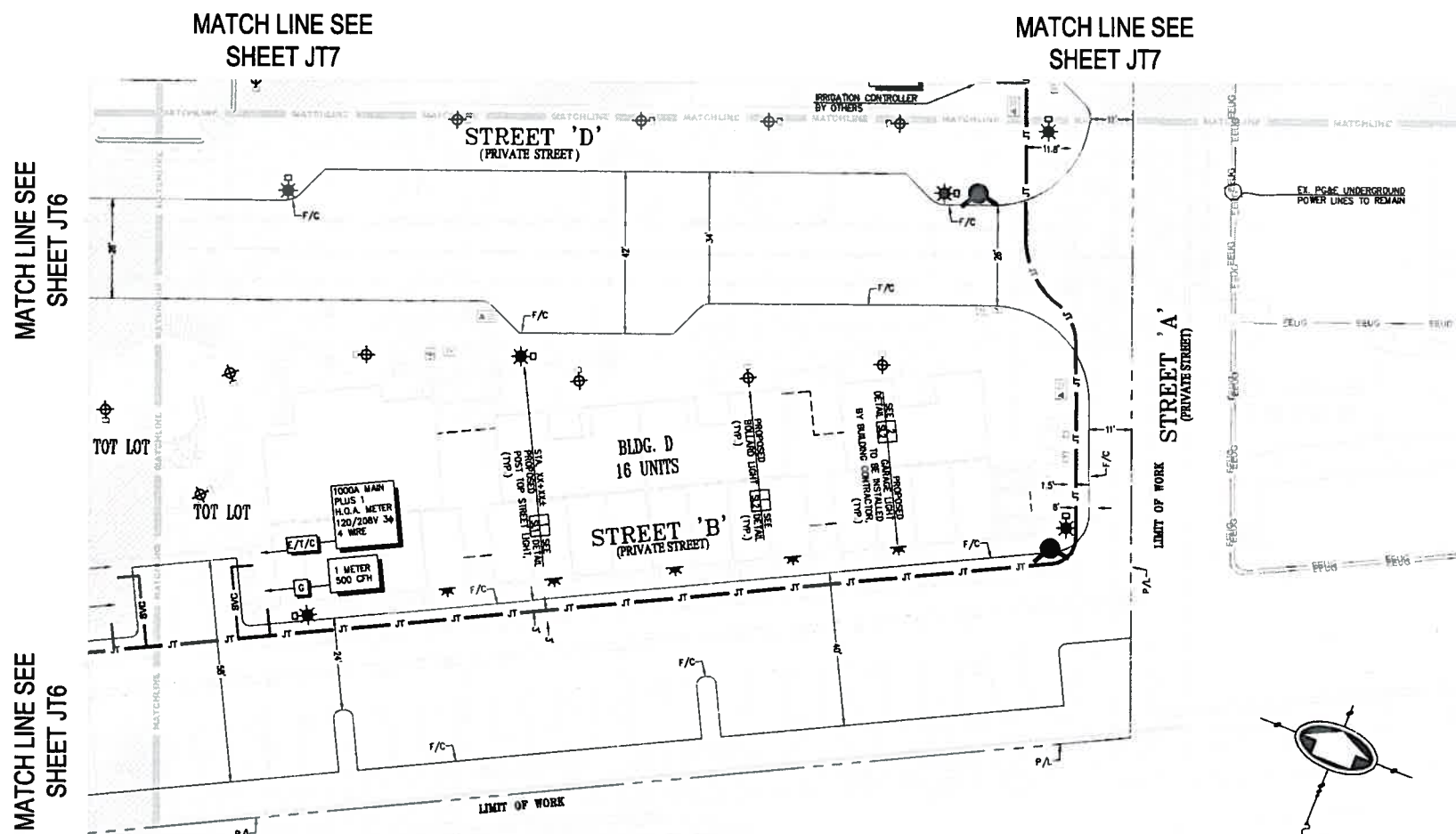
**JOINT TRENCH COMPOSITE PLAN**  
SUMMERHILL HOMES  
CANNAE  
PLEASANTON CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: DECEMBER 2013 DATE LAST WORKED ON: 12/20/2013  
SCALE 1" = 20' DRAWN: AR CHECKED: KT  
JOB NO: 21325 PRELIMINARY NOT FOR CONSTRUCTION  
**INTENT TO CONSTRUCT**



800-227-2800  
SHEET **JT7** OF **JT8** SHEETS



**NOTE "A"**

- JOINT TRENCH CONTRACTOR TO STUB CONDUITS 5' OUT FROM BUILDING WALL.
- BUILDING CONTRACTOR TO TIE-IN TO CONDUITS THAT ARE STUBBED BY JOINT TRENCH CONTRACTOR.
- JOINT TRENCH CONTRACTOR TO VERIFY SERVICE STUB LOCATION WITH DEVELOPER SITE SUPERINTENDENT.

**SERVICE TERMINATION LEGEND**

**[E.T.C.]** ELECTRIC, TELEPHONE, CATV CLOSET

**[G]** GAS CLOSET

NOTE: JOINT TRENCH CONTRACTOR TO TIE-IN TO CONDUIT STUBS INSTALLED BY THE BUILDING CONTRACTOR. ADJUST SERVICE TRENCH ROUTE AS NECESSARY.

**PG&E BUILDING GAS LOAD CHART FOR RESIDENTIAL UNITS**

BUILDING #	NO. OF UNITS	BUILDING GAS LOAD
A	73	5,500 CFH
B	67	5,050 CFH
C	17	1,275 CFH
D	20	1,500 CFH
REC. FACILITY	1	600 CFH
<b>TOTAL</b>	<b>178</b>	<b>13,925 CFH</b>

**JOINT TRENCH OCCUPANCY GUIDE**

TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W
GAS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PRL.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

**CAUTION !! CAUTION !! CAUTION !!**  
 EX. JOINT TRENCH AND EX. GAS AND ALL OTHER UTILITY LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED BY OTHERS AND FIELD OBSERVATION. JOINT TRENCH CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING FACILITIES PRIOR TO ANY JOINT TRENCH CONSTRUCTION. POTHOLE IF NECESSARY. CONTACT U.S.A. DIG ALERT 24 HOURS IN ADVANCE

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3361 Walnut Blvd.  
 Suite 100  
 Brentwood, CA 94513  
 (925) 240-2595  
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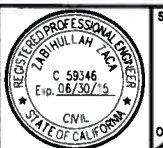


- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec Design
- H.F.P. Design
- Cost Analysis
- Due Diligence

**JOINT TRENCH COMPOSITE PLAN**  
 SUMMERHILL HOMES  
 CANNAE  
 PLEASANTON CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: DECEMBER 2013  
 DATE LAST WORKED ON: 12/20/2013  
 SCALE: 1" = 20'  
 JOB NO. 21325  
 DRAWN: AR  
 CHECKED: KT  
 PRELIMINARY  
 NOT FOR CONSTRUCTION  
 INTENT TO CONSTRUCT



SHEET  
**JT8**  
 OF  
**JT8**  
 SHEETS

# SUMMERHILL HOMES CANNÆ PLEASANTON ALAMEDA COUNTY CALIFORNIA

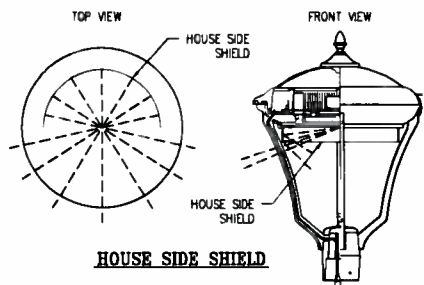
**LUMINAIRE SPECIFICATIONS:**  
 CATALOG NO.: CE2174-F11GC-3M3HS-72W-4K  
 -120-F2AP-DJP-HSS-SQ-RAL9005TX  
 LENS MATL: CLEAR GLASS LENS  
 IES CLASSIFIC: TYPE II WITH HOUSE SIDE SHIELD  
 - FULL CUT-OFF  
 WATTAGE: 72 WATTS  
 LIGHT SOURCE: LED - 4000K  
 LINE VOLTAGE: 120  
 DRIVER: MOUNTED ON A QUICK  
 RELEASE TRAY.  
 ALL COMPONENTS SHALL HAVE QUICK  
 CONNECTORS.  
 POLE ADAPTOR: FITTER WITH SQUARE  
 HEAD BOLTS  
 IP65 WEATHERPROOF LUMINAIRE WITH  
 "V" GROOVE SILICONE GASKET

**POLE SPECIFICATIONS:**  
 CATALOG NO.: PA40-12-SA-RAL9005TX  
 MATERIAL: 4" ROUND ALUMINUM TUBING  
 POLE HEIGHT: 12'-0"  
 ANCHOR BOLTS: (4) 3/4" x 20" FULLY  
 GALVANIZED  
 BOLT CIRCLE: 10"

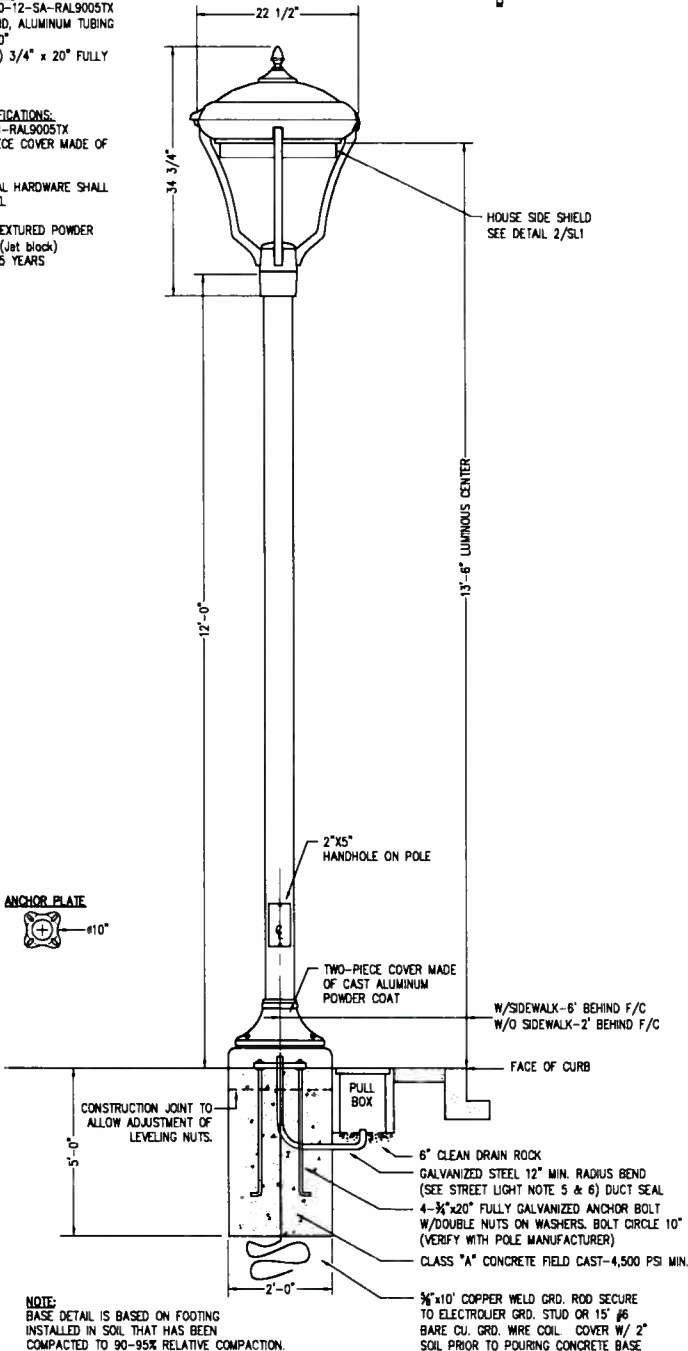
**BASE COVER SPECIFICATIONS:**  
 CATALOG NO.: B011-RAL9005TX  
 MATERIAL: TWO-PIECE COVER MADE OF  
 CAST ALUMINUM

ALL NON ELECTRICAL HARDWARE SHALL  
 BE STAINLESS STEEL

COLOR & FINISH: TEXTURED POWDER  
 COAT RAL9005TX (Jet black)  
 PAINT WARRANTY: 5 YEARS

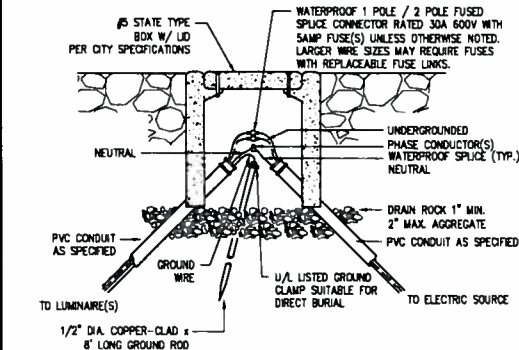
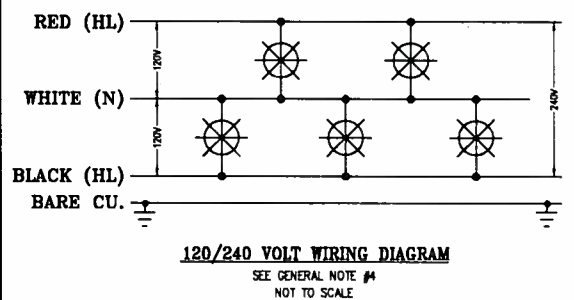


MANUFACTURER REP:  
 GREAT BASIN LIGHTING  
 STEVE OR FRAN COLE  
 (925) 240-1566

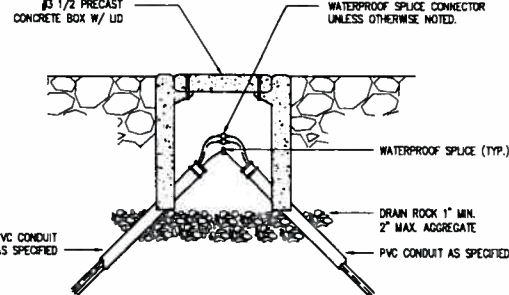


**1 PRIVATE POST TOP ELECTROLIER DETAIL**  
 SL1 NOT TO SCALE

- LEGEND**
- EXISTING TRAFFIC SIGNAL
  - STREET LIGHT PULL BOX STATE TYPE #3 1/2, 15" x 20" x 12"
  - STREET LIGHT GROUND BOX STATE TYPE #5, 18" x 27.5" x 12"
  - ELECTROLIER, POST TOP
  - LIGHTING BOLLARD
  - LIGHTING, WALL MOUNTED (BY OTHERS)
  - EXISTING ELECTROLIER, SINGLE ARM
  - EXISTING ELECTROLIER, POST TOP
  - EXISTING LIGHTING BOLLARD
  - EXISTING LIGHTING, WALL MOUNTED (BY OTHERS)
  - METER SERVICE PEDESTAL
  - IRRIGATION CONTROLLER (BY OTHERS)
  - CIRCUIT NUMBER
  - POLE NUMBER

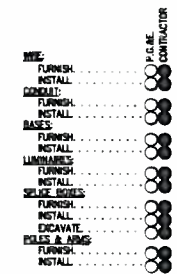


**2 STREET LIGHT GROUND BOX DETAIL**  
 SL1 NOT TO SCALE



**3 STREET LIGHT PULL BOX DETAIL**  
 SL1 NOT TO SCALE

**CONSTRUCTION LABOR AND  
 MATERIAL RESPONSIBILITY**

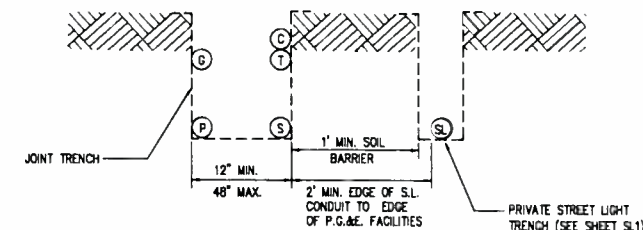


SCHEDULE:	LSIC
INSTALL IN JOINT TRENCH:	NO
INSTALL IN SEPARATE TRENCH:	YES
CONDUIT SIZE:	VARIES
CONDUIT TYPE:	SCL 40
WIRE SIZE:	VARIES
WIRE TYPE:	CU

**ADDITIONAL NOTES:**  
 -STREET LIGHTS TO BE MAINTAINED BY H.O.A. UPON  
 TRACT ACCEPTANCE  
 -SEE JOINT TRENCH COMPOSITE FOR TRENCH LOCATION  
 -TYPE V DISTRIBUTION AT ALL CUL-DE-SAC BULBS

**STREET LIGHTING NOTES:**

- ALL MATERIAL AND WORKMANSHIP SHALL FULLY CONFORM WITH THE NATIONAL ELECTRIC CODE AND STANDARD SPECIFICATIONS AND DETAILS OF THE CITY OF PLEASANTON.
- THE ELECTRICAL CONTRACTOR SHALL INSTALL THE UNDERGROUND SERVICE FROM THE LUMINAIRE TO PG&E SERVICE POINT AND TERMINATE CONDUIT AND WIRES AT BOX AS DIRECTED BY PG&E
- KEEP STREET LIGHTS A MINIMUM OF 3 FEET AWAY FROM THE EDGE OF DRIVEWAYS, SEWER AND WATER LATERALS, AND 5 FEET AWAY FROM FIRE HYDRANTS & CATCH BASINS.
- TWO OR MORE STREET LIGHTS ON THE SAME CIRCUIT SHALL BE WIRED TO BALANCE THE LOAD. (SEE WIRING DIAGRAM)
- CONDUIT AND FITTINGS: ALL CONDUIT AND FITTINGS SHALL BE U.L. APPROVED SCHEDULE 40 P.V.C. UNLESS OTHERWISE NOTED OR REQUIRED, USE MINIMUM 1 1/2" SCH. 40 P.V.C. CONDUIT AND FITTINGS BELOW GRADE. MINIMUM RADIUS BENDS SHALL BE 18", FOR ABOVE GROUND INSTALLATION USE METALLIC RIGID STEEL CONDUIT. PROVIDE PULL WIRE IN EMPTY CONDUITS. ALL CROSSINGS TO BE PERPENDICULAR TO STREET.
- CONDUIT DEPTH: 24" UNDER SIDEWALK; 24" UNDER PLANTER STRIP; 30" UNDER PAVEMENT.
- CABLE: CABLE SHALL BE U.L. A.W.G. NO. 8-7-STRAND SOFT COPPER, TYPE THW OR THHN WITH MINIMUM OF 3/64" (40 MIL) POLYVINYLCHLORIDE INSULATION, UNLESS OTHERWISE NOTED. U.L. LISTED 600 VOLT, NO. 10 IN POLE MAY BE USED (40 MIL INSULATION).
- SPLICE BOXES: SPLICE BOXES SHALL BE NO. 3-1/2 STATE TYPE WITH LID AND BRASS HOLD DOWN BOLTS, UNLESS OTHERWISE NOTED. LIDS TO BE INSCRIBED "STREET LIGHTING". SPLICE BOXES SHALL NOT BE MORE THAN 200 FEET APART ON LONG RUNS. SPLICE BOXES TO BE SET ON A CONCRETE FOOTING WHEN SUBJECT TO TRAFFIC LOAD
- FUSES: EACH POLE SHALL BE FUSED WITH WATERPROOF IN-LINE FUSE HOLDERS AT EACH ADJACENT BOX WITH 5 AMP FUSE. FOR DUPLEX LIGHTS, EACH LUMINAIRE SHALL BE FUSED SEPARATELY.
- SPlicing: ALL SPLICES SHALL BE MADE IN HAND HOLES OR SPLICE BOXES ONLY. SPLICES SHALL BE MADE WITH "STACK -ON" CRIMP JOINTS, "SCOTCH LOCK" FASTENERS, OR APPROVED EQUAL ON SPLICES MADE BELOW GRADE. WRAP WITH MOISTURE PROOF INSULATION THICKNESS.
- POLE NUMBERS: OBTAIN AND PLACE POLE NUMBERS ON ALL STREET LIGHT STANDARDS AS REQUIRED. COORDINATE WITH PG&E AND/OR CITY FOR THEIR REQUIREMENTS.
- TRENCH: CONDUIT CAN BE PLACED IN JOINT TRENCH. THE CONDUIT LAYOUT IS SHOWN SCHEMATICALLY. SEE COMPOSITE DRAWING FOR TRENCH AND BOX LOCATIONS. ANY INCIDENTAL TRENCHING NOT PROVIDED BY TRENCHING AGENT IS CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRAR UTILITY CONSULTANTS.
- TARRAR UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.
- CONTRACTOR TO CONSULT WITH LOCAL AGENCIES FOR THEIR CIRCUIT GROUNDING REQUIREMENTS. IF GROUND WIRE IS REQUIRED IN CONDUIT, INSTALL ACCORDINGLY.
- LEGEND SYMBOLS ARE SHOWN IN STREET AREA FOR CLARITY. INSTALL BEHIND CURB AND/OR SIDEWALK PER CITY SPECIFICATIONS KEEP CLEAR OF DRIVEWAYS AND PATHWAYS (TYPICAL).
- CENTERLINE OF STREET LIGHTS SHALL BE LOCATED ON THE LOT LINE UNLESS OTHERWISE NOTED ON THESE PLANS.
- ANY CHANGES OR MODIFICATIONS TO PROPOSED STREET LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY THE CITY PRIOR TO INSTALLATION.
- SET ALL STREET LIGHTS TO ULTIMATE FINISHED GRADE. CONSULT WITH CITY FOR PROPER PHYSICAL PROTECTION AND/OR SIGNING AND STRIPING ADJACENT TO ANY STREET LIGHTS INSTALLED IN THEIR ULTIMATE LOCATIONS THAT ARE NOT PROTECTED BY A VERTICAL CURB, BERM AND COMPACT EARTH TO FINISHED GRADE A MINIMUM OF 5' AROUND STREET LIGHT BASES AT THESE LOCATIONS.
- CONTACT U.S.A. (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION. FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".
- STREET LIGHT CONDUIT BENDS SHALL HAVE A MINIMUM 2 FOOT RADIUS. UNLESS OTHERWISE SHOWN ON THE PLANS, NO BEND SHALL BE INSTALLED IN THE STREET LIGHT SYSTEM WITHOUT PRIOR APPROVAL OF THE UTILITY COMPANY INSPECTOR.
- ALL BOXES ARE TO BE INSTALLED WITHIN THE R/W AND/OR P.U.E. AREA.



**PRIVATE STREET LIGHT TRENCH LOCATION  
 ADJACENT TO JOINT TRENCH**  
 NOT TO SCALE

3361 Walnut Blvd.  
 Suite 100  
 Brentwood, CA 94513  
 (925) 240-2595  
 (925) 240-7013 fax  
 www.tarrar.com

TARRAR

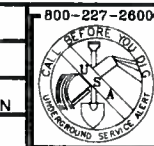
UTILITY CONSULTANTS

- Planning
- Design
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- Street Lighting
- Fiber Optic
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- PG&E Gas Design
- PG&E Elec Design
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**STREET LIGHTING GENERAL NOTES AND DETAILS**  
 SUMMERHILL HOMES  
 CANNÆ  
 PLEASANTON CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: DECEMBER 2013  
 DATE LAST WORKED ON: 12/20/2013  
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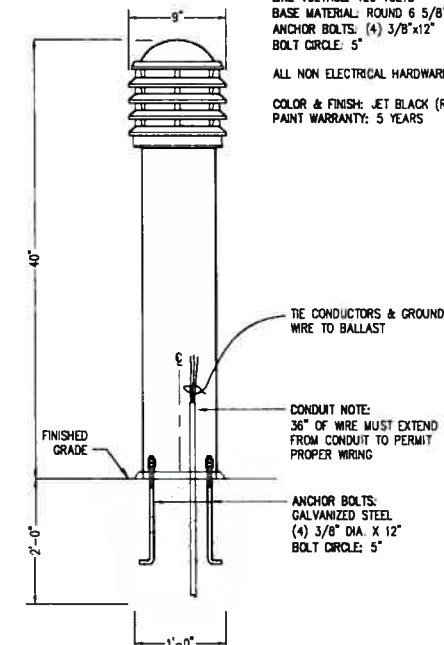


SHEET  
**SL1**  
 OF  
**SL6**  
 SHEETS

MANUFACTURER REP.:  
GREAT BASIN LIGHTING  
STEVE OR FRAN COLE  
(925) 240-1566

LUMINAIRE SPECIFICATIONS:  
CATALOGUE NO.: CBN1210-LAP-5SL4-32W-4K-120-BB1-RAL9005TX  
LENS MATL: POND ACRYLIC  
IES CLASSIFIC: TYPE V  
WATTAGE: 32 WATTS  
LIGHT SOURCE: LED - 4000K  
LINE VOLTAGE: 120 VOLTS  
BASE MATERIAL: ROUND 6 5/8" ALUMINUM SHAFT, 0.134" THICKNESS  
ANCHOR BOLTS: (4) 3/8"x12"  
BOLT CIRCLE: 5"

ALL NON ELECTRICAL HARDWARE SHALL BE STAINLESS STEEL  
COLOR & FINISH: JET BLACK (RAL9005TX) TEXTURED POWDER COAT  
PAINT WARRANTY: 5 YEARS



1 PRIVATE LIGHTING BOLLARD DETAIL  
SL2 NOT TO SCALE



Evergreen Lighting  
Exterior - Dark Gray



Madrid Cutoff  
2500 SERIES  
Description:  
HID Series Made in U.S.A

Product Features:

Size  
20"W x 12"H x 11 1/4"D

- Features:
- Housing - Corrosion Resistant Metal
  - Diffuser - Tempered Glass
  - Finish - Powdercoat Bronze
  - Reflector - Spacelux Aluminum
  - UL Listed - Wet Locations

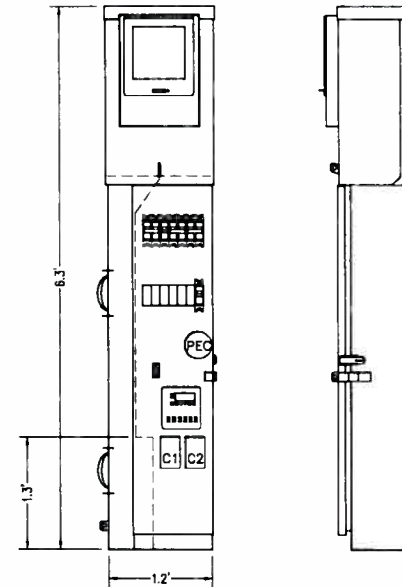
- Options:
- Custom Sizes Available
  - Compact Fluorescent
  - Custom Finish
  - Fusing
  - Photo Cell
  - Voltage

Product Details:

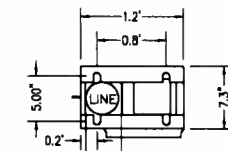
MODEL#	LAMP	LUMENS
2500-BEFL	1-65PLH	8000
2500-120-L	1-120P-H	9000
2500-70H	70-HPS	6400
2500-100H	100-HPS	9600
2500-150H	150-HPS	16000
2500-70M	70M-H	5600
2500-100M	100MH	9000
2500-150M	150MH	12500
2500-175M	175MH	13600

2 WALL SCONCE LIGHT  
SL2 NOT TO SCALE

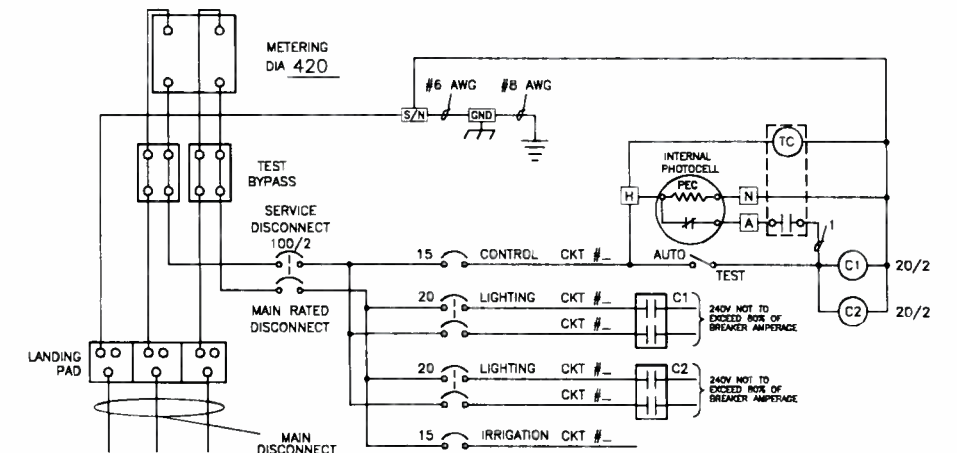
Catalog#  
Project  
Prepared By  
Committee  
Type  
Date



FRONT VIEW RIGHT SIDE



BASE PLAN



NOTE: LOAD CURRENT FOR ALL BREAKERS NOT TO EXCEED 80% OF BREAKER AMPERAGE

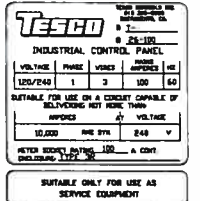
ENCLOSURE CONSTRUCTION NOTES

- EXTERIOR 12 GA. H.D. GALV. STEEL AND INTERIOR 14 GA. COLD ROLLED STEEL ELECTRICALLY WELDED AND REINFORCED WHERE REQUIRED.
- CONSTRUCTION WILL BE NEMA 3R, RAIN TIGHT.
- ALL NUTS, BOLTS AND SCREWS WILL BE STAINLESS STEEL.
- NUTS, BOLTS & SCREWS WILL NOT BE VISIBLE FROM OUTSIDE OF ENCLOSURE.
- NAMERPLATES WILL BE PROVIDED AS REQUIRED.
- CONTROL WIRING WILL BE MARKED AT BOTH ENDS BY PERMANENT WIRE MARKERS.
- A PLASTIC COVERED WIRING DIAGRAM WILL BE ATTACHED TO THE INSIDE OF THE FRONT DOOR.
- ENCLOSURE WILL BE FACTORY WIRED AND CONFORM TO REQUIRED NEMA AND UL 508A STANDARDS.
- COLOR TO BE: RANCH GREEN

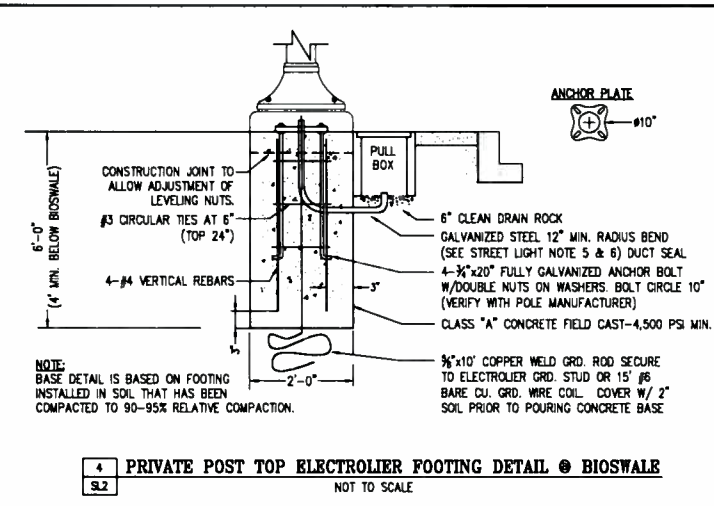
3 METERED SERVICE PEDESTAL  
SL2

100A 120/240V 1Ø 3W MAIN BRKR. TYPE III WITH TIME CLOCK AND P.E.C. OR APPROVED EQUAL.

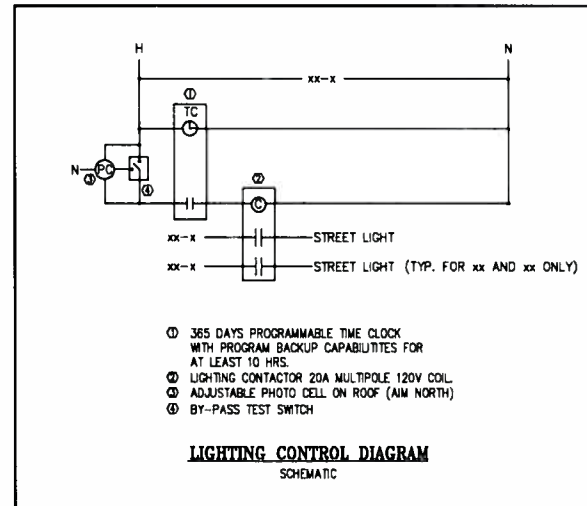
SERVICE EQUIPMENT WIRING DIAGRAM



SUITABLE ONLY FOR USE AS SERVICE EQUIPMENT  
CONTACT TESCO  
916-395-8800  
FOR ORDERING DETAIL



4 PRIVATE POST TOP ELECTROLIER FOOTING DETAIL @ BIOSWALE  
SL2 NOT TO SCALE



LIGHTING CONTROL DIAGRAM  
SCHEMATIC

3361 Walnut Blvd.  
Suite 100  
Brentwood, CA 94513  
(925) 240-2595  
(925) 240-7013 fax  
tarrar.com

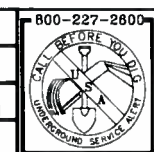
**TARRAR**  
UTILITY CONSULTANTS

- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic

STREET LIGHTING GENERAL NOTES AND DETAILS  
SUMMERHILL HOMES  
CANNAE  
PLEASANTON CALIFORNIA

NO.	REVISIONS	BY	DATE

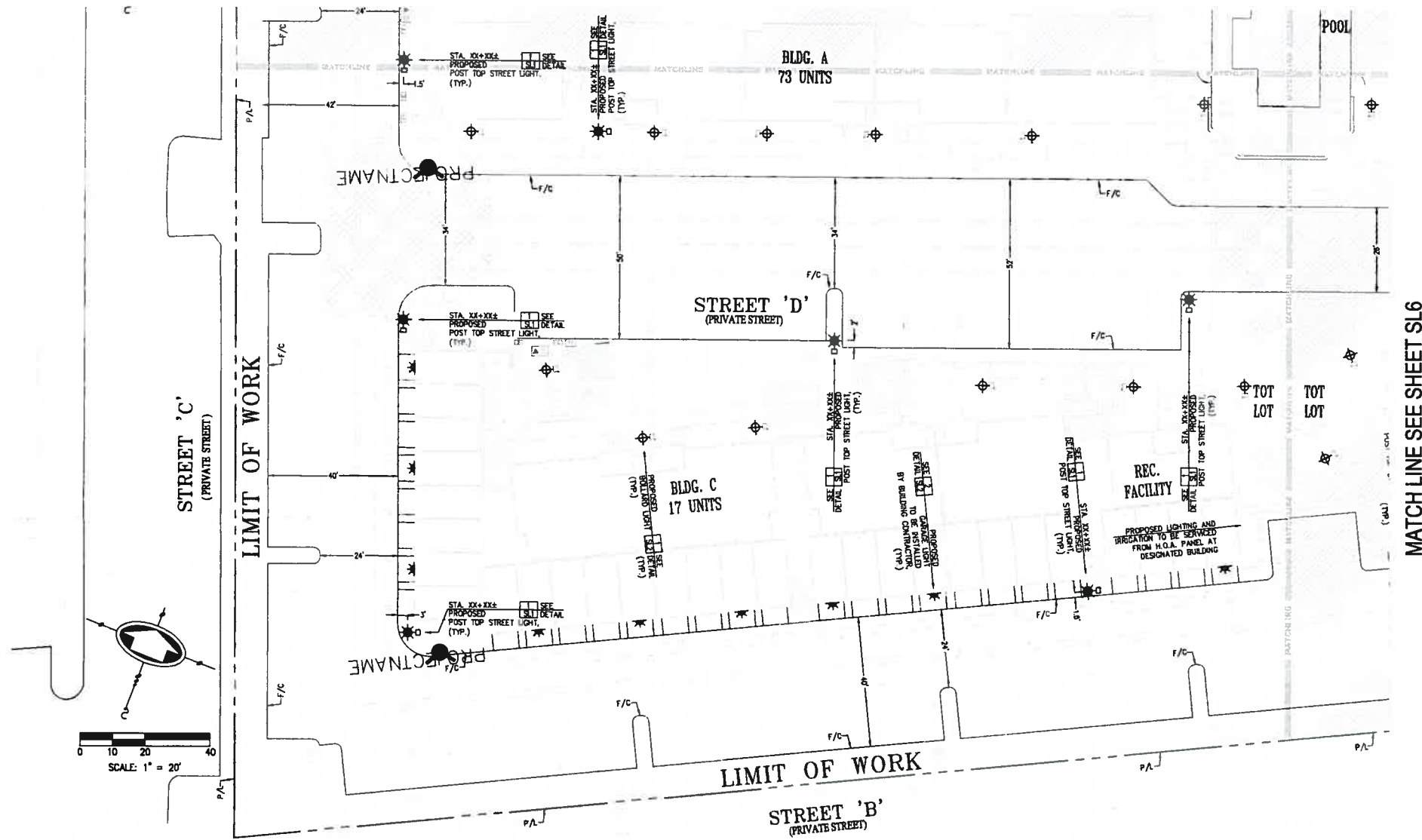
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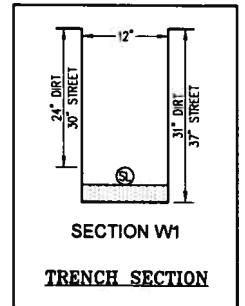
SHEET  
SL2  
OF  
SL6  
SHEETS



MATCH LINE SEE SHEET SL3



MATCH LINE SEE SHEET SL6



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STREET LIGHTING SITE PLAN  
SUMMERHILL HOMES  
CANNAE  
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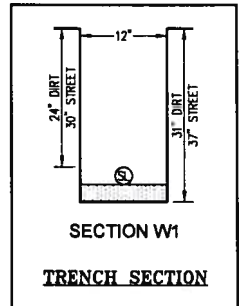
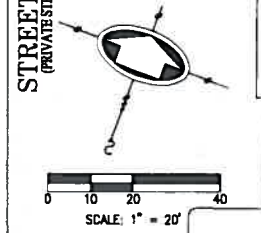
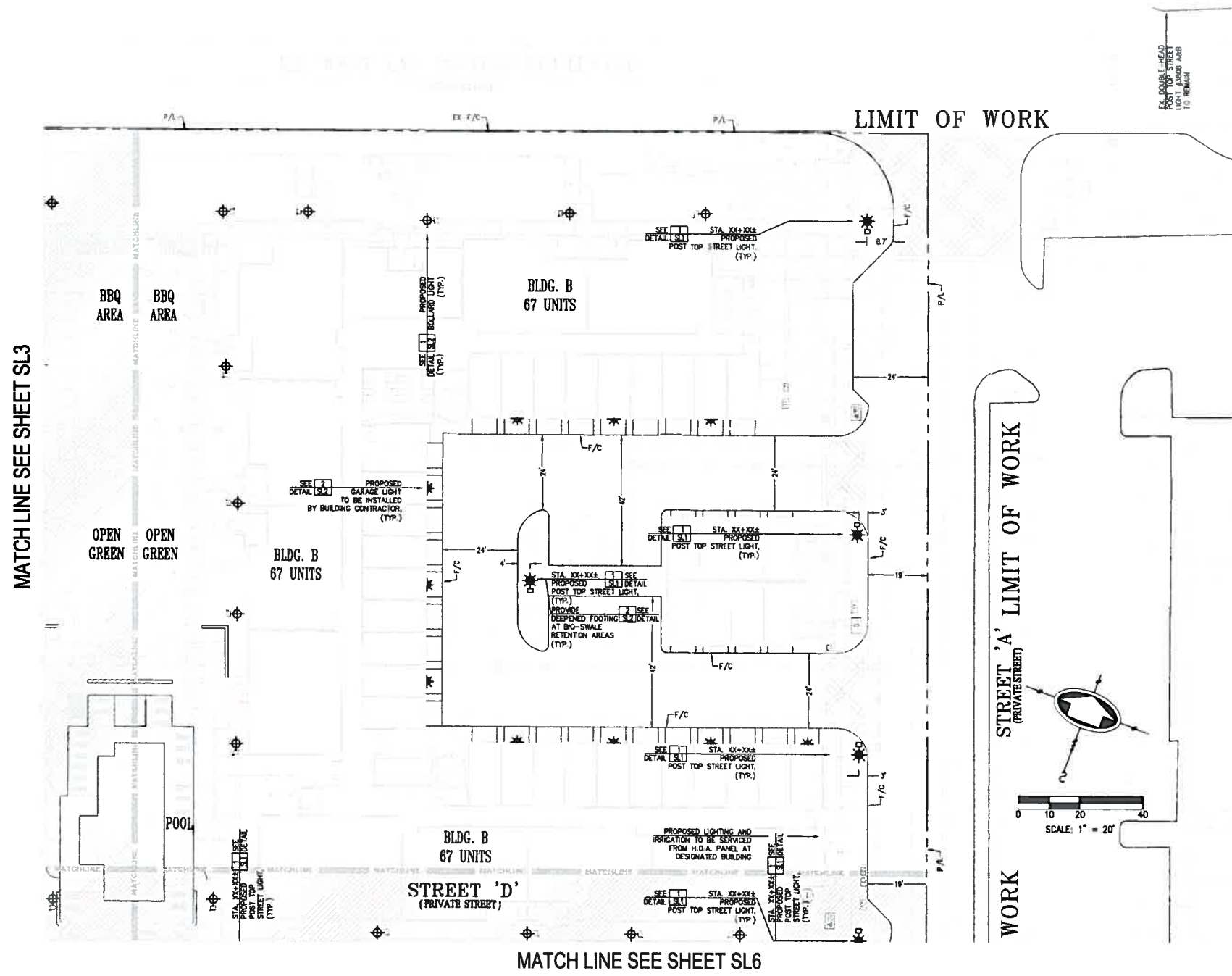
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SCALE: 1" = 20'  
JOB NO.: 21325  
DATE LAST WORKED ON: 12/29/2013  
DRAWN: AR  
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SHEET  
SL4  
OF  
SL6  
SHEETS





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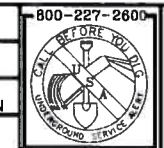


- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PE&E Gas Design
- PE&E Elec. Design
- H.F.P. Design
- Cost Analysis
- Due Diligence

**STREET LIGHTING SITE PLAN**  
**SUMMERHILL HOMES**  
**CANNAE**  
**PLEASANTON CALIFORNIA**

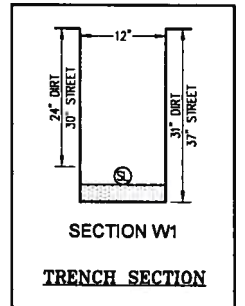
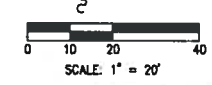
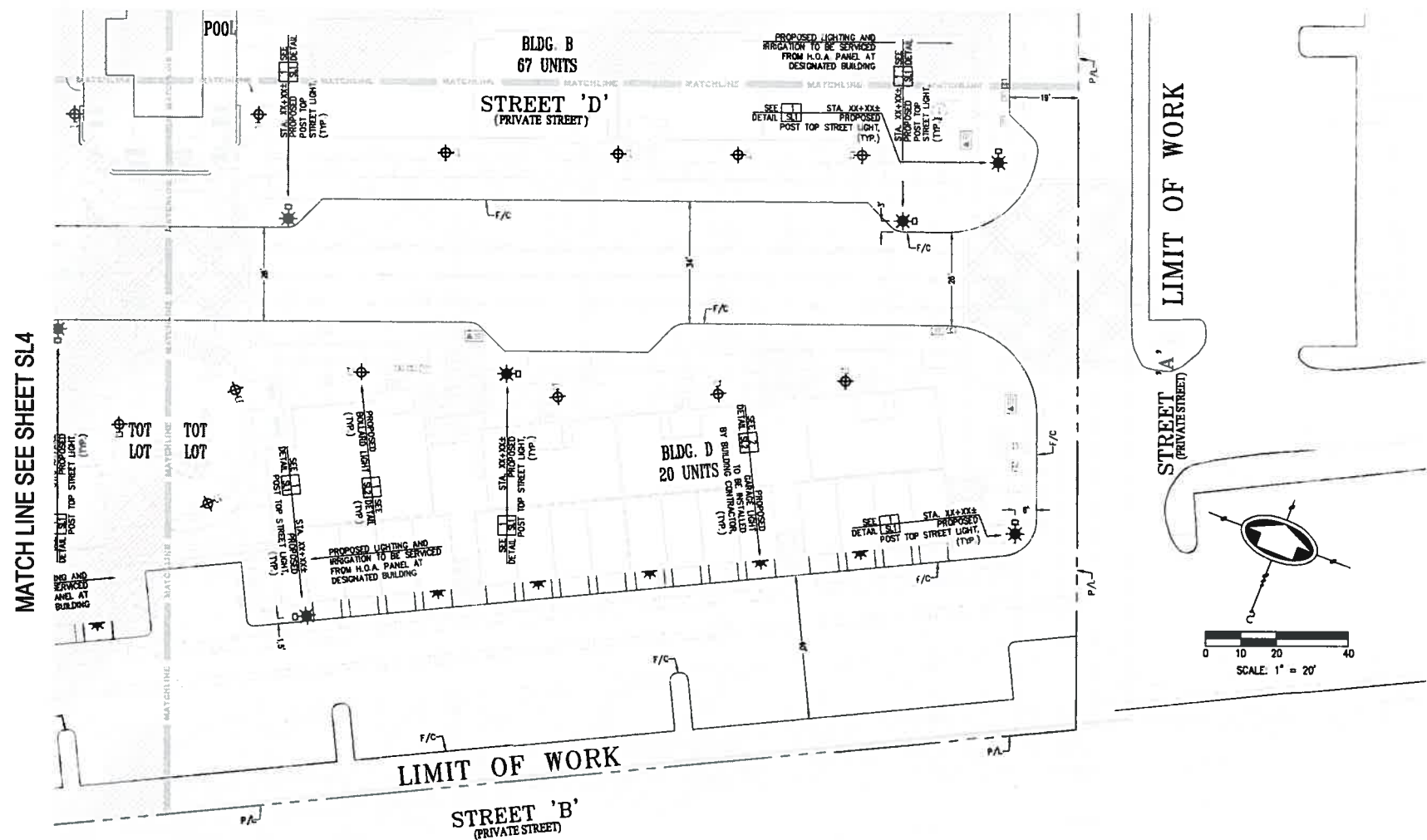
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SHEET  
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 OF  
**SL6**  
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MATCH LINE SEE SHEET SL5



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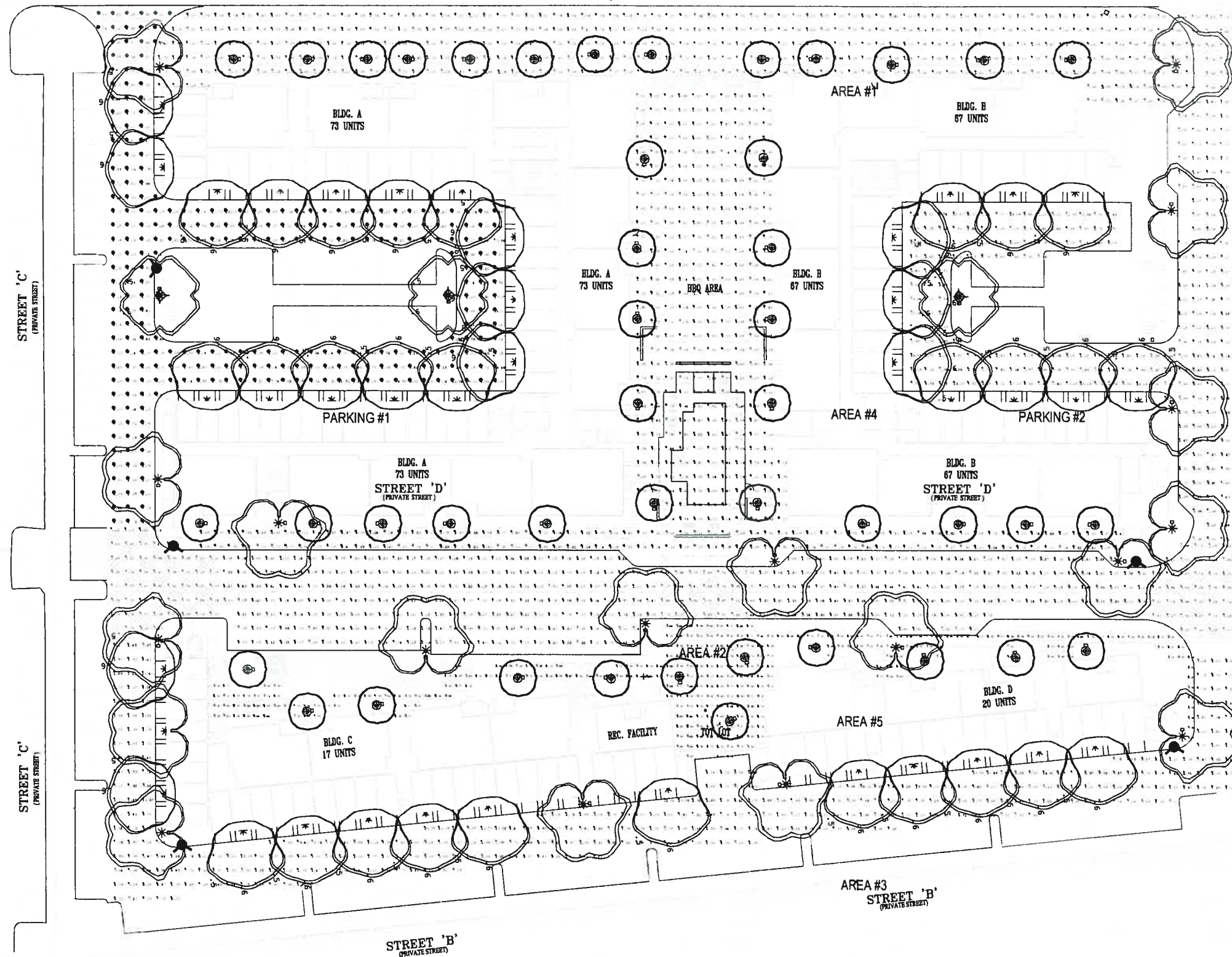
STREET LIGHTING SITE PLAN  
SUMMERHILL HOMES  
CANNAE  
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NO	REVISIONS	BY	DATE

DATE: DECEMBER 2013 DATE LAST WORKED ON: 12/20/2013  
SCALE 1" = 20' DRAWN BY: CHECKED: KT  
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SL6  
OF  
SL6  
SHEETS



Numeric Summary  
Project: Template  
Scene: Scene\_1

Label	CalcType	Units	Avg	Max	Min	Avg/Min
Parking #1	Illuminance	Fc	2.66	15.44	0.13	20.46
AREA #3	Illuminance	Fc	2.33	22.75	0.13	17.92
AREA #4	Illuminance	Fc	0.49	6.00	0.01	49.00
AREA #1	Illuminance	Fc	0.53	5.86	0.01	53.00
AREA #5	Illuminance	Fc	0.79	5.78	0.04	19.75
AREA #2	Illuminance	Fc	0.52	3.20	0.07	7.43
Parking #2	Illuminance	Fc	1.96	16.46	0.08	24.50

Luminaire Schedule  
Project: Template  
Scene: Scene\_1

Symbol	Qty	Label	Arrangement	Lumens	LLF
□	3	CE21T4-FT1GC-5SL4-80W-4K	SINGLE	125	0.850
□	44	CBM1210-LAP-5SL4-32W-4K	SINGLE	N.A.	0.850
□	18	CE21T4-FT1GC-3M3HS-72W-4K-HSS	SINGLE	N.A.	0.850
□	38	Wallpack 30W LED	SINGLE	3300	0.850

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- M.E.P. Design
- Cost Analysis
- Data Diligence

PHOTOMETRIC EXHIBIT  
SUMMERHILL HOMES  
CANNAE  
PLEASANTON CALIFORNIA

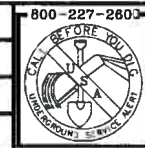
NO.	REVISIONS	BY	DATE

DATE: DECEMBER 2013  
SCALE: NOT TO SCALE  
JOB NO.: 21325

DATE LAST WORKED ON: 12/20/2013  
DRAWN: KS  
CHECKED: KT

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PE  
OF  
PE  
SHEETS

# EXHIBIT B

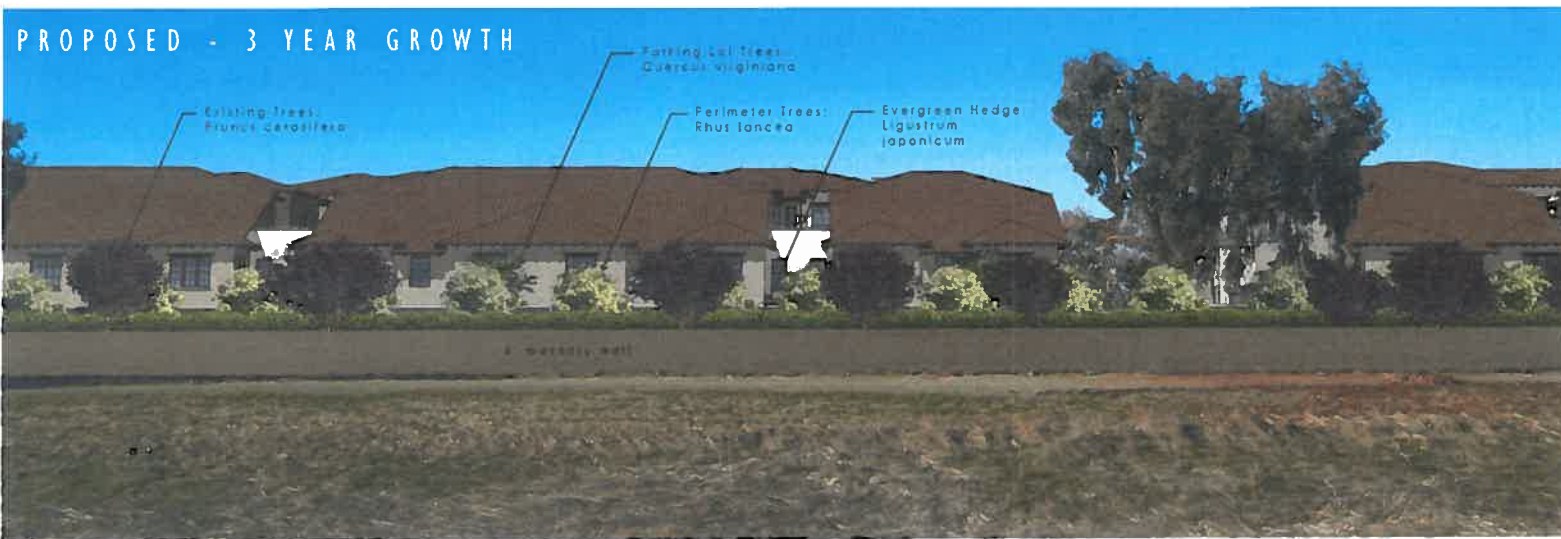
EXISTING



KEY MAP - EXISTING



PROPOSED - 3 YEAR GROWTH



KEY MAP - PROPOSED



LANDSCAPING DEPICTED AT 3 YEAR GROWTH

- Parking Lot Trees:  
Quercus virginiana, 17' tall
- Perimeter Trees:  
Rhus lancea, 14' tall
- Evergreen Hedge  
Ligustrum japonicum, 6.5' tall

5850 WEST LAS POSITAS BLVD

VISUAL SIMULATION - BUILDINGS C & D FROM SOUTH



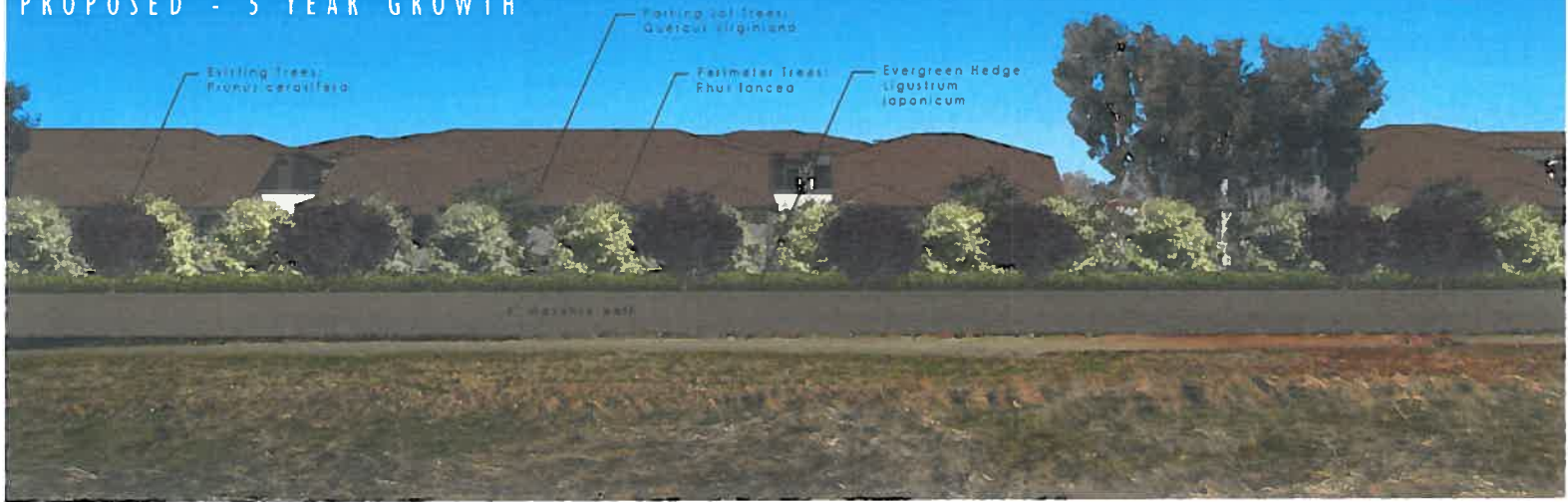
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PLEASANTON, CALIFORNIA  
KEY MAP 2013-0113 01/13/2014

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 ktgy.com



PROPOSED - 5 YEAR GROWTH



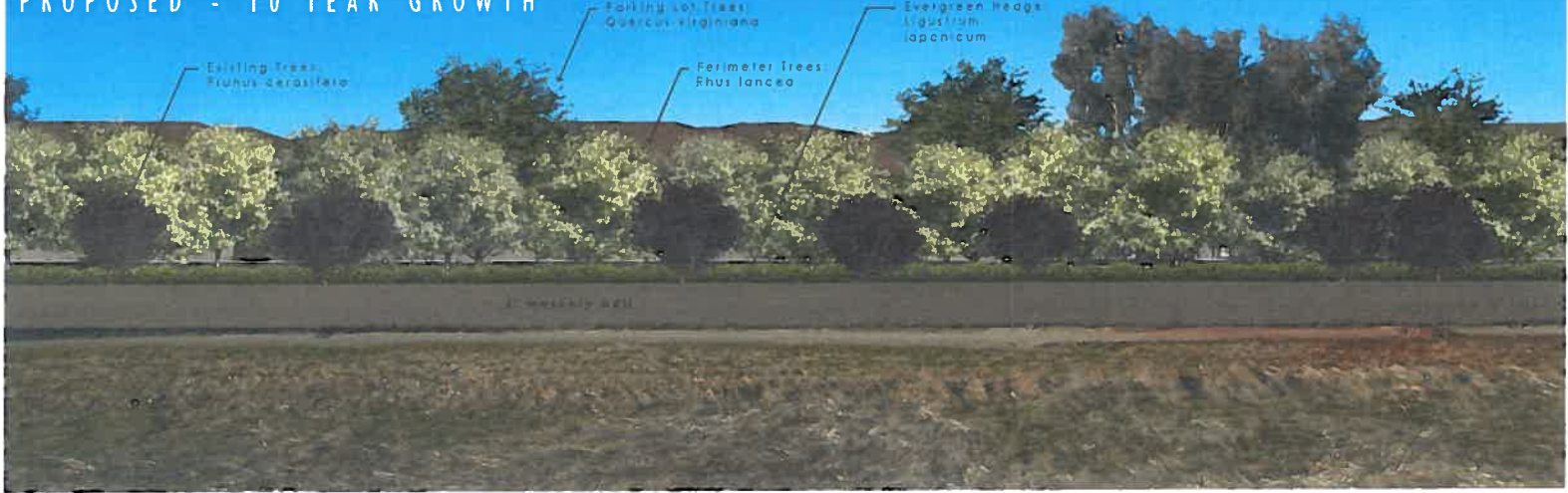
KEY MAP - PROPOSED



LANDSCAPING DEPICTED AT 5 YEAR GROWTH

- Parking Lot Trees: Quercus virginiana, 23' tall
- Perimeter Trees: Rhus lancea, 18' tall
- Evergreen Hedge: Ligustrum japonicum, 6.5' tall

PROPOSED - 10 YEAR GROWTH



KEY MAP - PROPOSED



LANDSCAPING DEPICTED AT 10 YEAR GROWTH

- Parking Lot Trees: Quercus virginiana, 38' tall
- Perimeter Trees: Rhus lancea, 28' tall
- Evergreen Hedge: Ligustrum japonicum, 6.5' tall

5850 WEST LAS POSITAS BLVD



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VISUAL SIMULATION - BUILDINGS C & D FROM SOUTH

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