

Planning Commission Staff Report

May 13, 2015

Item 6.b.

- SUBJECT:** P14-1290
- APPLICANT:** Classic Home Design / Douglas Harwood
- PROPERTY OWNER:** Tony Adams
- PURPOSE:** Applications for a Certificate of Appropriateness to demolish the existing single-family residence and for Design Review approval to: 1) remodel the existing commercial building at the front of the property; 2) construct a parking lot with three parking spaces and related site improvements for the commercial building; and 3) construct an approximately 4,198-square-foot two-story single-family home and related site improvements at the rear of the property.
- LOCATION:** 363 St. Mary Street
- GENERAL PLAN:** Retail, Highway, and Service Commercial; Business and Professional Offices
- SPECIFIC PLAN:** Downtown Specific Plan – Downtown Commercial
- ZONING:** Central-Commercial (C-C), Downtown Revitalization, Core Area Overlay District.
- EXHIBITS:**
- A. [Draft Conditions of Approval](#)
 - B. [Project Plans dated "Received April 27, 2015"](#)
 - C. [Historic Evaluation dated "March 13, 2014"](#)
 - D. [HortScience Arborist Report dated May 7, 2015](#)
 - E. [Green Building Checklist](#)
 - F. [Location and Noticing Map](#)

BACKGROUND

Mr. Harwood has formally applied for a Design Review applications for a certificate of appropriateness to demolish the existing single-family residence and for Design Review approval to: 1) remodel the existing commercial building at the front of the property; 2) construct a parking lot with three parking spaces and related site improvements for the commercial building; and 3) construct an approximately 4,198-square-foot, two-story single-

family home and related site improvements. Applications to construct new single-family homes and commercial façade and/or site changes are normally processed at staff level with action taken by the Zoning Administrator. However, a Certificate of Appropriateness requires action from the Planning Commission in order to demolish or remove an existing structure in the Downtown Revitalization District. Therefore, the Design Review application for the new home and commercial building changes are before the Planning Commission for review and action.

SITE DESCRIPTION

The subject site is a Downtown commercial interior lot located on the north side of St. Mary Street, east of Peters Avenue, and is approximately 10,937 square feet in area. The site currently contains a vacant 1,144-square-foot, single-story medical office building, a tenant occupied 1,208-square-foot, single-story home, and a 360-square-foot detached garage. An existing gated driveway off St. Mary Street provides access to the existing home located immediately behind the medical building. There is currently no on-site parking available for the medical building. The properties surrounding the subject site are commercial buildings. Please refer to Image 1, below, Images 2 through 4 on page 3, and Image 5 on page 4 of this report for the location of the property and pictures of the existing medical building and house.

Image 1: Location Map



Image 2: Focused Property View



Image 3: Entrance of Existing Home



Image 4: Rear of Existing Home



Image 5: Medical Building



PROJECT DESCRIPTION

The property owner is requesting approval to demolish the existing single-story, approximately 1,208 square-foot residence and associated detached garage, and replace it with a new two-story, approximately 4,198 square-foot residence with attached garage. The project will also include the installation of three new on-site parking spaces for the medical building that will be converted to commercial/retail use. Façade changes to the converted medical building are also proposed and will include: 1) removing the CMU walls at the front of the building and adding stucco and wood trim over the existing CMU walls of the building; 2) installing full length storefront windows; 3) recessing the entry from the façade and installing brick pilasters on the east and west sides of the building; 4) replacing the flat roof with a new hipped roof with composition shingles; and 5) painting the building a light taupe color with brown accents. The proposed commercial building elevations are included in Figures 1 and 2 on page 5, and the proposed residential building elevations are included as Figures 3 and 4 on pages 5 and 6.

Figure 1: Proposed Façade Improvements (South and East Elevations)

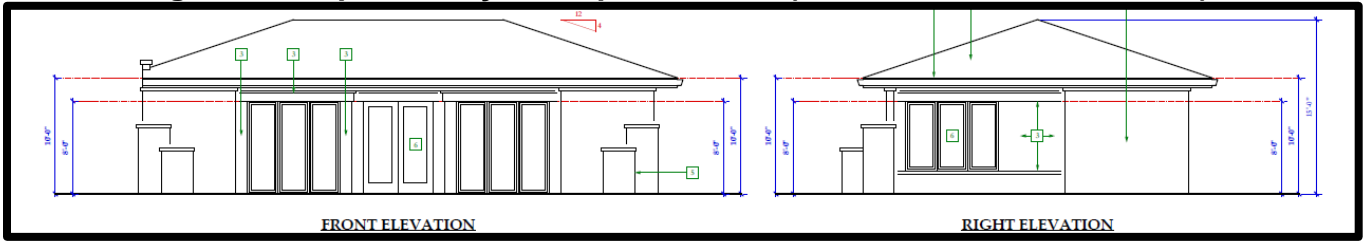


Figure 2: Proposed Façade Improvements (North and West Elevations)

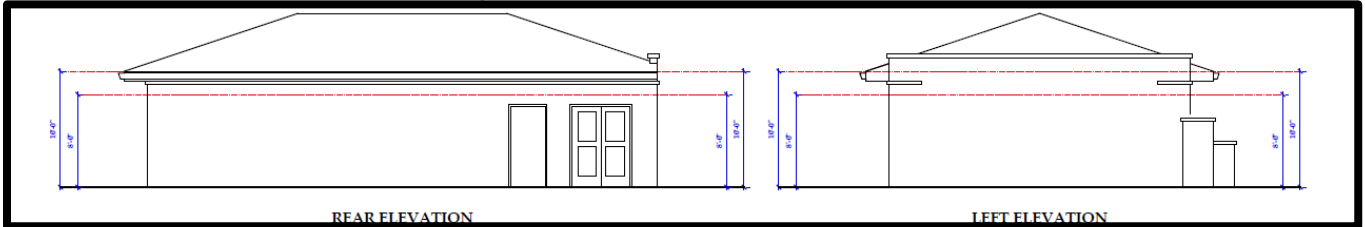


Figure 3: Proposed Residential Elevations (Rear and Front Elevations)

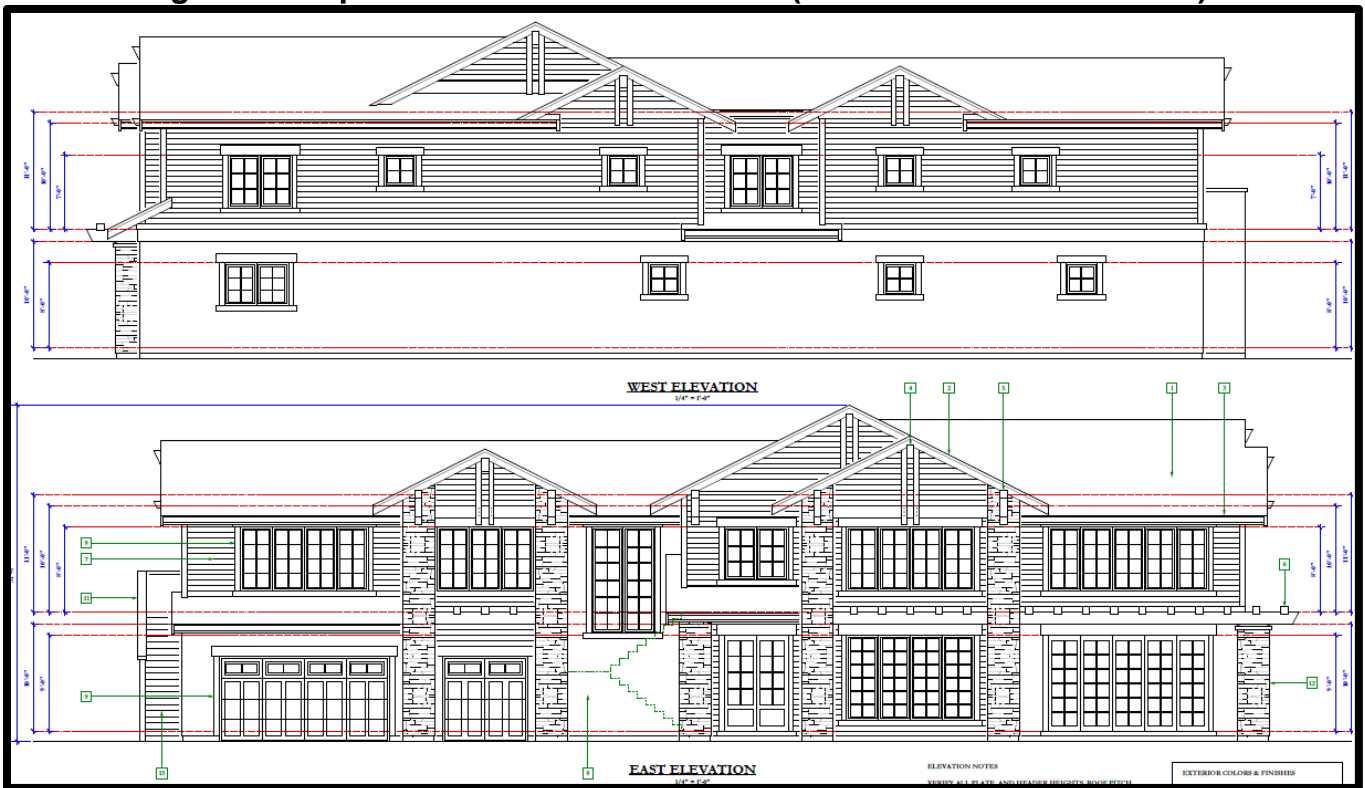
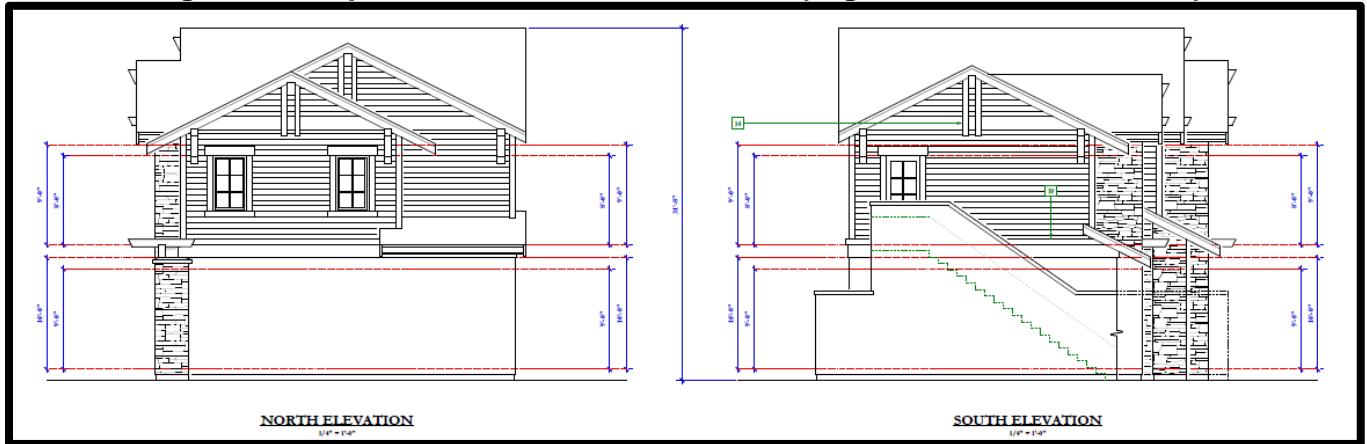


Figure 4: Proposed Residential Elevations (Right and Left Elevations)



The proposed commercial on-site parking would be located behind the commercial building where the existing residence is currently located. Figure 5, below, and Figure 6 on page 7, illustrate the existing and proposed layout of the site. Staff notes that the property owner has removed a small, Mexican Fan-Palm tree, noted on the existing site plan in Exhibit B, which was located on the southwest side of the property in front of the building in the City-owned planting strip. This removal was granted by the City's Landscape Architect and the City's Streets Division.

Figure 5: Existing Site Layout

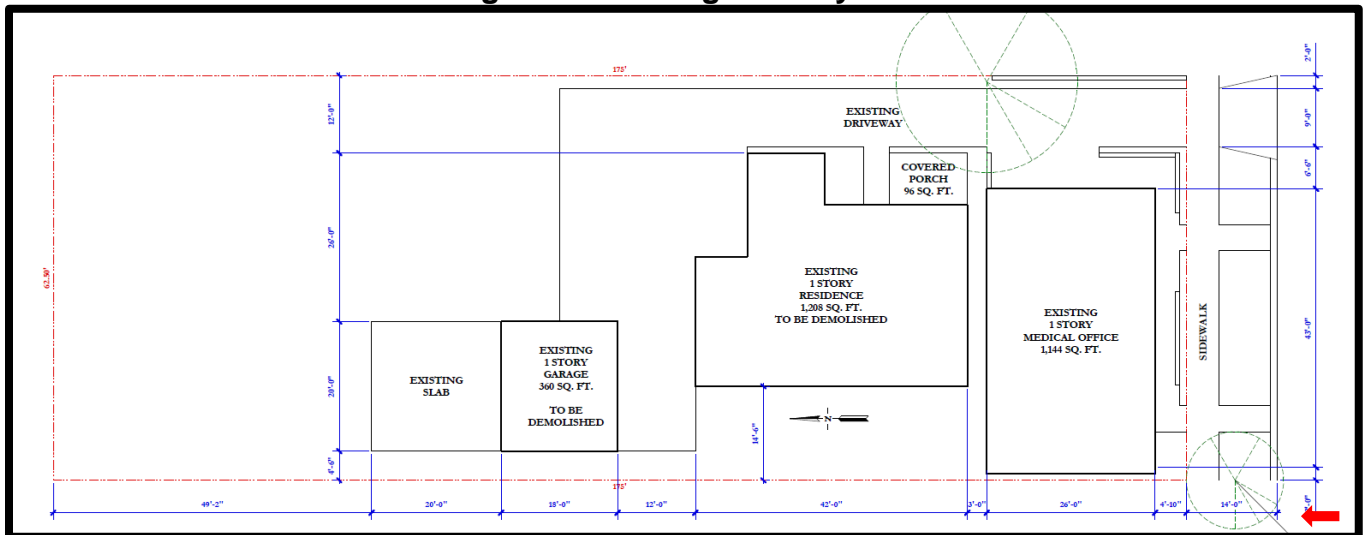
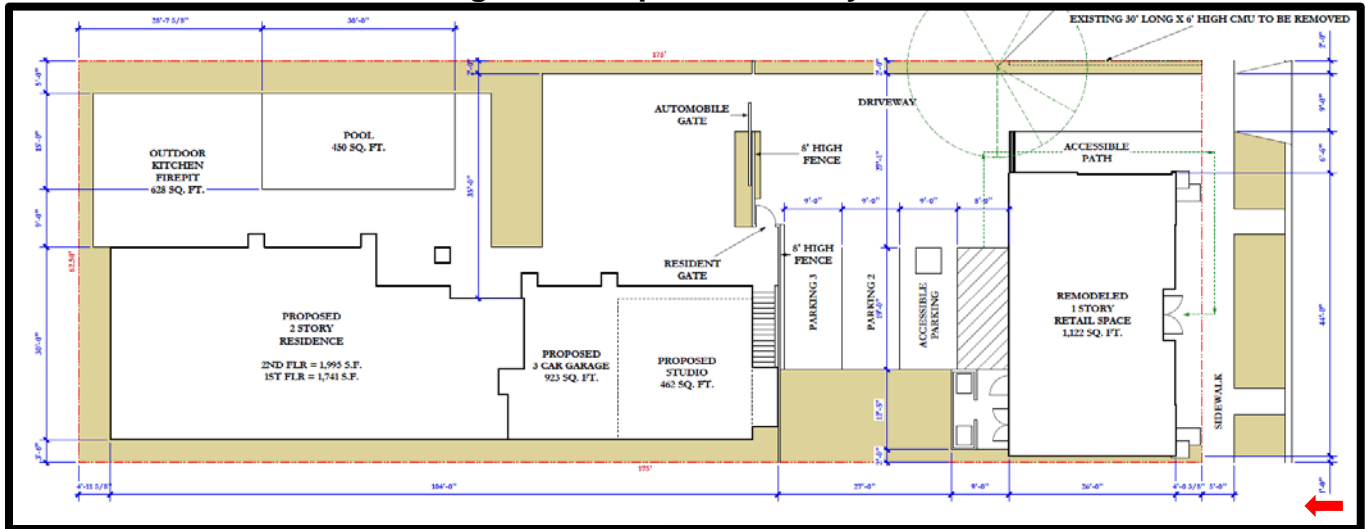


Figure 6: Proposed Site Layout



The property owner is proposing to demolish the detached garage and approximately 1,208 square-foot single-story home and construct an approximately 4,198 square-foot two-story home with an approximately 923 square-foot attached three-car garage. The home features stucco, stone veneer, and horizontal wood siding and trim, composition shingle roofing, knee braces, and a decorative trellis. The owner is proposing to use a light khaki color for the horizontal siding and moss color for the stucco. The stone veneer will vary in color that compliments the two body colors of the house and the proposed red cedar trim. Staff notes that a color and material sheet is provided in Exhibit B.

ANALYSIS

General and Downtown Specific Plan Land Use Conformity

The General Plan designates the subject property as “Retail, Highway, and Service Commercial/Business and Professional Offices.” The proposed project, retaining the existing medical building and constructing a new single-family home in the Downtown, is consistent with this land use designation. Additionally, the project is consistent with Program 12.4 that states:

Program 12.4: *Encourage second-floor apartments above first-floor commercial uses and live-work units in the Downtown. Also allow mixed-use development in the Downtown where residences are located behind commercial uses.*

Furthermore, the Floor Area Ratio (FAR) of the proposed buildings (existing medical building and new home) would be approximately 48.64%, which complies with the General Plan’s 300% FAR limit for Downtown commercial properties (Table 2-3 of the General Plan).

The subject property is located within the Downtown Specific Plan area. The Downtown Specific Plan land use designation for the subject property is “Downtown Commercial,” which allows pedestrian-oriented commercial on the ground floor and retail, office, and residential

uses on the upper floors. Since the new home will be located at the rear of the lot, similar to the existing home, and the owner will continue to use the site for commercial and residential uses, staff believes the project is consistent with the intent of the Downtown Specific Plan policy. The single-family home will continue to promote Specific Plan policies that encourage an increase in the amount of housing within walking distance of the Downtown to provide more patronage of retail stores, services, and restaurants. Both buildings would also have design features and architectural detailing that complement existing buildings in Downtown. Therefore, staff believes the proposed project is consistent with the intent of the Downtown Specific Plan goals and policies.

Downtown Specific Plan (DTSP) and Downtown Design Guidelines (DTDG)

Commercial remodels and new single-family home construction in the Downtown must be sensitive to the character of the downtown and must conform to the design policies contained in the Downtown Specific Plan and Downtown Pleasanton Design Guidelines. The following is an analysis of the criteria applicable to the commercial remodel and new residential construction:

COMMERCIAL BUILDING REMODEL

Building Location: The Downtown Design Guidelines state that off-street parking is allowed at the rear or interior of the lot. The applicant is proposing to install three on-site parking spaces for the remodeled commercial building where the existing single-family home is currently located. The off-street parking spaces, therefore, will be located towards the rear of the lot and is in keeping with this policy.

Height and Massing: The existing commercial building currently has a flat roof. The buildings east and west of the subject building are taller due to the pitch of their respective roofs. The applicant is proposing to replace the flat roof with a new hipped roof with composition shingles. The maximum height of the building, measured from finished grade to the ridge of the roof, would be 15 feet. The applicant is proposing to recess the entry, thus, reducing the square footage of the building by 22 square feet in area. The Guidelines state that the height of contiguous storefronts should generally align. The building would still be similar in scale to adjacent Downtown buildings, thus, it would be in keeping with this guideline.

Design: The Downtown Specific Plan encourages attractive building architecture which reinforces the traditional, pedestrian-oriented design character and scale of the Downtown (page 73 of the Downtown Specific Plan). The Downtown Design Guidelines encourage a variety of traditional architectural styles and shapes (page 13 of the Downtown Design Guidelines). The following are Specific Plan Policies and Design Guidelines applicable to the medical building's redesign:

- Protect and enhance the pedestrian-friendly scale of the Downtown by continuing its mixture of one-to-two-story facades at the sidewalk, at-grade entrances, and display windows every 25-30 feet.

- Maintain the Downtown's variety of stucco, brick, and wood facades with high quality materials in new construction appropriate to the architectural style of the building.
- A variety of entries is encouraged. The entry can be an almost invisible part of the display area (with bypass or folding glass doors), or Dutch doors whose top half is left open during business hours.
- The design of all buildings and storefronts shall be unique, not corporate, chain or franchise.
- A variety of traditional architectural styles and shapes is encouraged.
- Provide detailing of the roofline, upper façade, and storefront areas of the building consistent with the building's architectural style.

The remodeled commercial building would continue to provide an at-grade entrance and provide new display windows that will provide a pedestrian friendly storefront element. The new storefront windows and the use of a variety of façade materials including stucco, wood, and brick would add to the architectural variety of the Downtown. Staff encourages more design details for new commercial buildings in the Downtown; however, staff feels that flexibility should be given to the applicant in regard to the amount of details given that the building is existing and the applicant is improving its design. Therefore, staff finds that the Downtown Specific Plan and Design Guidelines design policies have been met, as proposed and conditioned.

Storefronts and Windows: The Guidelines states that the storefront is the most transparent part of the facade and has its own elements common to all storefronts, regardless of the architectural style of the building. The following are the applicable Downtown Design Guidelines regarding storefront elements:

- Space storefronts in a repeated rhythm along the sidewalk to maintain pedestrian continuity and interest. Minimize wall space (pier width) between storefront windows.
- Storefront display windows should be large and of clear transparent glass.
- Storefront entry doors to street level should be more than 50% glass or open.
- Recess entries from the facade; use recessed areas for window displays.
- Vertical, rectangular windows are preferred. Recess windows in from the building wall. Use window trim to highlight windows. Use projecting sills.

The proposed remodeled building would be consistent with these guidelines. The entry would be recessed, would have entry doors more than 50% glass, and will have large vertical, rectangular windows.

Building Materials, Finishes, and Colors: The stucco finish, brick, and wood-framed windows and doors are acceptable building materials for the Downtown and would be consistent with the Specific Plan policy to use high quality building materials in remodeled construction appropriate to the architectural style of the building. The proposed building and accent colors meet the Downtown Design Guidelines, which state that colors should be appropriate to the architectural style of the building.

DEMOLITION OF THE SINGLE-FAMILY HOME

On February 4, 2014, The City Council adopted amendments to the Downtown Specific Plan. The Downtown Specific Plan now has the following Historic Resources Policy for residential buildings in a commercial district:

Page 8, No. 3 – “Prohibit the demolition of any non-residential building or a residential building in a commercial or office zoning district found to be historically significant based on the California Register criteria unless such building is determined by the Chief Building Official to be unsafe or dangerous, and if no other reasonable means of rehabilitation or relocation can be achieved. A 45-day public notification period shall be implemented for buildings proposed to be demolished which do not pose an immediate safety hazard in order to assess alternatives and give the public opportunity to make proposals for rehabilitation or relocation.”

Furthermore, the Downtown Design Guidelines indicate that demolition of buildings over 50 years of age is generally discouraged and that remodeling is encouraged over replacement (please refer to page 10 of the Guidelines).

County records indicate that the residence located behind the medical building was built in 1941. The building is not unsafe or dangerous as it has been consistently occupied. The property is not specifically listed in the City’s General Plan or Downtown Specific Plan as an historic resource. In order to determine if the structure is historically significant based on the California Register criteria, a historic evaluation was prepared.

The historic evaluation for 363 St. Mary Street was prepared by an architectural historian who meets the qualifications stated in the Secretary of the Interior’s and the State Office of Historic Preservation’s professional qualification standards. The historian evaluated the subject house and concluded that the subject house did not qualify for the California Register of Historical Resources, lacked sufficient integrity to be considered a significant architectural resource under the California Environmental Quality Act (CEQA), and lacked integrity to its historic origins and, therefore, was not considered a significant resource. Furthermore, the report addressed the proposal’s potential impacts on significant or potentially significant adjoining properties. The historian found that the project, as proposed, would not be considered an adverse impact on nearby homes and/or properties regardless of their age. For the Commission’s consideration, staff has included in the historic evaluation prepared by the historian as Exhibit C.

Certificate of Appropriateness

Demolition of buildings in the Downtown requires that a certificate of appropriateness be approved by the Planning Commission. The Downtown Specific Plan contains policies encourage the preservation of buildings over 50-years old, especially those considered heritage buildings or buildings of historical importance. The Specific Plan prohibits the demolition of buildings of historical significance unless those buildings are considered to be unsafe or dangerous and if no other means of rehabilitation can be achieved. The Downtown

Design Guidelines indicate that demolition of buildings over 50 years of age is generally discouraged and that remodeling is encouraged over replacement.

The existing single-family home is over 50-years old, but it is not identified as an "historic building" in the General Plan. In addition, the City did not designate the building as a building of "primary" or "secondary" historical and design significance. Furthermore, the historic evaluation found that the house is not a historic resource. In staff's opinion, the existing building is not of architectural or historical interest and recommends that the applicant be allowed to demolish it, particularly since a well-designed building will replace it. Therefore, staff believes that granting a certificate of appropriateness to demolish the building is appropriate for this site.

NEW RESIDENTIAL CONSTRUCTION

Residential DTSP and DTDG Criteria

The Introduction to the Downtown Design Guidelines states the following:

“Architecturally, the commercial area of Downtown and its adjoining residential neighborhoods are represented by several different styles, giving it a diverse appearance that contributes to its interest and uniqueness. Pleasanton has decided, through its planning process, that this traditional quality and its heritage buildings should be preserved. However, it also recognizes that Downtown is growing and that constructing new buildings on vacant and underdeveloped sites keep the area vital and desirable. Such new development is to be encouraged provided that it fits in with the established pattern and reflects one of the various architectural styles of Downtown.”

It further states that,

“It is recognized that certain situations will require flexibility in applying these guidelines, which is acceptable as long as the overall intent and spirit of the guidelines are met. It is hoped that the use of this document will result in an attractive, pedestrian-oriented Downtown that maintains its traditional character yet continues to grow creatively and with vitality.”

Siting: The proposed home would be located north of the existing commercial building and will maintain similar setbacks of the other structures on adjoining lots. Furthermore, the home will be adhering to the setback requirements of the C-C zoning district (see Table 1 on page 15). The massing of the proposed house in relation to the building area, approximately 4,198 square feet in area, in staff’s opinion, is consistent with the DTSP policy of keeping appropriately-scaled new construction.

Height & Mass:

- Design 2 story homes and additions to fit into predominately single story neighborhoods using techniques such as hip roofs and dormers to minimize building height.

- New residential building design, including the design of replacement buildings for buildings constructed before 1942 which are approved for demolition, or additions to existing single-family homes should result in homes that are consistent with the floor area, bulk, and massing of homes in the immediate neighborhood.
- To ensure that the design of new buildings and modifications to existing heritage buildings and heritage neighborhoods are compatible with the Downtown's traditional design character and scale.

Downtown consists of a mixture of one- and two-story homes and the proposed two-story home on this site conforms to the established downtown pattern. The height of the house conforms to the Zoning Ordinance and the floor area ratio (FAR), which includes both the commercial and new residential building, is 48.64%, well under the maximum of 300% allowed by the Pleasanton Municipal Code, see Table 1 on page 15. While the roof is predominately a gable roof, it is broken up through roof and wall variations to prevent continuous lines. Therefore, staff finds that these criteria have been met with the proposed design.

Design: New construction should utilize or be based on the architectural style and detailing of one of the following styles found Downtown dating from pre-1942: Gothic Revival, Italianate, Victorian (Queen Anne, Stick, and Folk), Bay Tradition, Craftsman, Prairie, Mission Revival, Spanish Colonial Revival, Mediterranean Revival, Tudor/Medieval Revival, Minimal Traditional, Vernacular Forms, and FHA Minimum House. As proposed, the house contains a number of architectural elements and details that generally reflect a Craftsman style, including the use of wood and stucco siding; the stone veneer columns; the use of wood trellises and detailing such as exposed wood roof beams and knee braces; and the shape and style of the windows and the fact that they will be recessed into the exterior walls.

The proposed design of the two-story home features wood clapboard siding and wood trim, composition shingle roofing, and stone veneer, which is in keeping with the parameters of the DTDG. Windows with grids are also proposed; however, the window specifications were not provided and, therefore, it is not clear whether the windows would be in keeping with the Downtown Design Guidelines. Staff has added a condition of approval to address the windows. Since the initial application submittal, the applicant and property owner have worked with staff to make design changes to be more consistent with the DTSP and DTDG (i.e., reducing the massing by recessing and projecting the walls, adding siding along the second-floor of the rear elevation, adding additional first-floor windows on the rear elevation, and wrapping the siding around the north (right) and south (left) elevations). Staff is of the opinion that the new house is generally consistent with the architectural style and detailing found in the homes Downtown.

While it could be argued that design of the house isn't as traditional in design as other homes in the Downtown, staff believes that some flexibility with the design is supportable given that the property is in a commercial district and the home is located at the rear of the lot behind the commercial building. This is supported by the Guidelines statement that flexibility in applying the Guidelines is acceptable as long as their overall intent and spirit is maintained. Therefore, staff believes that these criteria have been met with the proposed house design.

Roofline:

- New homes should use roof forms and materials of similarly styled homes in the neighborhood.
- Coordinate material with the architectural style of the house.

The proposed roof uses a gable roof form with a composition roof which is found throughout residential homes Downtown. Therefore, staff believes these criteria are met.

Materials:

- Install the highest quality materials.
- Use natural exterior materials.

The wood siding, trellises, and detailing; and stone columns shown on the plans represent high quality materials. Thus, staff believes that these criteria are met.

Windows:

- The shape, materials, and placement of windows should be appropriate to the architectural style. Various architectural styles require different window details. Windows on stucco exteriors must be recessed. For wood clad exteriors, windows do not need to be recessed provided there is substantial trim separating the windows from the wall and have window sills that cast a shadow on the wall.

The plans show windows with grids that will be recessed into the building wall. Their rectangular shape, size, and placement are presented in an attractive manner that generally reflects a traditional style. Some square-shaped windows are used in some areas of the house that are consistent with the Craftsman design. The window specifications were not provided and, therefore, it is not clear whether the windows would be in keeping with the Downtown Design Guidelines. Staff has added a condition of approval to address the windows. Therefore, staff believes that this criterion is met, as conditioned.

Entries:

- New homes should reflect the predominant entry style of the immediate neighborhood, direct or private.
- Design porches or protected entryways to recall those elements found in surrounding homes. They should be a minimum of six feet in width.
- Front doors should be of the highest quality materials and hardware and should be consistent with the architectural style of the home.

The proposed house will be located behind an existing building and the entry will not be highly visible from the street. However, the applicant is proposing a trellis along the front façade and the front door is recessed between the columns and, in staff's opinion, meets the intent of these design criteria. While an attractive front door is shown on the plans, staff has added a condition that the specific door design and hardware be submitted to the Director of Community Development for review and approval prior to ensure that this criterion is met.

Architectural Details:

- New construction is to use a rich variety of detailing appropriate to the style of the building and that found in similar homes in the neighborhood. This includes elements such as roof eave, door, and window trim, balconies, railings, and material accents as tile or shingle patterns.

The architectural detailing of the home is discussed above in the “Design,” “Materials,” and “Windows” sections. Staff believes that the use of stucco and horizontal siding, the use of the traditional style window types, the use of columns, and the soft earthtone colors will create a richness that reflects the architectural style of the house and the traditional architecture of the Downtown.

Front Yards and Fencing:

- Retain front yard landscaping and existing trees.

The proposed house will be located behind an existing building. The applicant has included a “landscaping plan” (sheet L-1 and L-2 of Exhibit B) that indicates the location of grass and hardscape areas and the location of a proposed rear yard landscape improvements. The subject site has limited landscaping and the landscaping that is proposed would be an improvement. Staff notes that a condition has been added that the applicant use more low-water usage, drought-tolerant species in the landscape. The applicant is proposing a new 8-foot tall fence with gate to separate the commercial building and new home. Details of the fencing and gate were not provided and a condition of approval was added to address this item.

Zoning and Uses

The site is zoned Central-Commercial (C-C), Downtown Revitalization, Core Area Overlay District. A variety of commercial and residential uses are permitted uses in this District. As discussed below, the project would comply with all of the applicable development standards and parking requirements of the respective districts.

Site Plan

The site development standards of the C-C District allow structures to be built to the property lines on all sides of the subject site and allow a maximum FAR of 300% and a maximum height of 40 feet. As shown in the table below, the proposed development would comply with the site development standards.

Table 1: Required and Proposed Development Standards

Site Development Standards:	Requirements:	Plan Proposal
Floor Area Ratio	300% max.	48.64% (percentage includes the house and commercial building)
Building Height	40 ft. max. - measured from the average grade covered by the structure to the mean height between the roof ridge and eave.	31 feet, 8 inches, to the top of the house's roof ridge. 23 feet, 3 inches, as defined by the Pleasanton Municipal Code. 15 feet, from finished grade to the top of the roof ridge, for the commercial building.
Setbacks: (house)		
Front (south)	None Required	66 feet - Measured from building wall to property line
Right (east) Side	None Required	28 feet
Left (west) Side	None Required	3 feet, 6 inches
Rear (north)	None Required	4 feet, 11 ⁵ / ₈ inches
Setbacks: (commercial bldg.)		
Front (south)	None Required	4 feet, ³ / ₈ inches to 6 feet. Measured from building wall to property line
Right (east) Side	None Required	No Change. 17 feet, 6 inches
Left (west) Side	None Required	No Change. 1 foot
Rear (north)	None Required	No Change. 4 feet, 11 ⁵ / ₈ inches

Staff believes that the new building will enhance the character of the Downtown by reinforcing its mixture of one-to-two-story buildings. Overall, staff believes that the proposed site plan, positioning of the new building, height, and FAR are appropriate for the subject property.

Parking Requirements

The subject site is zoned C-C and located within the Downtown Revitalization District. Changing the use of the existing commercial building (i.e., medical to retail/commercial) would not require on-site parking per Section 18.88.020 (D)(1) of the Pleasanton Municipal Code (PMC). However, the applicant is proposing to install three on-site parking spaces for the commercial building as a part of this application even though it is not required. The parking requirement for a new retail building would be one parking space per 300 square feet of gross floor area. A new 1,122 square-foot building would require three parking spaces. Therefore, the three proposed parking spaces would have met the parking requirement had it been

applicable. Staff appreciates that the applicant has provided parking for the commercial building even though it was not required.

Single-family dwelling units are required to have at least two parking spaces, one of which is required to be covered, per Section 18.88.030 of the PMC. The applicant is proposing a three-car attached garage for the new two-story single-family home. Therefore, the applicant is meeting the standards of the PMC.

Existing Trees

There are two street trees located in front (south) of the commercial building in the City right-of-way, see Image 5 on page 4, and one non-heritage sized (as defined by the Pleasanton Municipal Code) holly oak located on the southeast side of the property, east of the driveway entrance (see Image 6 on page 17). The applicant is not proposing any work near or proposing removal of the City owned trees; however, the applicant is proposing to remove the holly oak. The applicant has provided a tree report from a City approved landscape architect that recommends that the holly oak be removed as it is outgrowing its location and will likely cause damage to future on-site improvements and the neighboring building at 351 St. Mary Street as it continues to grow. Please refer to Figure 5 below for the location of the tree. The tree report is attached as Exhibit D for the Commission's consideration.

Figure 7: Location of Holly Oak Tree

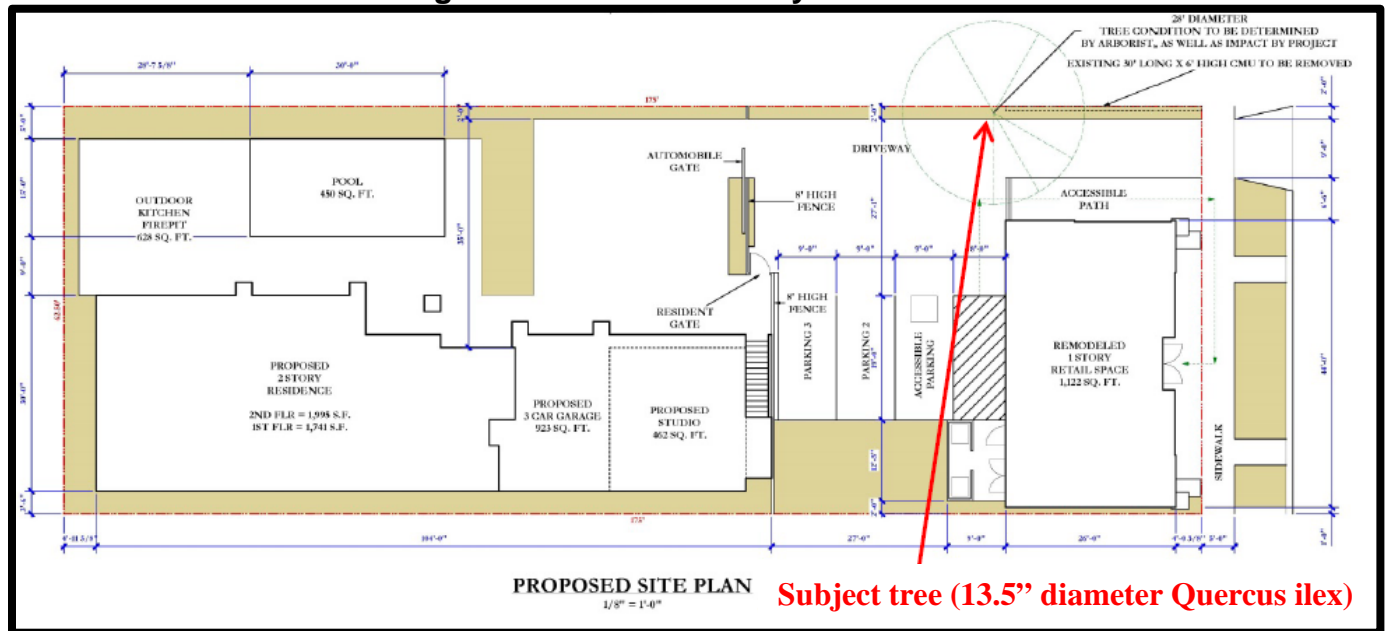


Image 6: Holly Oak Tree



Green Building

As required by the City’s Green Building Ordinance, the proposed project is required to qualify for at least 50 points on BuildItGreen’s GreenPoint Rated Single-Family Checklist. The applicant has proposed to incorporate green building measures into the project that allow the home to qualify for 96 points. Staff has included the Single-Family GreenPoint checklists in Exhibit E for the Commission’s consideration.

PUBLIC NOTICE

Notice of this application was sent to surrounding property owners and tenants within 1,000-feet of the site. Staff has provided the location and noticing maps as Exhibit F for the Commission’s reference. At the time this report was prepared, staff has not received any comments or concerns.

CONCLUSION

The project, as proposed and conditioned, will help further improve the Downtown. The new residence and remodeled building meet all applicable requirements of the Downtown Specific Plan, PMC, and Downtown Design Guidelines, as conditioned. The architectural style of the buildings would be compatible with the traditional architectural character of Downtown, and, in staff’s opinion, both buildings would fit in very well with Pleasanton’s historic Downtown.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission approve P14-1290, an application for a Certificate of Appropriateness and design review approval, subject to the conditions shown in Exhibit A.

Staff Planner: Natalie Amos, Associate Planner, 925.931.5613, namos@ci.pleasanton.ca.us