AUGUSTINE STREET

# PROJECT SUMMARY

Development of two new buildings with three new OO-GENERAL rental residential units in a lot with one existing rental residential unit. Building A consists of three parking spaces, and a one-bedroom unit (Unit A) in the second level. Building 2 consists of three parking spaces and two two-bedroom units (Unit B & C), each one with two-levels. Existing house to have modifications to the interior partitions and building elevations. Site work includes the extension of an existing driveway, installation of permeable concrete pavers and landscape areas. Utilitarian garden metal shed in deteriorated condition in the rear of the property will be demolished.

	LANDSC	APE DRAWINGS
	L-100	PROPOSED LANDSCAPE PLAN
	ARCHITE	CTURAL DRAWINGS
	A-100	PROPOSED SITE PLAN
LE,	A-101	PROPOSED BUILDING 1 FLOOR PLANS & TRASH ENCLOSUR
	A-102	PROPOSED BUILDING 2 FLOOR PLANS
	A-103	EXISTING HOUSE FLOOR PLANS
	A-201	PROPOSED BUILDING 1 ELEVATIONS
	A-202	PROPOSED BUILDING 2 ELEVATIONS
	A-203	EXISTING HOUSE ELEVATIONS
	A-501	TYPICAL DETAILS

RESIDEN	TIAL DEVELOPMENT	REGULATIONS	
STANDARD	MIN. REQ.	EXISTING	PROPOSED
Setbacks			
Front	15ft	20ft	20ft
Left Side	5ft	4.75ft (E house)	5ft (N units)
Right Side	5ft	13ft (E house)	5ft (N units)
Rear	10ft	98ft (E house)	10ft (N units
Minimum Open Area	75 ft²/unit	6,558 ft <sup>2</sup>	4,249 ft <sup>2</sup>
Maximum FAR	50% (3,748 ft²)	12.5% (938 <del>ft²</del> )	50% (3,725 ft²)
Parking	1.5 spaces /unit	2	6

TABULATION OF BUILDIN	G AREAS
NAME	AREA (FT²)
(E) House	938
(N)Unit A	1,302 (651 rental unit + 651 garage space)
(N)Unit B	829
(N)Unit C	829
Proposed Expansion	3,725
Garage, trash bins enclosures and mechanical spaces in Bullding 2	765
Total Built Area (Existing + Proposed Expansion)	4,663
EXISTING SITE AREA	7.496.7

## DRAWING INDEX

G-000	TITLE, COVER SHEET & SHEET INDEX
SURVEY	AND CIVIL DRAWINGS
\$5-001	SURVEY & TOPOGRAPHY (VICINITY MAP)
\$5-002	SURVEY & TOPOGRAPHY (LOT 92)
_C1	GRADING & DRAINAGE PLAN - COVER SHEET
C2 .	GRADING & DRAINAGE PLAN
C3	GRADING & DRAINAGE PLAN - SECTIONS AND DETAILS
C4	GRADING & DRAINAGE PLAN - EROSION CONTROL PLAN

C4	GRADING & DRAINAGE PLAN - EROSION CONTROL PLA
	GRADING & DRAINAGE PLAN - MULTI-UNIT RESIDENTIAL
C5	BLUEPRINT FOR A CLEAN BAY
1	UTILITY PLAN

## SYMBOLS LEGEND:

	NEW CYPSIAN BOARD WALL (SEE DESCRIPTION NOTES FOR CLASSIFICATIO
	EXITING WALL
320000	EXISTING WALL TO BE DEMOLISHED
<u> </u>	-NOICATES <u>DETAIL</u> NUMBER
ASST	-NOICATES NUMBER OF SHEET DESIGNATION
^ <b>©</b> ~	-NOICATES <u>INTERNOR ELEVATION</u> NUMBER
Own Own	-INDICATES NUMBER OF SHEET DESIGNATION
	-NOICATES <u>room rpaces</u> number
	- NDICATES ROOM FINISH MAKEER
	REFER TO DRAWING FOR SCHEDULE OR DETA
Ф	DOORS DENTIFICATION MARKER REFER TO DRAWING ASSISTOR SCHEDULE)
⊗	WINDOWS IDENTIFICATION LETTER REFER TO DRAWING AND FOR SCHEDULE)
҈>—	NOICATES WALL, TYPE NUMBER FOR DETAIL REFER TO DRAWING FOR SCHEDULE OR DETAIL
⊙–	NCICATES DEMOLITION NOTE NUMBER
1	MOICATES <u>EQUIPMENT</u> NAMER
% SLOPE ——W)	NOICATES ROOF OR FLOOR SLOPE
-4	FINISH FLOOR LEVEL CHANGE
¥	FINISH FLOOR LEVEL CHANGE
	FINSHED FLOOR ELEVATION

BUILDING AND ZONING INFORMATION						
Zoning District:	RM-15 (Section 18.36)					
Downtown Revitalization District:	(Section 18.74)					
Core Overlay District:	(Section 18.80)					
Parking:	(Section 18.88)					

# **EXHIBIT B**

P15-0290

CITY OF PLEASANTON PLANNING DIVISION

# DDO IECT DIDECTORY

KOJECI	DIRECTORY	RECIORY				
LAAAP SISLE	ADDRESS	BUONE MODILE	A-101	PROPOSED BL		
IAME TITLE	TITLE ADDRESS PHONE, MOBILE,		A-102	PROPOSED BU		
COMPANY	City, ST Zip	TAA, E MAIL	A-103	EXISTING HO		
OK VENTURES, LLC	4745 Augustine St, Pleasanton, CA 94566	Cell: (415)889-8549	A-201	PROPOSED BU		
		email: alok@soleez.com	A-202	PROPOSED BU		
	/		A-203	EXISTING HO		
ancisco Matos -	1390 Market St., San Francisco, CA94102	Tel: (415) 519-4954	A-501	TYPICAL DETA		

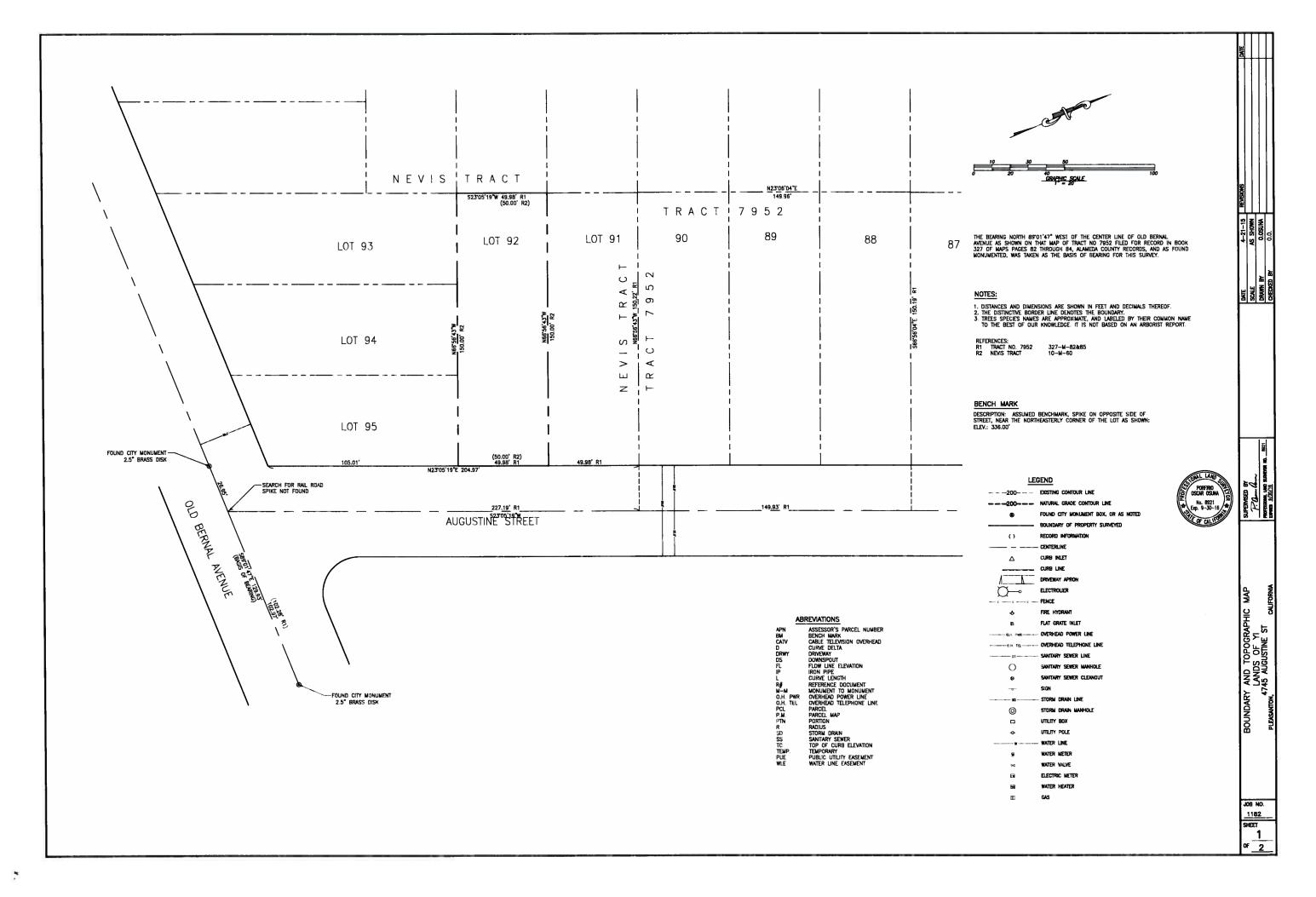
RESIDENTIAL UNITS ADDITION

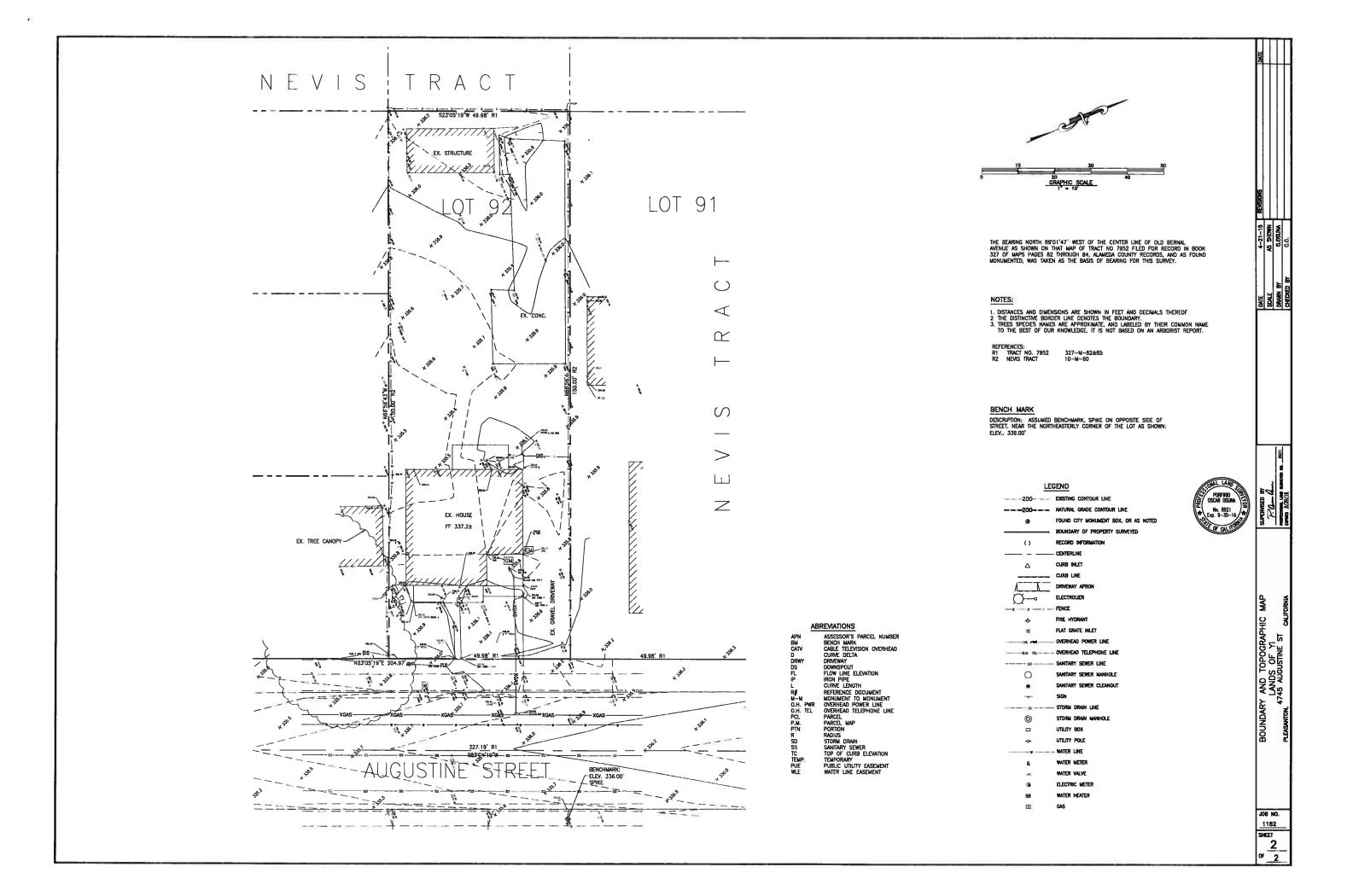
4745 AUGUSTINE STREET, PLEASANTON, CA 94566

## GENERAL DATA

# RECEIVED

JUL 1.5 2015



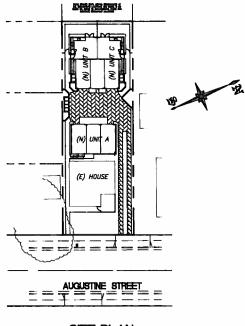


NOTE: THIS DRAWING IS APPROVED SUBJECT TO:

- ALL GRADING IS SUBJECT TO OBSERVATION BY THE CITY. PERMITTEE OR REPRESENTATIVE SHALL NOTIFY THE PLEASANTON DEPARTMENT OF PUBLIC WORKS PROJECT INSPECTOR AT LEAST 48 HOURS BEFORE START OF ANY GRADING.
- APPROVAL OF THIS PLAN APPLIES ONLY TO (A) THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS, (B) THE INSTALLATION OF ON—SITE (I.E. PRIVATE PROPERTY) STORM WATER CONVEYANCE AND TREATMENT FACILITIES THAT ARE OUTSIDE OF THE 5—FOOT BUILDING REVIELOPE, AND (C) THE INSTALLATION OF RETRAINING STRUCTURES. THIS APPROVAL OSE NOT CONSTITUTE APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS WITH THE EXCEPTION OF THOSE LISTED ABOVE, PROPOSED MIPROVEMENTS, WITH THE EXCEPTION OF THOSE LISTED ABOVE ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- UNLESS OTHERWISE NOTED ON THE PLAN, ANY DEPICTION OF A RETAINING STRUCTURE ON THIS PLAN SHALL NOT CONSTITUTE APPROVAL FOR CONSTRUCTION OF THE RETAINING STRUCTURE UNLESS A SEPARATE STRUCTURAL REVIEW, BY THE DEPARTMENT OF PUBLIC WORKS IS COMPLETED AND APPROVED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCT AND UPON COMPLETION OF THE PROJECT. ALL ADACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT—RELATED CONSTRUCTION SHOULD CASE WITHIN A 100—FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5057.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE MARIN COUNTY CORONER IMMEDIATELY.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY ARBORIST.
- FOR NON-RESIDENTIAL PROJECTS, ANY NON-HAZARDOUS EXPORT RESUlting from project related excavation or land clearing shall be 100% reused and recycled per california green building standards code section 5.408.
- ALL GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/OR THE PROJECT SOIL ENGINEER. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER.
- THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING
- 12. PERIMETER BUILDING GRADES SHALL SLOPE AWAY FROM BUILDINGS AT LEAST 5% MINIMUM
- ALL DOWNSPOUTS SHALL HAVE SPLASH BOXES AS SHOWN ON THE GRADING AND DRAINAGE PLAN. DIRECTION OF THE FLOW SHALL BE AWAY FROM THE BUILDING. 14. TREE PROTECTION MEASURES SPECIFIED IN SHEET A1.0 AND T SHEETS SHALL BE FOLLOWED.

# **GRADING AND DRAINAGE PLAN**

# **MULTI-UNIT RESIDENTIAL** 4745 AUGUSTINE ST. PLEASANTON, CALIFORNIA



SITE PLAN SCALE: 1'-30'

**ABBREVATIONS** = CLEANOUT WITH SPLASH BOX = END CURVE ! = ELEVATION = END VERTICAL CURVE = EXISTING = FACE OF CURB = FANSED OF CURB STA = STATION
TC = TOP OF CURB
TG = TOP OF GRATE
TRW = TOP OF GRATE
TW = TOP OF STAR
TW = TOP OF WALL
VCP = VITREFED CLAY PIPE
WY = WATER WETER
WY = WATER WALVE

LEGEND

SOT AND

ORDINA REASE

precion of surface belongs

\_\_\_\_\_

्रायाः च्याप् — • — •

ALOK VENTURES LLC 3230 WESTBRIDGE LN. PLEASANTON, CA 94566

CircenBluEarth CONSULING CONSULING CONTROL CONSULING CONSULING CONSULING CONTROL CONTR

\$3

4745 AUGUSTINE ST. COVER SHEET

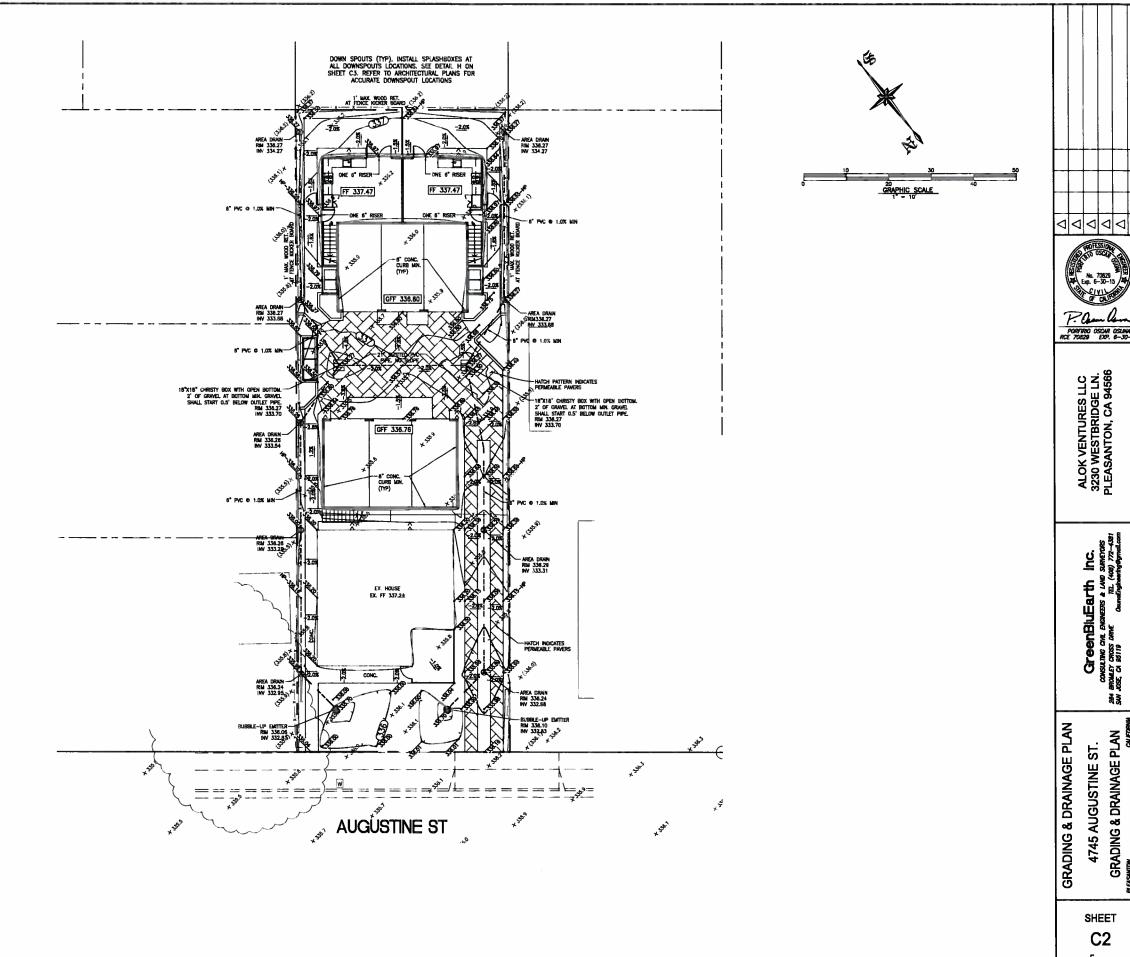
GRADING & DRAINAGE PLAN

SHEET **C1** OF 5 SHEETS

SHEET INDEX

C1 C2 C3

**COVER SHEET GRADING & DRAINAGE PLAN** SECTIONS AND DETAILS **EROSION CONTROL PLAN BLUEPRINT FOR A CLEAN BAY** 

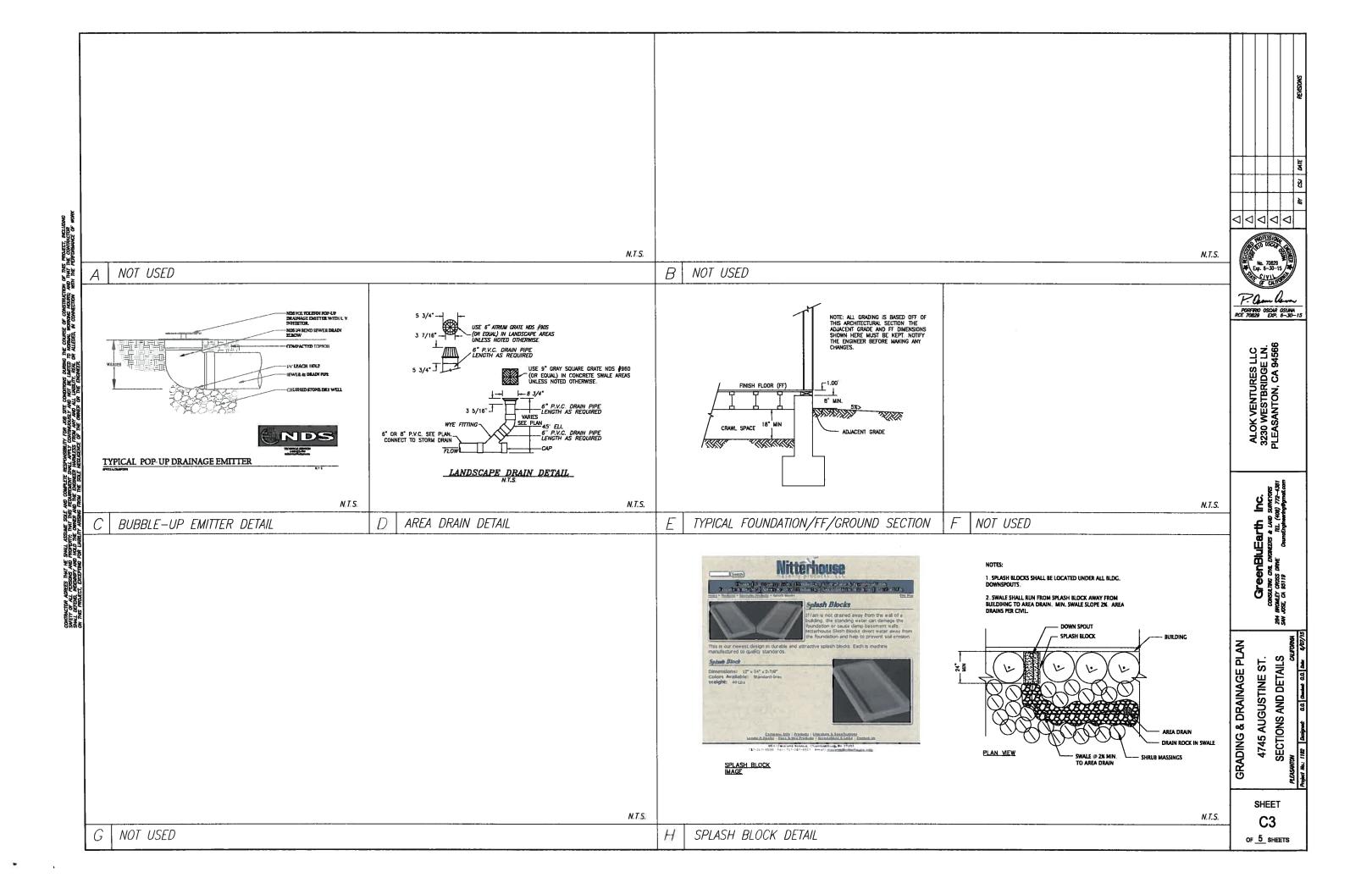


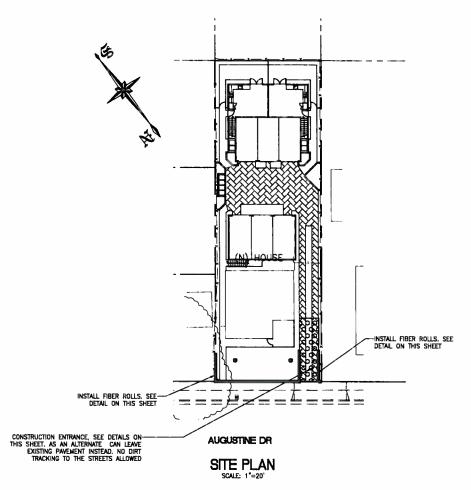
CAMPACTIR ADRESS THAT HE SHALL ASSUME SOLE AND COUNTER RESPONSEBLITY FOR AND SITE CONDITIONS DIRENGE THE CONSTRUCTION OF THIS PROJECT, INCLUDING SHETT OF ALL PERSONS AND PROFESTIVE THAT THE REQUIREMENT SHALL APRIL SCHMUGUS, Y AND NOT BE LIAMED TO NORMEL WORDING AND THAT THE CONTRIGUED ON THAT THE CONTRIGUED ON THAT THE CONTRIGUED ON THE SHALL AND THE SHAREST HANDLESS THAT ANY AND THE SHALL HAVE THE SHALL ASSUMENT OF THE SHALL ASSUMENT OF THE SHALL ASSUMENT OF THE SHALL SHALL

P. Open Com.

PORFIRIO OSCAR OSUNA
RCE 70829 EXP. 6-30-1:

OF 5 SHEETS

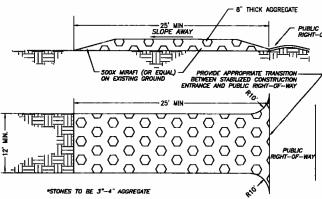




NOTES:

1. PROTECT ALL INLETS IN THE PUBLIC STREETS SURROUNDING THE SITE.

2. ALL ON-SITE LANDSCAPE AREA DRAINS TO BE CAPPED OR PROTECTED DRAINS TO BE CAPPED OR PROTECTED



OWNIEDWICE: SMALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RICHTS-OF-WAY. THIS MAY REQUIRE PERODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPUIR AND/OR CLEWN OUT ANY MEASURES USED TO TRAY PEDIMENT

WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

STABILIZED CONSTRUCTION ENTRANCE N.T.S.

## <u>LEGEND</u>

PROPOSED

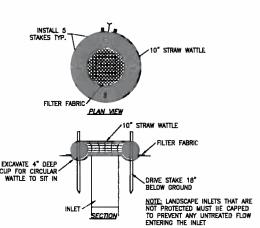
DESCRIPTION SITE BOUNDARY

STABILIZED CONSTRUCTION ENTRANCE 2"-3" ROCK (MIN)

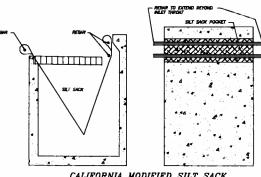
## MAINTENANCE NOTES

MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:

- REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
- 2. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
- SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
- SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF
- SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- 8. RILLS AND CULLIES MUST BE REPARED.



ALTERNATE FIBER ROLL INLET PROTECTION MAY BE USED IN LANDSCAPE AREA DRAINS N.T.S.



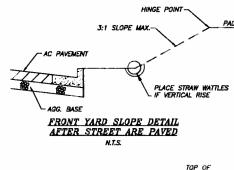
CALIFORNIA MODIFIED SILT SACK REED & GRAHAM, INC. (OR EQUAL) BEFORE & AFTER STREETS ARE PAVED N.T.S.

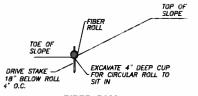
## EROSION & SEDIMENT CONTROL NOTES

- THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
- ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF UNION SANITARY DISTRICT.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- 6. ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
- IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
- during the rainy season, all payed areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drain system.
- CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-4" FRACTURED STONE AGGREGATE UNLAID WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAYED STREETS. THE DEPTH AND LIDARITH OF ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
- 10. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- 11. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTORL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
- 12. NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G. - ALONG
- 13. ALL DISTURBED AREAS INCLUDING FLAT PAGS ARE TO BE TREATED WITH STRAW AND TACKIFIER AT A RATE OF 2 TONS PER ACRE

## SUPPLEMENTAL EROSION & SEDIMENT CONTROL NOTES

- 1. SEE STANDARD EROSION & SEDIMENT CONTROL NOTES ABOVE.
- 2. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH <u>EROSION CONTROL</u> MEASURES IMMEDIATELY FOLLOWING GRADING ON THE
- 3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS, ANY MUD OR DEBRIS
- 5. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEGMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- 6. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.





FIBER ROLL INSTALLATION DETAIL
N.T.S. 00000



P. am lan PORFIRIO OSCAR OSLINA RCE 70829 EXP. 6-30-15

ALOK VENTURES LLC 3230 WESTBRIDGE LN. PLEASANTON, CA 94566

Inc. survenors (08) 772-4: BluEarth GreenE CONSULTING CINE I BROWLEY CHOSS DRIV JOSE, CH 85119

£ă

PLAN **EROSION CONTROL PLAN** ST DRAINAGE 4745 AUGUSTINE ∞ఠ GRADING

SHEET

C4 OF 5 SHEETS

Place hay bales or other erosion control down-slope to capture runoff carrying mortar or cement before it reaches the storm drain.

When breaking up paving, be sure to pick up all the pieces and dispose properly

Dispose of small amounts of

Never hery waste material.

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic

environment. Disposing of these materials to the strom drains or

STORM DRAIN POLLUTION FROM

morter in the trash.

AND PAVING

## ENERAL BUSINESS PRACTICES

Both at your yard and the dry and wet materials under cover, protected from rainfall and runoff.

Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and trenoff

in designated wash-out areas in your yard, where the water will flow into yard, where the water will low in containment ponds or outo dirt. Whenever possible, recycle wash by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

## URING CONSTRUCTION

Don't mix up more fresh concrete or cement than you will use in a day.

Set up and operate small mixer

## GENERAL BUSINESS PRACTICES

Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.

Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.

Use temporary check dams or ditches to divert runoff away from

## LANDSCAPING, GARDENING, AND POOL MAINTENANCE

BEST MANAGEMENT PRACTICES FOR THE Landscapers

Gardeners

 Swimming pool/spa service and repair workers General contractors

Home builders

Revegetation is an excellent

When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscrud erre

Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout

Do not use copper-based algaccides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.

## POOL/FOUNTAIN/SPA MAINTENANCE LANDSCAPING/GARDEN MAINTENANCE

Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.

Dispose of unused pesticide as hazardous waste

Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and

In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.

. Do not place yard waste in

Do not blow or rake leaves, etc. into the street.

STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE

Many landscaping activities decompor soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during

SITE PLANNING AND PREVENTIVE VEHICLE

Designate one area of the construction site, well away from streams or storm drain inlets, for auto and emission at tarthing

## HEAVY EQUIPMENT OPERATION

## BEST MANAGEMENT PRACTICES FOR THE

- Vehicle and equipment operators

Maintain all vehicles and heavy equipment. Inspect frequently for leaks.

Perform major maintenance repair jobs, vehicle and equipment washing off site.

If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all speat fluids, store in separate containers, and recycle whenever possible.

Clean up spills immediately when they happen.

# Never hose down dirty Never hose down durly pavement or impermeable surfaces where fluids have spilled. Use dry cleanup method (absorbent materials, ett litter, and/or rags) whenever possible. If you must use water, use just enough to keep the dust down.

Sweep up spilled dry materials immediately. Never attempt to wash them sway with water or bury them. Use as little water as possible for

Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.

Report significant spills to the appropriate spill response

## STORM DRAIN POLLUTION FROM HEAVY

Poorly maintained vehicles and heavy equipment leaking fuel, oil, antificeze or other fluids on the construction tile are common sources of storm water pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

## PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES

## BEST MANAGEMENT

PRACTICES FOR THE:

Keep all liquid paint products and wastes away from the guiter, street, and storm drains. Liquid residues from paints, thinners, solvents, gines and cleaning fluids are hazardous wastes. When they are the particular and th thoroughly dry, empty paint cans, spent brushes, rags, and drop cloths

## PAINT REMOVAL

Chemical paint stripping residue is a hazardous waste.

Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and dimensal as break

When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop or vacum) building cleaning water and dispose to the sanitary sewer.

## PAINTING CLEANUP

Never clean brushes or ruse paint containers into a street, gutter, storm drain, or stream

For water based paints, paint out brushes to the extent possible

For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

## WHAT CAN YOU DO?

Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as

## STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES

All paints, solvents, and adheaves contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean trushes in an area where paint residue can flow to a gutter, street, or storm drain.

# 00000 No 70029 Exp. 6-30-15

8

# Blueprint for a Clean Bay BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

ALAMEDA COUNTY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

## **EARTH MOVING ACTIVITIES**

## BEST MANAGEMENT PRACTICES FOR THE:

- Bulldozers, backboe, and grading machine operato
   Dump truck drivers
   Site supervisors
   General contractors
- Home builders

## DURING CONSTRUCTION

- Remove existing vegetation only when absolutely necessary
- Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.

- Schedule excavation and grading work for dry weather.
- Do not use diesel oil to

When refueling or

## DETECTING CONTAMINATED SOIL OR

As you know, contamins As you know, contaminated groundwater is a common problem in Alameda County. It is essential that all confractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Bluerwist for a Clean Ray. groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Alameda County Nonpoint Source Pollution Control Program, for

## STORM DRAIN POLLUTION FROM EARTH-

runoff, and increased flow velocity Some of the most effective erosion

- FOR THE:

  Road Crews

  Drivewsy/sidewalk/
  construction crews

  Seal cost contractor

- WATCH FOR ANY OF THESE CONDITIONS:
- Unusual soil conditions, discoloration, or odor Abandoned underground tanks Abandoned wells

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil crodes due to a combination of

## BEST MANAGEMENT PRACTICES

# Develop and implement Develop and implement Develop and implement control plans for

- Check for and repair leaking
- When refueling or

- Perform major equipment repairs m designated areas at your yard, away from the construction site

Do not use diesel oil to

Recycle used oil, concrete, broken asphalt, etc. whenever

vehicle/equipment maintenance must be done on site, designate a location away from storm drains and

- Operators of: grading equipment paving machines dump trucks construction inspect General contractors Developers

## WHAT CAN YOU DO?

## GENERAL BUSINESS PRACTICES

- Schedule excavation and grading work for dry weather

- - - Use check dams, ditches, or berms to divert runoff around excavations.
    - Cover stockpiles (asphalt, sand, etc.) and other materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms
    - Catch drips from paver with drip pans or absorbent material (cloth, raga, etc.) placed under machine when not in use.
    - Collect and recycle or appropriately dispose of excess abrasive gravel or sand.

Avoid over application by water trucks for dust control.

## ASPHALT/CONCRETE REMOVAL

- After breaking old pavement, be sure to remove all chunks and
- Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary.

Never hose down streets to clean up tracked dirt.

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut alurry, or excavated material. Extra planning is required to store and dispose of materials moments and useral against

## GENERAL CONSTRUCTION AND SITE SUPERVISION

WHAT CAN YOU DO?

- Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwate or leave residue on paved surfaces. Never hose down "dirty"
- Cover and maintain dumpsters.
  Check frequently for leaks. Place
  dumpsters under roofs or cover with
  tarps or plastic sheeting secured
  around the outside of the dumpster.

## BEST MANAGEMENT PRACTICES FOR THE:

- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make maker versits of file.
- Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs Before it rains, sweep and remove materials from surfaces that drain
- Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter.
- have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to

Make sure portable toilets are

## MATERIALS/WASTE/HANDLING

Practice Source Reduction-minimize waste when you order materials. Order only the amount you need to finish the job.

Use recyclable materials

Dispose of all wastes properly.

Many construction materials and
wastes, including solvents, waterbased paints, vehicle fluids, bruken
asphalt and concrete, wood, and
cleared vegetation can be recycled.
(See the references list of
recyclers at the back of Bhosprint
for a Clean Bay). Materials that
cannot be recycled must be taken it
an appropriate landfill or disposed

# STORM DRAIN POLLUTION FROM

an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the

street or near a creek or stream

Construction sites are common Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street have a direct impact on local creeks and the Bay As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontract or employees.

## BEST MANAGEMENT PRACTICES FOR STORM

In Alameda County, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife lependent on our waterways and for the people who live near polluted streams or baylands. Some commo sources of this pollution include

sources of this polithion include spilled oil, fuel, and fluids from vehicle and heavy equipment; construction debris; landscaping rumoff containing pesticides or weed killers; and materials such as used motor oil, artifreeze, and pamat products that people pour or spill into a street or storm drain. Thirteen valley cities have joined together with Alameda County to educate local residents and businesses and fight storm drain pollution.

Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental

Spill Response Agencies: Dial 911 for Hazardous Materials Spills Union Sanitary District (510) 477-7500

Alameda Countywide Clean Water Program (510) 670-5543

Call Environmental Services at (510) 494-4570 befor lewatering and/or pumping into storm drain systems. Call Union Sanitary District at (510) 477-7500 before

For more information on the Stormwater a 

ALOK VENTURES LLC 3230 WESTBRIDGE LN. PLEASANTON, CA 94566

eenBluEarth

RESIDENTIAL DRAINAGE GRADING

⋖ MULTI-UNIT BLUEPRINT

BAY

CLEAN

SHEET **C5** 

OF 5 SHEETS

GENERAL BUSINESS PRACTICES

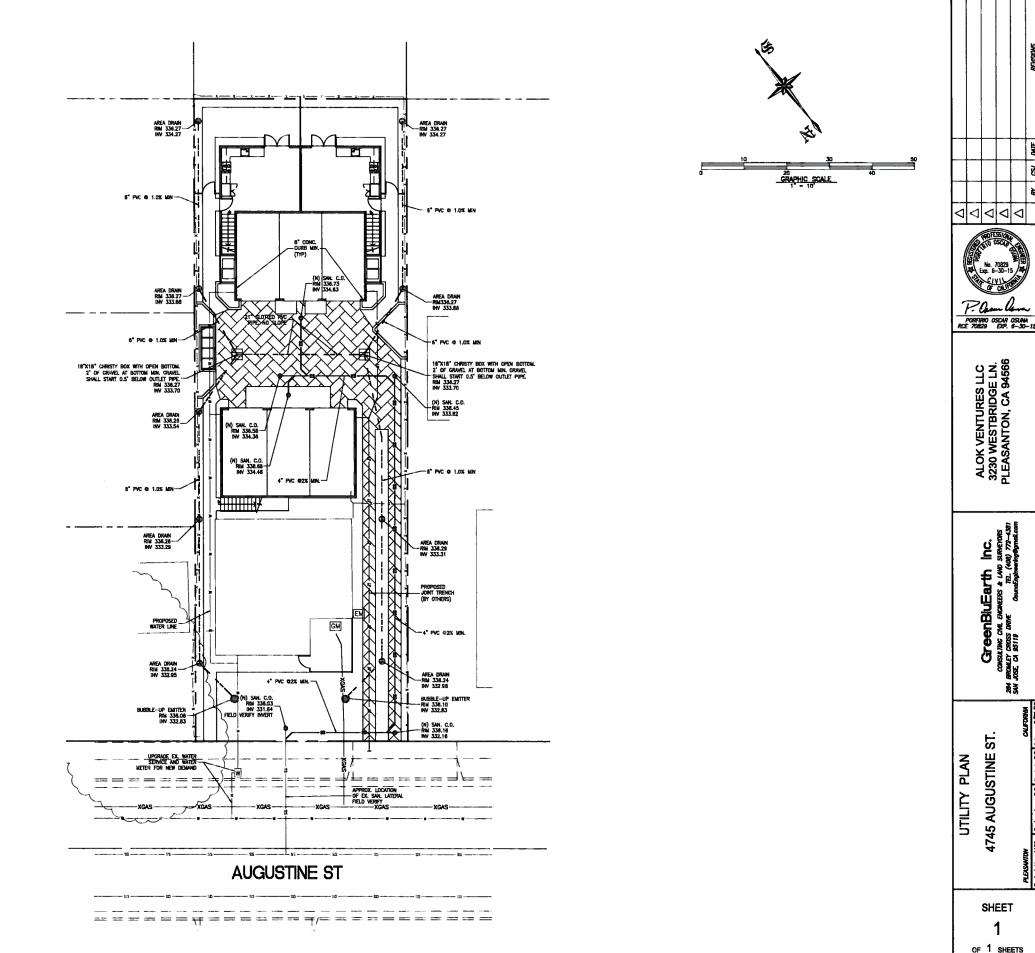
vehicle/equipment maintenance i be done on site, designate a location away from storm drains

MOVING ACTIVITIES

## ROADWORK AND PAVING

- DURING CONSTRUCTION Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement
- Cover and seal catch basins and manholes when applying seal coat, shury seal, fog seal, etc.
- Never weah excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.
- Clean up all spills and leaks using "dry" methods (with aba materials and/or rags), or dig up and remove contaminated soil.

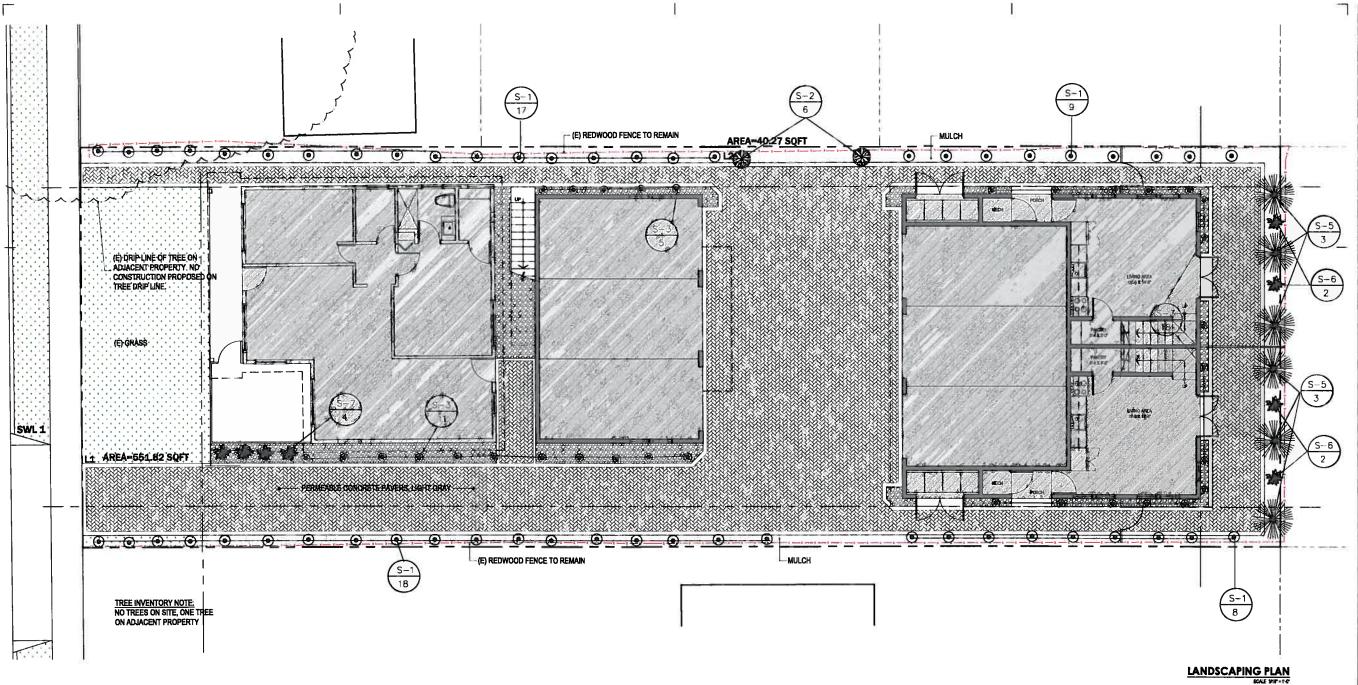
# STORM DRAIN POLLUTION FROM



COMTINCTOR AGRESS THAT HE SHALL ASSURE SOLE AND COURTE RESPONSERLY FOR USE SOMETHY OF THE PROJECT, MICLIDANG SHETT OF ALL PRESONS AND PROPERTY, THAT THE EQUIPOLISM AND THAT THE CONTINUENCE OF THE PROJECT, MICLIDANG ALL PRESONS AND PROPERTY AND THE PRINCESS THAT AND AND THAT THE CONTINUENCE OF MICH. ON ALLERS, IN CONNECTION WITH THE PREPARABLE OF THE WARREST, OF THE PROPERTY.

\*\*

OF 1 SHEETS



## LEGEND:

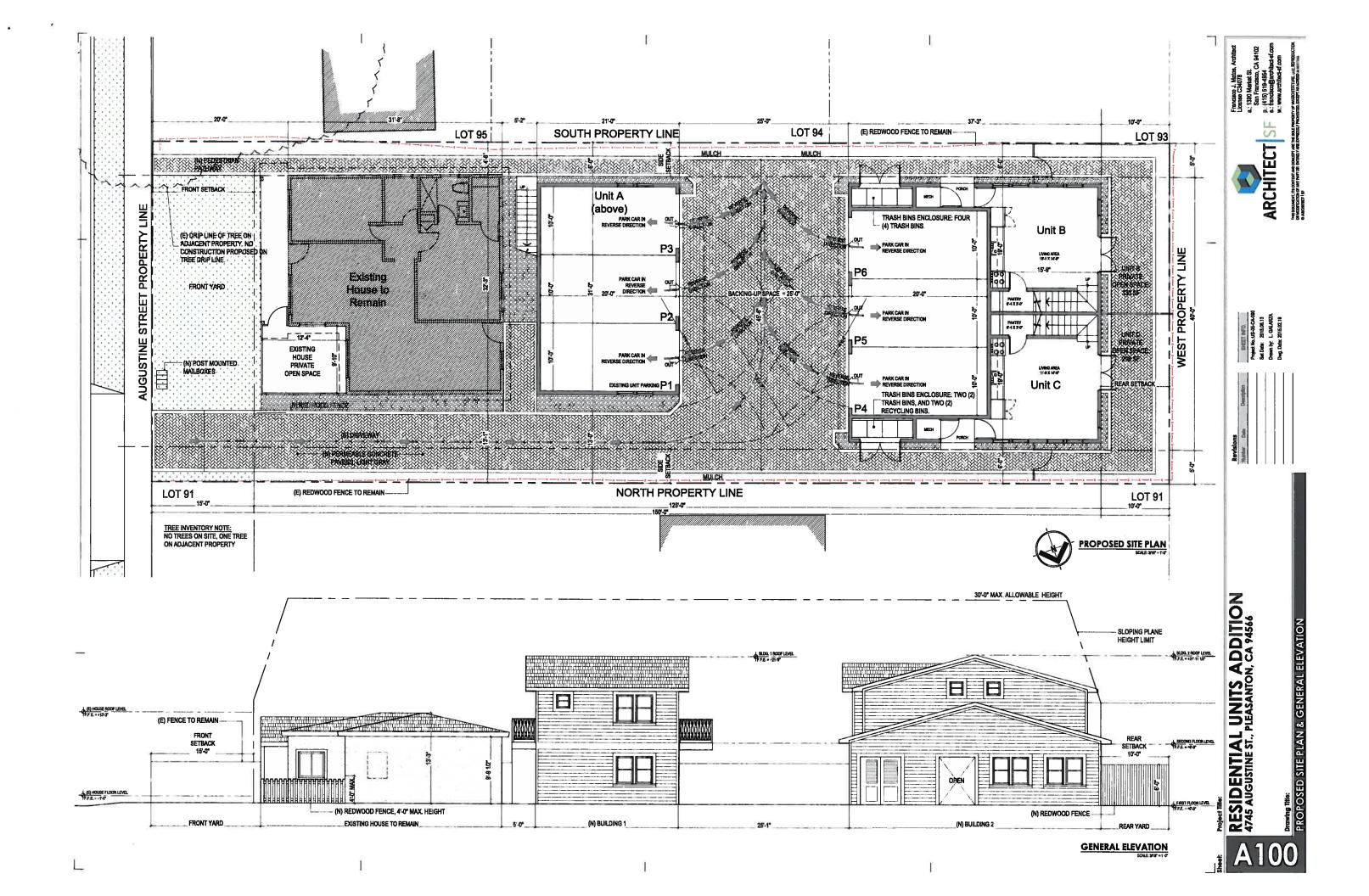
SYMBOL	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
S-1	50	5 GAL	EQUISETUM HYEMALE	HORSETAL REED
S-2	10	5 GAL	PHORMIUM "PLATT'S BLACK"	DWARF RED FLAX
S-3	34	5 GAL	CLIVIA MINATA	KAFFIR LILY
S-4	3	5 GAL	COLEONEMA "SUNSET GOLD"	BREATH OF HEAVEN
S- 5	6	5 GAL	DIFTES BI COLOR	PEALOCK IRIS
S-6	4	5 GAL	LANTANA MONTEVIDENSIS	LAVENDER LANTANA
5-7	4	5 GAL	ANIGOZANTHOS "PINK JOEY"	KANGAROO PAW

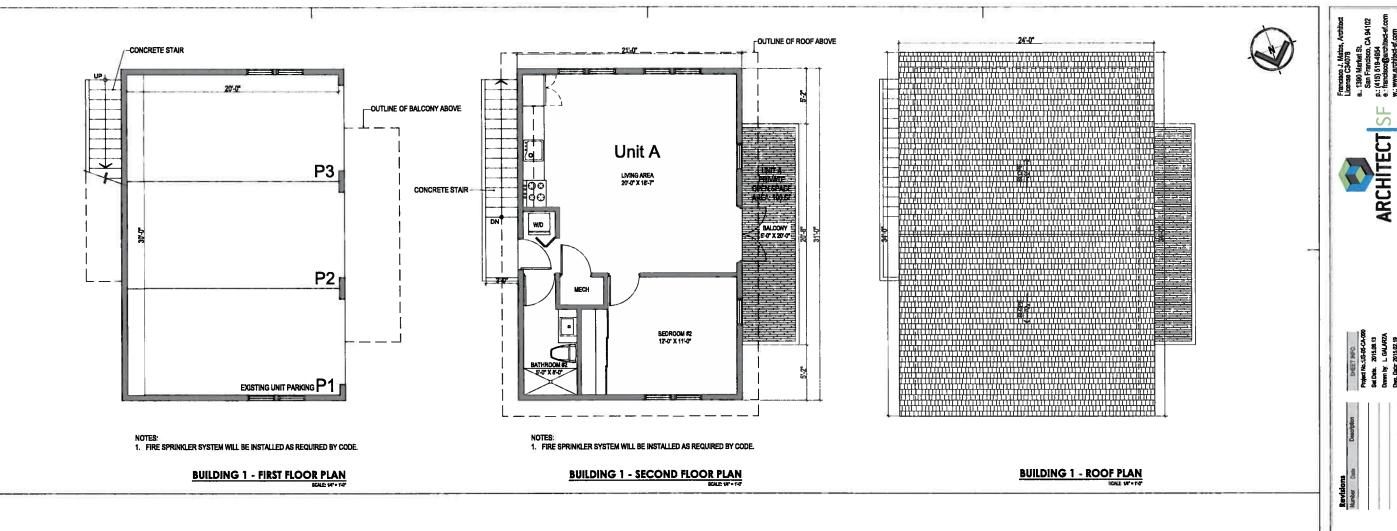
SALE SIP-IT

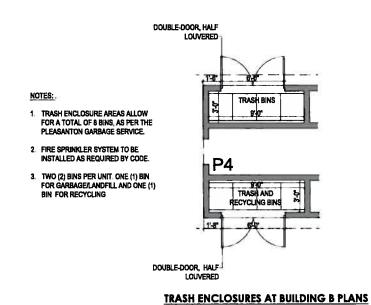
RESIDENTIAL UNITS ADDITION
4745 AUGUSTINE ST., PLEASANTON, CA 94566

SF

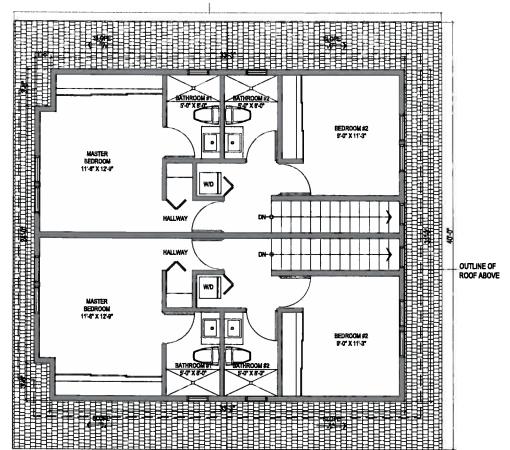
ARCHITECT

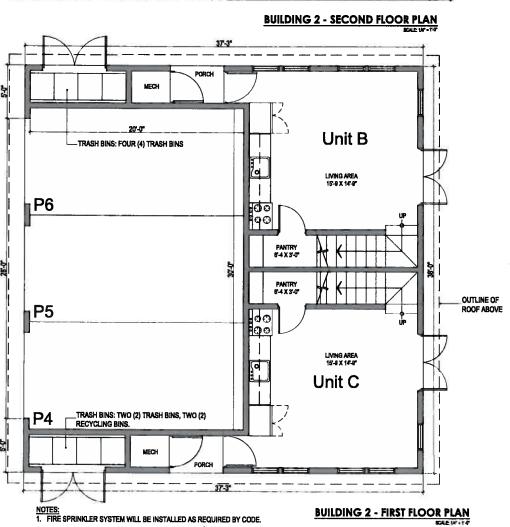


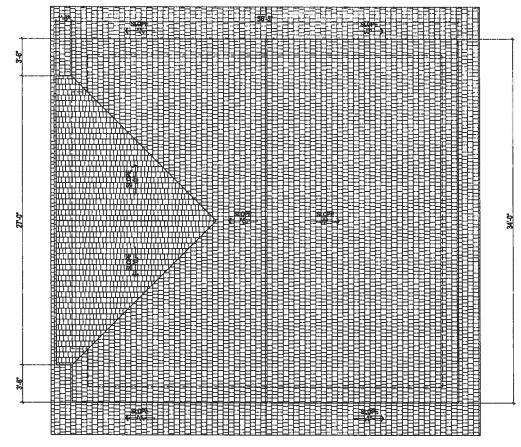




RESIDENTIAL UNITS ADDITION 4745 AUGUSTINE ST., PLEASANTON, CA 94566









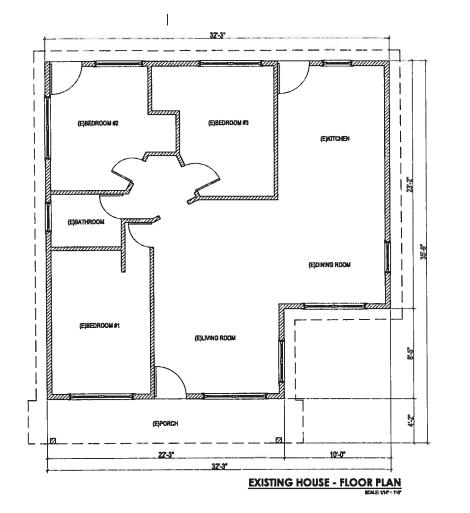


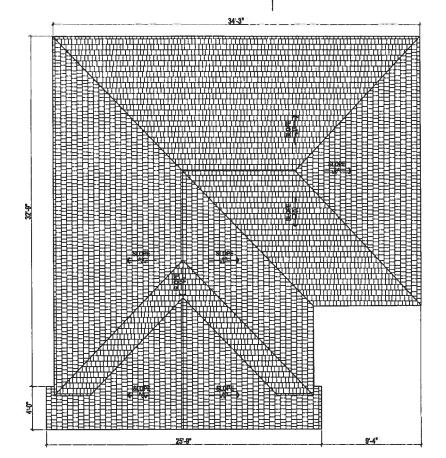




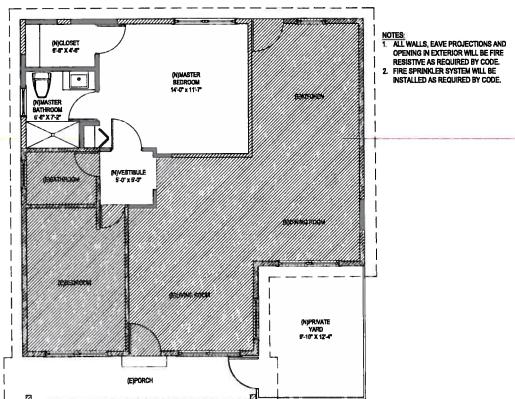


RESIDENTIAL UNITS ADDITION 4745 AUGUSTINE ST., PLEASANTON, CA 94566





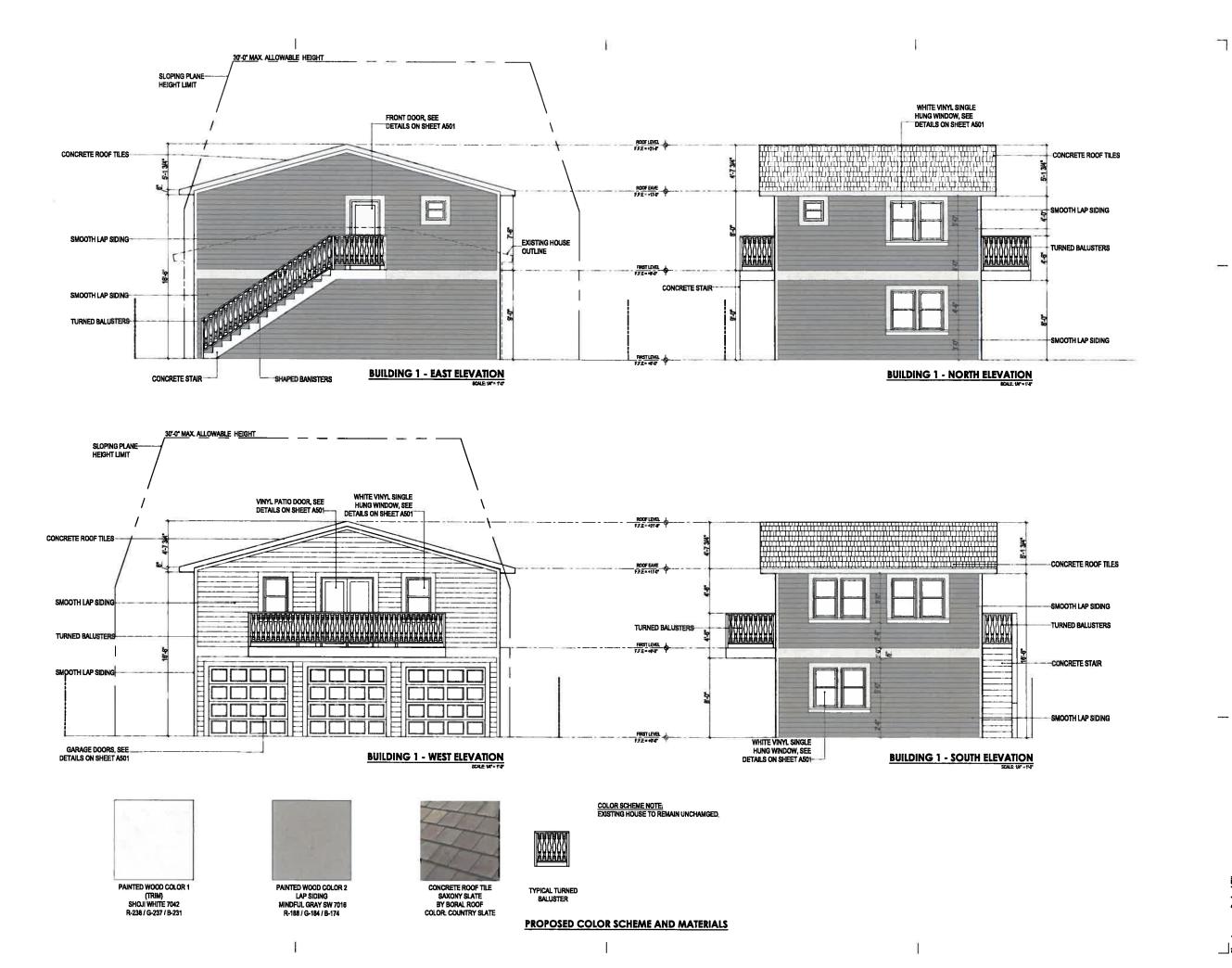
EXISTING HOUSE - ROOF PLAN



EXISTING HOUSE - PROPOSED FLOOR PLAN

Drawing Tille:
EXISTING HOUSE PLANS - EXISTING AND PROPOSED RESIDENTIAL UNITS ADDITION 4745 AUGUSTINE ST., PLEASANTON, CA 94566

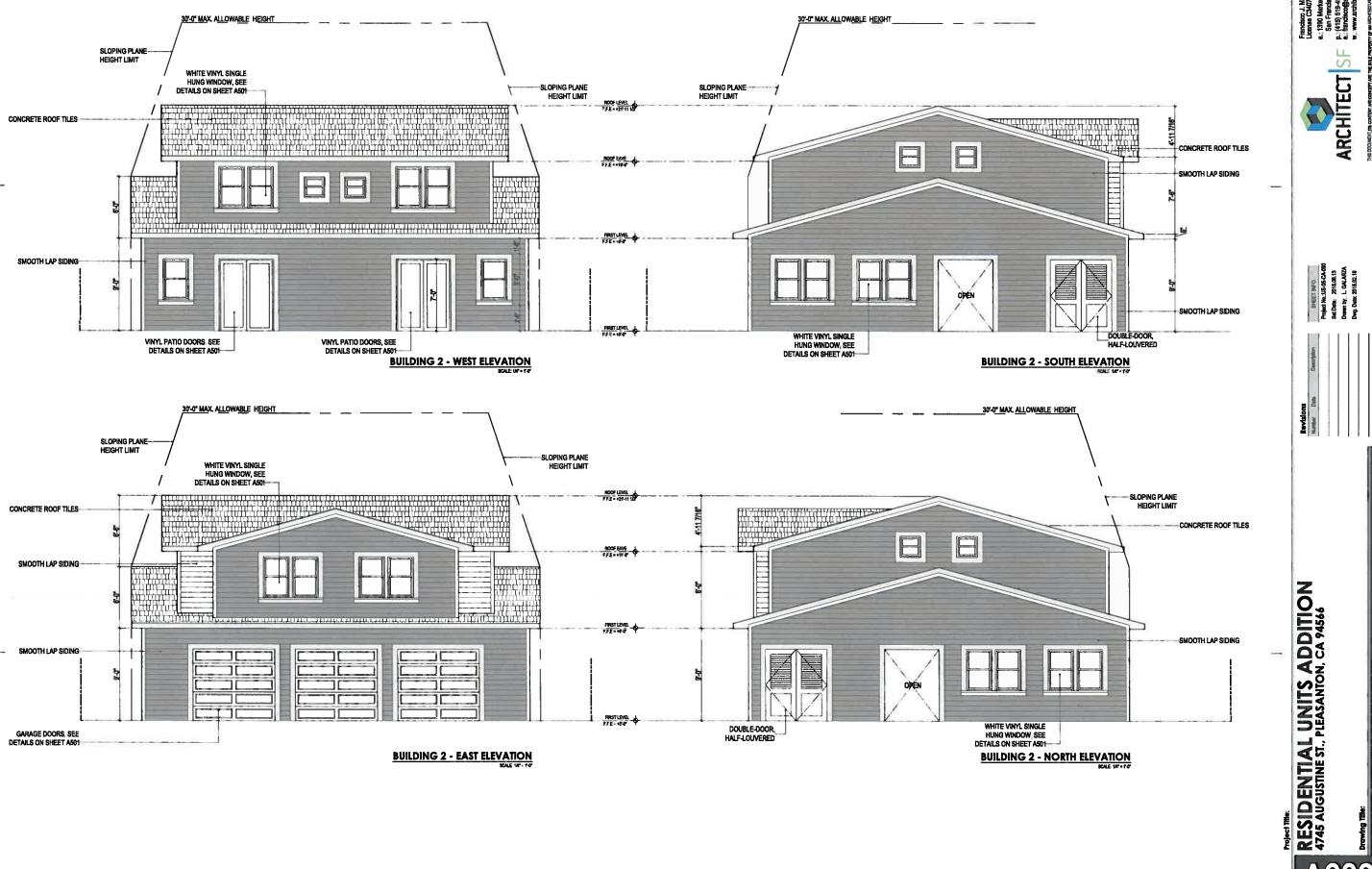
S



RESIDENTIAL UNITS ADDITION 4745 AUGUSTINE ST., PLEASANTON, CA 94566

5

ARCHITECT



ARCHITECT SF P. W.:

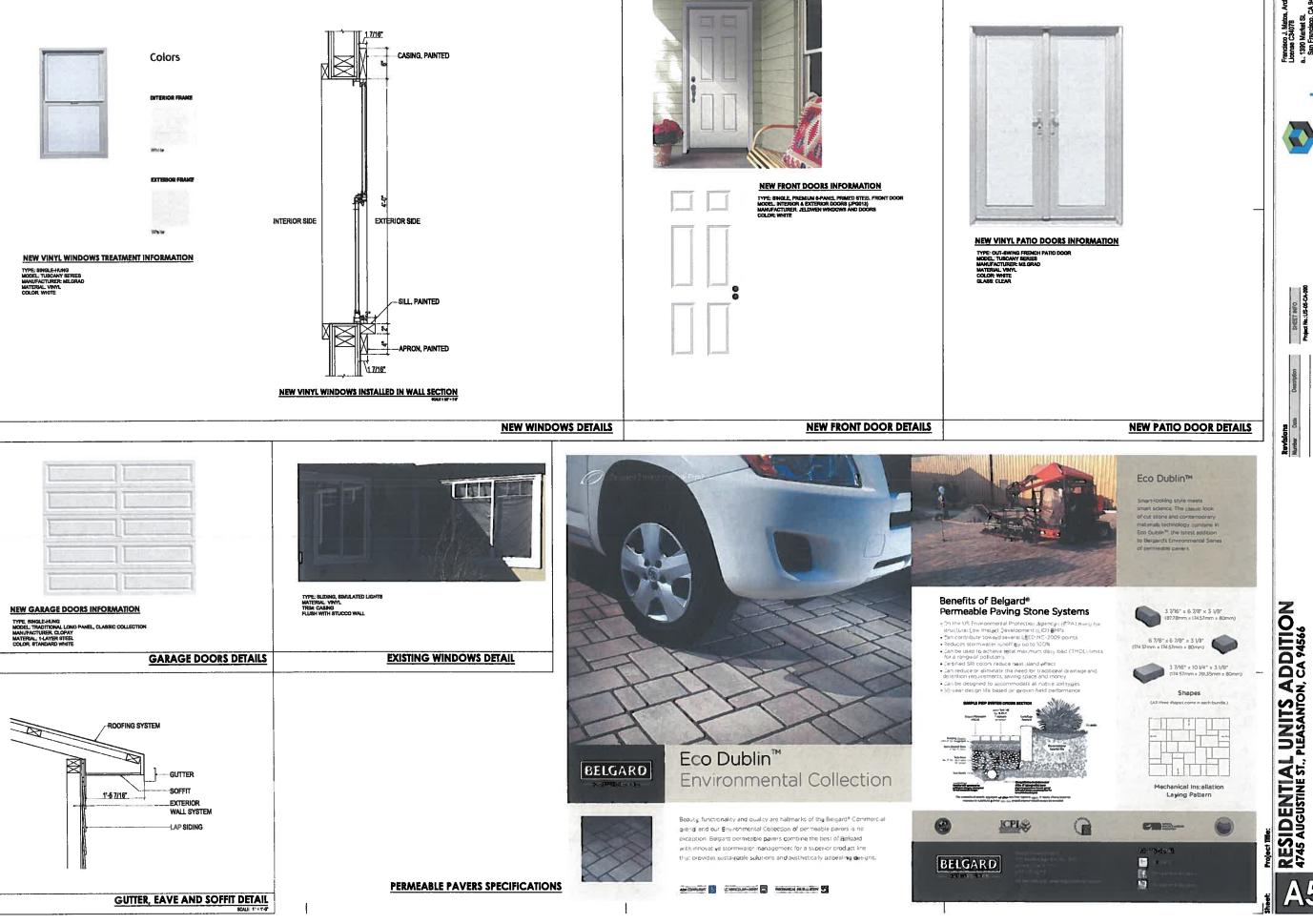
"A ANDORRO!! IN TOURISH MATERIAL VALUE DIVISION OF ANDORRO!! W. M.:

"A ANDORRO!! IN THE DIVISION OF ANDORRO!"

Number Deb Description SHEET BIFO,
Project No.115-05-05
Set Deb 2015-05
Set Deb 2015-05
Onew Dr L. CALJ.
Dep. Desc. 2015-05

RESIDENTIAL UNITS ADDITION
4745 AUGUSTINE ST., PLEASANTON, CA 94566

A203





ARCHITECT



## **NEW HOME RATING SYSTEM, VERSION 6.0**

## MULTIFAMILY CHECKLIST

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California. The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Commuity (2) Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (8); and meet the prerequisites CALGreen Mandatory, E5.2., H6.1, J5.1, O1, O7.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated Build It Green is not a code enforcement agency.

Total Points Targeted: Certified Certfication Level:

**POINTS REQUIRED** 

■Minimum Points Targeted Points

		2			6	6	6	
New Home Multifamily	Version 6.0.2		_					
			₹.		_	s s		
Project Nam	ne	Points Achieved	Community	_ ≥	AQ/Health	Resources	١.	
		chie chie	Ę	Energy	Ę	1086	Water	
	and the second s	Ž Ž	ŭ	ū	⊴	ř	>	-
	Measures			Po	ssible F	oints		Notes
CALGreen	CALCOUR Des (DECUMPED)						1 1	
TBD A. SITE	CALGreen Res (REQUIRED)			1	1	1	1	
TBD	A1. Construction Footprint					1		
TBD	A2. Job Site Construction Waste Diversion  A2.1 65% C&D Waste Diversion (Including Alternative Daily Cover)			1	1	2	1	
TBD	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)					2		
TBD TBD	A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility			-		1		
TBD	A3. Recycled Content Base Material A4. Heat Island Effect Reduction (Non-Roof)			1		+ '-		
TBD	A5. Construction Environmental Quality Management Plan Including Flush-Out				1			
TBD	A6. Stormwater Control: Prescriptive Path A6.1 Permeable Paving Material			_			1	
TBD	A6.2 Filtration and/or Bio-Retention Features						1	
TBD TBD	A6.3 Non-Leaching Roofing Materials A6.4 Smart Stormwater Street Design						1	
TBD	A5.4 Smart Stormwater Street Design A7. Stormwater Control: Performance Path		1	_	+	+	3	<del> </del>
B. FOUNDATION								
TBD TBD	B1. Fly Ash and/or Slag in Concrete B2. Radon-Resistant Construction				2	1		
Yes	B3. Foundation Drainage System	2				2		
TBD	B4. Moisture Controlled Crawlspace				1			
TBD	B5. Structural Pest Controls  B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections			т .	1	1	Т	
TBD	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation					1		
C. LANDSCAPE	Enter the landscape area percentage							
TBD	C1. Plants Grouped by Water Needs (Hydrozoning)				_	Т	1	
Yes	C2. Three Inches of Mulch in Planting Beds	1					1	
TBD	C3. Resource Efficient Landscapes  C3.1 No Invasive Species Listed by Cal-IPC			Т	1	1	Т	
Yes	C3.2 Plants Chosen and Located to Grow to Natural Size	1				1		
Yes	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	1					3	
	C4. Minimal Turf in Landscape						3	
Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in							
TBD	Areas Less Than Eight Feet Wide C4.2 Turf on a Small Percentage of Landscaped Area	0		-			2	
TBD	C5. Trees to Moderate Building Temperature		1	1			1	
TBD TBD	C6. High-Efficiency Irrigation System C7. One Inch of Compost in the Top Six to Twelve Inches of Soil						2	
TBD	C8. Rainwater Harvesting System						2	
TBD	C9. Recycled Wastewater Irrigation System						1	
TBD TBD	C10. Submeter or Dedicated Meter for Landscape Irrigation C11. Landscape Meets Water Budget						2	
100	C12. Environmentally Preferable Materials for Site							
TBD	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing					4		
TBD	C12.2 Play Structures and Surfaces Have an Average Recycled Content ≥20%					1		
TBD	C13. Reduced Light Pollution		1					
TBD TBD	C14. Large Stature Tree(s) C15. Third Party Landscape Program Certification		1		+		1	+
TBD	C16. Maintenance Contract with Certified Professional						1	
TBD D. STRUCTURAL FRAME A	C17. Community Garden AND BUILDING ENVELOPE		2					
	D1. Optimal Value Engineering							
TBD TBD	D1.1 Joists, Rafters, and Studs at 24 Inches on Center D1.2 Non-Load Bearing Door and Window Headers Sized for Load			1		2		
TBD	D1.2 Non-Load Bearing Door and Window Headers Sized for Load D1.3 Advanced Framing Measures			_	+	1 2		<del> </del>
TBD	D2. Construction Material Efficiencies					1		
TBD	D3. Engineered Lumber  D3.1 Engineered Beams and Headers			1	T	1 1	Т	
Yes	D3.2 Wood I-Joists or Web Trusses for Floors	1				1		
TBD TBD	D3.3 Enginered Lumber for Roof Rafters D3.4 Engineered or Finger-Jointed Studs for Vertical Applications					1		
TBD	D3.5 OSB for Subfloor			_	+	0.5	+	
TBD	D3.6 OSB for Wall and Roof Sheathing					0.5		
TBD	D4. Insulated Headers D5. FSC-Certified Wood			1				
TBD	D5.1 Dimensional Lumber, Studs, and Timber			L		6		
TBD	D5.2 Panel Products					3		
TBD	D6. Solid Wall Systems D6.1 At Least 90% of Floors			Т	1	1 1	T	
TBD	D6.2 At Least 90% of Exterior Walls			1		1		
TBD TBD	D6.3 At Least 90% of Roofs D7. Energy Heels on Roof Trusses			1	1	1		
TBD	D8. Overhangs and Gutters			1	+	1	+	
	D9. Reduced Pollution Entering the Home from the Garage							

			₽		_	s s		
<b>Project Nai</b>	me	Points Achieved	Community	_ ≥	AQ/Health	Resources		
		chie	E	Energy	À	esor	Water	
	D10. Structural Pest and Rot Controls		S	ш	3		<	
No	D10.1 All Wood Located At Least 12 Inches Above the Soil D10.2 Wood Framing Treating With Borates or Factory-Impregnated, or Wall	0				1		
TBD	Materials Other Than Wood					1		
Yes	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)	2			1	1		
E. EXTERIOR		2			1	1		
TBD TBD	E1. Environmentally Preferable Decking E2. Flashing Installation Third-Party Verified					1 2		
TBD	E3. Rain Screen Wall System					2		
TBD	E4. Durable and Non-Combustible Cladding Materials E5. Durable Roofing Materials					1		
Yes	E5.1 Durable and Fire Resistant Roofing Materials or Assembly	1				1		
Yes TBD	E5.2 Roofing Warranty for Shingle Roofing  E6. Vegetated Roof	Y	2 2	R 2	R	R	R	+
F. INSULATION	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content							
TBD	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content  F1.1 Walls and Floors					1		+
TBD	F1.2 Ceilings					1		
Yes	F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions F2.1 Walls and Floors	1			1			
Yes	F2.2 Ceilings	1			1			
TBD	F3. Insulation That Does Not Contain Fire Retardants F3.1 Cavity Walls and Floors				1			<del>                                     </del>
TBD	F3.2 Ceilings				1			
TBD G. PLUMBING	F3.3 Interior and Exterior Insulation				1			
	G1. Efficient Distribution of Domestic Hot Water G1.1 Insulated Hot Water Pipes	1		-				
Yes TBD	G1.2 WaterSense Volume Limit for Hot Water Distribution	1		1			1	+
TBD	G1.3 Increased Efficiency in Hot Water Distribution G2. Install Water-Efficient Fixtures						2	
TBD	G2.1 WaterSense Showerheads with Matching Compensation Valve						2	<del>                                     </del>
Yes	G2.2 WaterSense Bathroom Faucets	1					1	
TBD	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams						1	
TBD	G2.4 Urinals with Flush Rate of ≤ 0.1 Gallons/Flush G3. Pre-Plumbing for Graywater System						1	
TBD TBD	G4. Operational Graywater System						3	+
Yes	G5. Submeter Water for Tenants ON, AND AIR CONDITIONING	2					2	
	H1. Sealed Combustion Units							
Yes Yes	H1.1 Sealed Combustion Furnace H1.2 Sealed Combustion Water Heater	1 2			1 2			
TBD	H2. High Performing Zoned Hydronic Radiant Heating System			1	1			
Yes	H3. Effective Ductwork H3.1 Duct Mastic on Duct Joints and Seams	1		1				
TBD	H3.2 Pressure Balance the Ductwork System			1				
TBD	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified H5. Advanced Practices for Cooling				1			
TBD	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms			1				
TBD	H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room in 80% of Units			1				
	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality							
Yes TBD	H6.1 Meet ASHRAE Standard 62.2-2010 Ventilation Residential Standards H6.2 Advanced Ventilation Standards	Y	R	R	R 1	R	R	
TBD	H6.3 Outdoor Air Ducted to Bedroom and Living Areas				2			
TBD	H7. Effective Range Design and Installation H7.1 Effective Range Hood Ducting and Design				1			<del>                                     </del>
TBD  I. RENEWABLE ENERGY	H7.2 Automatic Range Hood Control				1			
Yes	I1. Pre-Plumbing for Solar Water Heating	1		1				
Yes	I2. Preparation for Future Photovoltaic Installation I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)	1		1 25				
	I4. Net Zero Energy Home							
TBD TBD	I4.1 Near Zero Energy Home I4.2 Net Zero Electric			2				
TBD	I5. Solar Hot Water Systems to Preheat Domestic Hot Water			4				
TBD J. BUILDING PERFORM	I6. Photovoltaic System for Multifamily Projects			12				
TBD	J1. Third-Party Verification of Quality of Insulation Installation				1			
TBD TBD	J2. Supply and Return Air Flow Testing  J3. Mechanical Ventilation Testing and Low Leakage			1	1			
TBD	J4. Combustion Appliance Safety Testing				1			
2008 20.0%	J5. Building Performance Exceeds Title 24 Part 6  J5.1 Home Outperforms Title 24	35		30				<del></del>
0.0%	J5.2 Non-Residential Spaces Outperform Title 24	0		15				
TBD TBD	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst  J7. Participation in Utility Program with Third-Party Plan Review			1				
TBD	J8. ENERGY STAR for Homes			1				
No K. FINISHES	J9. EPA Indoor airPlus Certification				1			
	K1. Entryways Designed to Reduce Tracked-In Contaminants							
TBD TBD	K1.1 Entryways to Individual Units K1.2 Entryways to Buildiings				1			+
TBD	K2. Zero-VOC Interior Wall and Ceiling Paints				2			
TBD	K3. Low-VOC Caulks and Adhesives K4. Environmentally Preferable Materials for Interior Finish				1			+
TBD	K4.1 Cabinets					2		
TBD TBD	K4.2 Interior Trim K4.3 Shelving					2		<del>                                     </del>
TBD	K4.4 Doors					2		
TBD	K4.5 Countertops K5. Formaldehyde Emissions in Interior Finish Exceed CARB				l	1		<del>                                     </del>
	K5.1 Doors				1 2			
TBD						1		
TBD TBD	K5.2 Cabinets and Countertops K5.3 Interior Trim and Shelving				2			
TBD TBD TBD	K5.3 Interior Trim and Shelving K6. Products That Comply With the Health Product Declaration Open Standard				2			
TBD TBD	K5.3 Interior Trim and Shelving				2			

		-	jį.		€	s 8		
Project Nan	1 <del>e</del>	Points Achieved	Community	Energy	AQ/Health	Resources	- e	
		Ach Po	S	Ene	ĕ	Res	Water	
FLOORING TBD	L1. Environmentally Preferable Flooring					3		
TBD	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential				3			
TBD TBD	L3. Durable Flooring L4. Thermal Mass Flooring			1		1		
I. APPLIANCES AND LIG	HTING			-				
Yes	M1. ENERGY STAR® Dishwasher	1					1	
TBD TBD	M2. CEE-Rated Clothes Washer M3. Size-Efficient ENERGY STAR Refrigerator			2			2	
	M4. Permanent Centers for Waste Reduction Strategies							
TBD TBD	M4.1 Built-In Recycling Center M4.2 Built-In Composting Center					1		
	M5. Lighting Efficiency							
TBD	M5.1 High-Efficacy Lighting M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed			2				
TBD	by Lighting Consultant			2				
TBD	M6. Central Laundry M7. Gearless Elevator			1			1	
TBD . COMMUNITY				-				
TDD	N1. Smart Development N1.1 Infill Site		-			-		
TBD TBD	N1.1 Infill Site N1.2 Designated Brownfield Site		1		1	1		
TBD	N1.3 Conserve Resources by Increasing Density			2		2		
TBD	N1.4 Cluster Homes for Land Preservation N1.5 Home Size Efficiency		1			9		
	Enter the area of the home, in square feet						-	
TBD	Enter the number of bedrooms  N2. Home(s)/Development Located Within 1/2 Mile of a Major Transit Stop		2					
100	N3. Pedestrian and Bicycle Access							
	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services  Enter the number of Tier 1 services		2					
	Enter the number of Tier 2 services							
Yes	N3.2 Connection to Pedestrian Pathways	1	1					
TBD TBD	N3.3 Traffic Calming Strategies N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide		1					
Yes	N3.5 Bicycle Storage for Residents	1	1					
TBD 1.5 spaces per unit	N3.6 Bicycle Storage for Non-Residents N3.7 Reduced Parking Capacity	1	2					
	N4. Outdoor Gathering Places							
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community		1					
TBD	Services		1					
TDD	N5. Social Interaction							
TBD TBD	N5.1 Residence Entries with Views to Callers N5.2 Entrances Visible from Street and/or Other Front Doors		1					
TBD	N5.3 Porches Oriented to Street and Public Space		1					
TBD	N5.4 Social Gathering Space N6. Passive Solar Design		1					
TBD	N6.1 Heating Load			2				
TBD	N6.2 Cooling Load N7. Adaptable Building			2				
TBD	N7.1 Universal Design Principles in Units		1		1			
TBD	N7.2 Full-Function Independent Rental Unit  N8. Affordability		1					
TBD	N8.1 Dedicated Units for Households Making 80% of AMI or Less		2					
TBD	N8.2 Units with Multiple Bedrooms for Households Making 80% of AMI or Less N8.3 At Least 20% of Units at 120% AMI or Less are For Sale		1					
TBD	N9. Mixed-Use Developments		1					
TBD	N9.1 Live/Work Units Include a Dedicated Commercial Entrance		1					
TBD TBD	N9.2 At Least 2% of Development Floor Space Supports Mixed Use N9.3 Half of the Non-Residential Floor Space is Dedicated to Community Service		1					
. OTHER								
Yes	O1. GreenPoint Rated Checklist in Blueprints O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	Y	R	0.5	R	R 1	0.5	
TBD TBD	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs			0.5	0.5	0.5	0.5	
TBD	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals							
TBD	Professionals O5. Home System Monitors			0.5	0.5	0.5	0.5	
	O6. Green Building Education			Ē				
TBD TBD	O6.1 Marketing Green Building O6.2 Green Building Signage		2	0.5			0.5	
Yes	O7. Green Appraisal Addendum	Y	R	R	R	R	R	
TBD TBD	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation O9. Residents Are Offered Free or Discounted Transit Passes		2			1		
TBD	O10. Vandalism Deterrence Practices and Vandalism Management Plan					1		
DESIGN CONSIDERATION	ONS							
	P1. Acoustics: Noise and Vibration Control  Enter the number of Tier 1 practices		1		1			
	Enter the number of Tier 2 practices							
TBD	P2. Mixed-Use Design Strategies P2.1 Tenant Improvement Requirements for Build-Outs				-1		1	
TBD	P2.2 Commercial Loading Area Separated for Residential Area				1			
TBD	P2.3 Separate Mechanical and Plumbing Systems P3. Commissioning				1			
TBD	P3.1 Design Phase			1	1			
TBD	P3.2 Construction Phase			1	1			
TBD TBD	P3.3 Post-Construction Phase P4. Building Enclosure Testing			1	1	1		
	Summary							
	Total Available Points in Specific Categories		43	138	61	86	53	-
	Minimum Points Required in Specific Categories	50	2	25	6	6	6	
	Total Points Achieved	60.0	3.0	39.0	6.0	6.0	6.0	
		30.0	0.0	55.5	0.0	0.0	0.0	