

377 St. Mary Street

Proposed Mixed Use

Development

&

Renovation

August 5, 2015

Developed

By

Fireside Investors, LLC

RECEIVED

OCT 05 2015

CITY OF PLEASANTON
PLANNING DIVISION
PUD-107
P14-1024/1025

EXHIBIT B

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1. Overview

We are proposing a vibrant, mixed-use development & renovation project done in a Spanish Colonial architectural style. This is an in-fill project located within Downtown Pleasanton that includes a commercial mini-plaza, with outdoor seating, that will give residents a place to meet and enjoy the charming character of our small town.

The 11,025sf lot currently contains one 1,169sf home and a detached two-car garage with roughly 2/3 of the lot sitting vacant and under-utilized. Our project is comprised of two main parts:

- (1) Bring additional retail to the Downtown by saving and restoring the existing structure and converting the use from residential to retail by adding a mini-plaza facing the St. Mary St. & Peters Ave intersection.

We feel that the following retail uses, or similar, would be a natural fit for a commercial mini-plaza (see Exhibit C for complete list):

- a. Coffee shop
 - b. Ice Cream Shop / Dessert Bar
 - c. Wine bar Deli / Sandwich Shop
 - d. Bakery
- (2) Construct three (3) single-family homes behind the retail building, facing Peters Avenue, each about 2,400sf in size. Our original plan called for four homes, but we feel the density of three homes is a better fit for the downtown.

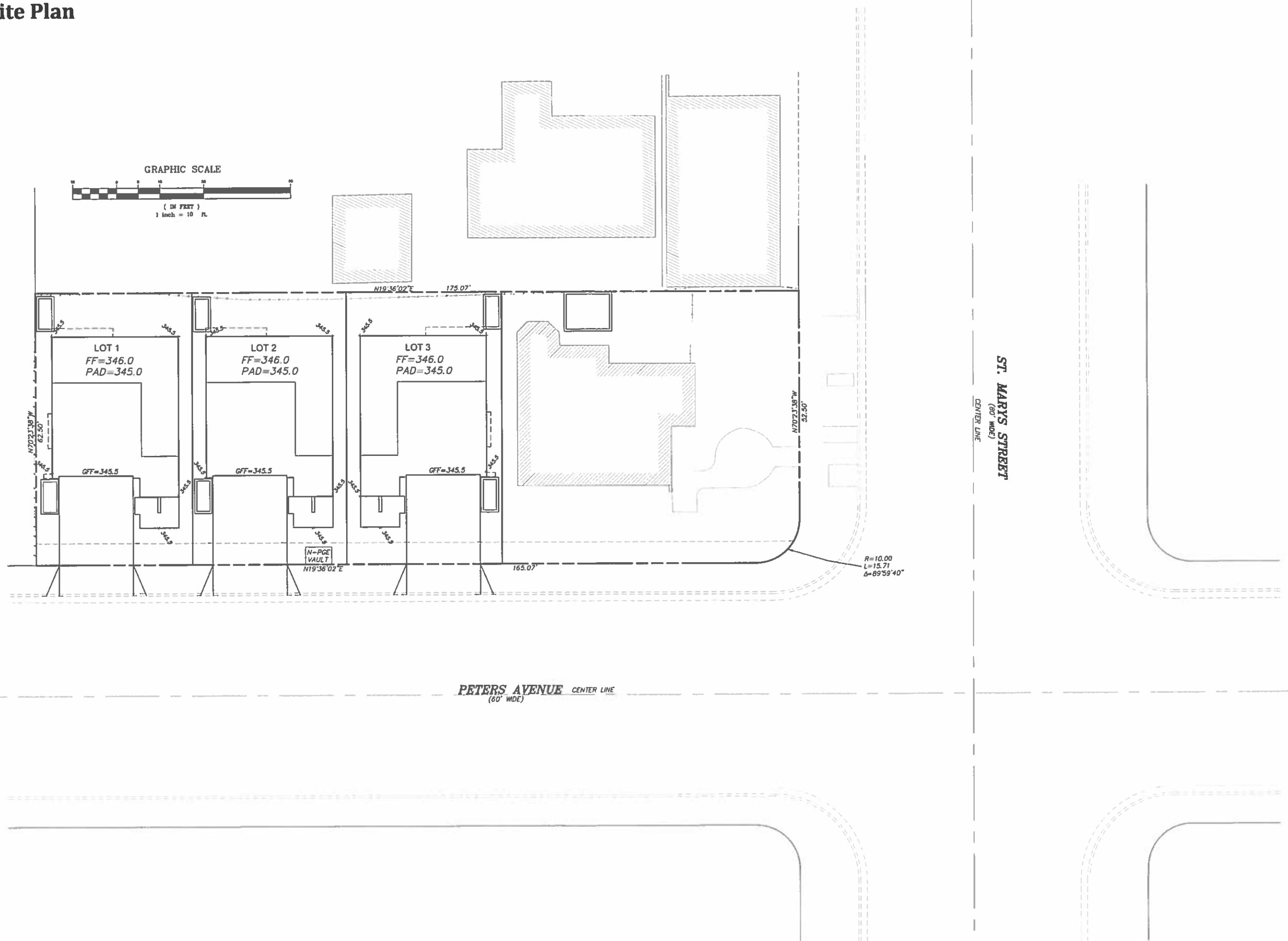
Currently



Proposed



2. Project Site Plan



3. Residence Landscape Plan

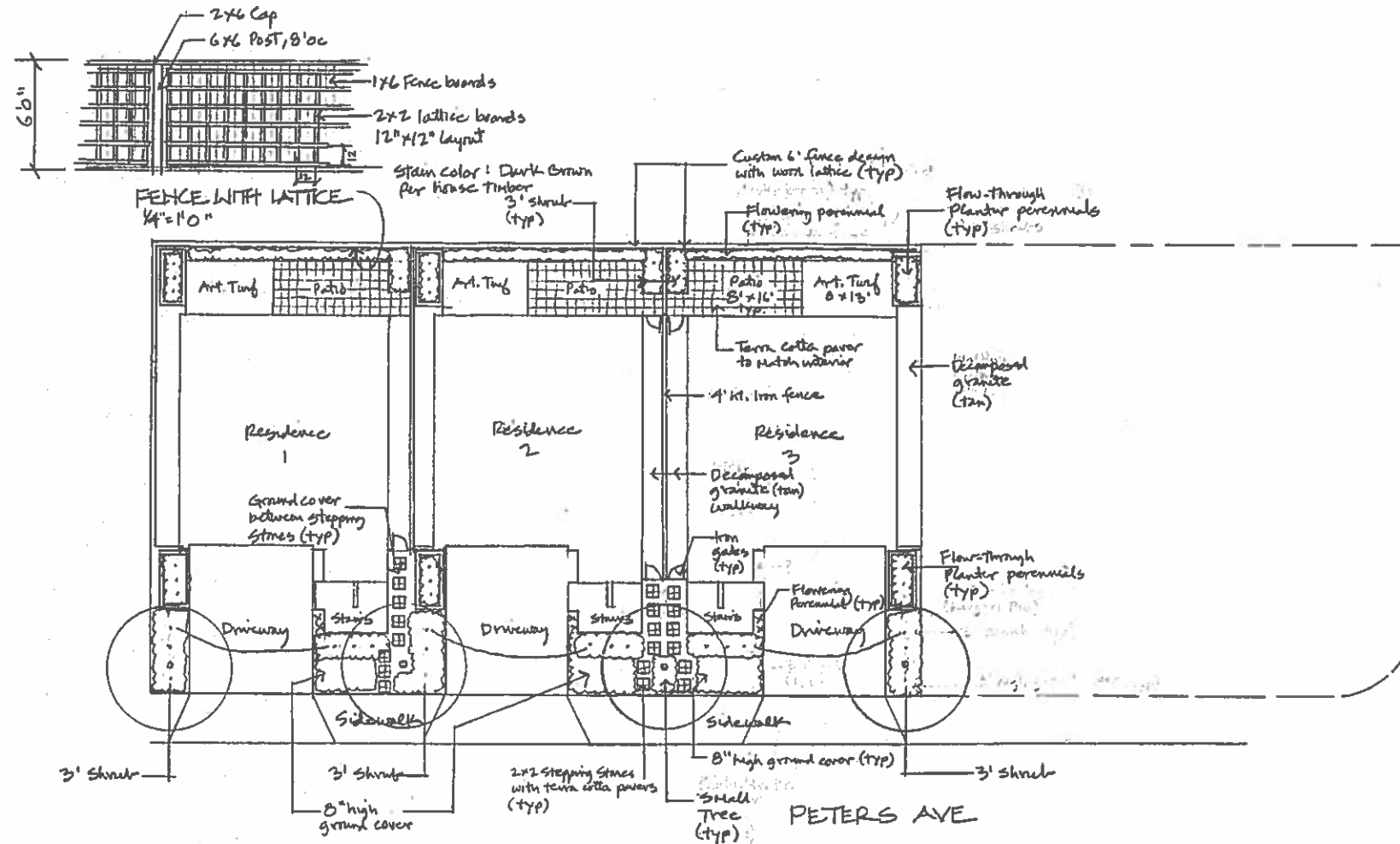
4' Wrought Iron Fence



6' Redwood Fence



Wrought Iron Gate



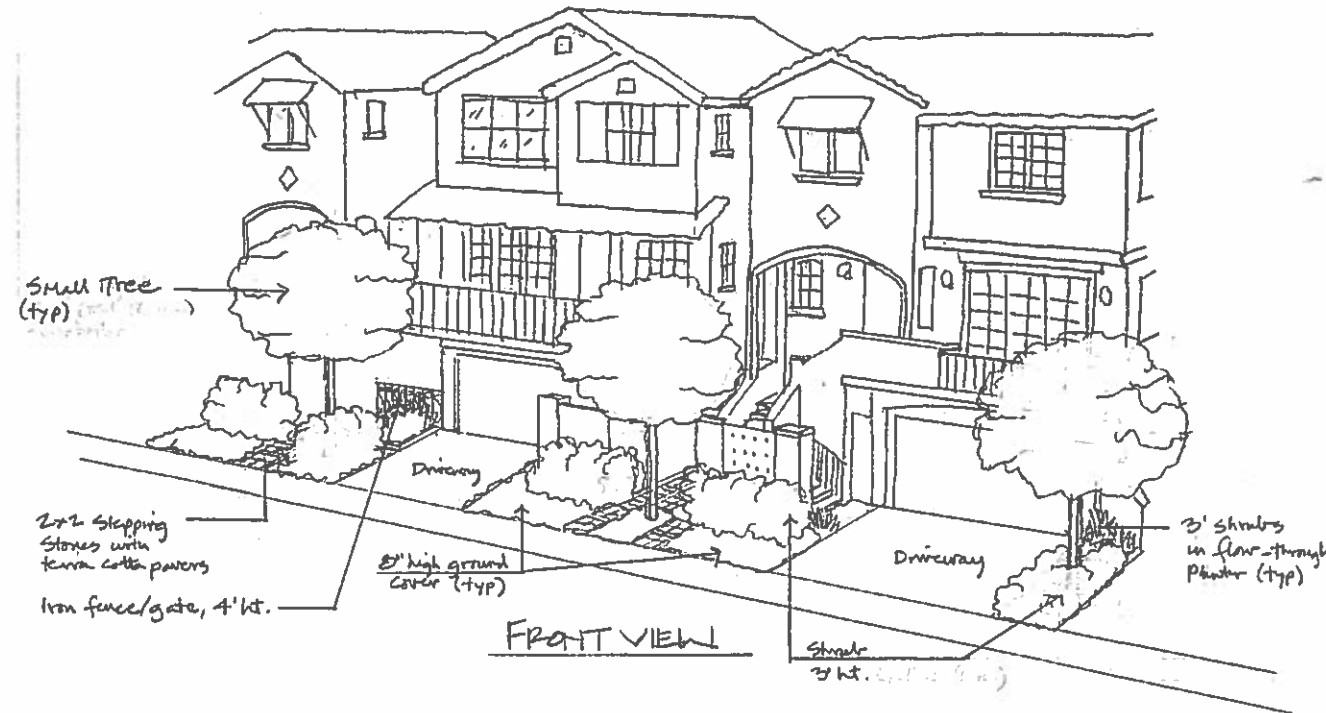
PLAN
1"=10'0"

Plant Palette

Code	Botanical Name/Common Name	Container Size	Spacing	PF*
Small Tree				
	Lagerstroemia 'Tuscarora' / Red Crape Myrtle	24" box	N/A	Low
	Olea europaea 'Swan Hill' / Fruitless Olive Multi-trunk	24" box	N/A	Low
3' Shrubs				
	Callistemon 'Little John'	5 gal	3' oc	Low
	Hypericum moserianum / Hypericum	5 gal	3' oc	Mod
	Lantana 'Radiation Improved' / Red Flower Lantana	5 gal	3' oc	Low
	Nerium oleander 'Petite Pink' / Dwarf Oleander	5 gal	3' oc	Low
	Savila leucantha 'Santa Barbara'	5 gal	3' oc	Low
	Teucrium frut. 'Compacta'	5 gal	3' oc	Low
Flow-Through Planter Perennials				
	Anigozanthos 'Tequila Sunrise' / Kangaroo Paw	5 gal	3' oc	Low
	Lomandra long. 'Breeze' / Breeze Ornamental Grass	1 gal	30" oc	Low
Flowering Perennials				
	Anigozanthos 'Dwarf' orange / Dwarf Kangaroo Paw	1 gal	18" oc	Low
	Bulbine frutescens 'Orange' / Bulbine	1 gal	18" oc	Low
	Pelargonium x hortorum / Red Pelargonium Geranium	1 gal	18" oc	Low
	Tubeghia 'Silver Lace' / Variegated Society Garlic	1 gal	18" oc	Low
8" High Ground Cover				
	Arctostaphylos uva-ursi 'Radiant'	1 gal	3' oc	Low
	Senecio mandralisense / Blue Chalk Sticks	1 gal	2' oc	Low
Ground Cover between stepping stones				
	Dymondia margaritae / Silver Carpet	4"	12" oc	Low
	Erodium chamaedryoides / Erodium	4"	12" oc	Low
	Thymus / Creeping Thyme	4"	12" oc	Low
Wood Chip Mulch				
	Zanker Mahogany mulch, brown color		3" depth	

Note: Plant Palette is intended as a representative guide of the plant material to be used. Actual plant material used in the Construction Documents may vary. Only one plant species will be used in each of the areas indicated on the plan.

*PF: Plant Factors are based on the water use classification of landscape species list (WUCOLS IV)



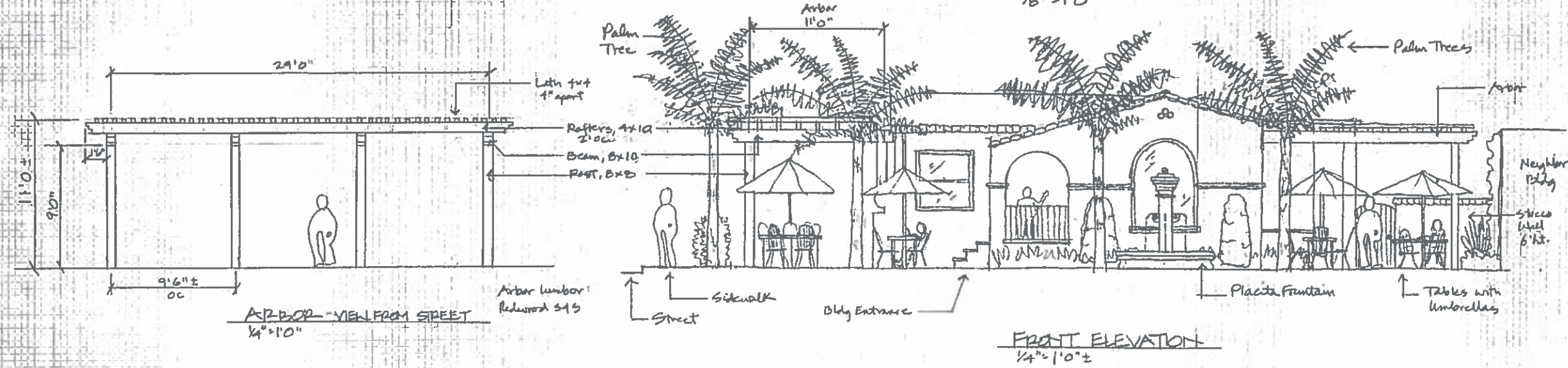
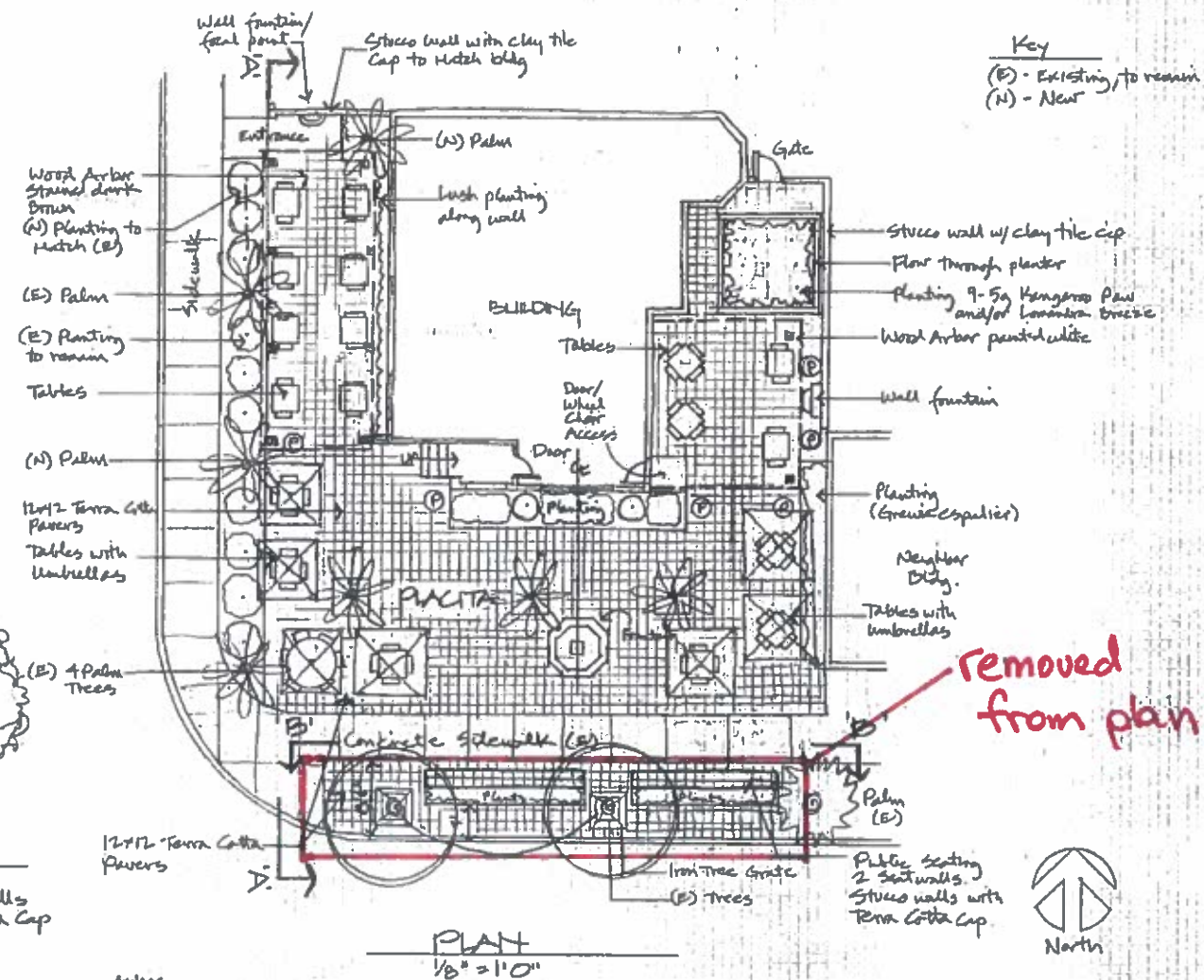
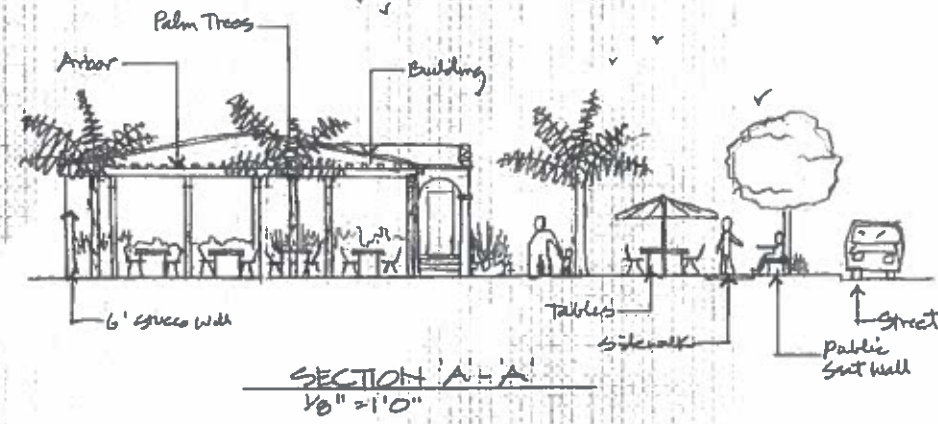
Schematic Design

377 St. Mary St. Townhomes
Pleasanton, CA

Richard McPherson Landscape Architect
1555 Lakeside Drive #90 Oakland, CA
415-290-0987 Lic # 4126
Email: rmlandarch@aol.com
Website: www.RMcPherson.com

7/27/15 Rev.
Date: 5/20/15
Scale: shown

4. Commercial Plaza Landscape Plan



Key
(E) - Existing, to remain
(N) - New

Project:
Commercial Property
377 St. Mary St.
Pleasanton, CA

Landscape Architect:
RICHARD McPHERSON
LANDSCAPE ARCHITECTURE
1825 LAKEBROOK DRIVE, #10
OAKLAND, CA 94612
Telephone 415.290.0007

Client:

Stamp:

 RICHARD M. McPHERSON
 LANDSCAPE ARCHITECT
 STATE OF CALIFORNIA
 LICENSE NO. 12588

Issue: _____ Date: _____
 Rev. 1: _____ Date: 3/20/13
 Rev. 2: _____ Date: 8/15

Project Number: _____
 Drawn By: P.M.
 Checked By: _____
 Contact: _____

Scale: 1/8" = 1'0"

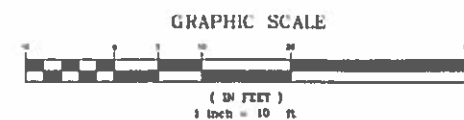
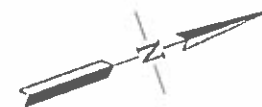
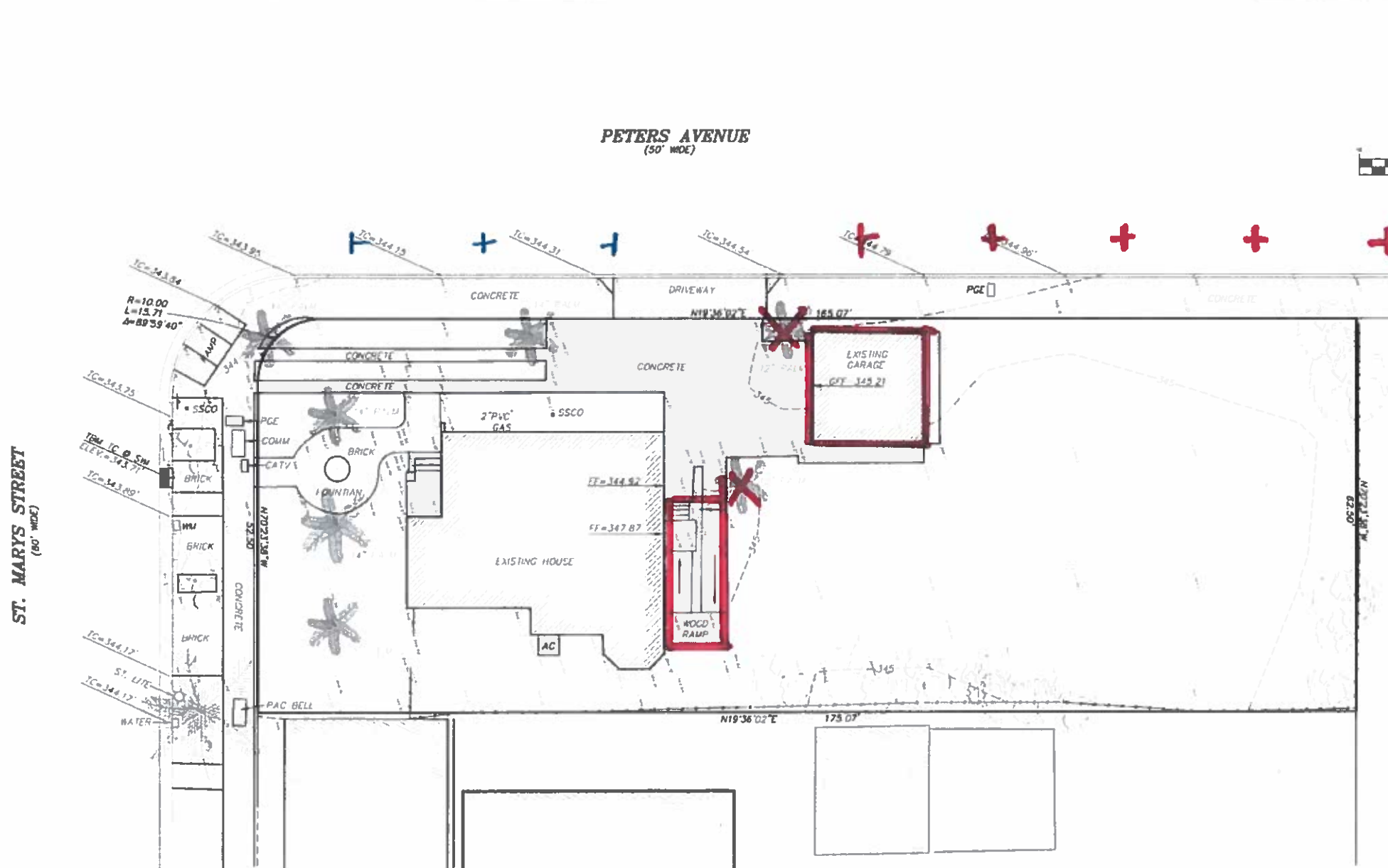
Conceptual Landscape Design

Sheet Number: **1**

5. Demolition Plan

- Red = to be removed
1. Detached garage
 2. Rear access ramp
 3. Four on-street parking spots
 4. Two palm trees

- Blue = to remain
1. Two on street parking



THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT AT THE REQUEST OF MIKE CAREY IN JUNE OF 2014.

DARRYL ALEXANDER L.S. NO. 5071 LICENSE EXPIRES JUNE 30, 2015



BASIS OF BEARINGS
THE BEARINGS SHOWN HEREON WERE BASED ON RECORD OF SURVEY 1020 (16 RS 86), ALAMEDA COUNTY

BASIS OF ELEVATIONS
CITY OF PLEASANTON DATUM (NGVD 29)
TEMPORARY BENCHMARK (TBM):
TOP CURB @ 5M = 343.71'

NOTE: THE BUILDING LINES SHOWN HEREON WERE ESTABLISHED FROM THE OUTSIDE FINISHED SURFACE OR TRIM. THE LOCATION OF THE FOUNDATION MAY DIFFER.

NOTE: LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

REV	DATE	DESCRIPTION	APPROVAL

PROJECT NAME
APN 94-122-8

ALEXANDER & ASSOCIATES INC.
SURVEYORS ENGINEERS PLANNERS
147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 482-2255

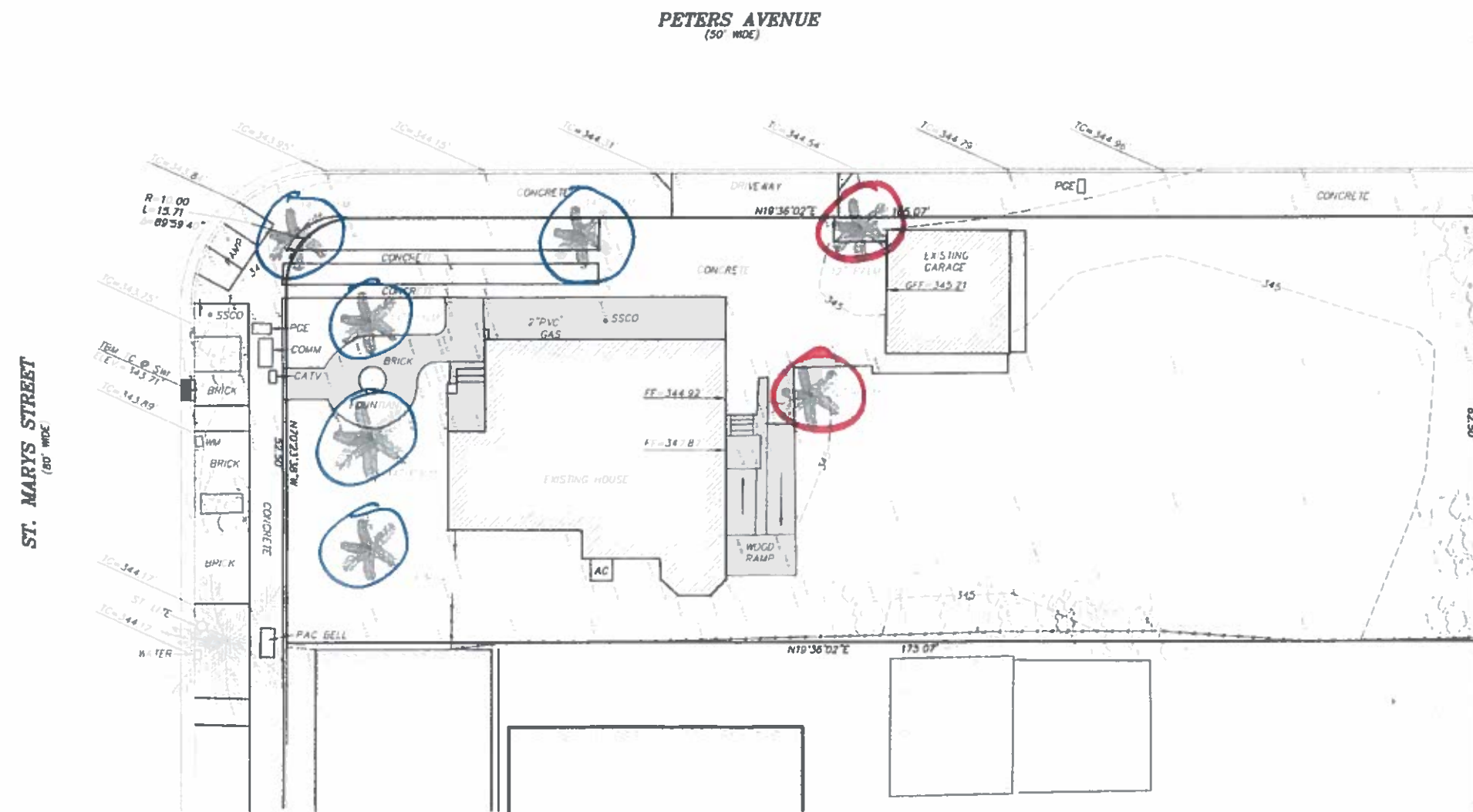
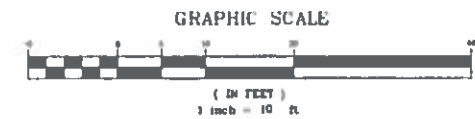
DRAWN BY: SL
DESIGNED BY:
CHECKED BY: DA
SCALE: AS SHOWN

SHEET TITLE
**TOPOGRAPHIC SURVEY
377 ST MARYS STREET
PLEASANTON, CALIFORNIA**

JOB NO.: 14173
DISK NO.:
FILE NO.: 14173CAD
DATE: JUNE 2014
SHEET NO.: 1
OF 1 SHEETS

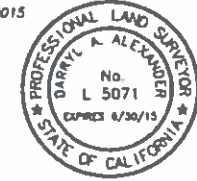
6. Topographic Survey

Blue = to remain
Red = to be removed



THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT AT THE REQUEST OF MIKE CAREY IN JUNE OF 2014.

DARRYL ALEXANDER DATE
L.S. NO. 5071
LICENSE EXPIRES JUNE 30, 2015



BASIS OF BEARINGS
THE BEARINGS SHOWN HEREON WERE BASED ON RECORD OF SURVEY 1020 (16 RS 86), ALAMEDA COUNTY.

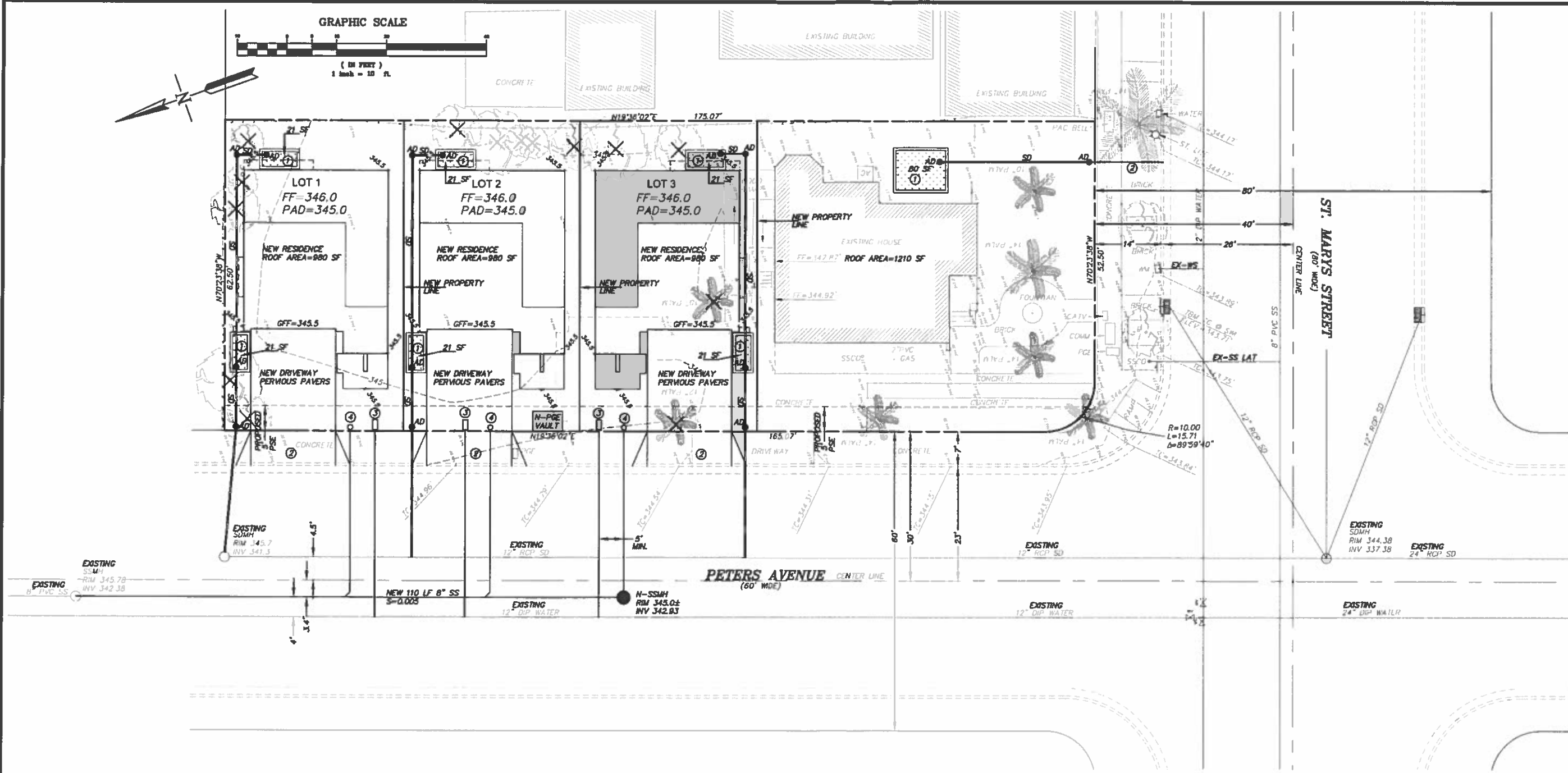
BASIS OF ELEVATIONS
CITY OF PLEASANTON DATUM (NGVD 29)
TEMPORARY BENCHMARK (TBM)
TOP CURB @ SW = 343.71'

NOTE: THE BUILDING LINES SHOWN HEREON WERE ESTABLISHED FROM THE OUTSIDE FINISHED SURFACE OR TRIM. THE LOCATION OF THE FOUNDATION MAY DIFFER.

NOTE: LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

PROJECT NAME		APN 94-122-8		ALEXANDER & ASSOCIATES INC. SURVEYORS ENGINEERS PLANNERS 147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 482-2256		SHEET TITLE		JOB NO.: 14173		SHEET NO.: 1	
DRAWN BY: SL		DESIGNED BY:				TOPOGRAPHIC SURVEY		FILE NO.: 14173CAD		DATE: JUNE 2014	
CHECKED BY: DA		SCALE: AS SHOWN		377 ST MARYS STREET		DATE: JUNE 2014					
REV	DATE	DESCRIPTION	APPROVAL								

7. Preliminary Grading Plan



GRADING NOTES:

- ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
- ALL DOWNSPOUTS SHALL HAVE A MINIMUM 3" DIAMETER SOLID DRAIN LINES AND SHALL DRAIN TO FLOW THROUGH PLANTER.
- ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM 5% SLOPE FOR MINIMUM DISTANCE OF 5 FEET.
- SURFACE WATER SWALES SHALL HAVE A 1% MINIMUM SLOPE AND BE CONVEYED TO AREA DRAINS.
- AREA DRAINS SHALL HAVE A MINIMUM 6 INCHES DIAMETER GRATE OPENING.
- ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
- ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS, NOT THROUGH THEM. ANY SUBDRAINS PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PIERS AND/OR GRADE BEAMS.
- WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
- ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-FLEXIBLE PVC PIPE, PERFORATED PIPE SHALL BE USED FOR SUBDRAINS ONLY. 8" STORM DRAIN TO BE PVC SD#-33 OR APPROVED EQUAL. (SEE DETAILS)
- CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
- EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 13 IF WORK CONTINUES INTO THE RAINY SEASON.

- THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
- THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPOUTS, AND DRAINAGE SWALES.

NOTES:

ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, BEST FIELD LOCATED.

PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.

SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION THIS PLAN IS INTENDED FOR GRADING AND DRAINAGE

FRONT YARD FLOW THROUGH PLANTER (NEW RESIDENCES)
 IMPERVIOUS (ROOF) AREA = 490 SF. (HALF OF TOTAL ROOF AREA)
 TREATMENT NEEDED = 20 SF. (4% OF ROOF AREA)
 TREATMENT PROVIDED = 21 SF.

REAR YARD FLOW THROUGH PLANTER (NEW RESIDENCES)
 IMPERVIOUS (ROOF) AREA = 490 SF. (HALF OF TOTAL ROOF AREA)
 TREATMENT NEEDED = 20 SF. (4% OF ROOF AREA)
 TREATMENT PROVIDED = 21 SF.

FLOW THROUGH PLANTER (EXISTING BUILDING)
 IMPERVIOUS (ROOF) AREA = 1210 SF.
 IMPERVIOUS (HARDSCAPE) AREA = 713 SF.
 TREATMENT NEEDED = 77 SF. (4% OF IMPERVIOUS AREA)
 TREATMENT PROVIDED = 80 SF.

- INST FLOW THROUGH PLANTER PER COUNTY C.3 MANUAL
- INST NEW DRIVEWAY CUT PER CITY STD
- INST WATER SERVICE PER CITY STD
- INST SANITARY SEWER SERVICE PER CITY STD

LEGEND

- EX CONTOUR
- PROPERTY LINE
- STORM DRAIN
- REMOVE EXIST. TREE

ABBREVIATIONS

- AD AREA DRAIN (HAWSON P8, P9 OR EQUAL)
- CO CLEAN-OUT (4" SOLID SD# 35 PVC PIPE WITH CAP)
- DI DRAIN INLET (HAWSON P18 OR EQUAL)
- BT BOTTOM OF RETAINING WALL
- FF FINISHED FLOOR
- FL FLOWLINE
- FM FORCE MAIN (BY OTHERS)
- FG FINISHED GRADE
- FS FINISHED SURFACE
- GP TOP OF GRADE
- HP HIGHPOINT
- IN INVERT
- GF GROUND FINISHED FLOOR
- SW STORM WATER INLET
- TC TO CURB
- TD TO GRADE
- TW TOP OF RETAINING WALL
- SS SANITARY SEWER
- WS WATER SERVICE
- WM WATER METER
- JT JOINT TRENCH
- LS LANDSCAPING
- DC DECOMPOSED GRANITE



ALEXANDER & INC.
 SURVEYORS ENGINEERS PLANNERS
 147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 468-8888

PROJECT NAME: PRELIMINARY GRADING PLAN
 377 ST. MARY STREET
 CITY OF PLEASANTON
 ALAMEDA COUNTY, CALIFORNIA

DATE: 10/15/19
 DRAWN BY: RD
 DESIGNED BY: RD
 CHECKED BY: DA
 SCALE: 1" = 10'

SHEET NO.: **C1**
 OF 1 SHEETS

8. Zoning & Density

The underlying zoning of 377 St. Mary Street is "C-C" (Central Commercial) which allows retail and residential development. A subsequent specific plan amendment over-laid the east side of Peters Avenue as "O-Office", which restricts retail uses from locating in buildings that border Peters Avenue. The "O-Office" overlay, however, does allow for mixed-use buildings which are office and residential.

We request that the "O-Office" overlay be removed so that the property is allowed to utilize the underlying "C-C" zoning in order to create a retail & residential mixed-use project that the General Plan calls for, while still being sensitive to the conditions of the surrounding neighborhood. Removing the "O-Office" overlay allows us to bring needed retail onto the side streets perpendicular to Main St.

The "C-C" (Central Commercial) zoning district allows a maximum height of 40'. We feel that the height and massing of the project at 33' 9½", is consistent with the surrounding neighborhood. Some examples of 3-story buildings in the Downtown are:

1. 777 Peters Ave (Chamber of Commerce) = 34 feet at ridge
2. 511 Main St (Pastime Plaza) = 34 feet at top
3. 855 Main St (Pleasanton Hotel) = 41.5 feet at ridge
= 43 feet at tower top
4. 807 Main St (Rose Hotel) = 37.5 feet at top of mansard roof
= 45.5 feet at top of gable
= 47.5 feet at tower top
5. 750 Main St (Oasis Café) = 28.5 feet at ridge
= 43 feet @ tower top
6. 349 Main St (Tully's Plaza) = 33 feet at parapet
= 44 feet at tower top

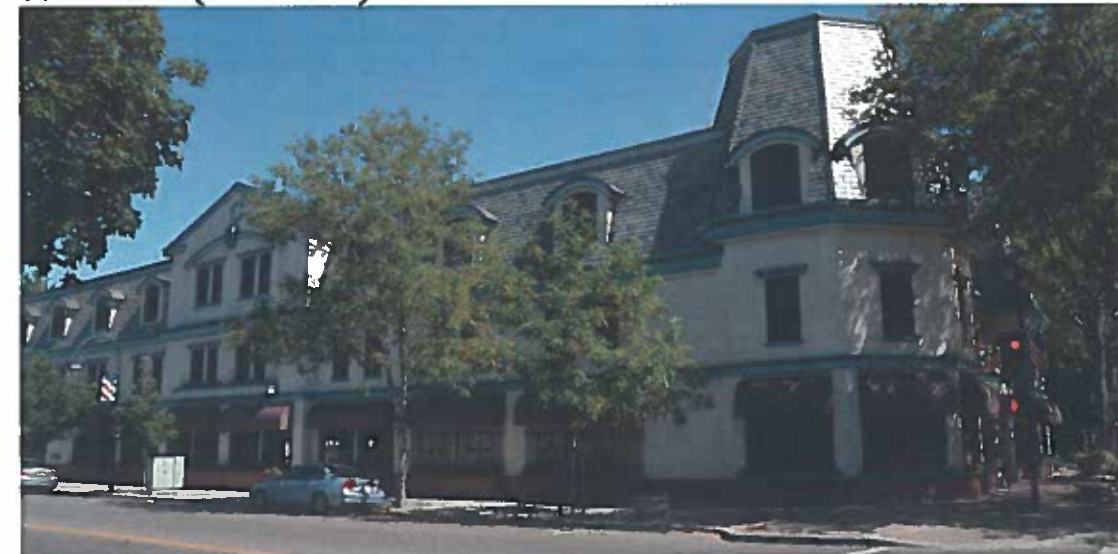
Our project is similar in height to the Angela Row houses at 225 W. Angela St that front Peters Ave, except that our homes are set back 25' from sidewalk instead of being directly on the sidewalk, further reducing their massing as viewed from the street. Our project also has a similar density to the Kimberly Commons project, also on Peters Ave, and located directly across the street from the Chamber of Commerce.

The Downtown Specific Plan Land Use Policy No. 15 calls for an amendment to Municipal Code Section 18.84 to limit future residential to "not more that two stories and not more that 30 feet", but this amendment was never initiated and we have seen new residential construction in the Downtown exceed this limit.

777 Peters Ave (Chamber of Commerce)



807 Main St (Rose Hotel)



225 W. Angela St (Angela Row Houses facing Peters Ave.)



9. Mixed-Use Development in Downtown

The General Plan (p. 2-21) defines mixed-use development as:

"...the combination of various land uses, such as, office, commercial, hotel, institutional, and residential in a single building, on a single site, or on adjacent sites that are physically and functionally inter-related. Mixed-use development, a concept that has existed informally for many years in downtown areas (including Pleasanton), has gained new life as a way to provide additional housing close to jobs, services, and transit (including buses); to create vitality in downtown areas; as a way to create land-efficient development in-fill areas; and to reduce the number of auto-related trips, compared to conventional development."

The Downtown Specific Plan (p. 17) notes the trend toward mixed-use development:

"Recently-constructed buildings have established a somewhat different trend for future development. Smaller commercial buildings with floor area ratios (FARs) of generally less than 50 percent are being replaced with two-story, mixed use buildings with FARs of 50 to 75 percent."

We have chosen to create a development plan that has retail & residential in **a mixed-use setting on a single site**, instead of a single building, so that we can preserve the existing structure at 377 St. Mary Street. To create a mixed-use in a single building would require us to demolish the existing structure, which we would prefer not to do.

	General Plan	Proposed Project @ 377 St. Mary St.
1.	Policy 12: Preserve the character of the Downtown while improving its retail and residential viability and preserving the traditions of its small-town character (p. 2-32)	Our project includes converting the existing home to retail with the creation of a mini-plaza and adding four single-family residential units to the rear of the parcel.
2.	Program 12.3: In the Downtown, implement mixed-use development which incorporates higher density and affordable residential units consistent with the Downtown Specific Plan., where feasible (p. 2-33)	Our project is truly mixed-use in that it has both a retail and residential component.
3.	Program 12.4: Encourage second-floor apartments above first-floor commercial uses and live-work units in Downtown. Allow mixed-use development in the Downtown where residences are located behind commercial uses. (p. 2-33)	Our mixed-use project has the retail component located at the front of the parcel facing St. Mary Street and the residential component located behind the retail facing Peters Avenue.
4.	Program 12.5: Consider drafting an ordinance that protects the right of businesses to operate in the Downtown commercial area. (p. 2-33)	With the absence of a City ordinance, we have included language in our lease agreements that discloses the nature of living in a vibrant and active Downtown area and lists the expected impacts, inconveniences and discomforts that may be encountered. Please see Exhibit A.
5.	Program 15.3: ... Encourage the designation of land as mixed-use where impacts can be mitigated, and where there is a potential to reduce traffic and facilitate affordable housing. (p. 2-34)	Our project includes three single-family residences whose occupants can enjoy the Downtown without adding additional traffic, in a comfortably sized home.
6.	Policy 16: Encourage mixed-use development which encompasses any combination of commercial development, housing units, or community facilities in an integrated development. In areas served by transit, encourage mixed-use and residential densities that support affordable housing and transit (p. 2-34)	Our mixed-use project includes all three of these elements: (1) commercial development by converting the existing home to retail, (2) housing units with the construction of three new single-family residences and (3) a mini-plaza that will serve as a community gathering place.

10. Land Use

We chose the 377 St. Mary Street parcel as our site because it is an in-fill location that is currently under-developed within the Downtown commercial core area. This location provides the opportunity to bring additional vitality to the Downtown in a thoughtful way that recognizes the transition area between the commercial core on the east side of Peters Avenue and the residential neighborhood on the west side.

Rear 2/3 of 377 St. Mary St is vacant lot



Rear 2/3 of 377 St. Mary St is vacant lot



	Downtown Specific Plan	Proposed Project @ 377 St. Mary St.
1.	To retain the small-town scale and physical character of the Downtown through the implementation of appropriate land use and development standards (p. 8)	To keep with the small-town scale, our project proposes saving and enhancing the existing home by converting it to retail and constructing three new single-family homes, instead of demolishing the existing home and creating a single multi-story building as outlined in the existing "O-Office" zoning overlay. The new single-family homes will be constructed with the same Spanish Colonial design as the existing home. Development standards should be implemented to allow retail uses and hours of operation that are compatible with the surrounding neighborhood.
2.	To encourage and pro-actively coordinate the rebuilding of selected non-historical commercial areas of limited use and physical value (p. 8) Mixed-use development... has gained new life... as a way to create land-efficient development in-fill areas (p. 2-21 General Plan)	This parcel is ¼ acre in size with the vast majority sitting as vacant land in the rear. Converting the existing home to retail will expand the potential uses that can bring vitality to Downtown. Constructing residential units in the rear is the most efficient use of the vacant land because we can locate the parking underneath structure.
3.	To retain and encourage public uses which strengthen the sense of community and civic pride (p. 8)	We see the creation of the mini-plaza as a Tully's Square type gathering place that residents will enjoy visiting and meeting at.
4.	To encourage the creation of publicly accessible mini-plazas along Main St. (p. 8)	Our mini-plaza will be located just off of Main Street, but we feel it offers the same benefits.
5.	Retail use is considered highly desirable because it promotes pedestrian activity and interest, supports and complements other Downtown businesses, and draws people into the Downtown (p.26)	The current "O-Office" overlay restricts the ability to add needed retail establishments in the Downtown commercial core. We propose creating a thoughtful list of retail use (ex. coffee shop, deli, bakery) that will benefit the Downtown, yet be considerate of the surrounding neighborhood.
6.	... three-story buildings may be allowed on a case-by-case basis, subject to the following criteria: (b) The building must be designed to minimize its three-story appearance... (c) The building must conform with the Municipal Code height limits (p. 26)	Our buildings will be located behind the existing building and setback from Peters Avenue approx. 25 feet. The compact staircase, front porch, roof forms, hips and gables soften the height and mass of the structures. Garages are set back under the upper level porch. The C-C zoning height limit is 40 feet. Our new residences are 33' 9½", and well under the maximum.
7.	Prepare a plan containing site-specific development standards and design guidelines for rebuilding and intensifying uses on appropriate sites... (p.27)	Understanding that Peters Avenue is a transition area between the commercial core and adjacent neighborhood, will work with the City to develop site-specific standards for appropriate retail uses and hours of operation so as to be sensitive to the surrounding neighborhood.

11. Design & Beautification

The inspiration for our project comes from the architectural styling of the existing Spanish Colonial Revival (1915 – 1940s) home currently on the lot and other similarly designed buildings in the Downtown (as defined in the Pleasanton Downtown Historic Context Statement p.92 & 93):

- 301 Main Street - Veteran's Memorial Building
- 325 Ray Street - Fountain Creek Plaza
- 800 Main Street – Gregory Frame Store
- 707 Main Street – Gas Station
- 670 St. John Street
- 252 Main Street
- 4467 Second Street
- 327 St. Mary Street

Building on the Spanish Colonial theme, we have designed our mini-plaza as a “placita” (def. familiar, little plaza), with Spanish-style terra cotta tiles, to bring the Spanish Colonial theme all the way from the building and out to the sidewalk & street. We will work with the City to enhance the streetscape with tiles and benches between the sidewalk and St. Mary Street to match our design theme.

The intersection at St. Mary Street & Peters Avenue is the major gateway entrance into the Downtown commercial core from northwest via Hopyard Road. We feel this would be an ideal location for a mini-plaza / retail destination to showcase the vibrancy of the Downtown. We will work with the City to install any approved gateway signage on the streetscape are to enhance the sense of arrival to the Downtown commercial core.

Spanish Colonial Revival (1915-1940s)

Popularized after the 1915 Panama-California Exposition, Spanish Colonial Revival residential architecture is characterized by cross-gable or side-gable plans; low-pitched gable or hipped roof lines, oft en with red clay tile sheathing or accents; asymmetrical form; arched window and door openings; shed roofs on braces over primary door and window openings; ornamental vents; and stucco cladding. Porches are typically small with arched openings and squared pier supports and no balustrade. Examples in Pleasanton are typically modest, though there are several well-developed forms.



	Downtown Specific Plan	Proposed Project @ 377 St. Mary St.
1.	To enhance the streetscapes of the Downtown commercial streets beyond Main Street , and to create a system of mini-plazas along Main Street and other commercial streets where appropriate (p. 73)	We will work with the City to enhance the streetscape between the sidewalk and St. Mary Street with terra cotta tiles and matching benches. Our mini-plaza / “placita” is a natural extension of the existing architecture and provides an open pedestrian gathering place on the north side of town.
2.	To improve the major gateways into the Downtown to create a sense of arrival and to enhance the aesthetics along these roadways (p. 78)	The intersection of St. Mary Street & Peters Avenue is the gateway into Downtown from the northwest and Hacienda Business Park. A pedestrian oriented mini-plaza will showcase the warmth and attractiveness of Downtown. We will work with the City to install any approved gateway signage onto the streetscape area facing St. Mary Street.
3.	Maintain the existing architectural variety of the Downtown by encouraging that original façade material and storefront elements, such as transom windows, are uncovered, rehabilitated, and maintained, where appropriate (p. 73)	Upon purchase of the property, we repainted the building and removed the awnings to restore it to a more original condition. Adding the “placita” is a natural extension of this unique design.
4.	Maintain the Downtown’s variety of stucco, brick, and wood facades with high quality materials in new construction appropriate to the architectural style of the building (p. 75)	Similar to our previous projects at 4466 2nd Street and 225 Spring Street, we strive to make a product that we, and our fellow residents, will be proud of.
5.	Encourage a diversity of architectural styles in new construction... (p. 75)	We will follow the Spanish Colonial style, present in the existing home, when we construct our new single-family homes.
6.	Design new buildings to be unique ... (p. 75)	The Spanish Colonial style is unique within Downtown and is the inspiration for the new construction component.
7.	Encourage the use of landscaping , such as flowering vines on trellises or arcades, ivy over blank sidewalls, and flower pots and window boxes (p. 75)	Our commercial plaza landscape plan has two arbors, each located on either side of the to be converted retail building, which could accommodate flowering vines.
8.	Provide planters and benches according to street furniture plan (p. 77) Provide street furniture and new sidewalks on the commercial streets other than Main Street (p. 42 DDG)	We will work with the City to install benches and planters that match the Spanish Colonial theme on the streetscape between the sidewalk and St. Mary Street.

12. Mini-Plaza Design Criteria

We feel that the key component and centerpiece of our project is the creation of the mini-plaza, or as we call it, a "Placita" (def. familiar, little plaza). The goal is to enhance the pedestrian environment and create a retail destination for residents and visitors to gather.

Our mini-plaza compared to other Downtown mini-plazas:

1. Pastime Plaza = 667sf
2. Tully's Plaza = 2,550sf
3. St. Mary St Placita = 2,765sf

There are several outside dining areas directly across the street (on St. Mary St.):

1. Strizzi's
2. Red Coats
3. Fernando's

We would like to create another plaza, similar to Tully's, but at the other end of Main St and located at the western gateway to Downtown. Our plaza will be open to the public to use and enjoy, but we will not designate it as a public amenity at this time.

Any modifications to the existing home will be in accordance with the revised Historic Preservation Guidelines and the Secretary of the Interior's Standards for Rehabilitation.



	Downtown Specific Plan	Proposed Project @ 377 St. Mary St.
1.	Mini-plazas should be attractively designed and used for small public gatherings, such as musical, dance, or dramatic performances; art display; and special events (p. 82)	The design of our "placita" is based on the Spanish Colonial Revival architecture of the existing structure. We envision acoustical guitar performances for patrons as appropriate, as well as public art displays.
2.	Mini-plazas should enhance and be compatible with the design elements found in adjacent structures and public streetscape improvements, whenever feasible (p. 82)	The "placita" will match the design elements of the existing structure and the proposed residential units to be located behind the to be converted commercial building.
3.	Mini-plazas should typically be lighted and contain decorative paving and benches or other form of seating . Wherever possible, raised planters with landscaping , vertical accent features such as arbors or kiosks , and public art should be incorporated into the plaza. Mini-plazas should be design so as not to interfere with the use and visibility of the nearby tenant spaces (p. 82)	Our outdoor lighting will be subtle and non-intrusive. Our landscape plan calls for terra cotta tiles as paving with table & chair seating for 50 people. We are also open to adding seated planter boxes along the perimeter of the "placita" as appropriate. We have incorporated two arbors, one on either side of the building. Our "placita" is located directly at the corner of St. Mary Street and Peters Avenue, with the only adjacent structure being 363 St. Mary Street, which would not be obstructed by our proposed plan.
4.	Mini-plazas should be accessible and functionally relate to the public sidewalk (p. 82)	Our landscape plan shows the St. Mary Street side of the "placita" completely open to the sidewalk, while the Peters Avenue side has a landscape strip between the "placita" and the sidewalk. We would like to have this landscape strip be seated planter boxes with openings for pedestrian access.
5.	Support the development of plazas and a pedestrian / bicycle trails system for the enjoyment of people of all ages (p. 94)	Our mini-plaza can seat 50 people in an area of the Downtown that has no comparable open gathering place.
	Downtown Design Guidelines	Proposed Project @ 377 St. Mary St.
1.	Building facades should meet the sidewalk, except where mini-plazas are provided (p. 13)	Our to be converted retail / commercial building already exists and is setback from the sidewalk, which allows us plenty of space to provide a mini-plaza.

13. Economic Vitality

Vibrant, pedestrian oriented retail uses are the best way to promote economic vitality in the Downtown. Allowing food-oriented uses, such as coffee shops, delicatessens or bakeries, create the desired foot traffic that would compliment surrounding businesses in Downtown. Stagnant, partially vacant parcels provide zero benefit to the Downtown.

Additionally, we feel that there is a strong benefit to new retail development on the side streets that are perpendicular to Main Street, by bringing additional foot traffic to areas not as heavily frequented as Main Street.

We have also added a Downtown Disclosure (see section 18. Downtown Disclosure) section to our leases that inform our tenants that the Downtown is an active, vibrant area subject to noise, traffic, etc... and that they should be prepared to accept such "inconveniences" as a normal part of living Downtown.

Other outside dining area on St. Mary Street include Strizzi's, Redcoats & Fernando's:



	Downtown Specific Plan	Proposed Project @ 377 St. Mary St.
1.	Provide opportunities for people to gather as a community and enjoy the unique environment of the Downtown while limiting the impacts of street closures on local commerce (p. 91)	Mini-plazas create a great opportunity for people to gather and enjoy the Downtown.
2.	Encourage diversity of food service establishments including specialty food stores, bakeries, and delicatessens in order to build on this Downtown economic strength (p. 91)	We envision an approved list of retail uses to include: coffee shop, bakery, delis, etc... to attract people to this part of town and also be sensitive to the surrounding residential neighborhood.
3.	Encourage businesses to remain open at night and to light their storefront displays on all evenings (p. 91)	We would like to see a strong retail use at this site that can contribute to the night-time character of the Downtown, while not creating a noise problem for the surrounding neighborhood.
4.	The City should also be a partner in attracting new business into vacant and newly developed space to assure continued economic vitality in the Downtown (p. 93)	We look forward to working with the City to develop this partially vacant parcel within the commercial core to help bring added vitality to the Downtown.
5.	Encourage development intensification in the commercial district (p. 93)	We hope that our mixed-use project, along with other Downtown projects that are being proposed, can help create a critical mass that encourages further development of the commercial district.

14. New Single Family Residences

We propose adding three (3) new single-family residences to the rear of the parcel and behind the to-be-converted commercial building and mini-plaza ("placita"). Each residence will be approximately 2,400sf in size, with a two-car garage and a backyard.

We have two different elevations with unique rooflines, character accents & wrought iron. The front doors are Dutch doors. Trash cans and A/C units are hidden and screened behind the front staircase.

We will have a 6' redwood fence around the perimeter of the property and between the backyards. There will be a 4' wrought iron fence between the properties with gate access.



	Downtown Design Guidelines	Proposed Project @ 377 St. Mary St.
4.	Architectural Styles – Spanish Colonial A large number of commercial buildings in Downtown are of this style, influenced by the Spanish style of architecture used during the Missionary Period. Characteristics: <ul style="list-style-type: none"> • thick stucco walls with deep recessed windows • red tiled roofs with exposed rafters • lack of architectural moldings • use of ornamental cast iron grilles (p. 8) 	We recognize the significance of this style within Pleasanton, especially in landmarks such as the Veterans Hall, and have incorporated all of these characteristics into our design.
5.	New homes should face the street (p. 35)	All three of our new single-family homes face the street.
6.	Floor area of new homes and additions to existing homes are to be compatible with surrounding homes (p. 35)	Our homes, at approx. 2,400sf, are very similar in size to homes in the surrounding neighborhoods.
7.	Reflect the general massing of surrounding homes , including roof forms and step backs, front porches, bay windows, and balconies (p. 35)	When we began our design, we looked closely at these features in the surrounding neighborhood so that we could come up with a comparable design that would be unobtrusive.
8.	Reduce mass through roof forms such as hips, dormers, small gables and articulations such as balconies (p. 35)	We have included (1) hips, (2) dormers, (3) gables and (4) balconies into our design.
9.	Front porches are strongly encouraged. Use them in new construction. Retain or enhance on building remodels (p. 37)	Both of our elevations include front porches, the width of the house, located above the garage.
10.	Front doors should be of the highest quality material and hardware (p. 37) Special shapes and designs of front doors are encouraged to personalize the home (p. 37)	Our front doors will be Dutch doors. The garage doors will have a Spanish Colonial pattern to them with windows along the top.
11.	New construction is to use a rich variety of detailing appropriate to the style of the building and that found in similar homes in the neighborhood. This includes elements such as roof eave, door and window trim, balconies, railings and material accents such as tile or shingle patterns (p. 37)	Our newly constructed single-family homes will incorporate the Spanish Colonial design elements featured in the existing home on the parcel as well as add some new elements.
12.	To ensure that a significant amount of parking required to serve new development is provided on-site by private property owners (p. 9)	Four (4) on-site parking spots are provided for each residential unit. Garage parking is side-by-side, not tandem.

	Downtown Design Guidelines	Proposed Project @ 377 St. Mary St.
1.	However, it also recognizes that Downtown is growing and that constructing new buildings on vacant and underdeveloped sites keep the area vital and desirable (p. 5)	We want to contribute to this goal by developing this partially vacant parcel, which will provide pedestrian oriented retail and attractive single-family homes.
2.	Such new development is to be encouraged provided that it fits with the established pattern and reflects one of the various architectural styles of Downtown (p. 5) New construction, additions and remodels should reflect the architectural style and detailing of the surrounding neighborhood (p. 35)	The architectural style of the new homes will be modeled after existing Spanish Colonial home on the parcel.
3.	These design guidelines are intended to encourage the enhancement of Downtown Pleasanton's older buildings and to guide the development of its new buildings so as to strengthen the desirable visual qualities of Downtown (p. 5)	We have already begun to rehab the existing building to more closely match the original Spanish Colonial design, which is also the inspiration for the new single-family homes.

15. Commercial Design Guidelines

Our goal is convert the existing home into a pedestrian oriented, retail destination that takes advantage of the Spanish Colonial design by incorporating a mini-plaza / "placita".

We feel the best contribution to Downtown is a smaller scaled, multi-building project that saves and repurposes the existing home, rather than a demolition of the existing home to create a single, large multi-story building.

We want to work with the City and surrounding stakeholders to develop a list of appropriate uses that will have a minimal impact on the neighborhood, while still bringing vitality to Downtown.

We are requesting that the zoning for the site be a modified list of the existing C-C (see Exhibit C), which will provide the greatest flexibility for potential retail uses. We feel that the following retail uses, or similar, would be a natural fit for a commercial mini-plaza:

- Coffee shop
- Ice Cream Shop / Dessert Bar
- Wine bar Deli / Sandwich Shop
- Bakery

Coffee Shop



Wine Bar



Ice Cream Shop



Delicatessen



	Downtown Design Guidelines	Proposed Project @ 377 St. Mary St.
1.	Break larger buildings into smaller units (p. 13)	Our entire project includes three new single-family homes and the conversion of the existing home into a retail use. These are four separate buildings, set back from the street, to help soften the height & mass of the project. The current "O - Office" overlay calls for this type of project to be a single, massive, multi-story building.
2.	The design of all buildings and storefronts shall be unique, not corporate, chain, or franchise (p. 13)	The Spanish Colonial style is truly unique among the Downtown with only a handful of buildings designed this way. The storefront of the retail building will remain Spanish Colonial, which will be enhanced with the addition of the mini-plaza / "placita".
3.	... lots on the east side of Peters Avenue... are also transition areas between commercial and residential uses. New construction along these corridors needs to be sensitive to this border position , to relate well with the neighboring homes, and to function successfully as commercial buildings (p. 28)	We understand the need to be sensitive to the surrounding neighborhood so we propose creating a site-specific development plan for appropriate types of retail uses allowed, along with restrictions on the hours of operation.
4.	A residence , due to location and architectural style, may be an appropriate site for a restaurant or boutique (p. 30)	This parcel provides the perfect opportunity to convert the existing home into a retail use and bring added vitality to downtown. The architectural style creates a natural matching mini-plaza theme as a "placita".
5.	In restaurant conversions, a portion of the yard may be appropriate for an outdoor dining area (p. 30)	The setback of the home from St. Mary Street and Peters Avenue creates the potential to construct a wrap-around outdoor seating area with a highly desirable westerly exposure providing afternoon sun.
6.	Entrances for disabled persons located at the front of the building should be carefully designed and landscaped to be visually unobtrusive (p. 30)	The existing entrance for disabled persons is located at the rear of the building and will be removed. Our plan calls for a lift to be added to the front side of the building, which is screened from view on St. Mary Street. Please see section 19. Coffee Shop Floor Plan.

16. Parking

We looked at many different options for parking as part of our project. Each option had, in our view, significant drawbacks:

1. Tandem / Carport
 - a. Pro – narrow profile from the street
 - b. Con – inconvenient to have to shuffle cars to get out
 - c. Con – cars & storage visible from the street
 - d. Con – visitors use on-street parking
2. Single Car Garage / Carport
 - a. Pro – easy access in and out
 - b. Con – unrealistic for most couples / families
 - c. Con - visitors use on-street parking
3. Rear-Facing Garage
 - a. Pro – parking screened from street
 - b. Pro – no vehicles backing onto Peters Ave.
 - c. Con – no backyard area for occupants
 - d. Con – partial demolition of existing structure
 - e. Con – commercial plaza area reduced by 33%

We chose a design with **Front-Facing Garages** for several reasons:

1. It provides two (2) car, side-by-side, garage parking, not tandem
2. Enclosed garages screen cars & storage from public view
3. It allows for a modest backyard that occupants can enjoy
4. Provides outside space for pets while owners are away
5. It allows for two (2) additional side-by-side, driveway parking spots so that guests do not have to use street parking
6. Driveways are 25' long, rather than the 23' currently required
7. Nearly every street in the Downtown commercial core has residences with driveways that back out onto a "major" street including:
 - a. Ray Street
 - b. Spring Street
 - c. Railroad Avenue
 - d. W. Angela Street
 - e. Old Bernal Avenue
 - f. Rose Avenue
 - g. Division Street
 - h. St. Mary Street
 - i. Peters Avenue

We rejected a design with **Rear-Facing Garages** for several reasons:

1. It would require a driveway along the east side of the property that borders 363 St. Mary Street
2. We would have to demolish part of the existing home at 377 St. Mary Street to make the driveway wide enough
3. We would lose a significant portion of our mini-plaza to accommodate the driveway

Directly across the street from 377 St. Mary Street is the Kimberly Commons project which has driveways that back directly onto Peters Ave.



We will demolish the existing two-car garage to make room for the three (3) single-family homes in the rear. We will contribute to the in-lieu parking fund for the two (2) parking spaces lost by the garage demolition.

Each new home will have two (2) car, side-by-side, garage parking and two (2) car, side-by-side, driveway parking. We will have four (4) off-street parking spaces for each new single-family home for a total of sixteen (16) off-street spaces.

The site currently has six (6) on-street parking spaces. There will be three (3) on-street parking spaces when the project is completed.

It is our understanding that the two (2) off-street parking spaces currently designated for the existing home at 377 St. Mary St. will not be required to change once we convert the residence to retail:

Pleasanton Municipal Code, Chapter 18.88.020-D:

D. For property zoned C-C or O and located within the downtown revitalization district as shown in Chapter 18.74 of this title, the following requirements shall modify the basic requirements of subsection A of this section:

1. A change of use shall not constitute a "major alteration" or "enlargement" if the age of the building in which the use is located is greater than five years, according to city records.

17. Spanish Colonial Inspiration in Pleasanton



**301 Main Street
Veteran's Memorial Building**



**325 Ray Street
Fountain Creek Plaza**



**800 Main Street
Gregory Frame Store**



707 Main Street – Gas Station



670 St. John Street



4467 Second Street

18. Downtown Disclosure

This is a section we have included in our lease to help protect Downtown businesses against the potential of residential tenants being unaware of the situation they are moving into.

24. **ATTORNEY'S FEES:** If either party to this agreement brings any legal action or proceeding, the prevailing party shall be reimbursed for all reasonable attorney's fees up to \$500 in addition to other damages awarded. Due to the fees that can be charged by attorneys, it is agreed by the parties that both sides will waive their right to a jury trial.
25. **ABANDONMENT:** California Civil Code Section 1991.2 shall govern abandonment. If any rent has remained unpaid for 14 or more consecutive days and the OWNER has a reasonable belief of abandonment of the premises, OWNER shall give 15 days written notice to RESIDENT at any place (including the rental premises) that OWNER has reason to believe RESIDENT may receive said notice of OWNER'S intention to declare the premises abandoned. RESIDENT'S failure to respond to said notice as required by law shall allow OWNER to retake the premises.
26. The undersigned RESIDENTS are jointly and severally responsible and liable for all obligations under this agreement and shall indemnify OWNER for liability caused by the actions (negligence or commission) of RESIDENTS, their guests, and invitees.
27. Pursuant to Section 1794.26 of the California Civil Code, as required by law, you are hereby notified that a negative credit report reflecting on your credit history may be submitted to a credit reporting agency, if you fail to full the terms of your credit obligation. RESIDENT expressly authorizes OWNER/AGENT (including a collection agency) to obtain RESIDENT'S consumer credit report, which OWNER/AGENT may use if attempting to collect past due rent payments, late fees, or other charges from RESIDENT, both during the term of the Agreement and thereafter.
28. **Lead Warning Statement:** Housing built before 1978 may contain lead-based paint. Lead from paint, paint chips and dust pose health hazards if not managed properly. Lead exposure is especially harmful to young children and pregnant women. Before renting pre-1978 housing, OWNERS must disclose the presence of known lead-based paint hazards in the dwelling. RESIDENTS must also receive a federally approved pamphlet on lead poisoning prevention.
- OWNER'S DISCLOSURE (initial)**
 BB OWNER'S initial on left means OWNER has no knowledge of lead-based paint and/or lead-based hazards in or on the Premises and OWNER has no reports or records pertaining to lead-based paint and/or lead-based paint hazards in or on the Premises, or
 (See Attached. (A separate form is attached disclosing OWNER'S information.)
 Agent has informed the tenant of the tenant's obligations under 42 U.S.C. 4552(d) and is aware of his/her responsibility to ensure compliance.
- RENTER'S ACKNOWLEDGEMENT (initial)**
 BB RENTER'S initial (on left) indicate that RENTER has received a copy of a "Protect Your Family from Lead in Your Home", and that RENTER shall notify OWNER promptly (listing) of the deteriorating and/or peeling paint.

29. **BB MOLD:** The OWNER/AGENT has inspected the unit prior to lease and knows of no damp or wet building materials and traces of no mold contamination. RESIDENT agrees to accept full responsibility and maintain the premises in a manner that prevents the occurrence of an infestation of mold in the premises. RESIDENT also agrees to immediately report to the OWNER/AGENT any evidence of water leaks, excessive moisture or lack of proper ventilation and evidence of mold that cannot be removed by cleaning.

30. **DOWNTOWN DISCLOSURE:** The City of Pleasanton permits the operation of a variety of residential, business, cultural, civic and other activities within the downtown specific plan area. You are hereby notified that the property you own, are renting, leasing, using, occupying or acquiring an interest in is located within the downtown specific plan area. You may be subject to impacts, including inconvenience and discomfort, from lawful activities occurring within the downtown specific plan area. Impacts may include, but are not limited to: Noise from music, dancing and voices associated with permitted downtown uses and activities, odors associated with restaurants, business operations and special events, traffic congestion, street closures and traffic rerouting, exclusion of vehicle access to certain areas during special events, increased pedestrian activity, trash and recycling collection, including trash and recycling collection before 6 a.m., railroad operations, including rail activity associated with passenger rail operations, outdoor sales of merchandise and outdoor restaurant seating, festivals, parades and other civic and cultural activities, generally high activity levels occurring on a 24-hour basis, including impacts during late night and early morning hours, high levels of lighting and illumination, and noise and other impacts associated with the operation of any permitted use located in the downtown specific plan area. One or more of the inconveniences described above may occur as a result of downtown operations and activities, which are in compliance with existing laws and regulations and accepted customs and standards. If you own, lease, rent or otherwise utilize property within the downtown specific plan area, you should be prepared to accept such inconveniences or discomfort as a normal and necessary aspect of owning, living in, operating a business in, or otherwise utilizing an area with a vibrant downtown character.

Any dispute or controversy that arises regarding inconveniences or discomforts occasioned by downtown activities, operations, facilities, or uses should be settled by direct negotiation of the parties involved. Any such dispute or controversy that cannot be settled by direct negotiation of the parties involved should be submitted to a private mediator, a community mediation service, or another agency which provides dispute resolution services prior to the filing of any court action. Any costs associated with negotiation, mediation or dispute resolution pursuant to this section shall be borne by the parties.

31. **NOTICES:** All notices to RESIDENT shall be served at RESIDENT'S home and all notices to OWNER / AUTHORIZED PERSON shall be served to

Person Authorized to Manage Property
 Name: Florida Investors, LLC Address: 1525 Sarapinto Lane, Suite 111, Pleasanton, CA 94588
 Phone Number: 925-455-0505

OWNER or a person who is authorized to act for and on behalf of the OWNER for the purpose of service of process and for the purpose of receiving and recording for all notices and demands.
 Name: Bryan Bowers, Florida Investors, LLC Address: 1525 Sarapinto Lane, Suite 111, Pleasanton, CA 94588
 Phone Number: 925-455-0505

Person or Entity Authorized to Receive Payment of Rent
 Name: Bryan Bowers, Florida Investors, LLC Address: 1525 Sarapinto Lane, Suite 111, Pleasanton, CA 94588
 Phone Number: 925-455-0505

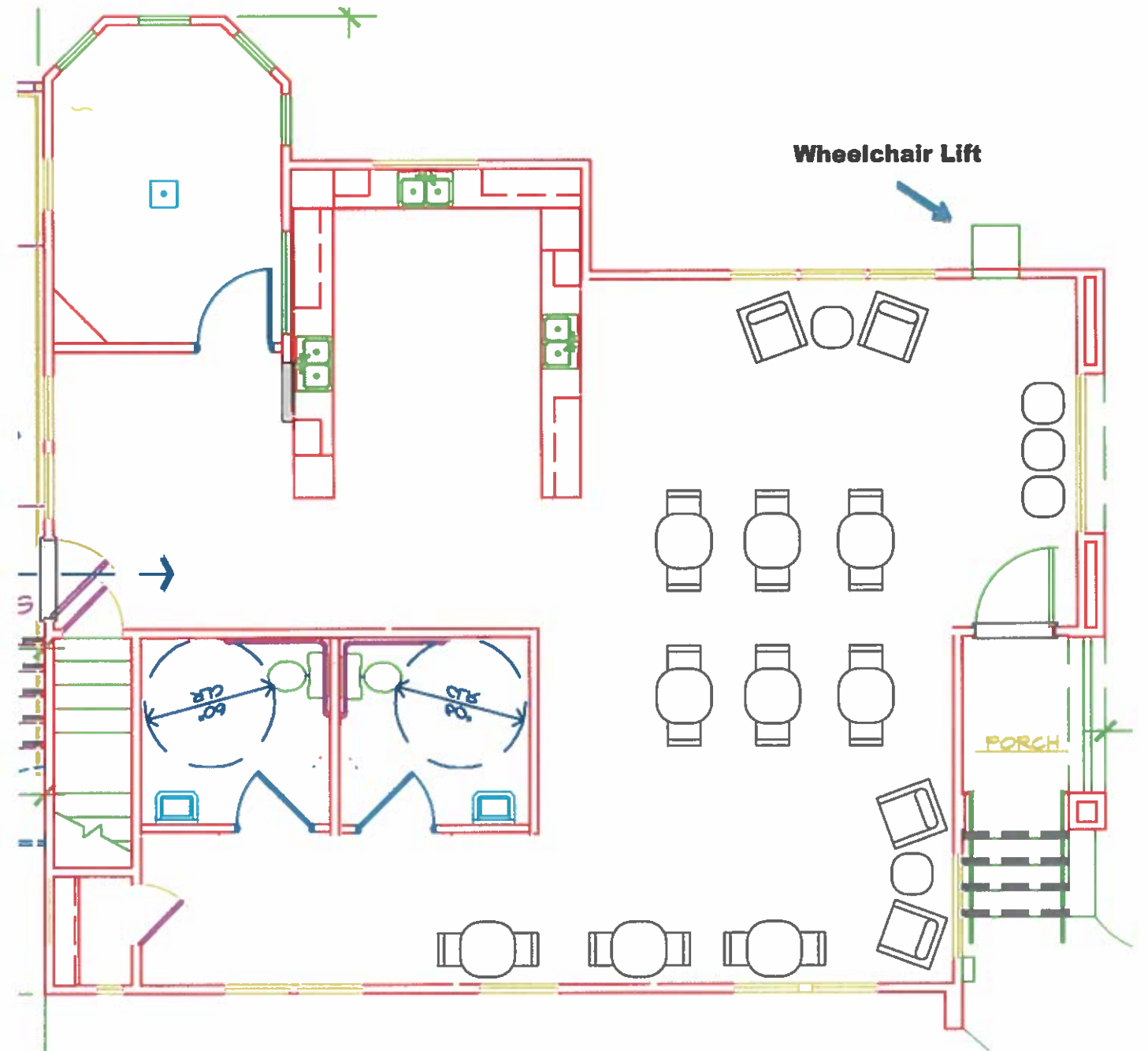
32. **INVENTORY:** The building contains the following items for use by RESIDENT refrigerator, stove, kitchen island / butcher block, cabinet of granite counter top in back room.

RESIDENT further acknowledges that the subject premises are furnished with the additional furnishings listed on the attached inventory and that said attached inventory is hereby made part of this agreement.

INITIAL

BB

19. Coffee Shop Floor Plan (Conceptual)



20. ADA Lift for Commercial Conversion

Apex Wheelchair Lifts – Apex Green

A vertical platform wheelchair lift, the Apex Green is a durable and versatile mobility solution for getting into or moving between floors of a home or commercial building. Installation is easy, and as tough outdoor conditions are no match, the Apex Green can be added in practically any location – indoors or outside.

Safety and ease of use go into every Apex Green model. The vertical wheelchair lift supports up to 750 pounds, and a skid-free surface improves stability. Safety sensors add a further layer of protection, halting the lift if an obstruction is detected.

For expanding mobility and independence inside a residential or commercial structure, the Apex Green travels a maximum of six feet. In your home or workplace, offer wheelchair users an economical alternative to extensive ramps and increase all-around accessibility with the Apex Green.

Standard Features

- 8 fpm rated speed
- Screw drive system
- Standard platform of 34" W by 54" deep
- 42" high side guard panels
- Travel capability of up to 6 feet
- No pit required (3" pit recommended to avoid need for ramp)
- Emergency manual lowering
- Anti-skid surface on platform floor
- 16" automatic access ramp
- Safety under-panel sensor to detect object in downward path
- Constant pressure up/down buttons
- Emergency stop button
- Easy installation
- 115 VAC operation

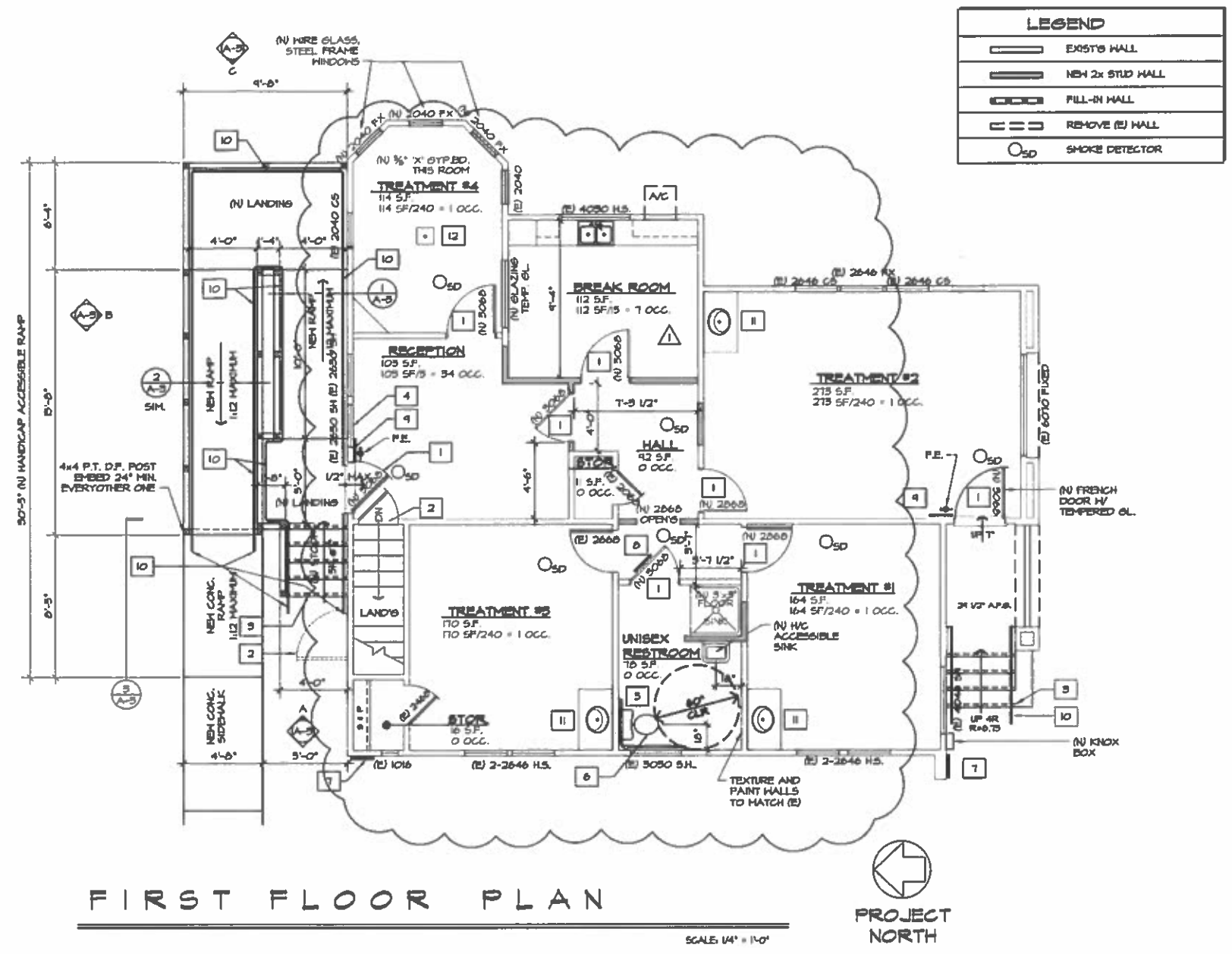
Optional Features

- Landing gates or landing doors
- Public building package

<http://www.apexwheelchairlifts.com/apex-green.php>



21. Existing Structure Floor Plan



- NOTES:**
- PROVIDE NEW 3068 DOOR WITH LEVER TYPE LOCK SET. DOOR OPENING EFFORTS: 8.5 LBS AT EXTERIOR, 5 LBS AT INTERIOR. ALL DOORS EQUIPPED WITH SINGLE-EFFORT, NON-GRASP HARDWARE (E.G., LEVER), CENTERED BETWEEN 50" AND 44" ABOVE FLOOR.
 - BASINENT DOORS TO REMAINED LOCK AT ALL TIMES. BASINENT TO BE USED FOR TEMPORARY STORAGE.
 - PROVIDE THE UPPER APPROACH AND LOWER TREAD OF EACH STAIR SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2 INCHES WIDE PLACE PARALLEL TO AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. SEE DETAIL 4/A-0.2.
 - PROVIDE SAFETY GLASS OR TEMPERED GLAZING AT LOCATIONS WITHIN A 24 INCH ARC ON EITHER SIDE OF SHINING DOORS.
 - PROVIDE NEW GRAB BAR SET AT EXISTING TOILET FOR REQUIRED ACCESSIBILITY. SEE DETAIL 2/A-0.2.
 - HEIGHT OF WATER CLOSET SEAT SHALL BE BETWEEN 17 AND 19 INCHES MEASURED TO THE TOP OF A 2-INCH TOILET SEAT. SEE DETAIL 2/A-0.2.
 - ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES SHALL BE IDENTIFIED WITH A MINIMUM OF ONE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, UTILIZING THE SYMBOL, AT JUNCTIONS. TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS. PROVIDE ADDITIONAL SIGNAGE AT FRONT ENTRANCE DIRECTING HANDICAP TRAFFIC TO ACCESSIBLE ENTRANCE AT REAR OF BUILDING. SEE 6/A-0.2.
 - PROVIDE REQUIRED IDENTIFICATION SYMBOLS ON THE DOORS TO THE SANITARY FACILITIES. SEE DETAIL 1/A-0.2.
 - SEE DETAIL 3 SHEET A-0.2 FOR EXIT SIGNAGE.
 - HANDRAILS SHALL NOT BE INTERRUPTED, AND SHALL NOT ROTATE WITHIN THEIR FITTINGS, TYP. HANDRAILS SHALL BE 34" TO 36" ABV NOSINGS, EXTENDING 12" BEYOND TOP RISER AND 12" + WIDTH OF TREAD @ BTH, TYP. SEE HANDRAIL DETAIL 4/A-0.2.
 - PROVIDE NEW VANITY AND CABINET PER TENANT'S SELECTION.
 - PROVIDE NEW 12"x12" FLOOR SINK.

REVISIONS	BY
5/24/05 CHANGES BY TENANT	B.P.

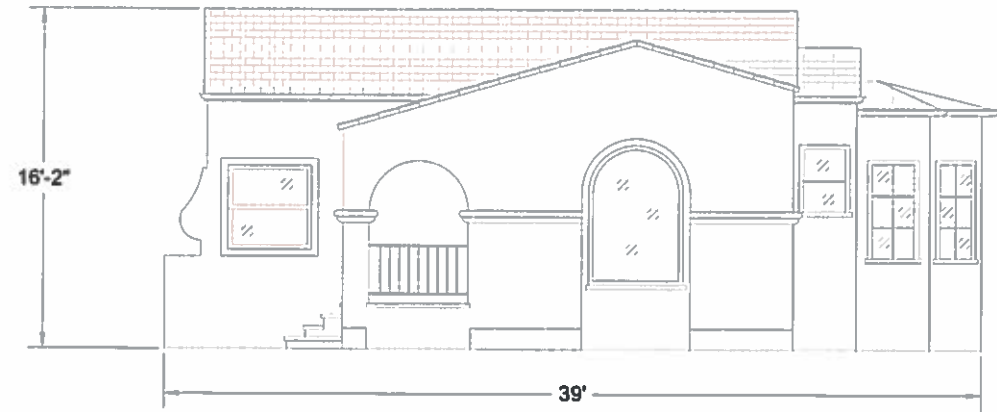
Peter G. Shotts AIA
 Architecture Planning
 4133 Mohr Avenue
 Pleasanton, California 94566
 (925) 484-0803



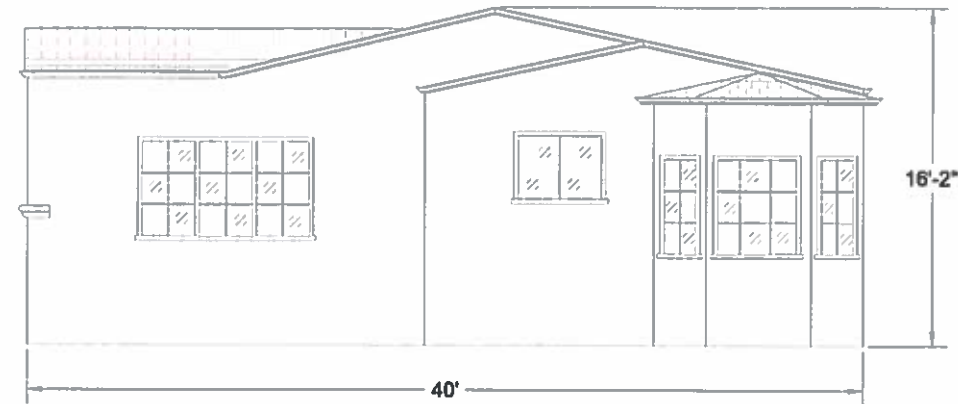
RESIDENTIAL CONVERSION TO OFFICE FOR
VERONICA KRELL AND KEN HORTON
 284 MAIN STREET, SUITE B
 PLEASANTON, CALIFORNIA 94566
 925-216-1126

BY	B.P.
DATE	5/24/05
SCALE	AS NOTED
NO.	0520

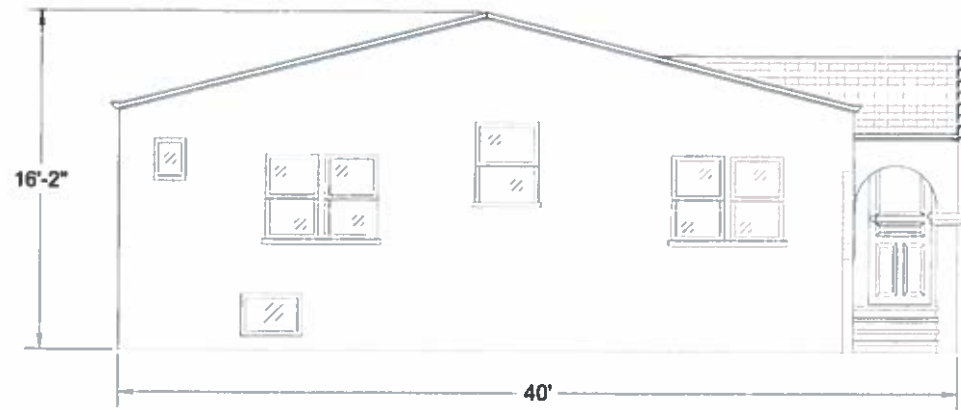
A-2



FRONT ELEVATION



RIGHT-SIDE ELEVATION



LEFT-SIDE ELEVATION



REAR ELEVATION

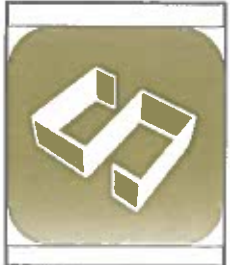
1
A1.0

EXISTING EXTERIOR
ELEVATIONS

SCALE: 1/4" = 1'-0"

REV:
DATE:

PROJECT: **ST. MARYS DEVELOPMENT**
377 ST. MARYS STREET, PLEASANTON CA 94566



SEIGO DESIGNS
6754 BERNAL AVE #740-118
PLEASANTON, CA 94566
(925) 399-1487

DATE:
9/3/15

DRAWN BY:
JMW

SHEET:
A1.0

Exhibit A. Dahlin - Architectural Development Submittal



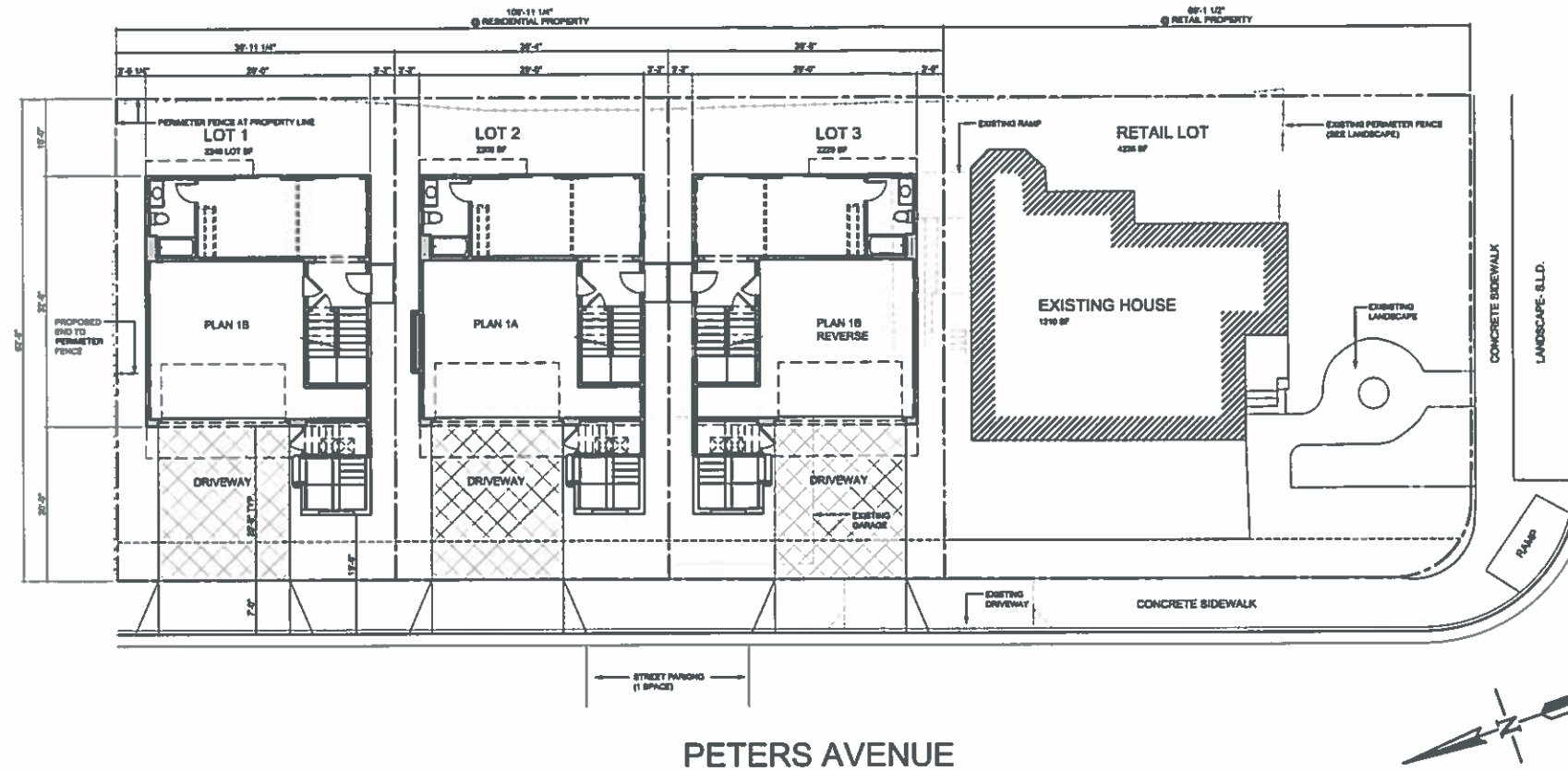
ST. MARY'S ST.

377 ST. MARY'S STREET
PLEASANTON, CALIFORNIA
ARCH DEVELOPMENT SUBMITTAL
BY FIRESIDE INVESTORS, L.L.C.



JOB NO. 1249.001
DATE 09-22-15
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.1



CONCEPT SITE PLAN

SCALE 1" = 10'

PROJECT DESCRIPTION

ZONING DISTRICT: C-C
 BUILDING OCCUPANCY: R3 OCCUPANCY
 CONSTRUCTION: VB

UNIT DESCRIPTION

PLAN 1A
 1 UNIT
 UNIT INFO: 4 BED/ 3.5 BA / 2-CAR
 TOTAL LIVING AREA: 2432 SF
 GARAGE AREA: 502 SF
 EXTERIOR STAIRS: 108 SF
 TOTAL BLDG AREA: 1061 SF

PLAN 1B
 2 UNITS
 UNIT INFO: 4 BED/ 3.5 BA / 2-CAR
 TOTAL LIVING AREA: 2373 SF
 GARAGE AREA: 502 SF
 EXTERIOR STAIRS: 108 SF
 TOTAL BLDG AREA: 1061 SF
 TOTAL UNITS: 3 UNITS

TOTAL REQUIRED PARKING: 6 SPACES (2/ UNIT)
 TOTAL PROVIDED PARKING: 12 SPACES

RETAIL DESCRIPTION

EXISTING RETAIL BLDG AREA: 1210 SF
 RETAIL LOT AREA: 4238 SF

RESIDENTIAL LAND USE

LOT 1 COVERAGE

BUILDING COVERAGE	SF	AC	%
TOTAL BLDG AREA (PLAN 1B):	1061 SF	.024	47%

SITE COVERAGE

IMPERVIOUS DRIVEWAY:	340 SF	.008	16%
OPEN SPACE:	826 SF	.019	37%
TOTAL LOT AREA:	2246 SF	.052	100%

LOT 2 COVERAGE

BUILDING COVERAGE	SF	AC	%
TOTAL BLDG AREA (PLAN 1A):	1061 SF	.024	48%

SITE COVERAGE

IMPERVIOUS DRIVEWAY:	340 SF	.008	15%
OPEN SPACE:	826 SF	.019	37%
TOTAL LOT AREA:	2208 SF	.051	100%

LOT 3 COVERAGE

BUILDING COVERAGE	SF	AC	%
TOTAL BLDG AREA (PLAN 1B):	1061 SF	.024	47%

SITE COVERAGE

IMPERVIOUS DRIVEWAY:	340 SF	.008	16%
OPEN SPACE:	826 SF	.019	37%
TOTAL LOT AREA:	2229 SF	.051	100%

RESIDENTIAL DENSITY/ FAR

PROJECT AREA CALCS.

DWELLING UNITS:	3 DU
TOTAL SITE AREA:	.15 AC
TOTAL DENSITY:	20 DU / AC

LOT 1 FLOOR AREA RATIO

TOTAL FLOOR AREA:	2373 SF
TOTAL LOT AREA:	2246 SF
FLOOR AREA RATIO:	1.06

LOT 2 FLOOR AREA RATIO

TOTAL FLOOR AREA:	2432 SF
TOTAL LOT AREA:	2208 SF
FLOOR AREA RATIO:	1.10

LOT 3 FLOOR AREA RATIO

TOTAL FLOOR AREA:	2373 SF
TOTAL LOT AREA:	2229 SF
FLOOR AREA RATIO:	1.06

377 ST. MARY'S STREET IN PLEASANTON, CA
 BY FIRESIDE INVESTORS, L.L.C.

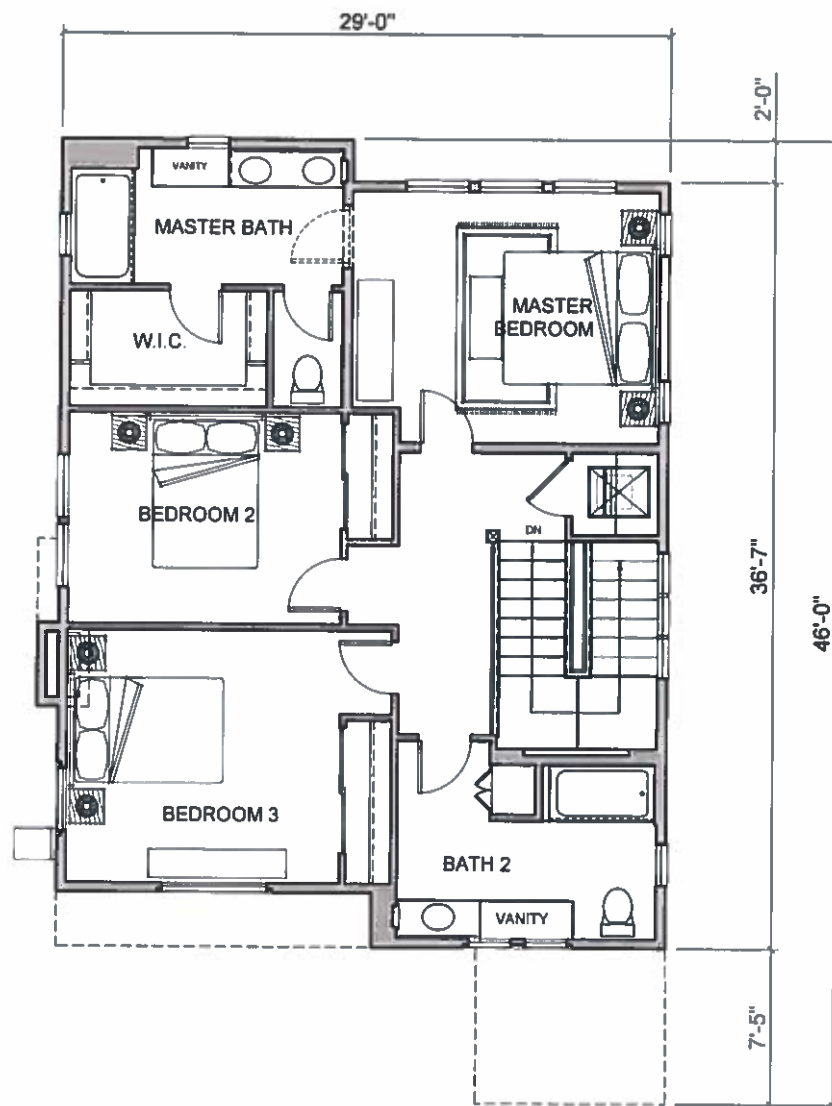


CONCEPT SITE PLAN
 SCALE 1" = 10'

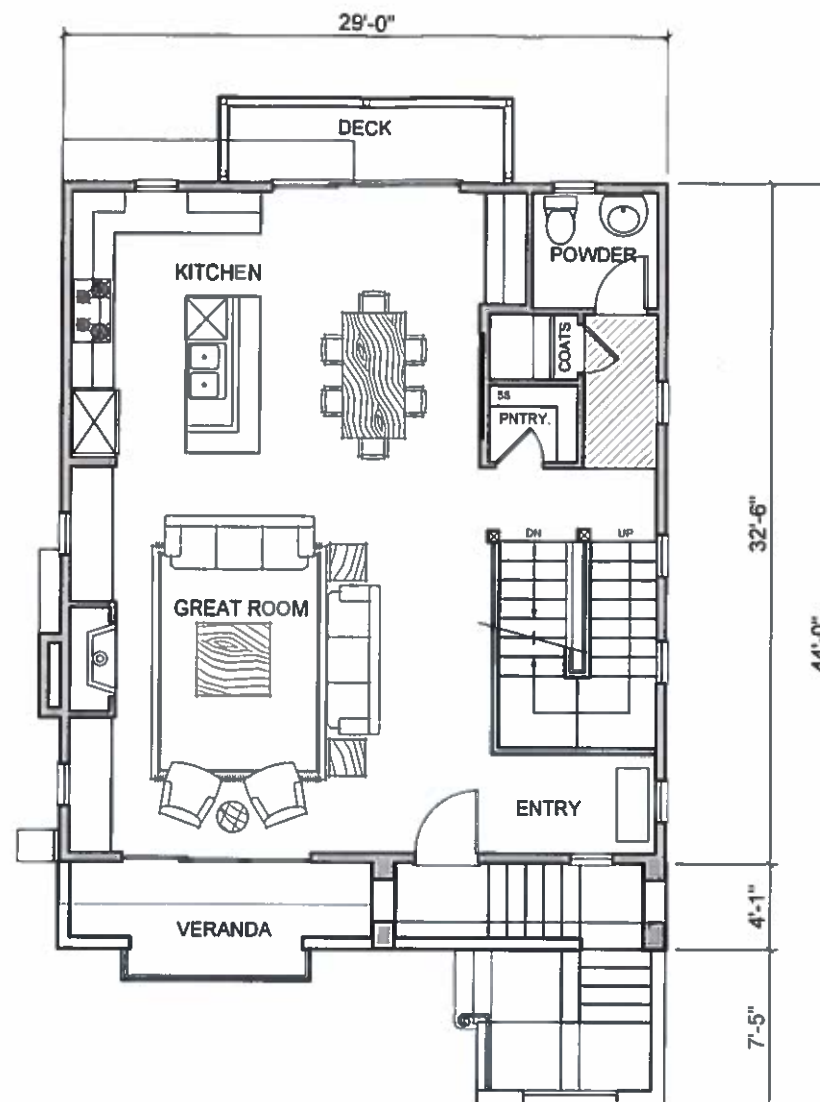


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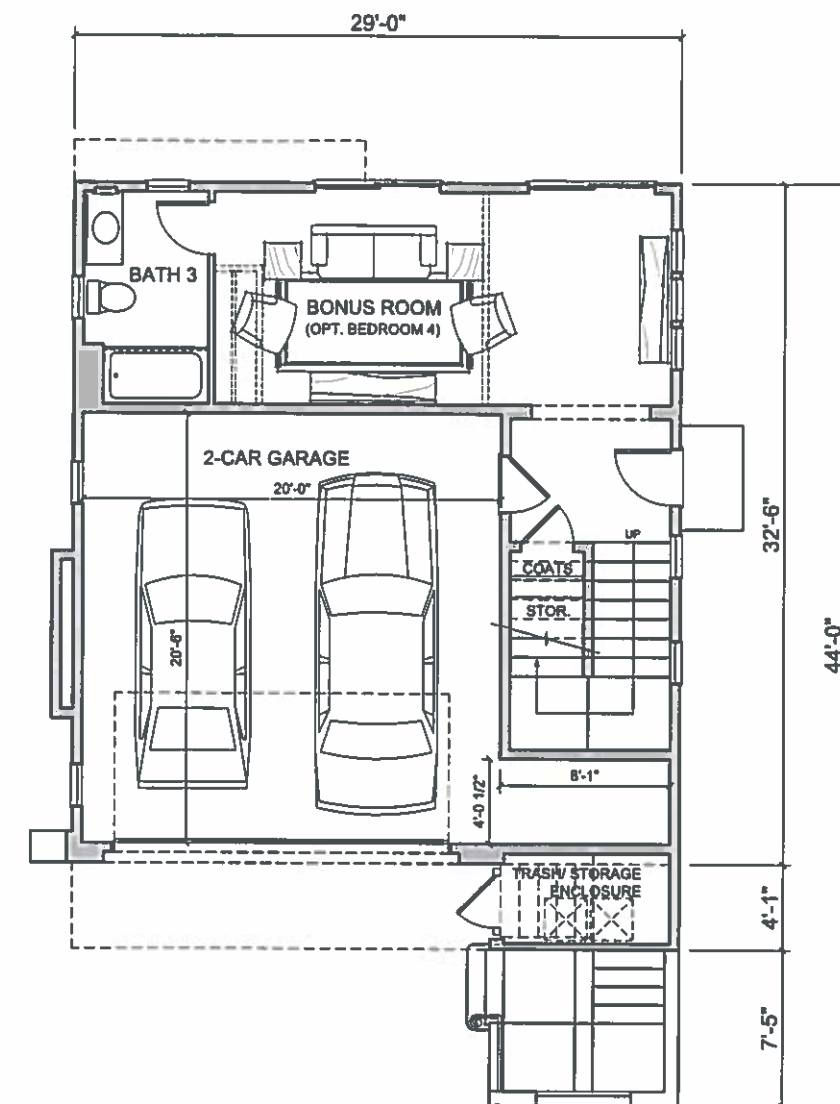
A.2



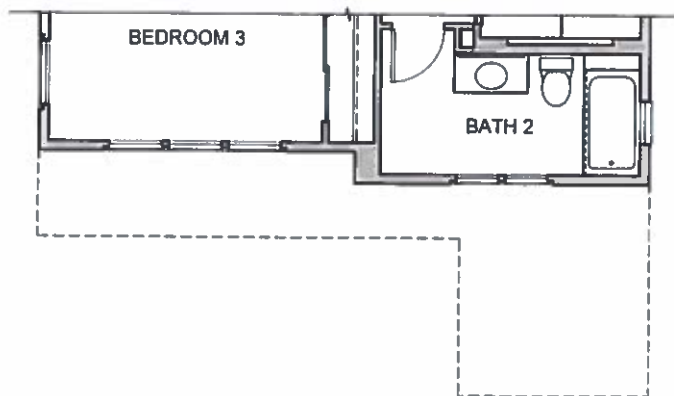
SECOND FLOOR PLAN A



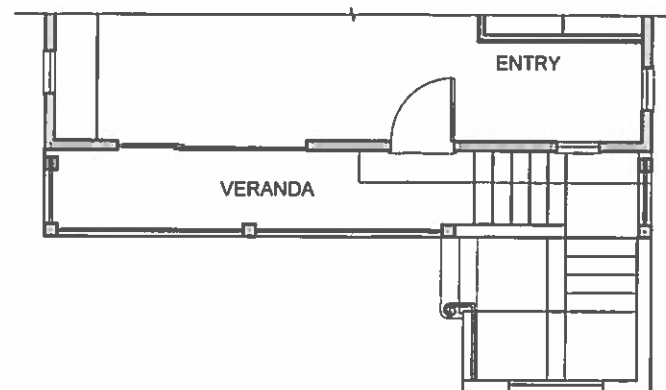
FIRST FLOOR PLAN A



GROUND FLOOR PLANS A & B



SECOND FLOOR PARTIAL @ PLAN B



FIRST FLOOR PARTIAL @ PLAN B

PLAN AREAS

PLANS	SQ. FOOTAGE
PLAN 1A	2432 SF
PLAN 1B	2373 SF

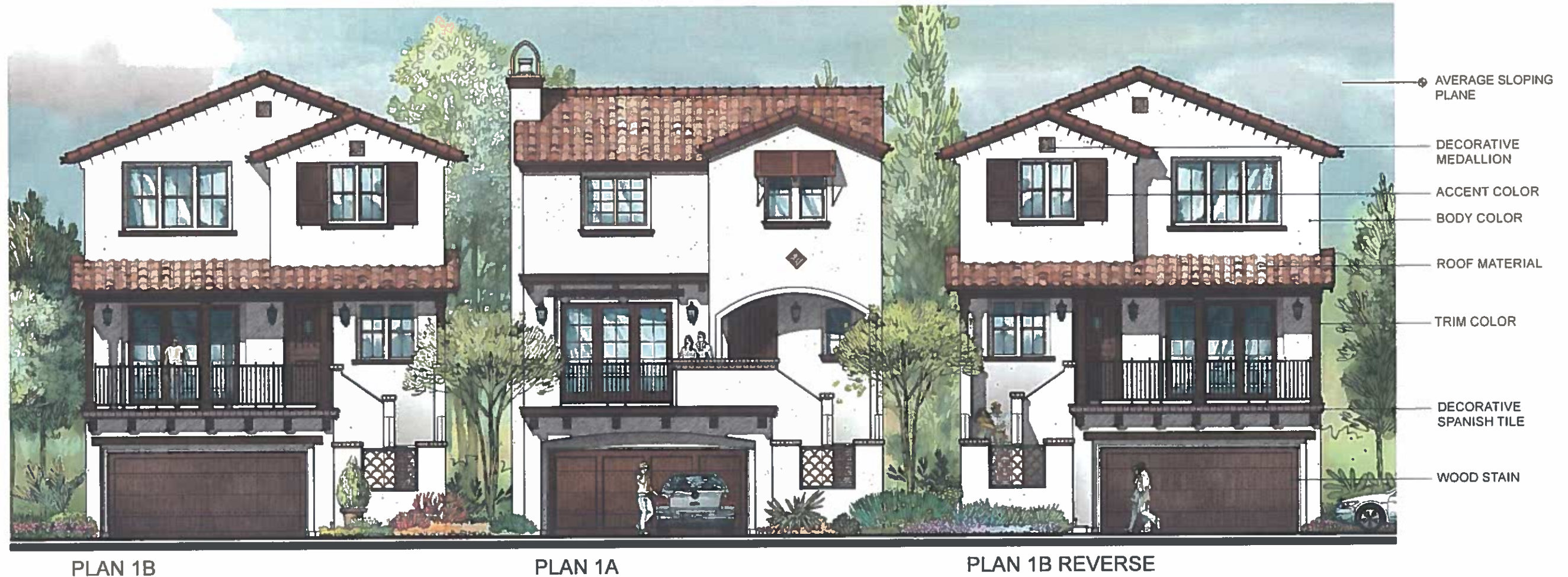
NOTE: PROPOSED NEW HOMES WILL REQUIRE FIRE SPRINKLERS IN ACCORDANCE WITH THE LOCAL CITY ORDINANCE.

FLOOR PLANS A & B

377 ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS, L.L.C.



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PLAN 1B

PLAN 1A

PLAN 1B REVERSE

FRONT ELEVATIONS

COLOR SCHEMES

SCHEME	ROOF MATERIAL	TRIM COLOR*	BODY COLOR	WOOD STAIN COLOR	ACCENT COLOR**	DECORATIVE SPANISH TILE	DECORATIVE MEDALLION
1	TUSCANY BLEND ONE PIECE 'S' CLAY ROOF TILE BY BORAL ROOFING	FRENCH ROAST SW 6069 BY SHERWIN WILLIAMS	EXTRA WHITE SW 7006 BY SHERWIN WILLIAMS	CHESTNUT SW 3524 BY SHERWIN WILLIAMS	COPPER MOUNTAIN SW 6356 BY SHERWIN WILLIAMS	VILLAFRANCA 5 TERRA NOVA MED. CERAMIC TILE BY TIERRA Y FUEGO OR EQ.	MOUCHETTE MEDALLION TERRA CLAY SCULPTSTONE FINISH BY PINEAPPLE GROVE DESIGNS OR EQ.
2	PALERMO BLEND ONE PIECE 'S' CLAY ROOF TILE BY BORAL ROOFING	VAN DYKE BROWN SW 7041 BY SHERWIN WILLIAMS	EXTRA WHITE SW 7006 BY SHERWIN WILLIAMS	CHARWOOD SW 3542 BY SHERWIN WILLIAMS	CHARWOOD SW 3542 BY SHERWIN WILLIAMS	PIACENZA TERRA NOVA MED. CERAMIC TILE BY TIERRA Y FUEGO OR EQ.	ORB & LATTICE MEDALLION TERRA CLAY SCULPTSTONE FINISH BY PINEAPPLE GROVE DESIGNS OR EQ.

* PAINT COLOR AT TRIM SHOULD BE APPLIED TO ALL EXPOSED SIDES OF TRIM NOT JUST THE FRONT FACE.
 ** ALL DECORATIVE WROUGHT IRON ELEMENTS TO BE INKWELL SW 6992 BY SHERWIN WILLIAMS

NOTE: SCHEME 1 SHOWN ON PLAN 1A

STREETSCAPE -
FRONT ELEVATIONS



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A.34

377 ST. MARY'S STREET IN PLEASANTON, CA
 BY FIRESIDE INVESTORS, L.L.C.



PLAN 1A

LEFT ELEVATION



PLAN 1A

FRONT ELEVATION

PLAN 1A ELEVATIONS



JOB NO. 1249 001

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A.5

377 ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS, L.L.C.



PLAN 1A

RIGHT ELEVATION



PLAN 1A

REAR ELEVATION

PLAN 1A ELEVATIONS



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PLAN 1B

LEFT ELEVATION



PLAN 1B

FRONT ELEVATION

PLAN 1B ELEVATIONS



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A.7

377 ST. MARY'S STREET IN PLEASANTON, CA
 BY FIRESIDE INVESTORS, L.L.C.



PLAN 1B

RIGHT ELEVATION



PLAN 1B

REAR ELEVATION

PLAN 1B ELEVATIONS



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A.8

377 ST. MARY'S STREET IN PLEASANTON, CA
 BY FIRESIDE INVESTORS, L.L.C.



PLAN 1B REVERSE

PLAN 1A

PLAN 1B

REAR ELEVATIONS

REAR ELEVATIONS

377 ST. MARY'S STREET IN PLEASANTON, CA
 BY FIRESIDE INVESTORS, L.L.C.

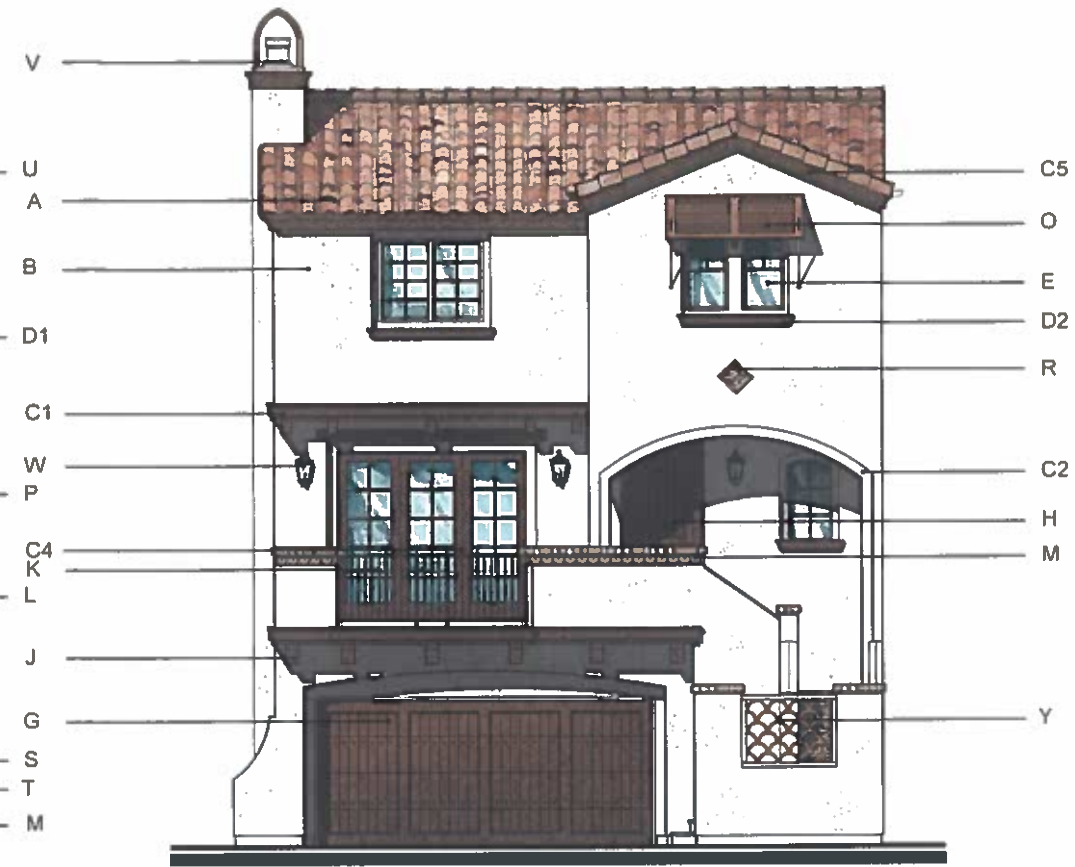


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 DATE 09-22-15
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A.49



PLAN 1A
LEFT ELEVATION



PLAN 1A
FRONT ELEVATION

MATERIALS

KEYNOTE	MATERIAL
A	CONCRETE 'S' TILE ROOF
B	SMOOTH STUCCO SYSTEM
C1	2X3 or 2X6 or 2X10 CEMENTITIOUS TRIM
C2	FOAM SURROUND
C3	TILE SURROUND
C4	BRICK WALL CAP
C5	FOAM SHAPED EAVE AND RAKE TRIM
D1	CEMENTITIOUS WINDOW TRIM - 3x4 SILL
D2	FOAM WINDOW TRIM - SHAPED PROFILE SILL
D3	FOAM WINDOW TRIM - 2X3 SURROUND
E	WOOD CLAD VINYL WINDOW
F	WOOD GARAGE DOOR TRIM - 3x8 HEAD
G	SECTIONAL GARAGE DOOR
H	WOOD CLAD FRONT DOOR

KEYNOTE	MATERIAL
I	8x8 WOOD POST
J	WOOD CORBEL
K	DECORATIVE WROUGHT IRON RAILING
L	DECORATIVE WOOD RAILING
M	DECORATIVE TILE
N	SCALLOPED GABLE-END STUCCO DETAIL
O	DECORATIVE METAL BAHAMA SHUTTER
P	DECORATIVE WOOD SHUTTER
Q	DECORATIVE WROUGHT IRON GRILLE
R	DECORATIVE TILE BY PINEAPPLE GROVE OR EQ.
S	CURVED STUCCO WING WALL
T	DECORATIVE WOOD GATE
U	CLAY TILE VENTS
V	DECORATIVE CHIMNEY
W	'CARRIAGE' EXTERIOR LIGHT
X	3x8 WOOD BARGE BOARD
Y	DECORATIVE STACKED CLAY TILE RAILING

MATERIALS



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PLAN 1B
LEFT ELEVATION



PLAN 1B
FRONT ELEVATION

MATERIALS

KEYNOTE	MATERIAL
A	CONCRETE 'S' TILE ROOF
B	SMOOTH STUCCO SYSTEM
C1	2X3 of 2X6 of 2X10 CEMENTITIOUS TRIM
C2	FOAM SURROUND
C3	TILE SURROUND
C4	BRICK WALL CAP
C5	FOAM SHAPED EAVE AND RAKE TRIM
D1	CEMENTITIOUS WINDOW TRIM - 3x4 SILL
D2	FOAM WINDOW TRIM - SHAPED PROFILE SILL
D3	FOAM WINDOW TRIM - 2X3 SURROUND
E	WOOD CLAD VINYL WINDOW
F	WOOD GARAGE DOOR TRIM - 3x8 HEAD
G	SECTIONAL GARAGE DOOR
H	WOOD CLAD FRONT DOOR

KEYNOTE	MATERIAL
I	8x8 WOOD POST
J	WOOD CORBEL
K	DECORATIVE WROUGHT IRON RAILING
L	DECORATIVE WOOD RAILING
M	DECORATIVE TILE
N	SCALLOPED GABLE-END STUCCO DETAIL
O	DECORATIVE METAL BAHAMA SHUTTER
P	DECORATIVE WOOD SHUTTER
Q	DECORATIVE WROUGHT IRON GRILLE
R	DECORATIVE TILE BY PINEAPPLE GROVE OR EQ.
S	CURVED STUCCO WING WALL
T	DECORATIVE WOOD GATE
U	CLAY TILE VENTS
V	DECORATIVE CHIMNEY
W	'CARRIAGE' EXTERIOR LIGHT
X	3x8 WOOD BARGE BOARD
Y	DECORATIVE STACKED CLAY TILE RAILING

MATERIALS



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DATE 08-14-15
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A.11

377 ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS, L.L.C.



IMAGE BOARD

NTS



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DATE 08-14-15

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925-251-7200



A.12

377 ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS, L.L.C.



PLAN 1A
FRONT ELEVATION

PROJECT IMAGERY CONCEPTS

[ALL IMAGERY IS SIMILAR OR EQUAL TO ELEMENTS AND COLORS THAT WILL BE PROVIDED.]

377 ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS, L.L.C.



NTS
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PLAN 1A
RIGHT ELEVATION

PROJECT IMAGERY CONCEPTS
[ALL IMAGERY IS SIMILAR OR EQUAL TO ELEMENTS AND COLORS THAT WILL BE PROVIDED.]



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377 ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS, L.L.C.



A.14



PLAN 1A
LEFT ELEVATION

PROJECT IMAGERY CONCEPTS

[ALL IMAGERY IS SIMILAR OR EQUAL TO ELEMENTS AND COLORS THAT WILL BE PROVIDED.]



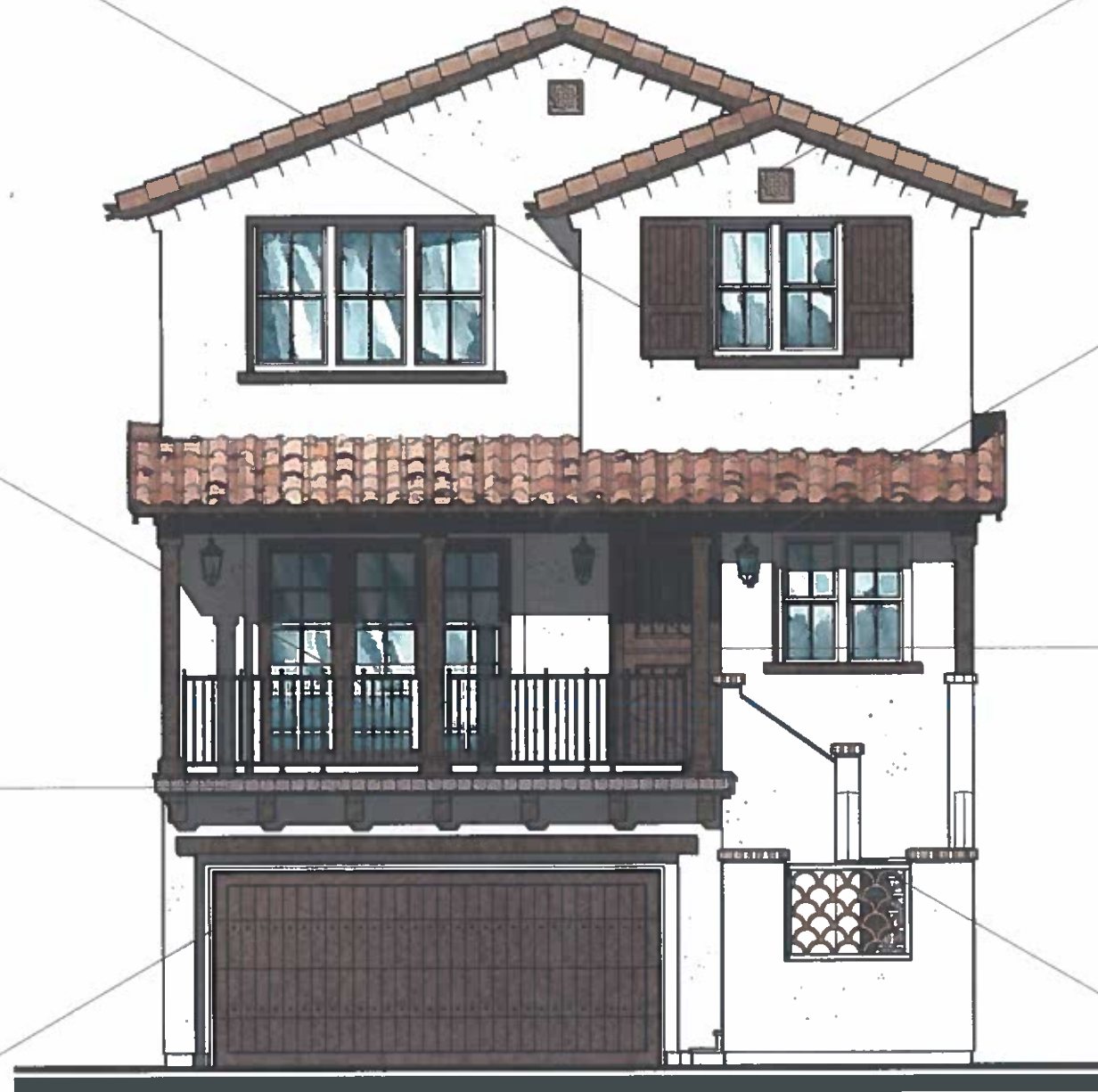
377 ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS, L.L.C.



NTS

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DATE	08-14-15
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A.15



PLAN 1B
FRONT ELEVATION

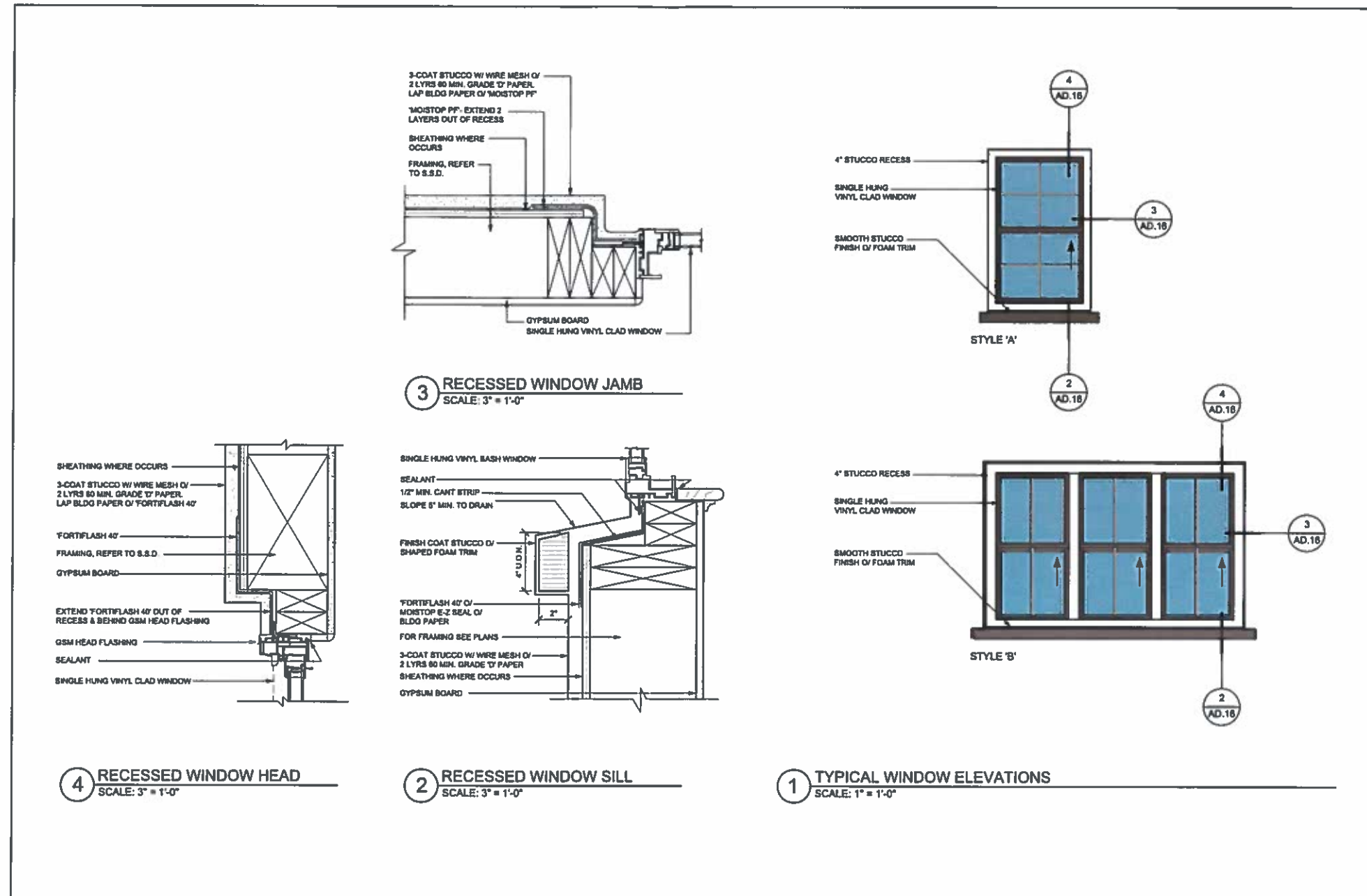
PROJECT IMAGERY CONCEPTS
[ALL IMAGERY IS SIMILAR OR EQUAL TO ELEMENTS AND COLORS THAT WILL BE PROVIDED.]

NTS
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377 ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS, L.L.C.



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TYPICAL WINDOW DETAILS

TYPICAL WINDOW DETAILS



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A.17

377 ST. MARY'S STREET IN PLEASANTON, CA
 BY FIRESIDE INVESTORS, L.L.C.



3D MODELING -
FRONT ELEVATIONS
NTS



JOB NO. 1249.001

DATE 09-22-15

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.18

377 ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS, L.L.C.





3D MODELING -
RIGHT STREET VIEW
NTS



JOB NO. 1249 001
DATE 09-22-15
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A.19

377 ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS, L.L.C.





3D MODELING -
LEFT STREET VIEW
NTS



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DATE 09-22-15
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Pleasanton, CA 94588
925-251-7200

A.20

377 ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS, L.L.C.





377 ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS, L.L.C.

3D MODELING -
REAR ELEVATIONS
NTS



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DATE 09-22-15
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A.21

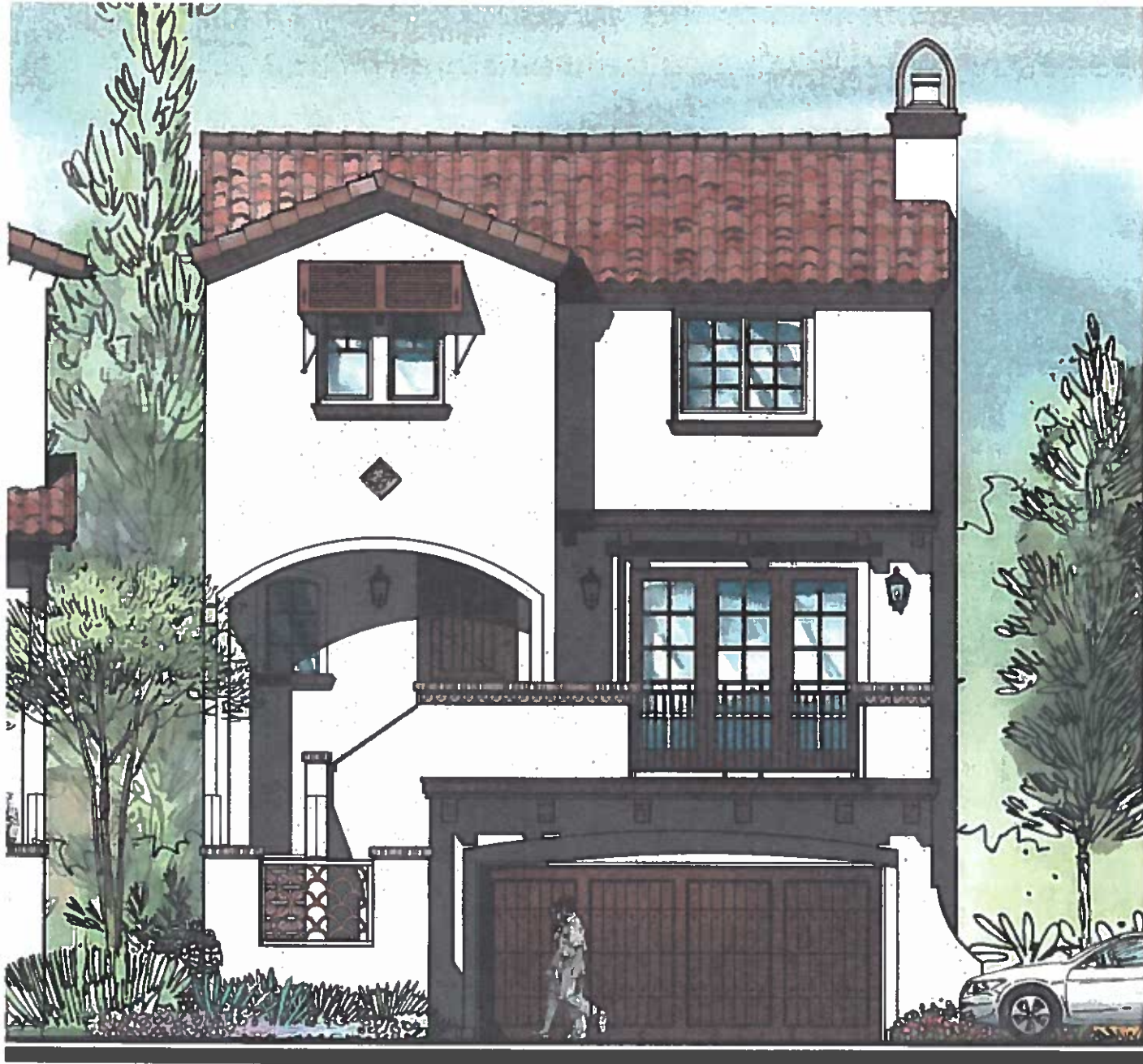
Exhibit B. Dahlin – Color and Material Boards

ST. MARY'S ST.

COLOR AND MATERIAL BOARDS

ST. MARY'S ST.

COLOR AND MATERIAL BOARDS



COLOR SCHEME MATRIX

{For elevation details and materials, please reference the arch development submittal.}

COLOR SCHEME	1	2
ROOF MATERIAL	TUSCANY BLEND CONCRETE 'S' TILE BY BORAL ROOFING	PALERMO BLEND CONCRETE 'S' TILE BY BORAL ROOFING
TRIM COLOR*	FRENCH ROAST SW 6069 BY SHERWIN WILLIAMS	VAN DYKE BROWN SW 7041 BY SHERWIN WILLIAMS
BODY COLOR	EXTRA WHITE SW 7006 BY SHERWIN WILLIAMS	EXTRA WHITE SW 7006 BY SHERWIN WILLIAMS
WOOD STAIN COLOR	CHESTNUT SW 3524 BY SHERWIN WILLIAMS	CHARWOOD SW 3542 BY SHERWIN WILLIAMS
ACCENT COLOR**	COPPER MOUNTAIN SW 6356 BY SHERWIN WILLIAMS	CHARWOOD SW 3542 BY SHERWIN WILLIAMS
DECORATIVE SPANISH TILE	VILLAFRANCA 5 TERRA NOVA MEDITERRA- NEO CERAMIC TILE BY TIERRA Y FUEGO [OR EQUAL]	PIACENZA TERRA NOVA MEDITERRANEO CERAMIC TILE BY TIERRA Y FUEGO [OR EQUAL]
DECORATIVE MEDALLION	MOUCHETTE MEDALLION 068 TERRA CLAY SCULPTSTONE FINISH BY PINEAPPLE GROVE DESIGNS [OR EQUAL]	ORB & LATTICE MEDALLION 062 TERRA CLAY SCULPTSTONE FINISH BY PINEAPPLE GROVE DESIGNS [OR EQUAL]

* Paint color at trim should be applied to all exposed sides of trim not just the front face.

** All decorative wrought iron elements to be *Inkwell* SW 6992 by Sherwin Williams

ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS

DAHLIN
group

JOB NO. 1249.001
DATE 07.20.15
5885 Owens Drive
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ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS

DAHLIN
group

JOB NO. 1249.001
DATE 07.20.15
5885 Owens Drive
Pleasanton, CA 94588
925-251-7200

ST. MARY'S ST.

COLOR AND MATERIAL BOARDS



ROOF MATERIAL
CONCRETE 'S' TILE
Tuscany Blend Concrete 'S' Tile by Boral Roofing



TRIM COLOR
**WINDOW TRIM, TRIM ACCENTS, FASCIA & EAVE DETAILS,
 WOOD BEAMS, CORBELS AND POSTS**
French Roast SW 6069 by Sherwin Williams



BODY COLOR
STUCCO EXTERIOR WALL MATERIAL
Extra White SW 7006 by Sherwin Williams



WOOD STAIN COLOR
ENTRY DOOR AND GARAGE DOOR
Chestnut SW 3524 by Sherwin Williams



ACCENT COLOR 1
SHUTTERS
Copper Mountain SW 6356 by Sherwin Williams



ACCENT COLOR 2
WROUGHT IRON DETAILS
Inkwell SW 6992 by Sherwin Williams

NOTE: Color Samples may vary from their true color with different printers and computer monitors.

SCHEME 1
ELEV. STYLE 'A'

ST. MARY'S STREET IN PLEASANTON, CA
 BY FIRESIDE INVESTORS

DAHLIN
 group

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ST. MARY'S ST.

COLOR AND MATERIAL BOARDS



ROOF MATERIAL
CONCRETE 'S' TILE
Palermo Blend Concrete 'S' Tile by Boral Roofing



TRIM COLOR
**WINDOW TRIM, TRIM ACCENTS, FASCIA & EAVE DETAILS,
 WOOD BEAMS, CORBELS AND POSTS**
Van Dyke Brown SW 7041 by Sherwin Williams



BODY COLOR
STUCCO EXTERIOR WALL MATERIAL
Extra White SW 7006 by Sherwin Williams



WOOD STAIN COLOR
ENTRY DOOR, GARAGE DOOR, AND SHUTTERS
Charwood SW 3542 by Sherwin Williams



ACCENT COLOR
WROUGHT IRON DETAILS
Inkwell SW 6992 by Sherwin Williams

NOTE: Color Samples may vary from their true color with different printers and computer monitors.

SCHEME 2
ELEV. STYLE 'B'

ST. MARY'S STREET IN PLEASANTON, CA
 BY FIRESIDE INVESTORS

DAHLIN
 group

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ST. MARY'S ST.

COLOR AND MATERIAL BOARDS



SCHEME 1

DECORATIVE SPANISH TILE
Villafranca 5
Terra Nova Mediterraneo Ceramic Tile
by Tierra Y Fuego or EQ.



DECORATIVE MEDALLION
Mouchette Medallion 068
Terra Clay Sculptstone Finish
by Pineapple Grove Designs or EQ.

SCHEME 2

DECORATIVE SPANISH TILE
Piacenza
Terra Nova Mediterraneo Ceramic Tile
by Tierra Y Fuego or EQ.



DECORATIVE MEDALLION
Orb & Lattice Medallion 062
Terra Clay Sculptstone Finish
by Pineapple Grove Designs or EQ.



DECORATIVE TILES

NOTE: Color Samples may vary from their true color with different printers and computer monitors.

ST. MARY'S STREET IN PLEASANTON, CA
BY FIRESIDE INVESTORS



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Exhibit C. Proposed PUD Uses List

PROPOSED PERMITTED AND CONDITIONAL USES

FOR 377 ST. MARY STREET

The following uses shall be permitted uses or conditional uses in a C district where the symbol "P" for permitted use, "C" for conditional use, or "TC" for temporary conditional use appears in the column beneath the C district:	
PROPOSED PUD USES	
Wine Bar	P
Tapas Restaurant	P
Ice Cream / Dessert Bar	P
Coffee Shop and/or Roastery	P
Bakery	P
Gastropub	P
Beer Garden	P
PROPOSED PUD USES	
Accessory uses and structures, not including warehouses, located on the same site as a permitted use and the following accessory structures and uses located on the same site with a permitted use or with a conditional use which has been granted a use permit in accord with the provisions of Chapter 18.124 of this title:	
1. Emergency standby electricity generator, fuel cell, and/or battery facilities provided that the facilities shall be tested from 8:00 a.m. to 5:00 p.m. Monday through Friday or from 10:00 a.m. to 12:00 noon on Saturday or Sunday only, the facilities shall not be tested for more than one hour during any day, and no testing shall be on "Spare the Air Days" in Alameda County	P
2. Photovoltaic facilities	P
3. Small electricity generator facilities that meet the following criteria:	
f. The facilities shall be cogeneration or combined cycle facilities, if feasible	P
4. Small fuel cell facilities that meet the following criteria:	
a. The facilities shall not create any objectionable odors at any point outside of the property plane where the facilities are located	
b. The fuel cell facilities shall not exceed a noise level of 45 dBA at any point on any residentially zoned property outside of the property plane where the facilities are located	
c. On a site with electricity generator facilities, small fuel cell facilities shall not be permitted unless the aggregate wattage of the two facilities is less than one megawatt. If the aggregate wattage of the two facilities is one megawatt or greater, the small fuel cell facilities shall be subject to all requirements and processes prescribed in this title for medium or large fuel cell facilities, whichever is the most applicable, in the applicable subject district	

Small fuel cell facilities are encouraged to be cogeneration or combined cycle facilities	P
Accessory uses and structures, not including warehouses, located on the same site as a permitted use and the following accessory structures and uses located on the same site with a permitted use or with a conditional use which has been granted a use permit in accordance with the provision of Chapter 18.124 of this title:	
5. Special downtown accessory entertainment uses, as defined in Chapter 18.08 of this title:	P
PROPOSED PUD USES	
a. Indoor special downtown accessory entertainment uses with non-amplified or amplified sound in the downtown hospitality central core area and non-amplified sound in the downtown hospitality transition area (hours: 8:00 a.m.—11:00 p.m.)	
b. Indoor special downtown accessory entertainment uses with amplified sound in the downtown hospitality transition area (hours: 8:00 a.m.—9:00 p.m.)	
c. Outdoor special downtown accessory entertainment uses (hours: 8:00 a.m.—9:00 p.m.)	
d. The above accessory uses (5)(a)—(5)(c) shall meet all four of the following parameters:	
i. The use is in compliance with all applicable requirements of Chapter 9.04 (Noise Regulations). The applicant may be required to install noise mitigating measures to ensure compliance with the noise regulations	
ii. For indoor music and entertainment, the exterior doors of the establishment shall remain closed when not being used for ingress/egress and self-closing mechanisms shall be installed on all exterior doors	
iii. For indoor music and entertainment, the establishment's windows shall remain closed when music/entertainment activities are taking place	
iv. The use is in compliance with all applicable requirements of the Pleasanton Municipal Code and all other applicable laws, particularly pertaining to noise, public disturbance, littering, and parking	
6. Special downtown accessory entertainment uses, as defined in Chapter 18.08 of this title, and the use does not comply with the hour restrictions for the use to be a permitted use. Temporary special downtown accessory entertainment uses shall be subject to the requirements of Section 18.116.060 of this title	TC
7. Special downtown accessory entertainment uses, as defined in Chapter 18.08 of this title, and the use does not comply with the hour restrictions and/or conditions required for the use to be a permitted use or a temporary conditional use	C

Accessory uses and structures located on the same site as a conditional use and the following accessory structures and uses located on the same site as a permitted use or a conditional use that has been granted a use permit:	
1. Medium electricity generator facilities that meet the applicable standards of Section 18.124.290 of this title	C
2. Medium fuel cell facilities that meet the applicable standards of Section 18.124.290 of this title	C
Antique stores, no firearm sales	P
Antique stores with sales of antique firearms	C
Art galleries and artists' supply stores	P
Automobile supply stores, no service or shop work	P
Barbershops and beauty shops	P
Bars and brew pubs, as defined in Chapter 18.08 of this title	P
Basement storage, as defined in Section 18.08.057, that meet all of the following criteria:	P
1. Basement storage shall be limited to the central commercial (C-C) zoning district within the downtown specific plan area and limited to commercial buildings only	
2. Basement storage shall be limited to nontoxic, nonhazardous materials only. It is the responsibility of the storage space operator to prepare a list of prohibited storage items, to have the list approved by the Livermore-Pleasanton fire department, and to require all storage space users to agree in writing that no items on the list or other hazardous materials will be stored. The storage space shall be used for storage only and no other activities and/or uses are allowed	
3. Prior to allowing basement storage, the building owner shall contact the building and safety division and fire department to ensure that the basement meets applicable building and fire codes. If required, the building owner and/or responsible party shall secure all applicable permits and/or make any required changes to the basement space to ensure the space meets current code standards for fire, safety, and accessibility	
4. The hours of access for basement storage use shall be: Monday through Friday from 6:00 a.m. to 10:00 p.m. and Saturday and Sunday from 10:00 a.m. to 6:00 p.m. only	
5. One parking space per on-site storage employee and one parking space for storage customers. This parking requirement is in addition to the parking required for other uses on-site	
6. Prior to allowing and/or renting space for basement storage, the property owner and/or responsible party shall submit a zoning	

certificate application and secure a business license. The zoning certificate application shall be accompanied by a narrative that describes the type of storage proposed, where parking will be allowed, and the use(s) of the building and shall include a site plan and basement storage floor plan that clearly defines, but is not limited to, the following:	
a. The defined area(s) and square-footage in which storage will take place	
b. How the individual storage areas will be delineated (e.g., cages, walls, etc.)	
c. Access and ADA accessibility	
Beauty shops including massage services of four or more massage technicians at any one time. Massage establishments within a beauty shop shall meet the requirements of Chapter 6.24	C
Beauty shops or beauty shops including massage services of three or fewer massage technicians at any one time. Massage establishments within a beauty shop shall meet the requirements of Chapter 6.24	P
Bed and breakfast inns	C
Beekeeping meeting the requirements of Chapter 18.103 of this title for detached, single-family homes located in the Downtown Specific Plan Area	P
Bicycle shops	P
Bookstores and rental libraries	P
	PROPOSED PUD USES
Candy stores	P
Carpet, drapery and floor-covering stores	P
Catalog stores, no firearm sales	P
Catalog stores with firearm sales	C
Catering establishments	P
Christmas tree sales lots	TC
Churches, parsonages, parish houses, monasteries, convents and other religious institutions	C
Circuses, carnivals and other transient amusement enterprises	TC
Clothing and costume rental establishment	P
Clothing, shoe and accessory stores	P
Commercial radio and television aerials, antennas, and transmission towers with design review approval specified under Chapter 18.20 of this title, having a minimum distance of 300 feet from the property lines of all of the following:	P
1. Existing or approved residences or agricultural zoning districts or in planned unit developments with a residential or agricultural zoning designation	
2. Undeveloped residential or agricultural zoning districts or undeveloped planned unit developments with a residential or agricultural	

zoning designation and without an approved development plan, unless designated as a public and institutional land use in the general plan	
3. Existing or approved public schools, private schools, and childcare centers, not including schools which only provide tutorial services	
4. Neighborhood parks, community parks, or regional parks, as designated in the general plan	
PROPOSED PUD USES	
Copying and related duplicating services and printing/publishing services using only computers, copy machines, etc., not including lithographing, engraving, or such similar reproduction services	P
Dairy products manufacturing for retail sale on-premises only	C
Dance halls (where no liquor is served)	C
Delicatessen stores	P
Department stores	P
Drugstores and prescription pharmacies	P
Dry goods stores	P
Financial institutions, including banks, savings and loan offices, finance companies, credit unions and related services	P
Firearm sales	C
Firearm sales in which no more than 10 firearms are stored on-site at any one time and the majority of firearms are sold through catalogs, mail order, or at trade shows	C
Florists	P
Food market including supermarkets, convenience markets and specialty stores	C
Furniture stores	P
Game arcades as defined by Section 18.08.207 of this title	C
Gift shops	P
Gymnasiums and health clubs	C
Hardware stores	P
Hobby shops	P
Hospital equipment, sales and rental	C
Hotels and motels	P
Ice cream sales	P
Ice vending stations	C
Interior decorating shops	P
Janitorial services and supplies	C
Jewelry stores	P
Laboratories	P
Laundries and dry cleaners where service is provided	P
Laundries, self-service	P
Laundry plants	C

Leather goods and luggage stores	P
Liquor stores	C
Locksmiths	P
Massage establishments where four or more massage technicians provide massage services at any one time. Massage establishments shall meet the requirements of Chapter 6.24	C
Massage establishments where three or fewer massage technicians provide massage services at any one time. Massage establishments shall meet the requirements of Chapter 6.24	P
Medical and orthopedic appliance stores	P
Meeting halls	C
Microbrewery	P****
**** Permitted use subject to the following conditions:	
1. The zoning administrator finds that adequate parking is available for said use	
2. If the zoning administrator determines that the use will be or is creating odor problems, an odor abatement device determined to be appropriate by the zoning administrator shall be installed within the exhaust ventilation system to mitigate brewery odors	
3. The applicant is in compliance with all applicable requirements of Chapter 9.04 of this code	
4. If operation of the use results in conflicts pertaining to parking, noise, odors, traffic, or other factors, the zoning administrator may modify or add conditions to mitigate such impacts, or may revoke the zoning certificate for the use	
Mortuaries	C
Motorcycle sales, no service or repair	P
Music stores	P
Music and dance facilities which cannot meet the criteria for music and dance facilities as written in the use category below	C
Music and dance facilities with no more than 20 students in the facility at any one time are permitted uses subject to the following conditions:	P
1. The facility shall adhere to all occupancy, ADA, California Building Code, and exiting requirements	
2. The zoning administrator finds that adequate parking is available for the said use	
The standard city noise ordinance applies	
Newsstands	P
Office buildings	P
Office supply and business machines stores	P
Offices, including, but not limited to, business, professional and administrative offices	P
Outdoor art and craft shows	TC
Paint, glass and wallpaper shops	P
Pet and bird stores	P
Photographic studios	P
Photographic supply stores	P
Picture framing shops	P
Plant shops	P
Printing, including also lithographing and engraving and other reproduction services	C
Public utility and public service facilities including pumping stations, power transmission stations, power distribution stations, equipment	C

buildings, service yards, drainageways and structures, water reservoirs, percolation basins, well fields, and storage tanks. These facilities must be found by the planning commission to be necessary for the public health, safety, or welfare	
Record and recording and sound equipment stores	P
Recreation and sport facilities, indoor, which cannot meet the recreation and sport facility criteria as written in the use category below	C
Recreation and sport facilities, indoor, with more than 20 students in the facility at any one time, or recreation and sports facilities, indoor, including massage services of four or more massage technicians at any one time. Massage establishments within recreation and sports facilities shall meet the requirements of Chapter 6.24	C
Recreation and sport facilities, indoor, with no more than 20 students in the facility at any one time, and with no massage services or with massage services of three or fewer massage technicians at any one time. Massage establishments within recreation and sports facilities shall meet the requirements of Chapter 6.24	P
1. The facility shall adhere to all occupancy, ADA, California Building Code, and exiting requirements	
2. The zoning administrator finds that adequate parking is available for the said use	
The standard city noise ordinance applies	
Residential uses (see subsection B of this section) see also "guards' living quarters," and Chapter 18.108 of this title	P
Restaurants and soda fountains not including drive-ins or take-out food establishments	P
Restaurants and soda fountains including drive-ins and take-out food establishments	C
Shoe repair shops	P
Shoe stores	P
Specialty stores selling those items normally sold in department stores	P
Sporting goods stores, no firearm sales	P
Sporting goods stores with firearm sales	C
Stamp and coin stores	P
Stationery stores	P
Swimming pool sales, supplies and/or service	C
Tailor or dressmaking shops	P
Theaters and auditoriums	P
Toy stores	P
Tutoring with no more than 20 students at the facility at any one time are permitted uses subject to the following conditions:	P
1. The facility shall adhere to all occupancy, ADA, California Building Code, and exiting	

requirements	
2. The zoning administrator finds that adequate parking is available for the said use	
The standard city noise ordinance applies	
Variety stores	P
Watch and clock repair shops	P
Wholesale establishments without stocks	P

Exhibit D. Arborist Report



September 8, 2015

Mike Carey
Investment Real Estate
careybroker@aol.com

Re: Arborist Report for 377 St. Mary Street, Pleasanton

Dear Mike,

The following arborist report addresses the proposed improvements for 377 St. Mary Street. Per the City of Pleasanton's tree protection ordinance, this report shall include the following:

Assignment

- Tag and identify all trees over 6" in diameter measured at 4.5' above mean grade.
- Identify dripline locations and tree numbers on site map.
- Note trees that are considered "Heritage" per the City of Pleasanton's Tree Preservation Ordinance Chapter 17.16 as follows:
 1. Any tree with a trunk circumference of 55" (17.5" in diameter) or greater at 4.5' above grade.
 2. Any multi-trunk tree of which the two largest trunks have a combined circumference of 55" or greater.
 3. Any tree with height of 35' or greater.
 4. Any tree of particular historical significance specifically designated by official action;
 5. A stand of trees, the nature of which makes each dependent upon the other for survival or the area's natural beauty.
- Assess individual tree health and structural condition.
- Assess proposed improvements for potential encroachment.
- Based on species, age, condition, and proposed impacts, provide recommendations for tree preservation prior to, during, and post construction.
- Appraise the value of trees for which preservation is recommended.

Site Summary

The applicants propose to retain the existing home at the south end of the property and divide the north half of the property into 3 additional lots that will access off of Peters Avenue. The tree inventory consists of 7 queen palms, 5 privets, and 1 almond, none of which meet the city's criteria for "Heritage" status.

The proposed improvements, consisting of 3 new homes, will necessitate the removal of the almond, 6 privets, and 2 of the palms. The remaining 5 palms will be on the south lot that is not being improved at this time.

Limitations

The following observations and recommendations are based on my site visit on 9/2/15, and the Preliminary Grading Plan by Alexander & Associates Inc. dated 4/24/15. It was assumed the

Arborist Report, 377 St. Mary St.

September 8, 2015

trees and improvements were accurately surveyed on the plans.

As far as the health and structure of the trees, the assessment was done visually from ground level. No drilling, root excavation, or aerial inspections were performed. Internal or non-detectable defects may exist, and could lead to part or whole tree failures. Due the dynamic nature of trees and their environment, it is not possible for arborists to guarantee that trees will not fail in the future.

Tree Inventory & Observation Table

#'s: Each tree was given a numerical tag ranging from #77-89, which corresponds with the #'s applied to the enclosed grading map.

DBH / CTH: Trunk diameter based on circumference measured at 4.5' above grade. **Note:** Palms were also measured for CTH "Clear Trunk Height" a distance from the ground to lowest live fronds, by which palms are used to appraise their value.

Condition Rating

Dead: Dead or declining beyond chance of recovery.

Poor Condition: Stunted or declining canopy, poor foliar color, possible disease or insect issues. Severe structural defects that may or may not be correctable. Usually not a reliable specimen for preservation.

Fair Condition: Fair to moderate vigor. Minor structural defects that can be correctable. More susceptible to construction impacts than a tree in good condition.

Good Condition: Good vigor, and color, with no obvious problems or defects. Generally more resilient to impacts.

Very Good Condition: Exceptional specimen that has excellent vigor, and structure. Unusually nice.

Age

Young "Y" : 0-1/5 (20%) of expected life span. High resiliency to encroachment.

Mature "M" : 1/5 - 4/5's (20%-80%) of expected life span. Moderate resiliency to encroachment.

Over Mature "OM" : > 80% of expected life span. Low resiliency to encroachment.

CI

Const. Impact = L-Low, M-Moderate, or H-High potential for impact to tree.

Tag #	Species	DBH	CTH Palms	Heath	Structure	Dripline				AGE	CI	Comments Observations	Action
						N	E	S	W				
77	Queen Palm (<i>Syagrus romanzoffiana</i>)	14.5	10'	G	G	11	10	10	10	M	L	Tips of older fronds are yellowed; drip tubing is tight around base of trunk.	Save
78	Queen Palm (<i>Syagrus romanzoffiana</i>)	13	11'	G	G	6	11	9	10	M	L	Tips of older fronds are yellowed	Save
79	Queen Palm (<i>Syagrus romanzoffiana</i>)	17	10'	G	G	10	10	10	10	M	L	Female tree	Save
80	Queen Palm (<i>Syagrus romanzoffiana</i>)	15.5	10'	G	G	6	9	11	12	M	L	Female tree; planted in narrow strip and may have contributed to cracked sidewalk; broken frond	Save
81	Queen Palm (<i>Syagrus romanzoffiana</i>)	14	12'	G	G	10	10	13	9	M	L	Female tree; may have contributed to hardscape damage	Save

John C Traverso, BCMA #0206-B

Tag #	Species	DBH	CTH Palms	Heath	Structure	Dripline				AGE	CI	Comments Observations	Action
						N	E	S	W				
82	Queen Palm (<i>Syagrus romanzoffiana</i>)	14.5	13'	G-F	G	11	11	10	10	M	H	Female tree with messy fruit; in narrow strip; tips of older fronds are yellowed; will be removed for new residence	Remove
83	Queen Palm (<i>Syagrus romanzoffiana</i>)	13	12'	G	G	10	12	10	8	M	H	Female tree; will be removed for new residence	Remove
84	Glossy Privet (<i>Ligustrum lucidum</i>)	3,4,5,5,7		g	f	10	10	10	10	m	H	<1' from pavement; multi-trunked tree; will be removed for new residence	Remove
85	Glossy Privet (<i>Ligustrum lucidum</i>)	6.5,7.5,7		G	F	10	11	11	10	M	H	<0.5' from property fence, causing damage to base of fence; multi-trunked tree; will be removed for new residence	Remove

John C Traverso, BCMA #0206-B

Tag #	Species	DBH	CTH Palms	Health	Structure	N	E	S	W	AGE	CI	Comments Observations	Action
86	Glossy Privet (<i>Ligustrum lucidum</i>)	3.5, 6.5		G	F	6	6	10	10	Y	H	15 deg lean to west in lower trunk has been slightly corrected; within 1' of fence; girdling root and large gall visible at base of tree; will be removed for new residence	Remove
87	Glossy Privet (<i>Ligustrum lucidum</i>)	2.5, 5, 4, 2, 2		F	F	6	6	6	6	Y	H	Will be removed for new residence	Remove
88	Almond (<i>Prunus dulcis</i>)	7		F-P	P	11	10	12	10	M	H	Multiple dog leg and twisting in trunk; corrected lean; large scaffold branches relative to trunk; will be removed for new residence	Remove

John C Traverso, BCMA #0206-B

Tag #	Species	DBH	CTH Palms	Health	Structure	N	E	S	W	AGE	CI	Comments Observations	Action
89	Glossy Privet (<i>Ligustrum lucidum</i>)	6, 5, 3" stems		G	F	7	10	10	5	M	H	Headed at 4' with many sprouts; 6' away from building; will be removed for new residence	Remove

Discussion / Recommendations

All trees and shrubs on lots 1, 2, & 3 (#'s 82-89) are to be removed to accommodate improvements. Palms #77 - 81 on the developed lot are to remain. If that lot is not to be used for construction purposes, storage, access, etc. than those palms are well clear of construction, however, if that lot is to be utilized during construction of the other three, then I recommend stacking straw bales 2 high around the base of each palm, and band them together to prevent impacting the trunks or root flair with equipment. Irrigate palms every two weeks in summer months.

Tree Appraisal

All trees to be retained were appraised as follows. Since all the trees remaining were queen palms, the formula used was trunk height in feet from ground to lowest live fronds multiplied by \$45.00. This method is commonly used for palm trees and was taken from the 9th Edition of the *Guide for Plant Appraisal* written by the Council Of Tree & Landscape Appraisers, and the *Species Classification and Group Assignment Guide* written by the Western Chapter of the International Society of Arboriculture.

Tree #	Species	CTH	\$ Per Foot	Basic Value	Species Rating	Condition Rating	Location Rating	Appraised Value
77	<i>Syagrus romanzoffiana</i>	14 ft.	\$45.00	\$630.00	100.00%	100.00%	100.00%	\$630.00
78	<i>Syagrus romanzoffiana</i>	13 ft.	\$45.00	\$585.00	100.00%	100.00%	100.00%	\$585.00

John C Traverso, BCMA #0206-B

Tree #	Species	CTH	\$ Per Foot	Basic Value	Species Rating	Condition Rating	Location Rating	Appraised Value
79	<i>Syagrus romanzoffiana</i>	17 ft.	\$45.00	\$765.00	100.00%	100.00%	100.00%	\$765.00
80	<i>Syagrus romanzoffiana</i>	15 ft.	\$45.00	\$675.00	100.00%	100.00%	100.00%	\$675.00
81	<i>Syagrus romanzoffiana</i>	14 ft.	\$45.00	\$630.00	100.00%	100.00%	100.00%	\$630.00

Total value of palms to be retained..... \$3,285.00

Please feel free to contact me if you have any questions or concerns.

See attached site plan.

Sincerely,



John C Traverso
 BCMA Arborist #0206-B
 Tree Risk Assessor #994

John C Traverso, BCMA #0206-B

