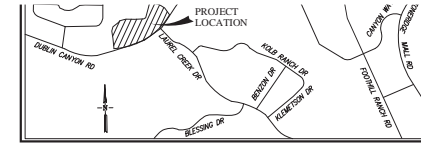


# PLANNED UNIT DEVELOPMENT PLEASANT VIEW CHURCH SITE CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

**PUD-114**  
**RECEIVED January 4, 2016**  
**PC Work Session**  
**EXHIBIT B**



**VICINITY MAP**  
NOT TO SCALE

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PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	CENTER LINE	---
---	MATCH LINE	---
---	RETAINING WALL	---
---	EASEMENT LINE	---
---	STORM DRAIN	EX 12"SD
---	SANITARY SEWER	EX 8"SS
---	WATER	EX 8"WC
---	RECYCLED WATER	EX 8"RW
---	CURB & GUTTER	EX FC
---	SIDEWALK	---
---	OVERHEAD UTILITIES	OH
---	JOINT POLE	---
---	EARTH OR GRASS SWALE	---
---	CONCRETE DITCH	---
---	STORM WATER INLET	---
---	FIELD INLET	---
---	AREA DRAIN	---
---	DIRECTION OF FLOW	---
---	MANHOLE	---
---	FIRE HYDRANT	---
---	BLOW OFF	---
---	SANITARY SEWER CLEAN OUT	---
---	WATER VALVE	---
---	STREET LIGHT	---
---	MONUMENT	---
---	TRAFFIC SIGN	---
---	STREET NAME SIGN	---
---	FENCE	---
---	BARRICADE	---
---	SLOPE	---
---	HANDICAP RAMP	---
---	SAVE TREE	1847
---	REMOVE TREE	1848
---	CONTOUR ELEVATIONS	---
---	SPOT ELEVATION	---
---	ASPHALT PAVEMENT	---
---	BIORETENTION AREA	---
---	LIFT STATION	---
---	DIRECTION OF FUTURE FLOW	---
---	AB MAINTENANCE ROAD	---
---	LIGHT CLASS RIP RAP	---



### ABBREVIATIONS

AB	AGGREGATE BASE	LE	LANDSCAPE EASEMENT
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	ME	MAINTENANCE EASEMENT
BC	BEGINNING OF CURVE	MH	MANHOLE
BFE	BASE FLOOD ELEVATION (FEMA)	OH	OVERHEAD UTILITIES
BVC	BEGIN VERTICAL CURVE	PAE	PRIVATE ACCESS EASEMENT
BO	BLOW OFF	PCC	POINT OF COMPOUND CURVE
BW	BOTTOM OF WALL	PL	PROPERTY LINE
CL	CENTER LINE	PRC	POINT OF REVERSE CURVE
CMP	CORRUGATED METAL PIPE	PSE	PUBLIC SERVICE EASEMENT
CP	CENTER POINT	PVC	POLYVINYL CHLORIDE PIPE
DG	DECOMPOSED GRANITE	PVI	POINT OF VERTICAL INTERSECTION
DWY	DRIVEWAY	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RET	CURB RETURN
EC	END OF CURVE	RW	RIGHT OF WAY
ESMT	EASEMENT	SDE	STORM DRAIN EASEMENT (PUBLIC)
EVC	END VERTICAL CURVE	STA	STATION
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SO	SIDE OPENING INVERT
EX	EXISTING	SSCO	SANITARY SEWER CLEAN OUT
FC	FACE OF CURB	SW	STORM WATER INLET
FG	FINISHED GRADE	SWK	SIDEWALK
FH	FIRE HYDRANT	TC	TOP OF CURB
FI	FIELD INLET	TW	TOP OF WALL
FL	FLOW LINE	WM	WATER METER
GB	GRADE BREAK	VC	VERTICAL CURVE
GR	GRATE	VCP	VITRIFIED CLAY PIPE
HP	HIGH POINT		
INV	INVERT ELEVATION		
JP	JOINT POLE		

### PROJECT TEAM

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**Pleasanton, CA 94568**  
**Contact: Mark Falgout**  
**(925) 227-9100**

### Landscape Architecture

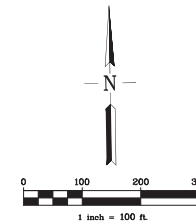
**Dutover & Associates**  
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**Contact: Brian Dutover**  
**(925) 462-3576**

### Architecture

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**(925) 484-6438**

### Soils Engineer

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**Dublin, CA 94568**  
**Contact: Dewey Nicholas**  
**(925) 828-6000**



**RUGGERI-JENSEN-AZAR**  
ENGINEERS • PLANNERS • SURVEYORS  
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94568  
PHONE: (925) 227-9100 FAX: (925) 227-9300

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**SITE SUMMARY**

NUMBER OF NEW UNITS: 5

CHURCH PARCEL ACRES: 11.9 ACRES

DEVELOPED ACRES (LOTS AND STREETS): 4.3 ACRES

TOTAL ACRES: 16.2 ACRES

GROSS DENSITY = DWELLING UNITS/DEVELOPED ACRES (DEVELOPMENT ONLY)  
 GROSS DENSITY = 5 UNITS/4.3 AC  
 = 1.2 DU/AC

NET DENSITY = # UNITS / (TOTAL AC - CHURCH PARCEL - STREETS)  
 = 5 UNITS / (16.2 - 11.9 - 0.6)  
 = 1.4 DU/AC

PARKING

ON STREET	10
DRIVEWAYS (2 MINIMUM PER NEW RESIDENCE)	10
GARAGE (2 PER NEW RESIDENCE)	10
TOTAL	30 TOTAL

**LAND USE SUMMARY**

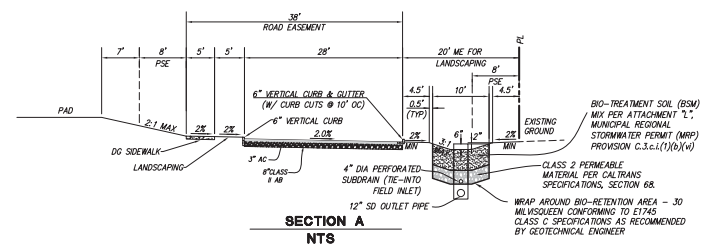
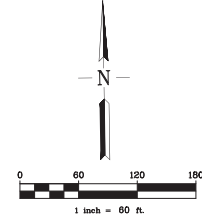
LAND USE	UNITS	ACRES	% OF SITE
LOW DENSITY RESIDENTIAL (LDR) SINGLE FAMILY DETACHED	5	3.7	22.8%
29,829 S.F. TO 61,812 S.F. LOT SIZE			
ROAD EASEMENT (STREETS & SIDEWALKS)	-	0.6	3.7%
CHURCH PARCEL	-	11.9	73.5%
<b>TOTAL</b>	<b>5</b>	<b>16.2</b>	<b>100.0%</b>

**ACCESSORY STRUCTURES**  
(SEE NOTES BELOW)

LOTS	MINIMUM SETBACK
1-5	3' TO SIDE PL. 5' TO REAR PL. CLASS I IS LIMITED TO A MAXIMUM 15 FEET HEIGHT
1-5	CLASS II SHALL COMPLY WITH THE APPLICABLE CLASS II ACCESSORY STRUCTURE REGULATIONS OF CITY OF PLEASANTON ZONING ORDINANCE

- NOTES:**
- FRONT, SIDE, REAR YARD SETBACKS DO NOT INCLUDE MINOR ARCHITECTURAL PROJECTIONS PER CITY OF PLEASANTON ZONING ORDINANCE.
  - ACCESSORY STRUCTURES EXCEEDING 10 FEET IN HEIGHT SHALL BE SUBJECT TO DESIGN REVIEW PER CITY OF PLEASANTON ZONING ORDINANCE.

- NOTES:**
- FOR SPECIFIC BUILDING HEIGHTS, SEE ARCHITECTURAL PLANS.
  - PRELIMINARY SQUARE FOOTAGES ARE APPROXIMATE.



**PUD LOT SPECIFICATIONS SUMMARY**

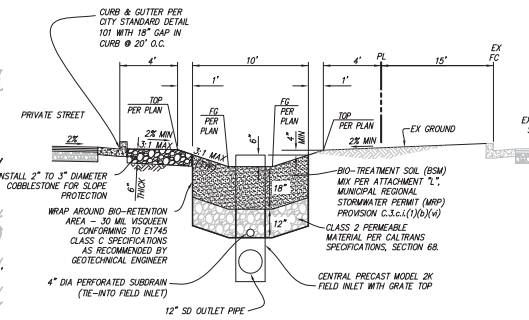
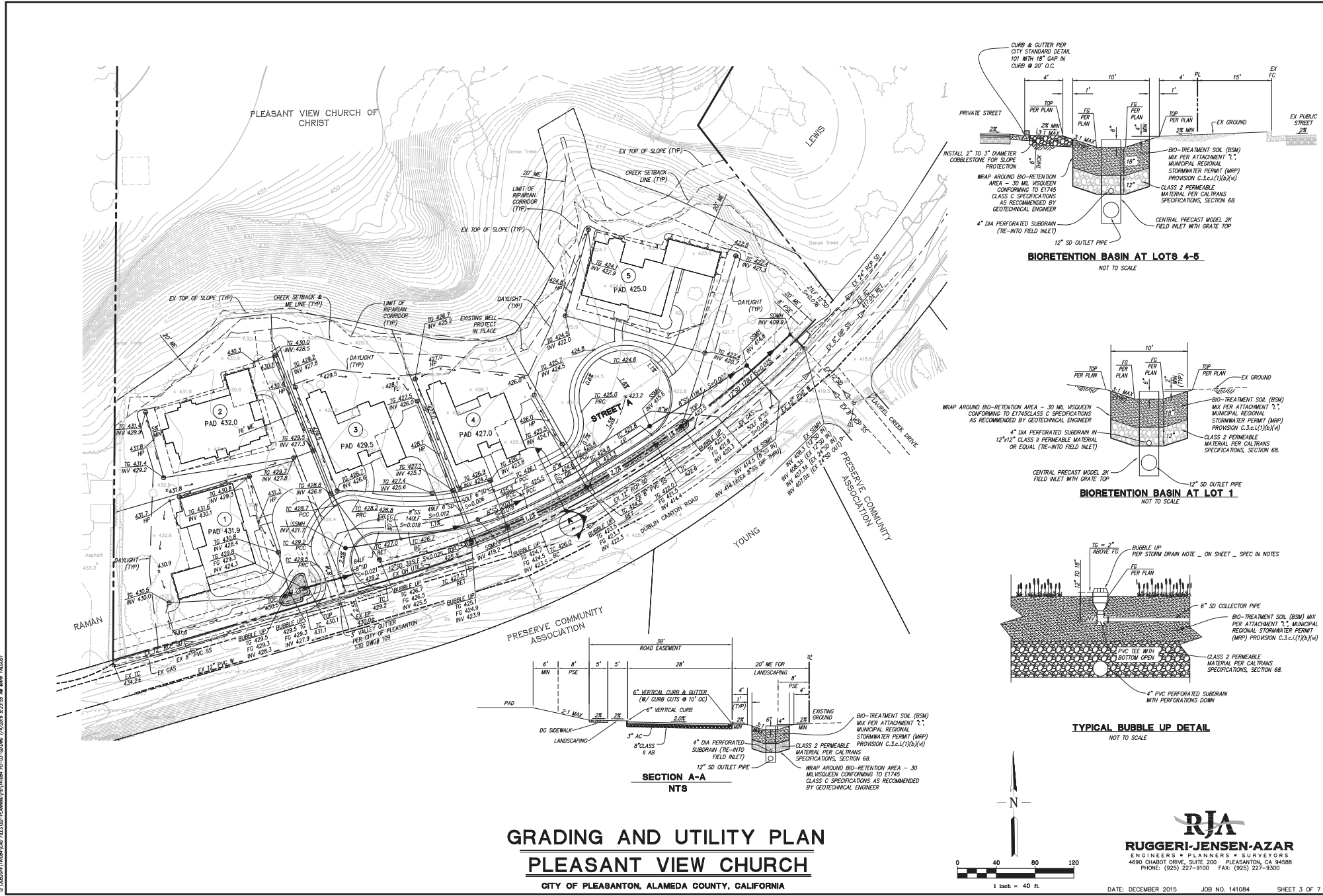
LOT	GROSS LOT SIZE (SQ)	NET LOT SIZE (SQ)	HOUSE MODEL	HOUSE MODEL MAX HEIGHT (FT)	HOUSE SIZE (SQ)	GARAGE (SQ)	FAR	MIN FRONT SETBACK (PORCH/HOUSE/DRIVE)	MIN REAR SETBACK	MIN SIDE SETBACK (INTER-CORNER)
1	32,305	26,251	PLAN 1	20	4,552	867	16%	15/20/25'	30'	5/10'
2	30,381	25,578	PLAN 2	30	4,474	864	17%	15/20/25'	30'	5/10'
3	32,839	24,840	PLAN 3	24	3,824	744	16%	15/20/25'	30'	5/10'
4	26,000	18,773	PLAN 3	24	3,824	744	21%	15/20/25'	30'	5/10'
5	67,228	46,639	PLAN 1	20	4,552	1,482	11%	15/20/25'	30'	5/10'

FAR = HOUSE SF/GARAGE SF. IN EXCESS OF 600 SF/NET LOT SIZE SF. MAX FAR = 60%  
 \*LOT 4 MEETS THE MINIMUM FRONT SETBACKS TO THE PROPERTY LINE AT DUBLIN CANYON ROAD. THE 16 FT DIMENSION SHOWN IS TO THE ROAD EASEMENT.

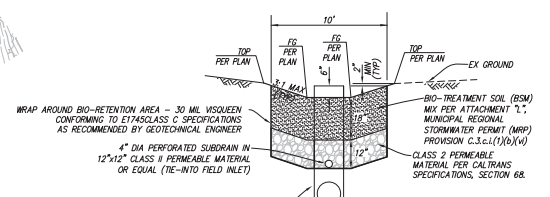
## SITE DEVELOPMENT PLAN PLEASANT VIEW CHURCH

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

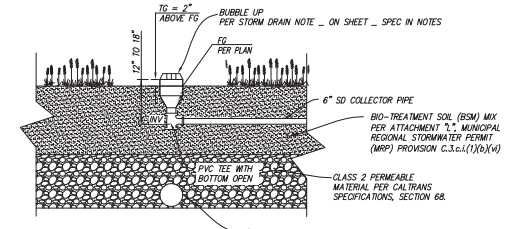




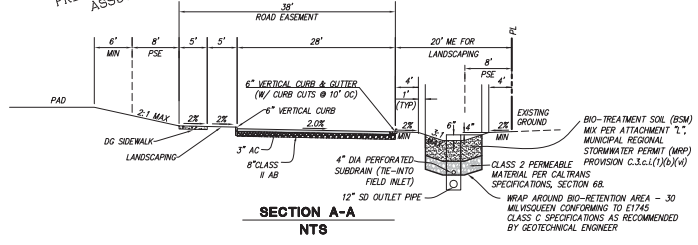
**BIORETENTION BASIN AT LOTS 4-5**  
NOT TO SCALE



**BIORETENTION BASIN AT LOT 1**  
NOT TO SCALE

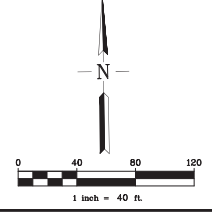


**TYPICAL BUBBLE UP DETAIL**  
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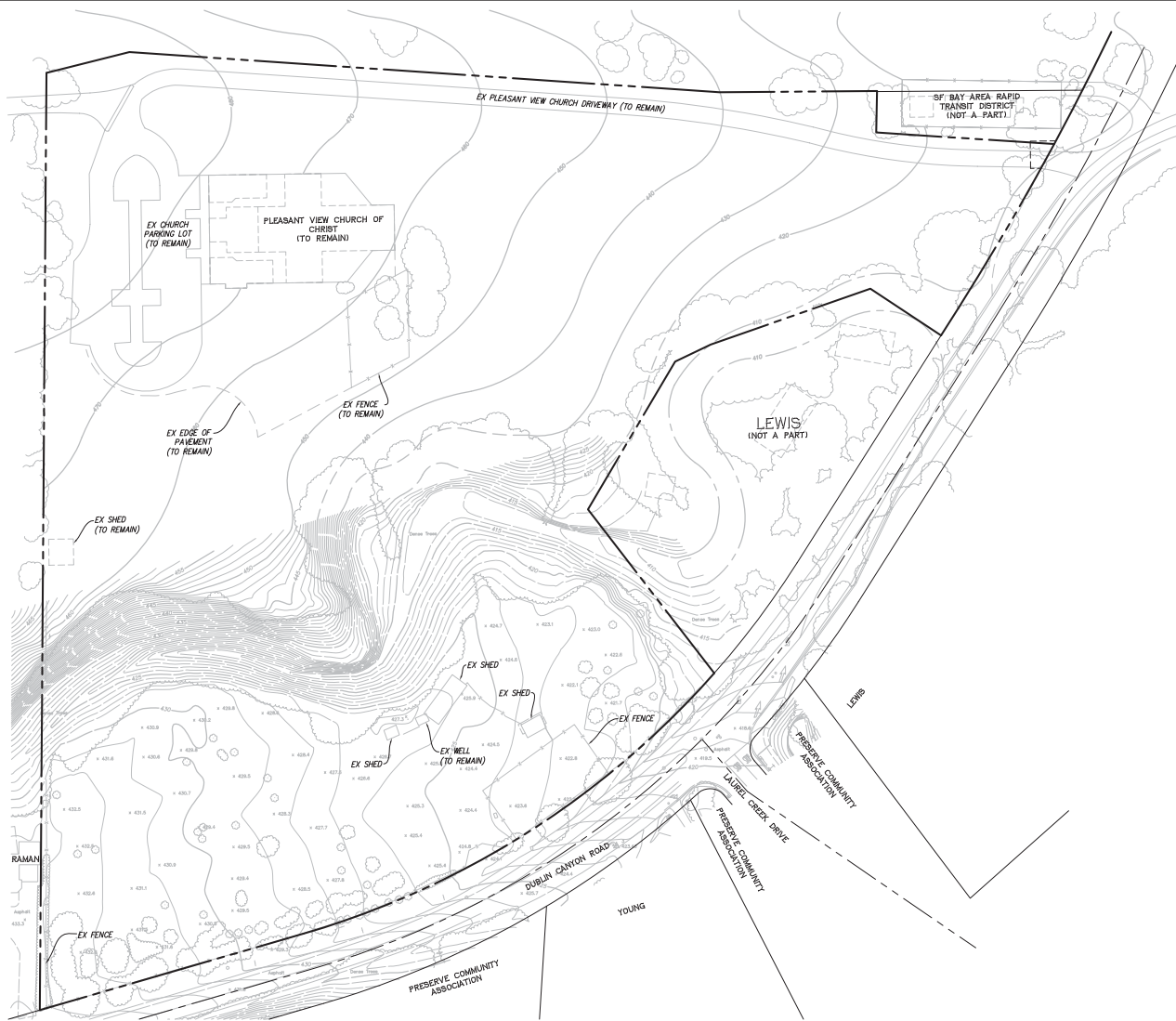


**SECTION A-A**  
NTS

**GRADING AND UTILITY PLAN**  
**PLEASANT VIEW CHURCH**  
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

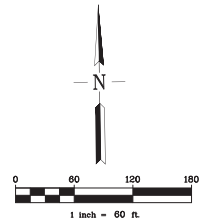


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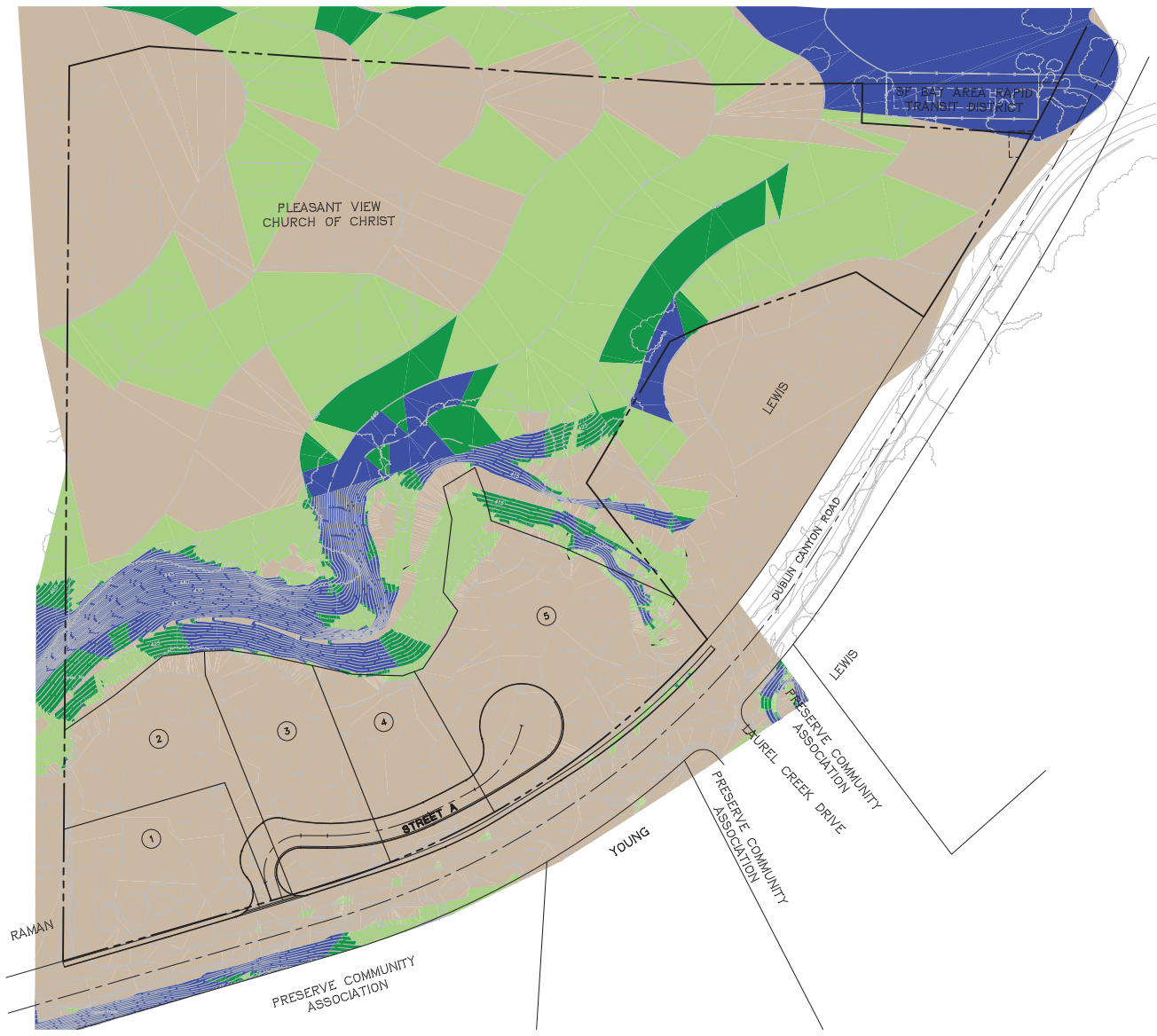
**NOTES:**

1. BUILDINGS AND ACCESSORY STRUCTURES TO BE REMOVED, UNLESS OTHERWISE NOTED.



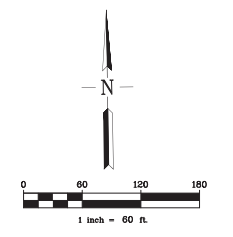
**EXISTING CONDITIONS**  
**PLEASANT VIEW CHURCH**  
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

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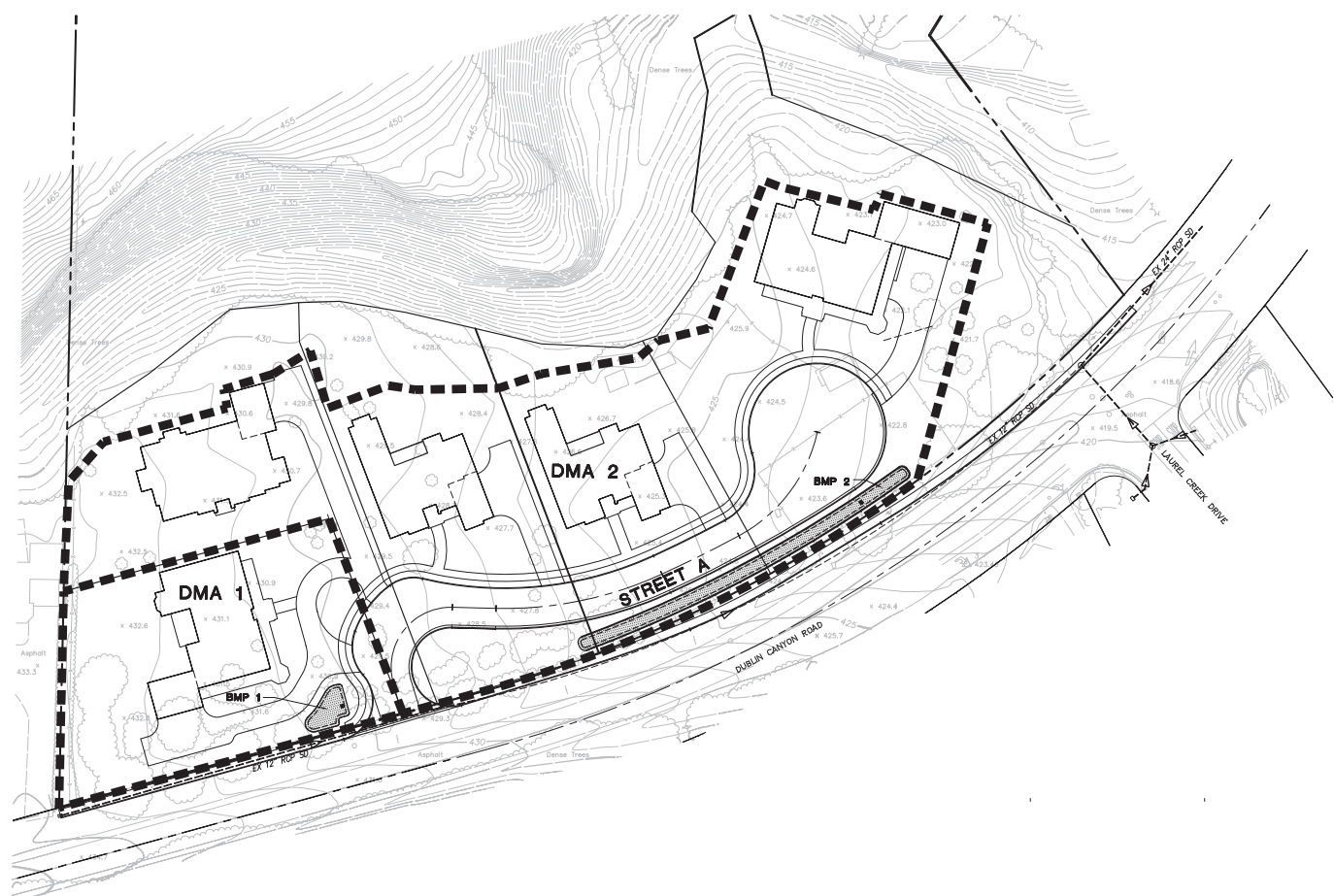
**LEGEND:**

	0 - 10%
	10% - 20%
	20% - 24.8%
	26%+



**SLOPE CLASSIFICATION MAP**  
**PLEASANT VIEW CHURCH**  
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

© 2005/11/13/10/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100



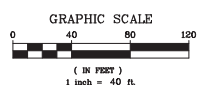
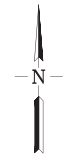
**LEGEND:**  
 [Dashed line] DRAINAGE AREA BOUNDARY  
 [Hatched area] BIO-RETENTION AREA

- NOTES:**
- THE CALCULATIONS ARE BASED ON THE ALAMEDA COUNTYWIDE CLEAN WATER PROGRAM, C3 STORMWATER TECHNICAL GUIDANCE, DATED MAY 14, 2013 AND THE FOLLOWING CRITERIA:
    - 0.2 INCHES/HOUR RAINFALL INTENSITY ON 100% IMPERVIOUS AREA.
    - SOIL FOR TREATMENT MEDIUM WITH A 5 INCHES/HOUR INFILTRATION RATE.
    - A TREATMENT MEDIUM OF 0.04 SIZING FACTOR.
  - SIZING FACTOR OF 0.04 NOTED ABOVE IS CALCULATED BASED ON THE FOLLOWING CRITERIA:
    - SIZING FACTOR=(0.2 IN/HR)/(5 IN/HR)=0.04
  - TOTAL POST DEVELOPMENT IMPERVIOUS SURFACE = 51,096 S.F.  
 IMPERVIOUS SURFACE TREATED BY BELOW GRADE FLOW-THROUGH MEDIUM = 51,096 S.F.  
 PERCENT OF POST DEVELOPMENT IMPERVIOUS SURFACE TREATED = 100%
  - ALL STORM DRAIN INLETS WITHIN THE DEVELOPMENT IN BOTH PUBLIC AND PRIVATE LOTS SHALL BE INSTALLED WITH FULL CAPTURE TRASH DEVICES.

**PRELIMINARY STORM WATER TREATMENT CALCULATIONS (4% METHOD)**

AREA ID	AREA OF ASPHALT (SF)	AREA OF CONCRETE (SF)	AREA OF LANDSCAPING (SF)	AREA OF ROOF (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	BMP USED	BMP ID	4% MIN BIORETENTION AREA REQUIRED (SF)	BIORETENTION AREA PROVIDED
DMA 1	1,196	5,036	19,021	7,051	15,185	BIO-RETENTION	BMP 1	607	610
DMA 2	19,010	12,424	56,507	23,140	69,225	BIO-RETENTION	BMP 2	2,409	2,410

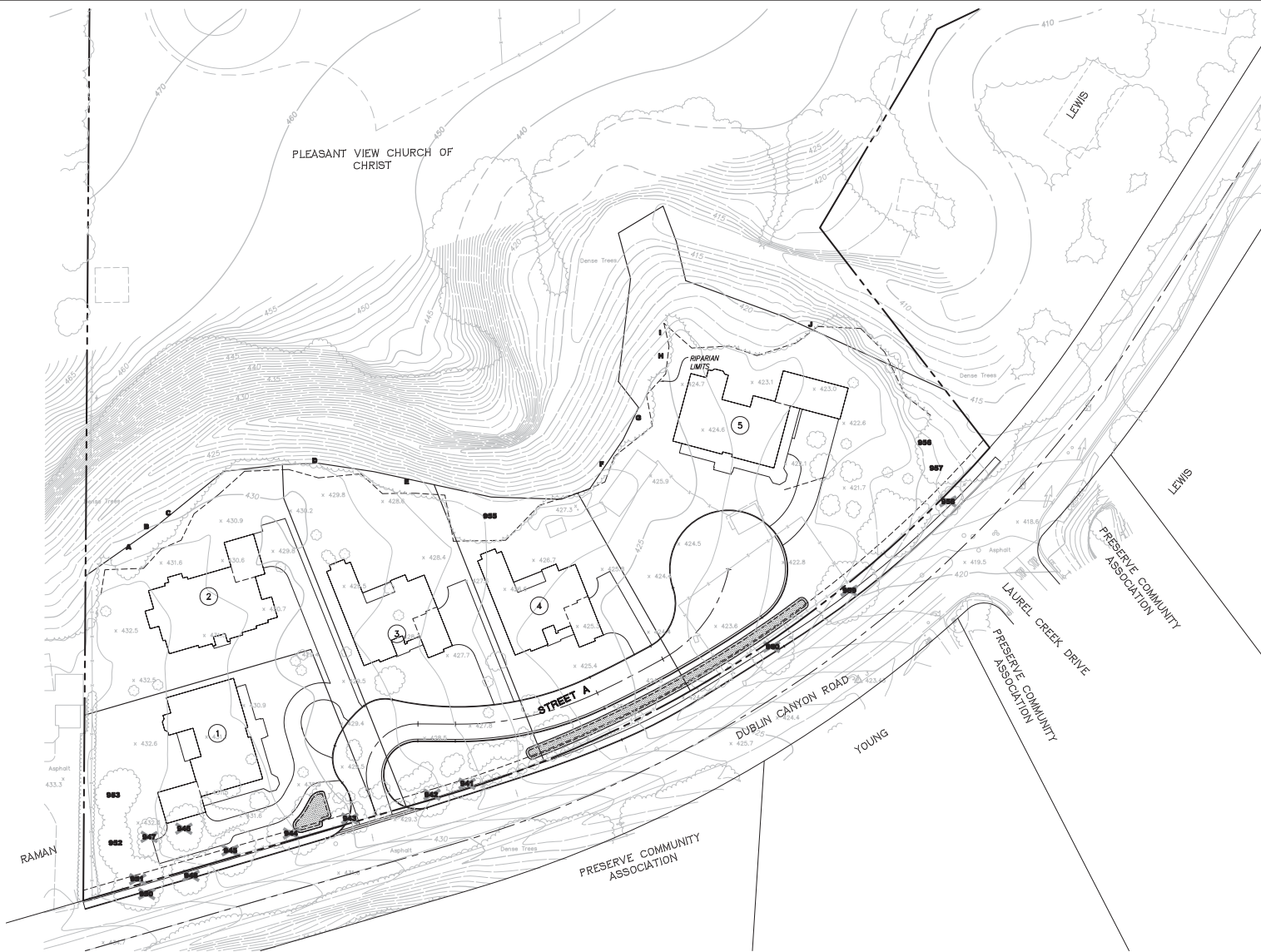
**TOTAL IMPERVIOUS AREA = 67,867 SF**  
 NOTE: BIORETENTION TREATMENT AREAS WERE DESIGNED USING THE 4% RULE ACCORDING TO ALAMEDA COUNTY'S C.3 STORMWATER TECHNICAL GUIDANCE DATED MAY 14, 2013.



**STORMWATER TREATMENT PLAN**  
**PLEASANT VIEW CHURCH**  
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

**RJA**  
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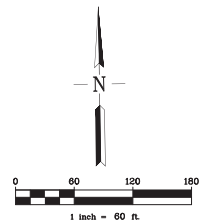
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**LEGEND**

- A-J** TREES IN RIPARIAN CORRIDOR TO BE SAVED
- 955** TREE TO BE SAVED
- 943** TREE TO BE REMOVED

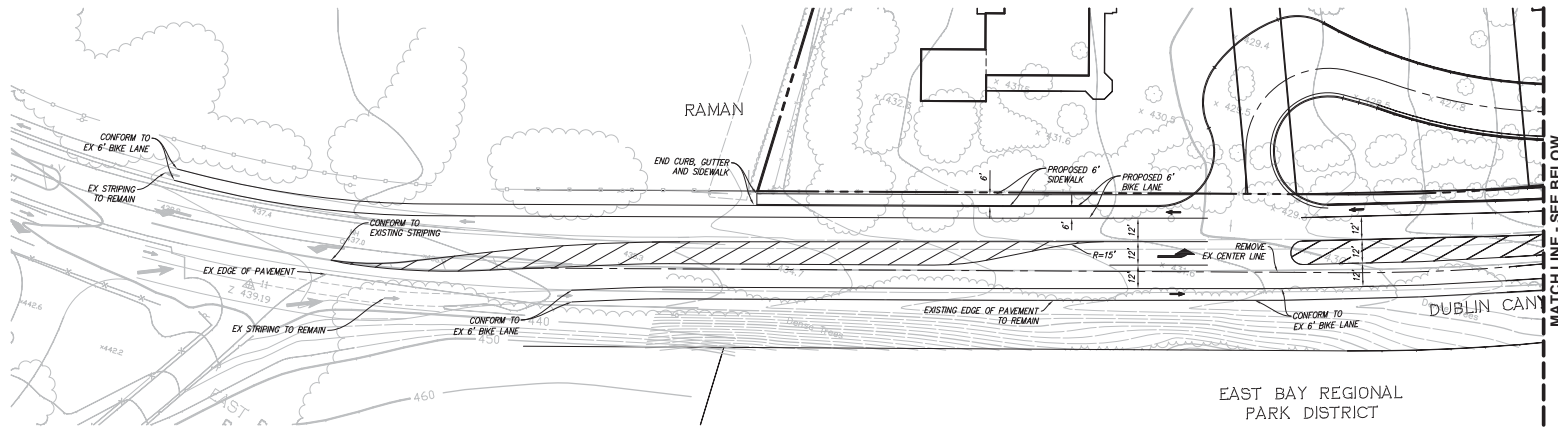
FOR TREE ASSESSMENT, SEE THE TREE REPORT PREPARED FOR PLEASANT VIEW CHURCH SITE BY DRYAD LLC, MARCH 14, 2015.



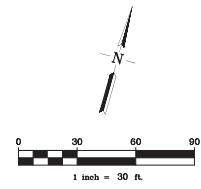
**EXISTING TREE PLAN  
PLEASANT VIEW CHURCH  
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA**

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**NOTE:**  
50 MPH DESIGN SPEED  
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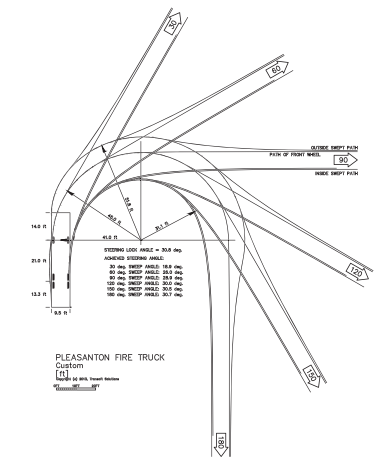
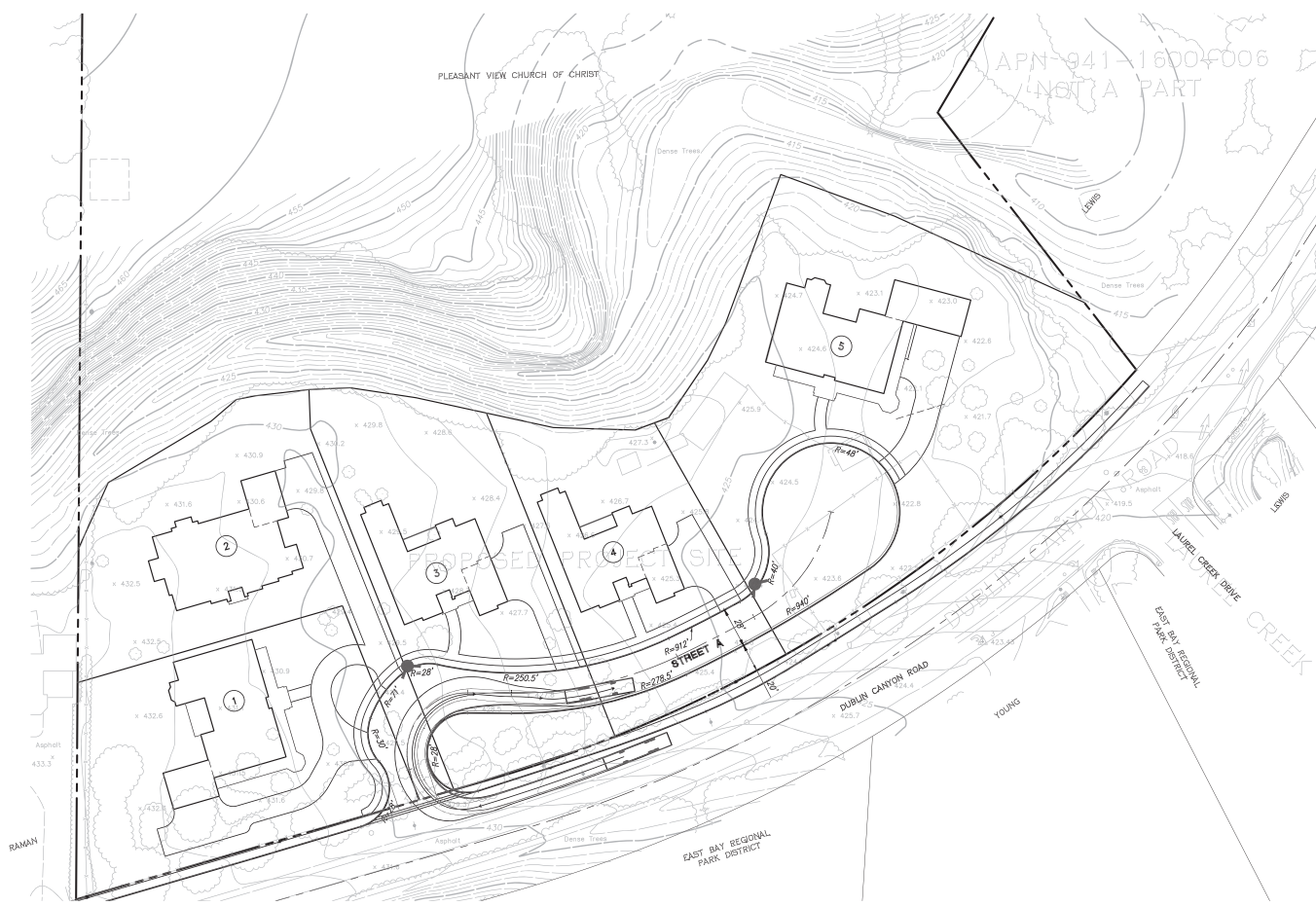
**PLEASANT VIEW CHURCH/YOUNG PROPERTY OFFSITE STRIPING EXHIBIT**

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

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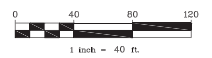
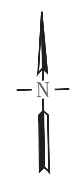
PLEASANTON FIRE TRUCK  
Custom  
15' 10" WHEEL SPACING  
15' 10" WHEEL SPACING

**LEGEND:**

- FIRE HYDRANT LOCATIONS
- FIRE TRUCK BODY PATH
- FIRE TRUCK TURNING PATH
- FRONT WHEELS PATH
- REAR WHEELS PATH

**FIRE TRUCK**

14.0 ft	STEERING LOCK ANGLE = 30.8 deg.
21.0 ft	ACHIEVED STEERING ANGLE: 30 deg.
13.3 ft	SWEEP ANGLE: 18.9 deg: 60 deg.
	SWEEP ANGLE: 26.0 deg: 90 deg.
	SWEEP ANGLE: 28.9 deg: 120 deg.
	SWEEP ANGLE: 30.0 deg: 150 deg.
	SWEEP ANGLE: 30.5 deg: 180 deg.
	SWEEP ANGLE: 30.7 deg.



**FIRE TURNING EXHIBIT**  
**PLEASANT VIEW CHURCH**  
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

**RJA**  
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PHONE: (925) 227-8100 FAX: (925) 227-8330

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# PLEASANT VIEW CHURCH SITE

PLANNED UNIT DEVELOPMENT  
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

## PRELIMINARY LANDSCAPE MATERIALS



### WALLS



### PAVING



### FENCING



### SHRUBS (3-5 feet tall)



### SHRUBS (5 feet tall or greater)



### TREES

### LANDSCAPE CONCEPT

The Preliminary Landscape Plan depicts a general concept. The Plant Palette is not intended to be a complete list of materials. Actual plant material used in the construction documents may vary. The design incorporates drought tolerant and deer resistant plant material. The surrounding environment and to help reduce erosion.

Construction Documents will be prepared based on City of Pleasanton Efficient Landscaping Regulations, Cal Green Building Standards Code approval in compliance with the State of California AB 681 Water Program C-3 Stormwater Technical Guidance, and Bay-Friendly Landscape Guidelines principles.



### GROUND COVERS



### SHRUBS (biofiltration areas)



### SHRUBS (3 feet tall or less)



### PLANT PALETTE

# PLEASANT VIEW CHURCH SITE

## PLANNED UNIT DEVELOPMENT

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

### PRELIMINARY LANDSCAPE PLAN

1. CONSTRUCTION DOCUMENTS WILL BE PREPARED BASED ON CITY OF PLEASANTON APPROVAL IN COMPLIANCE WITH THE STATE OF CALIFORNIA AIRBORN WATER POLLUTION CONTROL REGULATIONS, CALIFORNIA CLEAN WATER PROGRAM C-3 STORMWATER TECHNICAL GUIDANCE, AND BAY-FRIENDLY LANDSCAPE GUIDELINES PRINCIPLES.

### NOTES

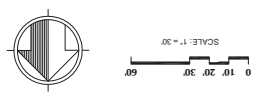
### RESERVE COMMUNITY ASSOCIATION



KEY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING
●	ASPARAGUS D. MYERS	MYERS ASPARAGUS	5 GALLON	3-5 OC
●	COCTOSTER ACUTUS	COCTOSTER ACUTUS	5 GALLON	AS SHOWN
●	ROSMARINUS O. TUSCANI BLUE	ROSEMARY	5 GALLON	AS SHOWN
●	LAURENTIA BASSINIFLORA	TEA TREE	5 GALLON	AS SHOWN
●	ALYSCONE HIEGELII	BLUE HIBISCUS	5 GALLON	AS SHOWN
●	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	TBD	AS SHOWN
●	PLATANUS A. COLUMBIA	COLUMBIA LONDON PLANE TREE	15 GALLON	AS SHOWN
●	LAGERSTROEMIA HYBRIDS	GRAPE MYRTLE	24 BOX	AS SHOWN
●	WESTERN REDBUD	WESTERN REDBUD	15 GALLON	AS SHOWN
●	DEER GRASS	DEER GRASS	1 GALLON	AS SHOWN

KEY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING
●	MULLENBERGIA REPENS	DEER GRASS	1 GALLON	AS SHOWN
■	LOW (3 FEET TALL OR LESS)	ROCKROSE	5 GALLON	3 OC
■	BIORITATION AREAS	ROCKROSE	5 GALLON	3 OC
■	GROUND COVERS	VARIOUS SPECIES	1 GALLON	2-4 OC

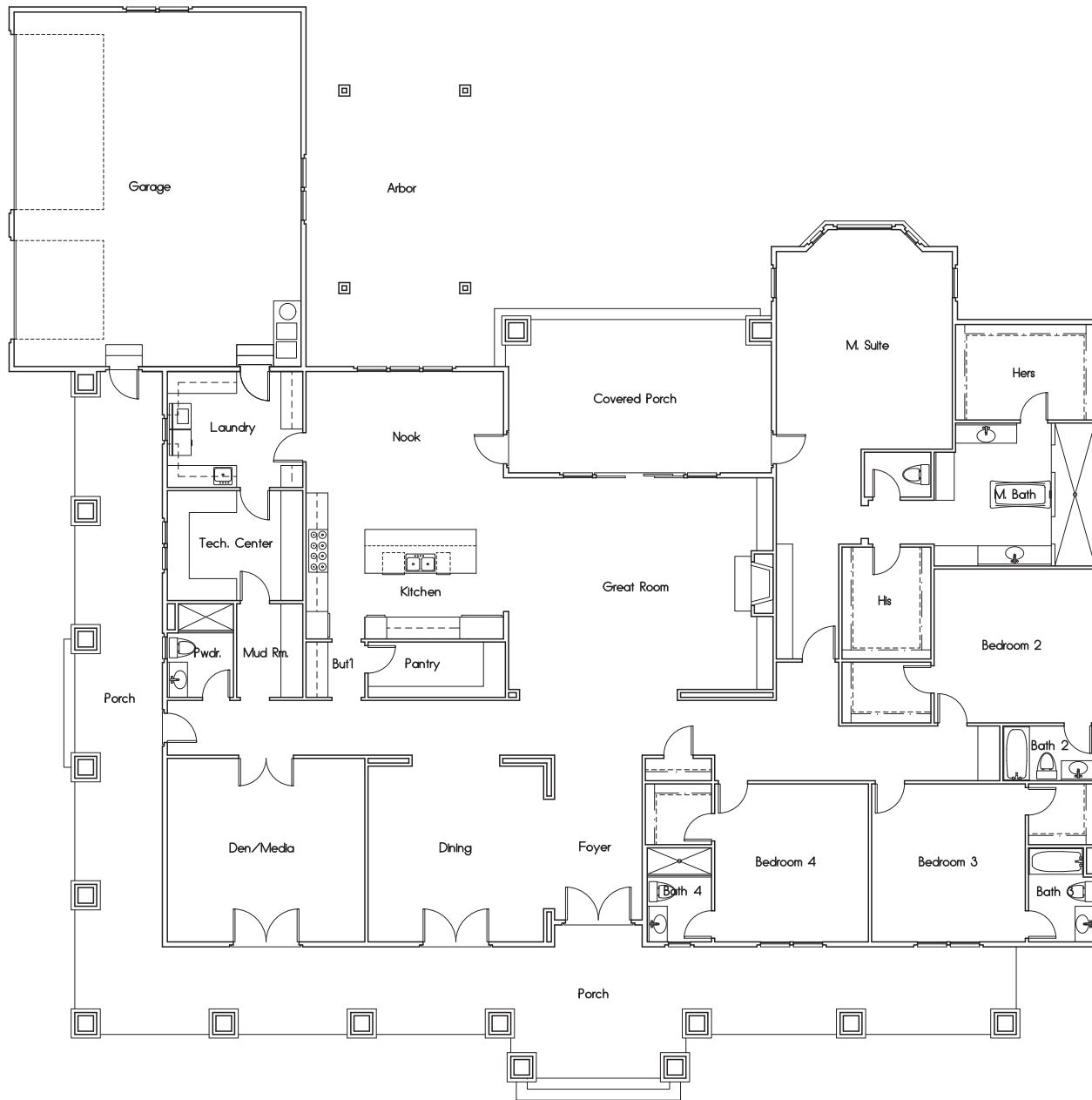
### PLANT PALETTE



**Proposed Residence**

Lot 1 Church Property  
 Pleasanton, California

Notes:



Rev	Description	Date

**First Floor Plan**

4500 SQUARE FEET  
 GARAGE: 877 SQUARE FEET  
 COVERED PORCHES: 1822 SQUARE FEET

Job Number: 201506 Sheet: 11  
 Scale: 1/4"=1'-0" Drawn: Terry  
 Checked: Terry Date: 6-28-15 of 22

**Proposed Residence**

Lot 1 Church Property  
 Pleasanton, California

**Notes:**

Roofing shall be Composition Shingle over 3/8" fall over 1/2" OSB sheathing w/ radiant barrier nailed per structural engineer's specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

ATTIC VENTILATION: XXXX / 150 = XXXXX sq. ft.
Total area required to be vented: XXXXX sq. ft.
XXX Rafter vent XXXXX sq. ft.
XXX Gable end vent XXXXX sq. ft.
XXX O'High vent XXXXX sq. ft.
Total Area of ventilation: XXXXX sq. ft.
50% LOW REQUIREMENT: XXX > XXX OKAY
50% HIGH REQUIREMENT: XXX < XXX OKAY

All framing shall be Douglas Fir No. 2 or better (LION). Composition shingles shall be fastened per 2013 CBC.

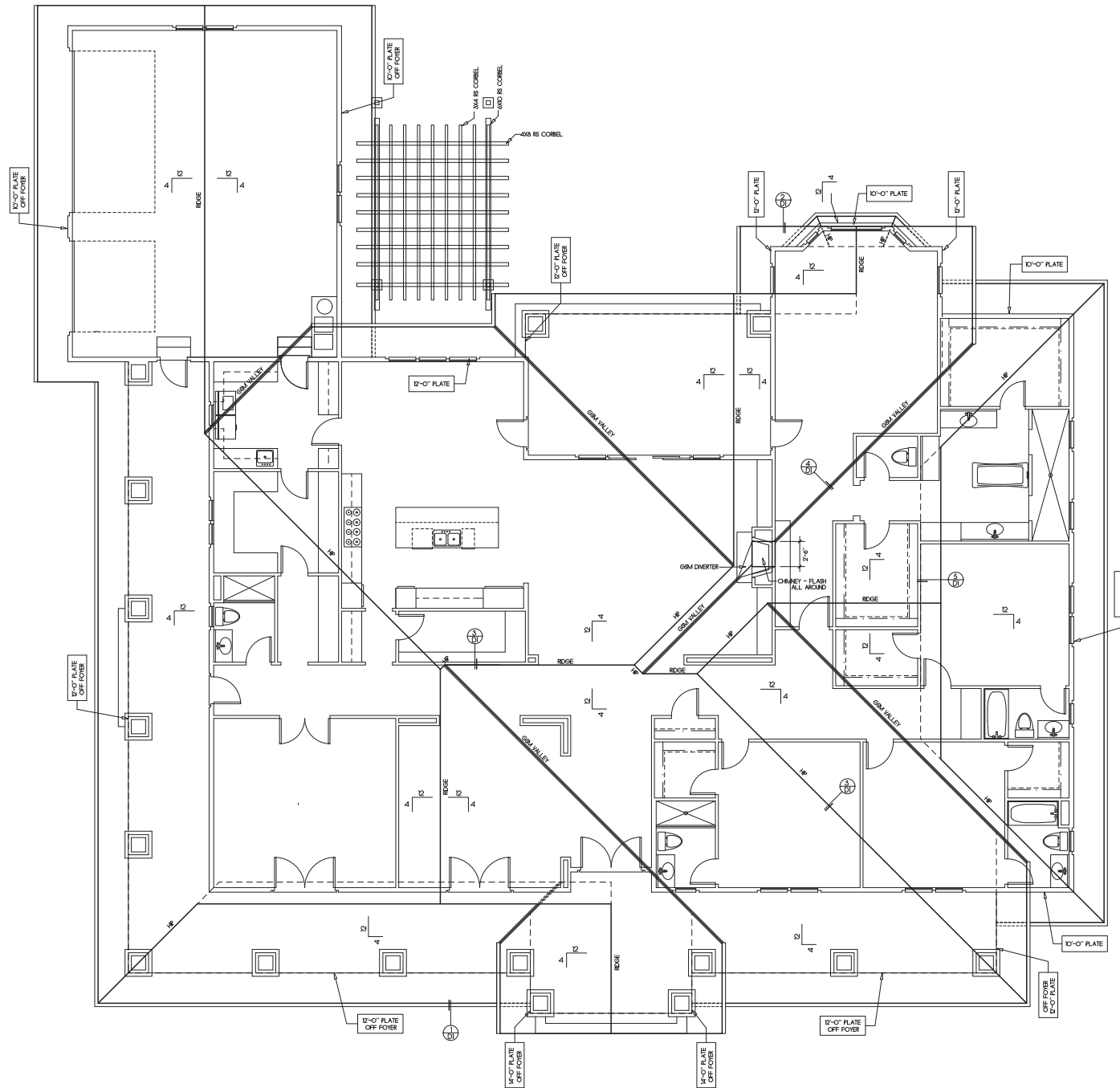
Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper or other approved flexible flashing material and shall be formed to follow the contours of the tile and allow sealing of the tiles as per 2013 CBC.

Plate heights are designated off adjacent subfloor (LION).

All rakes shall be 24" from wall framing (LION).

All eaves shall be 36" from wall framing (LION).

Plumbing waste stacks and combustion flues shall be placed to penetrate to the rear of the main ridge line. All beams shall be braced at each end to prevent rotation.



Rev	Description	Date

**Roof Plan**

Job Number: 201506	Sheet:
Scale: 1/4"=1'-0"	1.2
Drawn: Terry	
Checked: Terry	
Date: 6-26-15	of 22

**Proposed Residence**

Lot 1 Church Property  
 Pleasanton, California

**Notes:**

All windows at first floor shall be mounted at 6'-0" above top of subfloor (UCM).

Provide 15# building paper at all exterior walls with wood siding finish.

SF: Subfloor

Subfr: Subfloor

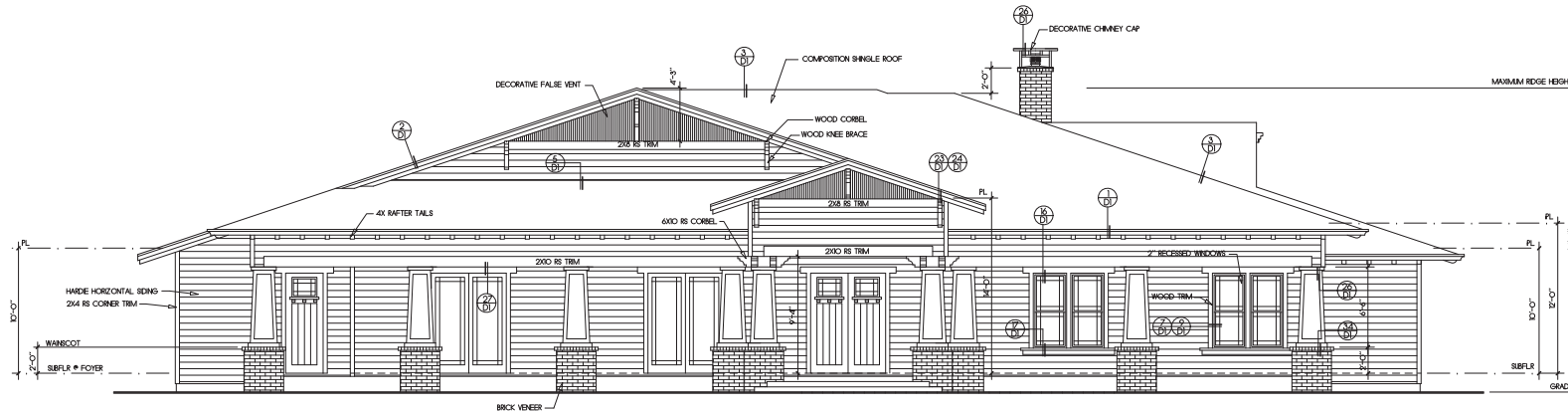
T.O.S: Top of Slab

T.O.S.W: Top of stem wall

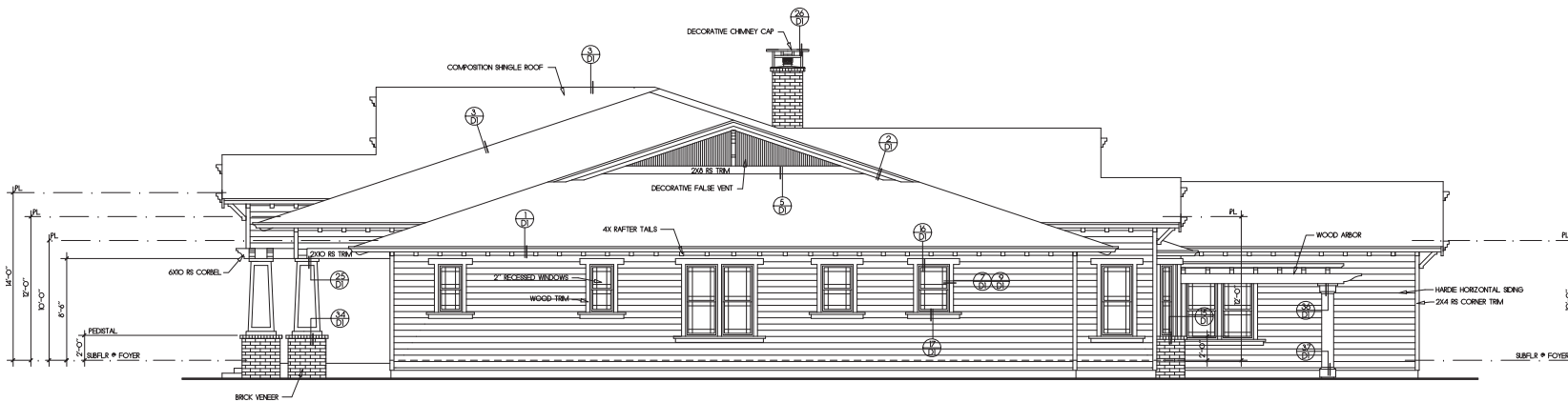
T.O. Fig: Top of Footing

Fireplace shall be equipped with GFM terminal cap with spark arrester.

Egress windows shall comply with 2015 CBC with a minimum net clear operable area of 5.7 sq. ft. a minimum net clear operable height of 24 inches, a minimum net clear operable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



**Front Elevation**  
 (East)



**Right Side Elevation**  
 (North)

Rev	Description	Date

**Exterior Elevations**

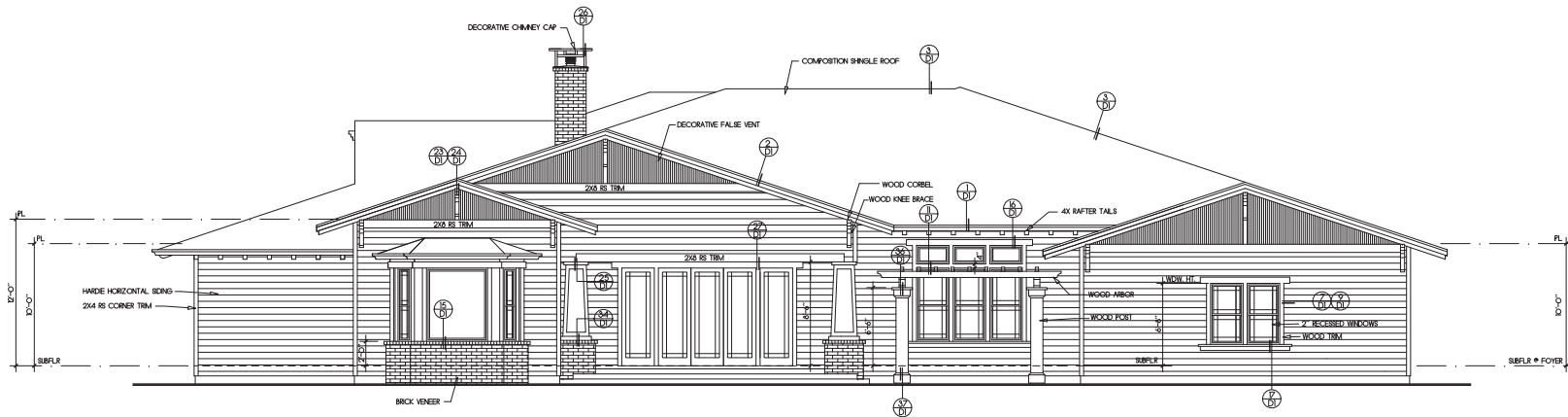
Job Number: 201506 Sheet: \_\_\_\_\_  
 Scale: 1/4"=1'-0" 1.3  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-15 Of 22

**Proposed Residence**

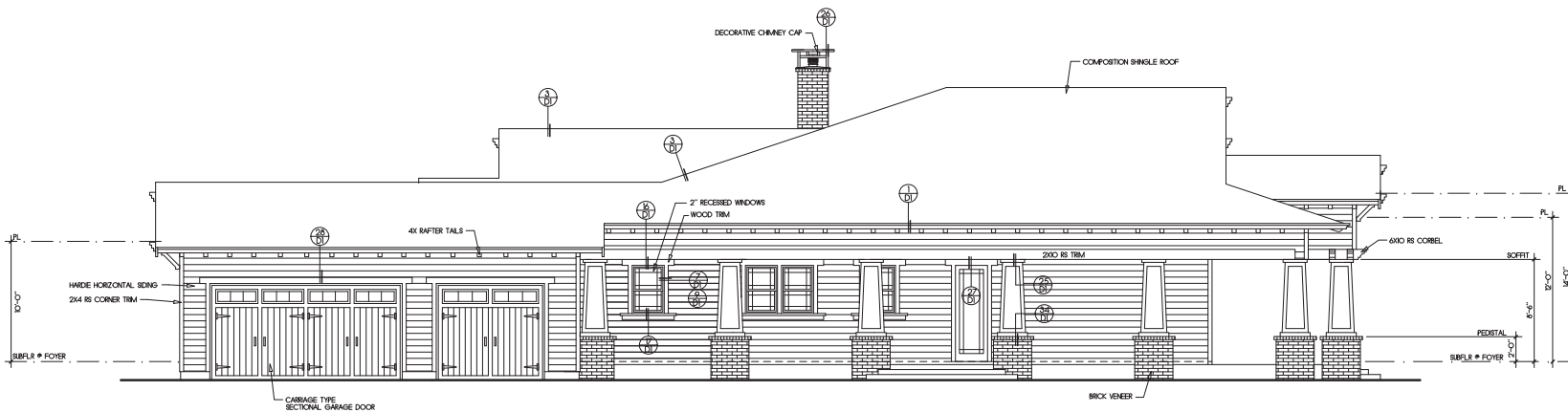
Lot 1 Church Property  
 Pleasanton, California

**Notes:**

- All windows at first floor shall be mounted at 8'-0" above top of subfloor (UCM).
- Provide 15# building paper at all exterior walls with wood siding finish.
- S.F. : Subfloor
- Subfr : Subfloor
- T.O.S. : Top of Slab
- T.O.S.W. : Top of stem wall
- T.O. Fig. : Top of Footing
- Fireplace shall be equipped with GFM terminal cap with spark arrester.
- Egress windows shall comply with 2015 CBC with a minimum net clear operable area of 57 sq. ft. a minimum net clear operable height of 24 inches, a minimum net clear operable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Rear Elevation  
 (West)



Left Side Elevation  
 (South)

Rev	Description	Date

**Exterior Elevations**

Job Number: 201506 Sheet: 14  
 Scale: 1/4"=1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-16 of 22

**COLOR AND MATERIAL BOARD - LOT 1 CHURCH PROPERTY**

**ROOF**

Certainfeed Old Overton



Old Overton

**BODY**

KM 301 Oakwood



**EAVES AND RAKES**

KM 412 Cargo



**TRIM**

KM 171 Sand Pebble



**MASONRY**

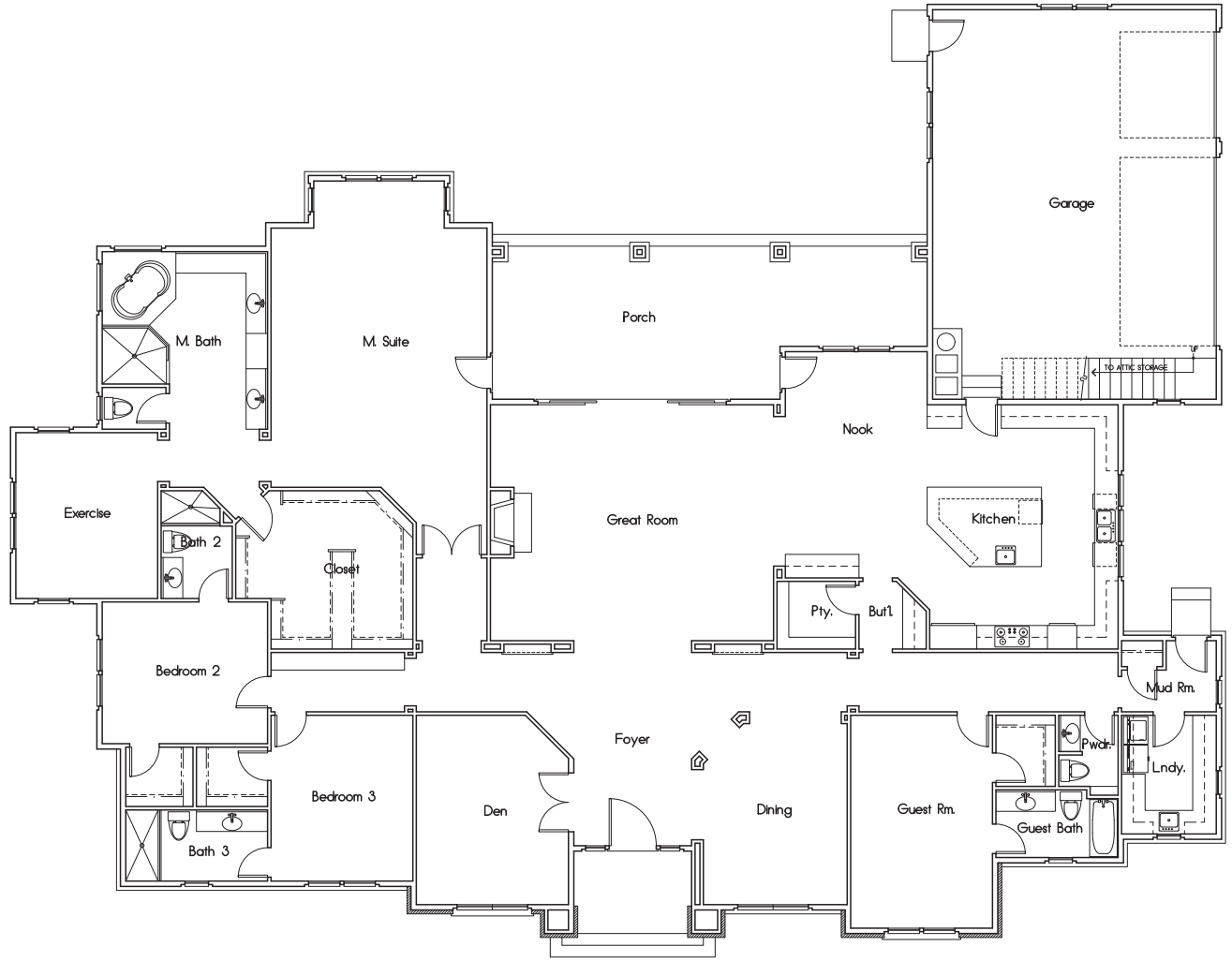
H. C. Muddox - Railroad Blend





**Proposed Residence**  
 Lot 2 Church Property  
 Pleasanton, California

Notes:



Rev	Description	Date

**Floor Plan**  
 4474 SQUARE FEET  
 GARAGE 541 SQUARE FEET  
 COVERED PORCHES 424 SQUARE FEET

Job Number: 201910 Sheet  
 Scale: 1/4" = 1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-26-15 of 22

2.1

**Proposed Residence**

Lot 2 Church Property  
 Pleasanton, California

**Notes:**

Roofing shall be Composition Shingle over 2x4 rafters over 1/2" OSB sheathing w/ radiant barrier nailed per structural engineer's specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/500 of the area of the space ventilated.

ATTIC VENTILATION :	XXXX / 150 = XXXXX sq. ft.
Total area required to be vented :	XXXXX sq. ft.
XXX Rafter vent	XXXXX sq. ft.
XXX Gable end vent	XXXXX sq. ft.
XXX High vent	XXXXX sq. ft.
Total Area of ventilation :	XXXXX sq. ft.
50% LOW REQUIREMENT :	XXX > XXX, OKAY
50% HIGH REQUIREMENT :	XXX > XXX, OKAY

All framing shall be Douglas Fir No. 2 or better (I/O/N/L). Composition shingles shall be fastened per 2015 CBC.

Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead copper, or other approved flexible flashing material and shall be formed to follow the contours of the tile and slow seating of the tiles as per 2015 CBC.

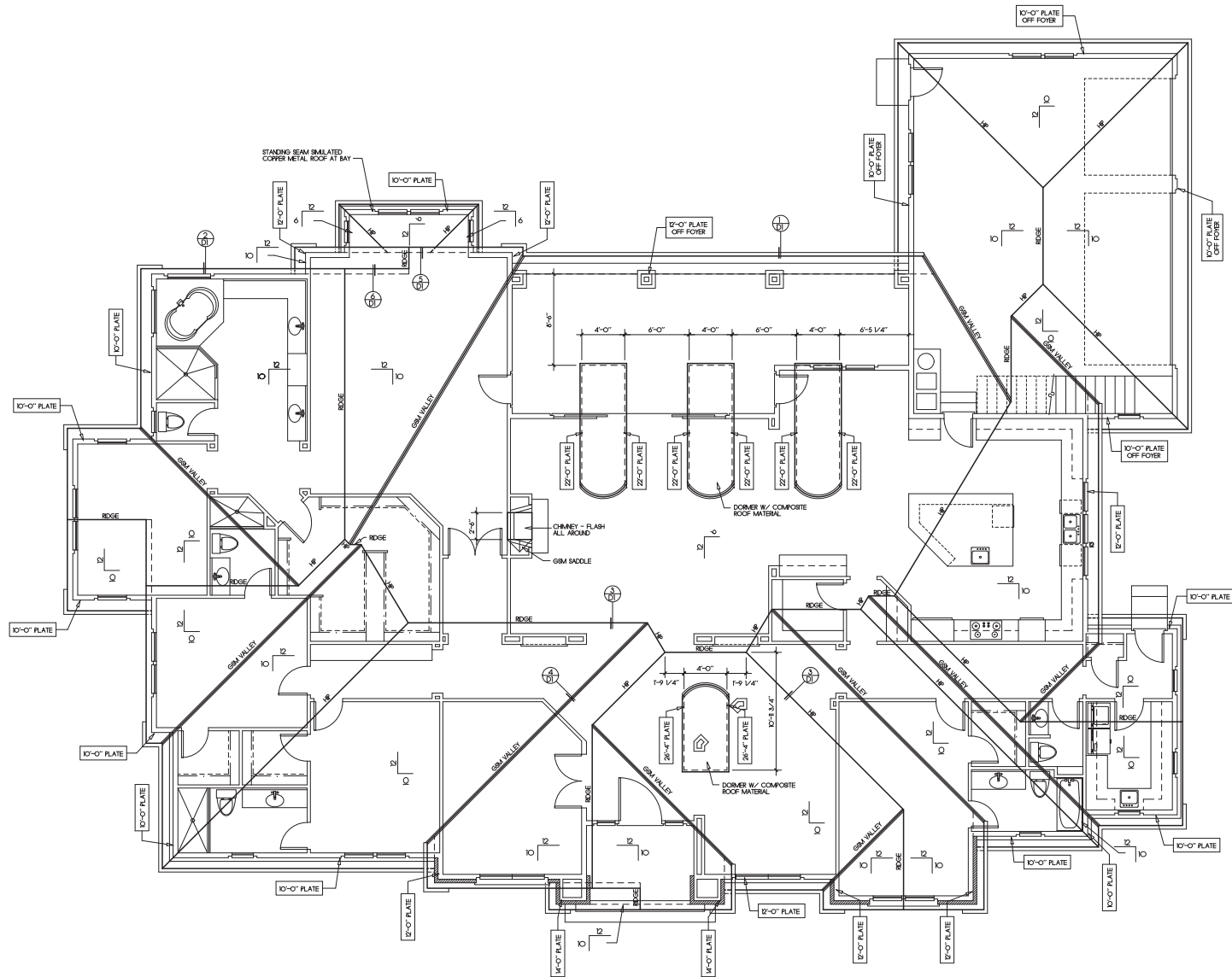
Plate heights are designated off adjacent subfloor (I/O/N/L).

All rakes shall be 6" from wall framing (I/O/N/L).

All eaves shall be 12" from wall framing (I/O/N/L).

Plumbing waste stacks and combustion flues shall be placed 10 penetrates to the rear of the main ridge line.

All beams shall be braced at each end to prevent rotation.



Rev	Description	Date

**Roof Plan**

Job Number:	20190	Sheet:	
Scale:	1/4"=1'-0"		
Drawn:	Terry		22
Checked:	Terry		
Date:	6-28-16	Of	22

**Proposed Residence**

Lot 2 Church Property  
 Pleasanton, California

**Notes:**

All windows at first floor shall be mounted at 6'-0" above top of subfloor (1/0N1).

A weep screed shall be provided at the foundation plate on all exterior stonework covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building per 2013 CBC.

S.F. : Subfloor

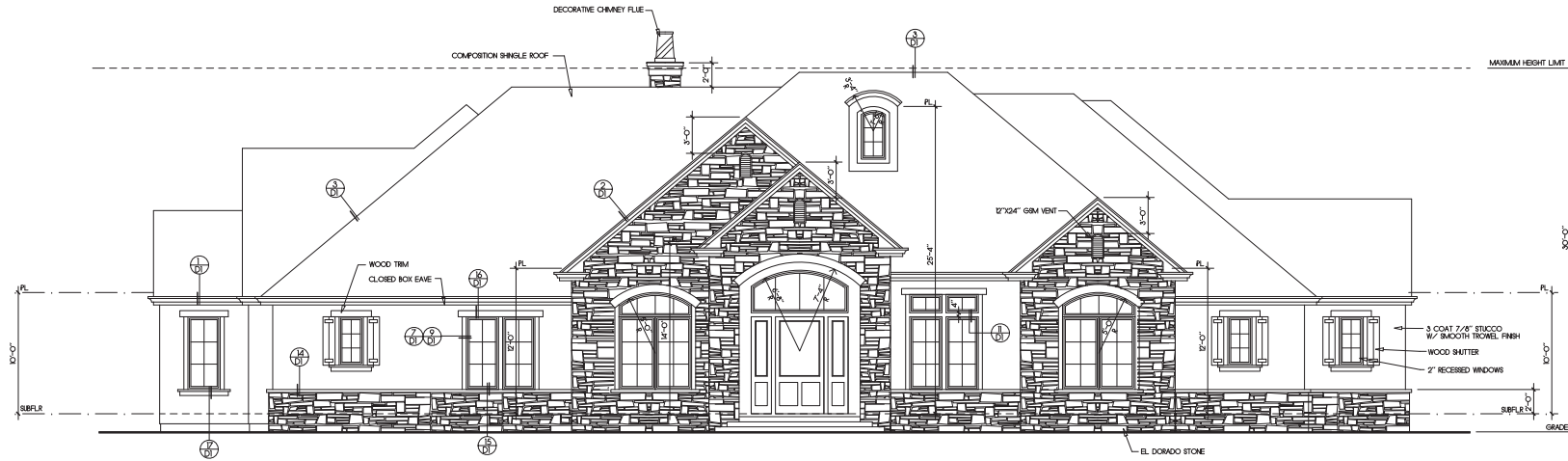
T.O.S. : Top of Stab

T.O.S.W. : Top of stem wall

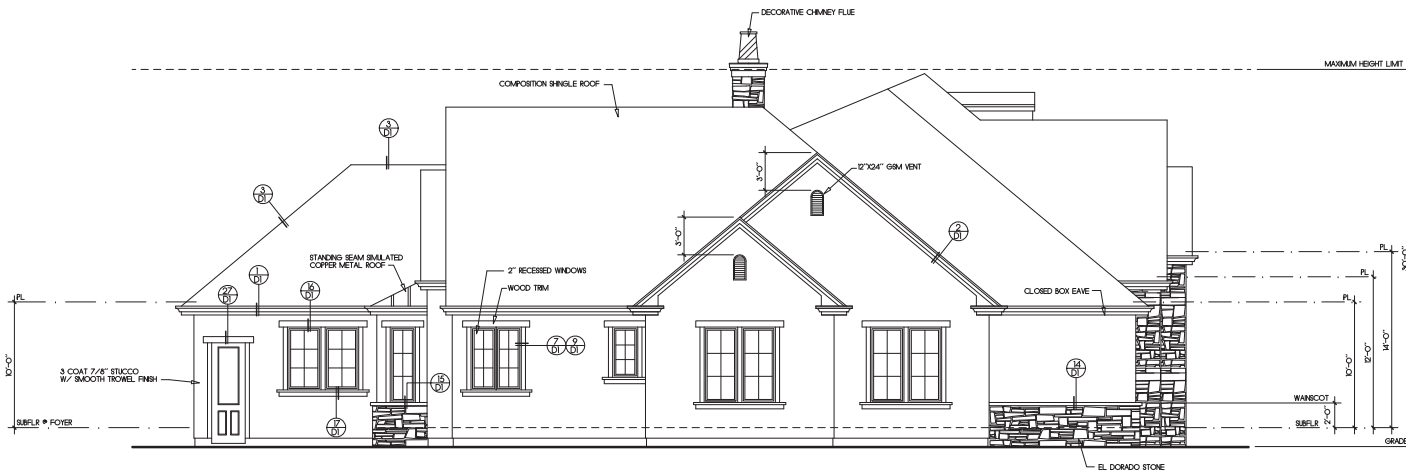
T.O. Ftg. : Top of Footing

Fireplace shall be equipped with GSI terminal cap with spark arrester.

Egress windows shall comply with 2013 CBC with a minimum net clear openable area of 5.7 sq. ft., a minimum net clear openable height of 24 inches, a minimum net clear openable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Front Elevation  
 (South)



Left Side Elevation  
 (West)

Rev	Description	Date

**Exterior Elevations**

Job Number: 201903 Sheet: 23  
 Scale: 1/4"=1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-16 of 22

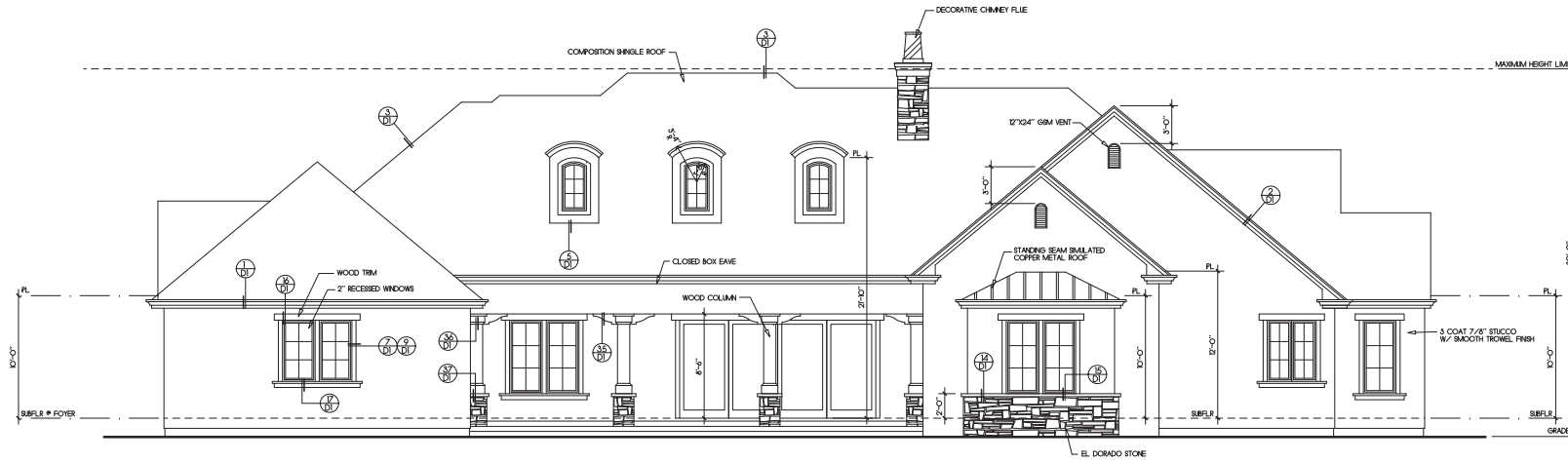
**Proposed Residence**

Lot 2 Church Property  
 Pleasanton, California

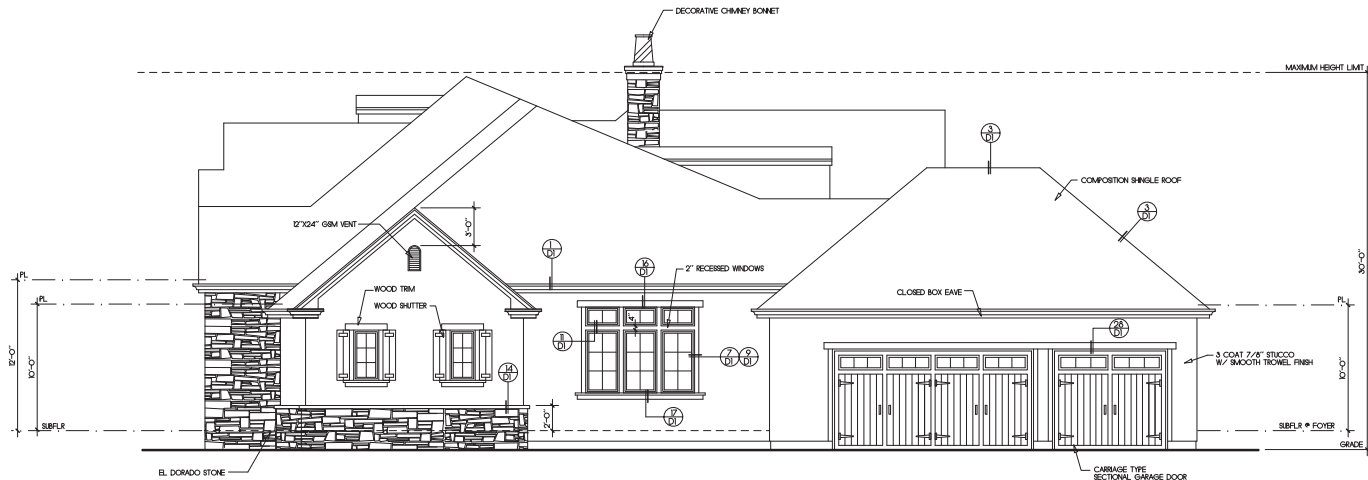
**Notes:**

All windows at first floor shall be mounted at 6'-0" above top of subfloor (SFLR).  
 A weep screed shall be provided at the foundation plate on all exterior stonework covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building per 2013 CBC.

S.F. : Subfloor  
 S.W. : Top of Stem Wall  
 T.O.S.W. : Top of stem wall  
 T.O. Ftg. : Top of Footing  
 Fireplaces shall be equipped with GSM terminal cap with spark arrester.  
 Egress windows shall comply with 2013 CBC with a minimum net clear openable area of 5.7 sq. ft., a minimum net clear openable height of 24 inches, a minimum net clear openable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Rear Elevation  
 (North)



Right Side Elevation  
 (East)

Rev	Description	Date

**Exterior Elevations**

Job Number: 2019C Sheet:  
 Scale: 1/4"=1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-16 Of 22

**COLOR AND MATERIAL BOARD - LOT 2 CHURCH PROPERTY**

**ROOF**

Certainteed Max Def Black Walnut



**BODY**

KM 232 Toscano



**EAVES AND RAKES**

KM 407 Carbon



**TRIM**

KM 42 Wiseowl



**MASONRY**

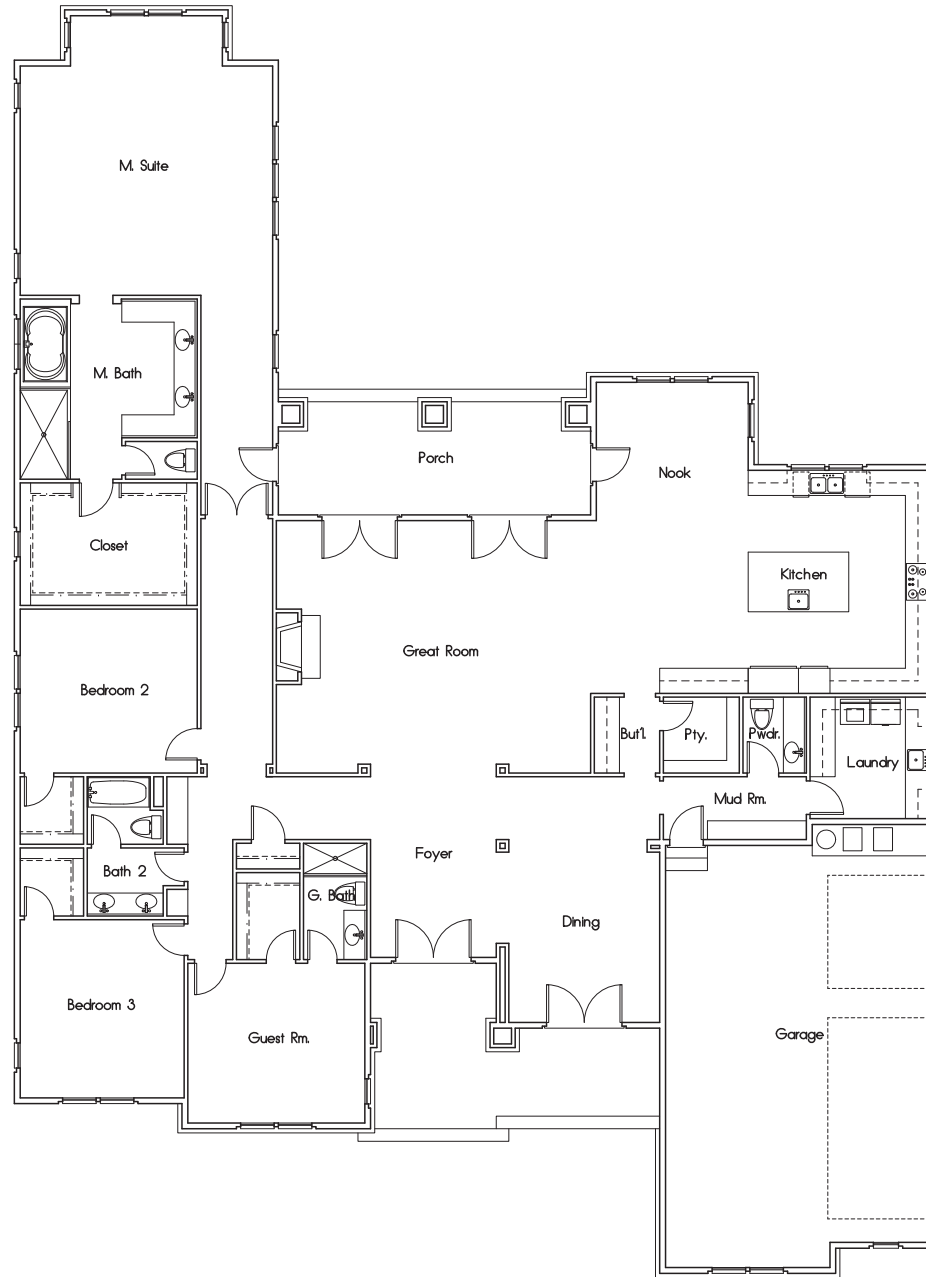
El Dorado Coastal Reef - Sanibel



**Proposed Residence**

Lot 3 Church Property  
 Pleasanton, California

Notes:



Rev	Description	Date

**Floor Plan**  
 3024 SQUARE FEET  
 GARAGE 744 SQUARE FEET  
 COVERED PORCHES 293 SQUARE FEET

Job Number: 201507 Sheet  
 Scale: 1/4" = 1'-0" Terry  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-15 of 22

**Proposed Residence**

Lot 3 Church Property  
 Pleasanton, California

**Notes:**

Roofing shall be Composition Shingle over 5/8" felt over 1/2" OSB sheathing w/ radiant barrier noted per structural engineer's specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

ATTIC VENTILATION : XXXX / 150 = XXXXX sq. ft.  
 Total area required to be vented : XXXXX sq. ft.  
 XXX Rafter vent ..... XXXXX sq. ft.  
 XXX Gable end vent ..... XXXXX sq. ft.  
 XXX O'High vent ..... XXXXX sq. ft.  
 Total Area of ventilation : ..... XXXXX sq. ft.  
 50% LOW REQUIREMENT: XXX > XXX, OKAY  
 50% HIGH REQUIREMENT: XXX > XXX, OKAY

All framing shall be Douglas Fir No. 2 or better (LION).  
 Composition Shingles shall be fastened per 2018 CBC.

Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper, or other approved flexible flashing material and shall be formed to follow the contour of the tile and slow seating of the tiles as per 2018 CBC.

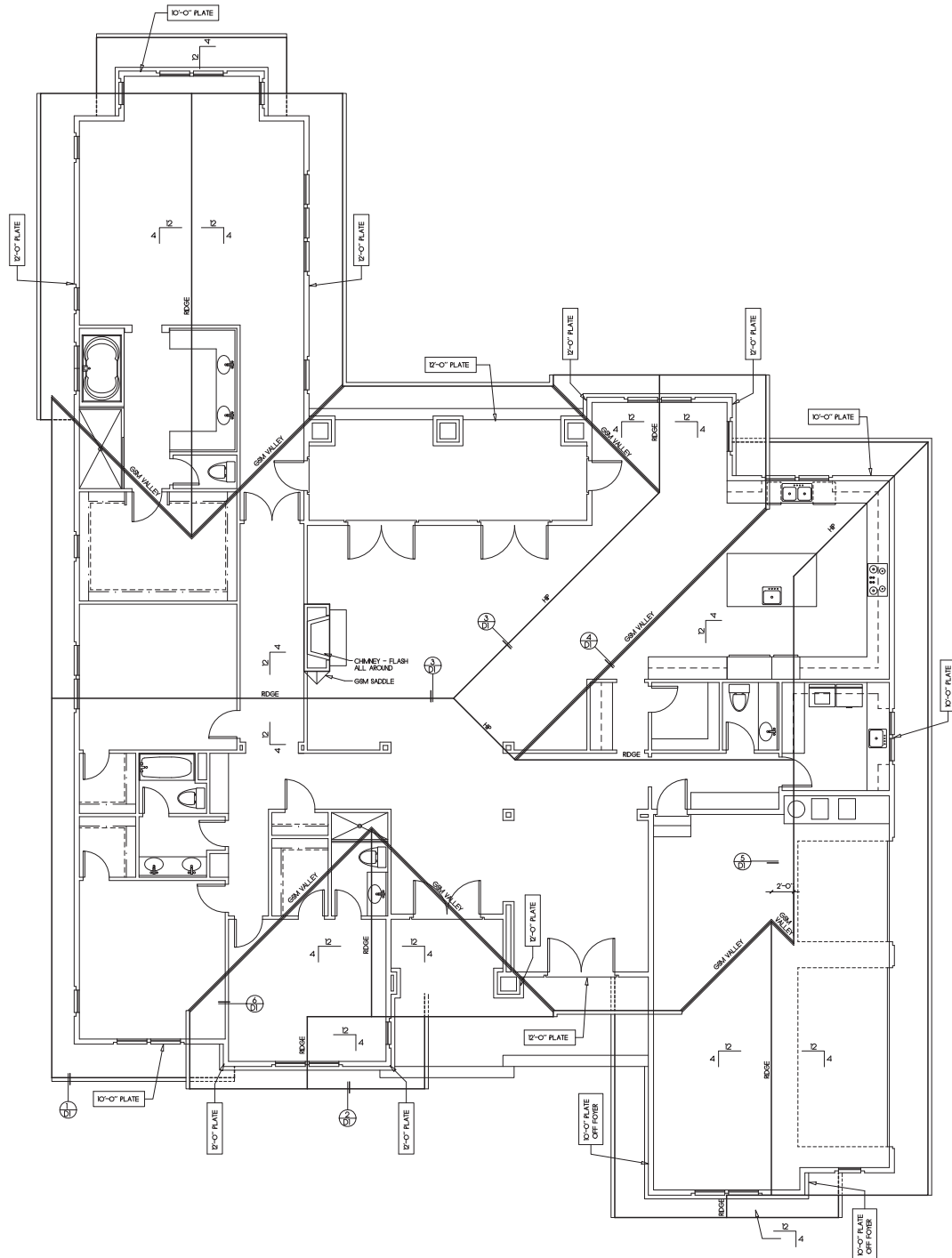
Plate heights are designated off adjacent subfloor (LION).

All rakes shall be 24" from wall framing (LION).

All eaves shall be 36" from wall framing (LION).

Planting waste stacks and combustion flues shall be placed to penetrate to the rear of the main ridge line.

All beams shall be braced at each end to prevent rotation.



Rev	Description	Date

**Roof Plan**

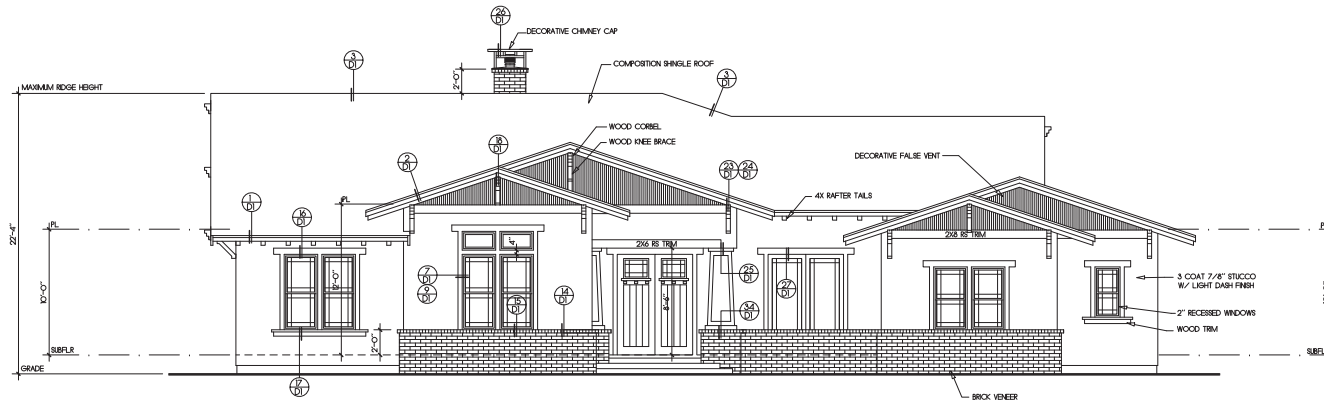
Job Number: 201807 Sheet:  
 Scale: 1/4" = 1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-16 of 22

**Proposed Residence**

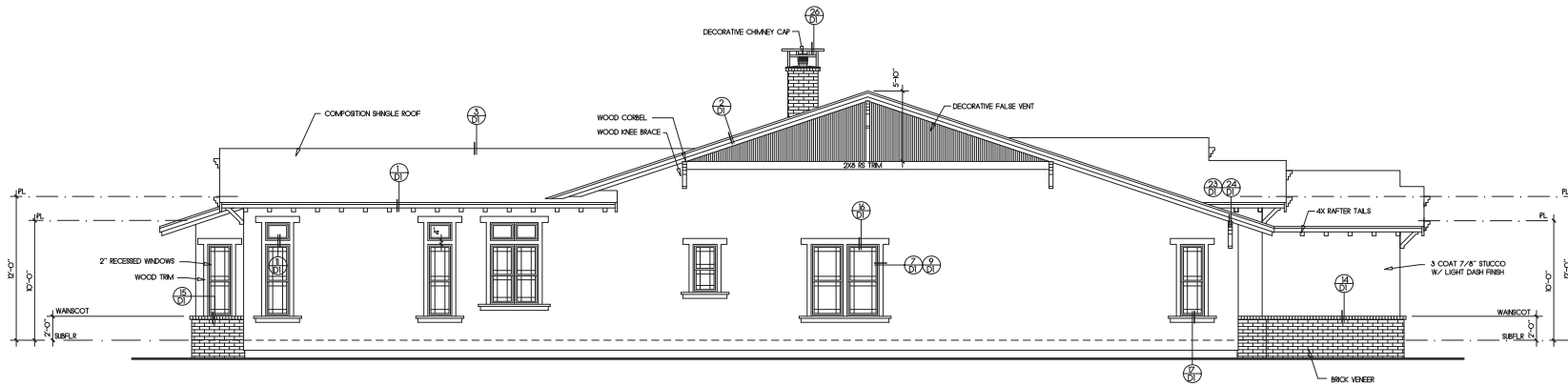
Lot 3 Church Property  
 Pleasanton, California

**Notes:**

- All windows at first floor shall be mounted at 6'-0" above top of subfloor (SFLR).
- Provide 15# building paper at all exterior walls with wood siding finish.
- Provide two layers grade "D" paper at all exterior walls with stucco over wood based sheathing.
- A weep screed shall be provided at the foundation plate on all exterior studwalls covered with stucco. The screed shall be of a type which will slow trapped water to drain to the exterior of the building per 2018 CBC.
- S.F. : Subfloor
- Subfr : Subfloor
- T.O.S : Top of Slab
- T.O.S.W : Top of stem wall
- T.O. Fig : Top of Footing
- Fireplace shall be equipped with GSM terminal cap with spark arrester.
- Egress windows shall comply with 2018 CBC with a minimum net clear operable area of 5.7 sq. ft., a minimum net clear operable height of 24 inches, a minimum net clear operable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Front Elevation  
 (South)



Left Side Elevation  
 (West)

Rev	Description	Date

**Exterior Elevations**

Job Number: 201807 Sheet: \_\_\_\_\_  
 Scale: 1/4" = 1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-16 Of 22

3.3

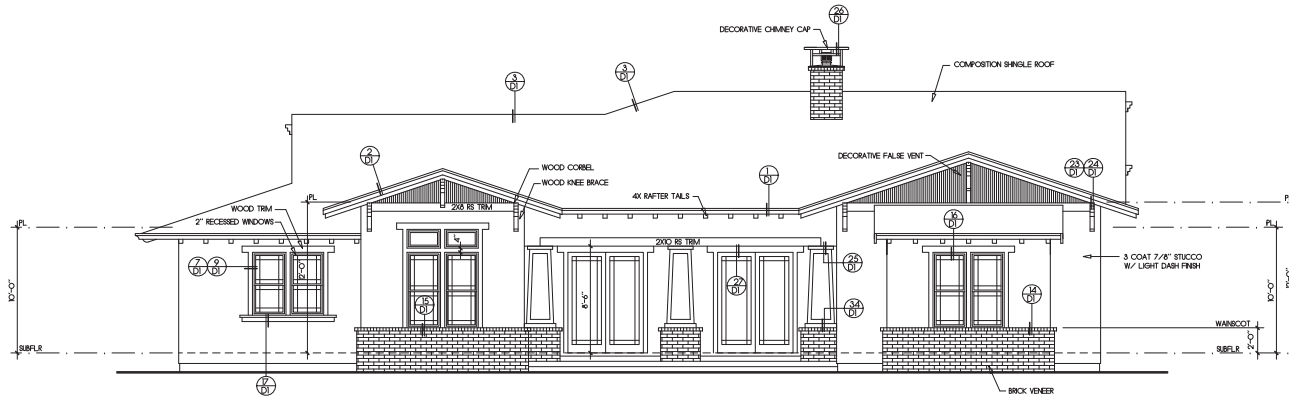


**Proposed Residence**

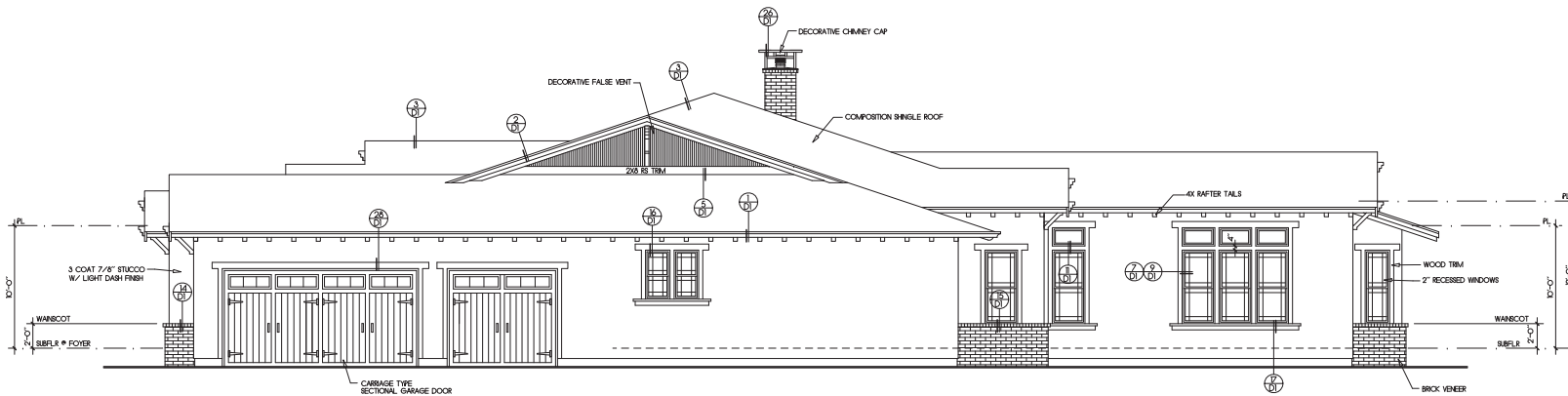
Lot 3 Church Property  
 Pleasanton, California

**Notes:**

- All windows at 1st floor shall be mounted at 6'-0" above top of subfloor (S.F.).
- Provide 15# building paper at all exterior walls with wood siding finish.
- Provide two layers grade "D" paper at all exterior walls with stucco over wood based sheathing.
- A weep screed shall be provided at the foundation plate on all exterior studwalls covered with stucco. The screed shall be of a type which will slow trapped water to drain to the exterior of the building per 2013 CBC.
- S.F. : Subfloor
- Subfr : Subfloor
- T.O.S : Top of Slab
- T.O.S.W. : Top of stem wall
- T.O. Fig : Top of Footing
- Fireplace shall be equipped with GSM terminal cap with spark arrestor.
- Egress windows shall comply with 2013 CBC with a minimum net clear operable area of 5.7 sq. ft., a minimum net clear operable height of 24 inches, a minimum net clear operable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Rear Elevation  
 (North)



Right Side Elevation  
 (East)

Rev	Description	Date

**Exterior Elevations**

Job Number: 201907 Sheet:  
 Scale: 1/4"=1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-16 Of 22

**COLOR AND MATERIAL BOARD - LOT 3 CHURCH PROPERTY**

**ROOF**

Certainfeed Old Overton



**BODY**

KM 5788 Tranquil Taupe



**EAVES AND RAKES**  
KM 4582 Beaver Pelt



**TRIM**  
KM 27 Bone



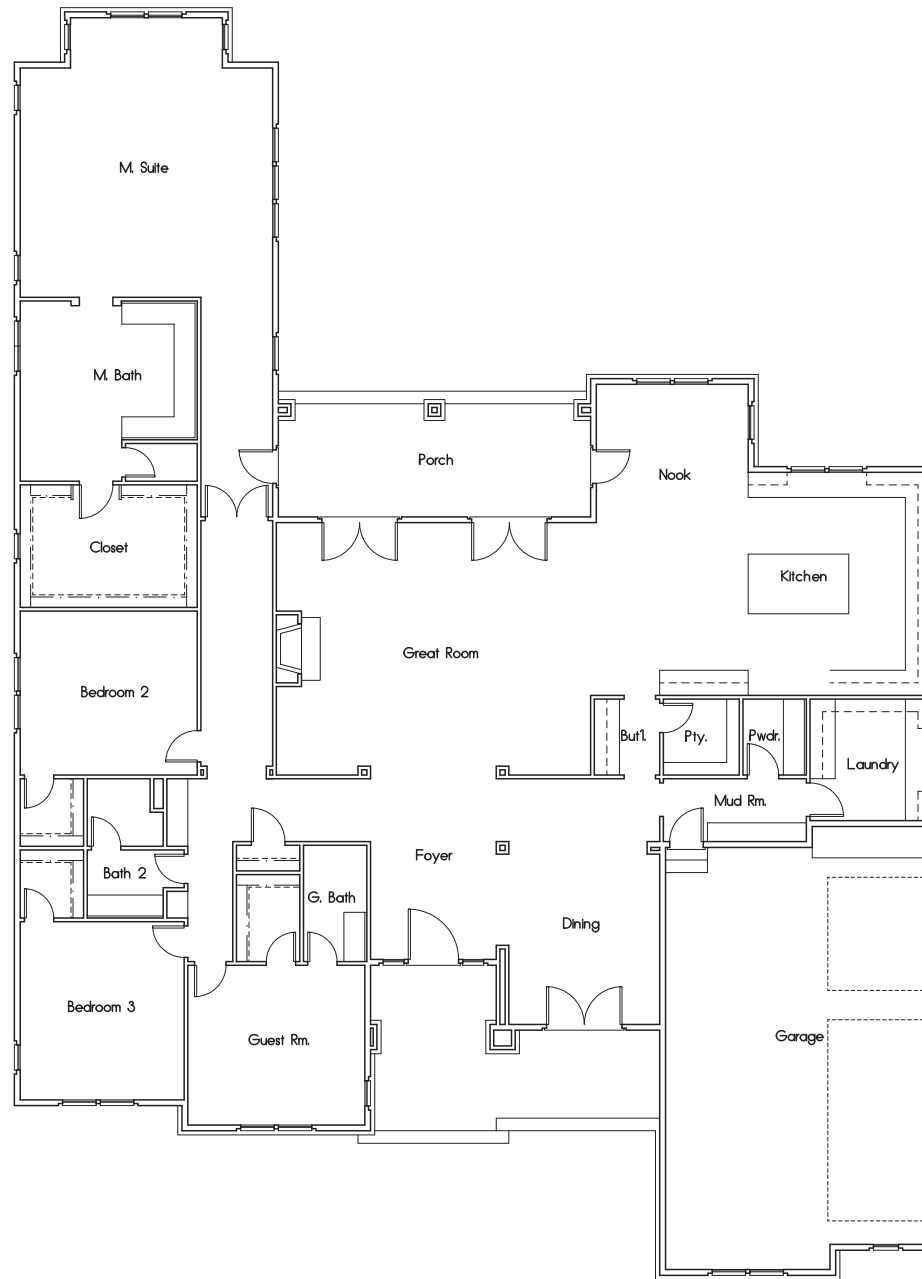
**MASONRY**  
H. C. Muddox - Monterey Bay Flashed



**Proposed Residence**

Lot 4 Church Property  
 Pleasanton, California

Notes:



Rev	Description	Date

**Floor Plan**  
 3624 SQUARE FEET  
 GARAGE 744 SQUARE FEET  
 COVERED PORCHES 293 SQUARE FEET

Job Number: 201508 Sheet  
 Scale: 1/4" = 1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-15 of 22

4.1

**Proposed Residence**

Lot 4 Church Property  
 Pleasanton, California

**Notes:**

Roofing shall be Composition Shingle over 5/8" felt over 1/2" OSB sheathing w/ radiant barrier noted per structural engineer's specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

ATTIC VENTILATION :	XXXX / ISO = XXXXX sq. ft.
Total area required to be vented :	XXXXXX sq. ft.
XXX Rafter vent .....	XXXXXX sq. ft.
XXX Gable end vent .....	XXXXXX sq. ft.
XXX O'High vent .....	XXXXXX sq. ft.
Total Area of ventilation :	XXXXXX sq. ft.
50% LOW REQUIREMENT :	XXX > XXX, OKAY
50% HIGH REQUIREMENT :	XXX > XXX, OKAY

All framing shall be Douglas Fir No. 2 or better (LION). Composition Shingles shall be fastened per 2018 CBC.

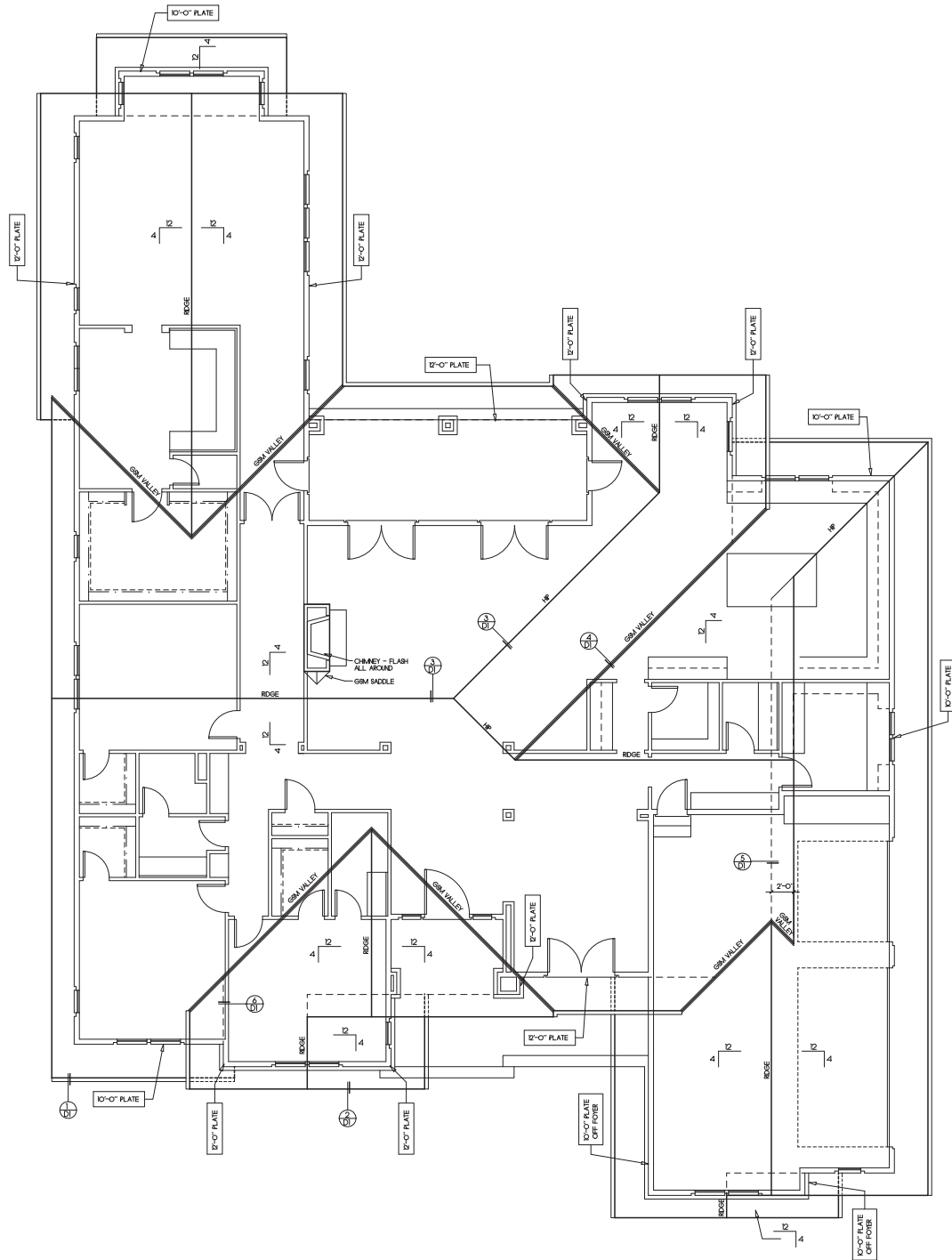
Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper, or other approved flexible flashing material and shall be formed to follow the contours of the tile and slow seating of the tiles as per 2018 CBC.

Plate heights are designated off adjacent subfloor (LION).

All rakes shall be 24" from wall framing (LION). All eaves shall be 36" from wall framing (LION).

Planting waste stacks and combustion flues shall be placed to penetrate to the rear of the main ridge line.

All beams shall be braced at each end to prevent rotation.



Rev	Description	Date

**Roof Plan**

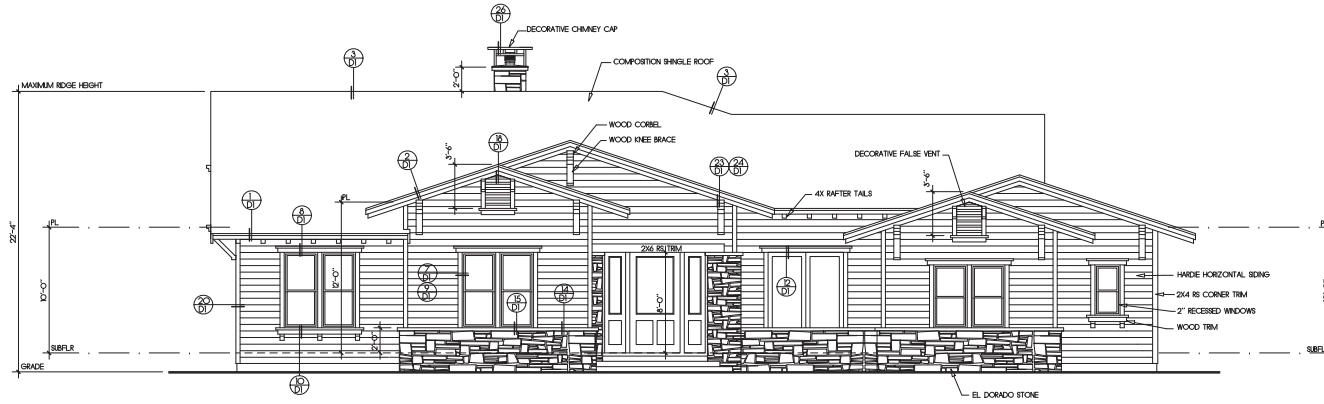
Job Number: 201808 Sheet: 4.2  
 Scale: 1/4" = 1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-16 Of 22

**Proposed Residence**

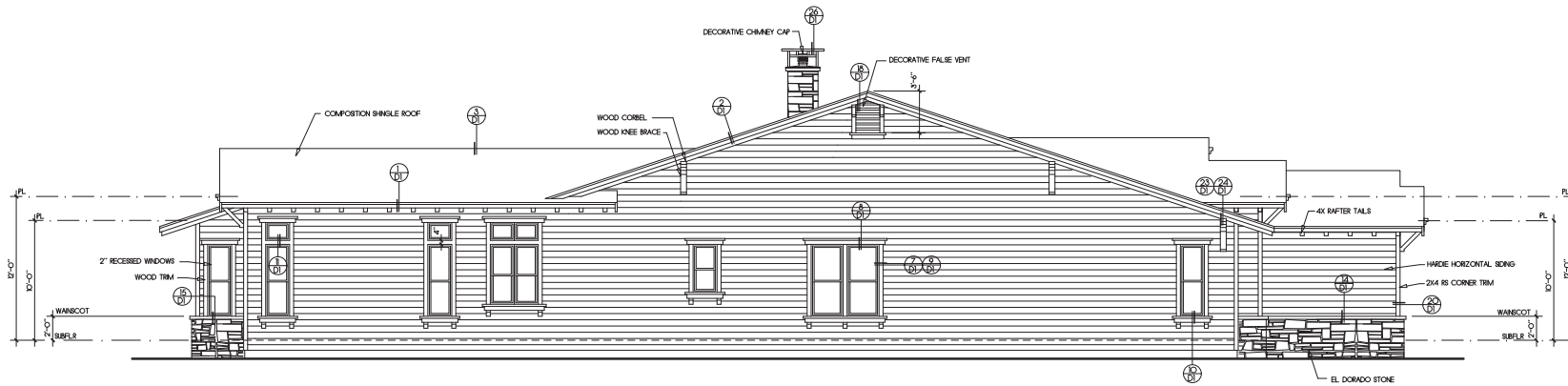
Lot 4 Church Property  
 Pleasanton, California

**Notes:**

- All windows at first floor shall be mounted at 6'-0" above top of subfloor (S.F.).
- Provide 15# building paper on all exterior walls with wood siding finish.
- S.F. : Subfloor
- Subflr : Subfloor
- T.O.S : Top of Slab
- T.O.S.W : Top of stem wall
- T.O. Fig : Top of Footing
- Fireplace shall be equipped with GFM terminal cap with spark arrester.
- Egress windows shall comply with 2015 CBC with a minimum net clear openable area of 57 sq. ft., a minimum net clear openable height of 24 inches, a minimum net clear openable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Front Elevation  
 (South)



Left Side Elevation  
 (West)

Rev	Description	Date

**Exterior Elevations**

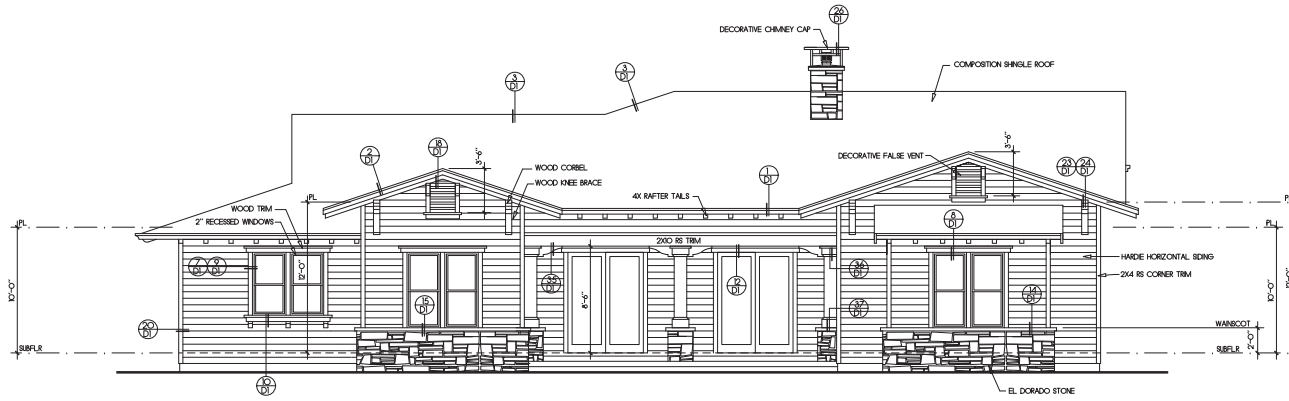
Job Number: 201508 Sheet: \_\_\_\_\_  
 Scale: 1/4" = 1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-16 Of 22

**Proposed Residence**

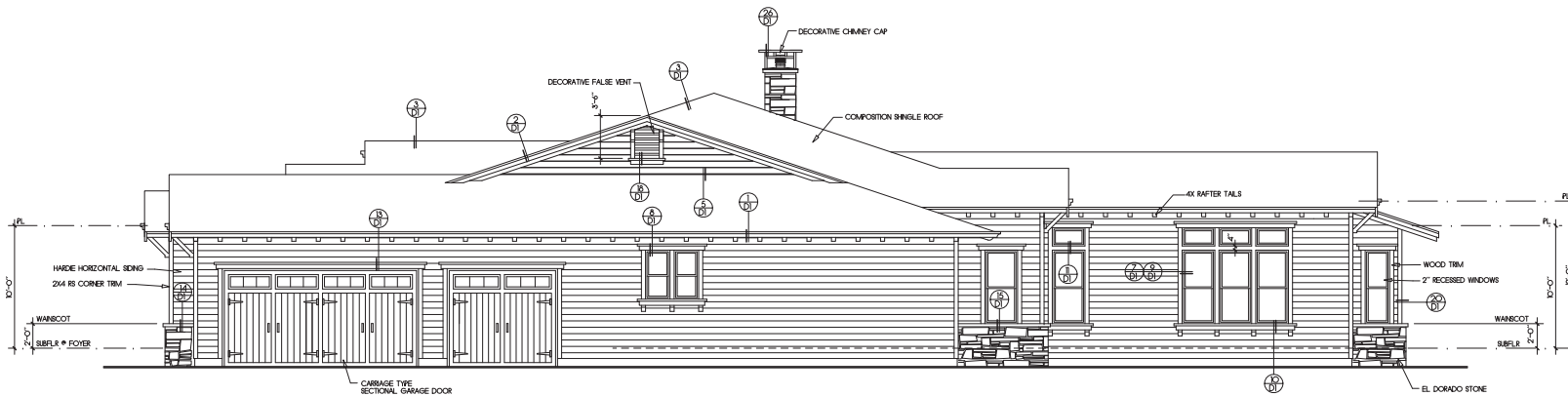
Lot 4 Church Property  
 Pleasanton, California

**Notes:**

- All windows at first floor shall be mounted at 6'-0" above top of subfloor (I.O.S.).
- Provide 15# building paper at all exterior walls with wood siding finish.
- S.F. : Subfloor
- Subflr : Subfloor
- T.O.S. : Top of Slab
- T.O.S.W. : Top of stem wall
- T.O. Fig. : Top of Footing
- Fireplace shall be equipped with GEM terminal cap with spark arrester.
- Egress windows shall comply with 2015 CBC with a minimum net clear opening area of 57 sq. ft., a minimum net clear opening height of 24 inches, a minimum net clear opening width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Rear Elevation  
 (North)



Right Side Elevation  
 (East)

Rev	Description	Date

**Exterior Elevations**

Job Number: 201508 Sheet: 4,4  
 Scale: 1/4"=1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-16 Of 22

**COLOR AND MATERIAL BOARD - LOT 4 CHURCH PROPERTY**

**ROOF**

Certainteed Shenandoah



**BODY**  
KM 301 Oakwood



**EAVES AND RAKES**  
KM 232 Tuscano



**TRIM**  
KM 36 Navajo White

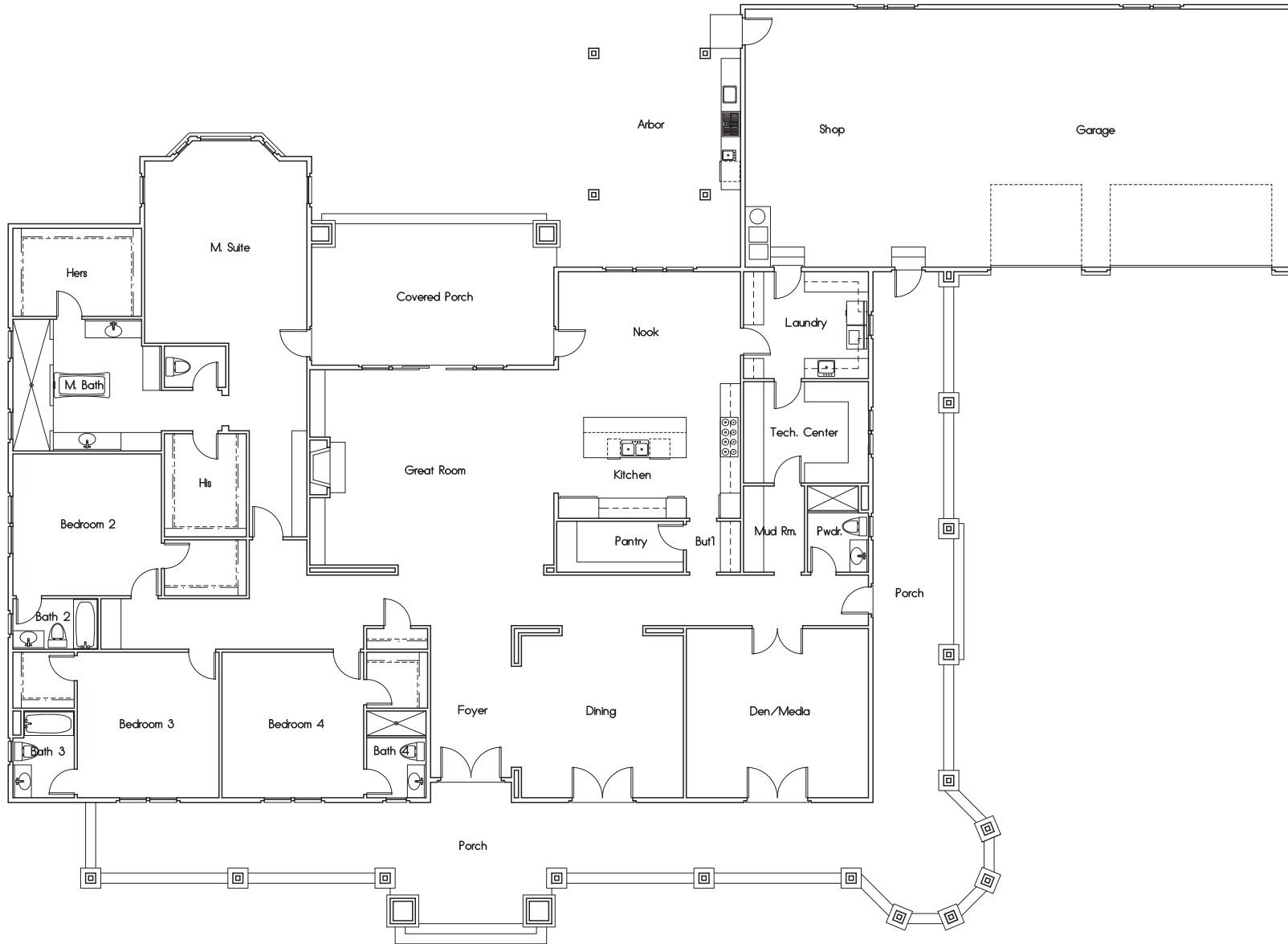


**MASONRY**  
El Dorado Mesquite



**Proposed Residence**  
 Lot 5 Church Property  
 Pleasanton, California

Notes:



Rev	Description	Date

**First Floor Plan**  
 4562 SQUARE FEET  
 GARAGE/PORCH 1852 SQUARE FEET  
 COVERED PORCHES 1895 SQUARE FEET

Job Number: 201506 Sheet:  
 Scale: 1/4" = 1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-15 of 22



**Proposed Residence**

Lot 5 Church Property  
 Pleasanton, California

**Notes:**

Roofing shall be Composition Shingle over 3/8" felt over 1/2" OSB sheathing w/ radiant barrier nailed per structural engineer's specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

ATTIC VENTILATION: XXXX / 150 = XXXXX sq. ft.  
 Total area required to be vented: XXXXX sq. ft.  
 XXX Rafter vent ..... XXXXX sq. ft.  
 XXX Gable end vent ..... XXXXX sq. ft.  
 XXX O'High vent ..... XXXXX sq. ft.  
 Total Area of ventilation: ..... XXXXX sq. ft.  
 50% LOW REQUIREMENT: XXX > XXX OKAY  
 50% HIGH REQUIREMENT: XXX > XXX OKAY

All framing shall be Douglas Fir No. 2 or better (LION).  
 Composition shingles shall be fastened per 2013 CBC.

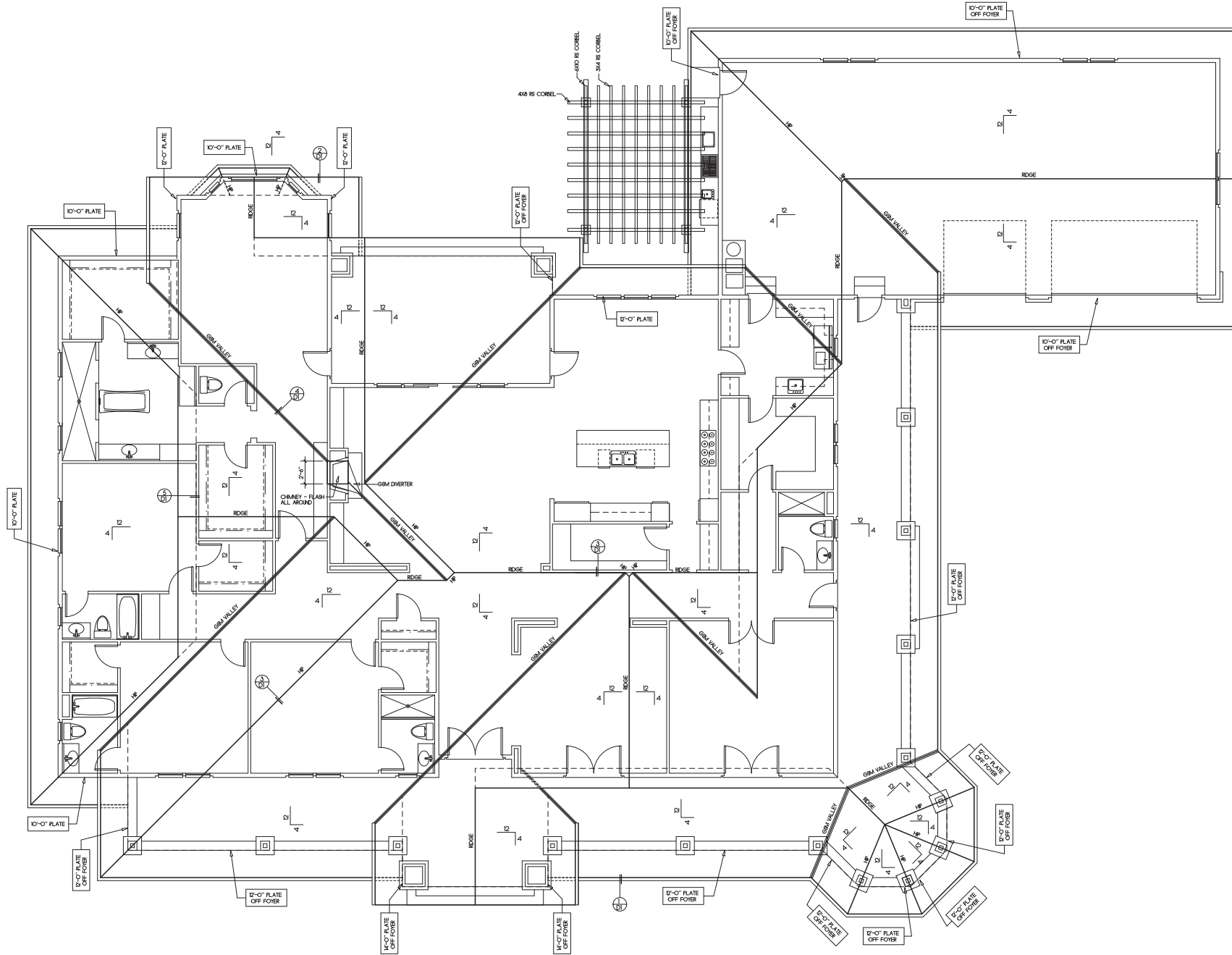
Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper or other approved flexible flashing material and shall be formed to follow the contours of the tile and allow sealing of the tiles as per 2013 CBC.

Plate heights are designated off adjacent subfloor (LION).

All rakes shall be 24" from wall framing (LION).

All eaves shall be 36" from wall framing (LION).

Plumbing waste stacks and combustion flues shall be placed to penetrate to the rear of the main ridge line. All beams shall be braced at each end to prevent rotation.



Rev	Description	Date

**Roof Plan**

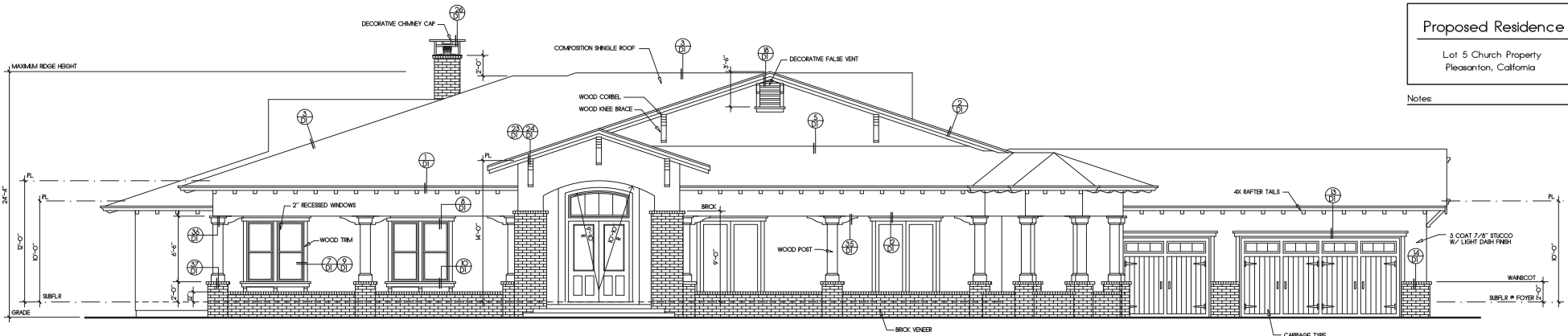
Job Number: 201506 Sheet:  
 Scale: 1/4"=1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-15 of 22

5.2

**Proposed Residence**

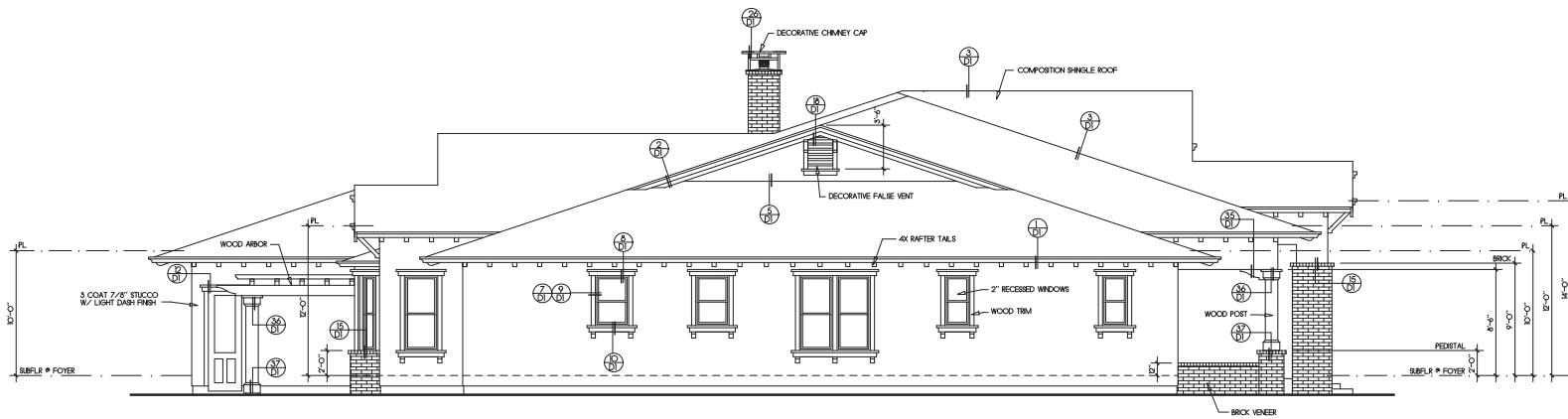
Lot 5 Church Property  
 Pleasanton, California

Note:



Front Elevation  
 (South)

All windows at first floor shall be mounted at 6'-0" above top of subfloor (LON).  
 Provide two layers grade "D" paper at all exterior walls with stucco over wood based sheathing.  
 A weep screed shall be provided at the foundation plate on all exterior studs covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building per 2003 CBC.  
 SF: Subfloor  
 Subfr: Subfloor  
 T.O.S: Top of Slab  
 T.O.S.W: Top of stem wall  
 T.O. Flg: Top of Footing  
 Fireplace shall be equipped with GFM terminal cap with spark arrester.  
 Egress windows shall comply with 2003 CBC with a minimum net clear openable area of 5.7 sq ft, a minimum net clear openable height of 24 inches, a minimum net clear openable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Left Side Elevation  
 (West)

Rev	Description	Date

**Exterior Elevations**

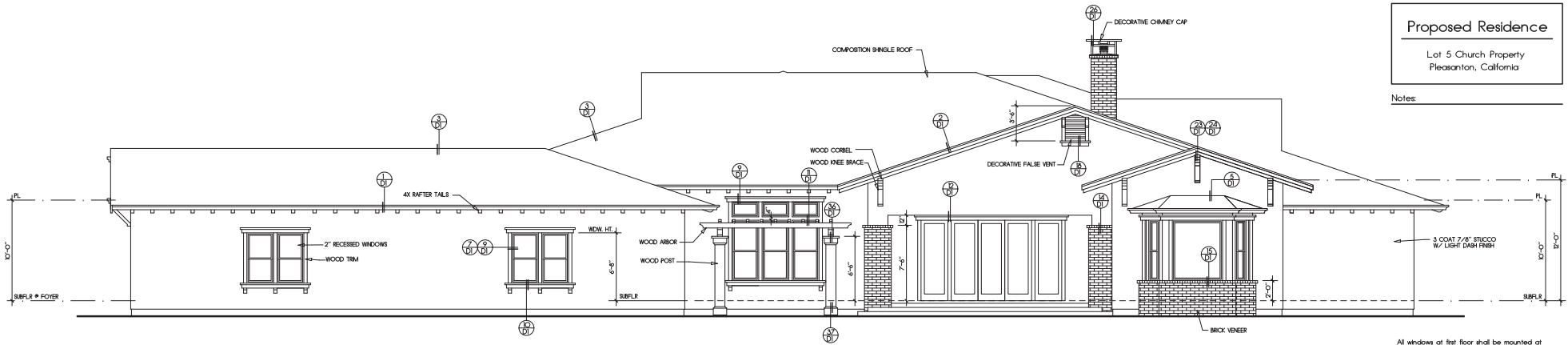
Job Number: 201806 Sheet: \_\_\_\_\_  
 Scale: 1/4"=1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-16 Of 22

5.3

**Proposed Residence**

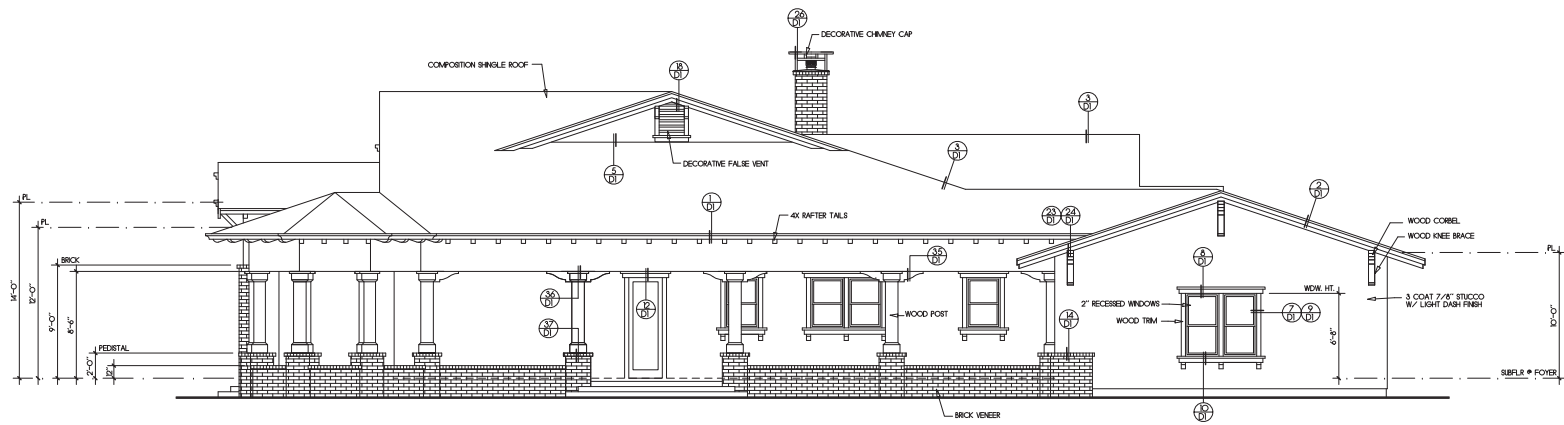
Lot 5 Church Property  
 Pleasanton, California

Note:



Rear Elevation  
 (North)

All windows at first floor shall be mounted at 6'-0" above top of subfloor (LON).  
 Provide two layers grade "D" paper at all exterior walls with stucco over wood based sheathing.  
 A weep screed shall be provided at the foundation plate on all exterior studs covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building per 2003 CBC.  
 SF: Subfloor  
 Subfr: Subfloor  
 T.O.S: Top of Slab  
 T.O.S.W: Top of stem wall  
 T.O. Flg: Top of Footing  
 Fireplace shall be equipped with GFM terminal cap with spark arrester.  
 Egress windows shall comply with 2003 CBC with a minimum net clear openable area of 5.7 sq ft, a minimum net clear openable height of 24 inches, a minimum net clear openable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Right Side Elevation  
 (East)

Rev	Description	Date

**Exterior Elevations**

Job Number: 201906 Sheet: 5,4  
 Scale: 1/4"=1'-0"  
 Drawn: Terry  
 Checked: Terry  
 Date: 6-28-16 Of 22

**COLOR AND MATERIAL BOARD - LOT 5 CHURCH PROPERTY**

**ROOF**

Certainteed Max Def Black Walnut



Max Def Black Walnut

**BODY**

KM 5772 Palm Lane



**EAVES AND RAKES**  
KM 407 Carbon



**TRIM**  
KM 231 Spanish Sand



**MASONRY**  
H. C. Muddox Railroad Blend



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Tan

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Sand



Fog



Tweed



Silver



Classic Brown



Espresso



Bronze

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