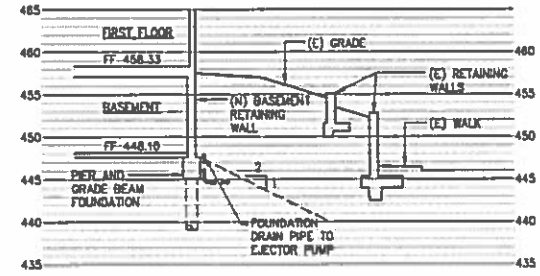
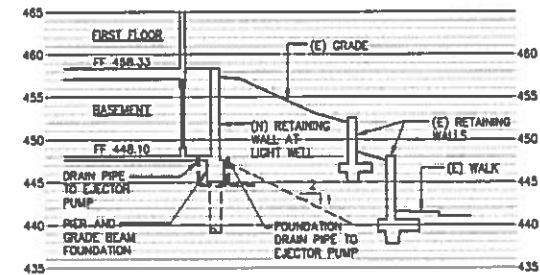


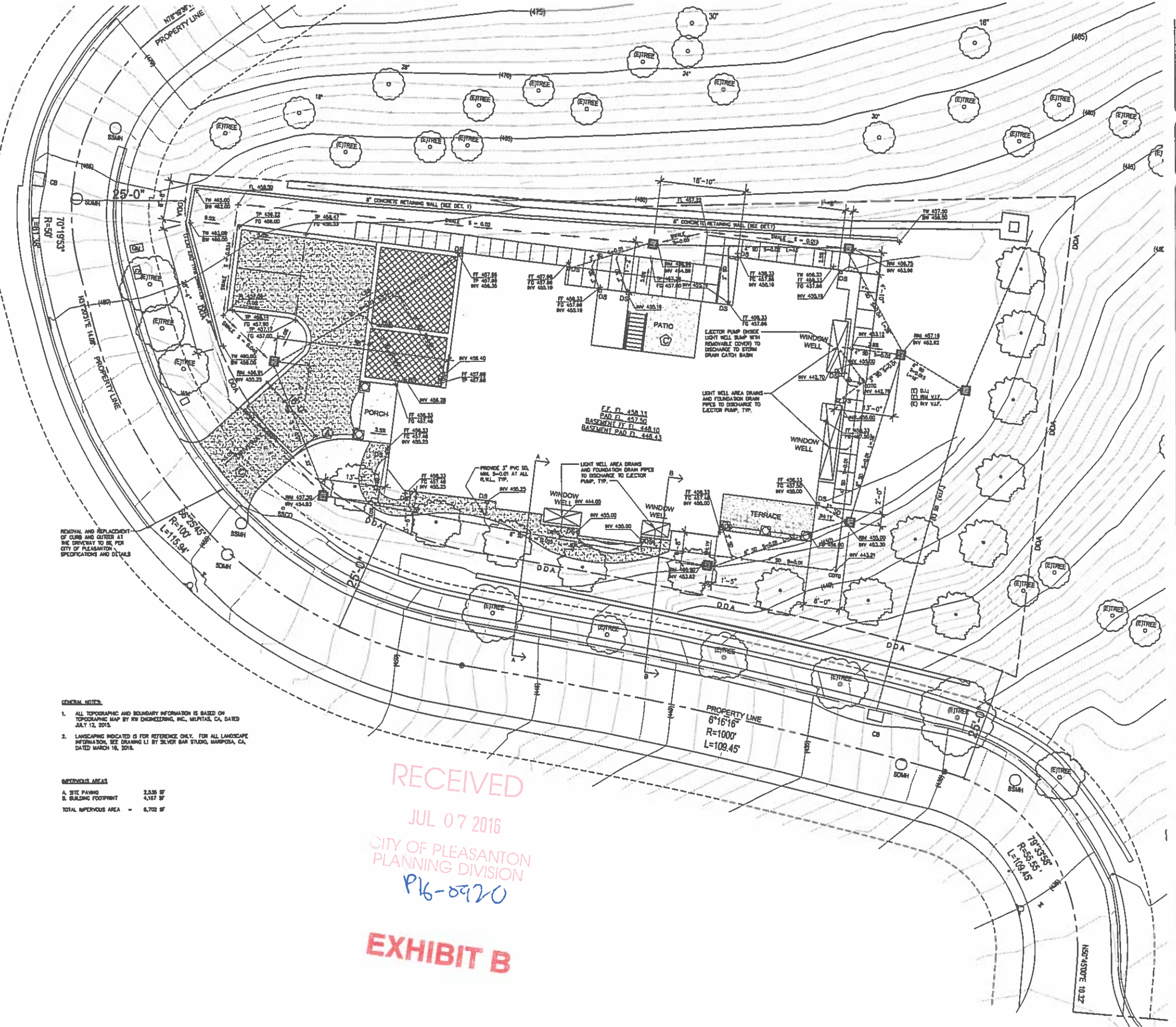
1 TYPICAL CONCRETE RETAINING WALL NOT TO SCALE



SITE SECTION A-A SCALE: 1"=10'



SITE SECTION B-B SCALE: 1"=10'



GENERAL NOTES: 1. ALL TOPOGRAPHIC AND BOUNDARY INFORMATION IS BASED ON TOPOGRAPHIC MAP BY RW ENGINEERING, INC. MOUNTAIN VIEW, CA DATED JULY 12, 2015. 2. LANDSCAPING INDICATED IS FOR REFERENCE ONLY. FOR ALL LANDSCAPE INFORMATION, SEE DRAWING L1 BY SILVER BAR STUDIO, MARIPOSA, CA DATED MARCH 16, 2015.

IMPERVIOUS AREAS table with columns for Area Type, Area, and Total Impervious Area.

RECEIVED JUL 07 2016 CITY OF PLEASANTON PLANNING DIVISION P16-0920

EXHIBIT B

Empty grid table for project identification.

Empty grid table for project identification.

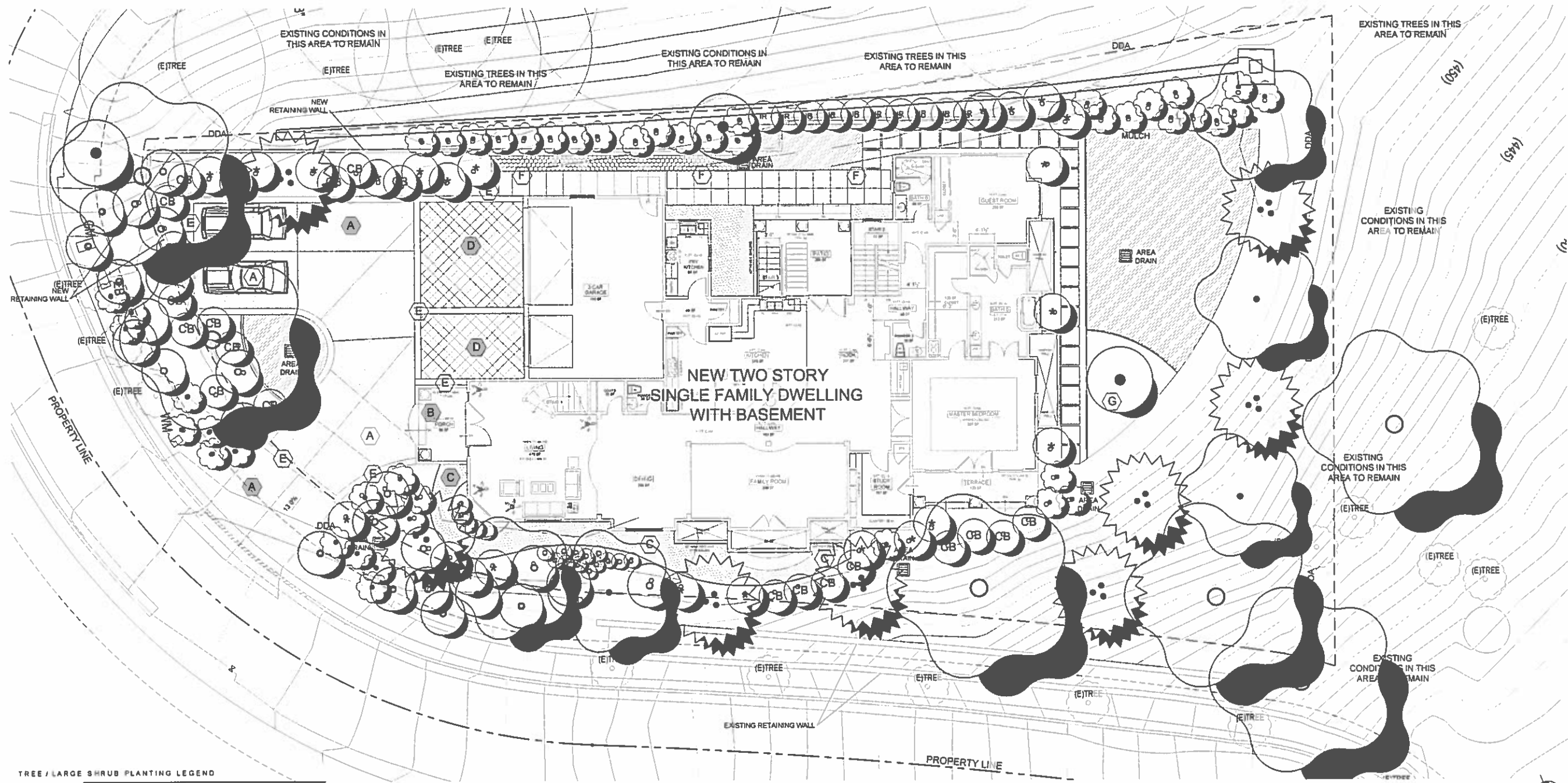


JAIME P. ARAFILES, PE 2216 ALVARADO BLVD., 2ND. FLOOR, UNION CITY, CA 94587

SITE GRADING AND DRAINAGE PLAN

NEW RESIDENCE FOR KN INVESTMENT 2 WINDING OAK DRIVE PLEASANTON, CA 94566

Project metadata table including Drawn by, Checked by, Date, Scale, and Sheet information.



project:  
NEW RESIDENCE  
2 WINDING OAK  
PLEASANTON, CA

client:  
KN INVESTMENT

TREE / LARGE SHRUB PLANTING LEGEND

BOTANICAL/COMMON NAME	SIZE	QTY	FF
LIRUS NOBILIS "SARATOGA"	24" BOX	5	L
ANOTHAMNUS FLORIBUNDUS "ASPENIFOLIUS"	24" BOX	8	L
RHAMNUS CALIFORNICA "EYE CASE"	15-GAL	45	VL
CERCIS OCCIDENTALIS "REDBUD"	15-GAL	6	L
RHAMNUS CAL "MOUND SAN BRUNO"	5-GAL	20	VL

BOTANICAL/COMMON NAME	SIZE	QTY	FF
QUERCUS LAEVLIS "COAST LIVE OAK"	24" BOX	6	VL

BOTANICAL/COMMON NAME	SIZE	QTY
SALVIA SP "BEES BLISS"	5-GAL	
SALVIA SP "TERRA SECA"	5-GAL	
ANGGZANTHOS FLAVIDUS "YELLOW FLOWERING"	5-GAL	
CEANOTHUS SP "JOYCE COULTER"	15-GAL	
STIPA CERNUA "NODDING STIPA"	1-GAL	
ROSMARINUS OFF "IRENE"	5-GAL	
ACHELLIA TOMENTOSA "COMMON YARROW"	500	

ADDITIONAL NOTES  
REFER TO SHEET L3 FOR LANDSCAPE CONSTRUCTION MATERIAL LOCATIONS AND IMAGES  
LANDSCAPE LIGHTING IS NOT PROPOSED FOR THIS PROJECT  
NO NEW FENCING IS PROPOSED FOR THIS PROJECT

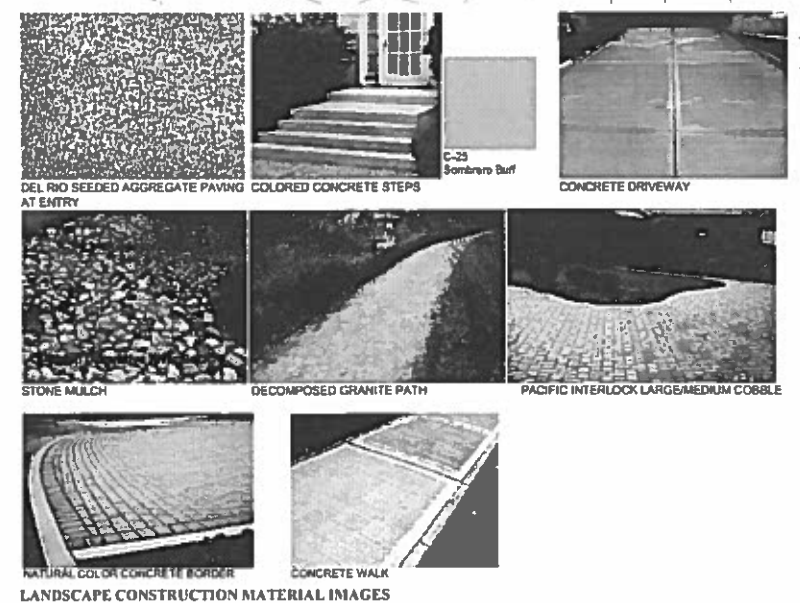
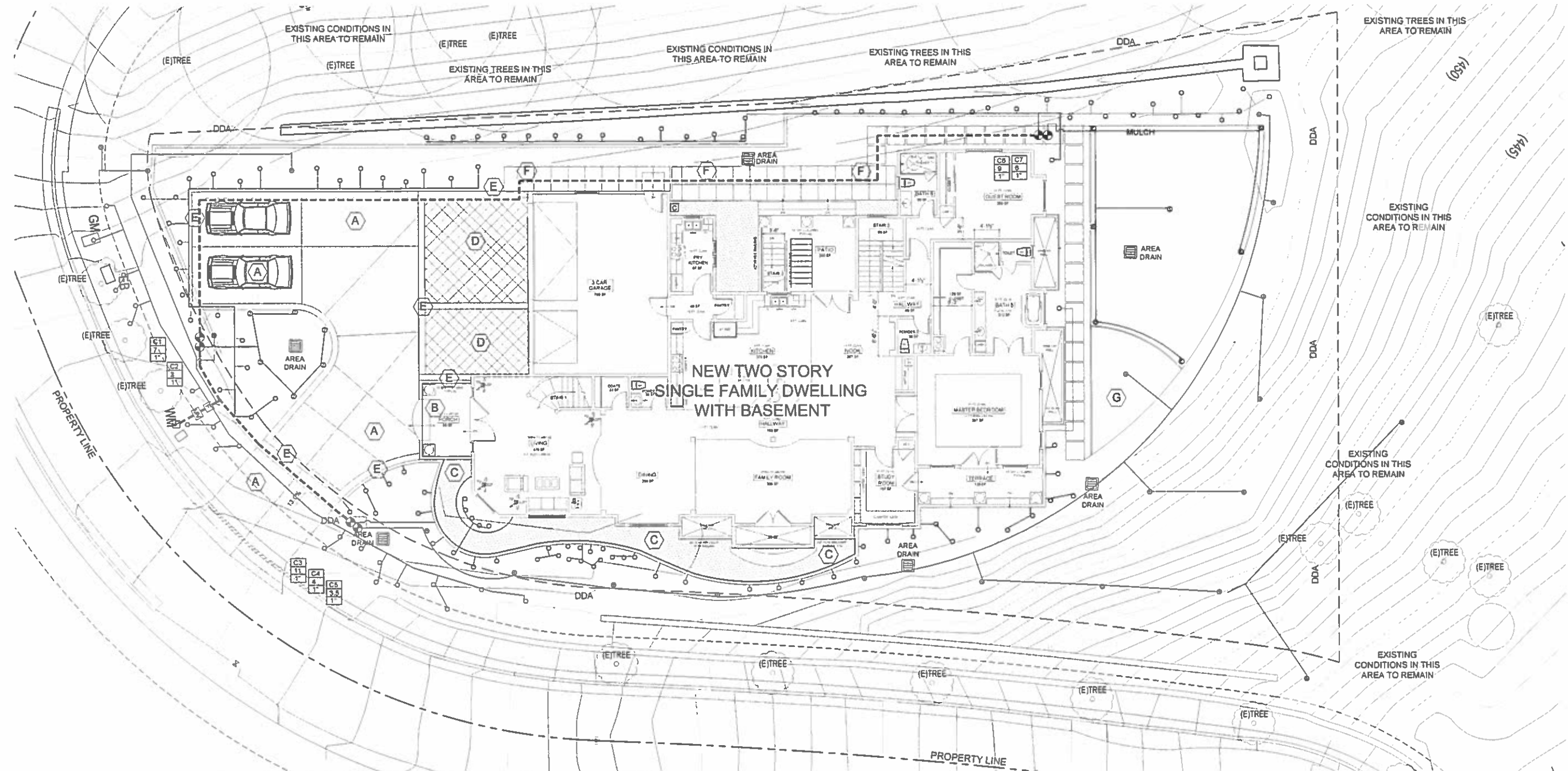
REVISIONS	DATE	DESCRIPTION

date: 2/17/2016  
scale: 1" = 8'-0"  
job no:  
sheet title:  
**PLANTING PLAN**  
L1  
of



project:  
NEW RESIDENCE  
2 WINDING OAK  
PLEASANTON, CA

client:  
KN INVESTMENT



PAVING & HARDSCAPE SCHEDULE - FRONT YARD

SYMBOL	DESCRIPTION	SQ FT	COLOR / FINISH
A	CONCRETE DRIVEWAY	1,230 SF	"PACIFIC" INTERLOCK PAVINGSTONE LARGE & MEDIUM COBBLE STONE "B7" MONTEREY SANDS (TAN, CHARCOAL)
B	STEP TREAD STEP LANDING	30 LF	12" TREAD TO BE COLORED CONCRETE SCOFIELD "SOMBREIRO BUFF" LANDING TO BE NATURAL COLOR CONCRETE
C	GARDEN WALK	462 SF	2" THICK DECOMPOSED GRANITE PATH W/STEEL EDGING. SLOPE PATH 2% MINIMUM WITH GRADE AWAY FROM DWELLING
D	GARAGE PAVING	540 SF	"PACIFIC" INTERLOCK PAVINGSTONE LARGE & MEDIUM COBBLE STONE "B7" MONTEREY SANDS (TAN, CHARCOAL)
E	GARAGE PAVING BORDER	130 LF	10" WIDE NATURAL COLOR CONCRETE W/SCORE LINES @ 30" OC-TYP
F	PATHWAYS	315 SF	NATURAL COLOR CONCRETE PAVING WITH 1% SLOPE AWAY FROM DWELLING
G	STONE MULCH	185 SF	3"-8" STONE MULCH OVER 3-OUNCE FILTER FABRIC
H	DRIVEWAY		NATURAL COLOR CONCRETE PAVING WITH SCORING PATTERN AS NOTED ON PLAN

IRRIGATION LEGEND

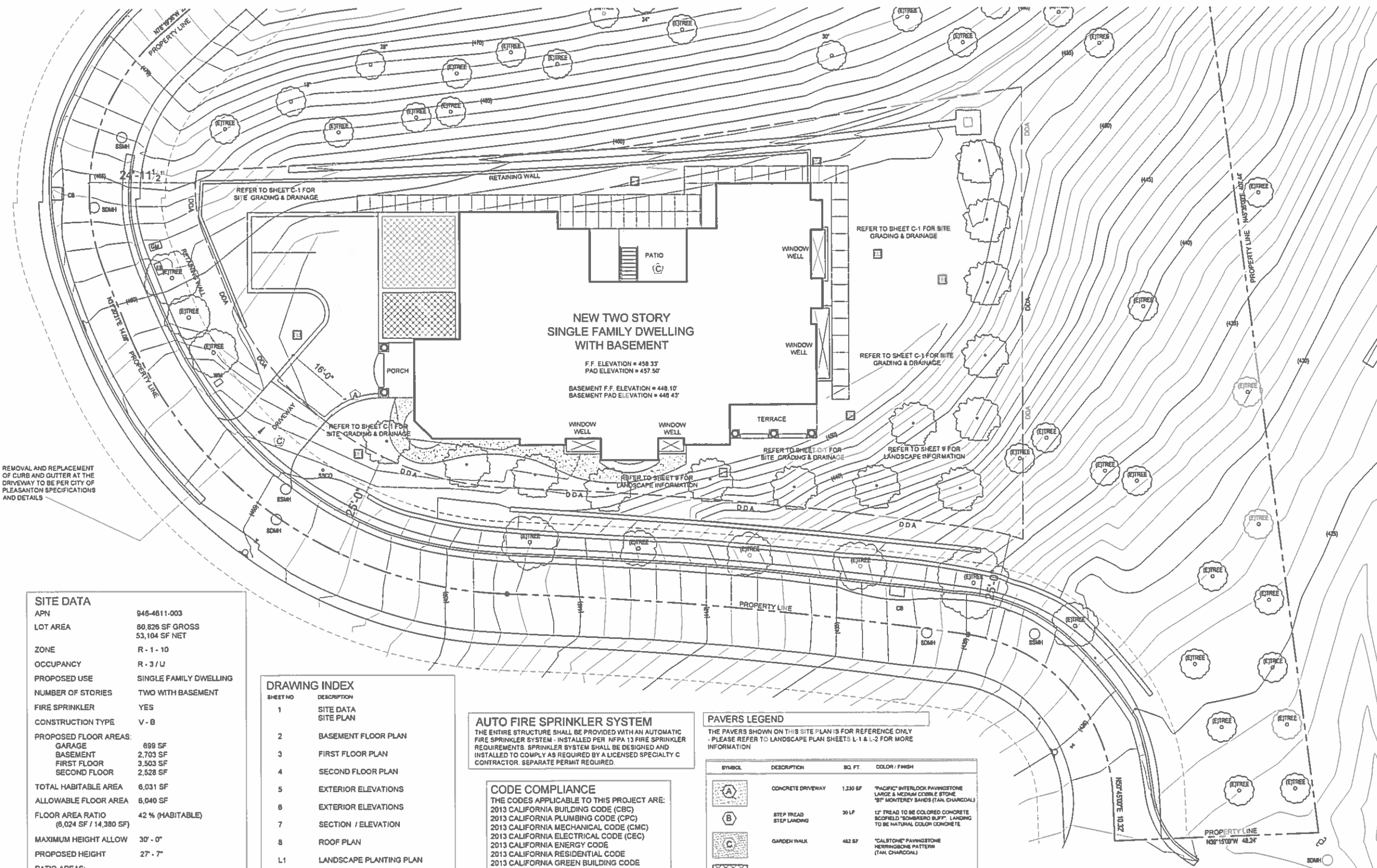
SYM	DESCRIPTION	GPM	PSI	RAD
○	HUNTER-PSU-08-2H	0.16	30	2'
⊙	HUNTER PROS-12-PRS30-MP800SR-360	0.42	30	8'
⊙	HUNTER PROS-12-PRS30-MP800SR-180	0.42	30	8'
⊙	HUNTER PROS-12-PRS40-MP1000-360	0.75	40	14'
⊙	HUNTER PROS-12-PRS40-MP1000	0.37	40	14'
⊙	HUNTER PROS-12-PRS40-MP2000-360	1.47	40	19'
⊙	HUNTER PROS-12-PRS40-MP2000	0.74	40	19'
●	2 RAINBOW RWS-M-B, OR APPROVED EQUAL. INSTALL 180-DEGREES APART. CAP TO BE FLUSH W/GRADE.			
⊠	HUNTER IC-800M W/1 CM 400 MODULE. INSTALL PER MANUFACTURER'S SPECIFICATIONS			
—	SCH 40 3/4" PVC LATERAL PIPE			
—	SCH 40 1" PVC LATERAL PIPE			
—	1-1/2" SCH 40 PVC MAINLINE			
●	HUNTER ACZ-075 REMOTE CONTROL VALVE			
●	HUNTER PGV-100JT-G REMOTE CONTROL VALVE			
+	2" NIBCO T-113 GATE VALVE			
+	HUNTER FCT-100 FLOW SENSOR			
MV	SUPERIOR SERIES 3200100-NORMALLY CLOSED MASTER VALVE			
⊠	POINT OF CONNECTION			

CONTROLLER DESIGNATION  
GALLONS PER MINUTE  
1" VALVE SIZE

NOTES  
INSTALL ALL MAINLINES AND LATERAL LINES UNDER PAVING IN CLASS 200 PVC SLEEVE TWICE THE DIAMETER OF WATER LINE  
LOCATE MAINLINE AND REMOTE CONTROL VALVES IN PLANTER AREAS WITHIN PROPERTY  
HAND-TRENCH ALL LATERAL LINES AND MAINLINES WITHIN ROOT ZONE OF EXISTING TREES. DO NOT SEVERE ROOTS 2" IN DIAMETER AND LARGER.  
INSTALL REMOTE CONTROL VALVES AT ELEVATIONS NECESSARY FOR PROPER BACKFLOW PROTECTION

revisions

date: 25/11/2016  
scale: 1"=8'-0"  
job no:  
sheet title:  
IRRIGATION PLAN  
L2  
of



REVISIONS	BY



DESIGN & DOCUMENTATION BY  
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SITE PLAN  
 SITE DATA  
 DRAWING INDEX

NEW RESIDENCE FOR  
**KN INVESTMENT**  
 2 WINDING OAK DRIVE  
 PLEASANTON, CA 94566

DRAWN BY	SS / RM
CHECKED BY	SSS
DATE	JUNE 30, 2016
SCALE	AS NOTED
JOB NUMBER	KNR - 1015
SHEET	<b>1</b>

**SITE DATA**

APN	946-4811-003
LOT AREA	80,826 SF GROSS 53,104 SF NET
ZONE	R - 1 - 10
OCCUPANCY	R - 3 / U
PROPOSED USE	SINGLE FAMILY DWELLING
NUMBER OF STORIES	TWO WITH BASEMENT
FIRE SPRINKLER	YES
CONSTRUCTION TYPE	V - B
PROPOSED FLOOR AREAS:	
GARAGE	699 SF
BASEMENT	2,703 SF
FIRST FLOOR	3,503 SF
SECOND FLOOR	2,528 SF
TOTAL HABITABLE AREA	6,031 SF
ALLOWABLE FLOOR AREA	8,040 SF
FLOOR AREA RATIO (6,024 SF / 14,380 SF)	42 % (HABITABLE)
MAXIMUM HEIGHT ALLOW	30' - 0"
PROPOSED HEIGHT	27' - 7"
PATIO AREAS:	
ENTRY PORCH	98 SF
1ST FLOOR MASTER	123 SF
2ND FLOOR MASTER	234 SF
REAR YARD PATIO	200 SF
IMPERVIOUS SURFACE (REFER TO LANDSCAPE SHEETS)	2,707 SF

**DRAWING INDEX**

SHEET NO	DESCRIPTION
1	SITE DATA SITE PLAN
2	BASEMENT FLOOR PLAN
3	FIRST FLOOR PLAN
4	SECOND FLOOR PLAN
5	EXTERIOR ELEVATIONS
6	EXTERIOR ELEVATIONS
7	SECTION / ELEVATION
8	ROOF PLAN
L1	LANDSCAPE PLANTING PLAN
L2	IRRIGATION PLAN
C1	SITE GRADING & DRAINAGE PLAN

**AUTO FIRE SPRINKLER SYSTEM**  
 THE ENTIRE STRUCTURE SHALL BE PROVIDED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM - INSTALLED PER NFPA 13 FIRE SPRINKLER REQUIREMENTS. SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED TO COMPLY AS REQUIRED BY A LICENSED SPECIALTY C CONTRACTOR. SEPARATE PERMIT REQUIRED.

**CODE COMPLIANCE**  
 THE CODES APPLICABLE TO THIS PROJECT ARE:  
 2013 CALIFORNIA BUILDING CODE (CBC)  
 2013 CALIFORNIA PLUMBING CODE (CPC)  
 2013 CALIFORNIA MECHANICAL CODE (CMC)  
 2013 CALIFORNIA ELECTRICAL CODE (CEC)  
 2013 CALIFORNIA ENERGY CODE  
 2013 CALIFORNIA RESIDENTIAL CODE  
 2013 CALIFORNIA GREEN BUILDING CODE  
 2013 CALIFORNIA FIRE CODE  
 CITY OF PLEASANTON MUNICIPAL CODE

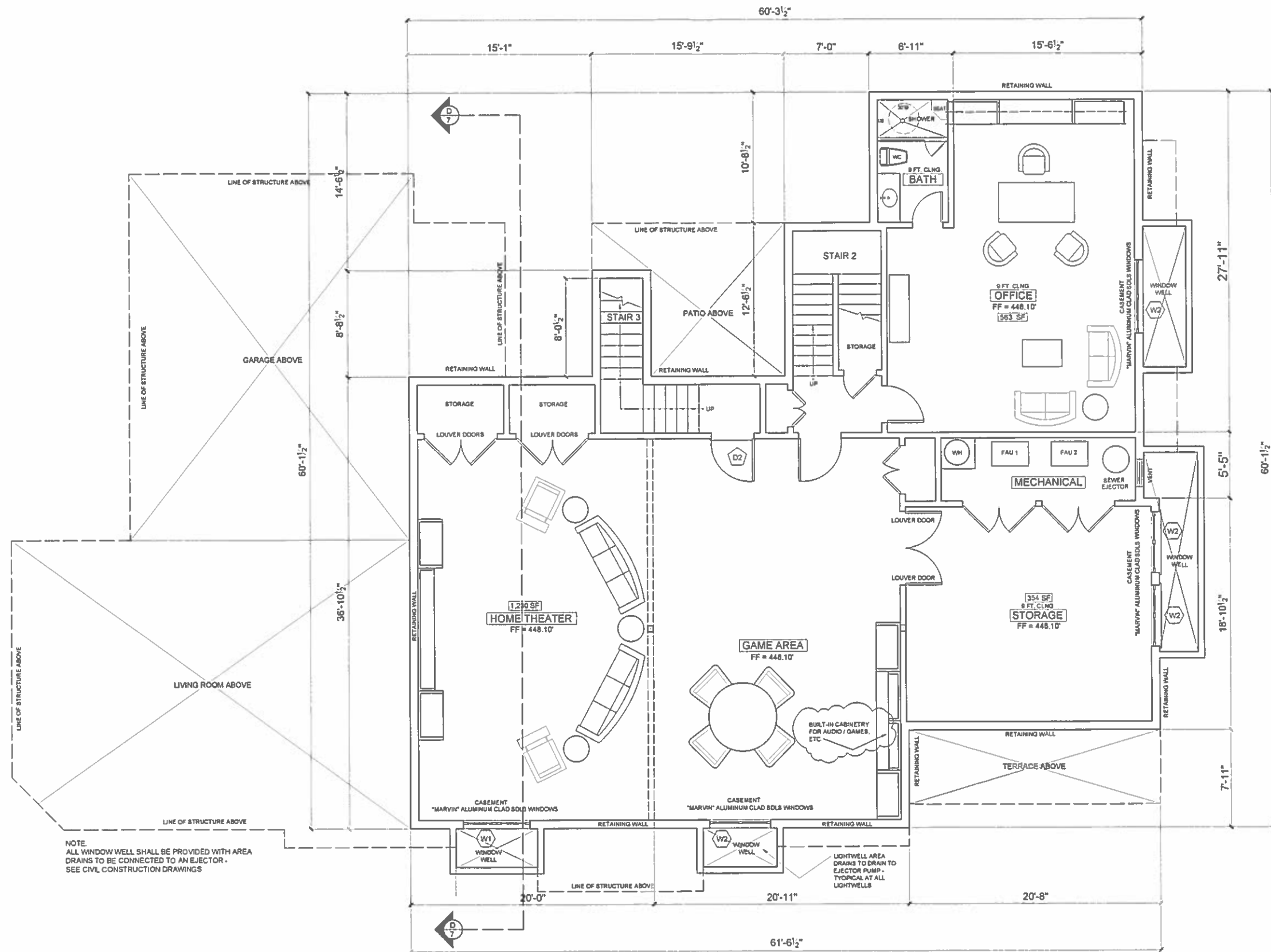
**PAVERS LEGEND**  
 THE PAVERS SHOWN ON THIS SITE PLAN IS FOR REFERENCE ONLY - PLEASE REFER TO LANDSCAPE PLAN SHEETS L-1 & L-2 FOR MORE INFORMATION

SYMBOL	DESCRIPTION	SQ. FT.	COLOR / FINISH
(A)	CONCRETE DRIVEWAY	1,230 SF	"PACIFIC" INTERLOCK PAVINGSTONE LARGE & MEDIUM COBBLE STONE "S" MONTEREY SANDS (TAN CHARCOAL)
(B)	STEP TREAD STEP LANDING	30 LF	12" TREAD TO BE COLORED CONCRETE SCORFED "SCARBORO BLUFF". LANDING TO BE NATURAL COLOR CONCRETE
(C)	GARDEN WALK	482 SF	"CALSTONE" PAVINGSTONE HERRINGBONE PATTERN (TAN CHARCOAL)
(D)	GARAGE PAVING	540 SF	"PACIFIC" INTERLOCK PAVINGSTONE LARGE & MEDIUM COBBLE STONE "S" MONTEREY SANDS (TAN CHARCOAL)
(E)	GARAGE PAVING BORDER	130 LF	10" WIDE NATURAL COLOR CONCRETE WISCONSIN LINES @ 30" OC TYP.
(F)	PATHWAYS	319 SF	NATURAL COLOR CONCRETE PAVING WITH 1% SLOPE AWAY FROM DWELLING
(G)	STONE MULCH	185 SF	3"-6" STONE MULCH OVER 3-OUNCE FILTER FABRIC
(H)	DRIVEWAY		NATURAL COLOR CONCRETE PAVING WITH SCORFED PATTERN AS NOTED ON PLAN



**SITE PLAN**

SCALE: 3/32" = 1' - 0"



NOTE:  
ALL WINDOW WELL SHALL BE PROVIDED WITH AREA  
DRAINS TO BE CONNECTED TO AN EJECTOR -  
SEE CIVIL CONSTRUCTION DRAWINGS



**BASEMENT FLOOR PLAN**  
FLOOR AREA : 2,703 SF

SCALE : 1/4" = 1' - 0"

REVISIONS	BY

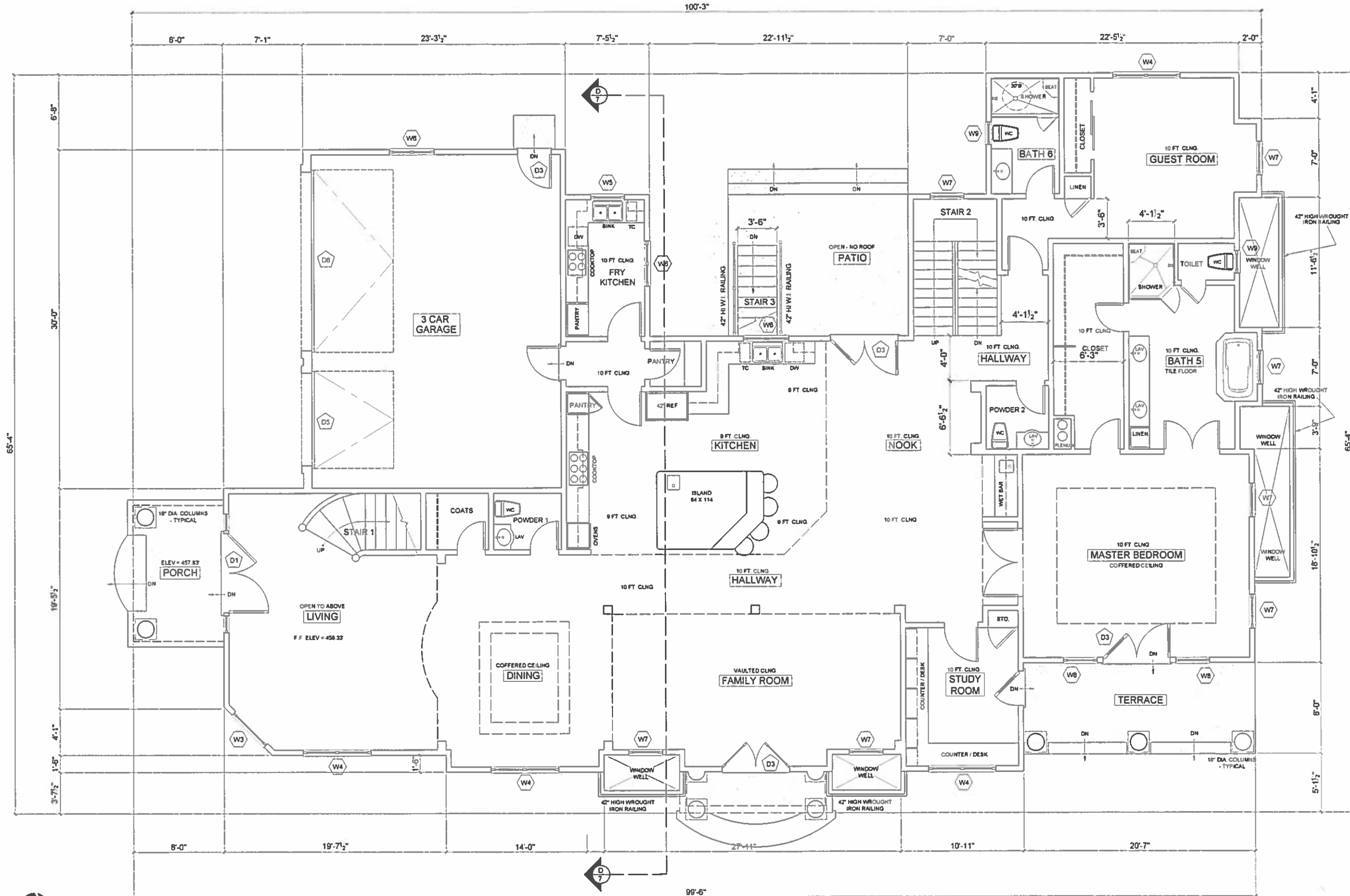
DESIGN & DOCUMENTATION BY  
**S. S. SANTOS**  
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WEB : WWW.SSSDESIGNS.COM



**BASEMENT FLOOR PLAN**

NEW RESIDENCE FOR  
**KN INVESTMENT**  
2 WINDING OAK DRIVE  
PLEASANTON, CA 94566

DRAWN BY	SS / RM
CHECKED BY	SSS
DATE	JUNE 30, 2016
SCALE	AS NOTED
JOB NUMBER	KNR - 1015
SHEET	



**FIRST FLOOR PLAN**

FLOOR AREAS :  
 GARAGE = 700 SF  
 HABITABLE AREA = 3,467 SF

NOTE:  
 ALL WINDOWS FLUSH  
 TO INSIDE OF WALL

SCALE: 1/4" = 1' - 0"

REVISIONS	BY

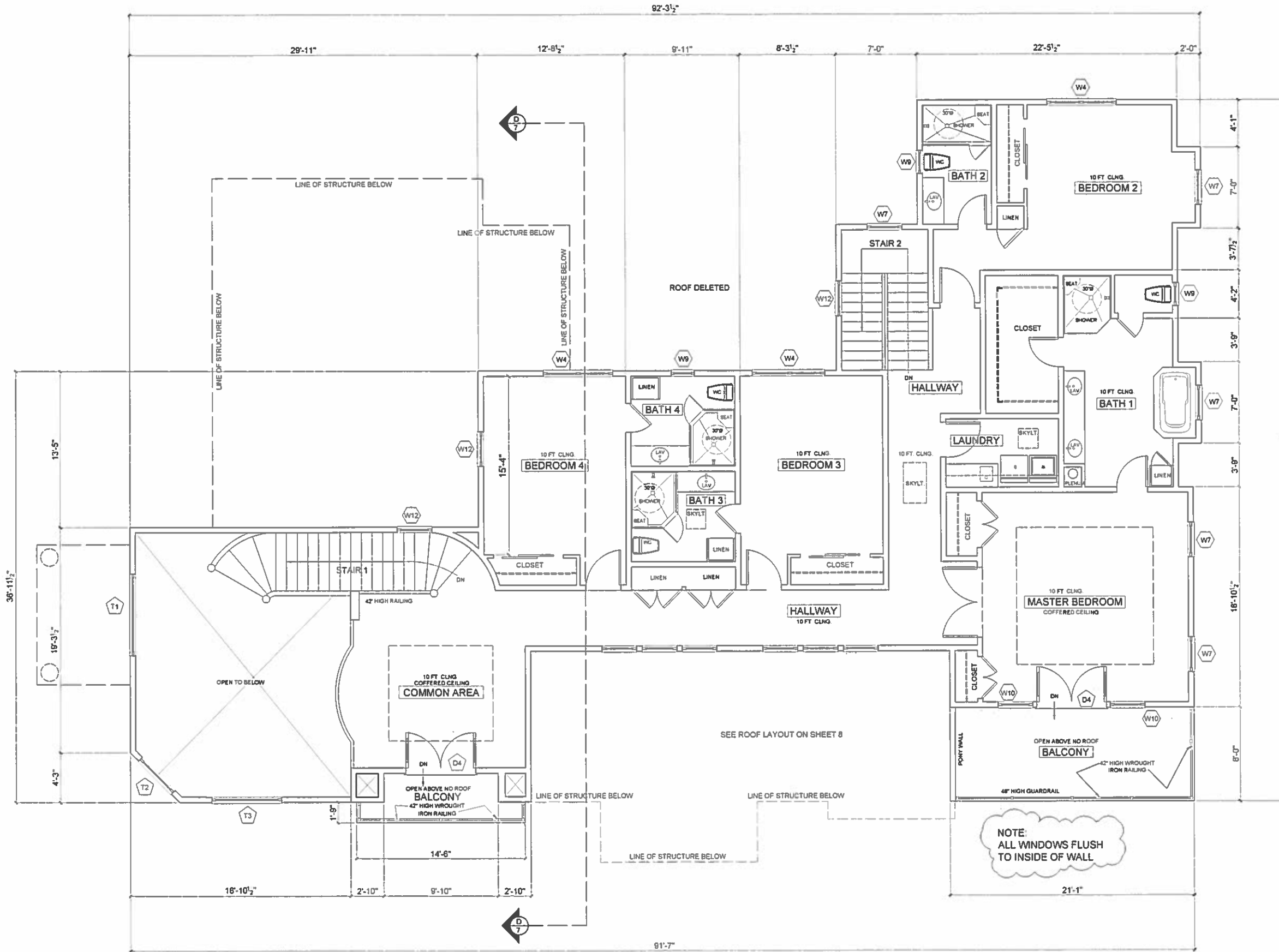
DESIGN & DOCUMENTATION BY  
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**FIRST FLOOR PLAN**

NEW RESIDENCE FOR  
**KN INVESTMENT**  
 2 WINDING OAK DRIVE  
 PLEASANTON, CA 94566

DRAWN BY	SS / RM
CHECKED BY	SSS
DATE	JUNE 30, 2016
SCALE	AS NOTED
JOB NUMBER	KNR - 1015
SHEET	3



REVISIONS	BY



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**SECOND FLOOR PLAN**

NEW RESIDENCE FOR  
**KN INVESTMENT**  
 2 WINDING OAK DRIVE  
 PLEASANTON, CA 94566

DRAWN BY	SS / RM
CHECKED BY	SSS
DATE	JUNE 30, 2016
SCALE	AS NOTED
JOB NUMBER	KNR - 1015
SHEET	4

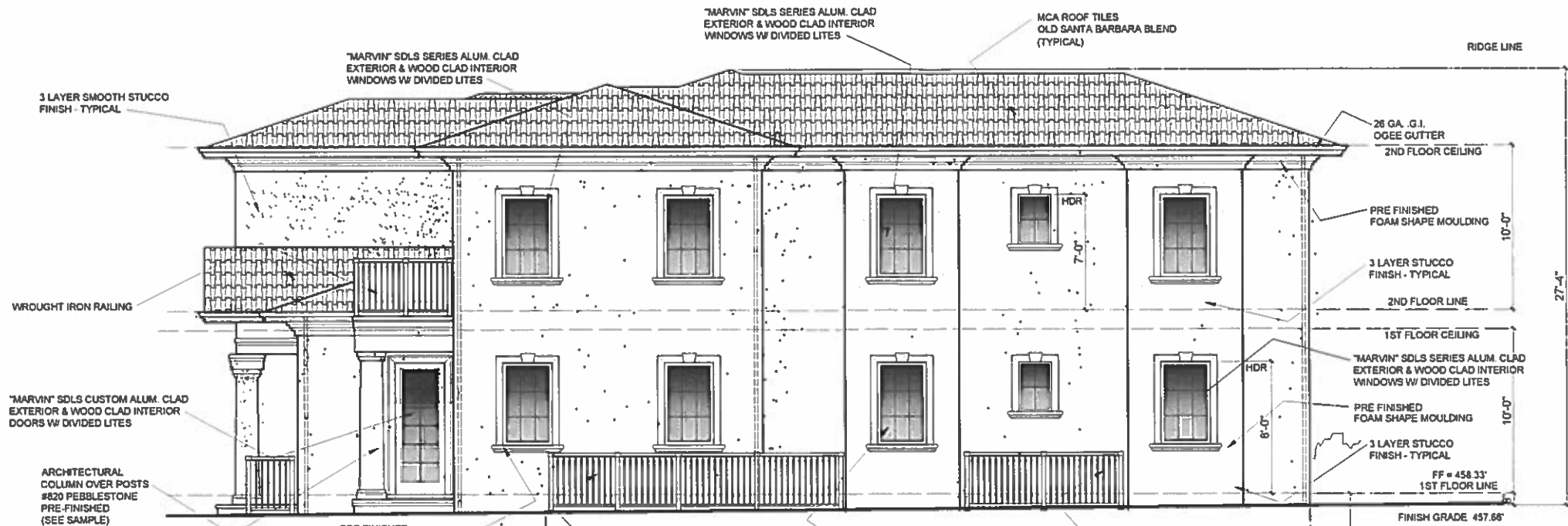


**SECOND FLOOR PLAN**

FLOOR AREA:  
 HABITABLE AREA = 2,537 SF

SCALE: 1/4" = 1'-0"





**B RIGHT SIDE ELEVATION (NORTH)** SCALE: 1/4" = 1'-0"

**FINISHES NOTE:**  
MATERIALS, COLOR AND FINISHES SHALL BE AS NOTED AND SPECIFIED ON SHEET NO 9 - REFER TO DETAILS AS SHOWN ON SHEET NO 9

**MEDITERRANEAN STYLE RESIDENCE**

ALL DOWNSPOUTS SHALL BE PAINTED TO MATCH EXTERIOR STUCCO COLOR - TYPICAL AT ALL LOCATIONS REFER TO CIVIL DRAWINGS FOR LOCATIONS

**NOTE:**  
ALL WINDOWS FLUSH TO INSIDE OF WALL



**A FRONT ELEVATION (EAST) FACING VINEYARD AVENUE** SCALE: 1/4" = 1'-0"  
**MEDITERRANEAN STYLE RESIDENCE**

**FINISHES NOTE:**  
MATERIALS, COLOR AND FINISHES SHALL BE AS NOTED AND SPECIFIED ON SHEET NO 9 - REFER TO DETAILS AS SHOWN ON SHEET NO 9

REVISIONS	BY

DESIGN & DOCUMENTATION BY  
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**EXTERIOR ELEVATIONS**

NEW RESIDENCE FOR  
**KN INVESTMENT**  
2 WINDING OAK DRIVE  
PLEASANTON, CA 94566

DRAWN BY	SS / RM
CHECKED BY	SSS
DATE	JUNE 30, 2016
SCALE	AS NOTED
JOB NUMBER	KNR - 1015

**5**



REVISIONS	BY



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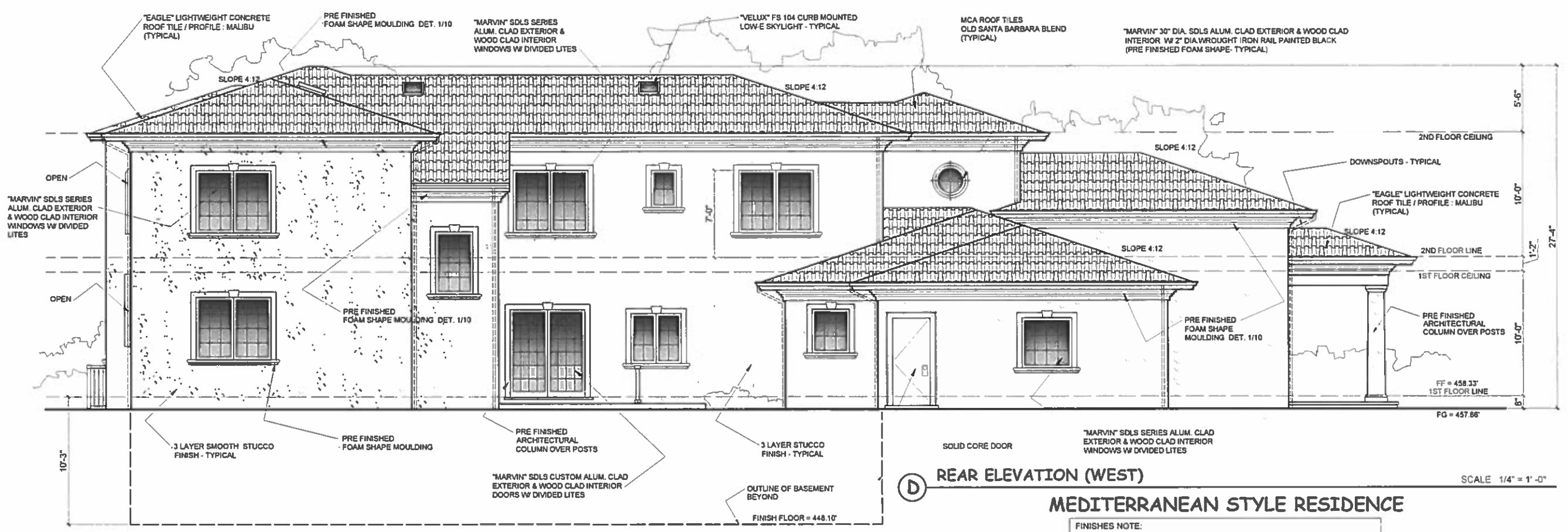


NEW RESIDENCE FOR  
**KN INVESTMENT**  
 2 WINDING OAK DRIVE  
 PLEASANTON, CA 94566

EXTERIOR ELEVATIONS

DRAWN BY: SS / RM  
 CHECKED BY: SSS  
 DATE: JUNE 30, 2016  
 SCALE: AS NOTED  
 JOB NUMBER: KNR - 1015  
 SHEET:

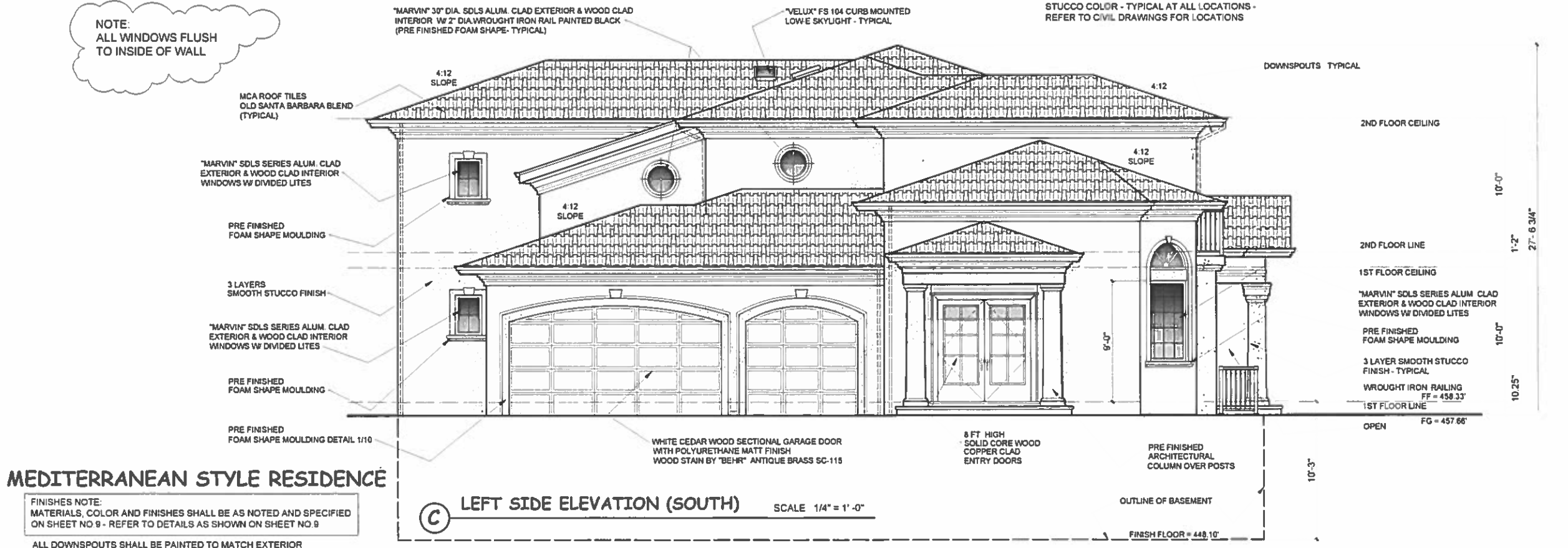
**6**



**(D) REAR ELEVATION (WEST)**  
**MEDITERRANEAN STYLE RESIDENCE**  
 SCALE 1/4" = 1'-0"

FINISHES NOTE:  
 MATERIALS, COLOR AND FINISHES SHALL BE AS NOTED AND SPECIFIED ON SHEET NO.10 - REFER TO DETAILS AS SHOWN ON SHEET NO.9  
 ALL DOWNSPOUTS SHALL BE PAINTED TO MATCH EXTERIOR STUCCO COLOR - TYPICAL AT ALL LOCATIONS - REFER TO CIVIL DRAWINGS FOR LOCATIONS

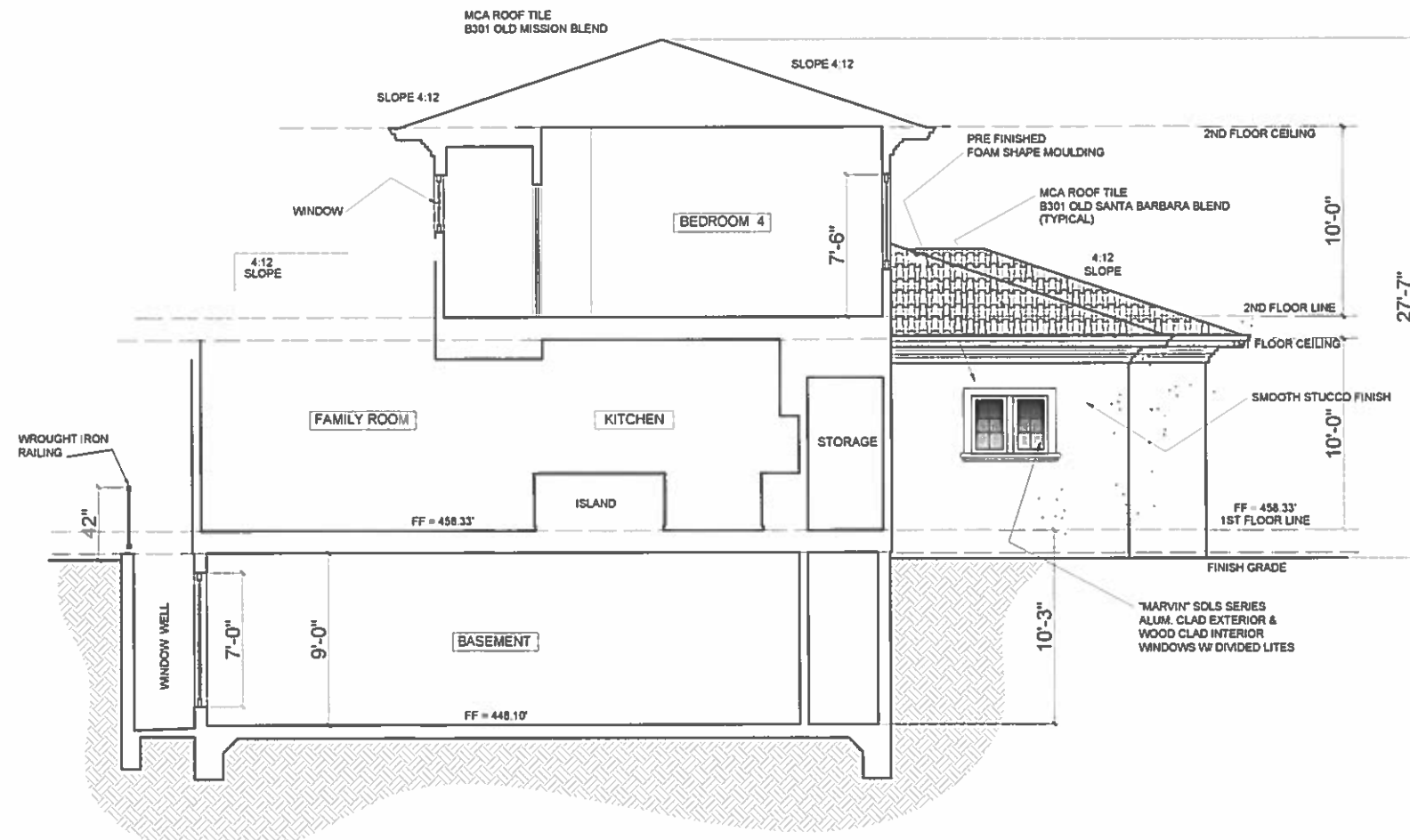
NOTE:  
 ALL WINDOWS FLUSH TO INSIDE OF WALL



**(C) LEFT SIDE ELEVATION (SOUTH)**  
 SCALE 1/4" = 1'-0"

FINISHES NOTE:  
 MATERIALS, COLOR AND FINISHES SHALL BE AS NOTED AND SPECIFIED ON SHEET NO.9 - REFER TO DETAILS AS SHOWN ON SHEET NO.9  
 ALL DOWNSPOUTS SHALL BE PAINTED TO MATCH EXTERIOR STUCCO COLOR - TYPICAL AT ALL LOCATIONS - REFER TO CIVIL DRAWINGS FOR LOCATIONS

**MEDITERRANEAN STYLE RESIDENCE**



**D** SECTION / ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	BY



DESIGN & DOCUMENTATION BY  
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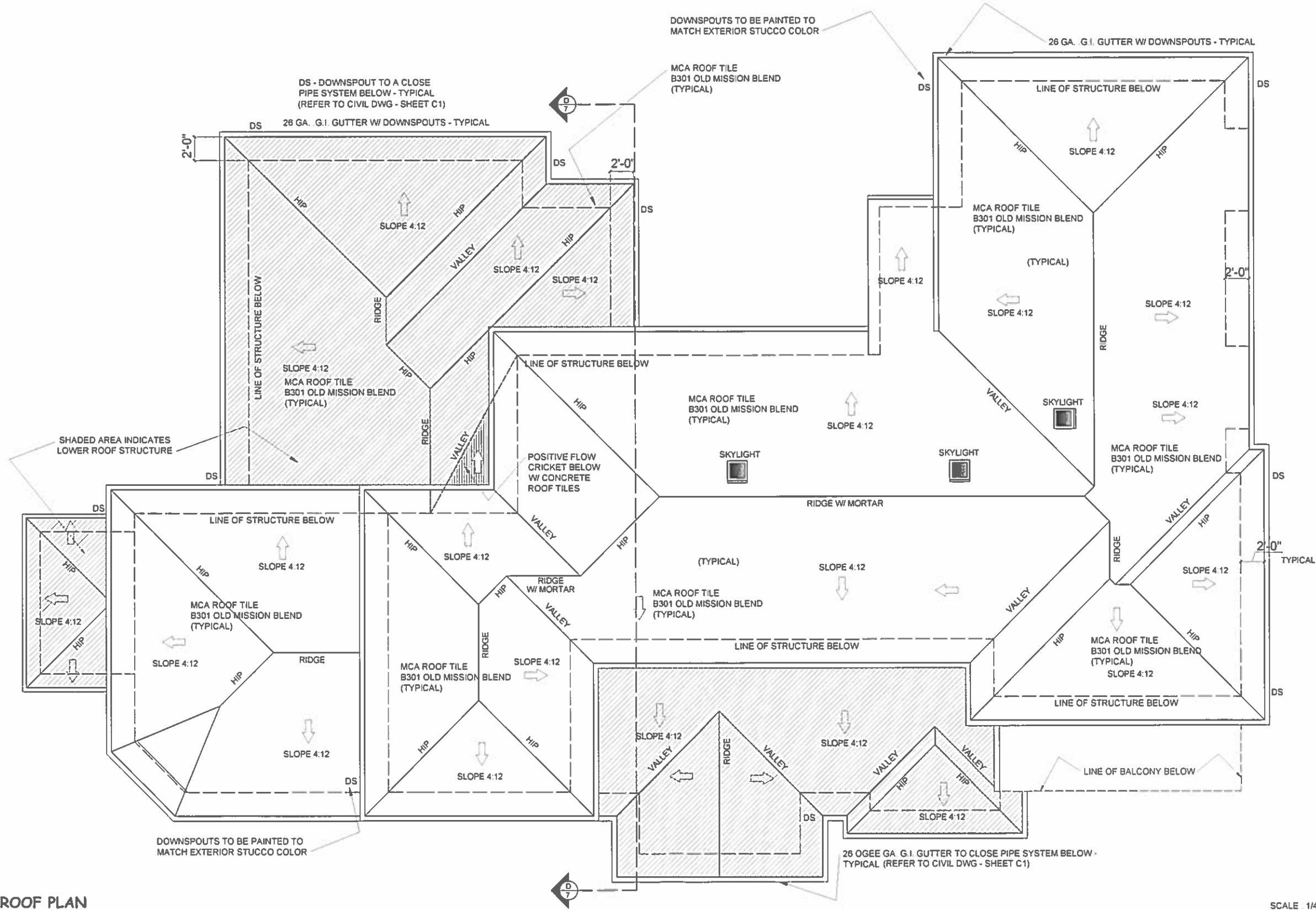


SECTION /  
 ELEVATION

NEW RESIDENCE FOR  
**KN INVESTMENT**  
 2 WINDING OAK DRIVE  
 PLEASANTON, CA 94566

DRAWN BY	SS / RM
CHECKED BY	555
DATE	JUNE 30, 2016
SCALE	AS NOTED
JOB NUMBER	KNR - 1015
SHEET	<b>7</b>

ROOF PLAN



SCALE 1/4" = 1'-0"

REVISIONS	BY



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NEW RESIDENCE FOR  
**KN INVESTMENT**  
 2 WINDING OAK DRIVE  
 PLEASANTON, CA 94566

ROOF PLAN

DRAWN BY	SS / RM
CHECKED BY	SSS
DATE	JUNE 30, 2016
SCALE	AS NOTED
JOB NUMBER	KNR - 1015
DATE	

8

RENDERS  
FRONT (EAST) ELEVATION  
2 WINDING OAK DR, PLEASANTON, CA  
07.05.16



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CITY OF PLEASANTON  
PLANNING DIVISION

P16-2920

**EXHIBIT B**



RENDERS  
NORTH ELEVATION  
2 WINDING OAK DR, PLEASANTON, CA  
07.05.16



RENDERS  
WEST ELEVATION  
2 WINDING OAK DR, PLEASANTON, CA  
07.05.16



RENDERS  
FRONT ELEVATION - STREET VIEW  
2 WINDING OAK DR, PLEASANTON, CA  
07.05.16





RENDERS  
FRONT ELEVATION - STREET VIEW (5 YEARS)  
2 WINDING OAK DR, PLEASANTON, CA  
07.05.16





RENDERS  
FRONT ELEVATION - STREET VIEW (10 YEARS)  
2 WINDING OAK DR, PLEASANTON, CA  
07.05.16







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CITY OF PLEASANTON  
PLANNING DIVISION

916-0920

EXHIBIT B

Imagery ©2016 Google, Map data ©2016 Google 200 ft



PHOTO SIMULATION  
VIEW A - EXISTING SITE PHOTO  
2 WINDING OAK DR., PLEASANTON, CA  
06/29/2016





PHOTO SIMULATION  
VIEW A - 5 YEAR SIMULATION STUDY  
2 WINDING OAK DR., PLEASANTON, CA  
06/29/2016





PHOTO SIMULATION  
VIEW A - 10 YEAR SIMULATION STUDY  
2 WINDING OAK DR., PLEASANTON, CA  
06/29/2016

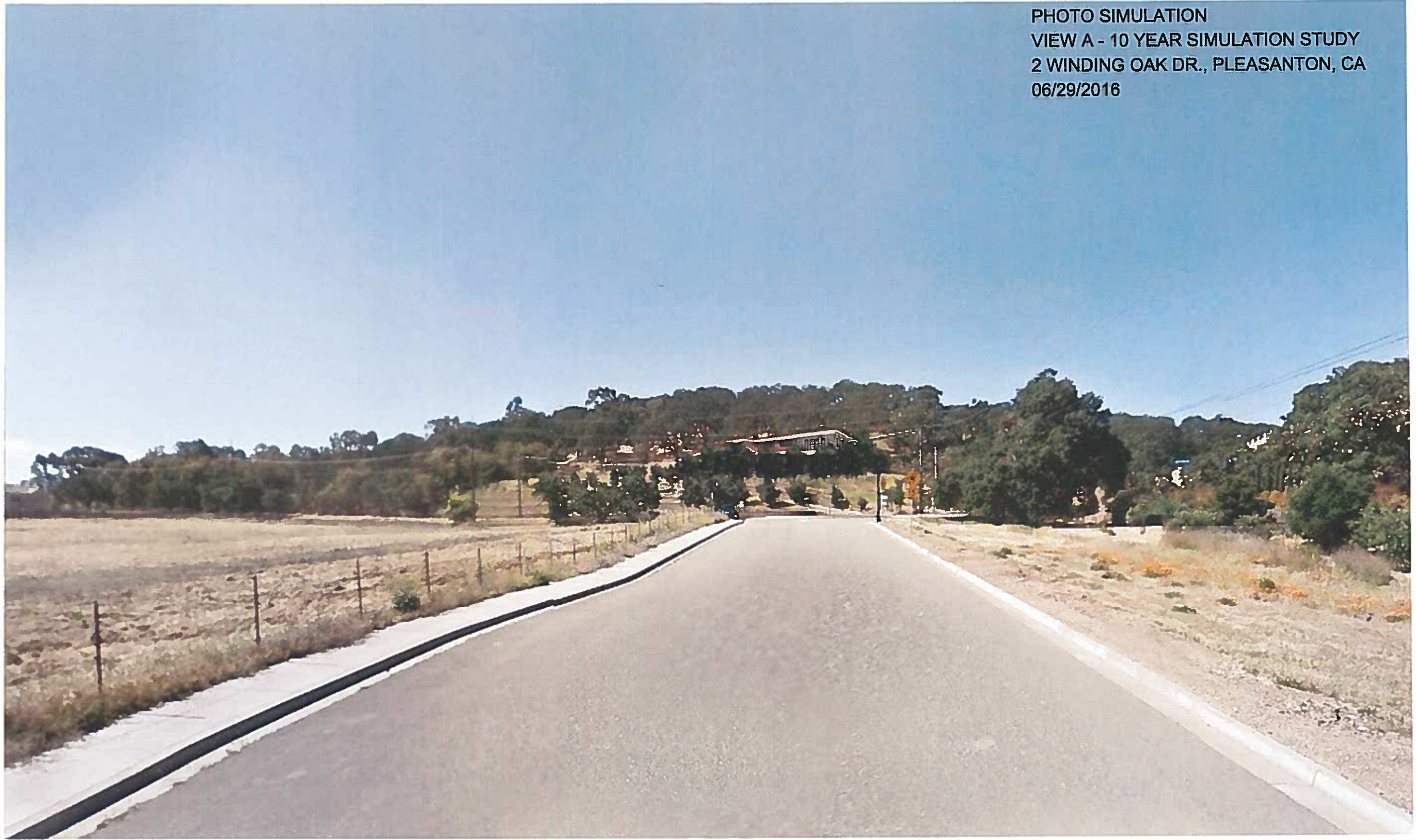




PHOTO SIMULATION  
VIEW B - EXISTING SITE PHOTO  
2 WINDING OAK DR., PLEASANTON, CA  
06/29/2016





PHOTO SIMULATION  
VIEW B - 5 YEAR SIMULATION STUDY  
2 WINDING OAK DR., PLEASANTON, CA  
06/29/2016





PHOTO SIMULATION  
VIEW B - 10 YEAR SIMULATION STUDY  
2 WINDING OAK DR., PLEASANTON, CA  
06/29/2016





TRIM



- COCONUT CREAM  
SMOOTH STUCCO FINISH

Body



#912 MONTICA ASH LRV 33  
BASE B



**B330-R** Old Santa Barbara Blend  
Solar Reflectance Avg. - 0.29  
Thermal Emittance Avg. - 0.84

ROOF TILE

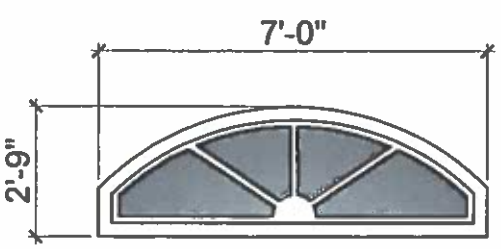


Tan Red Charcoal



- COCONUT CREAM

PAVERS CALSTONE



2 WINDING OAKS DR.  
PLEASANTON, CA



GARAGE DOOR FINISH

OUTSWING



KN INVESTMENT & DEVELOPMENT LLC

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