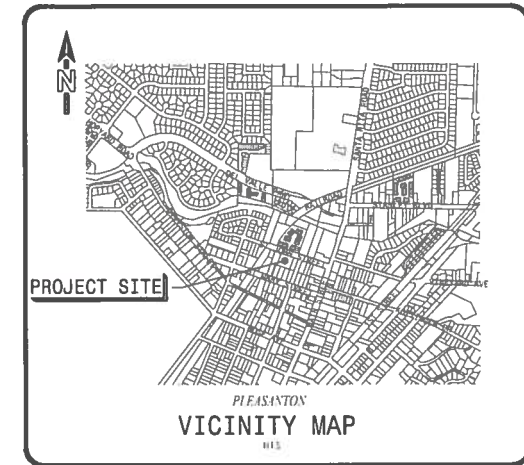


VESTING TENTATIVE TRACT MAP NO. 8326

536 & 550 ST JOHN STREET

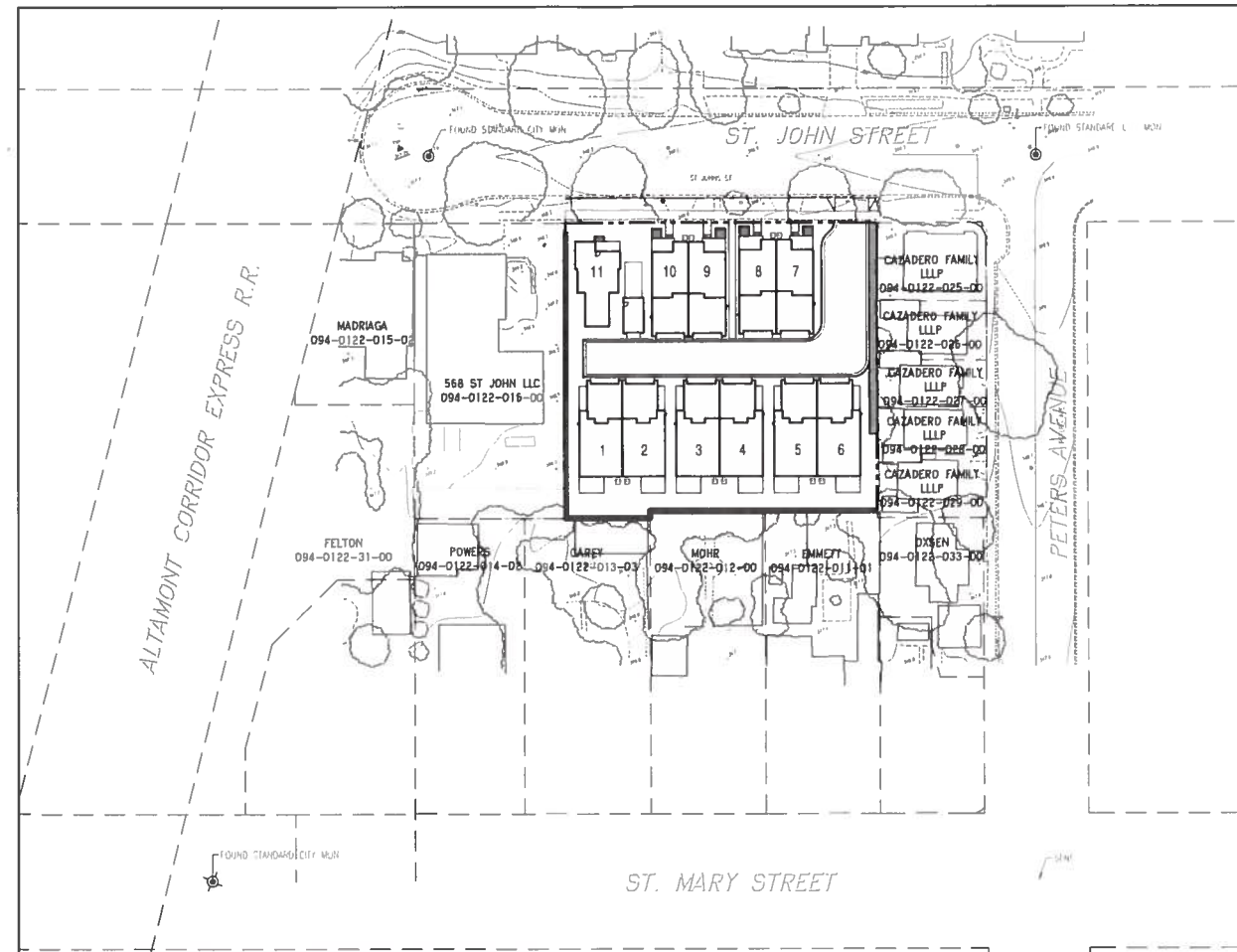
PLEASANTON, CALIFORNIA

JUNE 2016



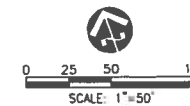
VESTING TENTATIVE MAP NOTES:

1. OWNER: NANCY C. MILLS, HANS J. HANSEN, ARTHUR W. AND ANNE L. DUNKLEY TRUST, HANS HANSEN TRUST, MICHAEL ANDREW DUNKLEY TRUST, DANIEL HANSEN DUNKLEY TRUST
2. DEVELOPER: CATALYST DEVELOPMENT PARTNERS, 18 CROW CANYON COURT, SAN RAMON, CA 94583, CONTACT: TODD DEUTSCHER 925-324-1418
3. ENGINEER: MACKAY & SOMPS CIVIL ENGINEERS, INC., 5142 FRANKLIN DRIVE, SUITE B, PLEASANTON, CA 94588, CONTACT: CHRIS GUENTHER 925-225-0690
4. SOILS ENGINEER: ENGED, INC., 2010 CROW CANYON ROAD, SUITE 250, SAN RAMON, CA 94583, CONTACT: JACOB WHITE 925-866-9000
5. EXISTING LAND USE: HIGH DENSITY RESIDENTIAL
6. PROPOSED LAND USE: HIGH DENSITY RESIDENTIAL
7. EXISTING ZONING: RM-15
8. PROPOSED ZONING: PUD
9. APN/ACREAGE: 094-0122-17, 094-0122-18, 094-0122-19, 0.73 AC
10. FLOOD PLAIN: NONE PER FIRM PANEL 06001C 0317G
11. ALL WATER SERVICES UP TO AND INCLUDING THE METER ARE PROPOSED TO BE PUBLIC, POST METER SERVICE LINES INCLUDING THE BFP ARE PROPOSED TO BE PRIVATE.
12. ALL SEWER LINES ARE PROPOSED TO BE PRIVATE.
13. ALL STORM DRAIN LINES ARE PROPOSED TO BE PRIVATE WITH THE EXCEPTION OF THE STORM DRAIN LINE IN ST JOHN STREET.
14. PROPERTY IS LOCATED IN AND WILL BE SERVED BY THE PLEASANTON UNIFIED SCHOOL DISTRICT.
15. TELEPHONE WILL BE SERVED BY AT&T.
16. ELECTRIC & GAS WILL BE SERVED BY PG&E.
17. CABLE TELEVISION WILL BE SERVED BY COMCAST.
18. LOCATIONS OF PROPOSED UTILITIES, STREET GRADES AND PARCEL DIMENSIONS ARE PRELIMINARY AND WILL BE REFINED WITH THE FINAL ENGINEERING DESIGN.
19. ALL INFRASTRUCTURE WILL BE INSTALLED IN A SINGLE DEVELOPMENT PHASE.
20. HISTORIC HOUSE ON THE PROPERTY WILL BE RELOCATED ON-SITE. ALL EXISTING TREES AND OTHER STRUCTURES ON THE PROPERTY SHALL BE REMOVED.
21. SIZE OF THE SMALLEST LOT IS 1,795 SQ FT (LOTS 8,9, AND 10). THE LARGEST LOT IS 6,703 SQ FT (PARCEL A)
22. BOUNDARY AND TOPOGRAPHIC INFORMATION BASED ON SURVEY DONE BY MACKAY & SOMPS DATED NOVEMBER 2015.
23. UNLESS OTHERWISE SPECIFICALLY STATED IN THE CONDITIONS OF APPROVAL, LOCAL AGENCY APPROVAL OF THIS MAP SHALL CONSTITUTE AN EXPRESS FINDING THAT THE PROPOSED SUBDIVISION AND DEVELOPMENT OF THE SUBJECT PROPERTY WILL NOT UNREASONABLY INTERFERE WITH THE FREE AND COMPLETE EXERCISE OF RIGHTS DESCRIBED IN GOVERNMENT CODE SECTION 6 6436(a)(3)(A)(i).



OVERALL SITE PLAN

1" = 50'



ABBREVIATIONS

AB	-	AGGREGATE BASE
AC	-	ASPHALT CONCRETE
ARV	-	AIR RELEASE VALVE
BC	-	BEGINNING OF CURVE
BFP	-	BACKFLOW PREVENTER
BFV	-	BUTTERFLY VALVE
BNDY	-	BOUNDARY
BO	-	BLOWOFF
BT	-	BOTTOM OF RETAINING WALL
B/W	-	BACK OF WALK
BWC	-	BACK OF WEDGE CURB
CB	-	CATCH BASIN
CL	-	CENTERLINE
CLR	-	CLEAR
COND	-	CONDOMINIUM
CR	-	CROWN
C&G	-	CURB AND GUTTER
DI	-	DROP INLET
DIP	-	DUCTILE IRON PIPE
DMA	-	DRAINAGE MAINTENANCE AREA
D/W	-	DRIVEWAY
DIV	-	DIVERSION STRUCTURE
EC	-	END OF CURVE
EL	-	ELEVATION
EP	-	EDGE OF PAVEMENT
ER	-	END OF RETURN
EX	-	EXISTING
FC	-	FACE OF CURB
FG	-	FINISH GRADE
FH	-	FIRE HYDRANT
FI	-	FIELD INLET
FL	-	FLOWLINE
G	-	GAS
GB	-	GRADE BREAK
GRD	-	GROUND
HP	-	HIGH POINT

INV	-	INVERT
IRR	-	IRRIGATION
LP	-	LOW POINT
LT	-	LEFT
MC	-	MEDIAN CURVE
MH	-	MANHOLE
MD PT	-	MANHOLE POINT
MTC	-	MEDIAN TOP OF CURB
OH	-	OVERHEAD POWER
P	-	PAVEMENT
P/L	-	PROPERTY LINE
PP	-	POWER POLE
PCC	-	POINT OF COMPOUND CURVATURE
PME	-	PRIVATE MAINTENANCE EASEMENT
PRC	-	POINT OF REVERSE CURVATURE
PSDE	-	PRIVATE STORM DRAIN EASEMENT
PUE	-	PUBLIC UTILITY EASEMENT
RP	-	RADIUS POINT
RT	-	RIGHT
ROW	-	RIGHT OF WAY
S	-	SANITARY SEWER LATERAL
SD	-	STORM DRAIN
SDE	-	STORM DRAIN EASEMENT
SDCO	-	STORM DRAIN CLEAN OUT
SDMH	-	STORM DRAIN MANHOLE
SS	-	SANITARY SEWER
S/W	-	SIDEWALK
TBO	-	TEMPORARY BLOWOFF
TC	-	TOP OF CURB
TG	-	TOP OF GRATE
TI	-	TRAFFIC INDEX
TYP	-	TYPICAL
TWC	-	TOP OF WEDGE CURB
TW	-	TOP OF RETAINING WALL
VG	-	VALLEY GUTTER
W	-	WATER
WR	-	RECYCLED WATER

EXISTING



LEGEND

PROPOSED



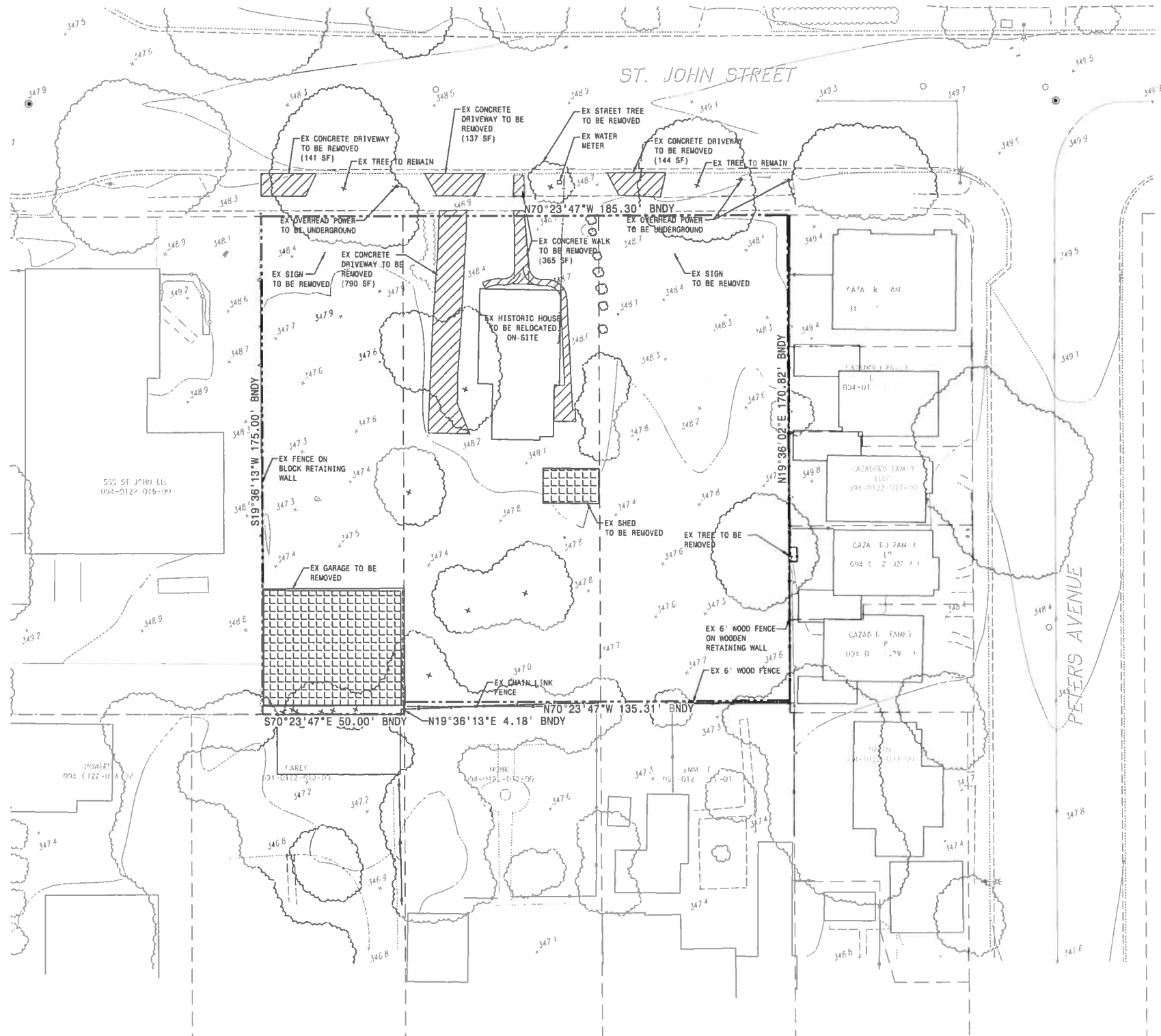
DESCRIPTION

SUBDIVISION BOUNDARY
RIGHT OF WAY / LOT LINE
CENTERLINE
FACE OF CURB
SANITARY SEWER & MANHOLE
STORM DRAIN & INLET
STORM MANHOLE
WATER LINE & VALVES
FIRE HYDRANT WITH VALVE
BLOWOFF
WATER SERVICE
ELECTROLYTER
SIDEWALK
GRADE SLOPE
OVERLAND SURFACE RELEASE
DRAINAGE MANAGEMENT AREA (DMA)
BORNTENTION AREA/ FLOW THROUGH PLANTER

EXHIBIT B

RECEIVED
JUNE 20, 2016
CITY OF PLEASANTON
PLANNING DIVISION
PUD-120, TM 8326, P16-1201, & P16-1202

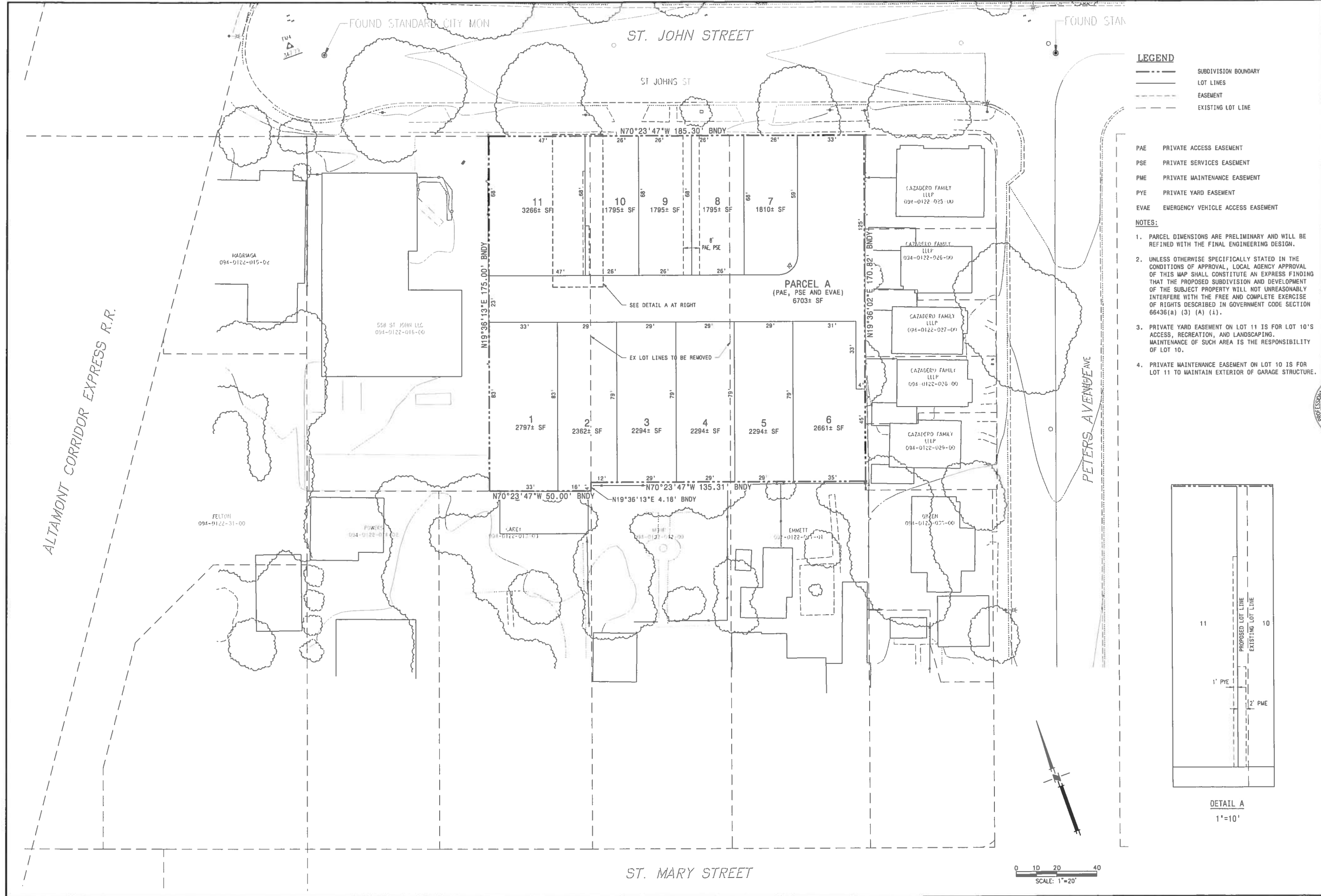
DATE: 2016-06-16	SCALE: 1" = 50'	DRAWN BY: CML	DESIGNED BY: CML	CHECKED BY: CWC	DATE
MACKAY & SOMPS CIVIL ENGINEERS 5142 FRANKLIN DRIVE, SUITE B PLEASANTON, CALIFORNIA 94588 (925) 225-0690					
PLANS PREPARED UNDER THE DIRECTION OF: JAMES F. TEMPLETON JR. RCE #43061 CIVIL ENGINEER - STATE OF CALIFORNIA					
536 & 550 ST JOHN STREET VESTING TENTATIVE TRACT MAP NO. 8326 COVER SHEET					
CITY OF PLEASANTON PROJECT NO. 19852-00					
SHEET C1 OF 7					



- NOTES:**
1. AERIAL PHOTO TAKEN NOVEMBER 19, 2015.
 2. ALL ONSITE UTILITIES, UNDERGROUND, AND SURFACE IMPROVEMENTS INCLUDING TREES AND BUILDINGS, EXCEPT FOR HISTORIC HOME WHICH IS TO BE RELOCATED ON-SITE, WILL BE REMOVED WITH PROPOSED SUBDIVISION.



DATE: 2016-06-16		REVISION:
SCALE: 1" = 20'	DRAWN BY: CHL	NO.
DESIGNED BY: CHL	CHECKED BY: CHW	DATE:
PLANS PREPARED UNDER THE DIRECTION OF:		
JAMES F. TEMPLETON JR. REE #AUG81 CALIFORNIA		
536 & 550 ST JOHN STREET VESTING TENTATIVE TRACT MAP NO. 8328 EXISTING CONDITIONS/DENO PLAN CITY OF PLEASANTON		
PROJECT NO.	19852-00	
SHT	C2	
OF	7	

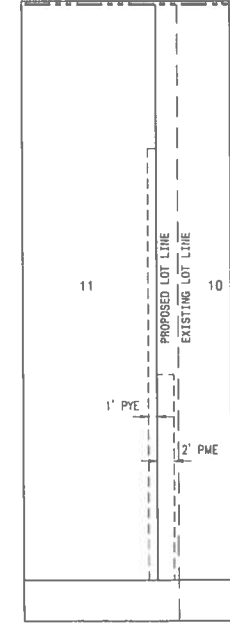


LEGEND

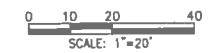
- SUBDIVISION BOUNDARY
- LOT LINES
- EASEMENT
- EXISTING LOT LINE

PAE PRIVATE ACCESS EASEMENT
 PSE PRIVATE SERVICES EASEMENT
 PME PRIVATE MAINTENANCE EASEMENT
 PYE PRIVATE YARD EASEMENT
 EVAE EMERGENCY VEHICLE ACCESS EASEMENT

- NOTES:**
1. PARCEL DIMENSIONS ARE PRELIMINARY AND WILL BE REFINED WITH THE FINAL ENGINEERING DESIGN.
 2. UNLESS OTHERWISE SPECIFICALLY STATED IN THE CONDITIONS OF APPROVAL, LOCAL AGENCY APPROVAL OF THIS MAP SHALL CONSTITUTE AN EXPRESS FINDING THAT THE PROPOSED SUBDIVISION AND DEVELOPMENT OF THE SUBJECT PROPERTY WILL NOT UNREASONABLY INTERFERE WITH THE FREE AND COMPLETE EXERCISE OF RIGHTS DESCRIBED IN GOVERNMENT CODE SECTION 66436(a) (3) (A) (1).
 3. PRIVATE YARD EASEMENT ON LOT 11 IS FOR LOT 10'S ACCESS, RECREATION, AND LANDSCAPING. MAINTENANCE OF SUCH AREA IS THE RESPONSIBILITY OF LOT 10.
 4. PRIVATE MAINTENANCE EASEMENT ON LOT 10 IS FOR LOT 11 TO MAINTAIN EXTERIOR OF GARAGE STRUCTURE.

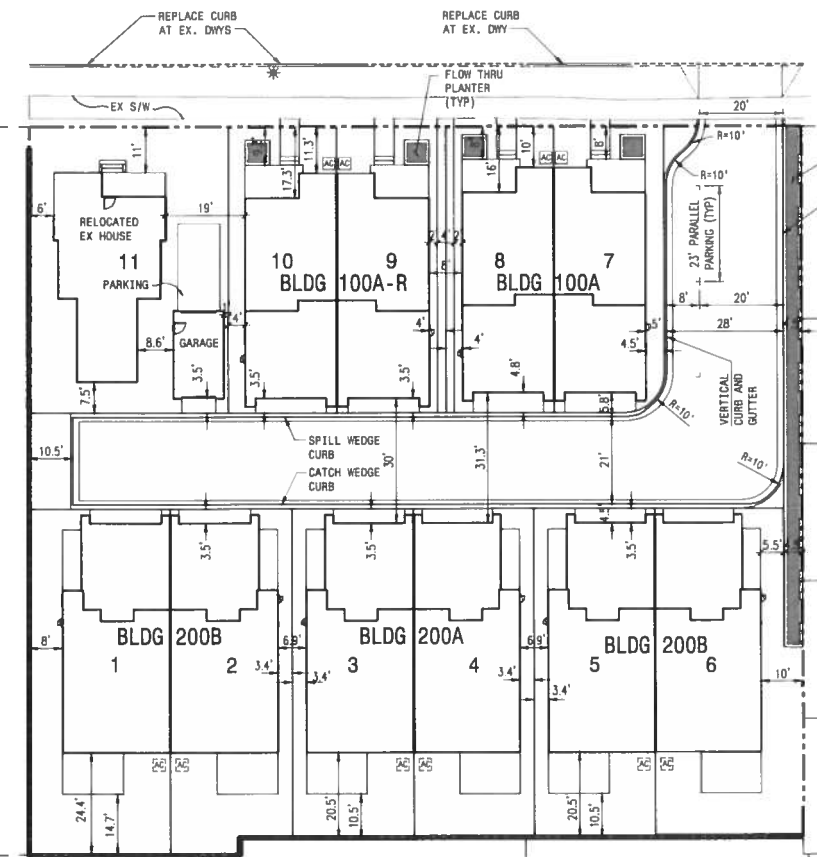


DETAIL A
1"=10'

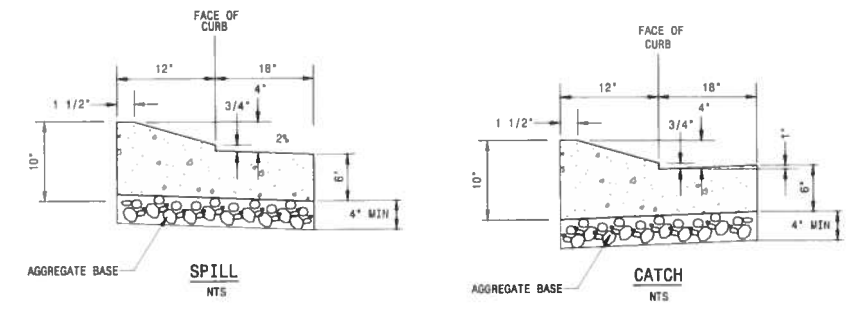


<p>DATE: 2016-06-16 SCALE: 1" = 20' DRAWN BY: CHL DESIGNED BY: CHL CHECKED BY: CWG</p>	<p>NO. REVISION</p>
<p>MACKAY & SOMPS ARCHITECTS 5109 Folsom St., Pleasanton, CA 94568 (925) 237-1000 <small>INCORPORATED IN CALIFORNIA 1987</small></p>	
<p>PLANS PREPARED UNDER THE DIRECTION OF: JAMES F. TEMPLETON JR. REGISTERED PROFESSIONAL ENGINEER No. A3061 CIVIL ENGINEER STATE OF CALIFORNIA</p>	
<p>536 & 550 ST JOHN STREET VESTING TENTATIVE TRACT MAP NO. 8328 TENTATIVE MAP CITY OF PLEASANTON CALIFORNIA</p>	
<p>PROJECT NO. 19852-00</p>	
<p>SHT C3 OF 7</p>	

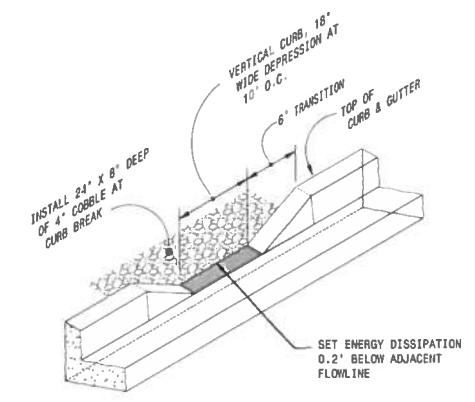
ST. JOHN STREET



SITE PLAN
SCALE: 1"=20'



WEDGE CURB AND GUTTER
NTS



TYPICAL SECTION VERTICAL CURB CUT
NTS

DEVELOPMENT DATA TABLE

LOT	BLDG PLAN TYPE	FLOOR PLAN	LOT AREA	LOT COVERAGE	LOT COVERAGE WITH OPTIONAL CA ROOM	TOTAL SF	FLOOR AREA RATIO
LOT 1	PLAN 200B	2	2,795 SF	50%	55%	2158 SF	0.77
LOT 2	PLAN 200B	2-R	2,362 SF	59%	66%	2158 SF	0.91
LOT 3	PLAN 200A	2	2,294 SF	61%	67%	2158 SF	0.94
LOT 4	PLAN 200A	2-R	2,294 SF	61%	67%	2158 SF	0.94
LOT 5	PLAN 200B	2	2,294 SF	61%	67%	2158 SF	0.94
LOT 6	PLAN 200B	2-R	2,661 SF	53%	58%	2158 SF	0.81
LOT 7	PLAN 100A	1X-R	1,810 SF	68%	-	1690 SF	0.83
LOT 8	PLAN 100A	1	1,795 SF	68%	-	1690 SF	0.94
LOT 9	PLAN 100A-R	1-R	1,795 SF	68%	-	1690 SF	0.94
LOT 10	PLAN 100A-R	1X	1,795 SF	68%	-	1690 SF	0.94
LOT 11	EX HOUSE	-	3,266 SF	40%	-	973 SF	0.30

PARKING PROVIDED: 2 SPACES PER GARAGE ON PROPOSED UNITS, 1 CAR GARAGE FOR EX HOUSE PLUS 1 UNCOVERED PARKING SPACE, 2 ON-SITE STALLS, 6 ON STREET PARKING STALLS, 2.7 STALLS/UNIT

DATE: 2016-06-16
SCALE: 1"=20'
DRAWN BY: CML
DESIGNED BY: CML
CHECKED BY: CWG
NO. REVISION

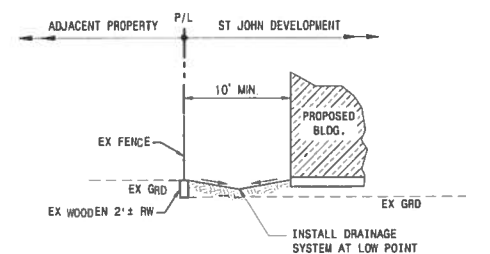
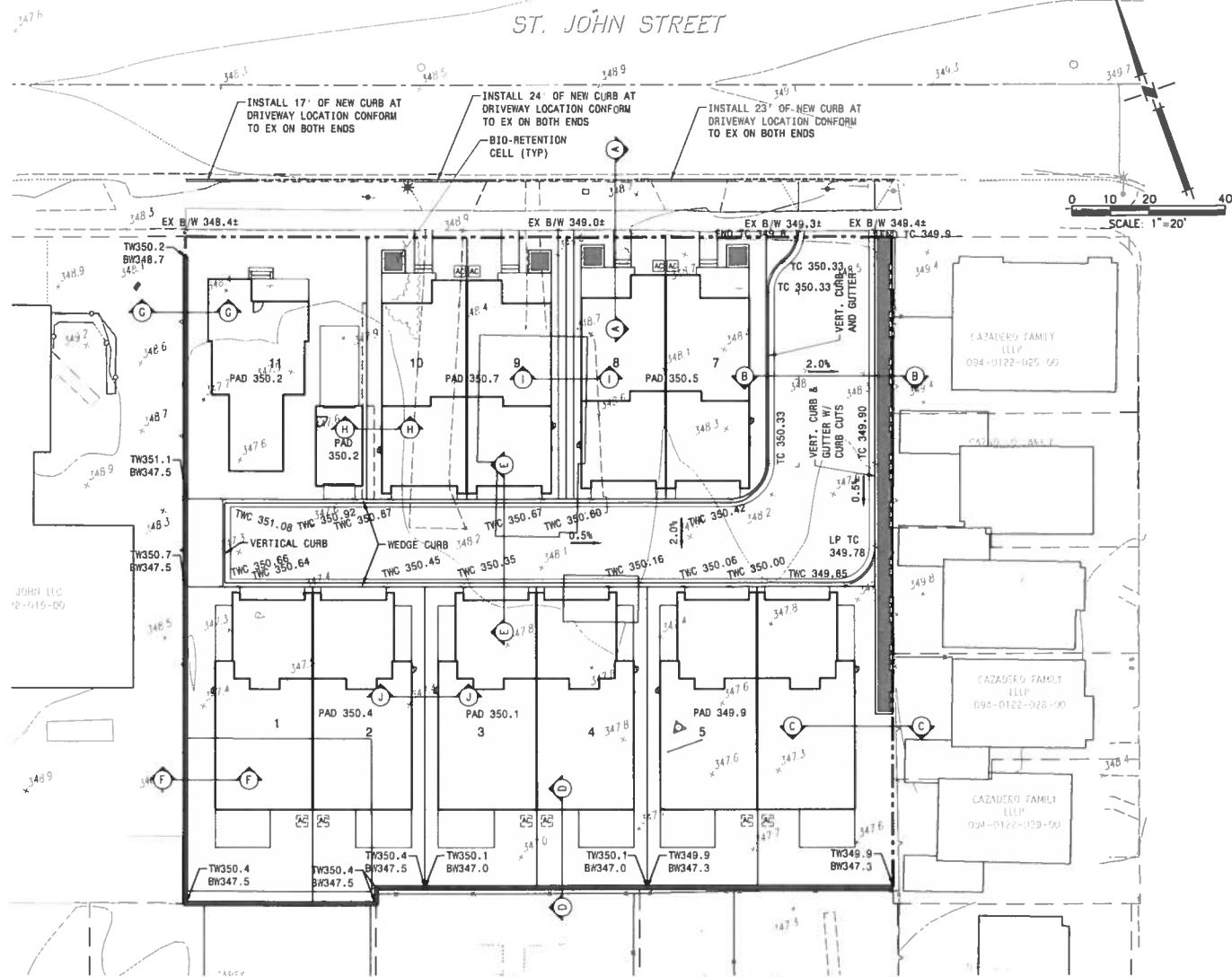
MACKAY & SOMPS
REGISTERED PROFESSIONAL ENGINEER
3109 TEMPLETON DR., PLEASANTON, CA 94566 (925) 273-1000
FACILITY: SACRAMENTO, CA 95833 (916) 486-1000
OFFICE: SACRAMENTO, CA 95833 (916) 486-1000

PLANS PREPARED UNDER THE DIRECTION OF:
JAMES F. TEMPLETON, JR. No. 43061
RCE #43061

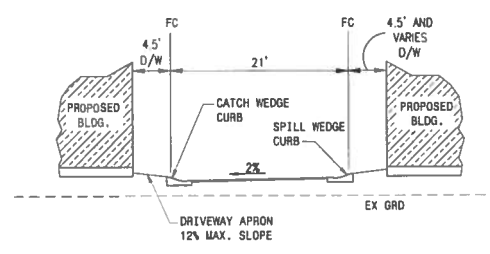
536 & 550 ST JOHN STREET
VESTING TENTATIVE TRACT MAP NO. 8328
SITE PLAN
CITY OF PLEASANTON, CALIFORNIA

PROJECT NO. 19852-00

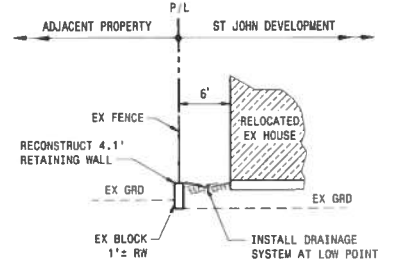
SHT C4
OF 7



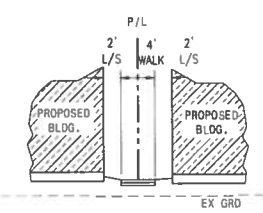
C SECTION C-C Scale: NTS



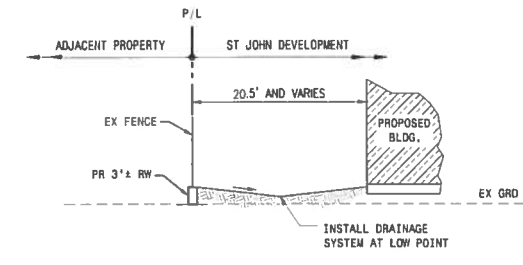
E SECTION E-E Scale: NTS



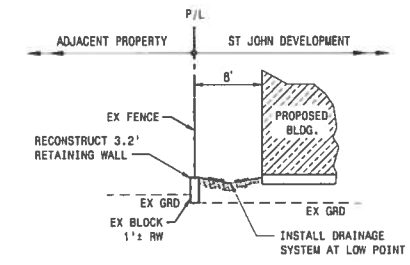
G SECTION G-G Scale: NTS



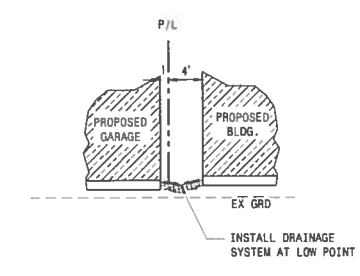
I SECTION I-I Scale: NTS



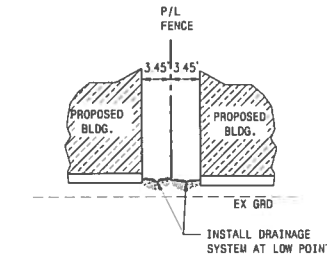
D SECTION D-D Scale: NTS



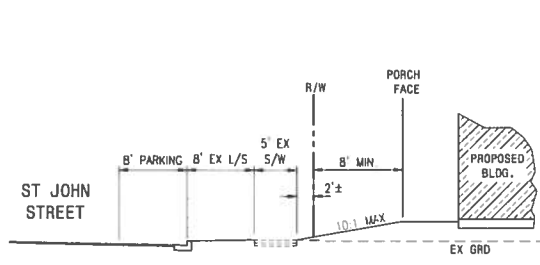
F SECTION F-F Scale: NTS



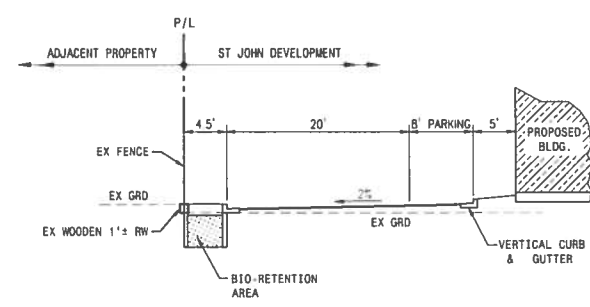
H SECTION H-H Scale: NTS



J SECTION J-J Scale: NTS



A SECTION A-A Scale: NTS



B SECTION B-B Scale: NTS

- NOTES:**
1. ALL EXISTING TREES AND STRUCTURES EXCEPT HISTORIC HOUSE TO BE REMOVED. SEE DEMOLITION PLAN SHEET C2.
 2. RETAINING WALLS AND ASSOCIATED GRADING SHOWN FOR GENERAL INFORMATION ONLY AND WILL BE ADJUSTED AT THE FINAL DESIGN TO MEET OVERALL GRADING INTENT. ALL DESIGN SHALL CONFORM TO EXISTING CITY STANDARDS.
 3. SEE SHEET C6 FOR UTILITY LAYOUT.

DATE: 2016-08-16
 SCALE: 1" = 20'
 DRAWING BY: CM
 DESIGNED BY: CM
 CHECKED BY: CMG

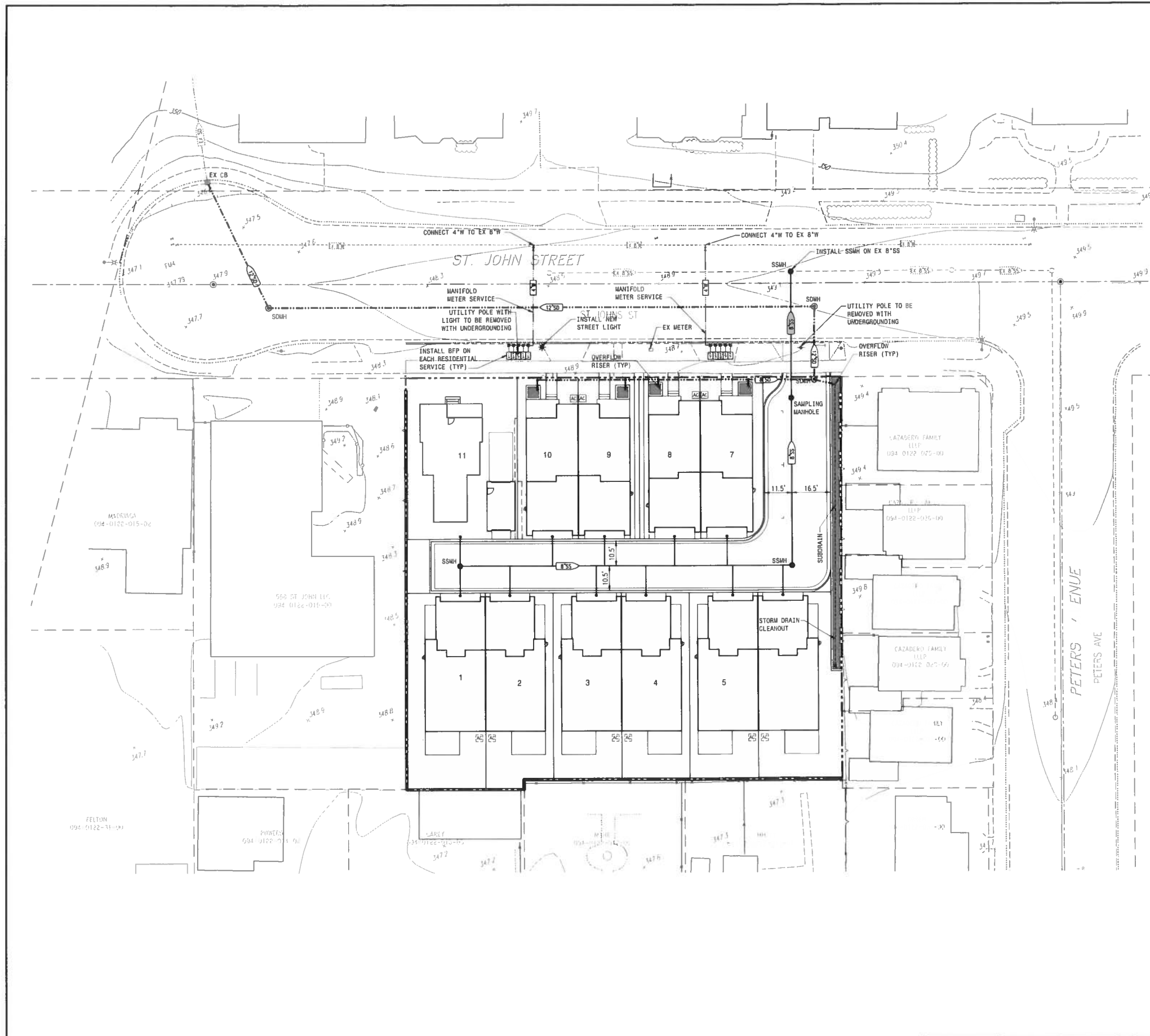
MACKAY & SOMPS
 31111 Mission Blvd., Redwood City, CA 94061 (650) 737-0900
 A PROFESSIONAL ENGINEER HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE ENGINEERING PROFESSION ACT AND THE ENGINEERING COUNCIL REGULATION ACT.

PLANS PREPARED UNDER THE DIRECTION OF
JAMES F. TEMPLETON JR. RCE #A3061
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA

536 & 550 ST JOHN STREET
 VESTING TENTATIVE TRACT MAP NO. 8326
 GRADING PLAN/ DETAILS AND SECTIONS
 CITY OF PLEASANTON CALIFORNIA

PROJECT NO
 19852-00

SHT
 C5
 OF 7



- NOTES:
1. IN TRACT SEWER LINE TO BE PRIVATE AFTER SAMPLING MANHOLE.
 2. STORM DRAIN TO BE PRIVATE WITH THE EXCEPTION OF THE PROPOSED LINE IN ST JOHN STREET.
 3. DEVELOPER TO UNDERGROUND EXISTING OVERHEAD POWER ALONG ST JOHN STREET PER RULE 20 REQUIREMENTS.

DATE: 2018-06-16	REVISION:
SCALE: 1" = 20'	NO.
DRAWN BY: CRL	NO.
DESIGNED BY: CRL	NO.
CHECKED BY: CRL	NO.
DATE: 2018-06-16	REVISION:
SCALE: 1" = 20'	NO.
DRAWN BY: CRL	NO.
DESIGNED BY: CRL	NO.
CHECKED BY: CRL	NO.

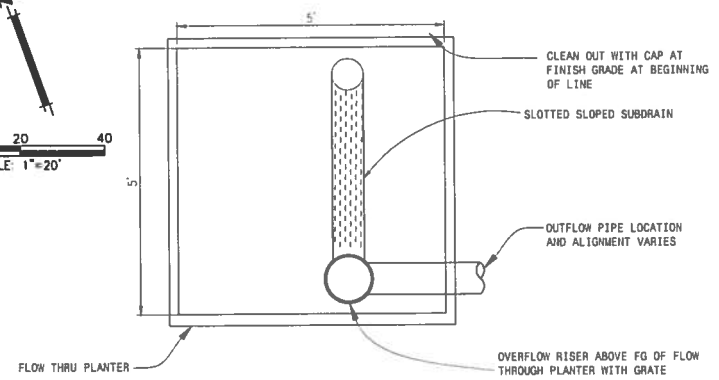
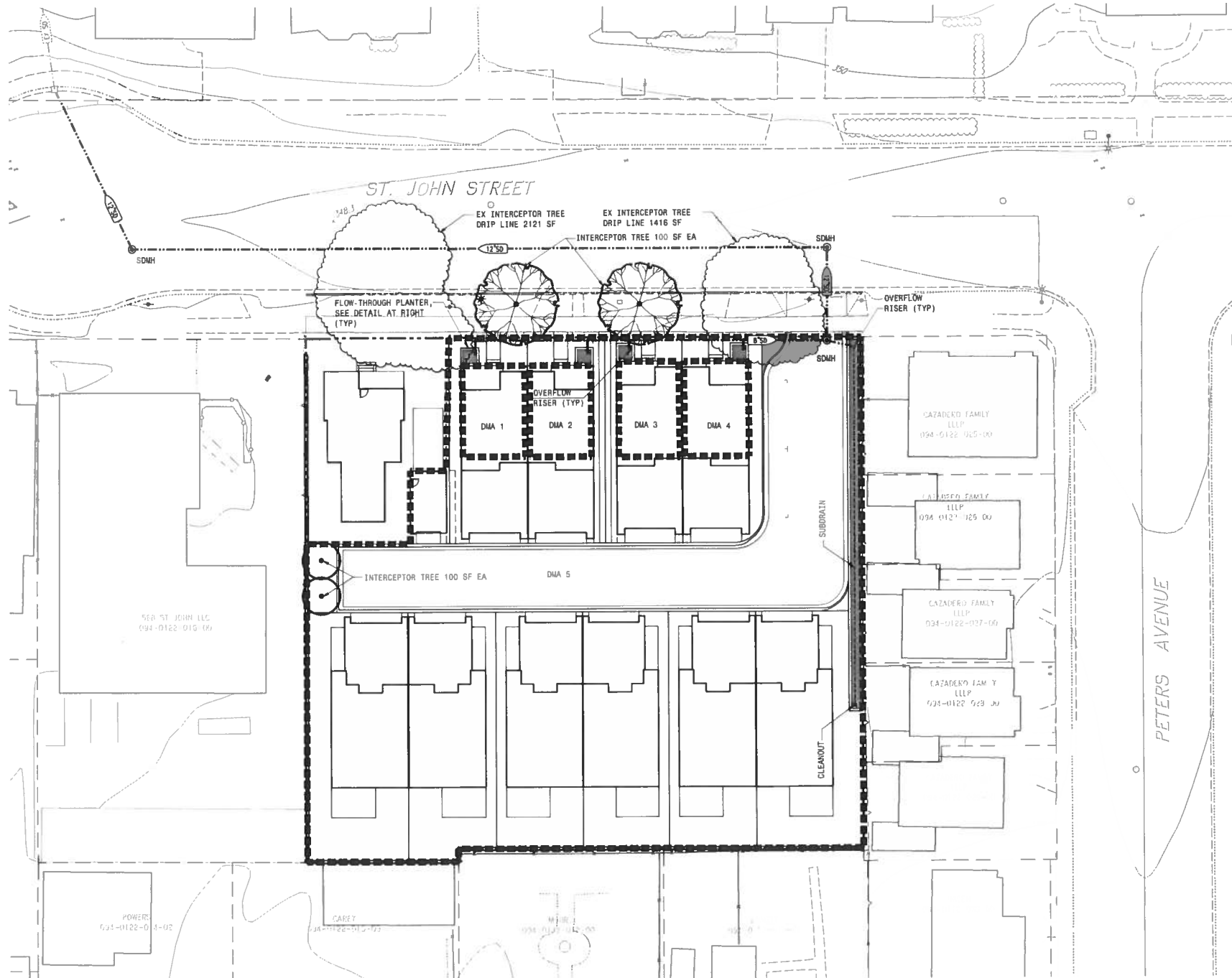
MACKAY & SOMPS
 PROFESSIONAL ENGINEER
 1110 PLEASANT ST. SUITE 200
 PLEASANTON, CA 94566
 (925) 461-1111
 www.mackayandsomps.com

PLANS PREPARED UNDER THE DIRECTION OF
JAMES F. TEMPLETON JR.
 No. 33061
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 STATE OF CALIFORNIA

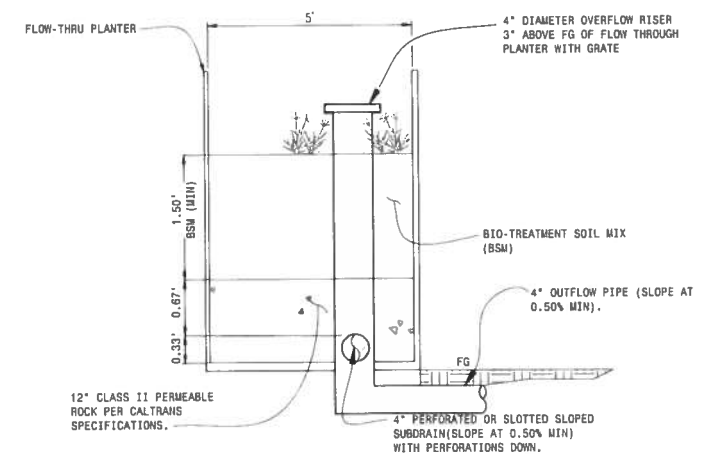
536 & 550 ST JOHN STREET
 VESTING TENTATIVE TRACT MAP NO. 8328
 UTILITY PLAN
 CITY OF PLEASANTON CALIFORNIA

PROJECT NO
 19852-00

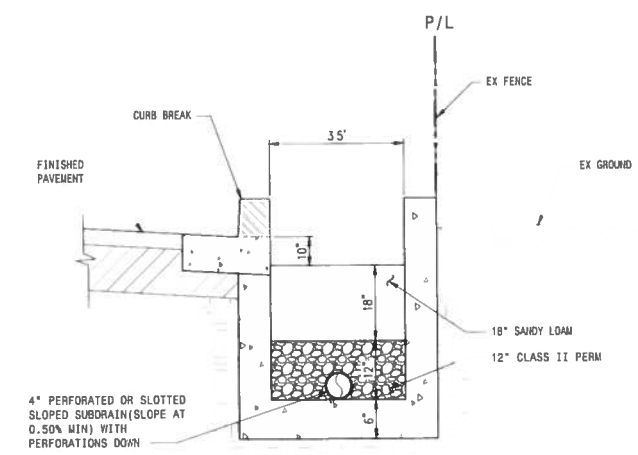
SHT
 C6
 OF 7



FLOW-THRU PLANTER DETAIL PLAN VIEW
NTS



BIORETENTION CELL DETAIL SECTION VIEW
NTS



FLOW-THRU PLANTER DETAIL ADJACENT TO DRIVE AISLE
NTS

DRAINAGE MANAGEMENT SUMMARY

DMA	IMPERVIOUS AREA	PERVIOUS AREA	TREATMENT AREA	INTERCEPTOR TREE	PONDING DEPTH
DMA 1	613 SF	0 SF	25 SF	0 SF	0 IN
DMA 2	613 SF	0 SF	25 SF	0 SF	0 IN
DMA 3	613 SF	0 SF	25 SF	0 SF	0 IN
DMA 4	613 SF	0 SF	25 SF	0 SF	0 IN
DMA 5	18,855 SF	7,632 SF	435 SF	3,937 SF	7.7 IN

DATE: 2016-06-16
 SCALE: CHL
 DRAWN BY: CHL
 DESIGNED BY: CHL
 CHECKED BY: CHL

MACKAY & SOMPS
 SANITATION ENGINEERS
 5120 HOLLAND BL., HOLLAND, CA 94520 (925) 938-3800
 LICENSE NO. 43061

PLANS PREPARED UNDER THE DIRECTION OF:
JAMES F. TEMPLETON JR. RCE #4061
 CIVIL ENGINEER
 STATE OF CALIFORNIA

536 & 550 ST JOHN STREET
 TENTATIVE TRACT MAP NO. 8328
 STORM WATER QUALITY CONCEPT PLAN
 CITY OF PLEASANTON, CALIFORNIA

PROJECT NO:
 19852-00

SHT
 C7
 OF 7



COMMUNITY MAILBOXES
- SEE DETAIL SHEET L2

EXISTING CONCRETE
SIDEWALK

C.3 PLANTER BED PER
CIVIL ENGINEER PLANS

ENTRY PORCH PER
ARCHITECT

4'-8" ENTRY WALK TYP.

CONCRETE WALKWAY

PEDESTRIAN BROW AT
WALKWAYS - SEE DETAIL
SHEET L2

PRECAST CONCRETE
PAVER DRIVEWAY W/
CONCRETE BANDS - SEE
DETAIL SHEET L2

VERTICAL STEEL TRELLIS
W/ VINE PLANTINGS -
SEE DETAIL SHEET L2

6'-0" HIGH WOOD FENCE -
SEE DETAIL SHEET L2

NOTES:

ALL STREET TREES TO BE PLANTED WITH ROOT BARRIERS PER CITY OF PLEASANTON STANDARD DETAILS.

ALL TREES TO RECEIVE TREE STAKES PER CITY OF PLEASANTON STANDARD DETAILS.

ALL PLANTING TO CONFORM TO CITY OF PLEASANTON WATER EFFICIENT LANDSCAPE ORDINANCE.

ALL NEW PLANTING AREAS SHALL BE AUTOMATICALLY IRRIGATED PER CITY STANDARDS USING LOW-FLOW BUBBLERS OR DRIP METHODS.

AN AUTOMATIC WEATHER-BASED IRRIGATION CONTROLLER WITH SOIL MOISTURE AND/OR RAIN SENSOR SHALL BE USED.

ALL PLANTING AREAS SHALL BE MULCHED TO A MINIMUM DEPTH OF 3"

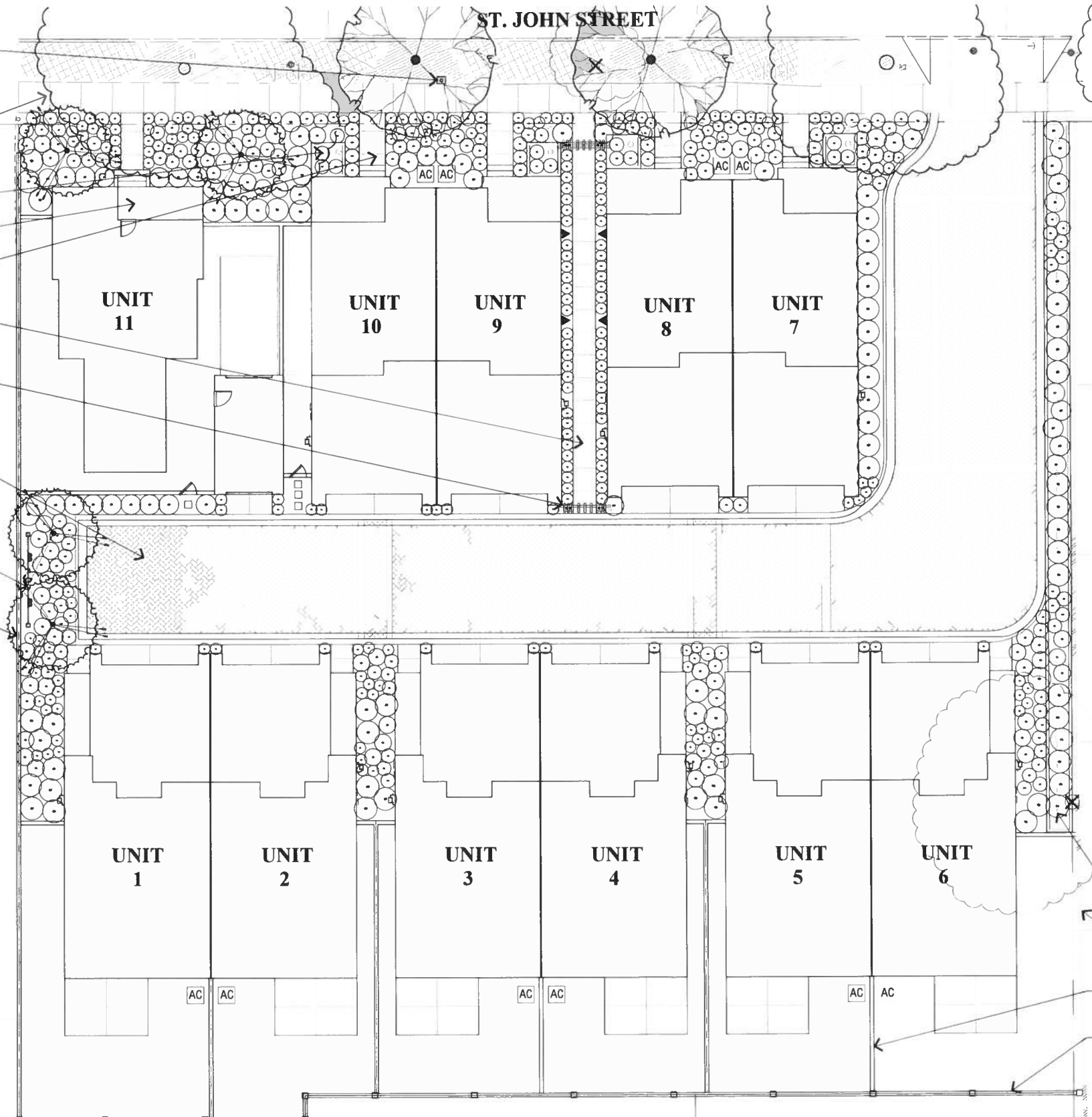


GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

ST. JOHN STREET



PRELIMINARY PROPOSED PLANT PALETTE

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
EXISTING TREE TO REMAIN			
# XXX			
EXISTING TREE TO BE REMOVED			
TREES			
FRAXINUS LATIFOLIA	OREGON ASH	24" BOX	MEDIUM
LAGERSTROEMIA INDICA	GRAPE MYRTLE	15 GALLON	LOW
SHRUBS			
ACACIA COGNATA 'COUSIN IT'	COUSIN IT ACACIA	5 GALLON	LOW
AGAPANTHUS 'MARIETUS MAJOR'	LILY OF THE WILC	1 GALLON	LOW
AGAVE ATTENUATA	FOX TAIL AGAVE	5 GALLON	LOW
ARBUS U. 'COMPACTA'	COMPACT STRAWBERRY TREE	5 GALLON	LOW
ARCTOSTAPHYLOS 'HOWARD MCMINN'	MANZANITA	1 GALLON	LOW
Buddleia DAVIDI	BUTTERFLY BUSH	5 GALLON	LOW
CAREX 'TUMULOCOLA'	BERKELEY SEDGE	1 GALLON	LOW
CISTUS HYBRIDUS	ROCKROSE	5 GALLON	LOW
COLEONEMA P. 'SUNSET GOLD'	GOLDEN BREATH-OF-HEAVEN	5 GALLON	MEDIUM
DIETES BICOLOR	FORTNIGHT LILY	1 GALLON	LOW
DIETES IRIDIODES	FORTNIGHT LILY	1 GALLON	LOW
ERIGERON KARWINSKIANUS	SANTA BARBARA DAISY	1 GALLON	LOW
EUONYMUS J. 'GREEN SPIRE'	GREEN SPIRE EUONYMUS	1 GALLON	LOW
EURYOPS P. 'MUNCHKIN'	DWARF EURYOPS	1 GALLON	LOW
FELICIA SELLOWIANA	PINEAPPLE GUAVA	5 GALLON	LOW
PESTUCA GLAUCA	BLUE FESCUE	1 GALLON	LOW
GREVILLEA 'NOVELLI'	WOOLLY GREVILLEA	5 GALLON	LOW
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GALLON	LOW
KNIPHOFIA UVARIA	RED HOT POKER	1 GALLON	LOW
LANTANA MONTEVIDENSIS	TRAILING LANTANA	1 GALLON	LOW
LAVATERA MARITIMA	TREE MALLOW	5 GALLON	LOW
LAVANDULA A. 'MUNSTEAD'	ENGLISH LAVANDER	1 GALLON	LOW
LAVANDULA A. 'STOECHE'S'	SPANISH LAVANDER	1 GALLON	LOW
LOROPETALUM C. 'RAZZLEBERRY'	RED FRINGE FLOWER	5 GALLON	LOW
MULLENBERGIA RIGENS	DEER GRASS	5 GALLON	LOW
MERTENSIA C. 'COMPACTA'	DWARF MYRTLE	1 GALLON	LOW
MANDINA D. 'GULF STREAM'	GULF STREAM BAMBOO	1 GALLON	LOW
NASELLA TENUSSIMA	TEXAS NEEDLE GRASS	1 GALLON	LOW
NEPETA FAASSENI	CATMINT	1 GALLON	LOW
OLEA E. 'LITTLE OLLIE'	DWARF OLIVE	5 GALLON	LOW
PHORMIUM 'DARK DELIGHT'	NEW ZEALAND FLAX	1 GALLON	LOW
PHORMIUM T. 'MAORI MAIDEN'	NEW ZEALAND FLAX	1 GALLON	LOW
PITOSPORUM 'WHEELER'S DWARF'	DWARF TOBIRA	1 GALLON	LOW
RHAPHOLEPIS L. 'BALLERINA'	INDIA HAWTHORN	1 GALLON	LOW
ROSA 'CECILE BRUNNER'	CECILE BRUNNER ROSE	5 GALLON	LOW
ROSMARINUS OFFICINALIS	ROSEMARY	1 GALLON	LOW
ROSA REGUSA	REGUSA ROSE	5 GALLON	LOW
SALVIA 'LIME LIGHT'	LIME LIGHT SAGE	1 GALLON	LOW
SANTOLINA CHAMAECYPARISSUS	LAVENDER COTTON	1 GALLON	LOW
STACHYS BYZANTINA	LAMB'S EAR	1 GALLON	LOW
TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GALLON	LOW
SHRUBS - BIO-SWALE			
ARISTIDA PURPUREA	PURPLE THREE-AWN	1 GALLON	LOW
Buddleia DAVIDI	BUTTERFLY BUSH	5 GALLON	LOW
CHONDRPETALUM TECTORUM	CAPE RUSH	5 GALLON	LOW
DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	1 GALLON	LOW
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1 GALLON	LOW
JUNCUS PATENS	CALIFORNIA RUSH	1 GALLON	LOW
MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	1 GALLON	LOW
PENSTEMON 'MARGARITA BOP'	BEARDED TONGUE	1 GALLON	LOW
ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GALLON	LOW
SALVIA SONOMENSIS	CREeping SAGE	1 GALLON	LOW
VINEB			
GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	5 GALLON	LOW
MACFADYENA UNGUIS-CATI	YELLOW TRUMPET VINE	5 GALLON	LOW
ROSA BANKSIAE	LADY BANKS ROSE	5 GALLON	LOW
ESPALIER			
PODOCARPUS GRACILIOR	FERN PINE	15 GALLON	MED
GROUNDCOVERB			
ARCTOSTAPHYLOS D. 'EMERALD CARPET'	BEARBERRY	1 GALLON # 36" O.C.	LOW
Scaevola 'MAUVE CLUSTERS'	FAN FLOWER	1 GALLON # 36" O.C.	LOW

C.3 PLANTER BED PER
CIVIL ENGINEER PLANS

EXISTING FENCE TO
REMAIN

6'-0" HIGH WOOD FENCE -
SEE DETAIL SHEET L2

6'-0" TO 7'-0" HIGH
PRECAST SOUNDWALL -
SEE DETAIL SHEET L2

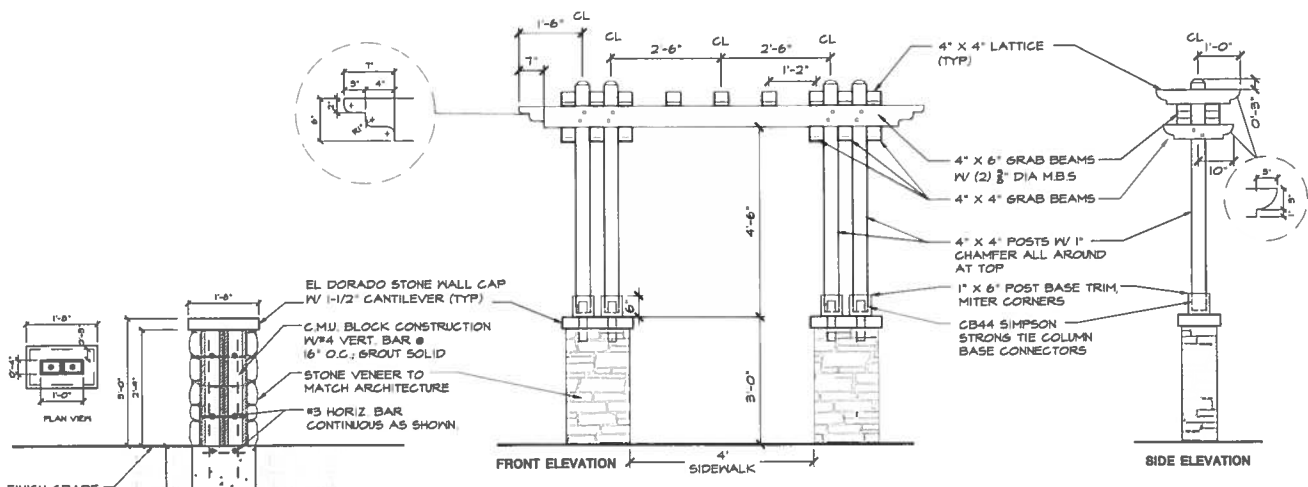
RIPLEY DESIGN GROUP
LANDSCAPE ARCHITECTURE
LAND PLANNING
1615 BONANZA STREET
SUITE 314
WALNUT CREEK, CA 94596
TEL 925 938 7377
FAX 925 938 7436

☒ CATALYST DEVELOPMENT PARTNERS ☒

Preliminary Landscape Plan

St. John Street
Pleasanton, California

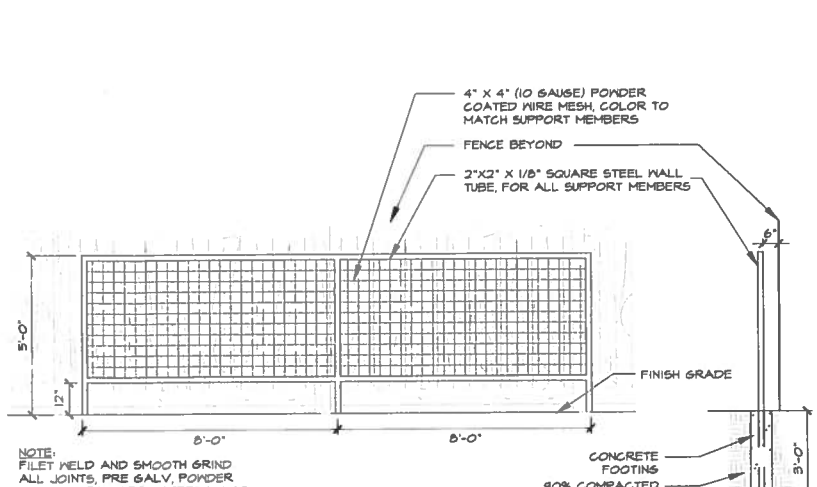
June 17, 2016



A WOOD BROW AT CRAFTSMAN STYLE ARCHITECTURE SCALE: 1/2" = 1'-0"

NOTE: ALL WOOD TO BE S4S NO.1 DOUGLAS FIR. ALL WOOD TO RECEIVE (1) COAT PRIMER (2) COATS OF FLAT ENAMEL. COLOR SELECTION TO BE COORDINATED W/ ARCHITECT.

NOTE: 1. STONE VENEER TO MATCH ARCHITECTURE
2. STRUCTURAL ENGINEER TO FIELD EXAMINE FOOTINGS



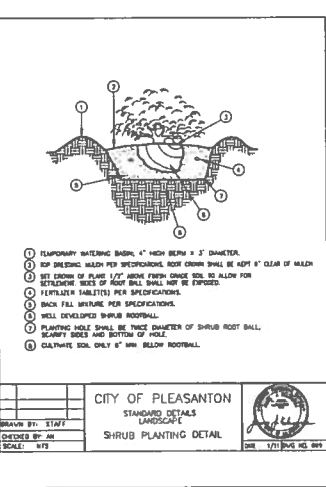
B FABRICATED STEEL ESPALIER TRELLIS SCALE: 3/8" = 1'-0"

NOTE: FILET WELD AND SMOOTH GRIND ALL JOINTS. PRE GALV. POWDER COAT AFTER FABRICATED. COLOR TO MATCH ARCHITECTURAL TRIM. COLOR TO BE: "SM 7514 FOOTHILLS" FROM SHERWIN WILLIAMS.



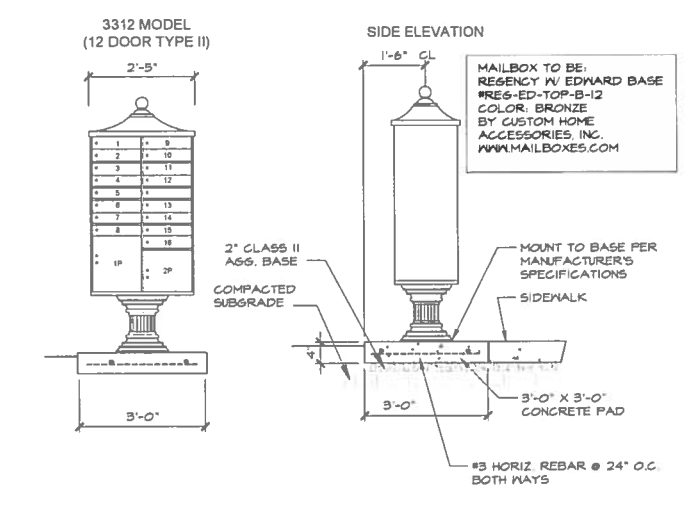
C PRECAST CONCRETE PAVERS

CONCRETE PAVER: ESTATE SERIES CONCRETE PAVER BY PACIFIC INTERLOCK PAVINGSTONE OR EQUAL. COLOR: SHASTA REDWOOD, PATTERN: OLD TOWN III



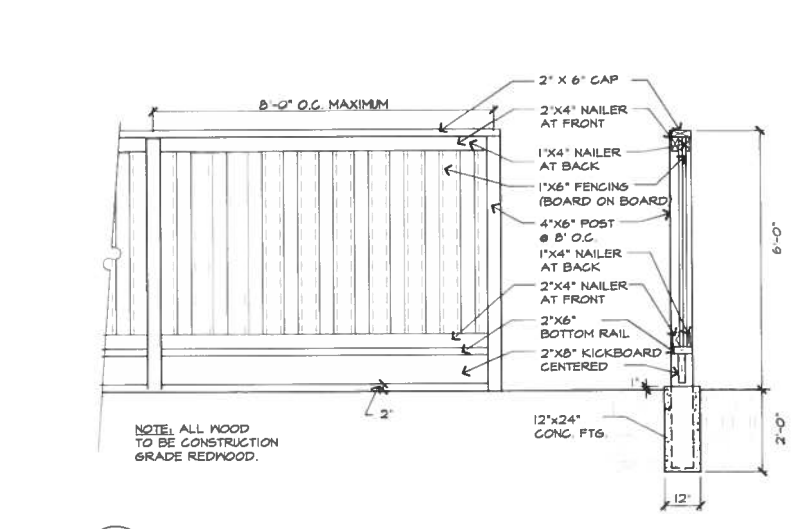
CITY OF PLEASANTON STANDARD DETAILS LANDSCAPE

1. TEMPORARY WATERING BARRIERS 4" HIGH WITH 2" DIAMETER
2. ANY BREAKING WALLS PER SPECIFICATIONS. ROOT BARRIERS SHALL BE KEPT 4" CLEAR OF WALLS
3. SEE CROSS SECTION 1/2" ABOVE FROM CROSS SECTION FOR ALLOW FOR SETBACKS. SECT OF ROOT BARRIERS SHALL NOT BE EXPOSED
4. FERTILIZER SHALL BE PER SPECIFICATIONS
5. BACK FILL MATERIAL PER SPECIFICATIONS
6. WALL DEVELOPER SHALL PER SPECIFICATIONS
7. PLANTING HOLE SHALL BE 10% DEEPER OF DIRT. ROOT BARRIERS SHALL BE PLANTING HOLES AND BOTTOM OF HOLE
8. CULTIVATE SOIL ONLY 4" MIN. BELOW ROOT BARRIERS



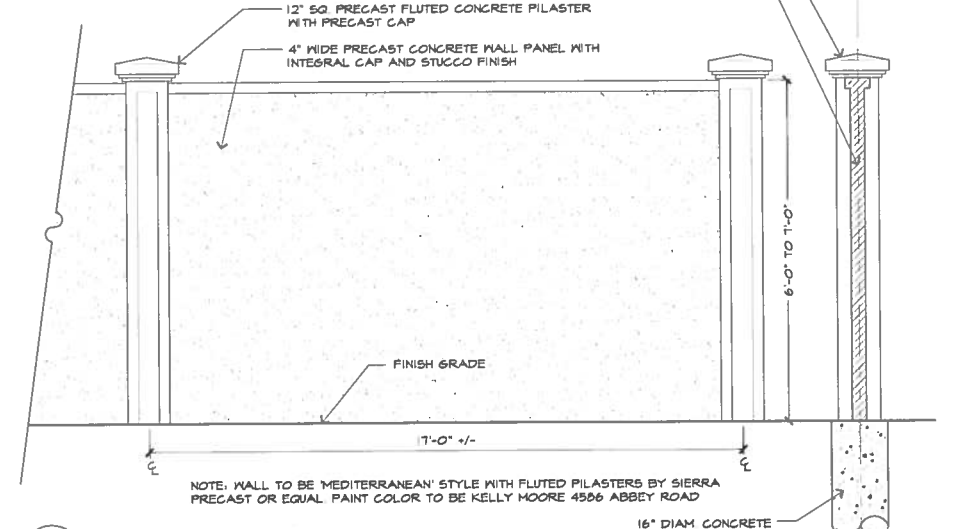
D COMMUNITY MAILBOXES SCALE: 1/2" = 1'-0"

NOTE: MAILBOX TO BE: REGENCY IV, EDWARD BASE REG-ED-TOP-B-12 COLOR: BRONZE BY CUSTOM HOME ACCESSORIES, INC. WWW.MAILBOXES.COM



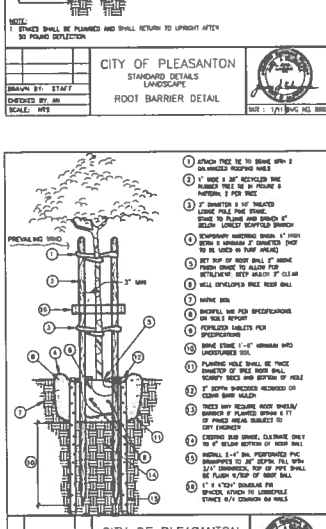
E WOOD FENCE W/KICKBOARD SCALE: 1/2" = 1'-0"

NOTE: ALL WOOD TO BE CONSTRUCTION GRADE REDWOOD.



F 6' - 7' PRECAST SOUNDWALL SCALE: 1/2" = 1'-0"

NOTE: WALL TO BE 'MEDITERRANEAN' STYLE WITH FLUTED PILASTERS BY SIERRA PRECAST OR EQUAL. PAINT COLOR TO BE KELLY MOORE 4566 ABBEY ROAD



CITY OF PLEASANTON STANDARD DETAILS LANDSCAPE

1. WHICH TREE TO BE PLANTED
2. PLANTING HOLE SHALL BE 12" DEEPER OF DIRT. ROOT BARRIERS SHALL BE PLANTING HOLES AND BOTTOM OF HOLE
3. CULTIVATE SOIL ONLY 4" MIN. BELOW ROOT BARRIERS
4. TEMPORARY WATERING BARRIERS 4" HIGH WITH 2" DIAMETER
5. ANY BREAKING WALLS PER SPECIFICATIONS. ROOT BARRIERS SHALL BE KEPT 4" CLEAR OF WALLS
6. SEE CROSS SECTION 1/2" ABOVE FROM CROSS SECTION FOR ALLOW FOR SETBACKS. SECT OF ROOT BARRIERS SHALL NOT BE EXPOSED
7. FERTILIZER SHALL BE PER SPECIFICATIONS
8. BACK FILL MATERIAL PER SPECIFICATIONS
9. WALL DEVELOPER SHALL PER SPECIFICATIONS
10. PLANTING HOLE SHALL BE 10% DEEPER OF DIRT. ROOT BARRIERS SHALL BE PLANTING HOLES AND BOTTOM OF HOLE
11. CULTIVATE SOIL ONLY 4" MIN. BELOW ROOT BARRIERS



Lot 7

Lot 8

Lot 9

Lot 10

Lot 11

Building 100A

Building 100A-R

New Garage

Existing House
(relocated)

View from St. John Street - looking south

Rendered Elevations

536 St. John Street
Pleasanton, California
Catalyst Development Partners

W
WILLIAM HEZMALHALCH
ARCHITECTS INC.
500 EXECUTIVE PARKWAY SUITE 315 SAN RAMON CA 94583-4710
925 463 1700 fax 949 250 1529
2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543
949 250 0607 www.wharchitects.com fax 949 250 1529

June 16, 2016
A0.1
2015301

2015301 - St. John Street - Pleasanton, CA



Lot 6

Building 200B

Lot 5

Lot 4

Building 200A

Lot 3

Lot 2

Building 200B

Lot 1

View from driveway - looking south



Lot 11

Existing House
(relocated)

New Garage

Lot 10

Building 100A-R

Lot 9

Lot 8

Building 100A

Lot 7

View from driveway - looking north

Rendered Elevations

536 St. John Street

Pleasanton, California

Catalyst Development Partners

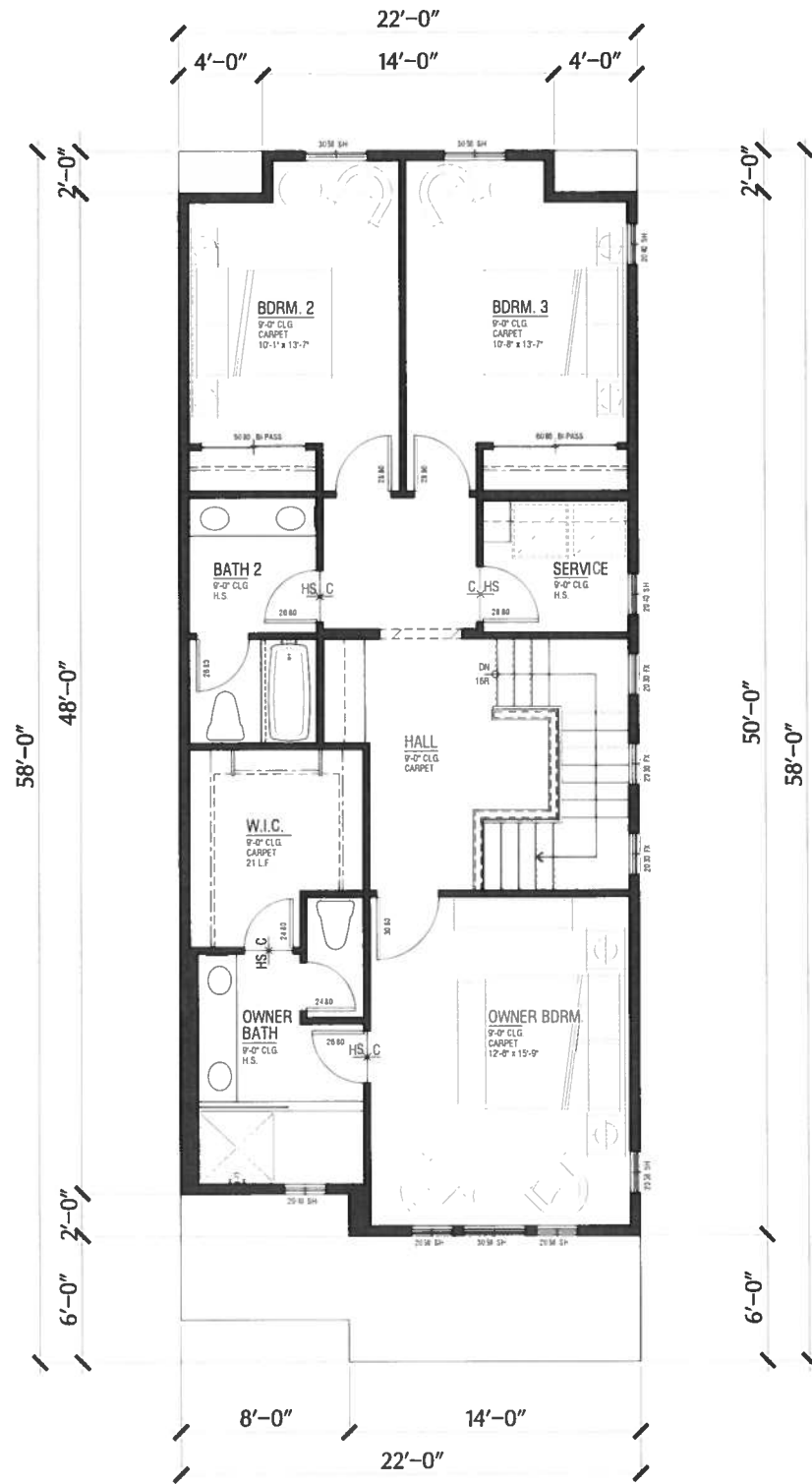


**WILLIAM HEZMALHALCH
ARCHITECTS INC.**
5000 EXECUTIVE PARKWAY SUITE 315 SAN RAMON, CA 94583-4261
925-463-1700 fax 949-250-1529
2850 REDHILL AVENUE SUITE 200 SANTA ANA, CA 92705-5540
949-250-0607 www.wharchitects.com fax 949-250-1529

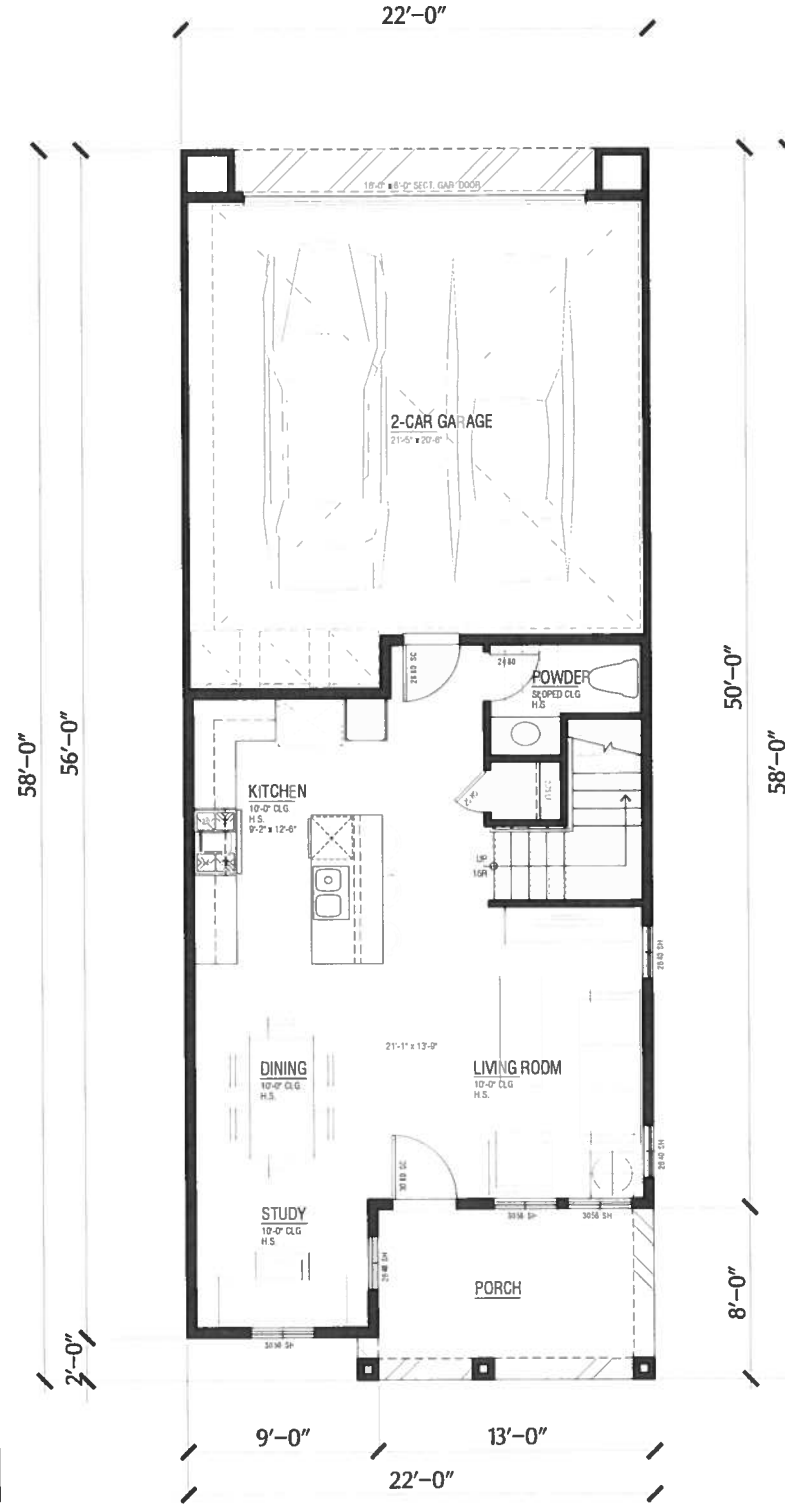
June 16, 2016

A0.2

2015301



Upper Floor
1,064 SF



Lower Floor
626 SF

Floor Plan 1

1,690 SF
3 Bdrm / 2.5 Ba / 2-Car Garage
*See sheet A1.2 for deck @ Plan 1X

536 St. John Street
Pleasanton, California
Catalyst Development Partners



© 2016 WILLIAM HEZMALHALCH ARCHITECTS, INC.

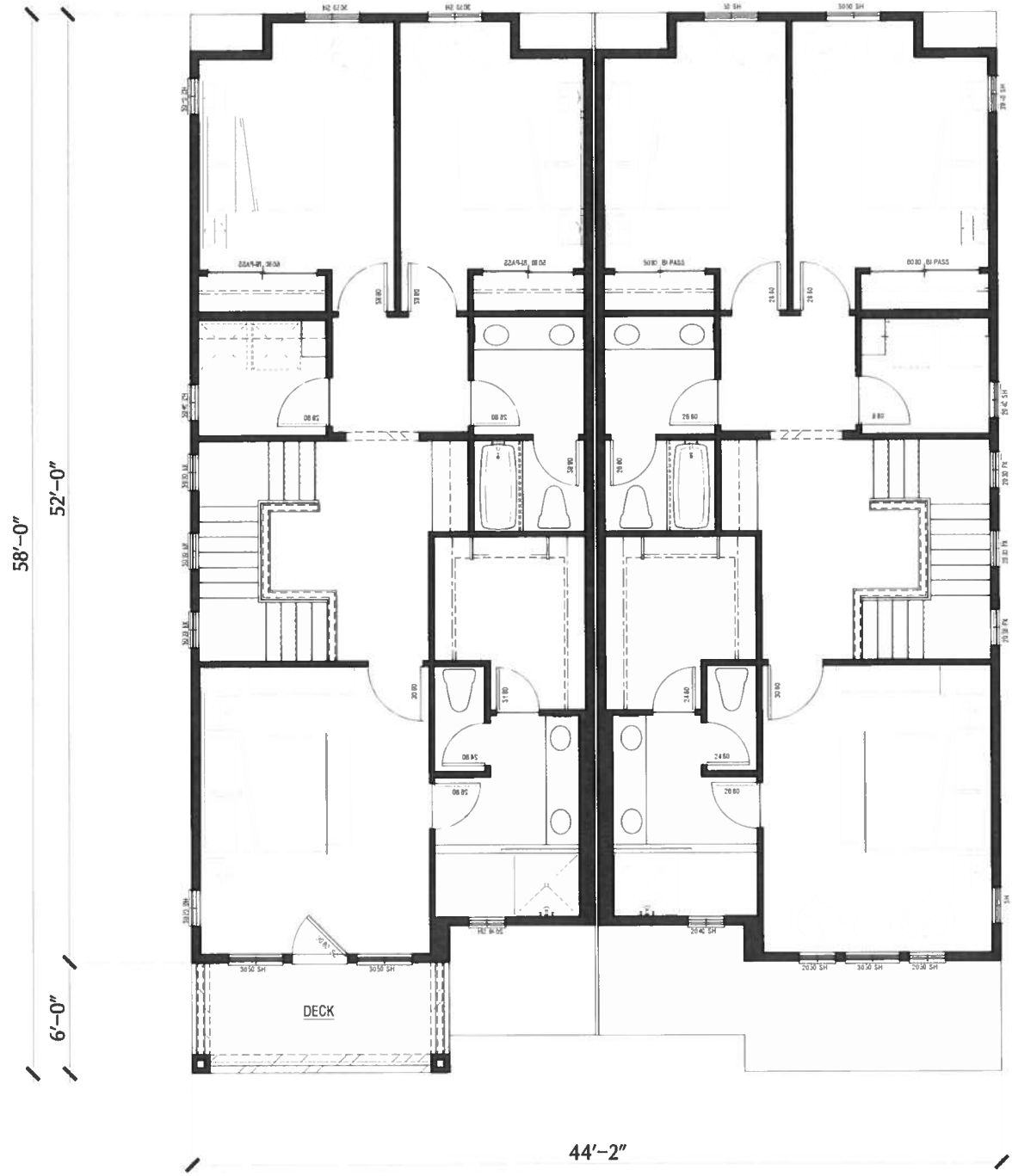


WILLIAM HEZMALHALCH
ARCHITECTS, INC.
500 EXECUTIVE PARKWAY SUITE 315 SAN RAMON CA 94583-4210
925 463 1700 fax 949 250 1529
2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5541
949 250 0607 www.wharchitects.com fax 949 250 1529

June 16, 2016
A1.1
2015301

2015301 - St. John Street - Pleasanton, CA

Window configuration @ Lot 9

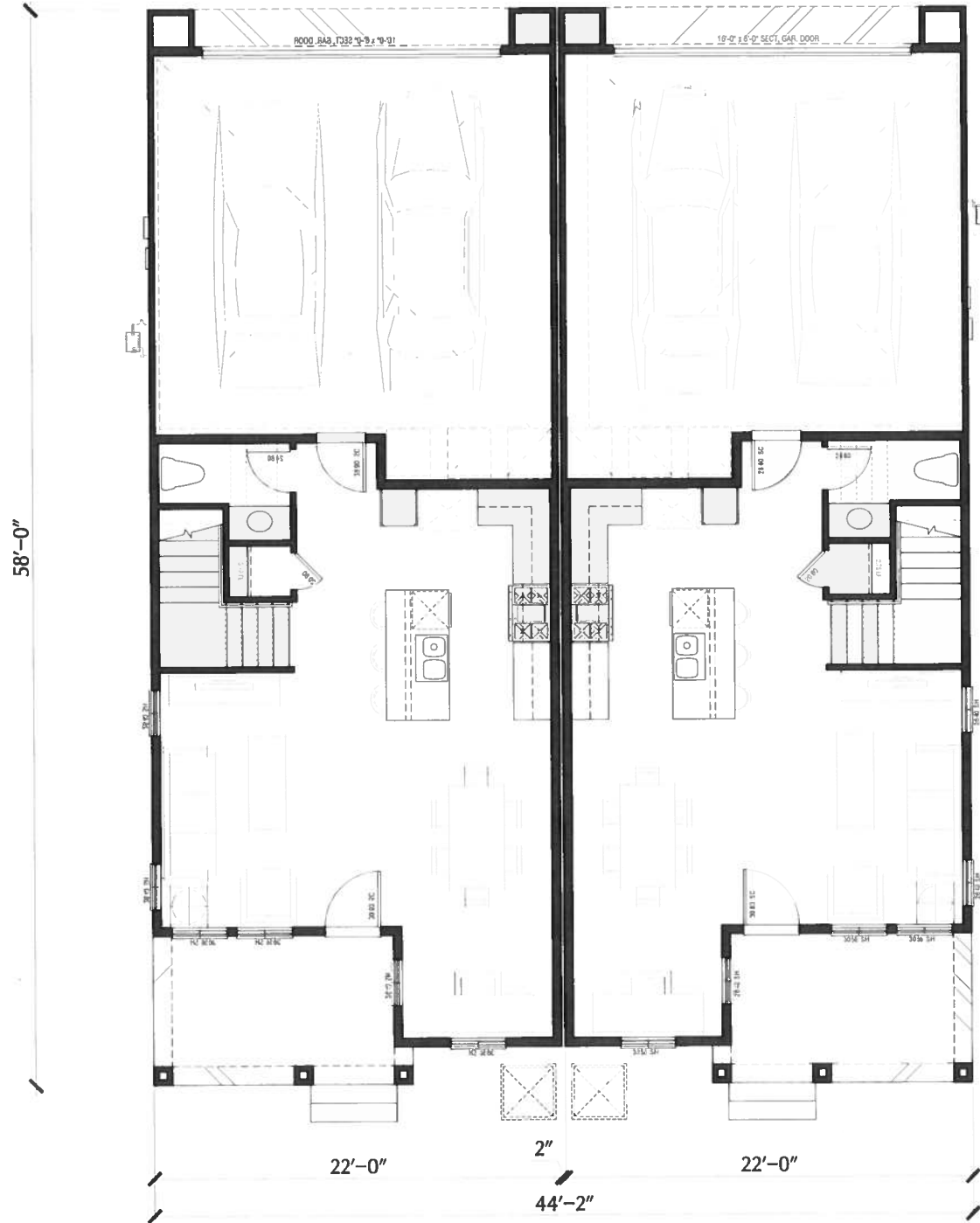


Plan 1X-R

Plan 1

Upper Floor

Window configuration @ Lot 9



Plan 1X-R

Plan 1

Lower Floor

Floor Plan - Building 100A @ Lots 7/8

(Bldg. 100A-R is reversed @ Lots 9/10)

536 St. John Street

Pleasanton, California
Catalyst Development Partners



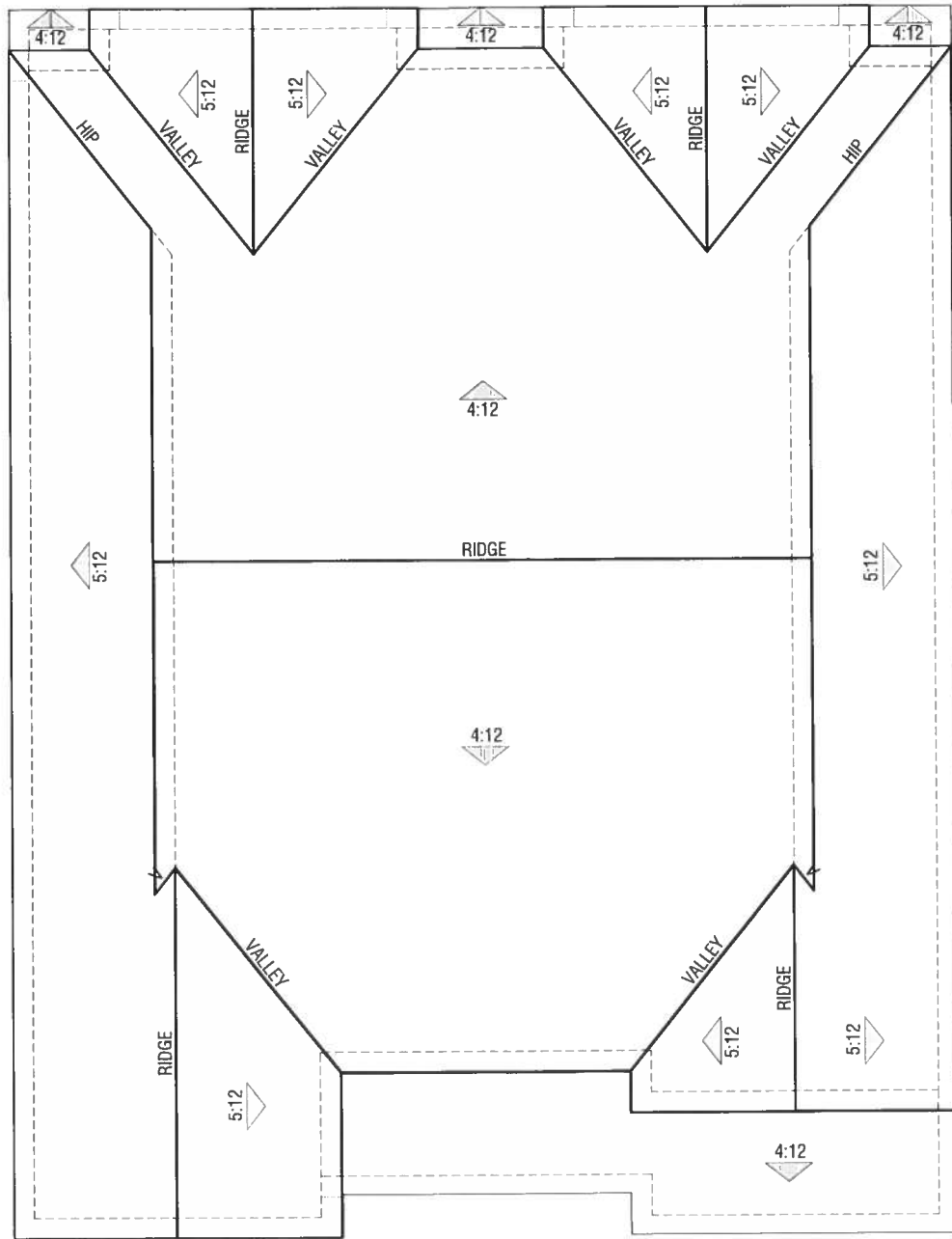
© 2016 WILLIAM HEZMALHALCH ARCHITECTS, INC.



WILLIAM HEZMALHALCH
ARCHITECTS, INC.
5000 EXECUTIVE PARKWAY SUITE 315 SAN RAMON CA 94583-4210
925 463 1700 fax 949 250 1529
2350 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543
949 250 0607 www.warchitects.com fax 949 250 1529

June 16, 2016
A1.2
2015301

2015301 - St. John Street - Pleasanton, CA



Roof Plan - Building 100A
@ Lots 7/8 & 9/10

536 St. John Street
Pleasanton, California
Catalyst Development Partners



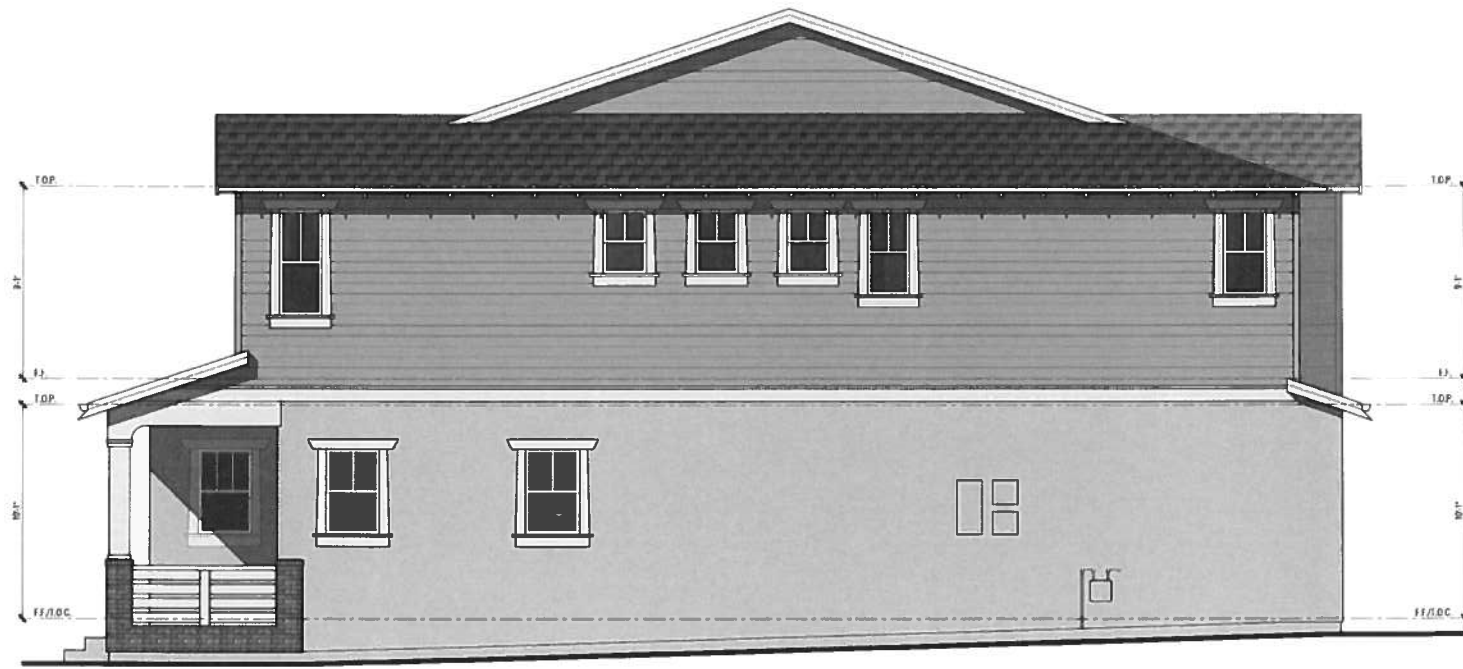
© 2016 WILLIAM HEZMALHALCH ARCHITECTS, INC.



WILLIAM HEZMALHALCH
ARCHITECTS INC.
5200 EXECUTIVE PARKWAY SUITE 315 SAN RAMON CA 94583-2110
925 463 1700 fax 949 250 1529
2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543
949 250 0607 www.wharchitects.com fax 949 250 1529

June 16, 2016
A1.3
2015301

2015301 - St. John Street - Pleasanton, CA



West Elevation



South Elevation

EXTERIOR MATERIALS

- Composition shingle roofing
- Stucco
- Fiber cement trim and siding
- Insulated vinyl windows
- Manufactured stone and brick veneer accent
- Overhead garage door



East Elevation



North Elevation

Exterior Elevations - Building 100A @ Lots 7/8

(Bldg. 100A-R is reversed @ Lots 9/10)

536 St. John Street

Pleasanton, California

Catalyst Development Partners



© 2016 WILLIAM HEZMALHALCH ARCHITECTS, INC.



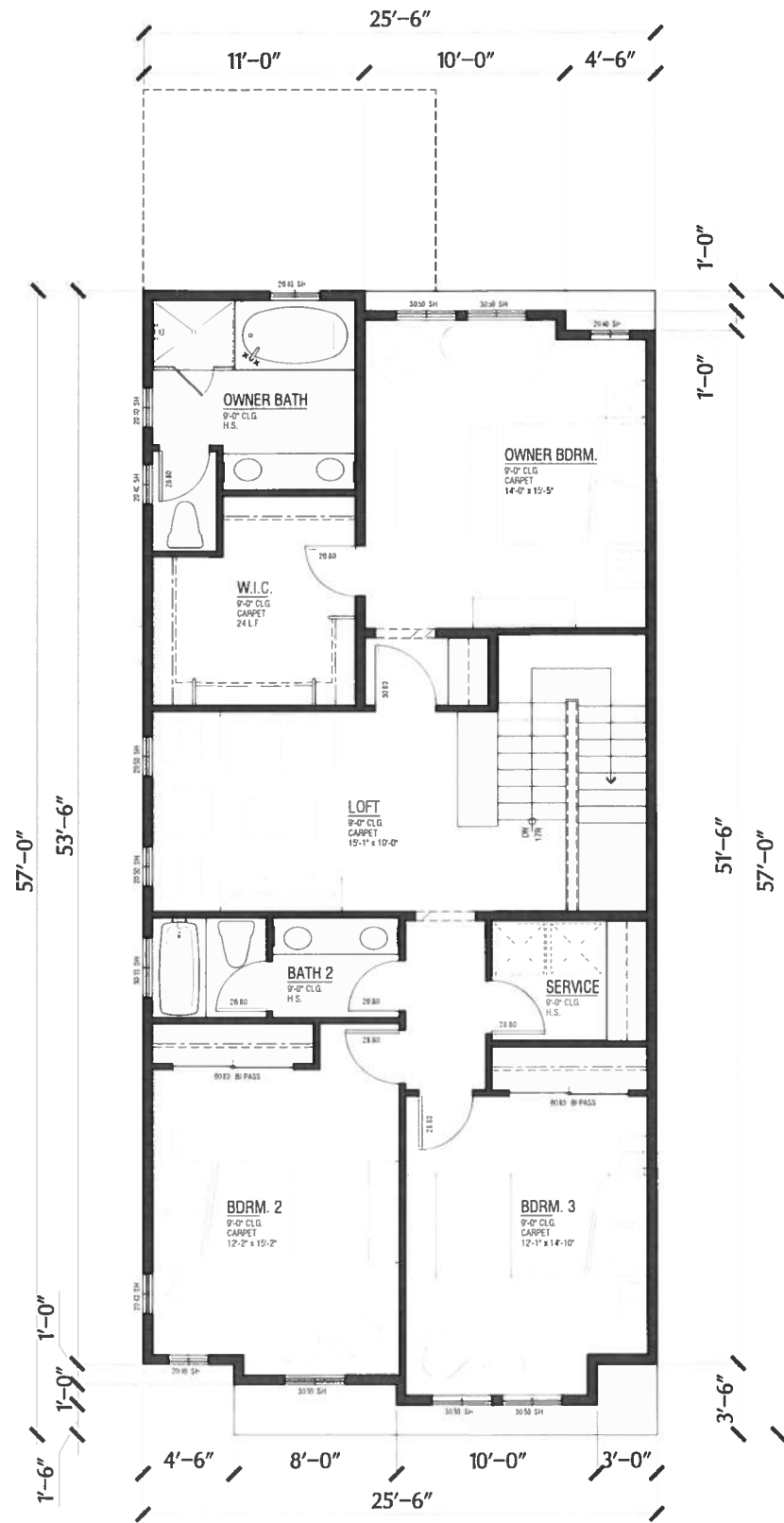
WILLIAM HEZMALHALCH
ARCHITECTS, INC.
5000 EXECUTIVE PARKWAY SUITE 310 SAN RAMON CA 94583-4210
925 463 1700 fax 949 250 1528
2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543
949 250 0507 www.whearchitects.com fax 949 250 1528

June 16, 2016

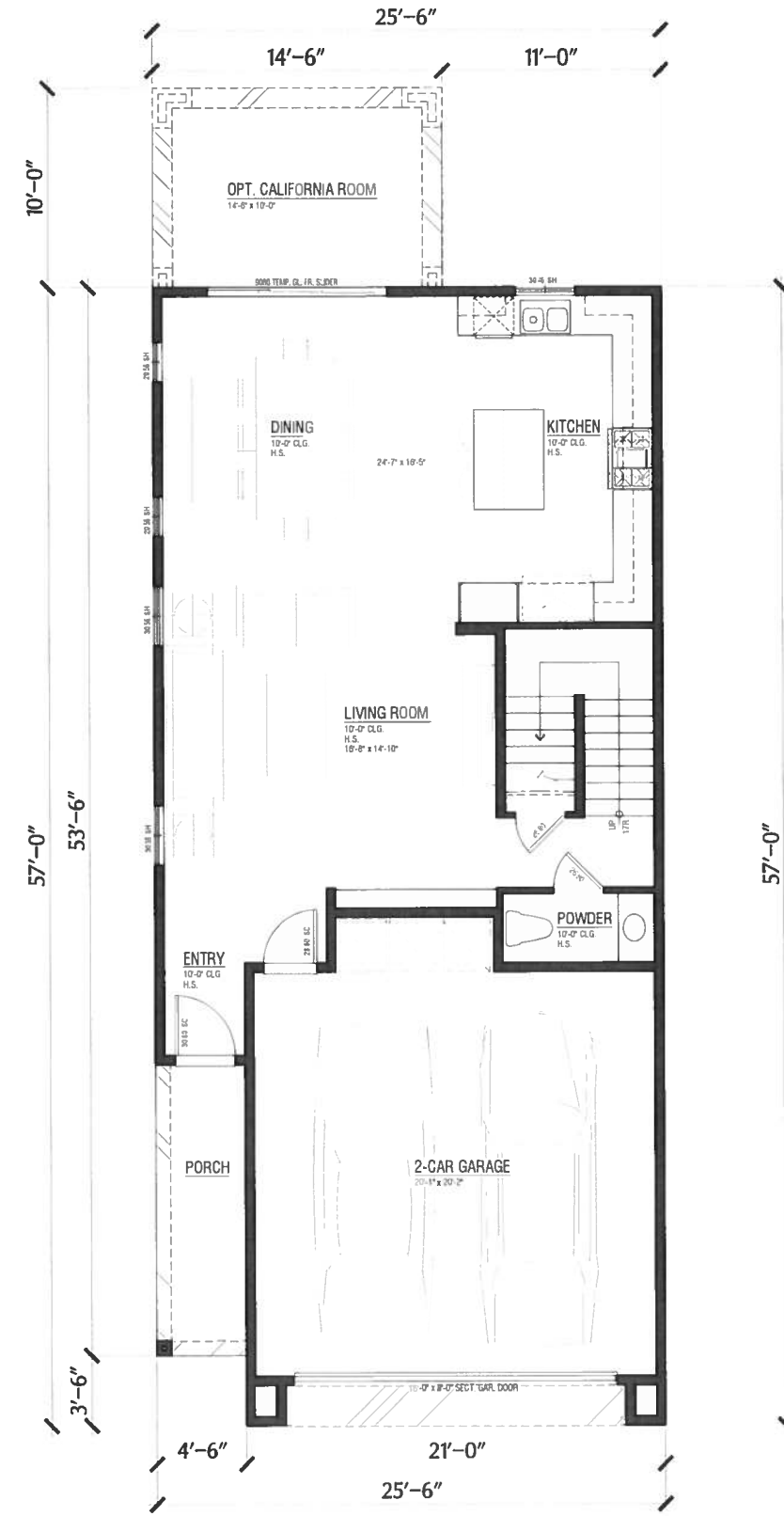
A1.4

2015301

2015301 - St. John Street - Pleasanton, CA



Upper Floor
1,280 SF



Lower Floor
878 SF

Floor Plan 2

2,158 SF

3 Bdrm / 2.5 Ba / 2-Car Garage

*Side window configuration for Bldg. 200A shown, see sheet A2.2 for Bldg. 200B

536 St. John Street

Pleasanton, California
Catalyst Development Partners



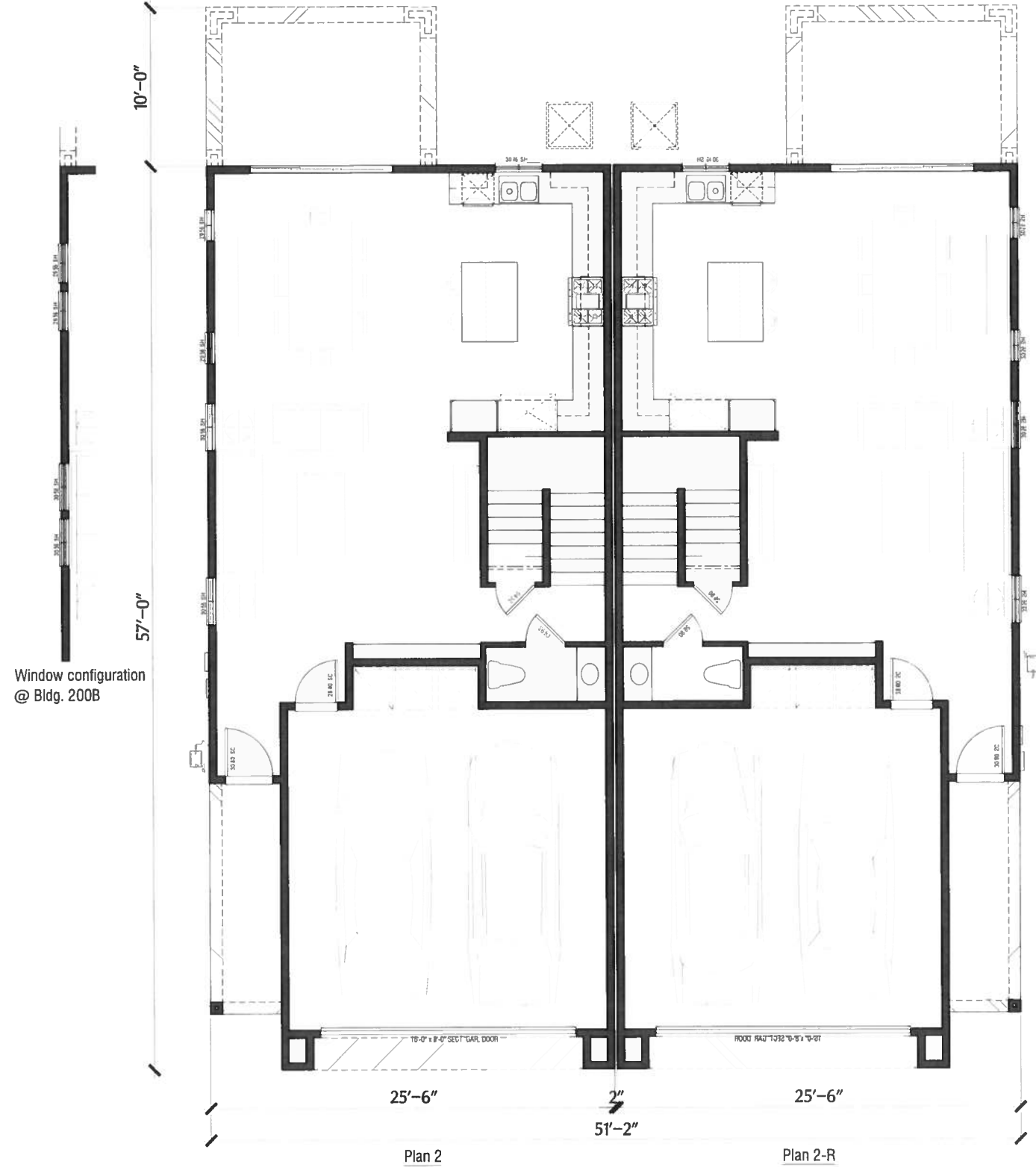
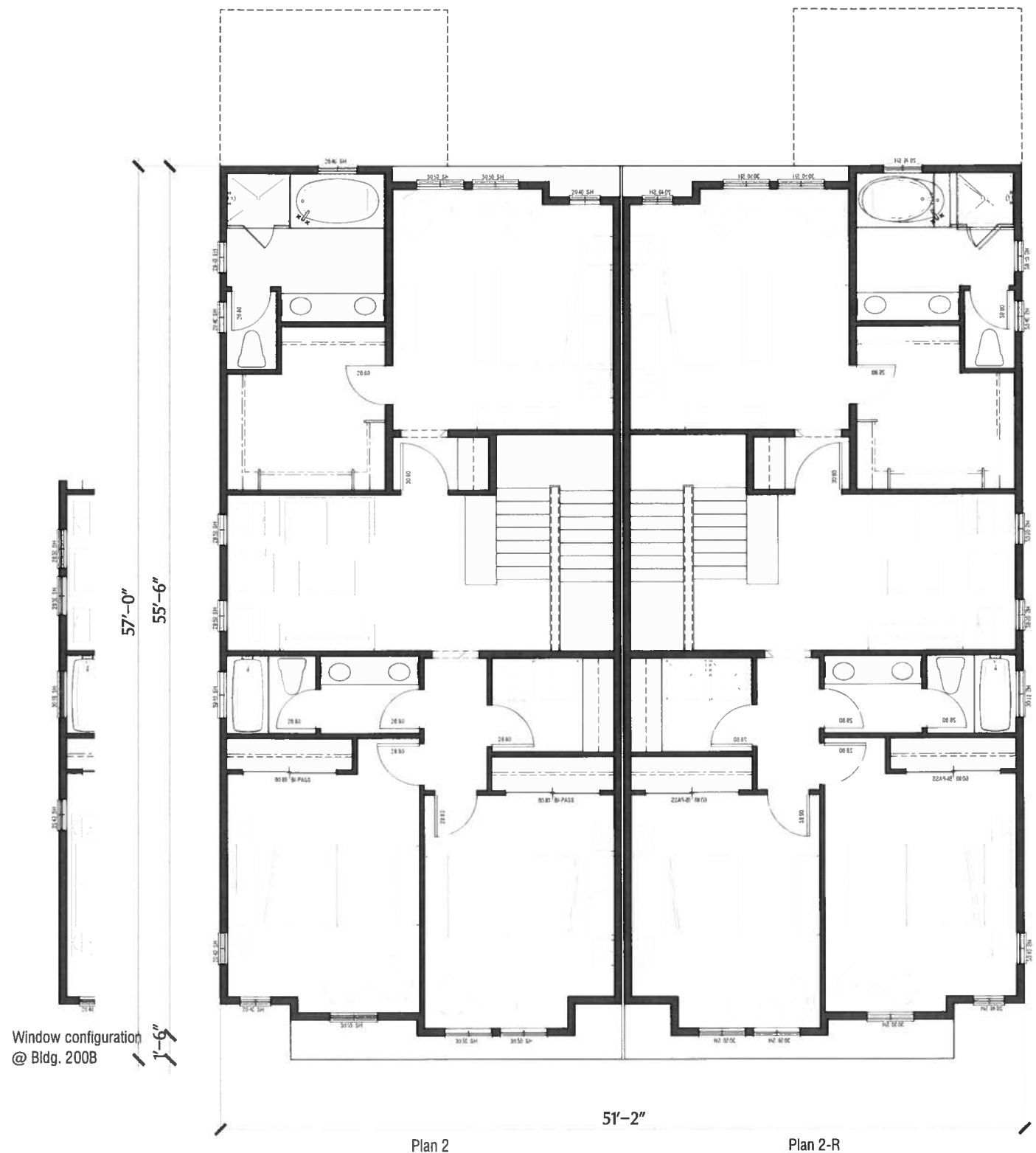
© 2016 WILLIAM HEZMALHALCH ARCHITECTS, INC.



WILLIAM HEZMALHALCH
ARCHITECTS INC.
500 EXECUTIVE PARKWAY SUITE 315 SAN RAMON CA 94583-4210
925 463 1700 fax 949 250 1529
2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5541
949 250 0607 www.wharchitects.com fax 949 250 1529

June 16, 2016
A2.1
2015301

2015301 - St. John Street - Pleasanton, CA



Upper Floor

Floor Plan - Building 200 @ Lots 1/2, 3/4, & 5/6

Lower Floor

536 St. John Street
 Pleasanton, California
 Catalyst Development Partners

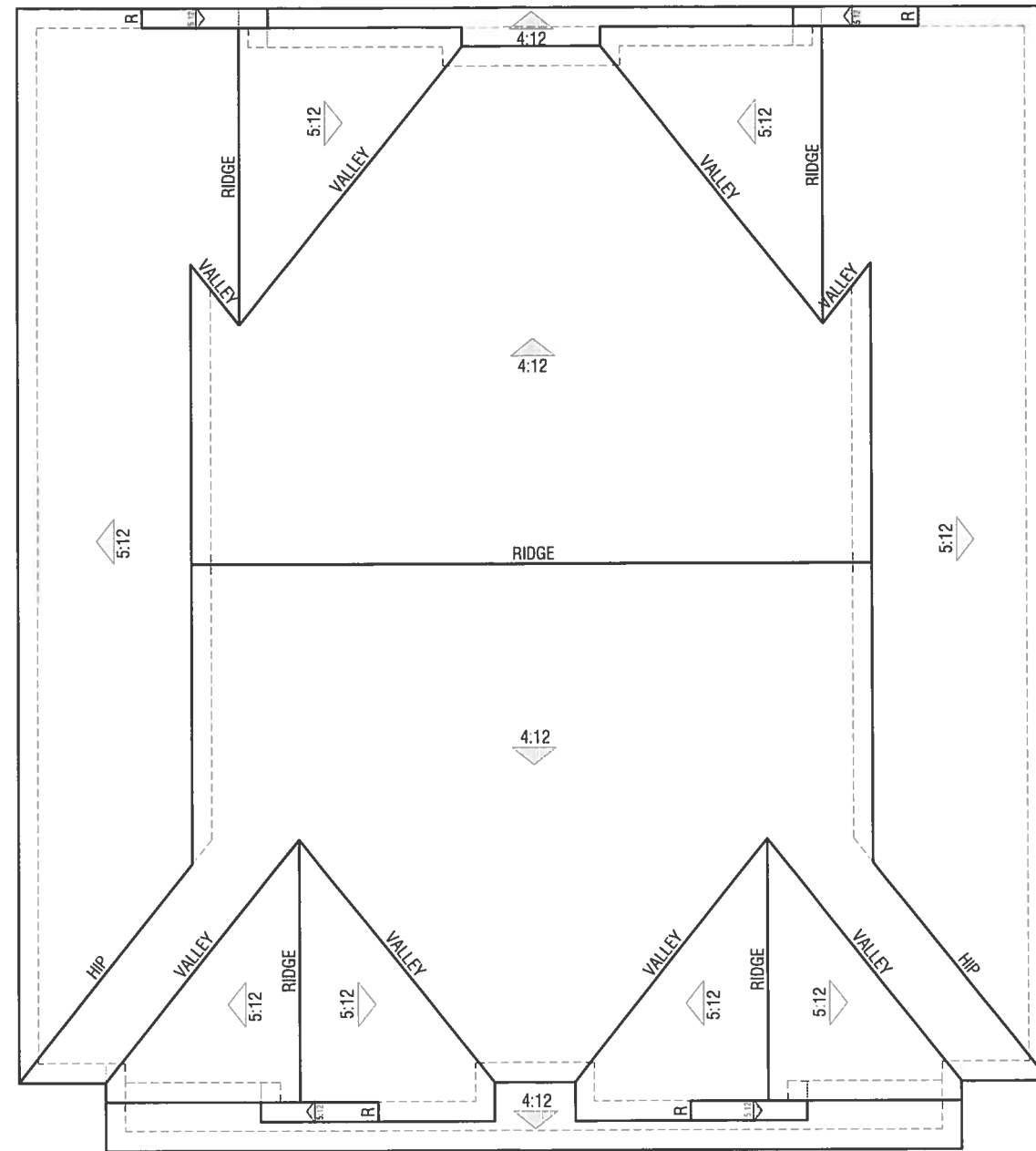


© 2016 WILLIAM HEZMALHALCH ARCHITECTS, INC.

W
 WILLIAM HEZMALHALCH
 ARCHITECTS INC.
 5800 EXECUTIVE PARKWAY SUITE 315 SAN RAMON CA 94583-4110
 925 463 1700 fax 949 250 1529
 2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543
 949 250 0607 www.wharchitects.com fax 949 250 1529

June 16, 2016
A2.2
2015301

2015301 - St. John Street - Pleasanton, CA



Roof Plan - Building 200A & B
@ Lots 1/2, 3/4, & 5/6

536 St. John Street
Pleasanton, California
Catalyst Development Partners



© 2016 WILLIAM HEZMALHALCH ARCHITECTS, INC.


 WILLIAM HEZMALHALCH
 ARCHITECTS INC.
 500 EXECUTIVE PARKWAY SUITE 315 SAN RAMON CA 94583-4210
 925 463 1700 fax 949 250 1529
 2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543
 949 250 0607 www.whearchitects.com fax 949 250 1529

June 16, 2016
A2.3
2015301

2015301 - St. John Street - Pleasanton, CA



West Elevation



South Elevation

- EXTERIOR MATERIALS**
- Composition shingle roofing
 - Stucco
 - Fiber cement trim, shingle, and siding
 - Insulated vinyl windows
 - Manufactured stone veneer accent
 - Overhead garage door



East Elevation



North Elevation

Exterior Elevations

Building 200A @ Lots 3/4

536 St. John Street

Pleasanton, California

Catalyst Development Partners



© 2016 WILLIAM HEZMALHALCH ARCHITECTS, INC.



**WILLIAM HEZMALHALCH
ARCHITECTS, INC.**
3000 EXECUTIVE PARKWAY SUITE 375 SAN RAMON CA 94583-4218
925 483 1700 fax 949 250 1528
2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5643
949 250 0507 www.wharchitects.com fax 949 250 1529

June 16, 2016

A2.4

2015301

2015301 - St. John Street - Pleasanton, CA



West Elevation



South Elevation

- EXTERIOR MATERIALS**
- Composition shingle roofing
 - Stucco
 - Fiber cement trim, shingle, board & batten, and siding
 - Insulated vinyl windows
 - Overhead garage door



East Elevation



North Elevation

Exterior Elevations
 Building 200B @ Lots 1/2 & 5/6
536 St. John Street
 Pleasanton, California
 Catalyst Development Partners

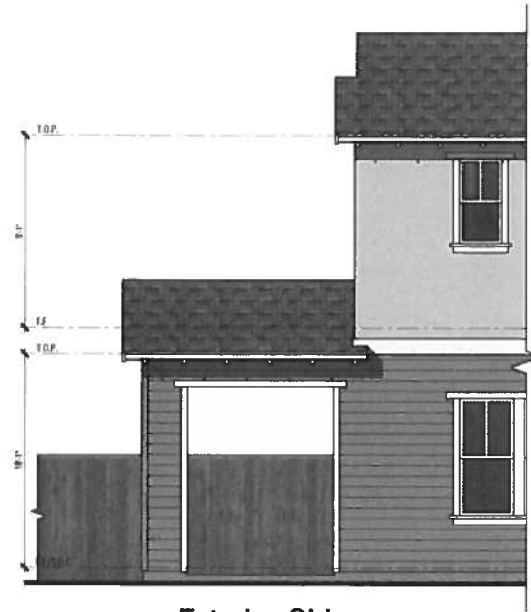


© 2016 WILLIAM HEZMALHALCH ARCHITECTS, INC.

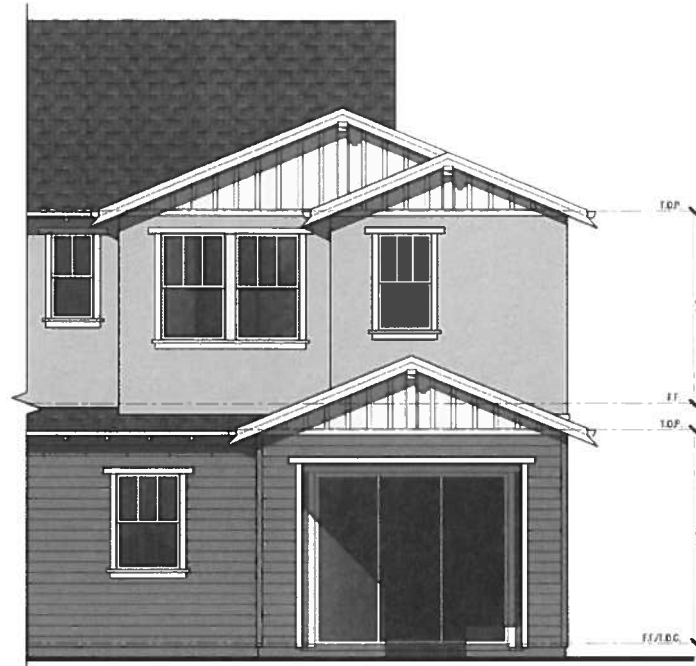
WH
 WILLIAM HEZMALHALCH
 ARCHITECTS INC.
 5000 EXECUTIVE PARKWAY SUITE 375 SAN RAMON CA 94583-4210
 925 463 1700 fax 949 250 1529
 2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543
 949 250 0607 www.wharchitects.com fax 949 250 1529

June 16, 2016
A2.5
 2015301

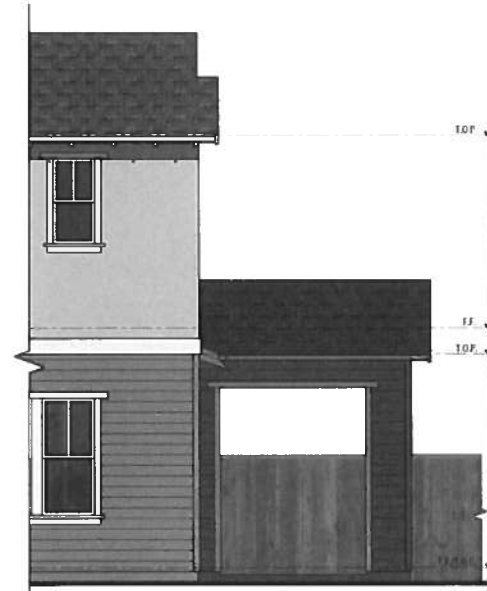
2015301 - St. John Street - Pleasanton, CA



Exterior Side

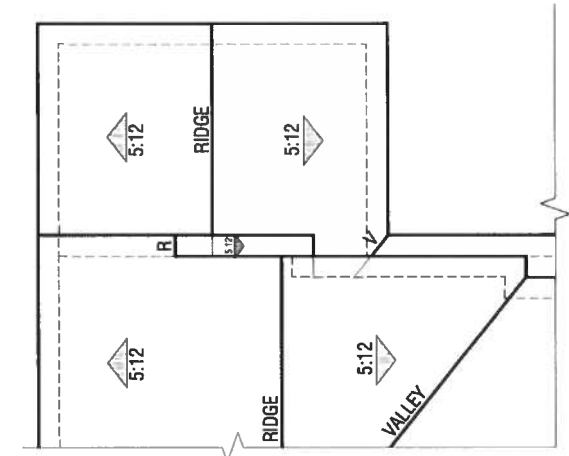


South

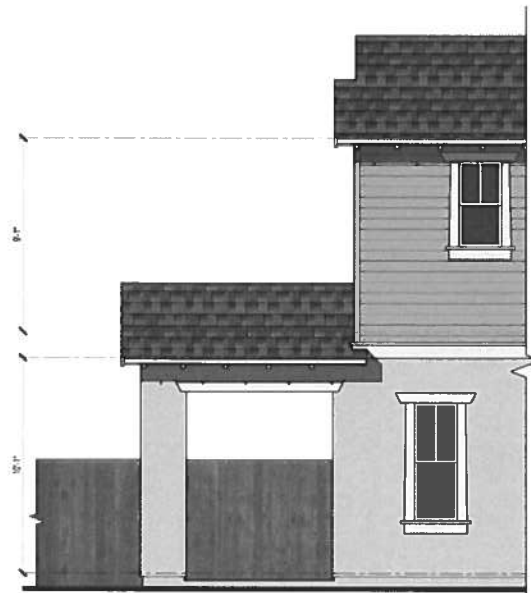


Interior Side

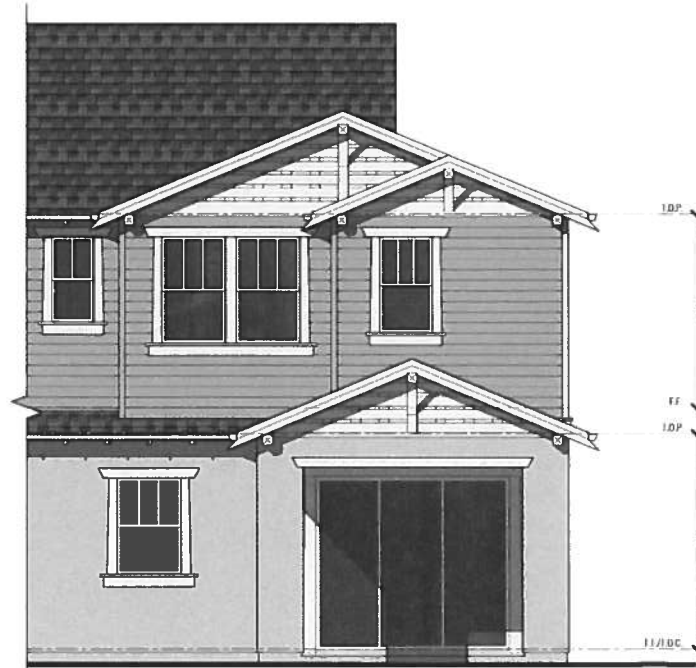
Building 200B @ Lots 1/2 & 5/6



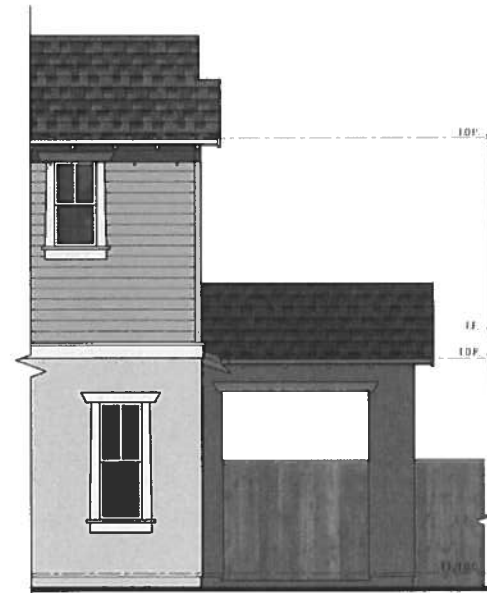
Roof Plan



Exterior Side

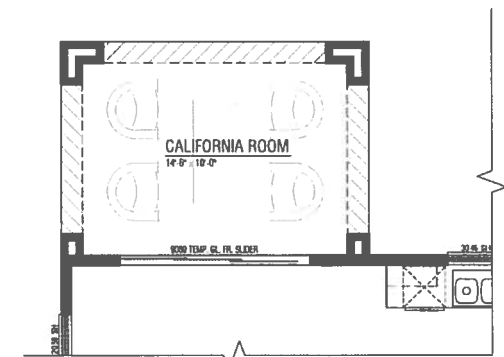


South



Interior Side

Building 200A @ Lots 3/4



Floor Plan

California Room Option



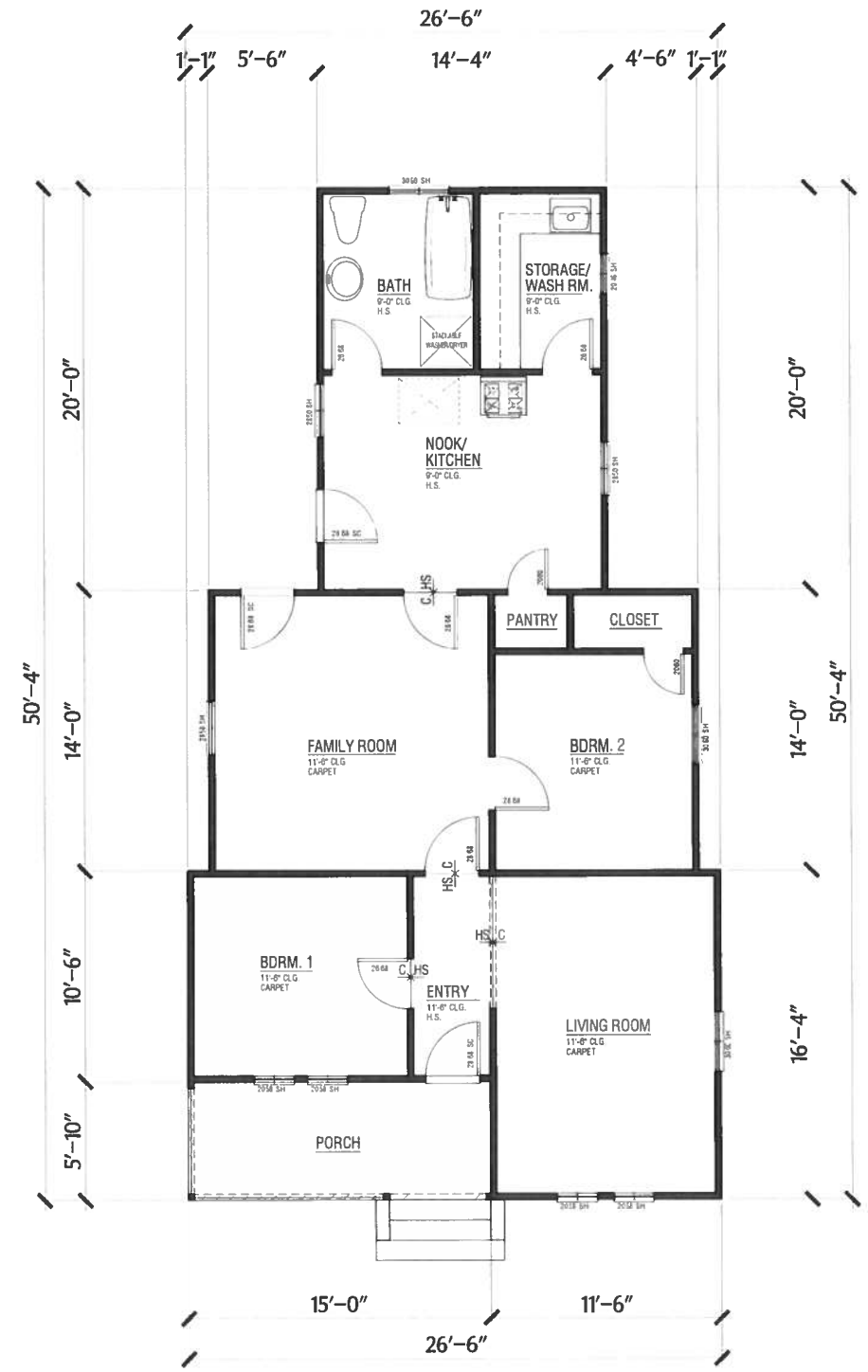
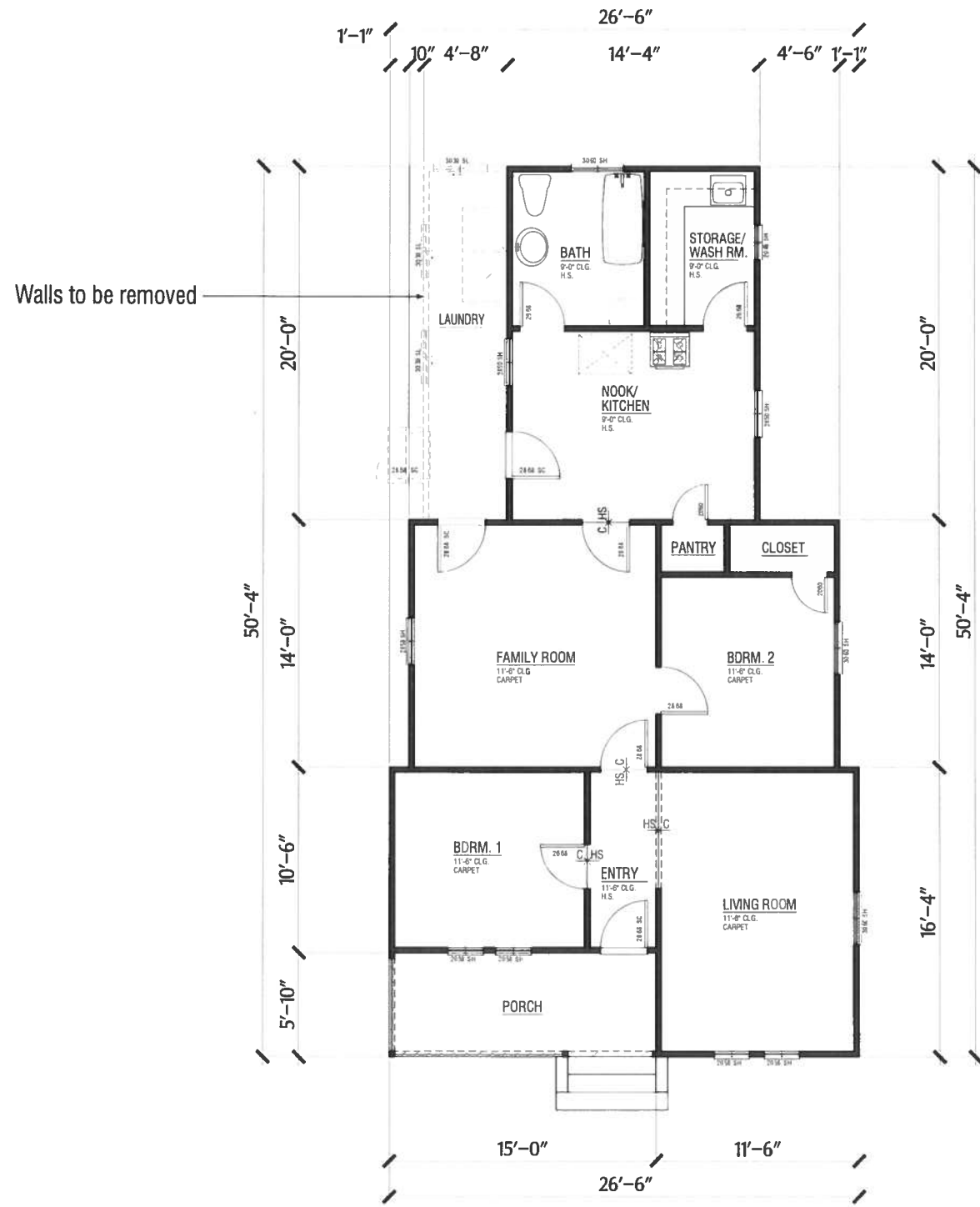
© 2016 WILLIAM HEZMALHALCH ARCHITECTS, INC.

536 St. John Street
Pleasanton, California
Catalyst Development Partners

W
WILLIAM HEZMALHALCH
ARCHITECTS INC.
500 EXECUTIVE PARKWAY SUITE 375 SAN RAMON CA 94583-4210
925 483 1700 fax 949 250 1529
2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543
949 250 0607 www.whearchitects.com fax 949 250 1529

June 16, 2016
A2.6
2015301

2015301 - St. John Street - Pleasanton, CA



Existing House - Lot 11
Floor Plans

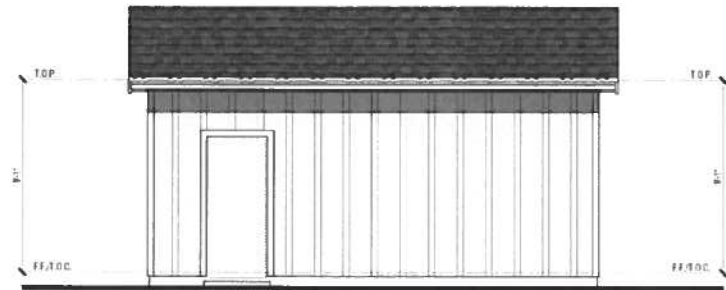
536 St. John Street
Pleasanton, California
Catalyst Development Partners



W
WILLIAM HEZMALHALCH
ARCHITECTS INC.
5000 EXECUTIVE PARKWAY SUITE 315 SAN RAMON CA 94583-4711
925 463 1700 fax 949 250 1529
2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543
949 250 0607 www.whoarchitects.com fax 949 250 1529

June 16, 2016
A3.1
2015301

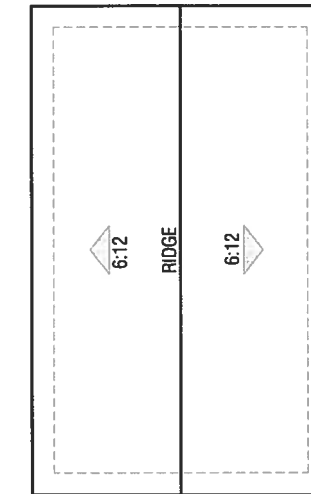
2015301 - St. John Street - Pleasanton, CA



West Elevation



South Elevation



Roof Plan



East Elevation

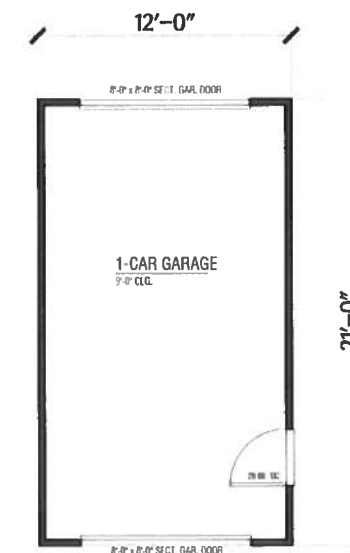


North Elevation

Color scheme to match existing/relocated house

EXTERIOR MATERIALS

- Composition shingle roofing
- Fiber cement trim and board and batten
- Sectional overhead garage door



Floor Plan
252 SF

New Garage @ Lot 11

536 St. John Street
Pleasanton, California
Catalyst Development Partners



© 2016 WILLIAM HEZMALHALCH ARCHITECTS, INC.



WILLIAM HEZMALHALCH ARCHITECTS INC.
500 EXECUTIVE PARKWAY SUITE 375 SAN RAMON, CA 94583-2110
925 463 1700 fax 949 250 1529
2850 REDHILL AVENUE SUITE 200 SANTA ANA, CA 92705-5543
949 250 0607 www.wharchitects.com fax 949 250 1529

June 16, 2016
A3.2
2015301

2015301 - St. John Street - Pleasanton, CA



Proposed View 1

Perspective Renderings

536 St. John Street

Pleasanton, California

Catalyst Development Partners



**WILLIAM HEZMALHALCH
ARCHITECTS INC.**
500 EXECUTIVE PARKWAY SUITE 375 SAN FRANCISCO, CA 94108-4200
925 463 1700 fax 949 250 1528
2850 REDHILL AVENUE SUITE 200 SANTA ANA, CA 92705-5541
949 250 0607 www.wharchitects.com fax 949 250 1529

June 16, 2016

A4.1

2015301



Current View 1

Perspective Renderings

536 St. John Street

Pleasanton, California

Catalyst Development Partners


WILLIAM HEZMALHALCH
ARCHITECTS INC.
5000 EXECUTIVE PARKWAY SUITE 375 SAN RAMON CA 94583-4210
925 463 1700 fax 949 250 1529
2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5540
949 250 0607 www.wharchitects.com fax 949 250 1529

June 16, 2016

A4.2

2015301



Proposed View 2

Perspective Renderings

536 St. John Street

Pleasanton, California

Catalyst Development Partners



**WILLIAM HEZMALHALCH
ARCHITECTS INC.**
5000 EXECUTIVE PARKWAY SUITE 375 SAN RAMON CA 94583-4210
925 453 1700 fax 949 250 1529
2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543
949 250 0607 www.wharchitects.com fax 949 250 1529

June 16, 2016

A4.3

2015301



Current View 2

Perspective Renderings

536 St. John Street
Pleasanton, California
Catalyst Development Partners


**WILLIAM HEZMALHALCH
ARCHITECTS INC.**
5000 EXECUTIVE PARKWAY SUITE 315 SAN RAMON CA 94583-4200
925 463 1700 fax 949 250 1529
2650 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5540
949 250 0607 www.wharchitects.com fax 949 250 1529

June 16, 2016
A4.4
2015301