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CITY OF PLEASANTON  
PLANNING DIVISION

# 3 & 19 WYOMING STREET

JANUARY 30, 2017



**Owner**

**Tim Cotton**  
KT Builders  
2608 Camelback Road  
Brentwood, CA 94513  
O: (925) 382-1219

**Architecture**

**Lance Crannell AIA**  
SDG Architects, Inc.  
3361 Walnut Blvd. Suite 120  
Brentwood, CA 94513  
O: (925) 634-7000

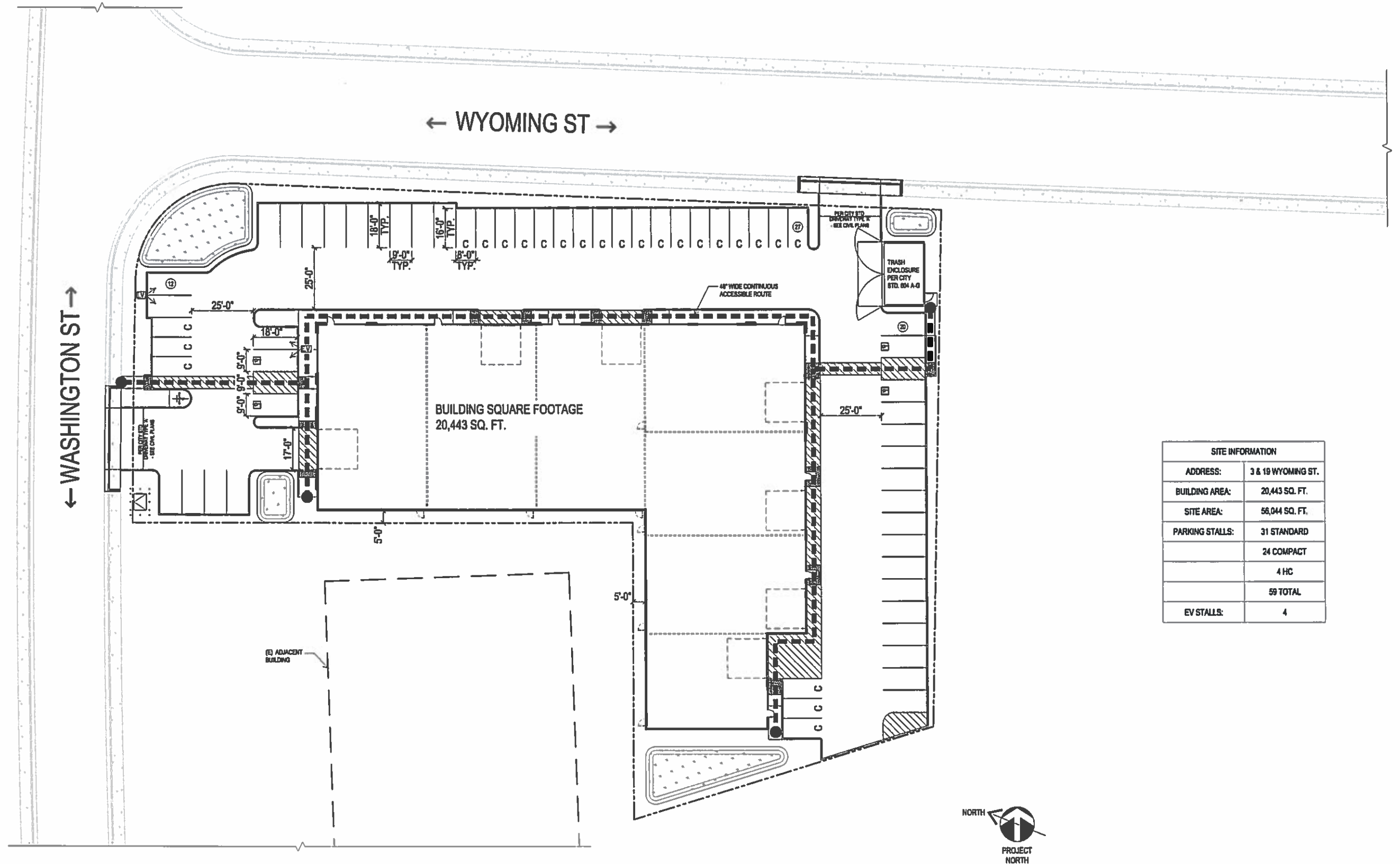
**Civil**

**Lew Carpenter, P.E**  
Carlson, Barbee & Gibson, Inc.  
2633 Camino Ramon, Suite 350  
San Ramon, CA 94583  
O: (925) 866-0322

**Landscape**

**Kirsten Baldwin**  
Borrecco/Kilian Associates  
1241 Pine Street  
Martinez, CA. 94553  
O: 925-372-5306





SITE INFORMATION	
ADDRESS:	3 & 19 WYOMING ST.
BUILDING AREA:	20,443 SQ. FT.
SITE AREA:	58,044 SQ. FT.
PARKING STALLS:	31 STANDARD
	24 COMPACT
	4 HC
	59 TOTAL
EV STALLS:	4

# Wyoming Street Commercial

Pleasanton California  
January 30, 2017

## ARCHITECTURAL SITE PLAN SCALE: 1" = 20'-0"

## ARCHITECTURAL SITE PLAN

AS1

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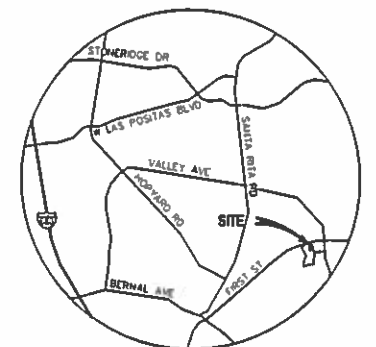
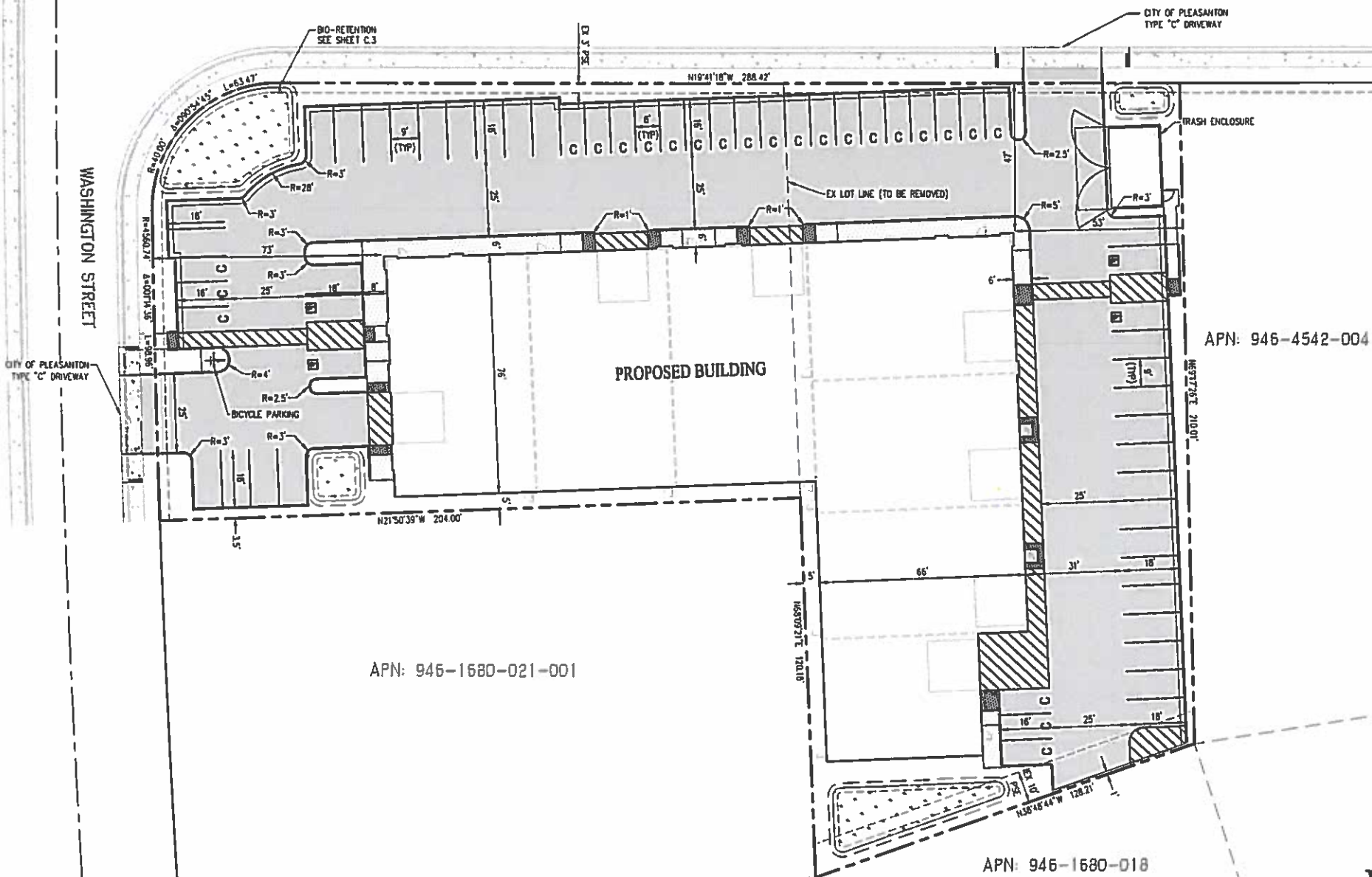
SDG Architects, Inc.



APN: 946-4542-042-002

APN: 946-4542-022-001

WYOMING STREET



VICINITY MAP  
NOT TO SCALE

**SITE DATA**

ASSESSOR'S PARCEL NUMBERS	946-4542-002 946-4542-003
EXISTING ZONING	PLD-C (COMMERCIAL)
GROSS SITE AREA	56,060 SF
BUILDING AREA	20,480 SF
FLOOR AREA RATIO (FAR)	37%

**PARKING SUMMARY**

STANDARD STALLS	31
COMPACT STALLS	24
ADA VAN STALLS	4
TOTAL STALLS	59
COMPACT RATIO	41%

**LEGEND**

- ASPHALT PAVING
- CONCRETE PAVING
- BIO-RETENTION
- C** DESIGNATES COMPACT PARKING STALL
- TRUNCATED DOMES

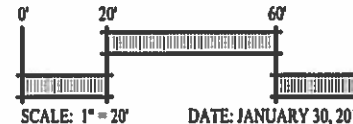
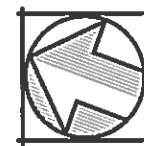
APN: 946-1680-021-001

APN: 946-4542-004

APN: 946-1680-018

DESIGN REVIEW PACKAGE  
PRELIMINARY SITE PLAN  
**WYOMING STREET COMMERCIAL**

CITY OF PLEASANTON ALAMEDA COUNTY CALIFORNIA



DATE: JANUARY 30, 2017



Carlson, Barbee  
& Gibson, Inc.  
CIVIL ENGINEERS • SURVEYORS • PLANNERS

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SAN RAMON, CALIFORNIA 94583

(925) 688-0222  
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SHEET NO.  
**C.1**  
OF 3 SHEETS

APN: 946-4542-042-002

APN: 946-4542-022-001

WYOMING STREET

WASHINGTON STREET

PROPOSED BUILDING  
FF 353.9  
PAD 352.9

APN: 946-1680-021-001

APN: 946-1680-018

APN: 946-4542-004

APN: 946-1680-022

### ABBREVIATIONS

BFP	BACK FLOW PREVENTION
CB	CATCH BASIN
DCDA	DOUBLE CHECK DETECTOR VALVE
DI	DROP INLET
DW	DRINKING WATER
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FL	FLOW LINE
FW	FIRE WATER
GB	GRADE BREAK
HW	HYDRANT
LAT	LATERAL
P	PAD
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
WM	WATER METER

### LEGEND

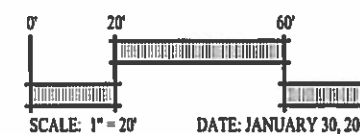
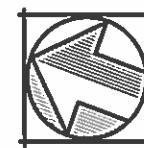
EXISTING	PROPOSED	DESCRIPTION
---	---	PROJECT BOUNDARY
---	---	CURB, UTTER, & SIDEWALK
•	•	SPOT ELEVATIONS
•	•	SANITARY SEWER MANHOLE
---	---	STORM DRAIN
---	---	SANITARY SEWER
---	---	WATER
•	•	STORM DRAIN MANHOLE
•	•	CATCH BASIN
•	•	DROP INLET
•	•	FIRE HYDRANT
•	•	WATER METER
•	•	SANITARY SEWER CLEANOUT
•	•	BACK FLOW PREVENTOR
---	---	SLOPE AND DIRECTION
---	---	EARTH SWALE
---	---	CURB OPENING

# DESIGN REVIEW PACKAGE

## PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN

### WYOMING STREET COMMERCIAL

CITY OF PLEASANTON ALAMEDA COUNTY CALIFORNIA



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SHEET NO.  
**C.2**  
OF 3 SHEETS

1/30/17 4:04:00 PM

APN: 946-4542-042-002

APN: 946-4542-022-001

WYOMING STREET





WASHINGTON STREET

APN: 946-4542-004

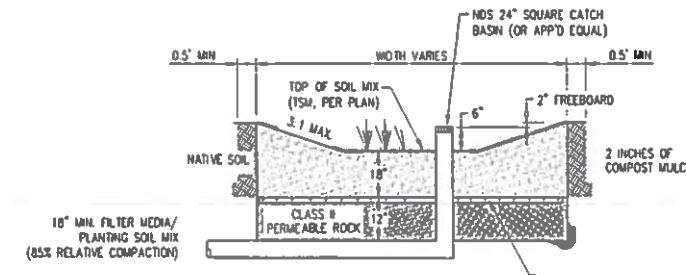
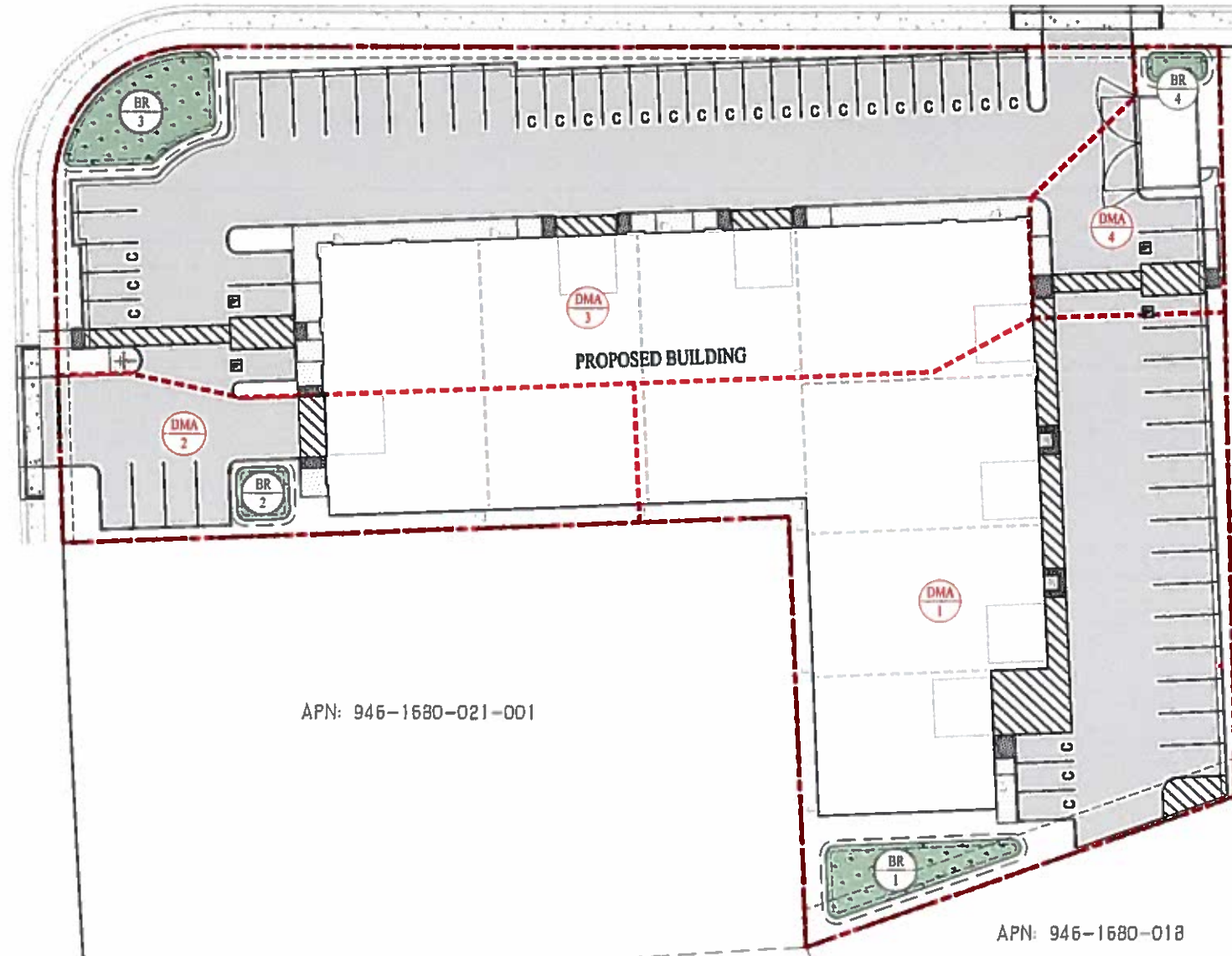
APN: 946-1680-021-001

APN: 946-1680-018

**LEGEND**

-  DRAINAGE MANAGEMENT AREA
-  DMA BOUNDARY
-  BIORETENTION AREA
-  BIORETENTION (IMP AREA)

DRAINAGE MANAGEMENT AREA (DMA)	IMPERVIOUS AREA			TOTAL PERVIOUS (SF)	TOTAL DRAINAGE AREA (SF)	REQUIRED TREATMENT AREA (SF)	PROVIDED TREATMENT AREA (SF)	TREATMENT TYPE
	PAVEMENT (SF)	ROOF (SF)	TOTAL (SF)					
DMA #1	7,709	9,304	17,013	2,946	19,959	692	693	BIORETENTION
DMA #2	2,385	2,956	5,341	1,257	6,600	219	219	BIORETENTION
DMA #3	15,123	8,248	23,371	2,885	26,256	946	960	BIORETENTION
DMA #4	2,683	0	2,673	548	3,221	109	135	BIORETENTION



**SLOPED BIORETENTION BASIN DETAIL**  
NOT TO SCALE

**DESIGN REVIEW PACKAGE  
PRELIMINARY STORM WATER CONTROL PLAN  
WYOMING STREET COMMERCIAL**

CITY OF PLEASANTON ALAMEDA COUNTY CALIFORNIA



DATE: JANUARY 30, 2017



Carlson, Barbee & Gibson, Inc.  
CIVIL ENGINEERS - SURVEYORS - PLANNERS

2023 CARBON RAMON, SUITE 300  
540 RAMON, CALIFORNIA 94583

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SHEET NO.  
**C.3**  
OF 3 SHEETS





SOUTH ELEVATION



EAST ELEVATION



# Wyoming Street Commercial

Pleasanton California  
November 3, 2018

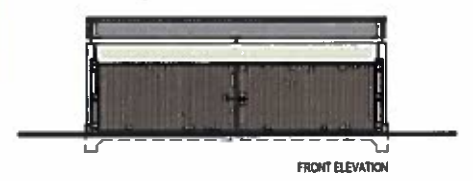
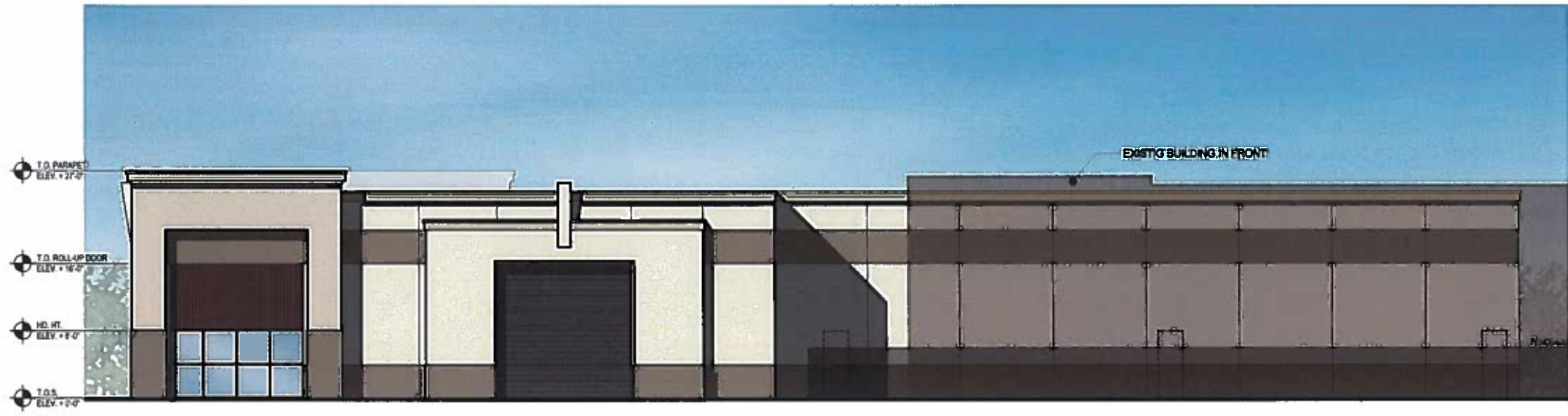
EAST & SOUTH ELEVATIONS

001

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FRONT ELEVATION

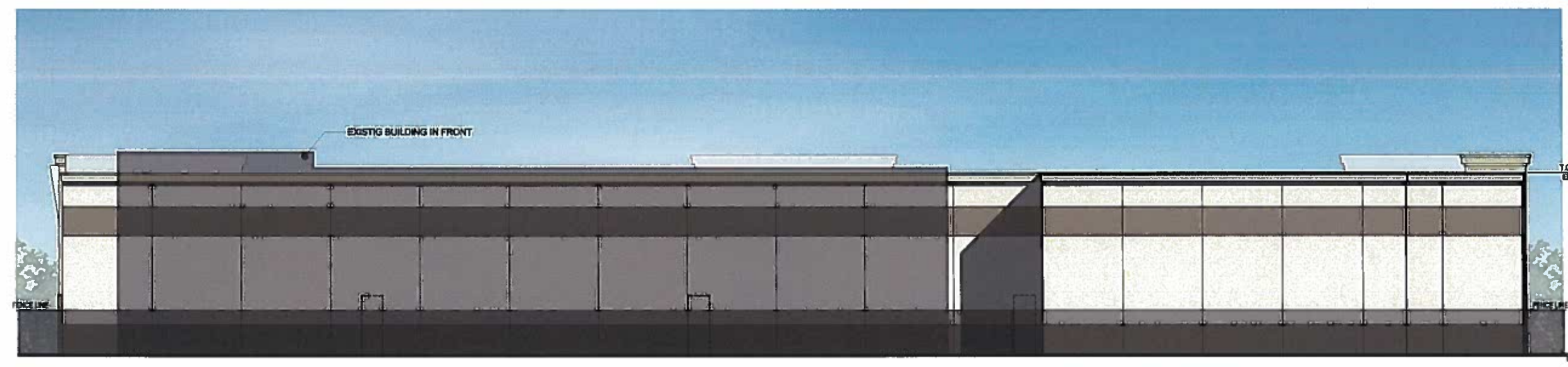


SIDE ELEVATION

NORTH ELEVATION



TRASH ENCLOSURE



WEST ELEVATION



# Wyoming Street Commercial

Pleasanton California  
January 30, 2017

WEST & NORTH ELEVATIONS

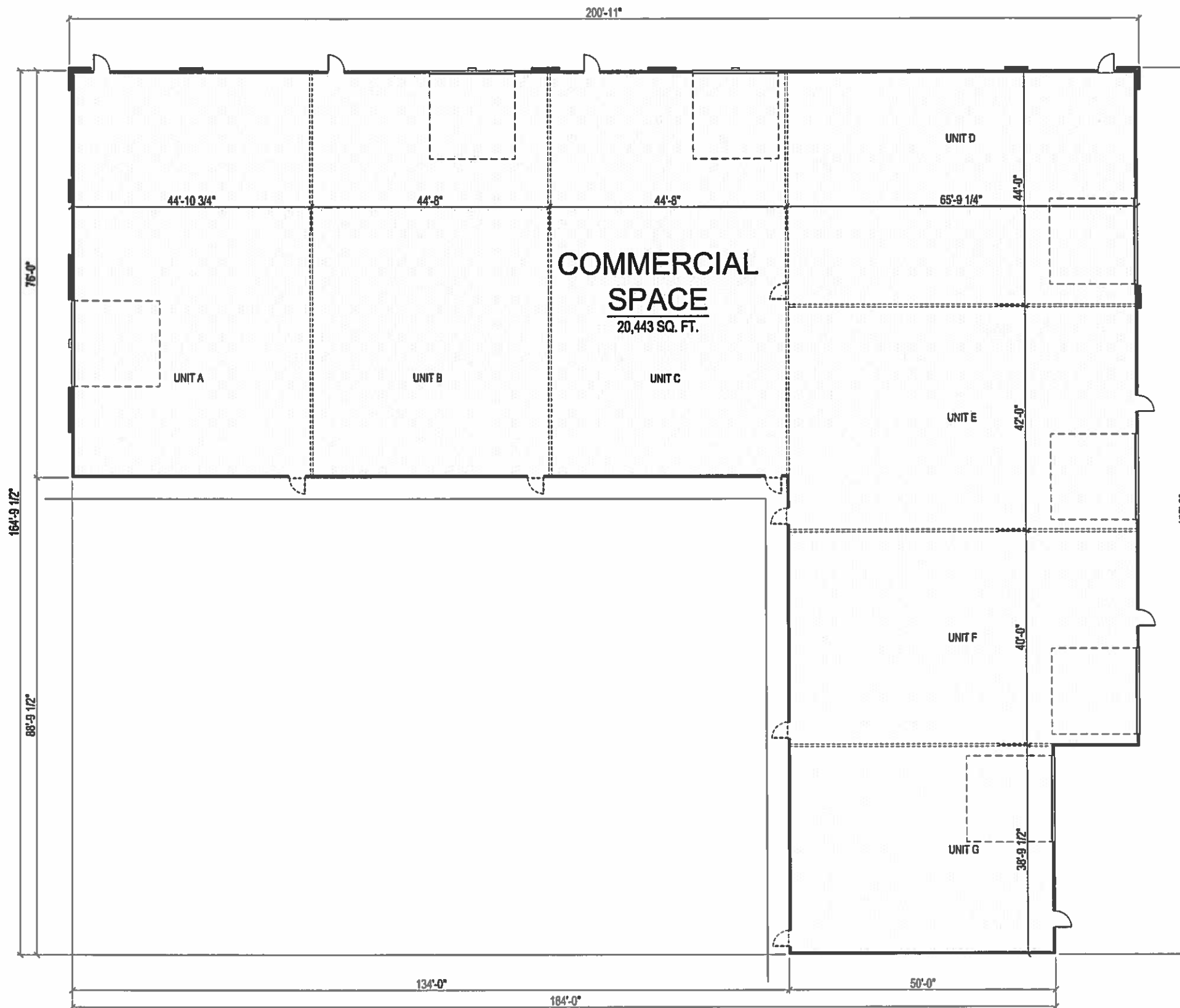
002

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UNIT	AREA
A	3,412 SQ. FT.
B	3,395 SQ. FT.
C	3,395 SQ. FT.
D	2,893 SQ. FT.
E	2,765 SQ. FT.
F	2,640 SQ. FT.
G	1,940 SQ. FT.
<b>TOTAL</b>	<b>20,443 SQ. FT.</b>

COMMERCIAL SPACE: 20,443 SQ. FT.

# Wyoming Street Commercial

Pleasanton California  
January 30, 2017

FLOOR PLAN



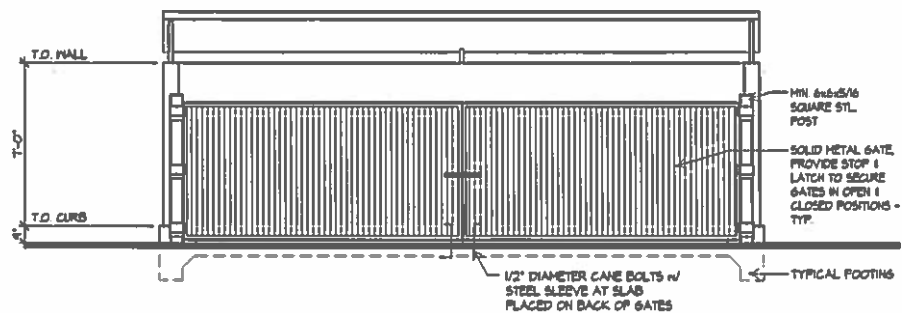
FLOOR PLAN

003

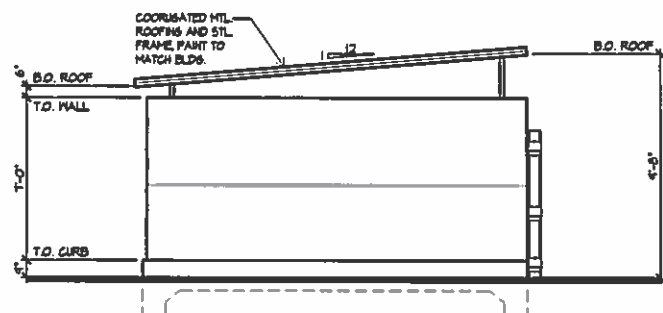
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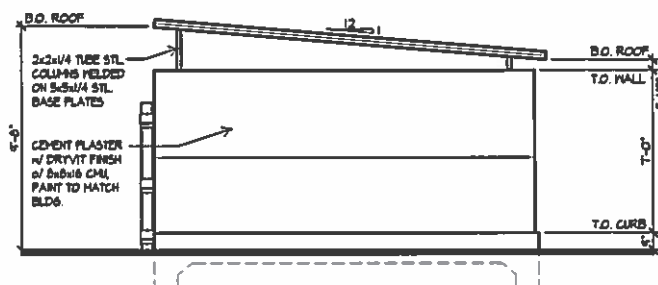
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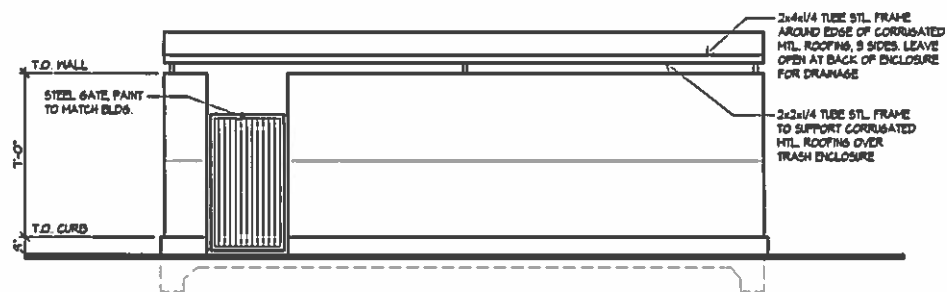
**FRONT ELEVATION**



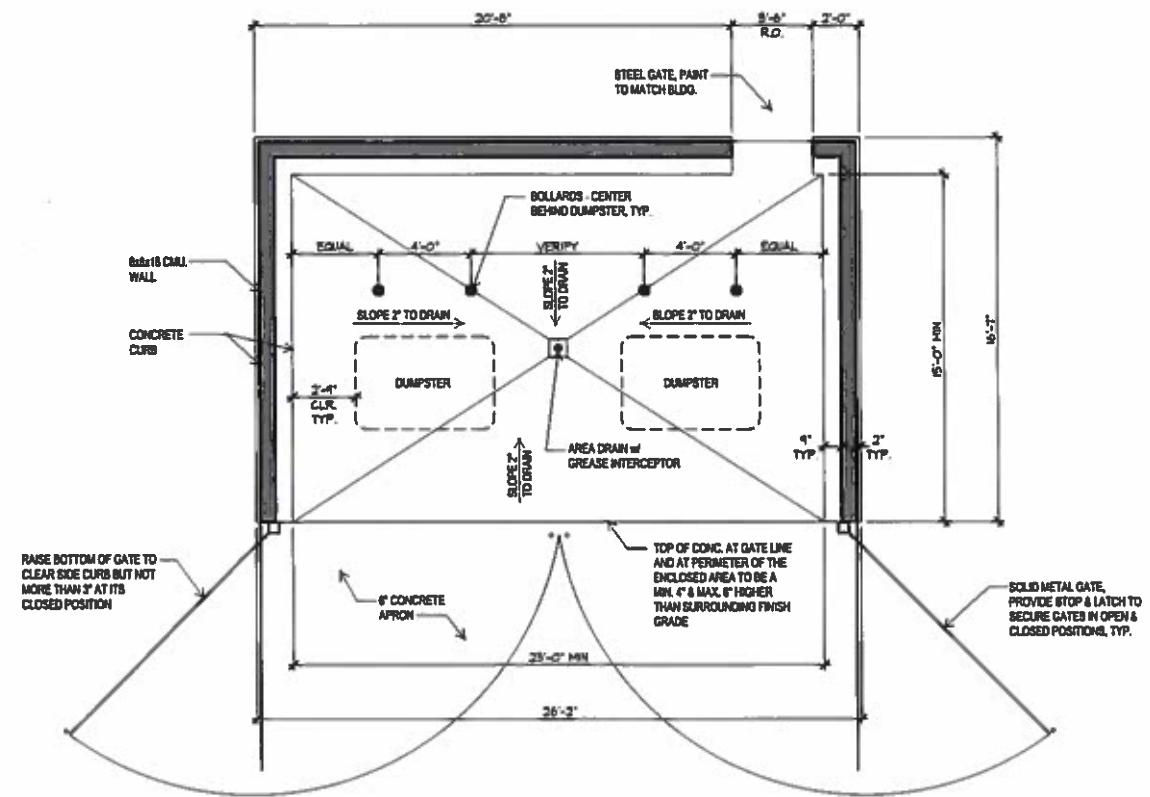
**LEFT ELEVATION**



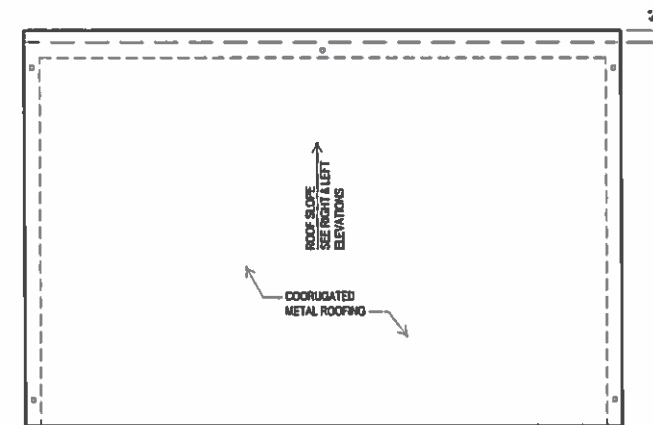
**RIGHT ELEVATION**



**REAR ELEVATION**



**FLOOR PLAN**



**ROOF PLAN**





VIEW FROM WYOMING STREET



VIEW FROM WYOMING STREET

EAST ELEVATION



# Wyoming Street Commercial

Pleasanton California  
November 3, 2016

EAST & SOUTH ELEVATIONS

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