

Planning Commission Staff Report

February 22, 2017
Item 5.c.

SUBJECT: P16-1827

**APPLICANT/
OWNER:** KT Builders, Tim Cotton

PURPOSE: Application for Design Review approval to construct an approximately 20,443-square-foot one-story commercial building and related site improvements on two vacant lots.

LOCATIONS: 3 and 19 Wyoming Street

GENERAL PLAN: Retail, Highway, and Service Commercial; Business and Professional Offices

ZONING: PUD-C (Planned Unit Development – Commercial)

EXHIBITS:

- A. [Draft Conditions of Approval](#)
- B. [Project Plans dated "Received January 30, 2017"](#)
- C. [List of Uses in Stanley Business Park](#)
- D. [Location and Notification Map](#)

STAFF RECOMMENDATION

Staff recommends the Planning Commission adopt a resolution approving the Design Review application to construct an approximately 20,433-square-foot, one-story commercial building and related site improvements on two vacant lots located at 3 and 19 Wyoming Street, subject to the conditions of approval listed in Exhibit A.

EXECUTIVE SUMMARY

Tim Cotton, with KT Builders, is requesting Design Review approval to construct an approximately 20,433-square-foot, one-story commercial building. The application is before the Planning Commission for consideration.

BACKGROUND/HISTORY

In July of 2003, the Planning Commission approved a Design Review application (PDR-275) to allow the construction of an approximately 10,000-square-foot building for Miracle Auto (a business specializing in auto painting) at 3 Wyoming Street (a vacant lot at the southwest corner of Washington Street and Wyoming Street). Design review approvals lapse one year from the effective date of approval unless a building permit is obtained and construction is diligently pursued, or the City has approved a time extension. Up to two, one-year extensions can be administratively approved by the Zoning Administrator. The applicant, Miracle Auto, applied for and received approval for an extension of the Design Review approval in 2004 and again in

2005, meaning that the Design Review would expire in July 2006. Prior to expiration of the Design Review, Miracle Auto applied for and received a grading permit. The applicant/developer graded the site; however, building permits were not pursued and construction activity did not occur for over 1 year. Therefore, the Design Review approval became null and void in July of 2007.

Miracle Auto reapplied for and received Design Review approval from the Planning Commission in November 2007 for the same 10,000-square-foot building (Design Review Case No. PDR-692). However, a building permit was not pursued and Design Review extensions were not requested. Therefore, that Design Review approval expired in November of 2008.

The current Design Review application (P16-1827) is the first development application for 19 Wyoming Street and the first Design Review application for 3 Wyoming Street since 2008. Design Review applications of this nature are subject to review and approval by the Planning Commission.

Lot Line Adjustment

On February 3, 2017, the applicant received Zoning Administrator approval for a Lot Line Adjustment to merge 3 Wyoming Street, an approximately 0.63-acre parcel, with 19 Wyoming Street, an approximately 0.66-acre parcel, to create one, approximately 1.29-acre parcel. Although the Lot Line Adjustment has yet to be recorded, staff will refer to the two parcels as one site/parcel/lot through the remainder of this report.

SITE AND AREA DESCRIPTION

The subject site is an approximately 1.29-acre vacant parcel located in Stanley Business Park southwest of the intersection of Washington Street and Wyoming Street (please refer to the location map in Exhibit D and Figures 1 and 2). The relatively flat site does not contain trees or established landscaping. However, there is one volunteer, non-heritage-sized tree located in the City right-of-way near the northwest corner of the lot.

Figure 1: Aerial Photo



Figure 2: Street View of the Subject Site from Wyoming Street



The property is bordered on the east, across Wyoming Street, by two vacant lots; on the south by Lincoln Air Conditioning, Mueller’s Tri-Valley ATA (martial arts), and Design Electric (35, 37, and 39 Wyoming Street); and on the west by a multi-tenant building that contains several automotive-services and Jamie’s Dance Studio (3680 & 3688 Washing Street) and a single-tenant building that is occupied by Miracle Auto (8 California Avenue). Other uses within Stanley Business Park include a gas station, restaurants, automotive-related business, and service-oriented businesses.

PROPOSED PROJECT

The applicant is proposing to construct an approximately 20,433-square-foot one-story commercial building. The building could be utilized by a single-tenant or up to seven tenants, as shown in Exhibit B. Vehicular access to the site would be provided from single driveways on both Wyoming Street and Washington Street. A total of 59 parking stalls are proposed including 31 standard-sized spaces, 24 compact-sized spaces, and 4 accessible stalls. Please refer to Figure 4 for the proposed site plan layout and Figure 5 for a plan overlay image of the site. Electric vehicle charging stations would be located in three standard-size parking stalls and one accessible parking stall. In addition to the installation of low-water use landscaping, a total of eight trees along the Washington Street and Wyoming Street frontages and eight accent trees along the southern and northwest property lines are proposed.

Figure 4: Proposed Site Plan Layout

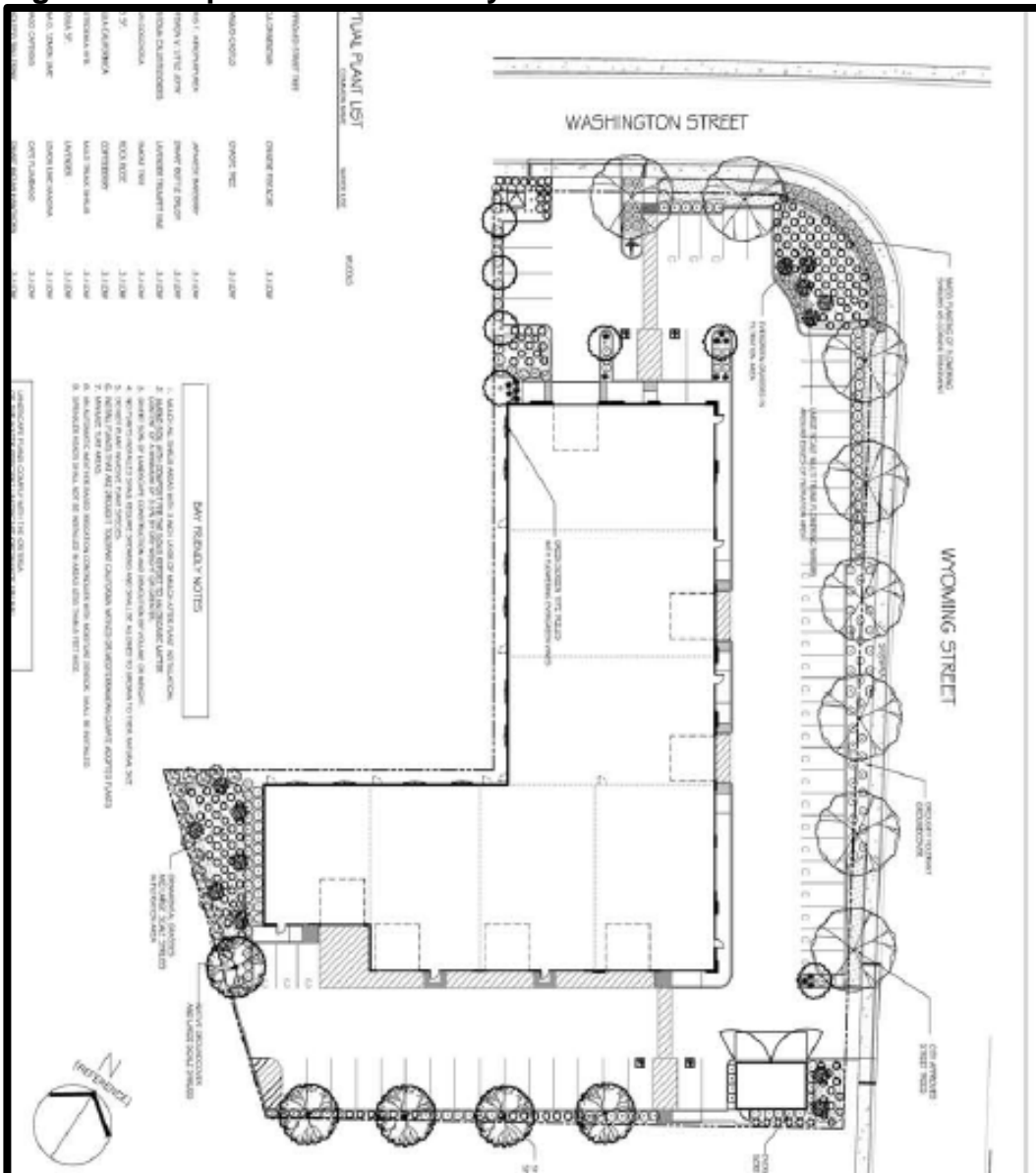


Figure 5: Proposed Site Plan



The building would have concrete tilt-up walls with earthtone colors intended to provide visual relief. The proposed colors are shown on the elevation drawings and on the last sheet of Exhibit B. The building roof would vary in height to help break up the form of the building; the maximum height would be 27 feet, measured from finished grade to the top of the parapet. Rollup doors are proposed on the south, east, and north elevations of the building. A covered trash enclosure, matching the architectural style and colors of the building, would be located near the southeast corner of the site and would be surrounded on the west, south, and east sides by evergreen shrubs.

ANALYSIS

General Plan

The subject property has a General Plan Land Use designation of Retail/Highway/Service Commercial; Business and Professional Offices, which allows a variety of commercial uses. The proposed project is consistent with the General Plan land use designation because the new building would be designed to house general commercial uses. The project is also consistent with Policy 13 of the General Plan's Land Use Element: "Ensure that neighborhood, community, and regional commercial centers provide goods and services needed by residents and businesses of Pleasanton and its market area."

Zoning and Stanley Business Park PUD Development Plan

The City Council approved the Stanley Business Park PUD on December 8, 1981, under PUD-81-25. The PUD approval references the development standards of the City's C-S (Service-Commercial) zoning district for building height, setbacks, floor area ratio, and parking. The project has been reviewed with respect to the PUD development standards for the business park. Table 1 summarizes these standards and compares them to those proposed as part of the project.

Table 1: Site Development Standards

Development Standard	Required	Proposed
<i>Setbacks</i>		
Front ¹	10 ft.	73 ft.
Street Side (eastern)	10 ft.	48 – 55 ft.
Interior Side (western)	0 ft.	5 – 20 ft.
Rear	10 ft.	53 ft., 6 in.
<i>Height</i>		
	40 ft. max.	27 ft.
<i>Floor area ratio</i>		
	100% max.	36.7%
<i>Parking</i>		
Number of spaces	Determined by use(s)	59

The proposed layout provides ample setbacks and the project complies with all of the PUD and C-S zoning district development standards.

The applicant intends to lease the building to businesses that are similar and/or complementary to the existing uses located within Stanley Business Park. Stanley Business Park is subject to the permitted and conditionally permitted uses of the City's C-S District with some modifications, including that auto repair is classified as a permitted use. Exhibit C is a list of the uses allowed in Stanley Business Park.

Traffic and Parking

Traffic impacts from permitted and conditionally permitted uses at this site were anticipated and addressed when Stanley Business Park was originally approved. The proposed site layout is not anticipated to create any traffic or circulation problems. The applicant would be required to pay the City- and Tri-Valley-required traffic fees as part of the project.

¹ The CC&Rs for Stanley Business Park require a 70-foot front yard setback. The City does not enforce CC&Rs.

A total of 59 parking spaces are proposed for the 20,433-square-foot building – a parking ratio of one space per 346 square feet of building area. The Pleasanton Municipal Code (PMC) requires retail uses without bulky merchandise and offices to provide a minimum of one parking space per 300 square feet of building area and requires that service commercial, repair shops, and retail uses with bulky merchandise (e.g., furniture or appliance stores) provide a minimum of one parking space per 500 square feet of building area. The oldest buildings in Stanley Business Park were constructed with parking ratios approaching one space per 500 square feet. Parking overflow problems have occurred at these site, particularly when auto repair shops have been tenants. In the late 1980's, staff started recommending a minimum parking ratio of one space per 350 square feet where service commercial uses are anticipated. This ratio has improved parking conditions compared to the ratios used earlier. Therefore, for this project, staff requested the applicant provide a parking ratio of at least one space per 350 square feet. The applicant is proposing a parking ratio of one space per 346 square feet, which we believe will provide adequate parking for the anticipated uses in the building. Staff notes that up to 40% of the total parking spaces may be compact-sized spaces. As proposed, the project is exceeding the 40% maximum requirement by 0.7%. Staff has added a condition of approval that requires one of the compact parking spaces to be changed to a standard-sized space in order to not exceed the compact parking ratio requirement (as conditioned, the compact ratio would be 39%).

Staff recommends reducing the depth of the standard- and compact-sized spaces along the street frontages (Wyoming Street and Washington Street) by one-foot in order to provide additional landscaping to screen the parking. Staff has added a condition that requires the depth of the parking spaces to be reduced by one-foot in addition to installing native, drought-tolerant shrubs in front of all parking spaces along the street frontages.

Architectural Design

Staff believes that the applicant has made a good effort in designing a building that would be functional yet attractive. However, due to the high visibility of the site from Stanley Boulevard, staff believes that the number of building colors should be reduced and additional windows and/or architectural features should be added to the north plan elevation closest to Washing Street. These design refinements have been added as conditions of approval. The landscape plans indicate the installation of a metal trellis with landscaping (e.g., green/landscape wall) will be added to the west elevation (along units A through C) and north elevation (units F and G) to further enhance the design. As conditioned, staff believes the design is appropriate and would complement the buildings within Stanley Business Park.

Grading and Drainage

Grading for the proposed project would be limited to preparation of the building pad, hardscape areas, and the installation of any below-ground utilities, such as electrical conduits, sewer, and water infrastructure. There are four bio-retention areas that will treat the site's stormwater, located at the northeast and southeast corners of the site and west and northwest side of the building. As conditioned, the project would meet the City's grading, drainage and stormwater requirements.

Landscaping and Trees

A landscape plan has been provided which includes a variety of trees, shrubs, and groundcover for the site. The landscape plan would assist in softening the appearance of the structure and provide an attractive streetscape. To further enhance the streetscape, staff recommends that

shrubs be installed in front of all parking spaces along the street frontages to help screen the parked cars. As conditioned, staff believes that the proposed landscape plan is appropriate for the area and the project location.

There are no trees on the property; however, there is one *Catalpa speciosa*, a non-heritage-sized tree, located in the City right-of-way near the northwest corner of the site. The tree is a volunteer tree that has grown very close to a City street light and public sidewalk. The tree does not need to be removed in order to accommodate the proposed development and the applicant is not proposing to remove this tree. The City's Landscape Architect and Operation Services Center have assessed the tree and found it not suitable for preservation and will remove the tree at a future time. However, if the on- and off-site improvements and/or construction activity associated with the development of this lot result in the need to remove the tree, staff has added a condition that allows the applicant to remove the tree and the applicant's full expense. If the applicant does need/want to remove the tree, the proposal includes installing a total of eight street trees along the project frontages which staff believes will adequately mitigate the tree's removal.

The applicant is proposing bicycle parking at the end of a planter island in the middle of the drive aisle. Staff does not believe this location is practical or functional and has included a condition that requires the bicycle rack be relocated to the sidewalk area on the north side of the building, west of the rollup door.

PROJECT ALTERNATIVES

The subject parcel is a legally created lot zoned for commercial-services uses. The proposed building would meet the intent of the underlying zoning and prior PUD development plan approval for Stanley Business Park. Alternatives for the site could include:

1. Proposing a building with a different shape, size, and/or location. For example, constructing a two-story commercial building, eliminating the four tenant spaces on the southern part of the building, thereby reducing the building square footage, and install more parking; or
2. Undertaking no project, under which the site would not be developed in the near-term.

The first alternative could create a project that has more massing, requires more on-site parking, wouldn't necessitate significant design or operational benefits, and/or would not necessarily result in an improved design. The second alternative would leave the site undeveloped and would not be beneficial in the long-term because the PUD and General Plan anticipated development on this site. Therefore, staff believes the proposed project represents a reasonable development scenario.

PROS AND CONS

Pros	Con
Building design is architecturally compatible with the other buildings in Stanley Business Park.	Incrementally increases demand on City services, including water, sewer, and roadway infrastructure, and would increase demand for other public services.
Consistent with the PUD and City regulations.	
Provide opportunity for new service commercial businesses in the City and add vitality to Stanley Business Park.	

PUBLIC NOTICE

Notice of this application was sent to surrounding property owners and tenants within a 1,000-foot radius of the site. Staff has provided the location and noticing maps as Exhibit D for reference. At the time this report was published, staff had not received any public comment.

ENVIRONMENTAL ASSESSMENT

In-fill development projects on sites of five acres or less that have no habitat for endangered, rare, or threatened species, that can be adequately served by all required utilities and public services, that are consistent with the General Plan and zoning regulations, and would have no significant effects on traffic, noise, air quality, or water quality are categorically exempt (In-fill Development: 15332(32)(a-e)) from the California Environmental Quality Act (CEQA). Therefore, no environmental document accompanies this report.

SUMMARY/CONCLUSION

Staff has reviewed the subject proposal and believes the subject proposal is consistent with the applicable PUD and City regulations. The project is well designed and the architectural style and building layout are appropriate for Stanley Business Park.

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