

**EXHIBIT A  
DRAFT CONDITIONS OF APPROVAL**

**P16-0916  
6047 Sycamore Terrace, Tarlochan Sidhu  
February 22, 2017**

**PROJECT SPECIFIC CONDITIONS OF APPROVAL**

**Planning Division**

1. The Design Review will lapse and shall become void one year following the date on which the Design Review became effective, unless prior to the expiration of one year a building permit is issued and construction is commenced and diligently pursued toward completion on the site, or the applicant or his or her successor has filed a request for extension with the Director of Community Development pursuant to the provisions of the Pleasanton Municipal Code Section 18.12.030.
2. Prior to issuance of a building permit, the applicant shall submit a growth management application for Zoning Administrator review and action. The growth management approval shall be granted prior to issuance of a building permit.
3. The applicant shall obtain all required City permits prior to construction.
4. The height of the proposed building shall be surveyed and verified as being in conformance to the approved building height as shown on Exhibit B. Said verification is the building developer's responsibility, shall be performed by a licensed land surveyor or civil engineer, and shall be completed and provided to the Planning Division before the first framing or structural inspection by the Building and Safety Division is initiated.
5. Prior to issuance of a building permit, the applicant shall submit final design details for all new retaining walls to be constructed subject to review and approval by the Director of Community Development
6. Sycamore Terrace contains an emergency vehicle access easement. At no time shall vehicles, including construction vehicles, be parked and/or stored on Sycamore Terrace.
7. The applicant shall prepare a creek protection plan for review and approval by the Director of Community Development and the City Engineer before issuance of a grading permit.
8. A final landscape and irrigation plan shall be submitted to and approved by the Director of Community Development as part of the building permit plan set prior to issuance of a building permit. Said landscape plan shall be detailed in terms of species, location, size, quantities, and spacing. Plant species shall be of a drought tolerant nature with an irrigation system that maximizes water conservation (e.g., drip system). The proposed Italian cypress trees shall be replaced with a species which is native to the area.

9. Landscaping in the front yard shall be installed prior to occupancy. Landscaping in the side and rear yards shall be installed within nine months of occupancy. The property owner shall arrange a landscape/irrigation site inspection with the Planning Division within 30 days of completion of the landscaping/irrigation system installation.
10. All exterior lighting including landscape lighting shall be directed downward and designed or shielded so as to not shine onto neighboring properties. The project/building developer shall submit a final lighting plan, and include drawings and/or manufacturer's specification sheets showing the size and types of light fixtures proposed for the exterior of the building. The final landscape plan shall also show the removal of all landscaping up-lights.
11. The electrical plan for the home shall provide telecommunications infrastructure consistent with state-of-the-art methods (e.g., cabling for DSL, broadband, or wireless service, wiring for total room access, etc.) in effect at the time that building permit(s) are issued. The plan shall be part of the building permit plan set.
12. Water conservation devices such as low-flow faucets, toilets, shower fixtures, etc., shall be installed as part of the project. The water conservation devices shall be stated on the plans submitted for the issuance of a building permit.
13. The State of California's Green Building Standards Code, "CALGreen", as amended, shall apply, as applicable.
14. All demolition and construction activities, inspections, plan checking, material delivery, staff assignment or coordination, etc., shall be limited to the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday. No construction shall be allowed on State or Federal Holidays, Saturdays or Sundays. The Director of Community Development may allow earlier "start-times" or later "stop-times" for specific construction activities (e.g., concrete pouring), if it can be demonstrated to the satisfaction of the Director of Community Development that the construction noise and construction traffic noise will not affect nearby residents or businesses. All construction equipment must meet Department of Motor Vehicles (DMV) noise standards and shall be equipped with muffling devices. Prior to construction, the applicant shall post on the site the allowable hours of construction activity.
15. The building permit plan check package will be accepted for submittal only after completion of the 15-day appeal period, measured from the date of the approval letter, unless the project developer submits a signed statement acknowledging that the plan check fees may be forfeited in the event that the approval is overturned on appeal, or that the design is significantly changed as a result of the appeal. In no case will a building permit be issued prior to the expiration of the 15-day time-period.
16. Only recycled water shall be used on the site during the grading and construction periods, and this specification shall be included on all grading plans and other construction documents.

17. The construction plans submitted for issuance of a building permit shall include the following items, subject to review and approval by the Director of Community Development:
  - a. The balcony railing at the master bedroom on the rear elevation;
  - b. The foam trim around the windows shall be replaced with stucco-coated foam; and
  - c. Manufacturer's specification sheets and details of the windows shall be submitted with the building permit plans and shall be subject to review and approval by the Director of Community Development prior to issuance of a building permit.
18. Prior to issuance of a building permit, the applicant shall provide a sample of the stucco finish to the Director of Community Development for review and approval.
19. The final landscaping plan shall include the replacement species, subject to review and approval by the Director of Community Development prior to issuance of a building permit.
20. The final landscape plan shall include fence details subject to review and approval by the Director of Community Development.
21. The applicant shall install a combination of 15-gallon and 24-inch box size evergreen trees on the slope banks along the west and south sides of the property to help screen the proposed house from views at 386 Sycamore Road. The trees shall be shown on the final landscape plan submitted as part of the building permit plan set and shall be subject to the review and approval by the Director of Community Development prior to building permit issuance.

### **Engineering Department**

22. The project developer shall comply with the recommendations of the geotechnical report approved as part of PUD-42. The project developer shall hire a geotechnical consultant to review and approve all foundation, retaining wall, and drainage geotechnical aspects of the final development plans to ensure that the recommendations have been properly incorporated into the development. The consultant shall certify by writing on the plans or as otherwise acceptable to the City Engineer that the final development plan is in conformance with the geotechnical report approved as part of PUD-42.
23. The drainage inlet located on Sycamore Terrace approximately 70 feet south of the southeastern corner of the project site shall be protected prior to and during the construction phase using silt sacks. The silt sack design shall be included in the construction plans and are subject to the review and approval of the City Engineer.
24. The existing bioswale located on the property shall be kept open and free from construction of any kind including the use of landfill for landscape purposes as provided for under the Owner's Statement of Parcel Map 8735 and maintained in compliance with the Earth Berm and Swale Detail shown on Sheet 3 of the Improvement Plans for Parcel Map 8735 dated April 28, 2006 and prepared by Alexander & Associates, Inc.

25. The project applicant and/or the project applicant's contractor(s) shall obtain an encroachment permit from the City Engineer prior to moving any construction equipment onto the site if there will be construction within the public right of way or public service easement.

### **Landscaping**

26. The project shall comply with the City of Pleasanton's Water Efficient Landscape Ordinance (PWELo). Per Section 492.3 of PWELo, prior to issuance of a building permit, the applicant shall submit the following documentation in PDF format to the City's Landscape Architecture Division and shall be subject to the review and approval of the City's Landscape Architect prior to issuance of a building permit:
- a. Landscape Documentation Package, which includes:
    - i. Project information.
    - ii. Water Efficient Landscape Worksheet.
    - iii. Soil management report.
    - iv. Landscape design plan.
    - v. Irrigation design plan; and
    - vi. Grading design plan.
27. Per Section 492.9 of PWELo, upon completion of construction and prior to a final inspection by the Building and Safety Division, the applicant shall submit the following documentation in PDF format to the City's Landscape Architecture Division for review and approval:
- a. Certificate of Completion, which includes:
    - i. Project information sheet.
    - ii. Certificate of installation according to the landscape documentation package.
    - iii. Irrigation scheduling.
    - iv. Schedule of irrigation landscape and irrigation maintenance.
    - v. Landscape irrigation audit report; and
    - vi. Soil management report (if not previously submitted).
28. All trees within the PSE shall be planted per City standard details 808A/B and details shall be added to the plans.
29. No overhead irrigation shall occur within 2'-0" of hardscape.

### **STANDARD CONDITIONS OF APPROVAL**

#### **Community Development Department**

30. The project applicant/developer shall submit a refundable cash bond for hazard and erosion control. The amount of this bond will be determined by the Director of Community Development. The cash bond will be retained by the City until all the permanent landscaping is installed for the project unless otherwise approved by the department.

31. The project developer shall submit a written dust control plan or procedure as part of the building permit plans.
32. If any prehistoric or historic artifacts, or other indication of cultural resources are found once the project construction is underway, all work must stop within 20 meters (66 feet) of the find. A qualified archaeologist shall be consulted for an immediate evaluation of the find prior to resuming groundbreaking construction activities within 20 meters of the find. If the find is determined to be an important archaeological resource, the resource shall be either avoided, if feasible, or recovered consistent with the requirements of the State CEQA Guidelines. In the event of discovery or recognition of any human remains in any on-site location, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains until the County coroner has determined, in accordance with any law concerning investigation of the circumstances, the manner and cause of death and has made recommendations concerning treatment and dispositions of the human remains to the person responsible for the excavation, or to his/her authorized representative. A similar note shall appear on the improvement plans.
33. The applicant shall pay any and all fees to which the property may be subject prior to issuance of building permits. The type and amount of the fees shall be those in effect at the time the building permit is issued.
34. The applicant shall pay the applicable Zone 7 and City connection fees and water meter cost for any water meters, including irrigation meters. Additionally, the applicant shall pay any applicable Dublin San Ramon Services District (DSRSD) sewer permit fee prior to issuance of a building permit.

### **Planning Division**

35. The proposed development shall conform substantially to the project plans, and color and material sheet, Exhibit B, dated "Received January 22, 2017," on file with the Planning Division, except as modified by the following conditions. Minor changes to the plans may be allowed subject to the approval of the Director of Community Development if found to be in substantial conformance to the approved exhibits.
36. To the extent permitted by law, the project applicant shall defend (with counsel reasonably acceptable to the City), indemnify and hold harmless the City, its City Council, its officers, boards, commissions, employees and agents from and against any claim (including claims for attorney's fees), action, or proceeding brought by a third party against the indemnified parties and the applicant to attack, set aside, or void the approval of the project or any permit authorized hereby for the project, including (without limitation) reimbursing the City its attorney's fees and costs incurred in defense of the litigation. The City may, in its sole discretion, elect to defend any such action with attorneys of its choice.
37. The Applicant shall work with the Pleasanton Unified School District (PUSD) to develop a program to offset this project's long term effect on school facility needs in Pleasanton in addition to the school impact fees required by State law. This program shall be designed to fund school facilities necessary to offset this project's reasonably related effect on the

long-term need for expanded school facilities. The method and manner for the provision of these funds and/or facilities shall be approved by the PUSD and in place prior to building permit issuance. Written proof of compliance with this condition shall be provided by Applicant to the City, on a form generated by the PUSD, prior to building permit issuance.

38. The applicant/building developer shall submit a final list of the green building measures used in the design of the house covered by this approval to the Planning Division for the review and approval by the Director of Community Development prior to the building permit submittal. The home shall be designed to achieve a “certified rating” of a minimum of 50 total points, achieving at least the minimum points in each category, using BuildItGreen’s current GreenPoints rating system. Notwithstanding the foregoing, the State of California’s Green Building Standards Code, “CALGreen”, as amended, shall also apply.

The green building measures shall be shown on one of the first two pages of the plans submitted for issuance of a building permit. Each point identified shall have a notation indicating the sheet the point can be found, and each sheet shall note where the point is located. All proposed green building measures shall be shown throughout the plan set, as appropriate, as determined by the Director of Community Development.

A special inspection by from the Planning Division shall be coordinated with regards to landscaping, irrigation, and exterior materials. All of the green building measures indicated on the approved checklist shall be inspected and approved by either the City of Pleasanton, or a third party rater, or the applicants shall provide written verification by the project engineer, architect, landscape architect, or designer.

39. In accordance with the timing requirements below, the landscape architect or landscape designer shall certify in writing to the Director of Community Development that the landscaping has been installed in accordance with the approved landscape and irrigation plans with respect to size, number, and species of plants and overall design concept. A special inspection by the Planning Division shall be coordinated with regards to landscaping and irrigation.

Landscaping installation time requirements:

1. Prior to occupancy, all front yard landscaping (i.e., those areas between the house and Sycamore Terrace) shall be installed and inspected; and
  2. The remaining landscaping not specified above, but shown on the final landscape plan shall be installed by the homeowner within nine months of occupancy. The homeowner shall arrange a landscape/irrigation site inspection with the Planning Division within thirty (30) days of completion of the side and rear yard landscaping/irrigation system installation.
40. The residence shall be constructed to allow for future installation of a photovoltaic (PV) system and solar water heating systems. The project applicant shall comply with the following requirements for making the dwelling photovoltaic-ready and solar-water-heating-ready:

- a. Electrical conduit and cable pull strings shall be installed from the roof/attic area to the building's main electrical panels;
- b. An area shall be provided near the electrical panel for the installation of an "inverter" required to convert the direct current output from the photovoltaic panels to alternating current;
- c. Engineer the roof trusses to handle an additional load as determined by a structural engineer to accommodate the additional weight of a prototypical photovoltaic system beyond that anticipated for roofing;
- d. Plumbing shall be installed for solar-water heating; and
- e. Space shall be provided for solar-heating tank.

These measures shall be shown on the building permit plan set submitted to the Director of Community Development for review and approval before issuance of the first building permit.

41. Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed.
42. All HVAC condensing units shall be located on the plans.
43. Planning Division approval is required before any changes are implemented in site design, grading, house design, house colors or materials, green building measures, landscape material, etc.
44. The developer and future homeowners are encouraged to use reclaimed gray water, rain water, etc., for landscape irrigation. If used, the details shall be shown on the permit plan set to the satisfaction of the Director of Community Development before issuance of a building permit.
45. The developer and future homeowners are encouraged to use best management practices for the use of pesticides and herbicides
46. The approved building materials and colors shall be stated on the plans submitted for issuance of building permits.
47. Campers, trailers, motor homes, or any other similar vehicle are not allowed on the construction site except when needed as sleeping quarters for a security guard.
48. A construction trailer shall be allowed to be placed on the project site for daily administration/coordination purposes during the construction period.
49. Portable toilets used during construction shall be kept as far as possible from existing residences and shall be emptied on a regular basis as necessary to prevent odor.
50. The project developer shall submit a building pad elevation certification and foundation certification prepared by a licensed land surveyor or registered civil engineer to the Chief Building Official, certifying that the pad elevations and building locations (setbacks) conform to the approved plans, prior to receiving a foundation inspector for the structures.

51. All conditions of approval for this case shall be reprinted and included as a plan sheet(s) with the building permit plan check sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.

### **Building & Safety Division**

52. All retaining walls higher than four feet from the top of the wall to the bottom of the footway shall be constructed of reinforced concrete, masonry, or other material as approved by the Director of Community Development, or shall be an approved crib wall type. Calculations signed by a registered civil engineer shall accompany the wall plans.
53. At the time of building permit plan submittal, the project developer shall submit a final grading and drainage plan prepared by a licensed civil engineer depicting all final grades and on-site drainage control measures to prevent stormwater runoff onto adjoining properties.
54. Prior to issuance of building or demolition permits, the applicant shall submit a waste management plan to the Building and Safety Division. The plan shall include the estimated composition and quantities of waste to be generated and indicate how the project developer intends to recycle at least 75 percent of the total job site construction and demolition waste measured by weight or volume. Proof of compliance shall be provided to the Chief Building Official prior to the issuance of a final building permit. During demolition and construction, the project developer shall mark all trash disposal bins "trash materials only" and all recycling bins "recycling materials only." The project developer shall contact Pleasanton Garbage Service for the disposal of all waste from the site.

### **Landscaping**

55. For purposes of erosion control, the applicant/developer shall plant a hydroseed mixture that has been designed by the project Landscape Architect. The hydroseed mixture shall be specified on the building permit plans for review and approval by the Director of Community Development and shall be maintained by the applicant/developer.

### **Engineering Department**

56. The haul route for all materials to and from this development shall be approved by the City Engineer prior to the issuance of a permit, and shall address the need to schedule major truck trips and deliveries during off peak travel times, to avoid peak travel congestion. It shall also include the provision to monitor the street surfaces used for the haul route so that any damage and debris attributable to the haul trucks is identified and corrected at the expense of the project applicant or developer.
57. All dry utilities (electric power distribution, gas distribution, communication service, Cable television, street lights and any required alarm systems) required to serve existing or new development shall be installed in conduit, underground in a joint utility trench unless otherwise specifically approved by the City Engineer.



58. Any damage to existing street improvements during construction on the subject property shall be repaired to the satisfaction of the City Engineer at full expense to the project developer and includes but is not limited to slurry seal, overlay, restoration of landscaping and irrigation system, signing, striping, pavement marking or street reconstruction if deemed warranted by the City Engineer.
59. This approval does not guarantee the availability of sufficient water and/or sewer capacity to serve the project.
60. There shall be no direct roof leaders connected to the street gutter or storm drain system, unless otherwise approved by the City Engineer.
61. The project developer and/or the project developer's contractor(s) shall obtain an encroachment permit from the City Engineer prior to any work to be performed within the public right of way.
62. The project developer shall submit a final grading and drainage plan prepared by a licensed civil engineer depicting all final grades and drainage control measures, including concrete-lined V-ditches, to protect all cut and fill slopes from surface water overflow. This plan shall be subject to the review and approval of the City Engineer prior to the issuance of a grading permit.
63. The project developer shall include erosion control measures on the final grading plan, subject to the approval of the City Engineer. The project developer is responsible for ensuring that the contractor is aware of such measures. All cut and fill slopes shall be revegetated and stabilized as soon as possible after completion of grading, in no case later than October 15. No grading shall occur between October 15 and April 15 unless approved erosion control measures are in place, subject to the approval of the City Engineer. Such measures shall be maintained until such time as a permanent landscaping is in place.
64. All retaining walls along the street shall be placed behind the Public Service Easement (PSE), unless otherwise approved by the City Engineer.

#### **Livermore-Pleasanton Fire Department**

65. The project developer shall keep the site free of fire hazards from the start of construction until the final inspection.

#### **Urban Stormwater**

66. The project shall comply with the "Alameda Countywide NPDES Permit #CAS612008 dated November 19, 2015 and amendments to this permit" issued by the California Regional Water Quality Control Board, San Francisco Bay Region, a copy of which is available at Community Development Department, Public Works/Engineering section at City offices, Alameda County Clean Water Program, at the State Water Board, and the following websites:

[http://www.waterboards.ca.gov/sanfranciscobay/water\\_issues/programs/stormwater/Municipal/index.shtml](http://www.waterboards.ca.gov/sanfranciscobay/water_issues/programs/stormwater/Municipal/index.shtml);

[http://www.swrcb.ca.gov/sanfranciscobay/water\\_issues/programs/stormwater/Municipal/R2-2015-0049.pdf](http://www.swrcb.ca.gov/sanfranciscobay/water_issues/programs/stormwater/Municipal/R2-2015-0049.pdf)

#### A. Design Requirements

1. The NPDES Permit design requirements include, but are not limited to, the following:
  - a. The NPDES Permit requires a proactive Diazinon pollutant reduction program (aka Pesticide Plan) to reduce or substitute pesticide use with less toxic alternatives.
  - b. The NPDES Permit requires complying with the Copper Pollutant Reduction Plan and the Mercury Pollutant Reduction Plan.
2. The following requirements shall be incorporated into the project:
  - a) Landscaping shall be designed to minimize irrigation and runoff, promote surface infiltration where appropriate and acceptable to the project soils engineer, and minimize the use of fertilizers and pesticides that can contribute to stormwater pollution.
    - I. Structures shall be designed to prohibit the occurrence and entry of pests into buildings, thus minimizing the need for pesticides.
    - II. Where feasible, landscaping shall be designed and operated to treat stormwater runoff. In areas that provide detention of water, plants that are tolerant of saturated soil conditions and prolonged exposure to water shall be specified. Soil shall be amended as required. (See planting guide line by Alameda County Clean Water Program.)
    - III. Plant materials selected shall be appropriate to site specific characteristics such as soil type, topography, climate, amount and timing of sunlight, prevailing winds, rainfall, air movement, patterns of land use, ecological consistency and plant interactions to ensure successful establishment.
    - IV. Landscaping shall also comply with City of Pleasanton ordinances and policies regarding water conservation.
  - b) Roof drains shall discharge and drain away from the building foundation. Ten percent of the stormwater flow shall drain to landscaped area or to an unpaved area wherever practicable.

#### B. Construction Requirements

1. The project developer is responsible for implementing the following Best Management Practices (BMPs). These, as well as any other applicable measure, shall be included in the Stormwater Pollution Control Plan (SWPCP) and implemented as approved by the City.
  - a) The project developer shall include erosion control/stormwater quality measures (SWPCP) on the final grading plan which shall specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydroseeding, straw wattles, hay bales, sandbags,

and siltation fences and are subject to the review and approval of the City Engineer/Chief Building Official. If no grading plan is required, necessary erosion control/stormwater quality measures shall be shown on the site plan submitted for an on-site permit, subject to the review and approval of the Building and Safety Division. The project developer is responsible for ensuring that the contractor is aware of and implements such measures.

- b) All cut and fill slopes shall be revegetated and stabilized after completion of grading, but in no case later than October 15. Hydroseeding shall be accomplished before September 15 and irrigated with a temporary irrigation system to ensure that the grasses are established before October 15. No grading shall occur between October 15 and April 15 unless approved erosion control/stormwater quality measures are in place, subject to the approval of City Engineer/Chief Building Official. Such measures shall be maintained until such time as permanent landscaping is in place.
- c) Gather all sorted construction debris on a regular basis, place it in the appropriate container for recycling, and empty at least on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to stormwater runoff pollution.
- d) Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement and storm drains adjoining the site. Limit construction access routes onto the site and place gravel on them. Do not drive vehicles and equipment off paved or graveled areas during wet weather. Broom sweep the street pavement adjoining the project site on a daily basis. Scrape caked-on mud and dirt from these areas before sweeping.
- e) Install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site in order to retain any debris or dirt flowing in the storm drain system. Maintain and/or replace filter materials to ensure effectiveness and to prevent street flooding.
- f) Create a contained and covered area on the site for the storage of cement, paints, oils, fertilizers, pesticides, or other materials used on the site that have the potential of being discharged into the storm drain system through being windblown or in the event of a material spill.
- g) Never clean machinery, equipment, tools, brushes, or rinse containers into a street, gutter, or storm drain.
- h) Ensure that concrete/gunite supply trucks or concrete/plaster operations do not discharge wash water into street, gutters, or storm drains.
- i) Equipment fueling area: Use off-site fueling stations as much as possible. Where on-site fueling occurs, use designated areas away from the storm drainage facility, use secondary containment and spill rags when fueling, discourage "topping off" of fuel tanks, place a stockpile of absorbent material where it will be readily accessible, and check vehicles and equipment regularly for leaking oils and fuels. Dispose rags and absorbent materials promptly and properly.

- j) Concrete wash area: Locate wash out areas away from the storm drains and open ditches, construct a temporary pit large enough to store the liquid and solid waste, clean pit by allowing concrete to set, breaking up the concrete, then recycling or disposing of properly.
- k) Equipment and vehicle maintenance area: Use off-site repair shop as much as possible. For on-site maintenance, use designated areas away from the storm drainage facility. Always use secondary containment and keep stockpile of cleanup materials nearby. Regularly inspect vehicles and equipment for leaks and repair quickly or remove from the project site. Train employees on spill cleanup procedures.

**CODE REQUIREMENTS**

*(Applicants/Developers are responsible for complying with all applicable Federal, State and City codes and regulations regardless of whether or not the requirements are part of this list. The following items are provided for the purpose of highlighting key requirements.)*

**Building & Safety Division**

- 61. The project developer shall submit a building survey and/or record of survey and a site development plan in accordance with the provisions of Chapter 18.68 of the Municipal Code of the City of Pleasanton. These plans shall be approved by the Chief Building and Safety Official prior to the issuance of a building permit. The site development plan shall include all required information to design and construct site, grading, paving, drainage, and utilities.
- 62. The project developer shall post address numerals on the building so as to be plainly visible from all adjoining streets or driveways during both daylight and night time hours.
- 63. The building covered by this approval shall be designed and constructed to meet Title 24 state energy requirements.
- 64. All building and/or structural plans must comply with all codes and ordinances in effect before the Building and Safety Division will issue permits.

**Livermore-Pleasanton Fire Department**

- 65. All construction shall conform to the requirements of the California Fire Code currently in effect, City of Pleasanton Building and Safety Division and City of Pleasanton Ordinance 2015. All required permits shall be obtained.
- 66. Automatic fire sprinklers shall be installed in all occupancies in accordance with City of Pleasanton Ordinance 2015. Installations shall conform to the National Fire Protection Association (NFPA) Pamphlet 13 for commercial occupancies, NFPA 13D for residential occupancies, and NFPA 13R for multifamily residential occupancies.
- 67. Fire alarm system shall be provided and installed in accordance with the CFC currently in effect, the City of Pleasanton Ordinance 2015 and 2002 NFPA 72 - National Fire Alarm Code. Notification appliances and manual fire alarm boxes shall be provided in all areas

consistent with the definition of a notification zone (notification zones coincide with the smoke and fire zones of a building). Shop drawings shall be submitted for permit issuance in compliance with the CFC currently in effect.

68. All buildings undergoing construction, alteration or demolition shall comply with Chapter 14 (California Fire Code currently in effect) pertaining to the use of any hazardous materials, flame- producing devices, asphalt/tar kettles, etc.
69. The building (s) covered by this approval shall conform to the requirements of the California Building Code currently in effect, the California Fire Code currently in effect and the City of Pleasanton Ordinance 2015. If required plans and specifications for the automatic fire sprinkler system shall be submitted to the Livermore-Pleasanton Fire Department for review and approval prior to installation. The fire alarm system, including water flow and valve tamper, shall have plans and specifications submitted to Fire Prevention for review and approval prior to installation. All required inspections and witnessing of tests shall be completed prior to final inspection and occupancy of the building(s).

**{End}**



CITY COUNCIL OF THE CITY OF PLEASANTON

ALAMEDA COUNTY, ALAMEDA

ORDINANCE NO. 1914

**AN ORDINANCE APPROVING THE APPLICATION OF EARL BACH, KARL BACH, ED LAMB, SR., AND ED LAMB, JR. FOR PUD DEVELOPMENT PLAN APPROVAL, AS FILED UNDER CASE PUD-42**

WHEREAS, Earl Bach, Karl Bach, Ed Lamb, Jr., and Ed Lamb, Sr. have applied for PUD development plan approval to allow a four-lot development plan for three new homes on a 1.84-acre site located at 446 Sycamore Road, in the North Sycamore Specific Plan area; and

WHEREAS, the City Council determined that there were no substantial changes to the project or to the circumstances under which the project is undertaken that involve environment effects or substantially increase the severity of previously identified effects, and there is no information of substantial importance not known at the time the Environmental Impact Report for the North Sycamore Specific Plan area was certified in February 1991 regarding the project or its effects, mitigation measures, or alternatives; therefore, no additional environmental documentation was prepared for this project: and

WHEREAS, the Council received the Planning Commission's recommendations for approval of the development plan; and

WHEREAS, a duly noticed public hearing was held on March 15, 2005; and

WHEREAS, the City Council finds that the development plan, building design, and site development standards are consistent with the General Plan, the North Sycamore Specific Plan, and the purposes of the PUD ordinance.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PLEASANTON DOES HEREBY ORDAIN AS FOLLOWS:**

Section 1. Approves Case PUD-42, the application of Earl Bach, Karl Bach, Ed Lamb, Jr., and Ed Lamb, Sr. for PUD development plan approval to allow a four-lot development plan for three new homes on a 1.84-acre site located at 446 Sycamore Road, in the North Sycamore Specific Plan area, subject

to the conditions shown on Exhibit B, attached hereto and incorporated herein by this reference.

Section 2. A summary of this ordinance shall be published once within fifteen (15) days after its adoption in "The Valley Times," a newspaper of general circulation published in the City of Pleasanton, and the complete ordinance shall be posted for fifteen (15) days in the City Clerk's office within fifteen (15) days after its adoption.

Section 3. This ordinance shall be effective thirty (30) days after its passage and adoption.

INTRODUCED at a regular meeting of the City Council of the City of Pleasanton on March 15, 2005.

ADOPTED at a regular meeting of the City Council of the City of Pleasanton on April 5, 2005.

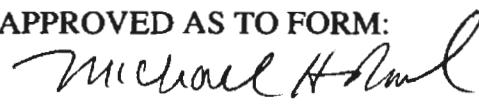
AYES: Councilmembers – Brozosky, McGovern, Sullivan and Mayor Hosterman  
NOES: None  
ABSENT: None  
ABSTAIN: None

  
JENNIFER HOSTERMAN, MAYOR

ATTEST:

  
Dawn G. Abrahamson, City Clerk

APPROVED AS TO FORM:

  
Michael H. Roush, City Attorney

**EXHIBIT B  
CONDITIONS OF APPROVAL**

**PUD-42, Earl Bach, Karen Bach, Ed Lamb, Sr., and Ed Lamb, Jr.  
446 Sycamore Road**

**March 15, 2005**

**Project-Specific Conditions:**

1. The four-lot development plan covered by this approval shall be subdivided and constructed substantially as shown on the development plans and design guidelines, Exhibit "A", dated "Received July 13, 2004 and September 15, 2004" on file with the Planning Department, except as modified by the following conditions. Minor changes to the plans may be allowed subject to the approval of the Planning Director if found to be in substantial conformance to the approved exhibits.
2. The lots covered by this PUD development plan shall be subject to the permitted and conditional uses of the R-1-20,000 (One-Family Residential) District as defined in the Pleasanton Municipal Code. The project developer shall modify the design guidelines to include this statement before submittal of the tentative parcel map application to the City of Pleasanton for review.
3. The project developer shall protect Sycamore Creek during all grading and construction activities. A \$10,000.00 bond shall be posted with the City Engineer to insure compliance with this requirement. Protection measures shall be described in detail on the on-site/grading plan, site plan, and any other construction or building plans to the satisfaction of the Planning Director and/or the City Engineer or Building Official before grading/construction begins.
4. The project developer shall add the following statements to the design guidelines covering this development:
  - a. The applicants for the future homes on Parcels One through Four shall provide view studies at the design review stage to demonstrate the proposed design, view impacts, privacy impacts, etc. Various techniques including setbacks, window placement, etc., should be employed in the building design to minimize view disruption and to maximize privacy.
  - b. Building materials and colors shall blend with the natural landscape. Stone and treated wood are encouraged for exterior surfaces. Where stucco is used it should be colored with a muted earth color. Color contrasts should be used judiciously. The color of the roof materials should also be earth tones and should be non-reflective.



- c. Use plant materials whose mature height will not obstruct views.
- d. Use trees and shrubs to frame views and visually soften the hard edges and structural underpinnings of buildings, where visible.
- e. On sloping sites, use landscaping to screen views of the downhill side of decks, retaining walls, and pier foundations of buildings from streets and residences.
- f. All house designs shall be brought to the Planning Commission for approval. Prior to that, the project developer shall consult with neighbors to address their concerns pertaining to privacy/view issues, lower building heights, etc.

The project developer shall submit the revised guidelines to the Planning Director for review and approval before the City's approval of the tentative parcel map.

5. The lots and structures covered by this PUD approval shall be subject to the following site development standards:

<b>PUD-42, Primary Structure Standards</b>				
	<b>Parcel One<sup>1</sup></b>	<b>Parcel Two</b>	<b>Parcel Three</b>	<b>Parcel Four</b>
<b>Minimum Lot Area</b>	19,676 sq. ft.	18,171 sq. ft.	17,896 sq. ft.	24,341 sq. ft.
<b>Minimum Lot Width</b>	133 ft.	137 ft.	133 ft.	133 ft.
<b>Minimum Lot Depth</b>	144.5 ft	133 ft.	133 ft.	183 ft.
<b>Setbacks:</b>				
<b>Front</b>	25 ft.	25 ft. <sup>2</sup>	25 ft. <sup>2</sup>	25 ft.
<b>One Side/Both Sides</b>	15 ft./30 ft.	15 ft./30 ft. <sup>2</sup>	15 ft./30 ft. <sup>2</sup>	15 ft./30 ft. <sup>4</sup>
<b>Rear</b>	25 ft.	25 ft. <sup>2</sup>	25 ft.	30 ft.
<b>Floor Area Ratio</b>	30% <sup>3</sup> 5,000 sq. ft. <sup>3</sup>	30% <sup>3</sup> 5,000 sq. ft. <sup>3</sup>	30% <sup>3</sup> 5,000 sq. ft. <sup>3</sup>	30% <sup>3</sup> 5,500 sq. ft. <sup>3</sup>
<b>Maximum Height</b>	30 ft.	30 ft.	27 ft. <sup>5</sup>	27 ft.
<b>PUD-42, Accessory Structure Standards</b>				
	<b>Parcel One<sup>1</sup></b>	<b>Parcel Two</b>	<b>Parcel Three</b>	<b>Parcel Four</b>
<b>Maximum Height</b>	15 ft.	15 ft.	15 ft.	10 ft.
<b>Side Yard</b>	3 ft.	3 ft. <sup>2</sup>	3 ft. <sup>2</sup>	3 ft.
<b>Rear Yard</b>	5 ft.	5 ft. <sup>2</sup>	5 ft. <sup>2</sup>	20 ft.

<sup>1</sup> Existing house and accessory structures.

<sup>2</sup> For Parcel Two and Parcel Three, there shall be a minimum 10-foot setback from the top-edge of the bank of Sycamore Creek or a 25-foot setback from the centerline of the creek, whichever is greater. The minimum sideyard setbacks shall be measured from the edge of Sycamore Terrace.

<sup>3</sup> The Floor Area Ratio includes primary and accessory structures but excludes up to 600 square feet of garage area. Portions of garage floor area over 600 square feet would be included in the FAR calculation.

<sup>4</sup> All primary structures on Parcel Four shall maintain a minimum 45-foot setback from the north property line.

<sup>5</sup> Or 407 feet NGVD whichever is less.

The project developer shall modify the design guidelines with these changes before submittal of the tentative parcel map application to the City of Pleasanton for review.

6. The development standards for open structures, e.g., patios, arbors, porte cocheres, etc., would be those outlined under Section 18.84.120, Projections Into Yards, of the Pleasanton Municipal Code. The project developer shall modify the design guidelines to include this statement before submittal of the tentative parcel map application to the City of Pleasanton for review.
7. The project developer shall comply with the recommendations of the tree report prepared by Atlas Tree Service, Inc. dated June 4, 2004, as follows:

Tree	Species	Diameter	Condition	Disposition
Tree No. 1	Northern California Black Walnut ( <i>Juglans hindsii</i> )	38-inches	Good Condition – Moderate amount of deadwood.	Retain, prune, and fertilize.
Tree No. 2	Almond ( <i>Prunus amygdalus</i> )	12-inches	Fair Condition	Remove and replace with a 24-inch box size tree.
Tree No. 3	Lombardy Poplar ( <i>Populus nigra Italica</i> )	26-inches	Good Condition – Minimal amount of pruning.	Retain, thin, and prune.
Tree No. 4	Pecan ( <i>Carya illinoensis</i> )	14-inches	Good Condition – Moderate amount of deadwood.	Retain, prune, and fertilize.
Tree No. 5	Valley White Oak ( <i>Quercus lobata</i> )	16-inches	Good Condition – Moderate amount of deadwood.	Retain, prune, and fertilize.

No other trees shall be removed other than these specifically designated for removal. The project developer shall post cash, letter of credit, or other security satisfactory to the Planning Director in the amount of \$5,000.00 for each of the above-identified trees to be preserved. This cash bond or security shall be retained for one year following acceptance of public improvements or completion of construction, whichever is later, and shall be forfeited if the trees are destroyed or substantially damaged.

8. No tree trimming or pruning other than that specified in the tree report shall occur. The project developer shall arrange for the horticultural consultant to conduct a field inspection prior to issuance of grading permits to ensure that all recommendations have been properly implemented. The consultant shall certify in writing that such recommendations have been followed.

9. The "V"-ditch shown along the westerly side of the development covered by this approval shall be an earth tone color. The project developer shall show this detail on the subdivision improvement plans to the satisfaction of the Planning Director and City Engineer before approval by the City Council.
10. The project developer shall obtain all necessary permits from the applicable environmental agencies, e.g., California Department of Fish and Game, Regional Water Quality Control Board, etc. Proof of such permit approvals shall be submitted to the Planning Director and to the City Engineer before issuance of a grading permit by the City Engineer.
11. The project developer shall install irrigated bioswales located on the southerly property lines of Parcels 3 and 4. These swales shall drain to the concrete "V"-ditch located along the westerly property line. The swale shall have a subsurface cutoff wall and subdrain located on the southerly side of the swale. The design details of the bioswale shall be shown on the subdivision improvement plans, shall be reviewed and approved by the Soils Engineer, and then shall be reviewed and approved by the Planning Director and City Engineer before approval by the City Council.
12. Storm drainage swales, bioswales, gutters, inlets, outfalls, "V"-ditches, and channels not within the area of a dedicated public street or public service easement approved by the City Engineer shall be privately maintained by the property owners or through a maintenance association as determined by the City Engineer, Planning Director, and City Attorney. Easements shall be recorded for the private storm drain facilities concurrently with the final subdivision map. The maintenance responsibilities shall be set forth in the easements or other appropriate document to be recorded concurrently with the final subdivision map, as approved by the City Attorney.
13. No grading shall take place, excepting the concrete "V"-ditch tie-in, within 10 feet of the edge or 25 feet from the centerline of Sycamore Creek, whichever is greater. The project developer shall prepare a creek protection plan for review and approval by the Planning Director and the City Engineer before issuance of a grading permit.
14. The project developer shall construct the six-foot wide concrete sidewalk shown on the development plan including the concrete stairs shown in the public right-of-way of San Carlos Way with the first phase of construction. The location and design of the sidewalk and stairs shall conform to Exhibit "A", except that the stairs shall be revised to include two, 90-degree bends and landings before connecting to San Carlos Way and the sidewalk shall be designed with measures, e.g., steps, speed bumps, off-sets, etc., to prevent speeding by skateboarders and bicyclists. The sidewalk/stairs design shall be shown on the subdivision improvement plans to the satisfaction of the Planning Director and the City Engineer before approval by the City Council. The project developer shall obtain an encroachment permit for the installation of the stairs within the San Carlos Way street right-of-way from the City Engineer.
15. The project developer shall install a sign at the corner of Sycamore Terrace and Sycamore Creek Way by the public sidewalk indicating that the sidewalk is not ADA

accessible and identifying alternate routes. The sign design shall be submitted for review and approval by the Planning Director before installation and shall be installed in conjunction with the construction of the sidewalk from Sycamore Terrace to San Carlos Way.

16. The project developer shall work out the details and solutions pertaining to runoff, flooding, and retaining walls between the development covered by this approval and the property owned by Tom and Mary Greene to the west of the subject property. Said details shall be shown on the preliminary grading plan submitted with the tentative parcel map to the satisfaction of the City Engineer and Planning Director.
17. With the parcel map, the project developer shall field survey the location of the shared property line between the Greenes' property and the property covered by this approval to the satisfaction and verification of the City Engineer. Any survey document prepared by the Greenes may be considered, at their option, in the determination of the property line. Any costs associated with moving the property line onto the Greenes' property shall be paid by the applicant. The location of the property line shall be staked in the field and verified as accurate before the approval of the parcel map.

**General Conditions:**

18. The project developer shall obtain a Building Permit from the Building Department and any other applicable City permits for the project prior to the commencement of any construction.
19. The project developer shall pay any and all fees including the applicable Zone 7 drainage fees to which the property may be subject prior to issuance of building permits. The type and amount of the fees shall be those in effect at the time the building permit is issued.
20. The project developer shall work with the Pleasanton Unified School District and the City Planning Director to develop a program, in addition to the school impact fees required by State law and local ordinance, to off-set this project's long-term effect on school facility needs in Pleasanton. This program shall be designed to fund school facilities necessary to offset this project's reasonably related effect on the long-term need for expanded school facilities to serve new development in Pleasanton. The method and manner for the provision of these funds and/or facilities shall be approved by the City and in place prior to issuance of building permits. In no event shall construction commence unless the above method and manner for the provision of these funds and/or facilities has been approved by the City.
21. This PUD development plan shall be of no further validity and the project developer shall be required to submit the same or new development plan for City approval prior to the development of the site in the event that the project developer fails to record a final map within two years of PUD approval.
22. This approval does not guarantee the availability of sufficient water to serve the project. The City shall withhold building permits for the project if at the time building permits are



applied for, mandatory water rationing is in effect, unless the City has adopted a water offset program and unless the project developer is participating in the program. Notwithstanding the project developer's participation in such a program, the City may withhold building permits if the City determines that sufficient water is not available at the time of application of building permits.

23. The project developer acknowledges that the City of Pleasanton does not guarantee the availability of sufficient sewer capacity to serve this development by the approval of this case, and that the project developer agrees and acknowledges that building permit approval may be withheld if sewer capacity is found by the City not to be available.
24. The building permit plan check materials will be accepted for submittal only after completion of the 15-day appeal period, measured from the date of the approval letter, unless the project developer submits a signed statement acknowledging that the plan check fees may be forfeited in the event that the approval is overturned on appeal, or that the design is significantly changed as a result of the appeal. In no case will a building permit be issued prior to the expiration of the 15-day time-period.

#### **Tentative/Final Parcel Map**

25. With submission of the tentative parcel map for the development covered by this approval, the project developer shall submit a fence plan showing the following:
  - a. The project developer shall install a metal frame/chain link fence on the common property line separating Parcels One through Four from the property owned by Tom and Mary Greene (386 Sycamore Road). This fence shall be installed with the first construction phase and shall be maintained by the present and future property owners throughout the life of the buildings to be located on these lots.
  - b. The project developer shall retain the existing open fence on the common property line separating Parcel Four from the property owned by Michael and Katherine Ferreira (5821 San Carlos Way).
  - c. The project developer shall install a metal, wrought iron style fence along the west side of the public sidewalk connecting San Carlos Way to Sycamore Terrace. This fence shall be installed with the first construction phase and shall be maintained by the present and future property owner of Parcel Four throughout the life of the buildings to be located on this parcel.
  - d. The project developer shall install open mesh fencing along the common east/west property lines between Parcels One/Two, Two/Three, and Three/Four.
26. With recordation of the final parcel map, the project developer shall enter into an agreement with the City for the long-term inspection and maintenance of this development's storm water facilities including, but not limited to, the concrete "V"-ditch,

bioswales, subdrains located underneath the bioswales. etc. The Assistant City Attorney shall approve the exact language of this agreement prior to its recordation.

27. The concrete "V"-ditch and bioswales shall be located in easements. The project developer shall record said easements with the final parcel map.
28. The project developer shall disclose the following information to the future owners of these parcels:
  - a. On Parcels One through Four, the recorded deed of sale for these lots shall include the following statement :

"You are hereby advised that this property is located near land zoned and/or used for agricultural purposes. Agricultural use is defined as including but not limited to day and night-time activity relating to livestock grazing, the keeping of livestock, the growing and processing of agricultural crops, and any commercial agricultural practices performed as incidental to or in conjunction with such operations. Some of the impacts associated with agricultural use include, but are not limited to, noise, odor, dust, chemicals, refuse, waste, unsightliness, the storage and use of agricultural machinery and equipment, and traffic. Permitted agricultural pursuits conducted in accordance with good practice and maintenance are not deemed by the City of Pleasanton to be a nuisance."

- b. That Sycamore Creek Way will be extended as a bypass road to the City Golf Course.

The exact language of said disclosures shall be reviewed and approved by the City attorney before recordation of the final parcel map for the subdivision covered by this approval.

29. With recordation of the final parcel map covering this development, the project developer shall dedicate to the City of Pleasanton an additional eight-foot wide Public Service Easement (PSE) along the project frontage of Sycamore Terrace and an eight-foot wide PSE along the project frontage of Sycamore Creek Way.

**Planning Requirements:**

30. The second unit covered by this approval shall comply with all the applicable requirements of Pleasanton Municipal Code Chapter 18.108 Second Units. A restrictive covenant shall be recorded against the lot with the Alameda County Recorder's Office prior to the issuance of a future building permit from the building department regarding restrictions on the second unit. Please provide a copy of the deed and legal description to the Assistant City Attorney who will prepare the document for your signature.
31. The project developer shall provide a bond to the City guaranteeing the installation of all common improvements and infrastructure improvements shown on the approved

development plan or otherwise required as part of this development plan approval. The project developer shall provide an itemized cost estimate of said improvements, to be submitted with the bond, for the review and approval the Planning Director prior to issuance of building permits. The bond shall be returned to the project developer upon acceptance of said improvements by the Planning Director.

32. The height of the structure(s) covered by this approval shall be surveyed and verified as being in conformance to the approved building height as shown in Exhibit "C" or as otherwise conditioned. Said verification is the project developer's responsibility, shall be performed by a licensed land surveyor or civil engineer, and shall be completed and provided to the Planning Department before the first framing or structural inspection by the Building Department.
33. A list of all green building measures used in the design of the home(s) shall be provided for the review and approval of the Planning Director with the application for design review approval for the home(s). Each home shall be designed to include a minimum of 50 points using the ACWMA's Green Points rating system with a minimum of ten points in each category (Resources, Energy, and IAQ/Health).
34. The project developer shall submit a waste management plan to the Building Department prior to issuance of building or demolition permits. The plan shall include the estimated composition and quantities of waste to be generated and how the project developer intends to recycle at least 50-percent of the total job site construction and demolition waste measured by weight or volume. Proof of compliance shall be provided to the Chief Building Official prior to the issuance of a final building permit. During demolition and construction, the project developer shall mark all trash disposal bins "trash materials only" and all recycling bins "recycling materials only". The project developer shall contact Pleasanton Garbage Service for the disposal of all waste from the site.

**Building Permit Review:**

35. All conditions of approval for this case shall be reprinted and included as a plan sheet(s) with the grading/improvement plans and building permit plan check sets submitted for review and approval. These conditions of approval shall be on, at all times, all grading and construction plans kept on the project site. It is the responsibility of the project/building developer(s) to ensure that the project contractor is aware of, and abides by, all conditions of approval. Prior approval from the Planning Department must be received before any changes are constituted in site design, grading, building design, building colors or materials, landscape material, etc.
36. All dwelling units in the development covered by this approval shall be designed and constructed to meet Title 24 state energy requirements.
37. All building and/or structural plans must comply with all codes and ordinances in effect before the Building Department will issue permits.

38. All retaining walls higher than four-feet from the top of the wall to the bottom of the footway shall be constructed of reinforced concrete or shall be an approved crib wall type. Calculations signed by a registered civil engineer shall accompany the wall plans.
39. The project developer shall submit two copies of the site soils report to the Director of Building Inspection for third party peer review and shall pay for such review at the time specified by the Director, but in all cases before the issuance of a grading permit.
40. The soils engineer shall certify the pad compactions of all lots containing fill to the satisfaction of the Director of Building Inspection prior to the issuance of building permits.

**Construction Requirements:**

41. All site improvements and house construction activities shall be limited to the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday. All construction equipment must meet Department of Motor Vehicles (DMV) noise standards and shall be equipped with muffling devices.
42. At no time shall campers, trailers, motor homes, or any other vehicle be used as living or sleeping quarters on the construction site. All such vehicles shall be removed from the site at the end of each workday.
43. Final inspection by the Planning Department is required prior to occupancy.
44. If archeological materials are uncovered during grading, trenching, or other on-site excavation, all work on site shall be stopped and the City immediately notified. The county coroner and the Native American Heritage Commission shall also be notified and procedures followed as required in Appendix "K" of the California Environmental Quality Act (CEQA). A similar note shall appear on the improvement plans.
45. Portable toilets used during construction shall be kept as far as possible from existing residences and shall be emptied on a regular basis as necessary to prevent odor.

**Fire Department Requirements:**

46. The project developer shall meet all requirements of the Pleasanton Fire Code (Pleasanton Municipal Code, Chapter 20.24).
47. The building(s) covered by this approval shall be equipped with an automatic fire sprinkler system. Plans and specifications for the automatic fire sprinkler system shall be submitted to the Pleasanton Building Department for review and approval prior to installation. The fire alarm system, including waterflow and valve tamper, shall have plans and specifications submitted to Fire Prevention for review and approval prior to installation. All required inspections and witnessing of tests shall be completed prior to final inspection and occupancy of the building(s).



48. The project developer shall keep the site free of fire hazards from the start of lumber construction until the final inspection.
49. Prior to any construction framing, the project developer shall provide adequate fire protection facilities, including, but not limited to surface roads, fire hydrants, and a water supply and water flow in conformance to the City's Fire Department Standards able to suppress a major fire.
50. The Fire Chief and the Director of Building Inspection shall approve the number, type, and location of all private fire hydrants.
51. All curbs located within a seven-foot, six-inch radius of a public/private fire hydrant shall be painted red, unless, modified by the Fire Chief. Blue street "hydrant markers" shall be installed for all fire hydrants per City of Pleasanton Standard Specifications.
52. All private streets and driveway aisles designated as fire lanes by the Fire Chief shall be maintained in accordance with Articles 9 and 10 of the Uniform Fire Code which prohibits towing vehicles illegally parked on the fire lanes. Fire lane curbs shall be painted red with "No Parking, Fire Lane, Tow Away Zone" or "No Parking, Fire Lane, Tow Away Zone" signs shall be installed as required by the Vehicle Code.

**Engineering Requirements:**

53. All utilities required to serve any existing or proposed development on-site shall be installed underground, unless otherwise determined by the City Engineer.
54. The project developer shall comply with the recommendations of the geotechnical report prepared titled, "*Geotechnical Investigation, Proposed 4-Lot Residential Development, 446 Sycamore Road, Pleasanton, California, Prepared for Mr. Ed Lamb*", by *GFK Geotechnical Associates*, dated *June 23, 2004*. The project developer's geotechnical consultant shall review and approve all foundation, retaining wall, and drainage geotechnical aspects of the final development plans to ensure that the recommendations have been properly incorporated into the development. The consultant shall certify by writing on the plans or as otherwise acceptable to the Director of Building Inspection that the final development plan is in conformance with the geotechnical report approved with the project.
55. The project developer shall arrange and pay for the geotechnical consultant to inspect and approve all foundation, retaining, and wall and drainage geotechnical aspects of project construction. The consultant shall be present on site during grading and excavation operations. The results of the inspections and the as-built conditions of the project shall be certified in writing by the geotechnical consultant for conformance to the approved plans and geotechnical report and submitted to the City Engineer and Director of Building Inspection for review and approval prior to occupancy.

56. The project developer shall submit a final grading and drainage plan prepared by a licensed civil engineer depicting all final grades and on-site drainage control measures, including concrete-lined V-ditches, to protect all cut and fill slopes from surface water overflow. This plan shall be subject to the review and approval of the City Engineer prior to the issuance of a grading/on-site permit.
57. The project developer shall submit a refundable cash bond for hazard and erosion control prior to issuance of an Engineering or Building Department permit. The amount of this bond will be determined by the City Engineer.
58. The project developer shall grant an easement to the City over those parcels needed for public service easements (P.S.E.) and which are approved by the City Engineer or other easements, which may be designated by the City Engineer.
59. All existing septic tanks or holding tanks shall be removed or sealed, filled, and abandoned, pursuant to the requirements of the Alameda County Department of Health Services.
60. All existing wells on the site shall be removed or sealed, filled and abandoned pursuant to Alameda County Ordinance 73-68, prior to the start of grading operations unless Zone 7 retains specific wells for observation wells, or special approval is obtained from the City Engineer for temporary use of an existing well for construction water. Any wells designated for abandonment or any wells, encountered during construction, are to be destroyed in accordance with a permit obtained from Zone 7.
61. Storm drainage swales, gutters, inlets, outfalls, and channels not within the area of a dedicated public street or public service easement approved by the City Engineer shall be privately maintained by a maintenance association approved by the City.
62. The project developer shall construct vertical P.C.C. curbs and gutters within this development.
63. The haul route for all materials to and from this development shall be approved by the City Engineer prior to the issuance of an encroachment permit.
64. The project developer shall submit a dust control plan or procedure as part of the improvement plans.
65. The design of the water supply and sanitary sewer systems shall be subject to the review and approval of the City Engineer.
66. Approval of the storm drainage system shall be subject to the review and approval of the City Engineer.
67. Electric power distribution, gas distribution, communication service, cable television, and any required alarm systems shall be installed underground in a joint utility trench.

68. The project developer shall be responsible for the installation of the street lighting system on Sycamore Terrace serving the development. The street lights shall be 70-watt, high pressure sodium vapor units mounted on galvanized steel poles with poured in place bases, on the LS-1C schedule per City requirements and P.G.& E. standard details, unless otherwise specifically approved. Approval for the number, location, and type of electroliers shall be subject to the review and approval of the City Engineer.
69. Any damage to existing street improvements during construction on the subject property shall be repaired to the satisfaction of the City Engineer at full expense to the project developer. This shall include slurry seal, overlay, or street reconstruction if deemed warranted by the City Engineer.
70. The project developer's contractor(s) shall obtain an encroachment permit from the City Engineer prior to moving any construction equipment onto the site.

**Urban Stormwater Runoff Requirements:**

71. The project developer shall include erosion control/storm water quality measures on the final grading plan which shall specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydroseeding, hay bales, sandbags, and siltation fences and are subject to the review and approval of the City Engineer and/or the Director of Building Inspection. The project developer is responsible for ensuring that the contractor is aware of and implements such measures.
72. The project developer shall label all on-site storm drain inlets with the wording, "No Dumping -- Drains to Bay" using City-approved methods and materials. On-site storm drain facilities shall be cleaned a minimum of twice a year as follows: immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by the City Engineer.
73. Bulk construction materials stored outdoors that may contribute to the pollution of storm water runoff shall be covered as deemed appropriate by the City Engineer and/or the Director of Building Inspection.
74. Prior to the commencement of any clearing, grading, or excavation, the project developer shall submit a copy of the State Water Resources Control Board Notice of Intent (NOI) for coverage under the State Construction Storm Water General Permit.
75. All cut and fill slopes shall be revegetated and stabilized after completion of grading, but in no case later than October 15. Hydroseeding shall be accomplished before September 15 and irrigated with a temporary irrigation system to ensure that the grasses are established before October 15. No grading shall occur between October 15 and April 15 unless approved erosion control/storm water quality measures are in place, subject to the

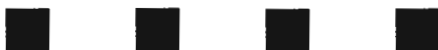
approval of the City Engineer and/or the Director of Building Inspection. Such measures shall be maintained until such time as permanent landscaping is place.

76. The project developer shall submit a construction Best Management Practices (BMP's) program for review and approval by the Planning Director prior to issuance of building and/or grading permits. These BMP's shall be implemented by the general contractor and all subcontractors and suppliers of materials and equipment. Construction site cleanup and control of construction debris shall also be addressed. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a stop work order.
77. The project developer is responsible for implementing the following measures during all construction phases of the project:
  - a. Gather all construction debris on a regular basis and place it in a dumpster or other container which is emptied or removed on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to storm water runoff pollution.
  - b. Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement and storm drains adjoining the site. Limit construction access routes onto the site and place gravel on them. Do not drive vehicles and equipment off paved or graveled areas during wet weather. Broom sweep the street pavement adjoining the project site on a daily basis. Scrape caked-on mud and dirt from these areas before sweeping.
  - c. Install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site in order to retain any debris or dirt flowing in the storm drain system. Maintain and/or replace filter materials to ensure effectiveness and to prevent street flooding.
  - d. Create a contained and covered area on the site for the storage of bags, cement, paints, oils, fertilizers, pesticides, or other materials used on the site that have the potential of being discharged into the storm drain system through being windblown or in the event of a material spill.
  - e. Never clean machinery, equipment, tools, brushes, or rinse containers into a street, gutter, or storm drain.
  - f. Ensure that concrete/gunite supply trucks or concrete/plaster operations do not discharge wash water into street, gutters, or storm drains.

*{end}*

# Final Development Standards & Guidelines

## BACH PARCEL



Prepared by:  
LX3, INC.

# **Bach Parcel Final Development Standards and Guidelines**

Prepared for  
Earl and Karen Bach

Submitted by  
LX3 Construction, Inc.  
Claude E. Lamb III

In association with  
Alexander & Associates, Inc., Surveyors, Engineers, Planners  
Kaestner Architect  
GFK & Associates, Geotechnical Consultants  
Atlas Tree Service, Inc.

January, 2006

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## 1) **DESIGN GUIDELINES/DEVELOPMENT STANDARDS**

### **a) Introduction**

- i) The following proposed PUD-LDR guidelines and accompanying densities are in compliance with the recommendations of the NSSP. It will be the task of the project architects and landscape architects to translate these guidelines into contemporary housing and landscape designs.

### **b) Density**

- i) As specified in the NSSP, PUD-LDR properties should be developed at densities of 0-2 dwelling units per acre. Although the Bach parcel is 1.84 acres, the parcel was allowed four units under the NSSP based on the original lot size that existed prior to the roadway dedication.
- ii) Three dwelling units currently exist on the property, all within lot #1. The units are complimentary rental units, with inconspicuous front entrances and shared yard areas. In order to bring the property into compliance with the NSSP guidelines for LDR development, and within the characteristics of the existing homes in the surrounding neighborhood, the three units are proposed to be remodeled. The largest of the units, a three bedroom, two bath residence, will be structurally and aesthetically improved to more closely conform to the North Sycamore area neighborhood standards of LDR single-family homes. Specifically, the front entrance of the home will be improved to identify the unit as the main residence. In addition, the other two dwelling units are proposed to be removed/remodeled into a garage and “granny suite” to accompany the main residence.



**c) Site Development Standards (R-1-20,000)**

- i) The following R-1-20,000 standards will serve as minimum/maximum guidelines for establishing specific home designs intended for the design review process. All impending specific home designs will be submitted for review and approval to the City of Pleasanton pursuant to Chapter 18.20 of the Pleasanton Municipal Code.

<b>PUD-42, Primary Structure Standards</b>				
	<b>Parcel 1<sup>1</sup></b>	<b>Parcel 2</b>	<b>Parcel 3</b>	<b>Parcel 4</b>
<b>Minimum Lot Area</b>	19,676 sq. ft.	18,171 sq. ft.	17,896 sq. ft.	24,341 sq. ft.
<b>Minimum Lot Width</b>	144.5 ft.	95 ft.	115 ft.	118 ft.
<b>Minimum Lot Depth</b>	133 ft.	133 ft.	133 ft.	133 ft.
<b>Setbacks:<sup>2</sup></b>				
<b>Front</b>	25 ft.	25 ft.	25 ft.	25 ft.
<b>One Side/Both Sides</b>	15 ft./30 ft.	15 ft./30 ft.	15 ft./30 ft.	15 ft./30 ft. <sup>3</sup>
<b>Rear</b>	25 ft.	25 ft.	25 ft.	25 ft.
<b>Floor Area Ratio<sup>4</sup></b>	30%	30%	30%	30%
	5,000 sq. ft.	5,000 sq. ft.	5,000 sq. ft.	5,500 sq. ft.
<b>Maximum Height</b>	30 ft.	30 ft.	27 ft. <sup>5</sup>	27 ft.
<b>PUD-42 Accessory Structure Standards</b>				
	<b>Parcel 1<sup>1</sup></b>	<b>Parcel 2</b>	<b>Parcel 3</b>	<b>Parcel 4</b>
<b>Maximum Height</b>	15 ft.	15 ft.	15 ft.	15 ft.
<b>Side Yard</b>	3 ft.	3 ft.	3 ft.	3 ft.
<b>Rear Yard</b>	5 ft.	5 ft.	5 ft.	5 ft.

<sup>1</sup> Existing house and accessory structures will be deemed “Existing Non-Conforming.”

<sup>2</sup> For Parcel Two and Parcel Three, there shall be a minimum 10-foot setback from the top-edge of the bank of Sycamore Creek or a 25-foot setback from the centerline of the creek, whichever is greater. The minimum side-yard setbacks shall be measured from the edge of Sycamore Terrace.

<sup>3</sup> All primary and accessory structures on Parcel Four shall maintain a minimum 45-foot setback from the north property line.

<sup>4</sup> The Floor Area Ratio includes primary and accessory structures but excludes up to 600 square feet of garage area. Portions of garage floor area over 600 square feet would be included in the FAR calculation.

<sup>5</sup> Or 407 feet NGVD whichever is less.

**d) Architecture**

i) Homes shall be designed in a traditional style compatible with other homes in the immediate neighborhood.

ii) Front Porches

(1) Covered front porches attached to the main structure may come to a point no closer than 12-feet from the front property line, provided that the covered front porch is designed to be an integral part of the home, is open on three sides, has a minimum depth of eight-feet, maintains the required 15-foot side yard, and has a minimum width of 10-feet or covers 50-percent of the width of the wall that it is located along, whichever is greater.

(2) The porch eaves shall project no more than an additional 24 inches into the required front yard setback.

iii) Building Height

(1) For all primary and accessory structures, the building height shall be measured vertically from the lowest ground elevation adjacent to the building to the highest elevation of the building, excluding chimneys.

iv) Floor Area Ratio

(1) The maximum floor area ratio (FAR) for lots 1 through 4 including primary and accessory structures shall be 30 percent.

(2) The floor area ratio shall not include swimming pools/spas and a cumulative garage floor area of less than 600 square feet.

(3) Garage floor area over 600 square feet shall be counted in the lots' floor area ratios. (Note: This is cumulative garage floor area, e.g., the combined floor area for attached and detached garages on these lots.)

v) Building Form

The applicants for the future homes on Parcels One through Four shall provide view studies at the design review stage to demonstrate the proposed design, view impacts, privacy impacts, etc. Various techniques including setbacks, window placement, etc., should be employed in the building design to minimize view disruption and to maximize privacy.

All house designs shall be brought to the Planning Commission for approval. Prior to that, the developer shall consult with neighbors to address their concerns pertaining to privacy/view issues, lower building heights, etc.

- (1) The individual homes shall be designed to achieve an eclectic mix of building forms that compliment the overall common characteristics of the neighborhood.
- (2) Front-yard planter areas and patio/plaza hardscape areas should be used to avoid suburban-type, all grass front yards. Site grading to differentiate building pads from street grade can create opportunities for such landscape features and should be encouraged.
- (3) All buildings – including the main house and accessory structures – should be simple in overall form and configuration. The main structure should generally be rectilinear in form. Square buildings should be avoided. “L” or “U” shaped buildings should be used in lieu of square building forms.
- (4) Building siting should permit major views through to outlying areas and to create varied front-yard street views.
- (5) Secondary roof elements can be shed, gable, or hip, which generally do not extend into the upper quarter of the main roof.

vi) Roofs

(1) Overall Form

- (a) The roof is the most significant element of the building and should be simply shaped and not complicated. The roof is primary in providing clarity to the overall building form. Gable roofs should generally dominate the roof form character.
- (b) Roof Pitch: Roof pitches for the main house and any accessory structures should be a maximum of 6: 12, or minimum 4: 12.
- (c) All roof pitches should be the same except for:
  - (i) Porches that extend from single-story building mass (here the roof pitch shall maintain an absolute 4: 12 minimum)
  - (ii) Reduced pitches near eave lines that do not have secondary elements from them (used only on a limited basis)
  - (iii) Increased pitches on dormers and gable ends.

(2) Roof Penetrations

- (a) Roof penetrations, excluding chimneys, should be minimized, organized, occur primarily at the rear of the house, and be painted the same color as the roof.
- (b) Eave vents for plumbing are encouraged over pipe penetrations through the roof.

- vii) **Building Materials:** The collection of individual buildings on the private drive should look uniform from a distance in terms of building materials. Individual buildings should appear authentic and substantial in their construction. Materials and colors contribute significantly to these characteristics.

Building materials and colors shall blend with the natural landscape. Stone and treated wood are encouraged for exterior surfaces. Where stucco is used it should be colored with a muted earth color. Color contrasts should be used judiciously. The color of the roof materials should also be earth tones and should be non-reflective.

- (1) **Exterior Walls:** Materials, design, and detailing should be carried through to all four sides of the structure.
  - (a) **Materials:** All buildings on each lot should have matching exterior wall materials consisting of either plaster, stucco, wood, stone, or manufactured stone of the highest quality and authenticity.
  - (b) **Changes in Materials:** Exterior walls should generally be the same from the ground to the roof except for treatments around door jambs and windows. A change in material around the base may be permitted as an accent to the overall exterior wall character.
  - (c) **Colors:** Exterior building base colors should consist of warm, medium-light to medium tones of ochre, sand, taupe, gray, beige, and tan. Colors should have a reflectivity value of no greater than 30 percent, as specified by the manufacturer. Trim colors should be compatible with base colors and provide only subtle contrast.
- (2) **Roof Materials:** All of the buildings located on this private drive including accessory structures should have similar roof materials consisting of either slate, authentic manufactured slate, arched tile, or flat concrete tile. Colors should consist of solid medium-warm gray, red and brown tones of a flat, non-reflective nature.
- (3) **Chimneys:** Chimney articulation should be refined similar to door and window opening surrounds. Chimneys may either be constructed of stone, brick, or the same material and color as the exterior walls of the building. Chimneys are encouraged to be located at the ends of buildings, centered on the roof peak.

- (4) Opening Articulation:
- (a) Where provided around openings, expressed lintels, jambs, and sills should either be set flush to the exterior building walls or may consist of embedded trim that may project up to one-half inch for lintels and jambs and one-inch for sills.
  - (b) Windows should fill the entire opening.
  - (c) Articulation around dormer faces and main building entrances can be more elaborate and project from the surface of the exterior walls.
  - (d) Preferred materials for opening articulation are pre-cast concrete, stone, authentic manufactured stone, or wood preferably heavy timber. Carved stone or pre-cast concrete with decorative relief are encouraged at main entrances and dormer faces.
- (5) Porches: Porches are highly encouraged as a way to enjoy life by providing covered places for outdoor living and views towards the private drive and neighbors.
- (a) Porches should be wide enough and long enough to be conveniently usable. Porches should be a minimum of eight by eight feet to accommodate a table, four chairs, and room to circulate. Additional circulation may be less than eight feet wide.
  - (b) Porch roofs should not distract from the simplicity of the building mass.
  - (c) Porches should be integrated into the body of the building mass and contained below the main roof, where possible.
  - (d) Porch roofs can either extend out from the roof eave or extend as a shed roof off of the side of a building.
  - (e) Stone, pre-cast concrete, or heavy timber porch posts with heavy timber rafters and beams are encouraged as porch structure materials.
  - (f) A continuous seat wall at the base of the porch posts is encouraged as a way to define the edge of the porch and provide built-in seating. The seat wall should be of stone, authentic manufactured stone, earth-tone colored concrete, or exterior plaster to match the building.
  - (g) As previously stated, front porches meeting specified design criteria would be able to project into the front yard building setback area.

- (6) Entries: Entrances should be modest in scale.
  - (a) Main entry articulation should be limited to the area around the door.
  - (b) Exterior entry architectural features should not be taller than one story.
  - (c) Emphasis can be given to main entries by a terrace at the ground level.
- (7) Windows: Building walls and roofs should read as substantially solid with the windows appearing as secondary to the building mass.
  - (a) Windows should be rectangular in shape with a vertical ratio of at least three (vertical) over two (horizontal).
  - (b) Single- or double-casement windows are strongly encouraged.
  - (c) Window-glazing should be clear and non-reflective and conforming to Title 24 requirements.
  - (d) Windows should be recessed into the wall surface a distance of not less than one-half of the wall thickness.
  - (e) Vertically-proportioned windows can be ganged side-by-side to create a larger opening for an exceptional view. Trimmed separations between ganged windows shall be eight-inches minimum.
- (8) Dormers in Roofs:
  - (a) Dormers shall be placed on the roof only.
  - (b) Dormer windows should be single, not ganged, windows.
  - (c) Dormer roof material shall be the same as that used on the main roof.
  - (d) Dormer sidewall materials shall match the exterior wall material.

- (9) Skylights: Skylights can detract from the visual dominance of the roof and, therefore, should be used sparingly.
- (a) Skylights should be flat with a thin profile and follow the pitch of the roof. Domed skylights are not permitted.
  - (b) Skylight glazing should be non-reflective.
  - (c) Exposed curbs and flashing should be painted to match the color of the roof.
- (10) The development standards for open structures, e.g., patios, arbors, porte cocheres, etc., would be those outlined under section 18.84.120, Projections into Yards, of the Pleasanton Municipal Code.
- (a) Terraces should be sized in proportion to the room that they serve.
  - (b) Terraces should be within two feet of the surrounding grade.
  - (c) Terrace surface materials should be stone, authentic manufactured stone, or earth-tone colored concrete.
  - (d) Seat walls surrounding the terrace are encouraged as a way to define the edge and to provide built-in seating. The seat-wall material should match the terrace material.
- (11) Mechanical Equipment and Trash Storage Areas: These items should be hidden from street view.



## **e) Development Practices**

### **viii) Urban Stormwater Runoff Measures:**

- (1) The lot developer is responsible for implementing the following measures during all construction phases.
- (2) Gather all construction debris on a regular basis and place it in a dumpster or other container which is emptied or removed on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to storm water runoff pollution.
- (3) Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement and storm drains adjoining the site. Limit construction access routes onto the site and place gravel on them. Do not drive vehicles and equipment off paved or graveled areas during wet weather. Broom sweep the street pavement adjoining the project site on a daily basis. Scrape caked-on mud and dirt from these areas before sweeping.
- (4) Install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site in order to retain any debris or dirt flowing in the storm drain system. Maintain and or replace filter materials to ensure effectiveness and to prevent street flooding.
- (5) Create a contained and covered area on the site for the storage of bags, cement, paints, oils, fertilizers, pesticides, or other materials used on the site that have the potential of being discharged into the storm drain system through being windblown or in the event of a material spill.
- (6) Never clean machinery, equipment, tools, brushes, or rinse containers into a street, gutter, or storm drain.
- (7) Bulk construction materials stored outdoors that may contribute to the pollution of storm water runoff shall be covered as required by the City Engineer and/or the Director of Building Inspection.
- (8) Ensure that concrete/granite supply trucks or concrete/plaster operations do not discharge wash water into street, gutters, or storm drains.

- ix) Construction Hours: All initial lot improvements and house and accessory structure construction activities shall be limited to the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday. All construction equipment must meet Department of Motor Vehicles (DMV) noise standards and shall be equipped with muffling devices.
  
- x) Green Building Practices: The individual lot developer shall utilize "Green Building" practices in constructing the new homes on this site. The lot developer shall use their best efforts to implement the measures identified in the Alameda County Waste Management Authority's New Home Construction Green Building Guidelines in the design, construction, and operation of the proposed homes. Before issuance of building permits, the project/lot developer shall submit to City staff the green building provisions that would be incorporated into the proposed project's construction. The lot developer shall then meet with City staff to review these provisions. If, following this review, it appears that there are other feasible and mutually agreeable green building measures that can be incorporated into the project, the lot developer shall modify the project accordingly. Before issuance of a building permit, the green building measures shall be explicitly called out on a separate sheet of the building permit plan set and shall be subject to review and approval by the Planning Director.
  
- xi) Construction/Demolition Waste: The lot developer shall submit a waste management plan to the Building and Safety Division prior to issuance of building or demolition permits. The plan shall include the estimated composition and quantities of waste to be generated and how the project developer intends to recycle at least 50-percent of the total job site construction and demolition waste measured by weight or volume. Proof of compliance shall be provided to the Director of Building Safety prior to the issuance of a final building permit. During demolition and construction, the lot developer shall mark all trash disposal bins "trash materials only" and all recycling bins "recycling materials only". The lot developer shall contact Pleasanton Garbage Service for the disposal of all waste from the site.

## **f) Landscape Design Guidelines**

The following landscape design guidelines are intended for use in the development of landscape improvements for individual residential lots, streetscape, and open space areas. These guidelines are to complement the Architectural Design Guidelines. Together they establish a comprehensive approach to neighborhood design and quality. They are proposed to enhance the connection of the overall development located on this private drive to the other, nearby projects in the North Sycamore Specific Plan area.

Plant materials shall be chosen which will not obstruct desired views at mature height.

Trees and shrubs shall be used to frame views and visually soften the hard edges and structural underpinnings of buildings, where visible.

On sloping sites, use landscaping to screen views of the downhill side of decks, retaining walls, and pier foundations of buildings from streets and residences.

### **i) Primary Goals:**

- (1) To achieve landscape designs and treatments which complement and accentuate the architectural character of the buildings on this private drive.**
- (2) To use landscape elements to create unique neighborhood character within the private drive area.**
- (3) To establish a high level of design quality in terms of landscape materials and details of construction.**

## **ii) Landscape Design Guidelines**

### **(1) Residential Lot Tree Planting**

- (a) Planting within individual residential lots and yards should generally be informal rather than formal in arrangement.
- (b) Residential tree plantings should reinforce and support the structural character of the development. They should reinforce the architectural elements of the site's structure, be used to create outdoor living space, utilized to frame desired views, to screen unwanted views, and to provide privacy.
- (c) Individual trees and tree clusters should be selected to mitigate local microclimate conditions, including the provision of summer shade, and seasonal wind protection.
- (d) Flowering and fruiting trees are encouraged, as are trees that are native to the North Sycamore Specific Area and/or adapted to a Mediterranean climate. Orchard type planting patterns are encouraged in some rear and/or side yard areas.
- (e) Residential trees should be a minimum 15-gallon size with at least 50-percent of the trees being a minimum of 24-inch box-size.

(2) Other Residential Lot Plantings

- (a) Plant materials should be complementary to the North Sycamore Specific Plan setting. Native plants or plants adapted to Mediterranean-like climates are encouraged.
- (b) Plantings should be relatively simple in arrangement and character. The massing of shrub and perennial plantings is encouraged.
- (c) Lawn plantings should be carefully used to play a specific functional or visual role. No more than 40 percent of the entire front yard landscape area should be lawn planting.
- (d) Flowering or plantings in pots and/or containers are encouraged. Potted plants should be used to soften large paved areas, to create accents at building entries, and to transition between built and landscaped areas. Pots should be properly scaled, and complimentary to the style, color, and materials used in the building architecture.

(3) Landscape Details and Materials:

(a) Pavement

- (i) Pavement materials should be appropriate to the intended use, selected for a durability and appearance, and be consistent with building architectural style and character.
- (ii) Recommended pavement materials for heavy outdoor use areas include simply patterned concrete with integral color, stone pavers or flatwork, and modular concrete pavers.
- (iii) Decorative pavements near building entries and in outdoor living spaces are recommended to include tile or terra cotta pavers suitable for outdoor use and exposure.
- (iv) Pool area decks should be integral color concrete or stone.

(b) Walls and Fences:

- (i) Walls and fences should complement the building architectural style and character both in materials and design. Where possible, they should appear as an extension of the building elements into the landscape.
- (ii) Wall and fencing materials should include wood, stone or manufactured stone, decorative iron, stucco, or exterior plaster over concrete masonry units. Where stone or manufactured stone is used, the stone shall turn building comers and cover wall surfaces. When stone veneer surfaces are used, the stone shall turn building comers and cover wall surfaces visible from the street.
- (iii) Area separations may also be achieved by the use of hedges or vines on a supporting structure.
- (iv) Solid fences and walls are not permitted in the front yard areas of these lots. Open fences; open rail, wrought-iron style, picket-style, etc., fence designs up to a height of 42-inches measured from finished grade are permitted. An open fence is defined as a fence where at least 33-percent of the fence area is open to view.
- (v) Solid fences may be used between individual rear yards on the side property line. Use of vines and/or hedges is also recommended to soften solid fences along property boundaries and to provide additional privacy.
- (vi) Wall and fence heights shall be six feet allowed by right, eight feet with approval by the Planning Director subject to an application for design review approval.

(c) Outdoor Structures

- (i) Outdoor structures shall be designed and located to complement the primary buildings, define outdoor use areas, and enhance architectural massing.
- (ii) Structures may include, but not be limited to, low walls, pilasters, trellises, arbors, gazebos, utility buildings, equipment enclosures and screens, outdoor pavilions, fireplaces/barbeques, fountains, etc.
- (iii) The materials and detailing used for outdoor structures shall be complimentary to and consistent with those used in the residential building architecture.
- (iv) Blank walls of outdoor structures and enclosures shall be screened or softened by the planting of shrubs or vines.

(d) Exterior Lighting

- (i) Exterior lighting should be used judiciously to complement building and landscape character, provide for night time safety and security, and enhance outdoor living opportunities. In keeping with the semi-rural character of the Specific Plan area, ambient light levels should be kept as low as possible.
- (ii) Lighting fixtures shall be integral to building and/or outdoor structure designs and complement building character and style in material and detail.
- (iii) Lighting should be subtle rather than ostentatious, and care should be exercised in the selection and aiming of fixtures to minimize glare and to prevent light over spill into neighboring residences, streets, or outdoor use areas. The development's overall lighting designs should minimize the visibility of light sources and overall light levels as seen from adjacent hillside areas.
- (iv) Front yard lighting should be limited to low level fixtures that provide for pedestrian comfort and safety. Bright decorative lighting to wash or illuminate building elements, landscape plantings, or outdoor structures should not be placed where it is visible from the public street/turn around or neighboring residential living areas.

## **g) Storm Water Management Requirements**

- i) Property water run-off will be pre-treated prior to entering the storm drain system. A series of landscaped swales shall be constructed along the western edge of the parcels. The major swale running north-south is shown on the preliminary grading plan. As the main swale meets the creek channel, an additional swale, or swales may branch off to distribute the run-off more evenly into the creek channel. Additionally, any fill areas where the original ground surface is steeper than 6:1 will include a keyhole subdrain.

## **h) Creek Restoration and Special Setbacks**

For Parcel Two and Parcel Three, there shall be a minimum 10-foot setback from the top-edge of the bank of Sycamore Creek or a 25-foot setback from the centerline of the creek, whichever is greater. The minimum side-yard setbacks shall be measured from the edge of Sycamore Terrace.

A final channel landscaping design shall result from a coordinated effort between a consulting biologist and design engineer with city approval. An effort shall be made to include:

- 4 A grass-lined channel with a bottom width of 4 ft.
- 5 8 ft. of natural bank slope per side bank.
- 6 5 ft. of additional landscaping of native variety vegetation to promote the potential for riparian habitat.



### **3) STREET IMPROVEMENTS**

#### **a) Emergency Vehicle Access**

- i) As per recommendation by Eric Carlson, Fire Marshall, Livermore-Pleasanton Fire Department, the driveway of parcel number four will abut the current fire apparatus turnaround at the north end of Sycamore Terrace at a minimum width and depth of 20 feet.

#### **b) Pedestrian Trail**

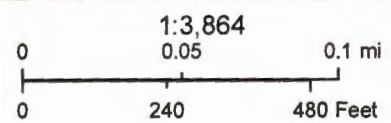
As required by the NSSP, a pedestrian trail connecting Sycamore Terrace to San Carlos Way will be installed as part of the four-lot development. As shown on the preliminary grading plan, the trail will exist along the eastern edge of proposed parcel number four and connect San Carlos at the northern edge of the parcel. The trail will be city standard concrete sidewalk. A set of concrete stair steps will be constructed to facilitate the connection over the 6' elevation drop from the northern edge of proposed parcel number four and the southern edge of San Carlos Way.

Date: 11/22/2004

Subject: Bach Parcel PUD Development Standards Concessions/Compromises

In response to various privacy/view concerns from immediate neighbors, the following changes should be implemented to the originally submitted PUD Development Standards:

1. Lot # 4:
  - a. The home shall be rectangular in overall shape, and the front of the home shall face the South-South East. This will ensure that none of the windows in the proposed home are parallel to any side of the Ferreira home.
  - b. Minimum setback from Northern property line: 45 feet.
  - c. Maximum home ridge height: 27 feet.
  - d. Maximum Class I accessory structure height: 15 feet.
  - e. Minimum Class I accessory structure setback: 45 feet.
2. Lot # 3:
  - a. Maximum home ridge height: 407 feet above mean sea level.
3. Pedestrian Pathway:
  - a. A solid wall privacy fence may be constructed along the east side of the pedestrian pathway.



P16-0916, 6047 Sycamore Terrace, Greg Munn