

July 19, 2017

Mr. Adam Weinstein
Planning Manager
City of Pleasanton
200 Old Bernal Avenue
Pleasanton, CA 94566

Re: *Staples Ranch – Pleasanton Dealership – Chrysler Dodge Jeep, Pleasanton, California*

Dear Adam:

Per your request in addition to submittal of the PUD drawings for the additional 201 display vehicles spaces that will be on the south of the existing Chrysler Dodge Jeep dealership. We also included a site plan showing the whole site with the addition of proposed plan for future development of the adjacent dealership. These additional 201 parking spaces will serve the existing dealership until the future dealership on Lot 2 is constructed which at that point the two dealerships will separate the parking spaces. The last two rows on the South side of the additional parking will serve the future development of the dealership. There will be a total of 71 out of 201 parking spaces given to the new development. However, at any given time in the future, if the new dealership requires additional parking, Chrysler will do anything to accommodate their need and will give back as many parking to meet their requirements.

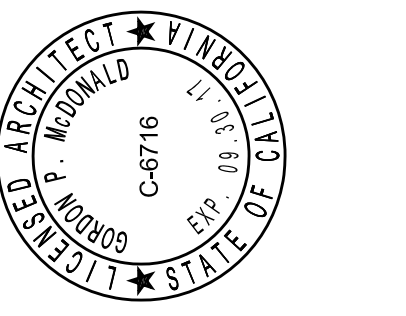
The proposed building on Lot 2 shown on this site plan is approximately 14,200 square feet with service department of 4,200 SF and a 2-story showroom/office of 10,000 SF. The dealership on Lot 2 will have its own 17 visitor parking stalls and 18 employee stalls while the remaining display parking stalls will be added to the total parking as mentioned above. There will be a total of 200 parking for the proposed future dealership which includes 17 visitor parking, 18 employee parking, 71 parking from the additional parking by Chrysler and remaining of 94 display/service parking. For your reference, we have included a proposed site plan design with the location of the building, parking stalls and potential circulation strategy.

With a slight modification to landscape, we are now proposing to extend the shrubs on Stoneridge drive around the parameter to match the more dense area. Chrysler has hired a new landscape maintenance team to provide better care for the existing and new landscape and has arranged to closely monitor the irrigation time and date.

Best regards,
Mathew Zaheri



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PLANNING PERMIT FOR:

PLEASANTON CHRYSLER DODGE JEEP PERMANENT PARKING & LANDSCAPING

2700 STONERIDGE DRIVE PLEASANTON, CA

ABBREVIATIONS

AB ANCHOR BOLT	JAN. JANITOR
AC ASPHALT CONCRETE	JT. JOINT
AD AREA DRAIN	KE KICK PLATE
ADJ. ADJACENT	KIT. KITCHEN
AFF. ABOVE FINISH FLOOR	LAV. LAVATORY
ALUM. ALUMINUM	LB LAG BOLT
ALT. ALTERNATE	LB FOUND.
ARCH. ARCHITECT/ARCHITECTURAL	LF LINEAR FOOT
AVG. AVERAGE	LL LIVE LOAD
AWC ACOUSTICAL WALL COVERING	LS LAG SCREW
	LVL LAMINATED VENEER LUMBER
BD. BOARD	MAX. MAXIMUM
BLDG. BUILDING	MB MACHINE BOLT
BLKG. BLOCKING	MCH. MECHANICAL
BRZ. BRONZE	MFD. MANUFACTURED
BTM. BOTTOM	MFR. MANUFACTURER
BTWN. BETWEEN	MICRO. MICROVAPE
BUR. BUILT UP ROOFING	MIN. MINIMUM
BW BOTH WAYS	MISC. MISCELLANEOUS
	MTD. MOUNTED
CB CATCH BASIN	MTL. METAL
CF CUBIC FEET	[N] NEW
CG CORNER GUARD	NIC NOT IN CONTRACT
CJ CONTROL JOINT	NA NOT APPLICABLE
CLKG. CAULKING	NTS NOT TO SCALE
CLG. CEILING	O/ OVER
CLF. CLEAR	OC ON CENTER
CMU CONCRETE MASONRY UNIT	OH OVERHEAD
CO. CLEANOUT	OPNG. OPENING
COIG. CLEANOUT TO GRADE	
COL. COLUMN	PL. PLATE
CONC. CONCRETE	PLF POUNDS PER LINEAL FOOT
CONT. CONTINUOUS	PLAM. PLASTIC LAMINATE
CPT. CARPET	PLYWD. PLYWOOD
CT CERAMIC TILE	PSF POUNDS PER SQUARE FOOT
CTR. CENTER	PSI POUNDS PER SQUARE INCH
CW COLD WATER	PT PRESSURE TREATED
	PVC. POLYVINYLCHLORIDE
	PVMT. PAVEMENT
DBL. DOUBLE	RA RETURN AIR
DEPT. DEPARTMENT	RAD. RETURN AIR
DF. DIFFUSION BOLT	RB RUBBER BASE
DIA. DIAMETER	RCP REFLECTED CEILING PLAN
DIAG. DIAGONAL	RD ROOF DRAIN
DM. DIMENSION	RWD. REDWOOD
DISP. DISPENSER	REF. REFERENCE
DL DEAD LOAD	REFR. REFRIGERATOR
DN. DOWN	REG. REGISTER
DR. DOOR	REQD. REQUIRED
DWG. DRAWING	REV. REVISION
DW DISHWASHER	ROOM ROOM
	ROUJN OPENING
	RWL RAINWATER LEADER
(E) EXISTING	SCHED. SCHEDULE
EA EACH	SD STORM DRAIN
EBS EXPANSION BOLT	SEC. SECTION
EFS EXTERIOR INSULATION FINISH SYSTEM	S.E.D. SEE ELECTRICAL DRAWINGS
EJ EXPANSION JOINT	SF SQUARE FOOT
ELEC. ELECTRIC/ELECTRICAL	S.F.S.D. SEE FOOD SERVICE DRAWINGS
ELEV. ELEVATOR/ELEVATION	SHTG. SHEATHING
EN. EDGE NAILING	SHWR. SHOWER
ENCL. ENCLOSURE	SIM. SIMILAR
EP ELECTRICAL PANEL	S.M.D. SEE MECHANICAL DRAWINGS
EQUIP. EQUIPMENT	SPEC. SPECIFICATION
EXT. EXTERIOR	S.P.D. SEE PLUMBING DRAWINGS
FA FIRE ALARM	S.S.D. SEE STRUCTURAL DRAWINGS
FD FLOOR DRAIN	S.S. STAINLESS STEEL
FDC FIRE DEPARTMENT CONNECTION	S.S. SOLID SURFACE
FE FIRE EXTINGUISHER	S.T.C. SOUND TRANSMISSION COEFFICIENT
FEC FIRE EXTINGUISHER CABINET	STD. STANDARD
FF FINISH FLOOR	STL. STEEL
FH FIRE HYDRANT	STRUC. STRUCTURAL
FHC FIRE HOSE CABINET	SUSP. SUSPENDED
FN. FINISH	SYSTEM SYSTEM
FL FLOW LINE	T. TEMPERED
FLSHG. FLASHING	TEL. TELEPHONE
FLR. FLOOR	T.O.C. TOP OF CURB
FLUOR. FLUORESCENT	T&G TONGUE & GROOVE
FOC FACE OF CONCRETE	TS TUBE STEEL
FOF FACE OF STUD	T.V. TELEVISION
FW FACE OF WALL	TYP. TYPICAL
FRP FIBERGLASS REINFORCED PLASTIC	U.O.N. UNLESS OTHERWISE NOTED
FRMG. FRAMING	VCT VINYL COMPOSITION TILE
FT FOOT	VENT. VENTILATION/VENTILATOR
FTG. FOOTING	VERT. VERTICAL
	V.I.F. VESTIBULE
GA. GAUGE	W/ WITH
GALV. GALVANIZED	WC WATER CLOSET
GC GENERAL CONTRACTOR	WD. WOOD
GLB GLUE LAMINATED BEAM	WH WATER HEATER
GRDR. GIRDER	WV WIND
GSM GALVANIZED SHEET METAL	W/O WITHOUT
GWB GYPSUM WALL BOARD	WF WATERPROOF
	WSCOT. WAJNSCOT
	WT. WEIGHT
HB HOSE BIBB	WWF WELDED WIRE FABRIC
HD HOLDDOWN	
HDR. HEADER	
HGR. HANGER	
HM. HOLLOW METAL	
HORIZ. HORIZONTAL	
HR. HOUR	
HT. HEIGHT	
HVAC HEATING/VENTILATING/AIR CONDITIONING	
HW HOT WATER	
IN. INCH/INCHES	
INFO. INFORMATION	
INSUL. INSULATION	
INT. INTERIOR	

DEMOLITION NOTES

- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- PROVIDE AN MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER.
- REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
- REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, UNLESS OTHERWISE NOTED.
- REMOVE EXISTING FLOOR FINISHES AND PREPARE SUB-FLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
- SCOPE OF DEMOLITION INDICATED IS TO BE IN ITS ENTIRETY UNLESS NOTED OTHERWISE.

GENERAL CONTRACTOR NOTES

- MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DEGRADATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK
- VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OF THESE PLANS AND SPECIFICATIONS
- MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF HIS OPERATIONS
- NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED & ACTED UPON BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE W/ THE REVIEWED SHOP DRAWINGS & SAMPLES
- CONFINED OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT
- IF AN ERROR APPEAR IN THE NOTES, SPECIFICATIONS, OR DRAWINGS, OR IN WORK DONE BY OTHERS, AFFECTING THIS WORK, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTIONS AS TO PROCEDURE. IF CONTRACTOR PROCEEDS W/ WORK AFFECTED WITHOUT INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT
- SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS HE SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE ARCHITECT AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED
- PATCHING, REPAIRING AND REPLACING OF MATERIAL SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE W/ APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES
- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/ NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFIED BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & HIS DESIGN/ CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECTS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM AT THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THIS AGREEMENT.

FIRE DEPARTMENT NOTES

- APPROVED ADDRESS NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM STREET FRONTAGE & SHALL CONTRAST W/ THEIR BACKGROUND
- PROVIDE AN EMERGENCY TELEPHONE ON THE JOB PRIOR TO ANY CONSTRUCTION
- A MINIMUM NUMBER SETS OF DRAWINGS APPROVED BY THE CITY FIRE DEPARTMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK
- A MINIMUM NUMBER SETS OF DRAWINGS APPROVED BY THE CITY FIRE DEPARTMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK
- KNOX BOX IS RECOMMENDED FOR BUILDINGS & REQUIRED FOR ALL FIRE DEPARTMENT ACCESS GATES. CONTACT LOCAL FIRE DEPARTMENT FOR ADDITIONAL INFORMATION
- FIRE DEPARTMENT ACCESS ROADWAYS SHALL BE MAINTAINED CLEAR & UNOBSTRUCTED. PROVIDE PROPER FIRE LANE SIGNAGE & CURB STRIPING PER THE VEHICLE CODE SECTION 22500.1. CONTACT THE FIRE DEPARTMENT FOR FIRE LANE PROGRAM GUIDELINES
- NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USE WITHIN THE BUILDING, WHICH WILL EXCEED THE QUANTITIES LISTED IN CBC TABLES 3-D & 3-E

CONSULTANTS

OWNER
PLEASANTON CHRYSLER JEEP DODGE
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4100 STEVENS CREEK BLVD.
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111 W. ST. JOHN ST. STE 950
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CIVIL
RJA
CONTACT: DOMINIC CARLUCCI
4690 CHABOT DRIVE, SUITE 200
PLEASANTON, CA 94588

SCOPE OF WORK

- PROVIDE PERMANENT PARKING LOT FOR INVENTORY AND DISPLAY CARS FOR DEALERSHIP
- PROVIDE LANDSCAPING TO MATCH (E) LANDSCAPE ALONG AUTO MALL RD.

DRAWING INDEX

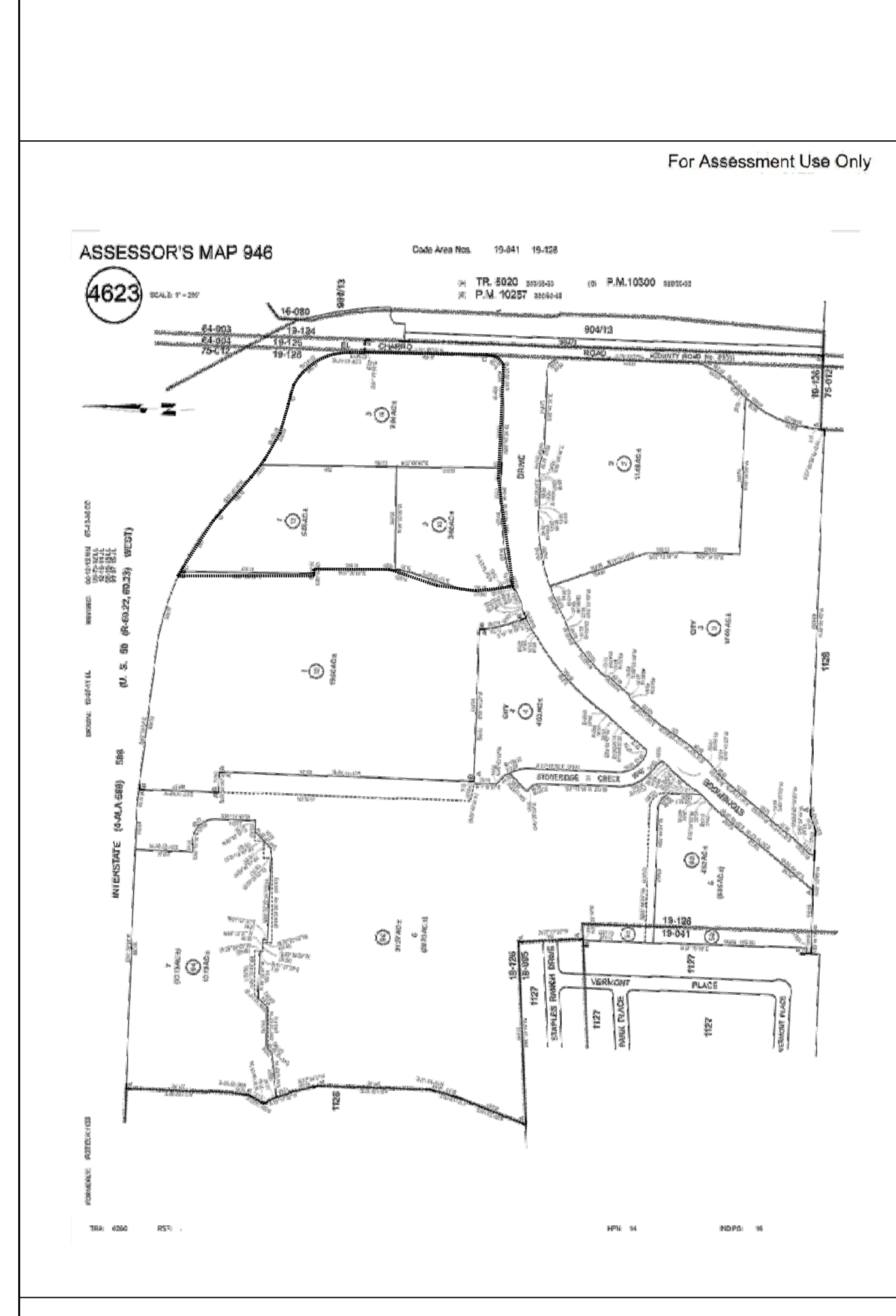
ARCHITECTURAL
A0.1 COVER SHEET & GENERAL NOTES
A0.2 OVERALL SITE PLAN
A0.3 ENLARGED PARKING PLAN
A0.4 EMERGENCY VEHICLE PLAN
L0.1 ENLARGED LANDSCAPE PLAN
L0.2 LANDSCAPING DETAILS & SCHEDULE

CIVIL
C0.0 COVER SHEET
C0.1 EXISTING CONDITIONS PLAN
C1.0 PRELIMINARY SITE PLAN
C2.0 PRELIMINARY GRADING AND DRAINAGE PLAN
C3.0 PRELIMINARY UTILITY PLAN
C4.0 PRELIMINARY STORMWATER TREATMENT PLAN
C5.0 PRELIMINARY FIRE TURNING PLAN

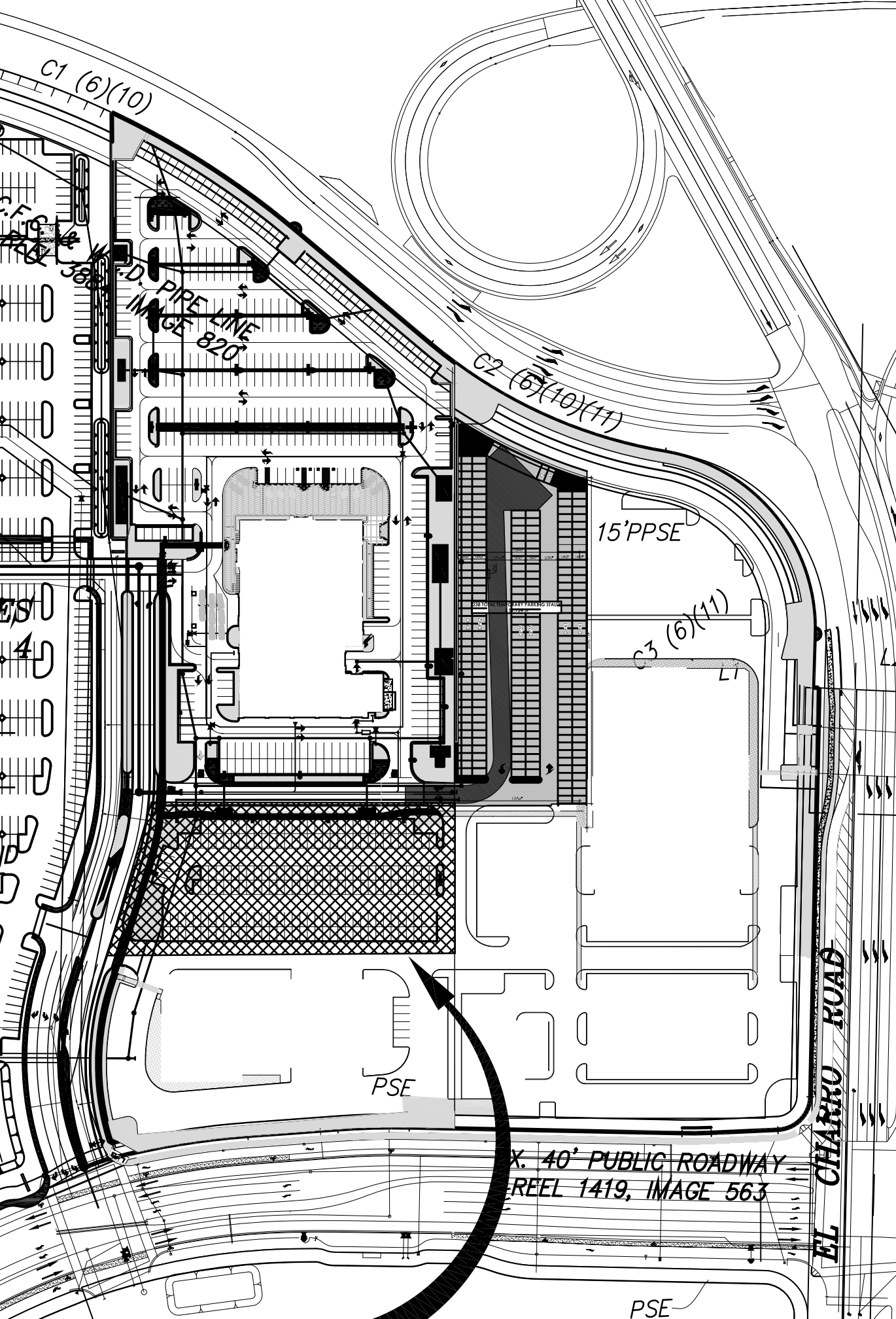
PROJECT DATA

APN 946-4623-12
EXISTING BUILDING AREA 59,138 S.F.
PROVIDED SITE PARKING 202 PERMANENT SPACES
238 TEMPORARY SPACES
CODES USED 2013;
C.B.C., C.P.C., C.M.C., C.E.C., C.F.C., CALIFORNIA ENERGY CODE, CAL GREEN BUILDING STANDARDS CODE, HANDICAPPED ACCESSIBILITY REGULATIONS, AND ADOPTED CODES

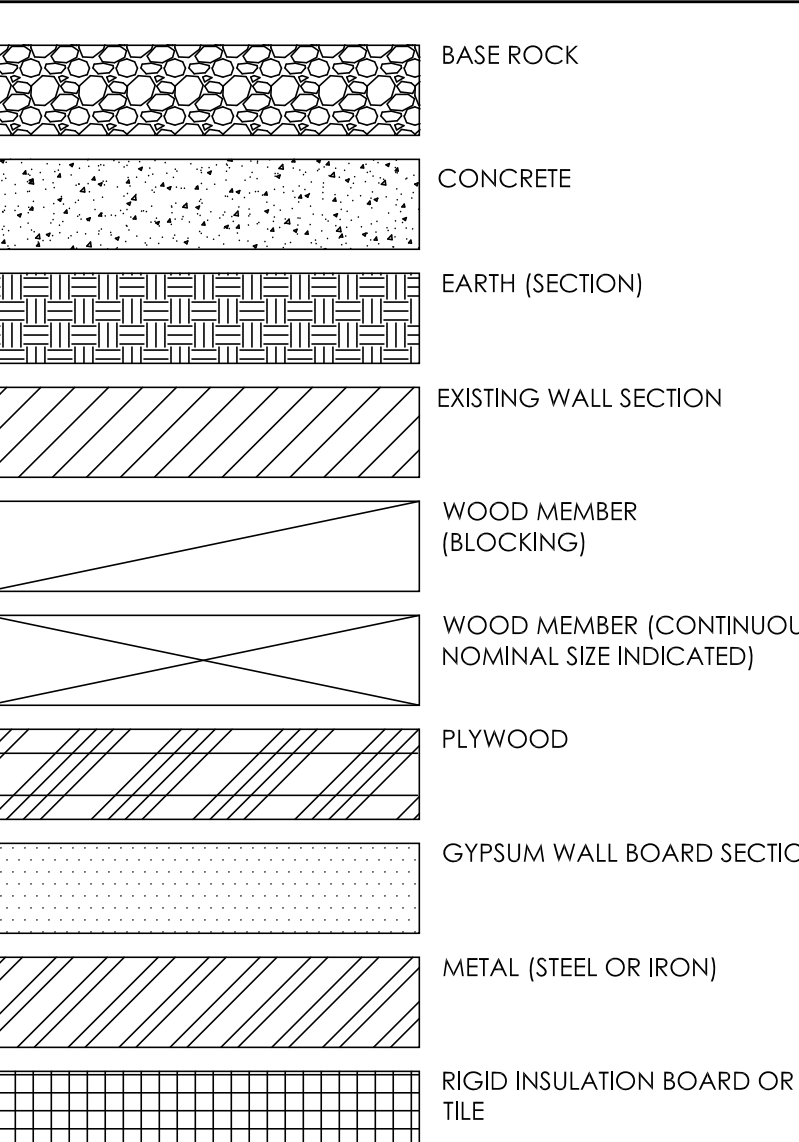
ASSESSOR'S MAP



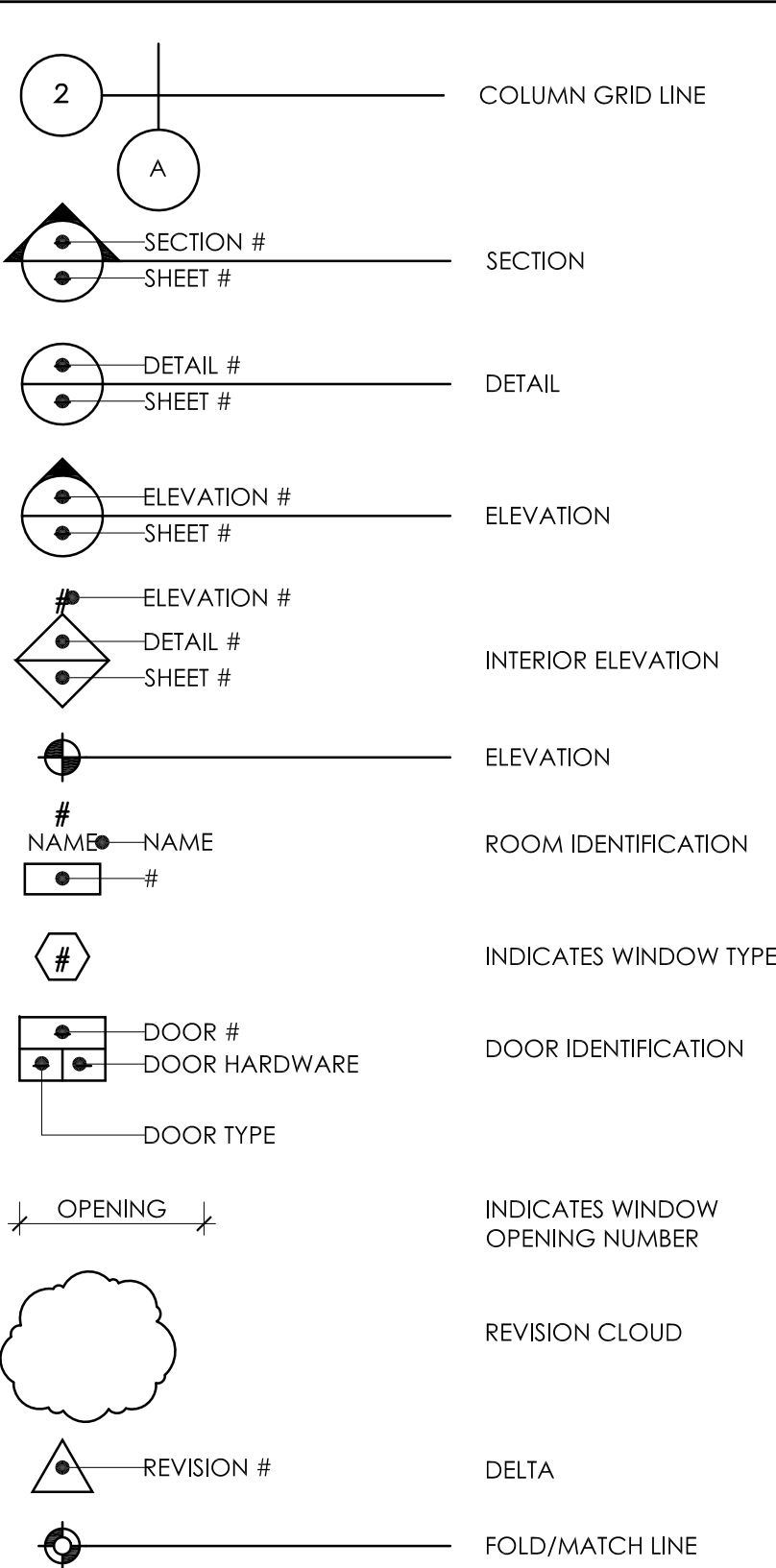
VICINITY MAP



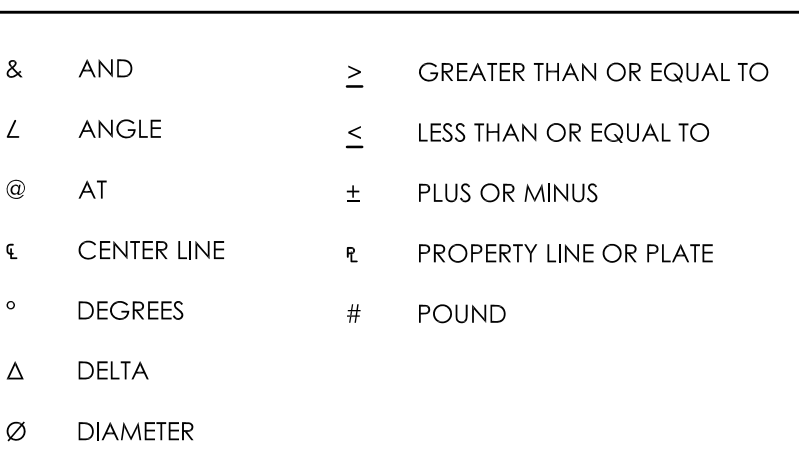
MATERIAL SYMBOLS



DRAWING SYMBOLS



SYMBOLS



PERMANENT PARKING & LANDSCAPING
PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
2700 STONERIDGE DRIVE PLEASANTON, CALIFORNIA

REVISIONS

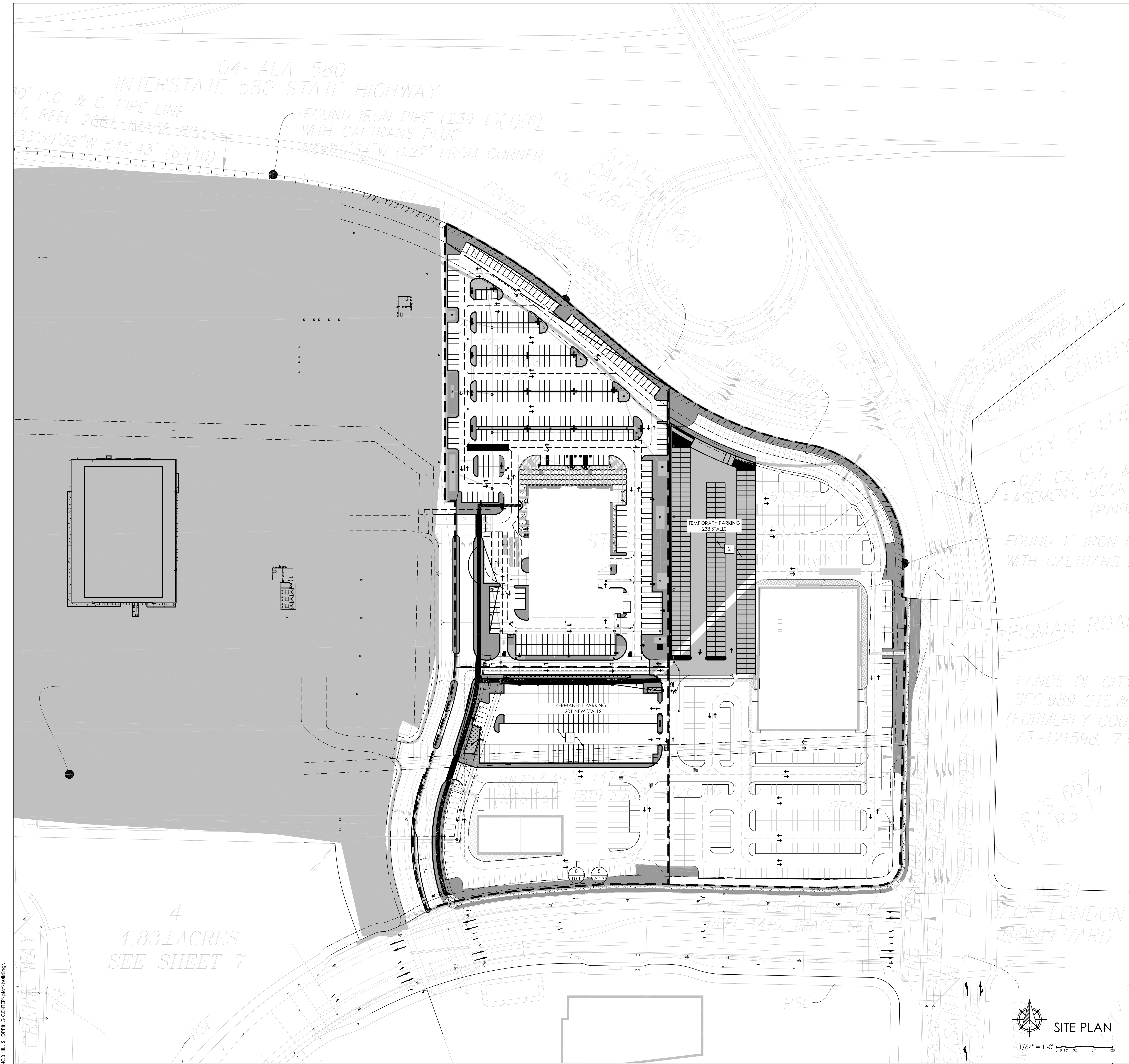
PLANNING SUBMITAL	09.01.16
PLANNING REVISIONS	07.17.17

COVER SHEET

Date	09.01.16
Scale	AS SHOWN
Drawn	AA
Job	1328-1
Sheet	

A0.1

SITE PLOTTED

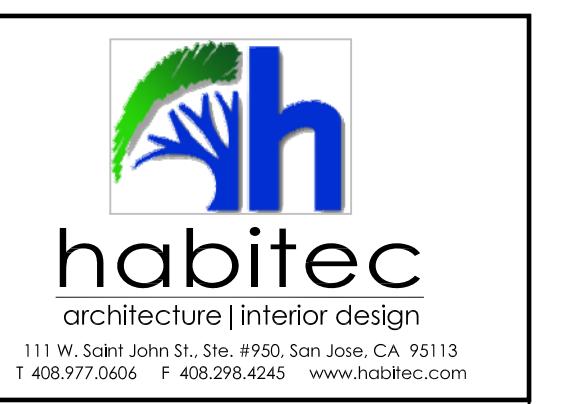


LEGEND

--- PROPERTY LINE

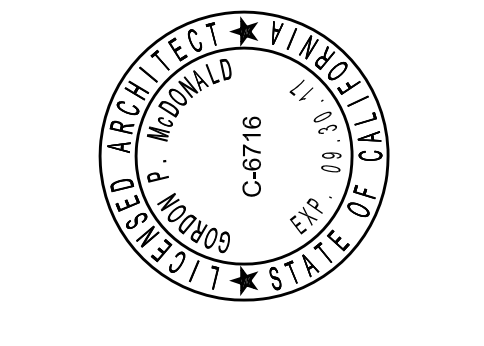
SHEET NOTES

- 1 NEW PERMANENT PARKING
- 2 TEMPORARY PARKING



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PERMANENT PARKING & LANDSCAPING
PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
 2700 STONERIDGE DRIVE PLEASANTON, CALIFORNIA

REVISIONS

PLANNING SUBMITAL	09.01.16
PLANNING REVISIONS	07.17.17

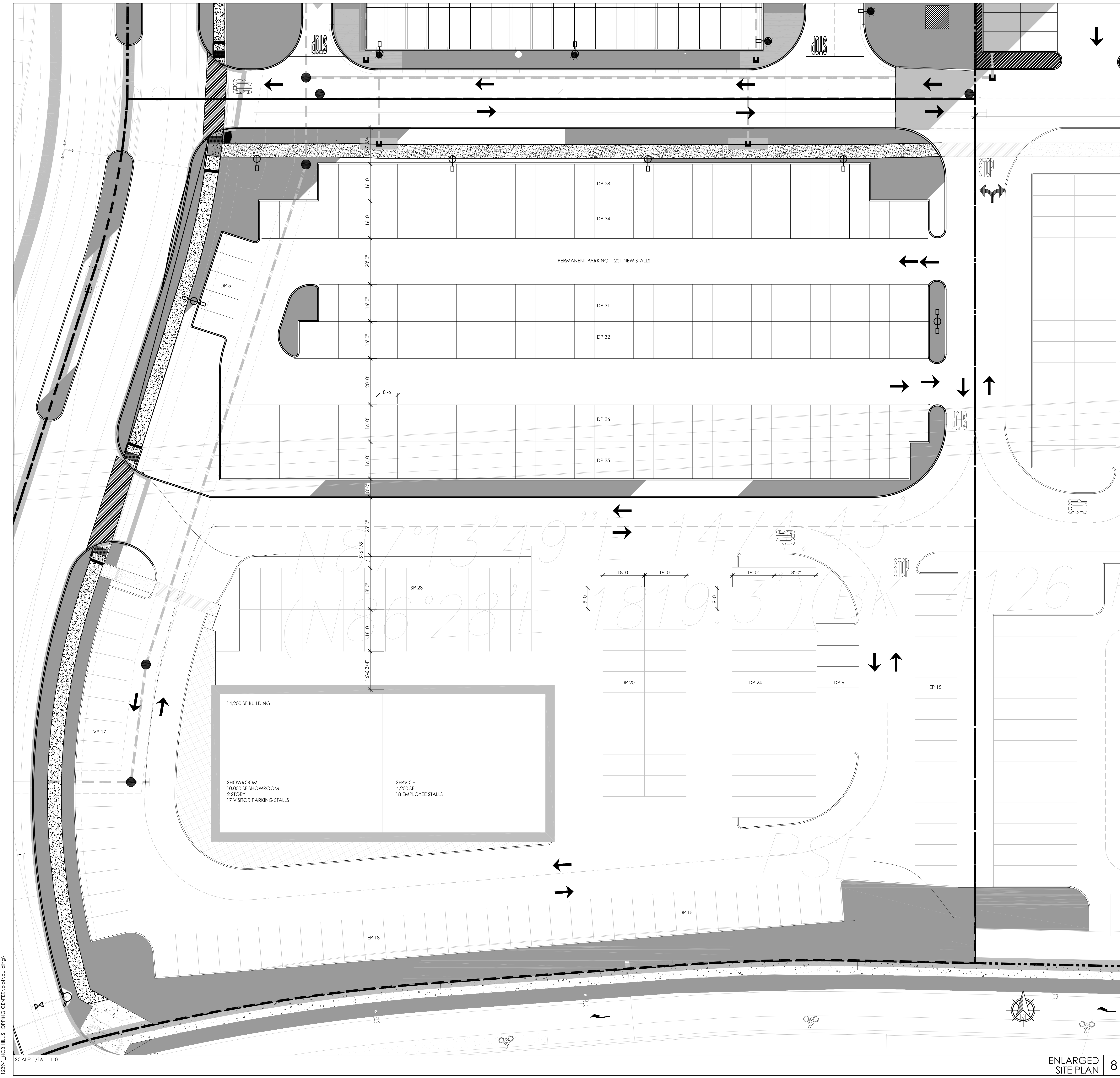
SITE PLAN

Date	09.01.16
Scale	
Drawn	
Job	1328-1
Sheet	

A0.2 SITE PLOTTED

SITE PLAN
 1/64" = 1'-0"

1239_L108 HILL SHOPPING CENTER (part building)



LEGEND

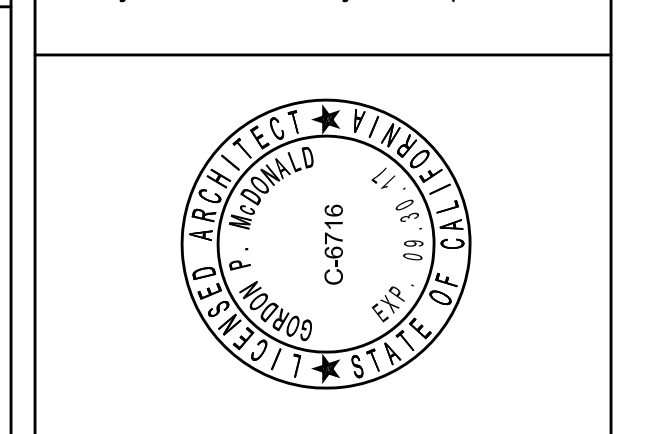
--- PROPERTY LINE

SHEET NOTES

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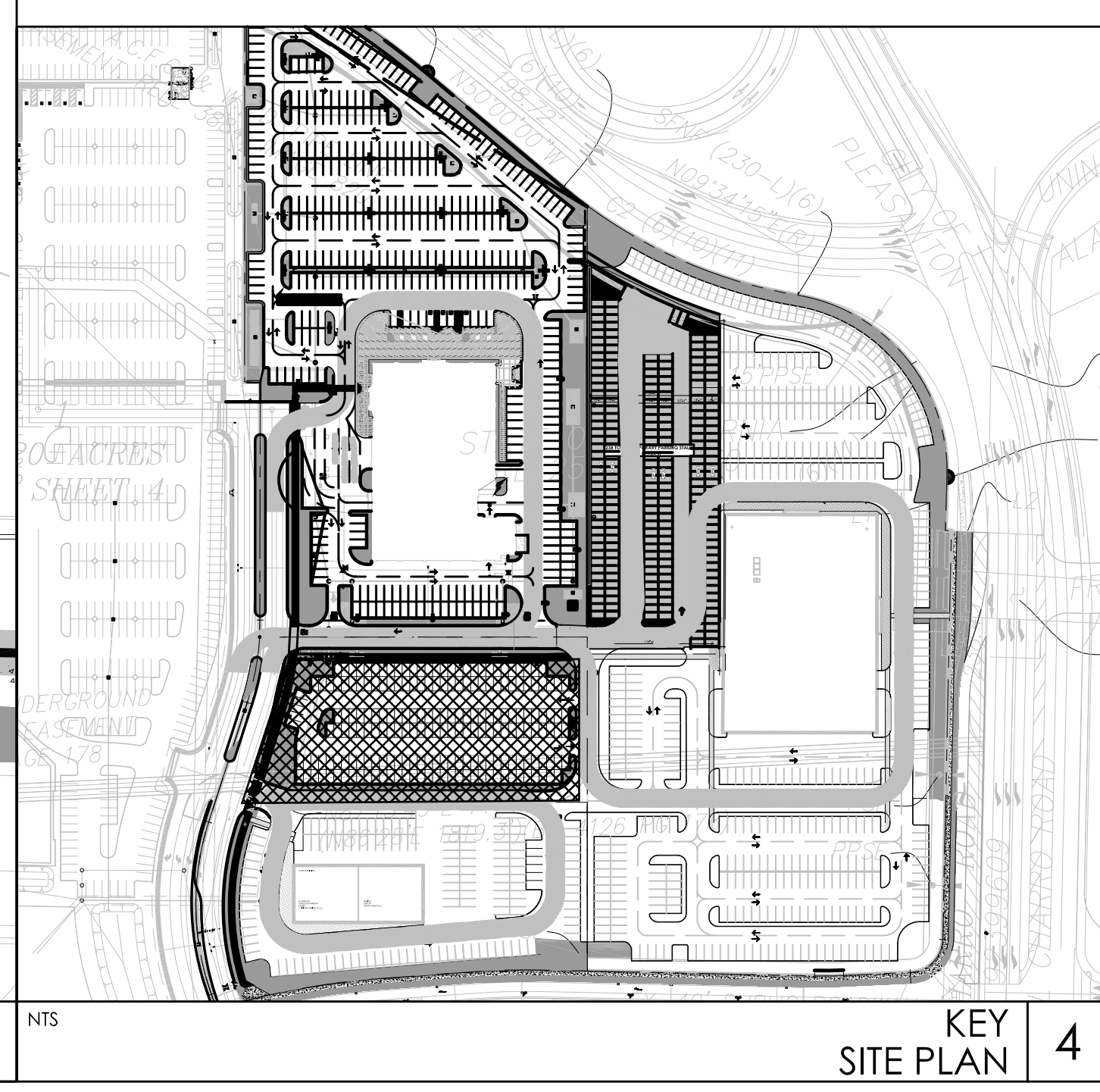
PERMANENT PARKING & LANDSCAPING
PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
 2700 STONERIDGE DRIVE PLEASANTON, CALIFORNIA

REVISIONS

PLANNING SUBMITTAL	09.01.16
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SITE PLAN

Date	09.01.16
Scale	
Drawn	
Job	1328-1
Sheet	



1239_L108 HILL SHOPPING CENTER (part building)

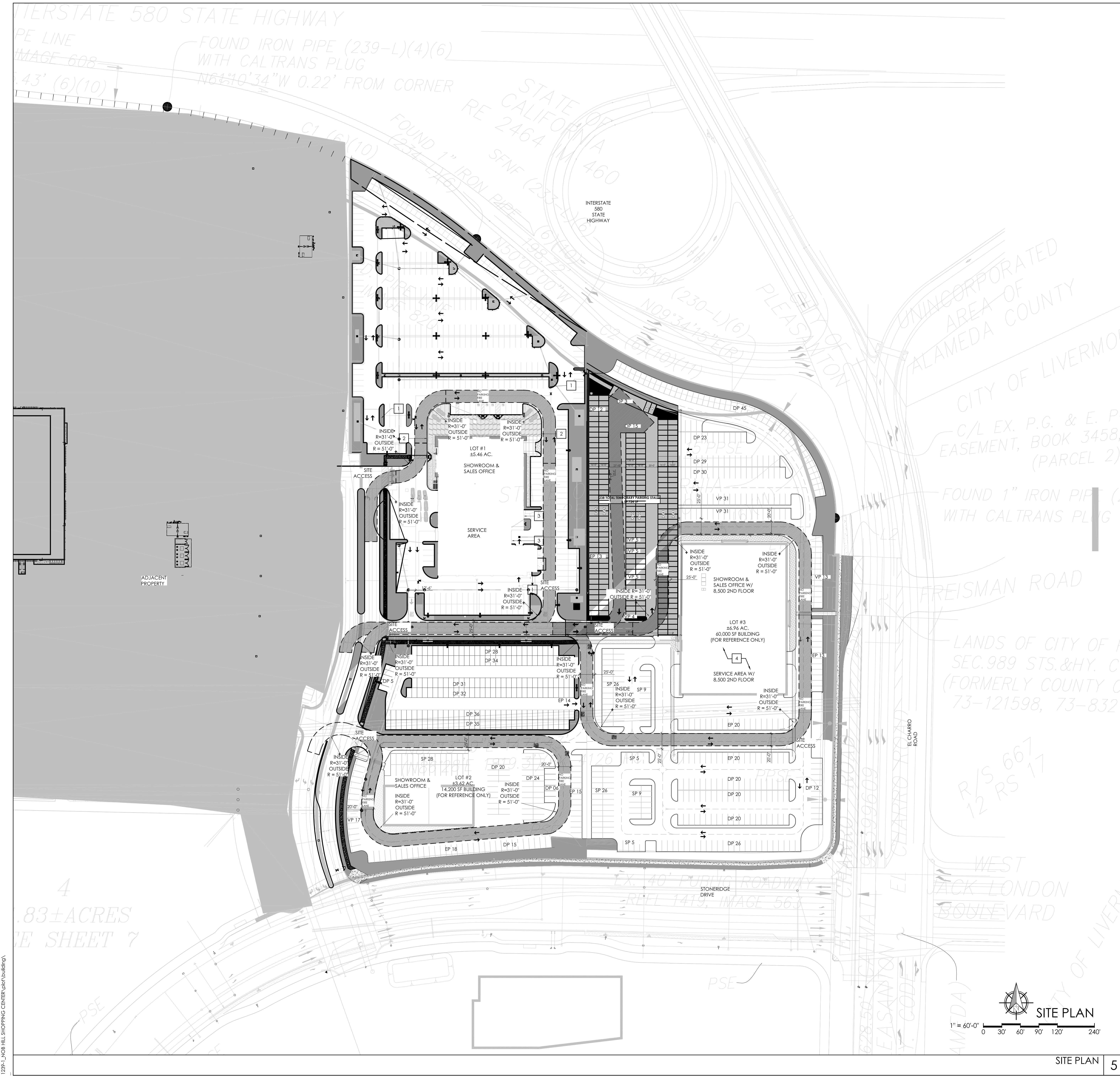
SCALE: 1/16" = 1'-0"

ENLARGED SITE PLAN 8

KEY SITE PLAN 4

A0.3

SITE PLOTTED



LEGEND

- LP SPECIAL
- PHASE I LANDSCAPE
- PHASE I PAVED WALK WAY
- PHASE I CONCRETE WALK WAY
- PAVED WALK WAY NOT IN PHASE I SCOPE OF WORK
- CONCRETE WALK WAY NOT IN PHASE I SCOPE OF WORK
- LANDSCAPE NOT IN PHASE I SCOPE OF WORK

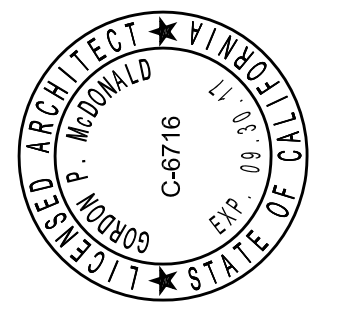
KEYNOTE

- 1 FIRE HYDRANT LOCATION
- 2 PROVIDE RED CURB STRIPING AND SIGN IN ACCORDANCE WITH FIRE DEPARTMENT REQUIREMENTS
- 3 PROVIDE KNOX BOX IN ACCORDANCE TO LOCAL FIRE DEPARTMENT ORDINANCE



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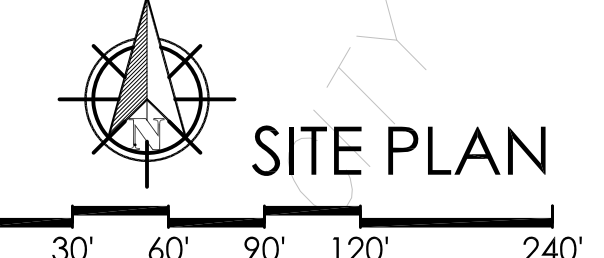
PERMANENT PARKING & LANDSCAPING
PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
 2700 STONERIDGE DRIVE PLEASANTON, CALIFORNIA

REVISIONS

PLANNING SUBMITTAL	09.01.16
PLANNING REVISIONS	07.17.17

EMERGENCY VEHICLE EXHIBIT

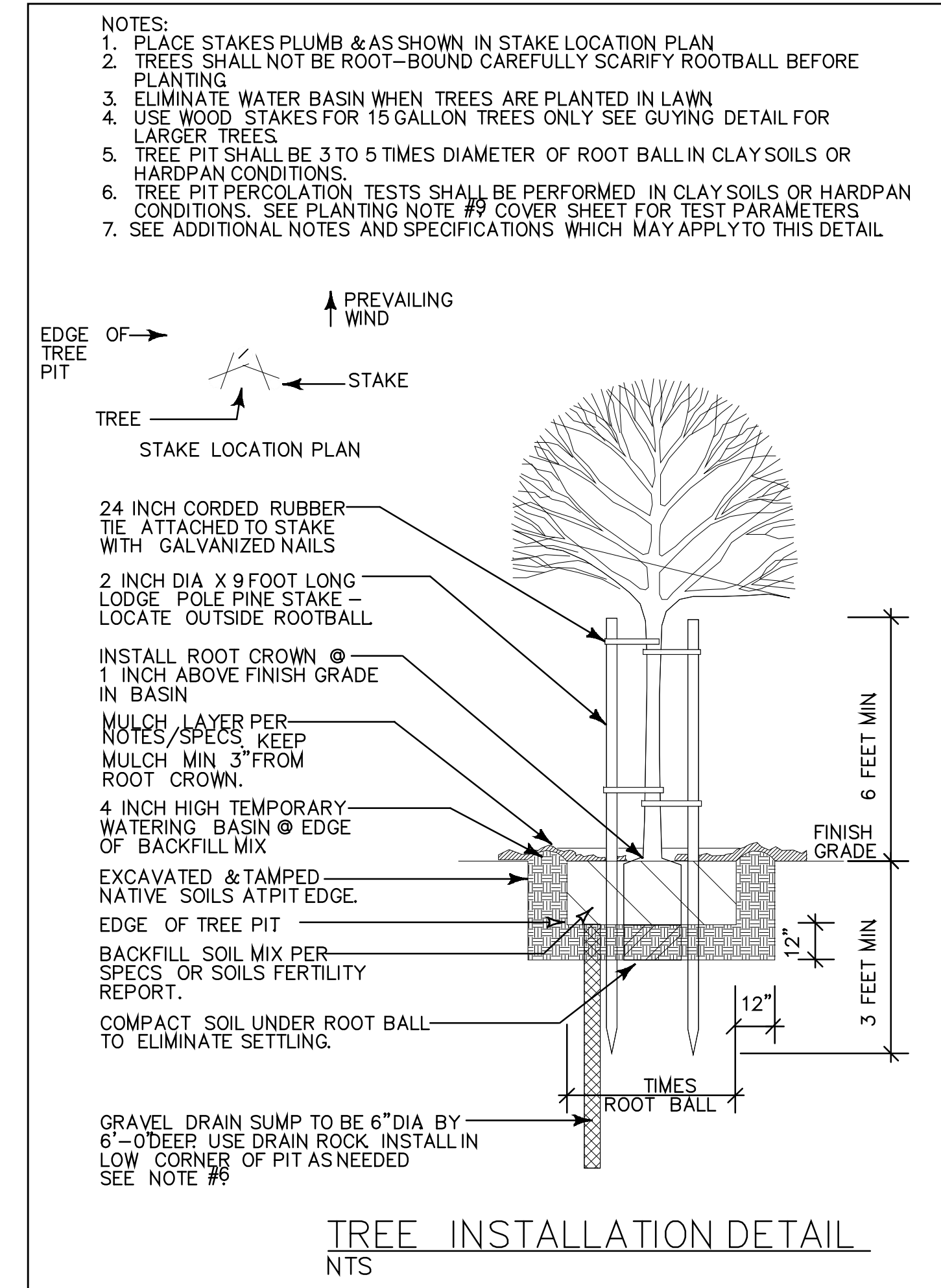
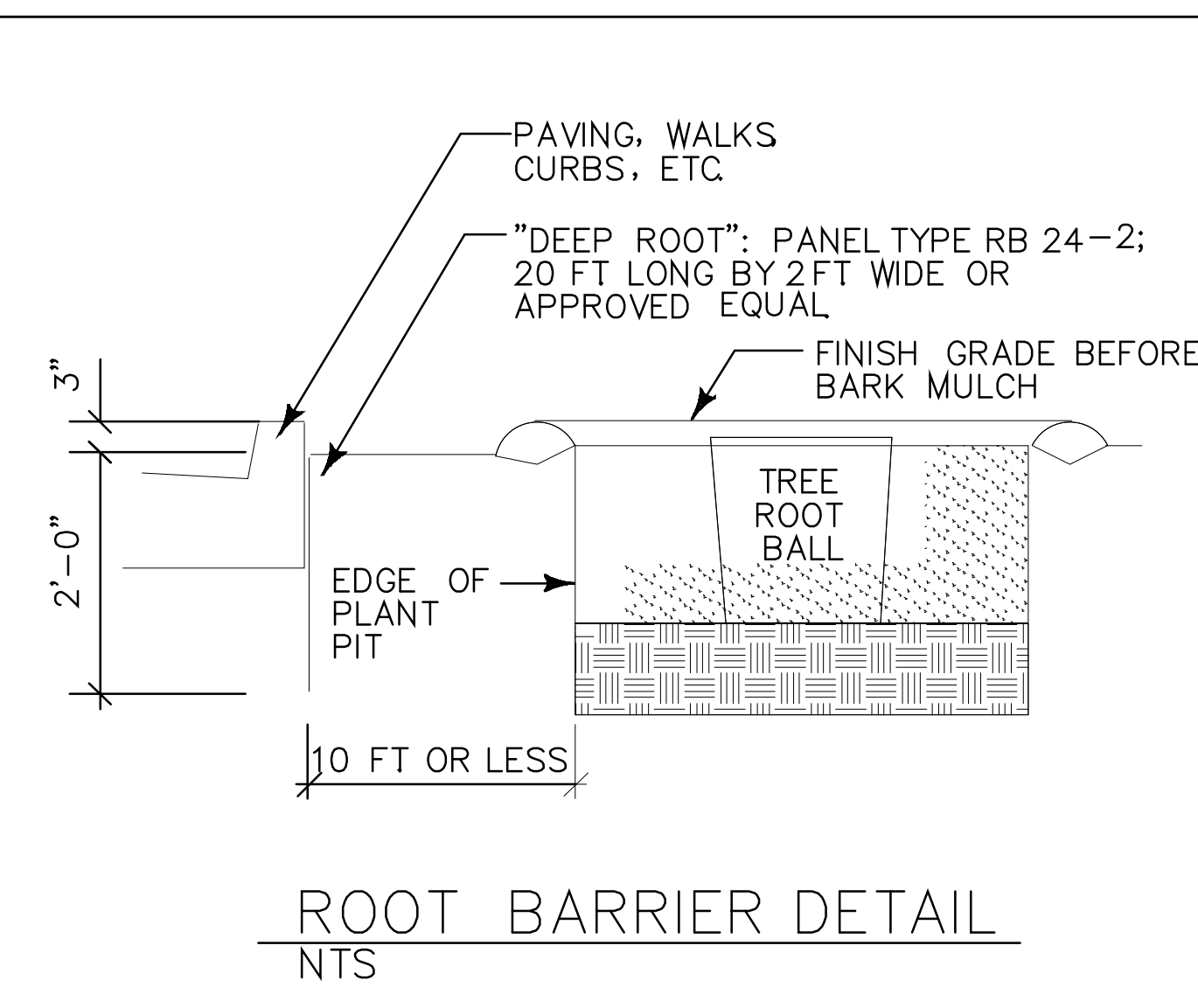
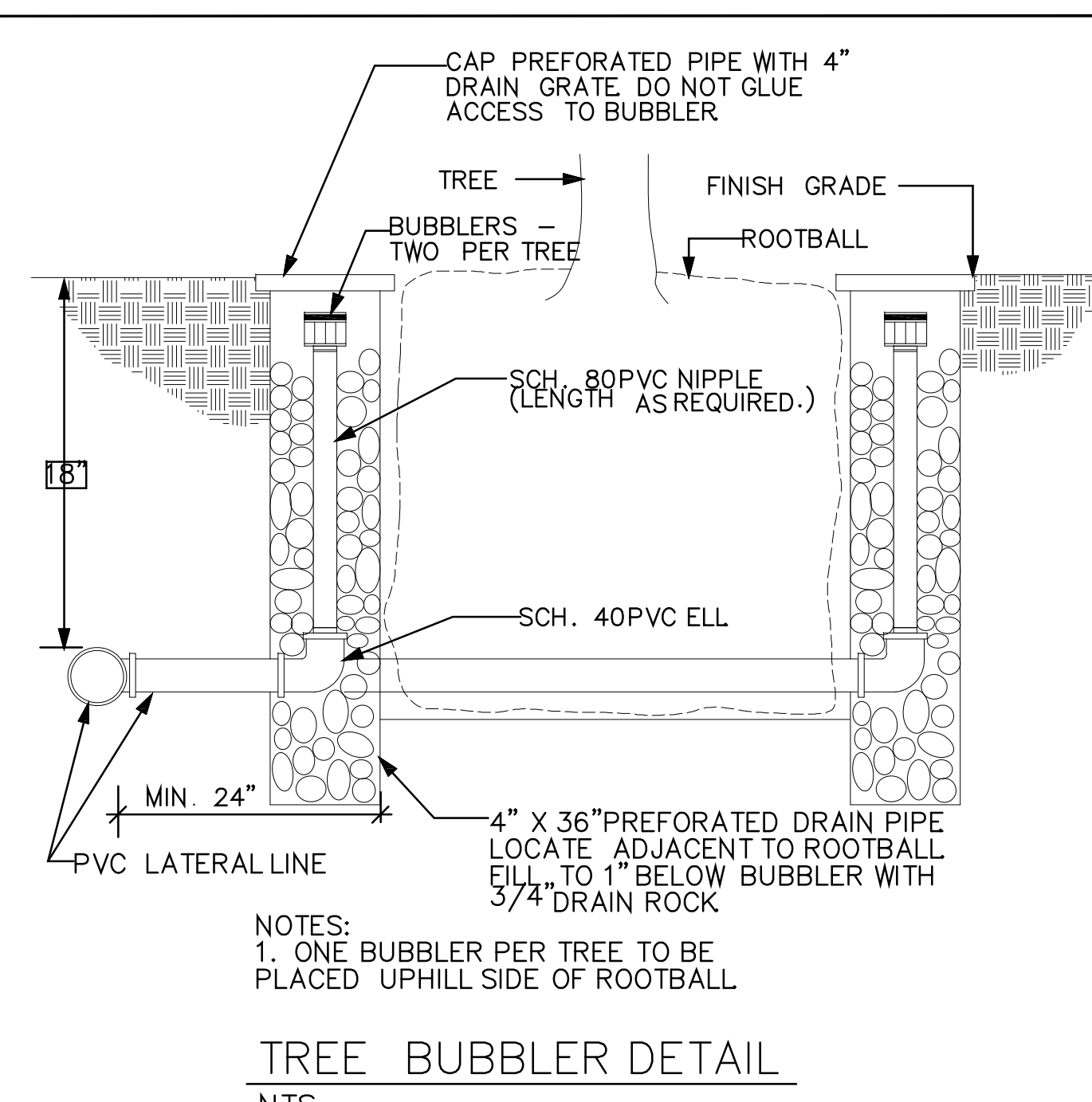
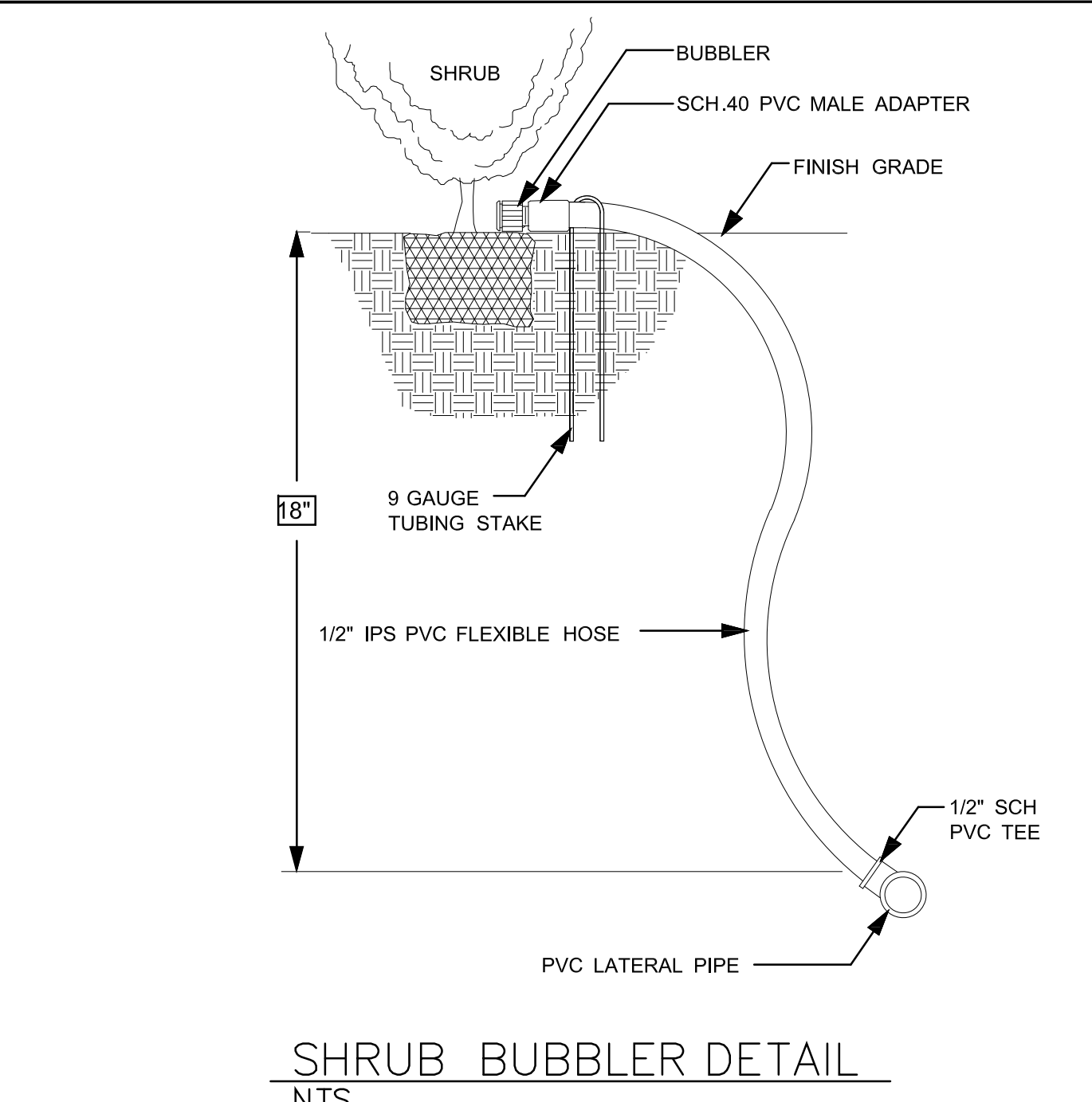
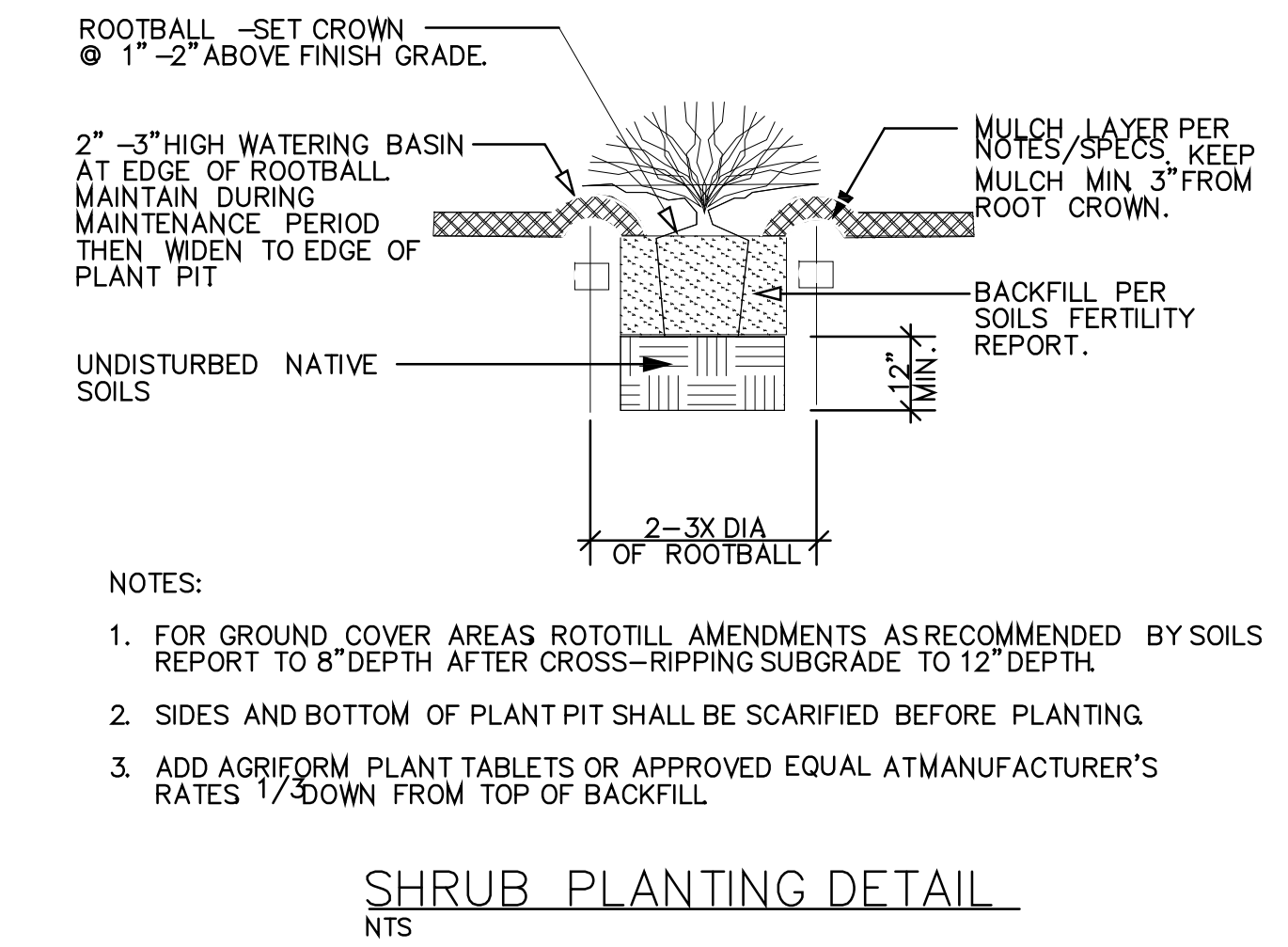
Date	09.01.16
Scale	
Drawn	
Job	1328-1
Sheet	



SITE PLAN

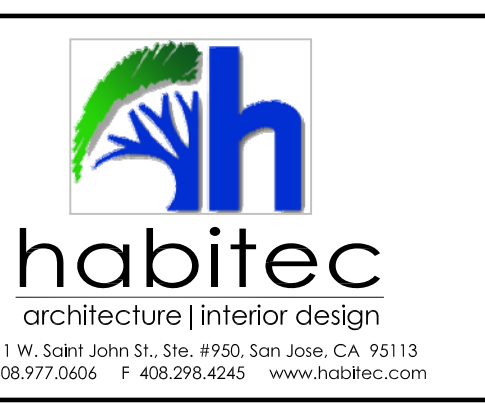
LOT 1 PLANT SCHEDULE										
SYMBOL	BOTANICAL NAME	COMMON NAME	EXPOSURE	WATER DEMAND	MINIMUM SPACING	FLOWER/FOLIAGE COLOR	SIZE	SALT SPRAY TOLERANCE	SOIL SALT TOLERANCE	QUANTITIES
TREES										
T-4	<i>Pyrus calleryana</i> 'Capital'	Flowering Pear	SW	Medium	See Plan	White/Red Foliage	24" BOX	H (1)	H (1)	32
T-5	<i>Quercus agrifolia</i>	Coast Live Oak	SW	Low	See Plan	Evergreen	24" BOX	T (1)	T (1)	11
SHRUBS										
S-1	<i>Agapanthus</i> 'Peter Pan'	Blue Dwarf Lily-of-the-Nile	SW, SW/NE	Medium	3'0"	Blue-green foliage	5 GAL	H (1)	H (1)	39
S-3	<i>Buxus m. japonica</i>	Japanese Boxwood	SW/NE	Medium	3'0"	Non-descript	5 GAL	T (1)	T (1)	54
S-5	<i>Ceanothus</i> 'Pt Reyes'	Spreading California Lilac	SW	Low	8'0"	Blue Blossom	5 GAL	H (2)	H (2)	11
S-9	<i>Escallonia rubra</i> 'Newport Dwarf'	Dwarf Escallonia	SW	Medium	6'0"	Pink/Evergreen	5 GAL	H (1)	H (1)	25
S-10	<i>Gozania</i> 'Fiesta Red'	Clumping Red Gozania	SW	Medium	2'0"	Red/Evergreen	5 GAL	H (1)	H (1)	269
S-12	<i>Juniperus horizontalis</i> 'Plumosa'	Andorra Juniper	SW	Low	6'0"	Evergreen	5 GAL	H (1)	T (1)	47
S-14	<i>Lantana</i> 'Gold Rush'	Yellow Lantana	SW	Low	6'0"	Yellow/Evergreen	5 GAL	H (1)	T (1)	39
S-15	<i>Lantana montevidensis</i>	Spreading Lantana	SW	Low	6'0"	Purple/Evergreen	5 GAL	H (1)	T (1)	38
S-16	<i>Liriope muscari</i>	Lily Turf	SW, SW-NE	Medium	1'0"	Purple/Evergreen	5 GAL	M (1)	M (1)	220
S-20	<i>Pittosporum</i> 'Variegatum'	Variegated Tobira	SW/NE	Low	6'0"	White/Evergreen	5 GAL	H (1)	H (1)	42
S-25	<i>Trachelospermum jasminoides</i>	Star Jasmine	SW, SW-NE	Medium	4'0"	White/Green-Red	5 GAL	T (1)	T (1)	131
S-27	<i>Xylosma c. compacta</i>	Spanish Bayonet	SW	Low	5'0"	White/Green	5 GAL	H (1)	H (1)	67
S-27	<i>Liriope gigantea</i>	Giant Lily Turf	SW-NE	Medium	3'0"	Purple/Evergreen	5 GAL	H (1)	H (1)	21
GRASSES & GROUND COVERS FOR SWALE AND BIORETENTION BASINS										
S-28	<i>Chondropetalum</i> 'Aureum'	Small Cape Rush	SW/NE	Medium	4'0"	Brown/Evergreen	5 GAL	M (1)	M (1)	63
S-29	<i>Elymus glaucus</i> *	Blue Wild Rye	SW/NE	Medium	3'0"	Blue-Green/Evergreen	5 GAL	H (2)	H (2)	123
S-30	<i>Leymus triticoides</i> 'Lagunita'	Creeping Wild Rye	SW/NE	Medium	2'0"	Gold/Evergreen	5 GAL	T (1)	T (1)	367
S-31	<i>Muhlenbergia rigens</i> *	Deergrass	SW/NE	Medium	6'0"	Evergreen	5 GAL	H (1)	H (1)	94
GROUND COVERS										
GC-1	<i>Arctostaphylos uva-ursi</i> 'Pt Reyes'	Bearberry	SW	Low	6'0"	White/Evergreen	5 GAL	M/T (1)	M/T (1)	196
VINES										
V-1	<i>Lonicera hildebrandiana</i>	Honeysuckle Vine	SW	Medium	See Plan	Yellow/Evergreen	5 GAL	H (3)	H (3)	3
V-2	<i>Jasminum polyanthum</i>	True Jasmine Vine	SW	Medium	See Plan	White/Evergreen	5 GAL	M (3)	M (3)	4

KEY: SW = full sun; SW-NE = partial sun; light shade; SW/NE = sun or shade
KEY TO RECLAIMED WATER (HIGH IN SALTS): H = Highly Tolerant; T = Tolerant; M = Moderate; S = Sensitive
1. Source for reclaimed water tolerance: Landscape Plant Salt Tolerance Selection Guide for Recycled Water Irrigation Wu, Dodge 2005 California Dept. of Water Resources "Recycled Water Use in the Landscape"
2. Source for reclaimed water tolerance: Recycled Water Growing Points Newsletter, 2001 (including their references)
3. University of California Cooperative Extension/ucanr.org/sites/catesst/files/6808/RecycledWater/SaltToleranceList
Source for plant water use is the WUCOLS database current version additional sources for salt tolerance Black Olive Nursery and Oregon State U.
* In accordance with Appendix B - Stormwater Technical Guidance Handbook
** Plants that test as "Sensitive" were to water salt levels that are 200-400 mg/l. The reclaimed water source for this project has salt levels that are less than 140 mg/l (see table)
Contractor's responsibility for providing quantities to meet the design intent is expressed on the plans.



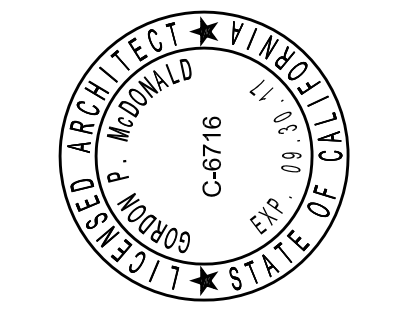
LEGEND

--- PROPERTY LINE



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PERMANENT PARKING & LANDSCAPING
PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
 2700 STONERIDGE DRIVE PLEASANTON, CALIFORNIA

REVISIONS	
PLANNING SUBMITTAL	09.01.16
PLANNING REVISIONS	07.17.17

LANDSCAPING DETAILS & SCHEDULE

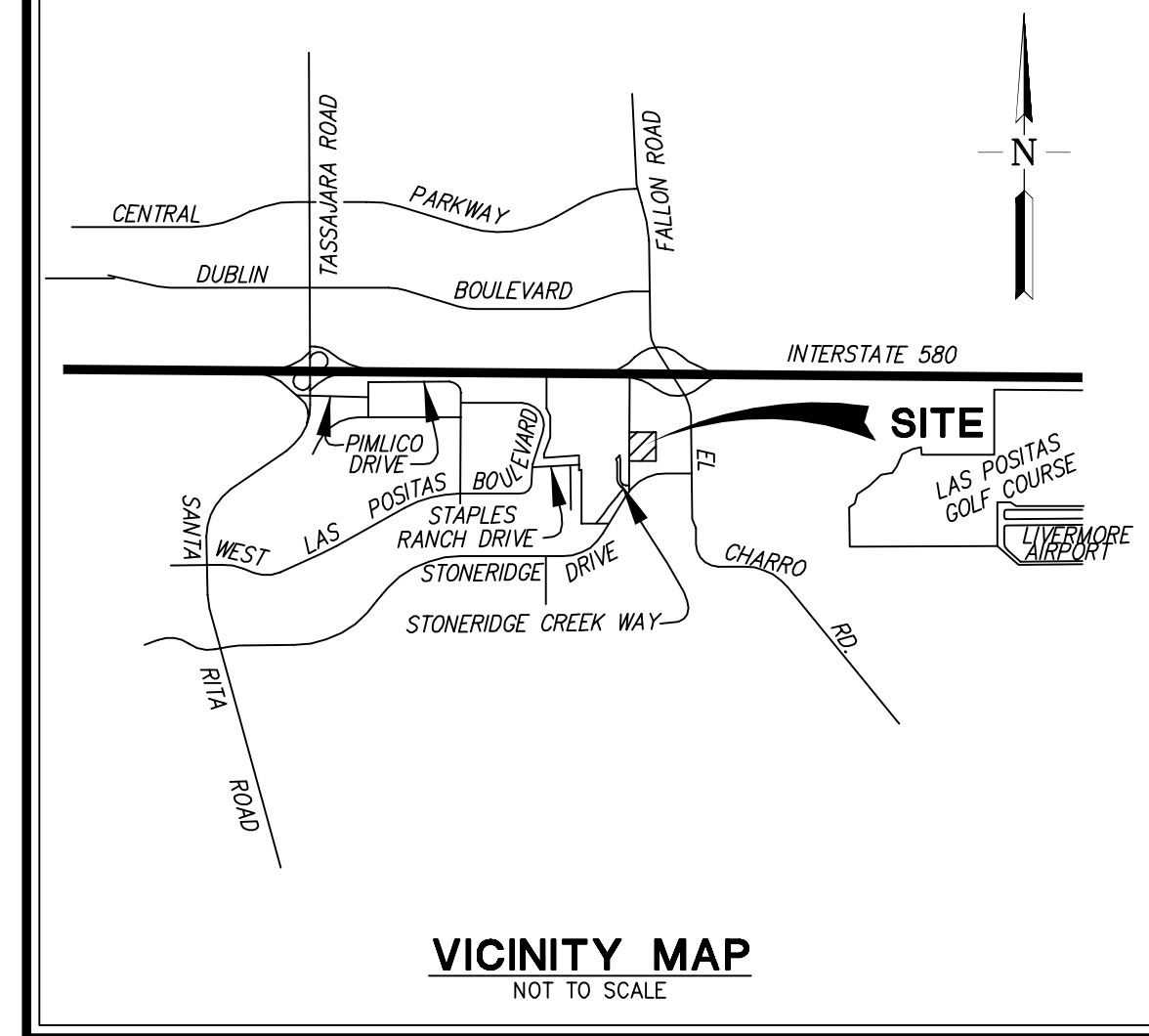
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Job	1328-1
Sheet	

L0.2 SITE PLOTTED

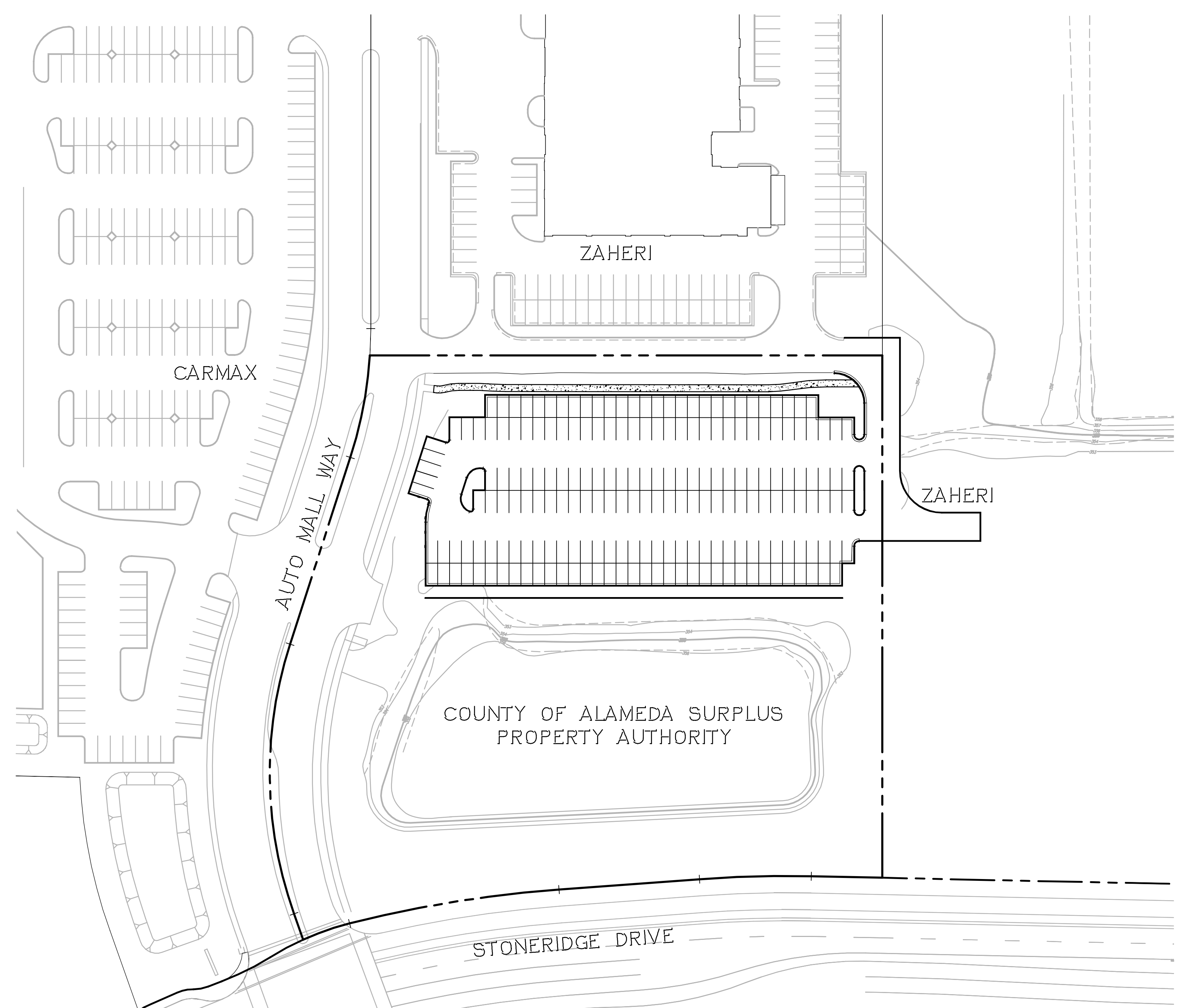
PUD SUBMITTAL

PLEASANTON DEALERSHIP-PARKING LOT

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	CENTER LINE	---
---	MATCH LINE	---
---	RETAINING WALL	---
---	EASEMENT LINE	---
---	STORM DRAIN	EX 12" SD
---	SANITARY SEWER	EX 12" SS
---	POTABLE WATER	EX 12" W
---	RECYCLED WATER	EX 8" WR
---	CURB & GUTTER	EX FC
---	SAWCUT	---
---	SIDEWALK	---
---	EARTH OR GRASS SWALE	---
---	VALLEY GUTTER	---
□	STORM WATER INLET	□
□	DROP INLET	□
○	AREA DRAIN	○
●	BUBBLE UP	●
○	MANHOLE	○
○	SANITARY SEWER CLEAN OUT	○
○	SANITARY SEWER LATERAL	○
○	FIRE HYDRANT	○
○	BLOW OFF	○
□	WATER SERVICE WITH METER BOX	□
□	BACKFLOW DEVICE	□
□	WATER VALVE	□
□	AIR RELEASE VALVE	□
□	POST INDICATOR VALVE	□
□	FIRE DEPARTMENT CONNECTION	□
□	SINGLE ARM STREET LIGHT	□
□	DOUBLE ARM STREET LIGHT	□
□	POST TOP LIGHT	□
□	PEDESTRIAN LIGHT	□
□	MONUMENT	□
□	TRAFFIC SIGN	□
□	STREET NAME SIGN	□
---	FENCE	---
---	BARRICADE	---
---	CURB RAMP	---
---	CONTOUR ELEVATIONS	---
---	SPOT ELEVATION	---
---	NEW ASPHALT PAVEMENT	---
---	BIO-RETENTION AREA IN LANDSCAPE AREA	---
---	BIO-RETENTION AREA ADJACENT TO SIDEWALK	---
---	BIO-RETENTION AREA IN RAISED PLANTER	---
---	SILVA CELL	---
---	IRRIGATION SLEEVE	---
---	THRU CURB DRAIN	---



ABBREVIATIONS	
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ARV	AIR RELEASE VALVE
BC	BEGINNING OF CURVE
BO	BLOWOFF
BW	BOTTOM OF WALL
CL	CENTER LINE
COMM	COMMUNICATION
DI	DROP INLET
DIP	DUCTILE IRON PIPE
DW	DOMESTIC WATER
EAE	EMERGENCY ACCESS EASEMENT
EC	END OF CURVE
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
FC	FACE OF CURB
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FIRE SERVICE
FW	FIRE WATER
GE	GARAGE ELEVATION
GB	GRADE BREAK
HDPE	HIGH-DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
INV	INVERT ELEVATION
LF	LINEAR FOOT
LP	LOW POINT
MAX	MAXIMUM
ME	MAINTENANCE EASEMENT
MH	MANHOLE
MIN	MINIMUM
P	PAD ELEVATION
P/AE	PUBLIC ACCESS EASEMENT
PAV	PAVEMENT
PCC	POINT OF COMPOUND CURVATURE
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PMAE	PRIVATE MAINTENANCE ACCESS EASEMENT
PPAE	PRIVATE PEDESTRIAN ACCESS EASEMENT
PRC	POINT OF REVERSE CURVE
PRUE	PRIVATE SERVICES AND UTILITY EASEMENT
PSDE	PRIVATE STORM DRAIN EASEMENT
PSE	PUBLIC SERVICE EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PVAE	PRIVATE VEHICLE ACCESS EASEMENT
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
RET	CURB RETURN
R/W	RIGHT OF WAY
SD	STORM DRAIN
SS	SANITARY SEWER
SNS	STREET NAME SIGN
SL	STREET LIGHT
STA	STATION
STD	STANDARD
SWI	STORM WATER INLET
SWK	SIDEWALK
SSE	SANITARY SEWER EASEMENT
TC	TOP OF CURB
TFC	TOP OF FLUSH CURB
TG	TOP OF GRATE
TMC	TOP OF MOUNTABLE CURB
TRW	TOP OF RETAINING WALL
TW	TOP OF WALL
TYP	TYPICAL
W(R)	RECYCLED WATER
W	WATER LINE
WLE	WATER LINE EASEMENT

LOCATION MAP
NOT TO SCALE

SHEET INDEX

SHEET NO.	DESCRIPTION
C0.0	COVER SHEET
C0.1	EXISTING CONDITIONS PLAN
C1.0	PRELIMINARY SITE PLAN
C2.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C3.0	PRELIMINARY UTILITY PLAN
C4.0	PRELIMINARY STORMWATER TREATMENT PLAN
C5.0	PRELIMINARY FIRE TURNING PLAN

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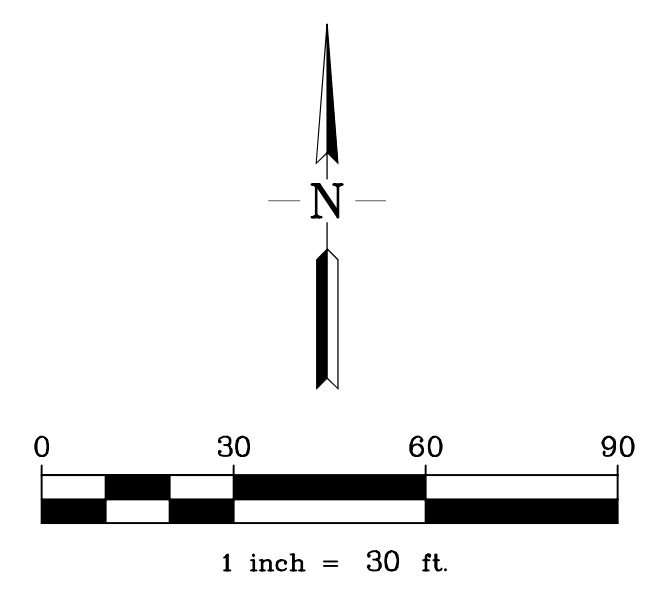
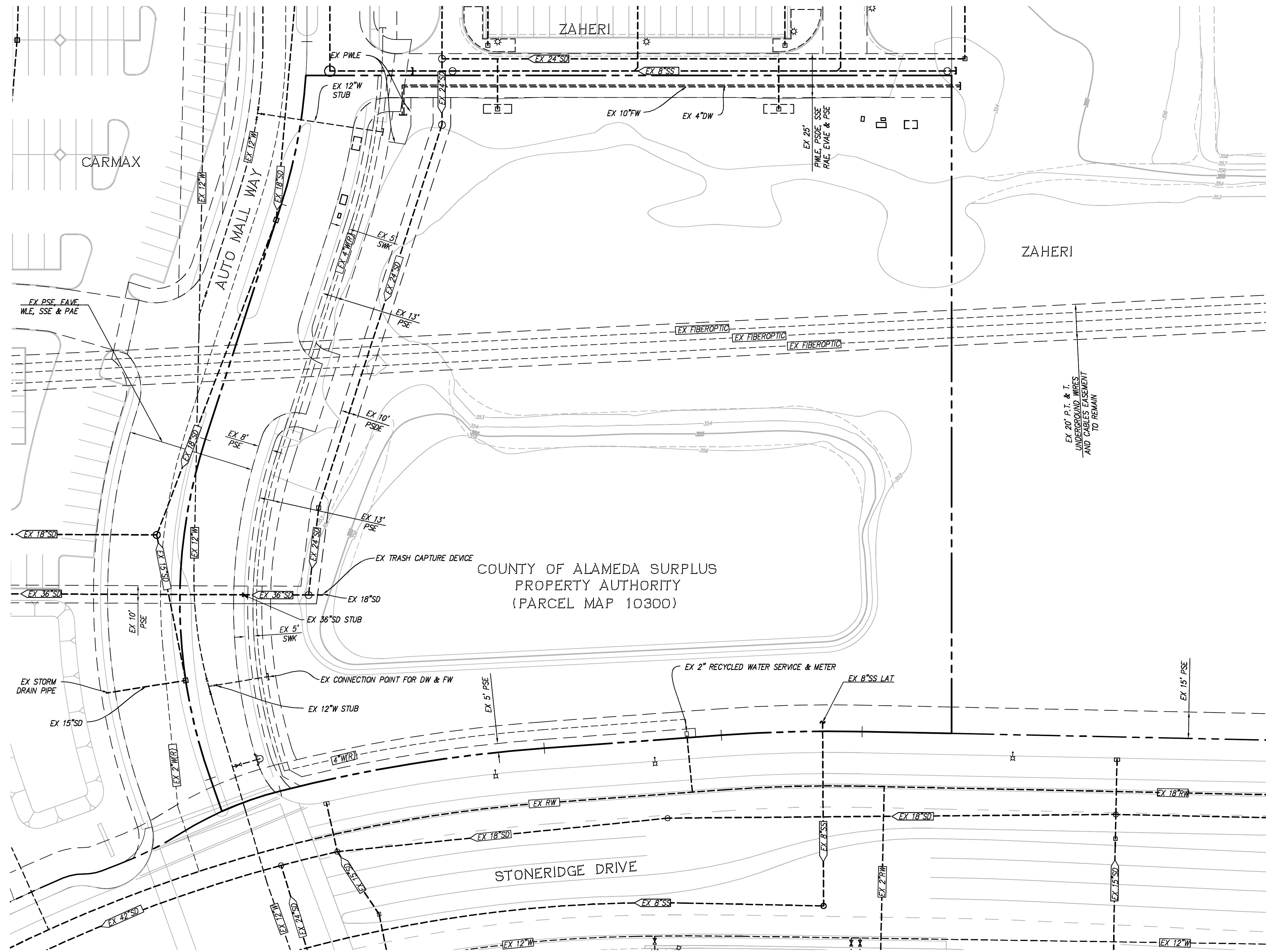
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DATE: 4/24/2017

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EXISTING CONDITIONS PLAN
PLEASANTON DEALERSHIP-PARKING LOT

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
 FOR: ASE CONSTRUCTION MANAGEMENT

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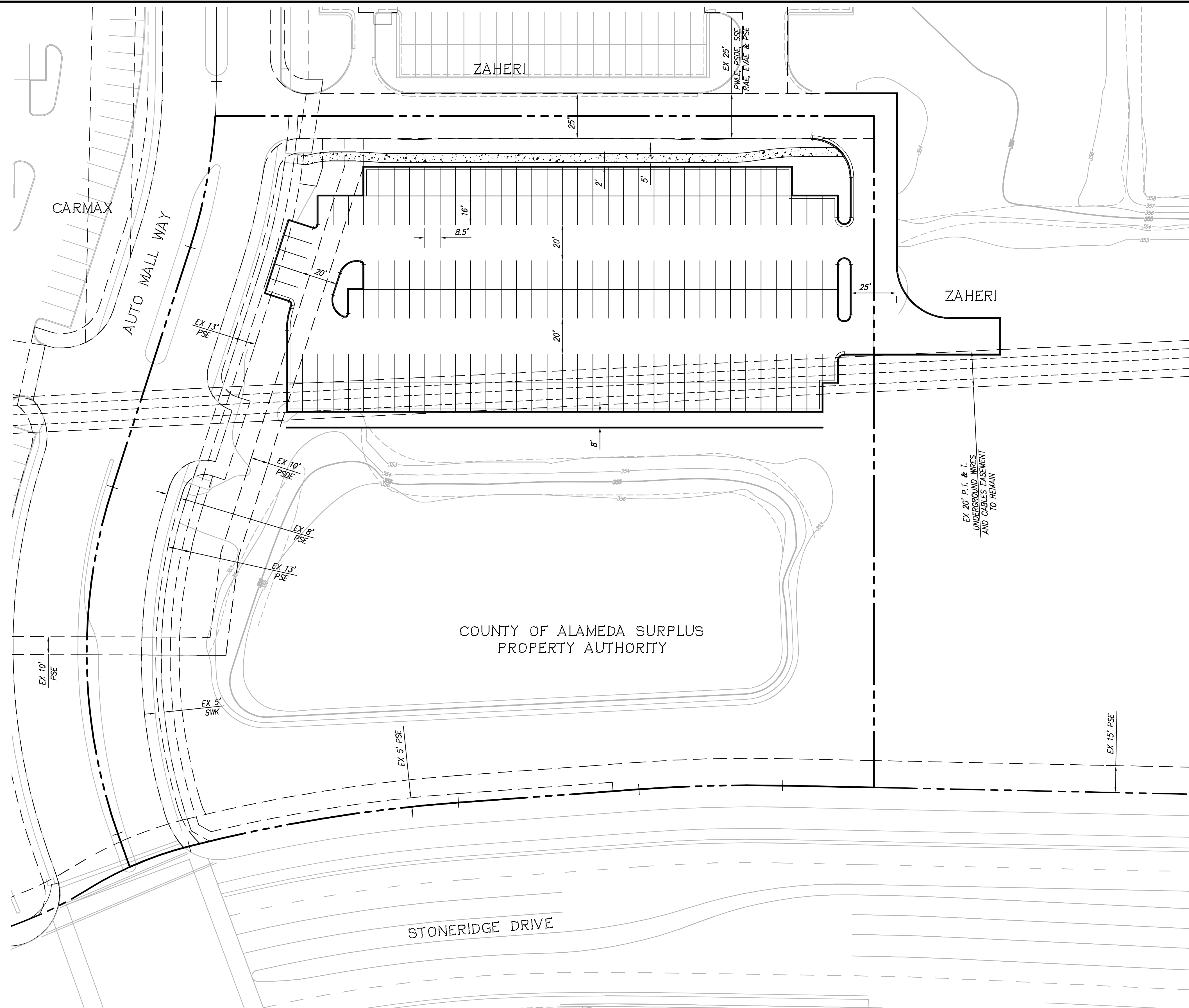
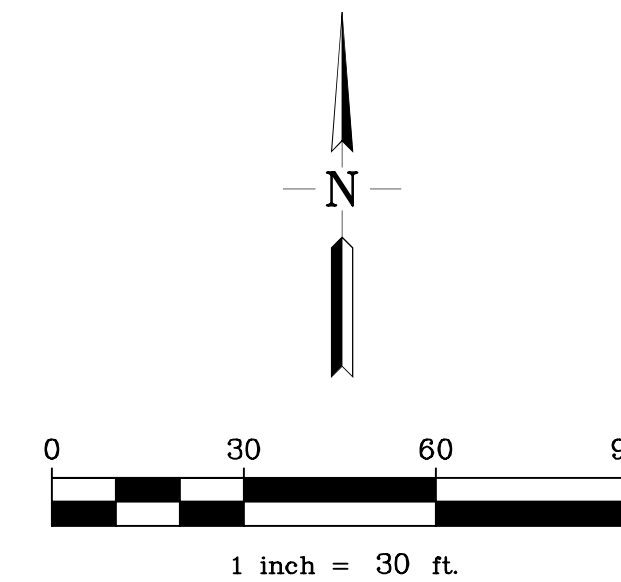
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JOB NO.: 131095

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PRELIMINARY SITE PLAN
PLEASANTON DEALERSHIP-PARKING LOT
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
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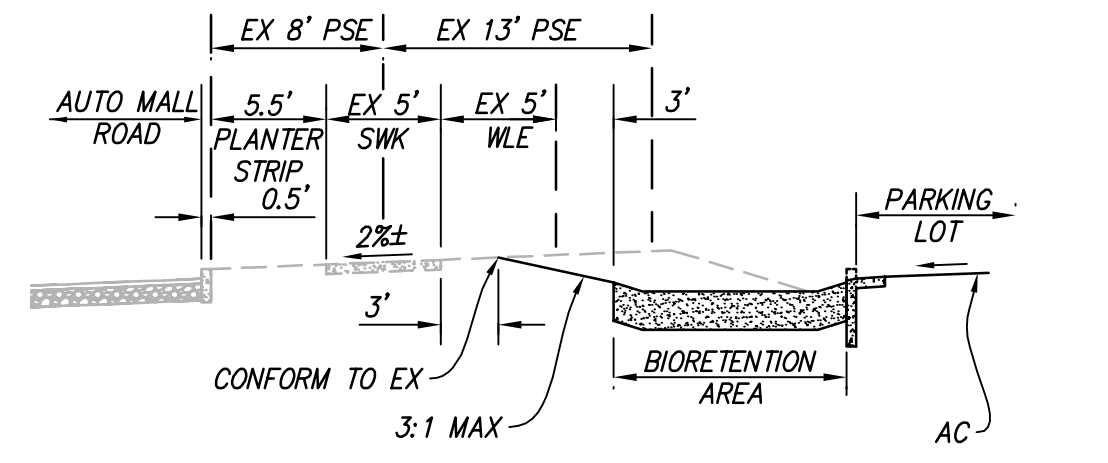
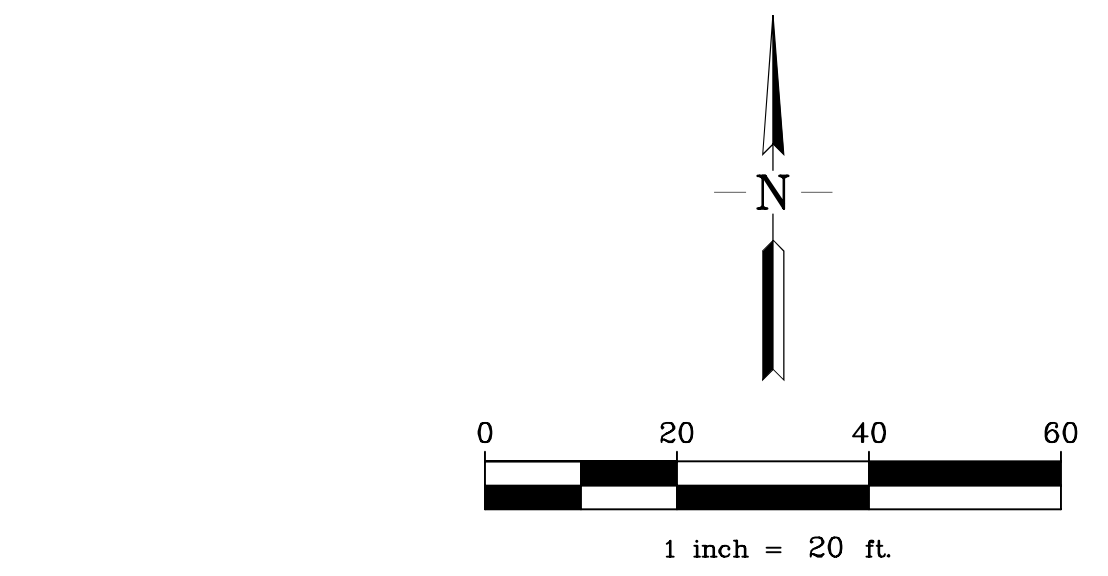
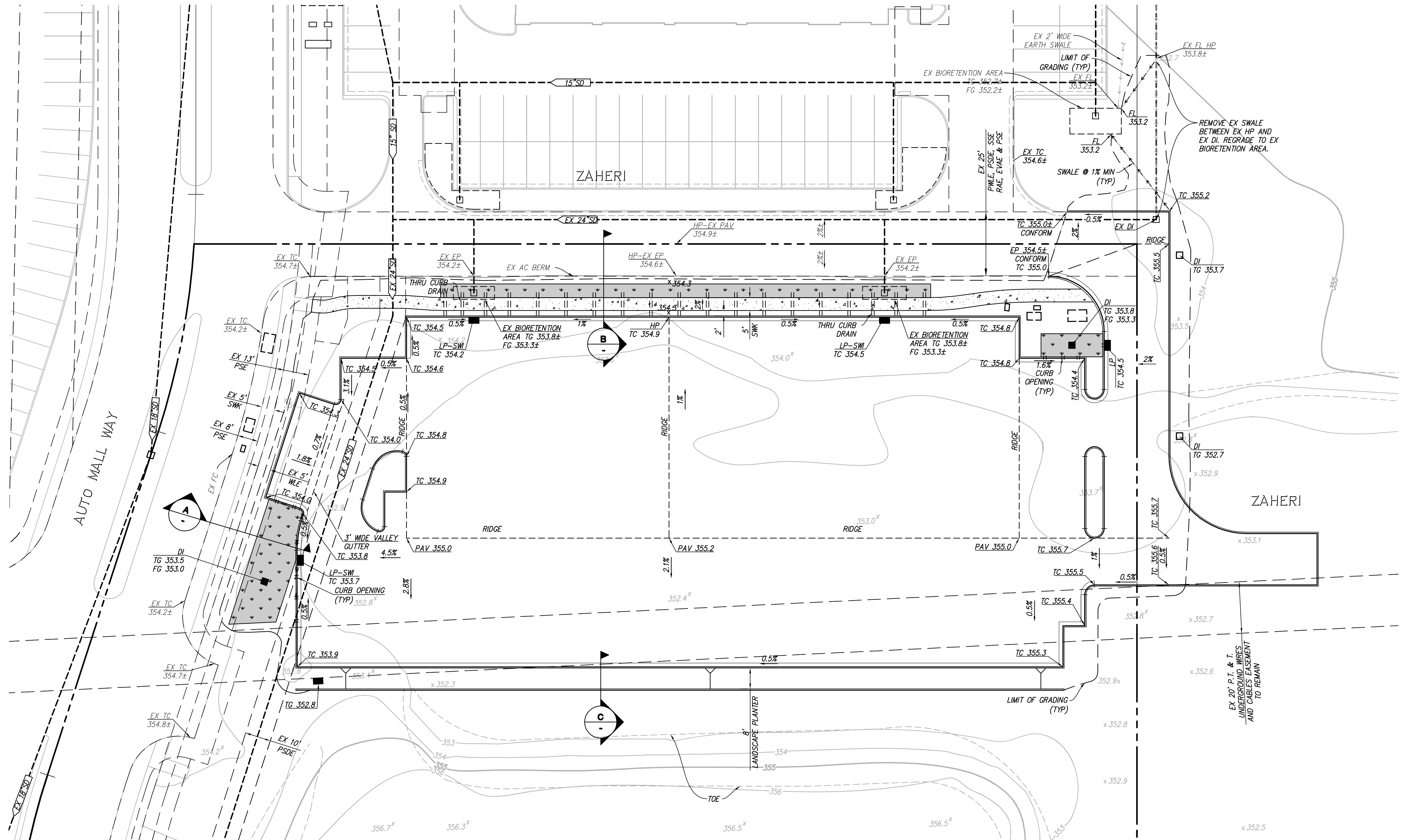
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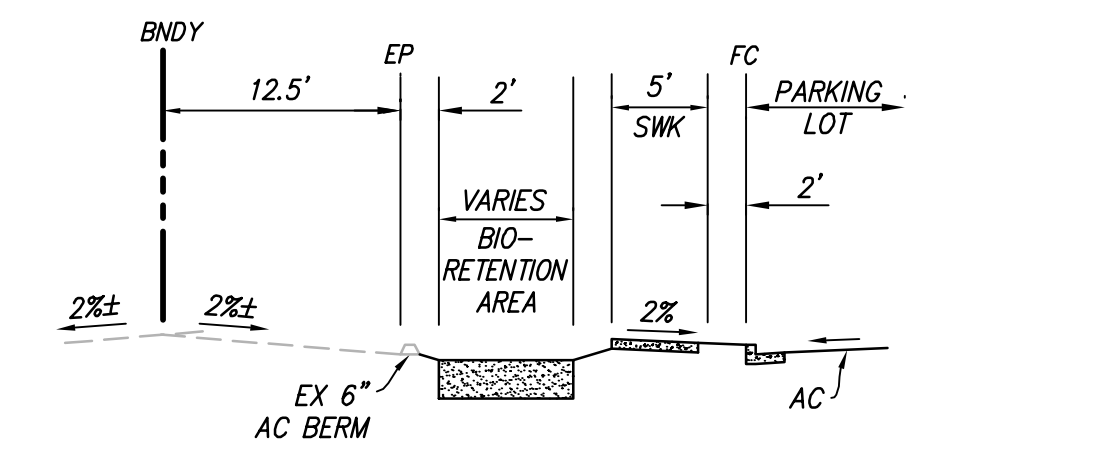
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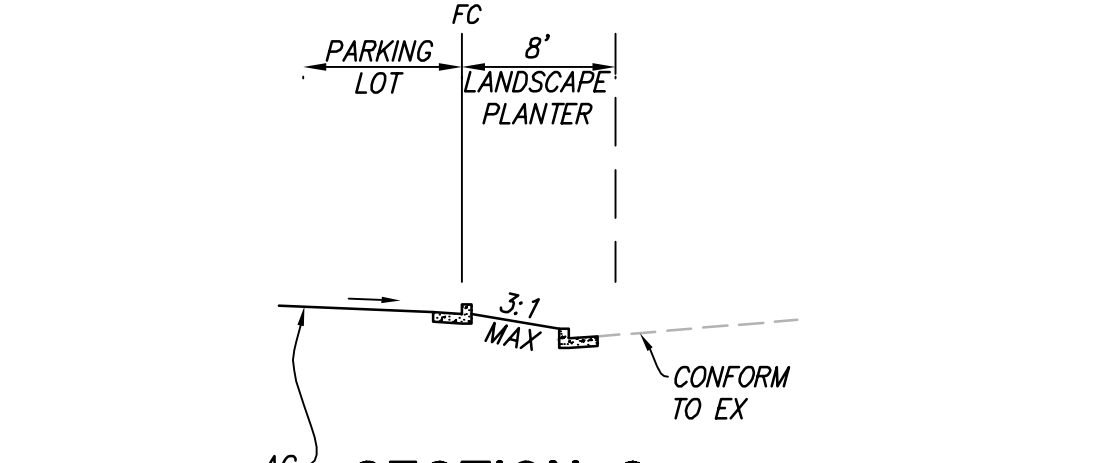
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SECTION A
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SECTION B
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SECTION C
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PRELIMINARY GRADING AND DRAINAGE PLAN PLEASANTON DEALERSHIP-PARKING LOT

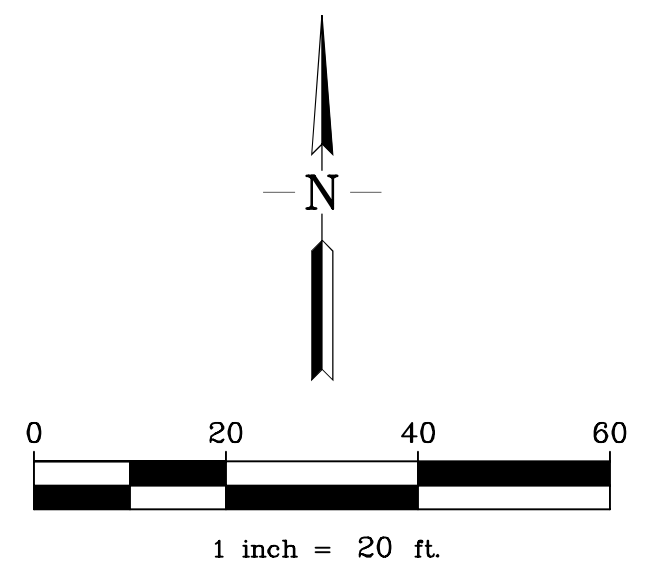
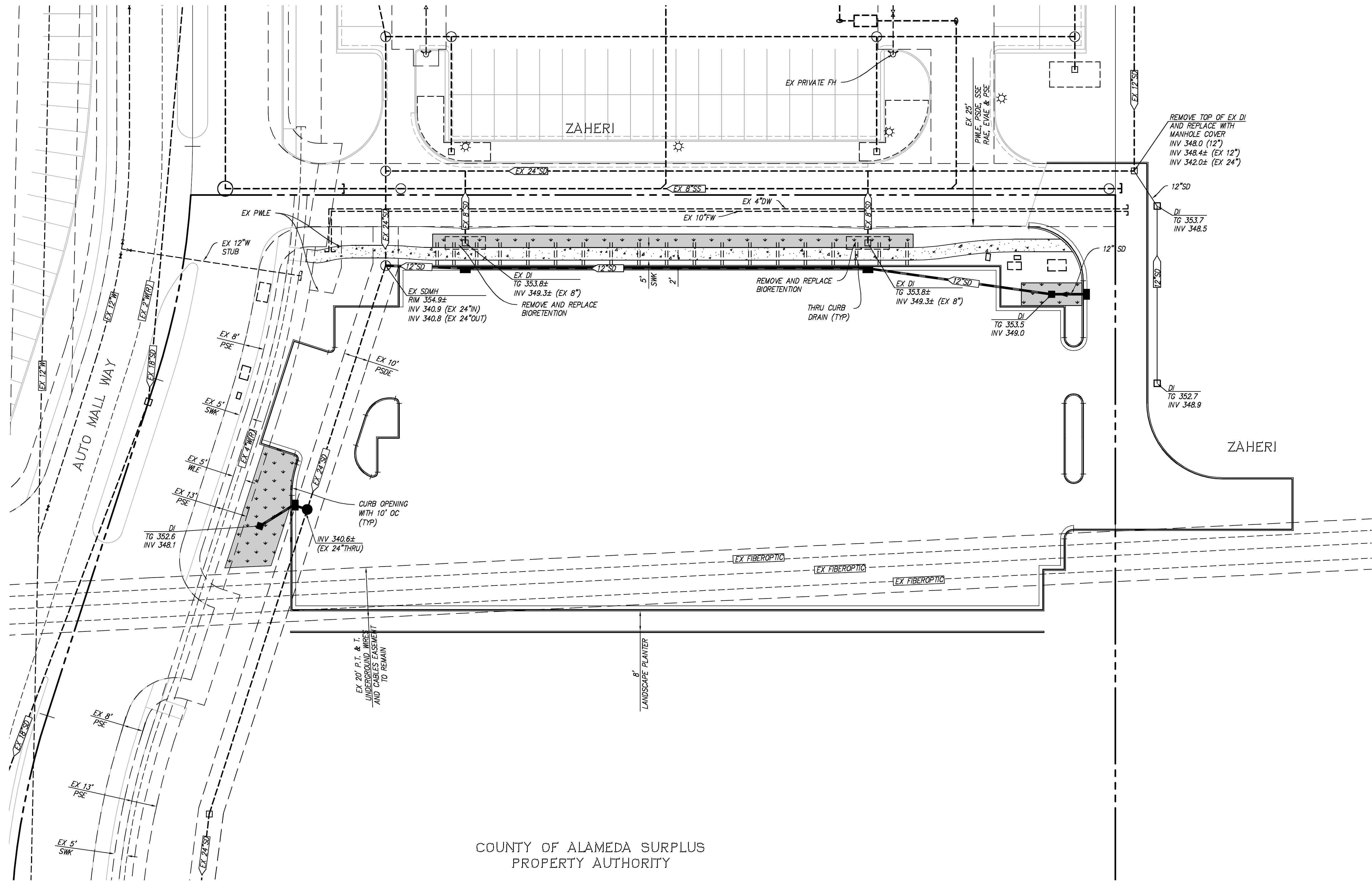
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C2.0



COUNTY OF ALAMEDA SURPLUS
PROPERTY AUTHORITY

PRELIMINARY UTILITY PLAN PLEASANTON DEALERSHIP-PARKING LOT

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
FOR: ASE CONSTRUCTION MANAGEMENT

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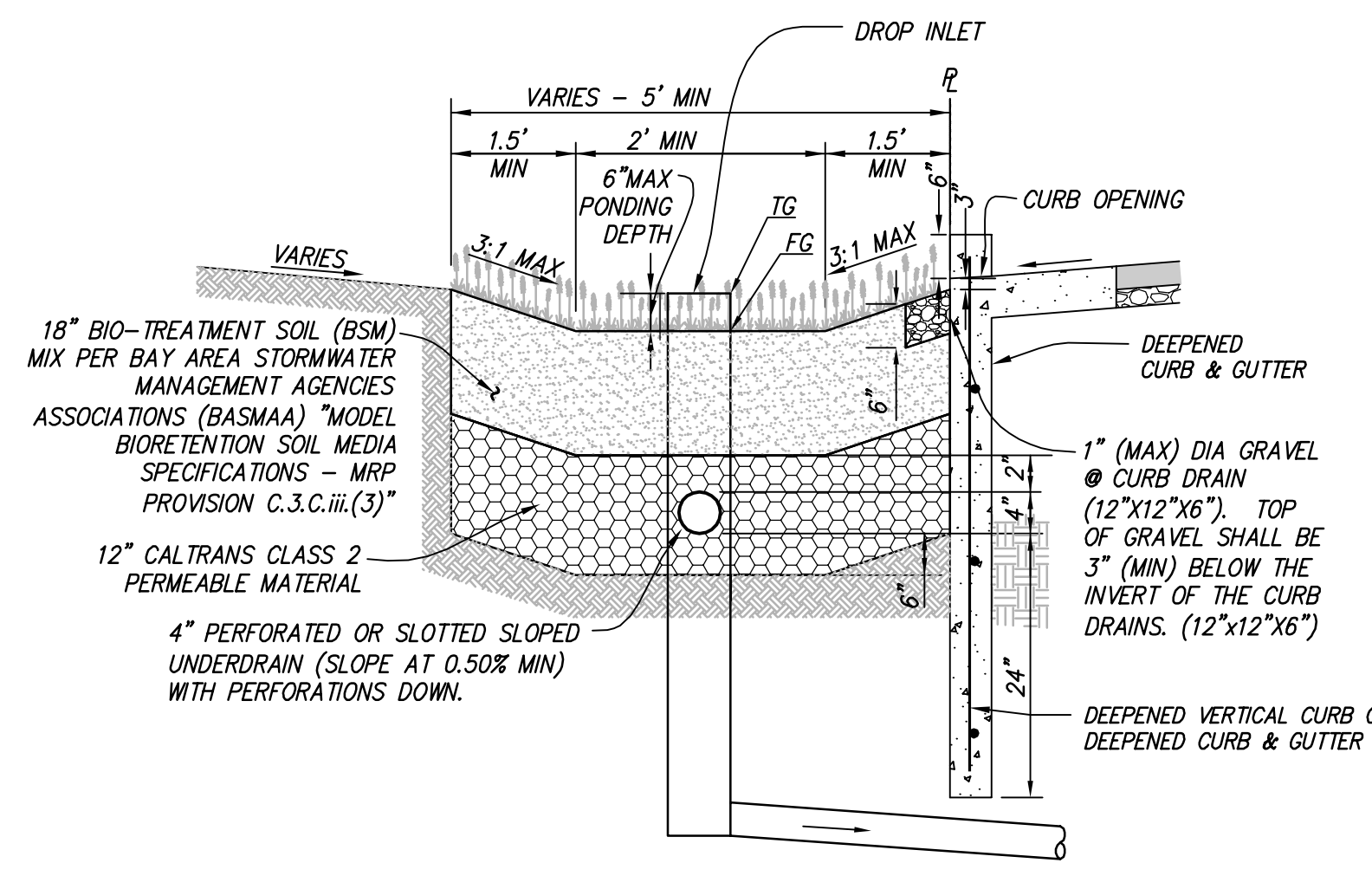
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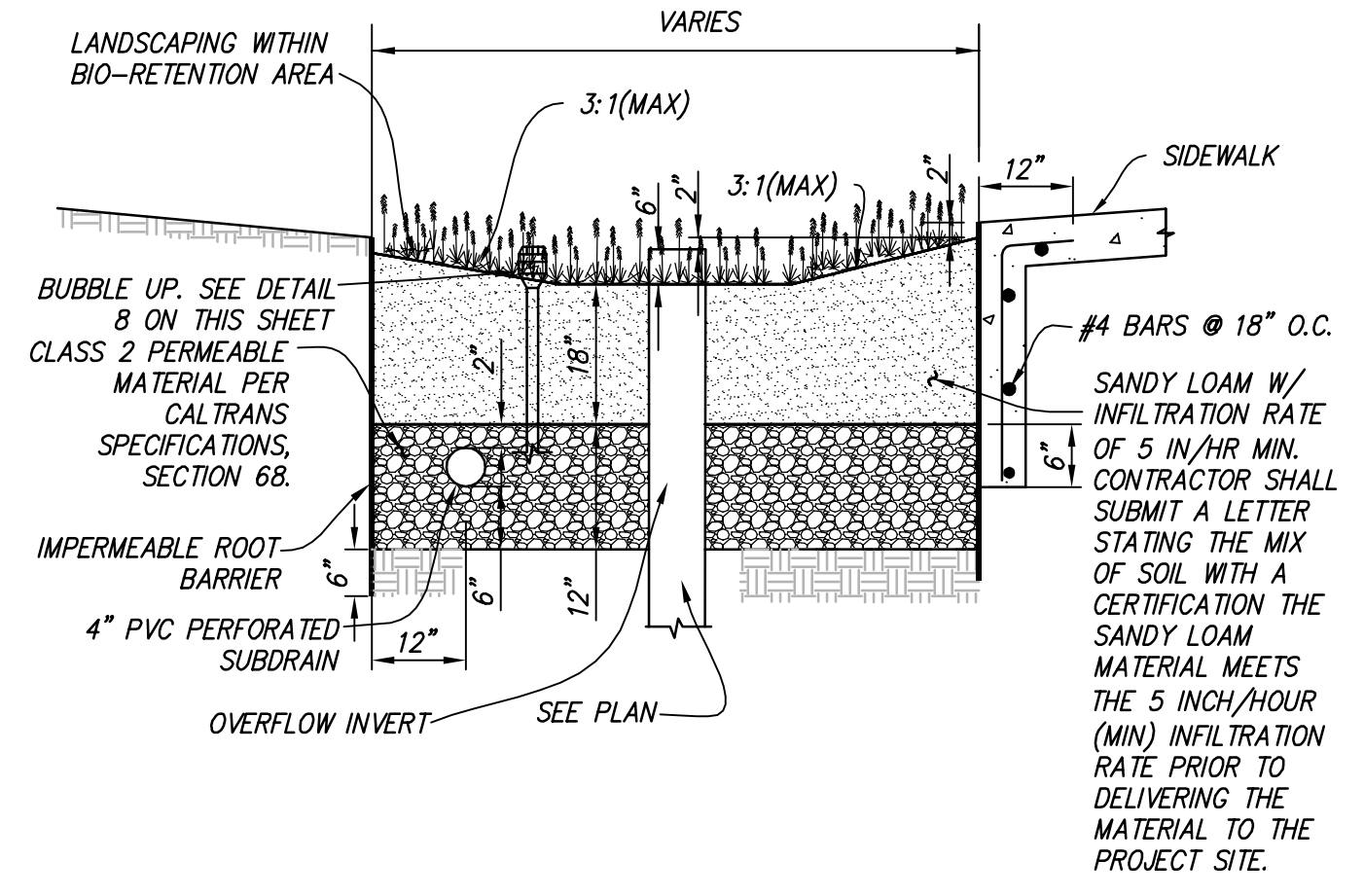
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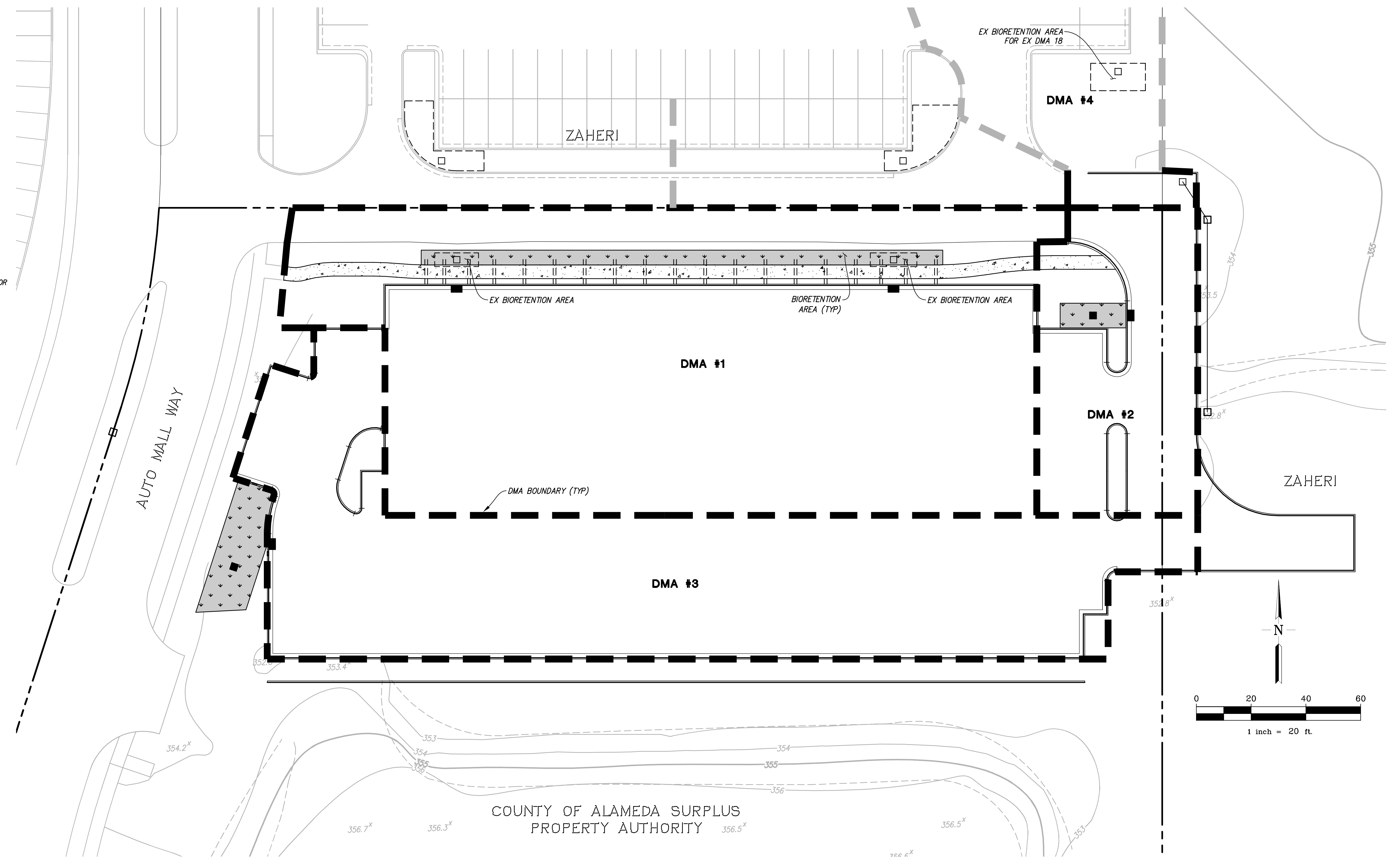


1 BIORETENTION AREA
NOT TO SCALE



NOTE: CLEANOUT SHALL BE INSTALLED AT THE END OF THE 4" PVC PERFORATED SUBDRAIN

2 BIORETENTION AREA ADJACENT TO SIDEWALK
NOT TO SCALE



STORMWATER TREATMENT CALCULATION

DMA	SURFACE	EFFECTIVE IMPERVIOUS AREA (SF)	BMP USED	SIZING FACTOR	REQUIRED SURFACE AREA (SF)	SURFACE AREA AS PROVIDED (SF)	BIORETENTION DETAIL
DMA #1	PAVING	25,464	BIO RETENTION	0.04	1,020	1,021	SEE NOTE 1 BELOW & DETAIL 2 THIS SHEET
DMA #2	PAVING	5,310	BIO RETENTION	0.04	213	216	DETAIL 1 THIS SHEET
DMA #3	PAVING	19,380	BIO RETENTION	0.04	775	785	DETAIL 1 THIS SHEET
DMA #4	PAVING	4,166	BIO RETENTION	0.04	167	204	SEE NOTE 1 & 2 BELOW

NOTES

- REFER TO IMPROVEMENT PLANS FOR LOT 2 OF PM 10257 (PLEASANTON DEALERSHIP DODGE JEEP) FOR EXISTING BIORETENTION AREA INFORMATION AND DETAILS.
- EX BIORETENTION AREA FOR EX DMA 18 HAS EXTRA 62 SF OF SURFACE TREATMENT AREA THAT CAN TREAT IMPERVIOUS AREA FOR DMA 18-1.

PRELIMINARY STORMWATER TREATMENT PLAN
PLEASANTON DEALERSHIP-PARKING LOT

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
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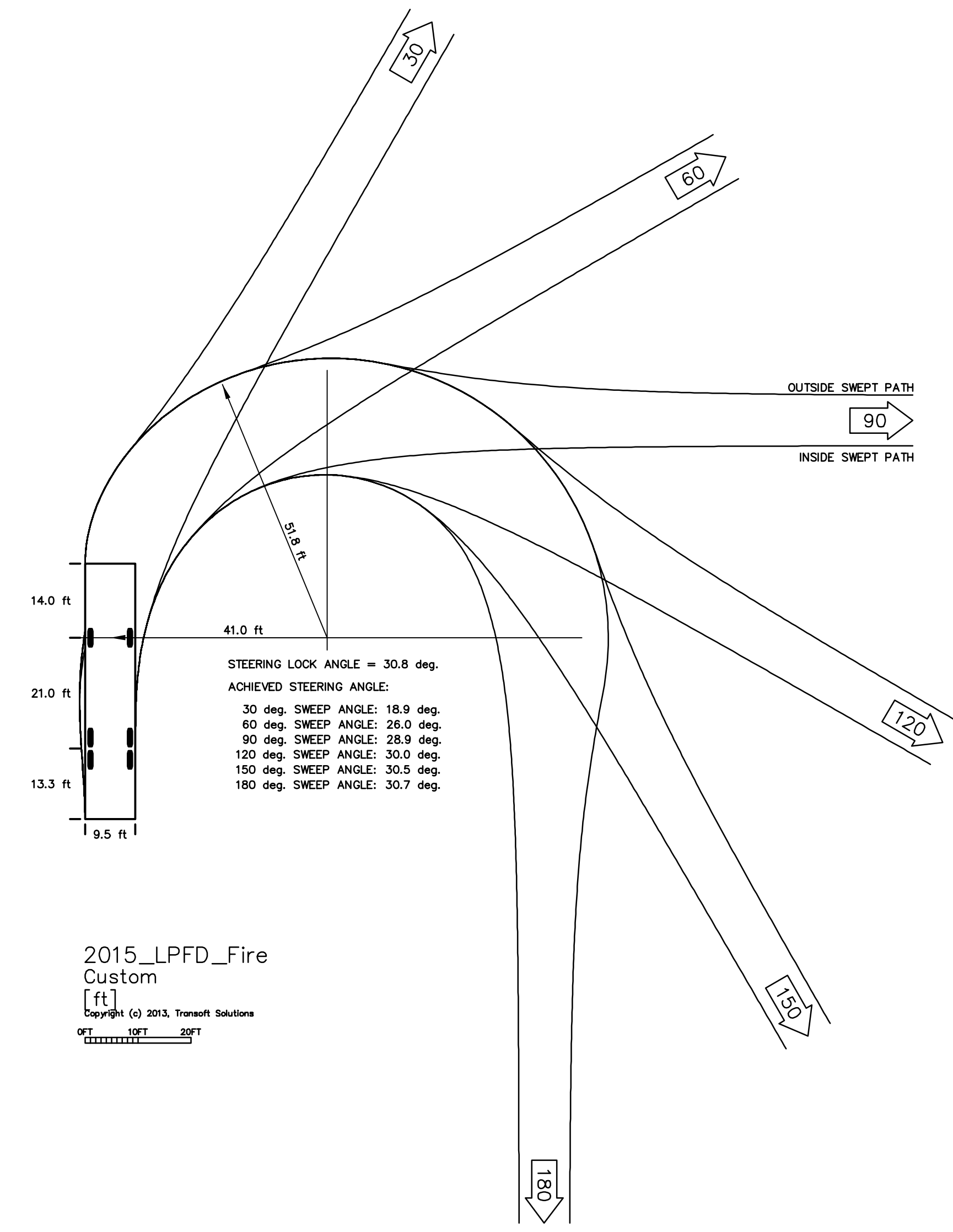
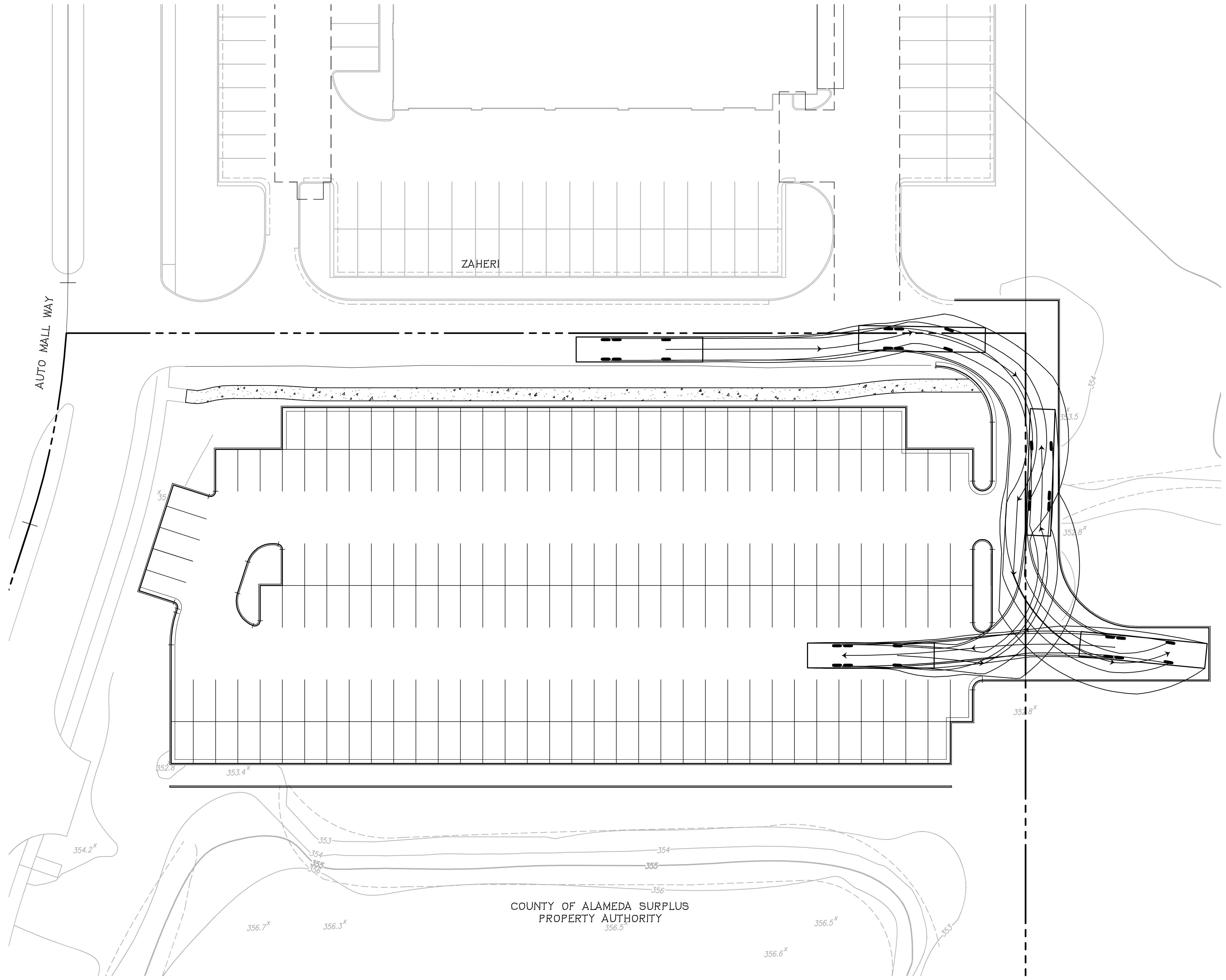
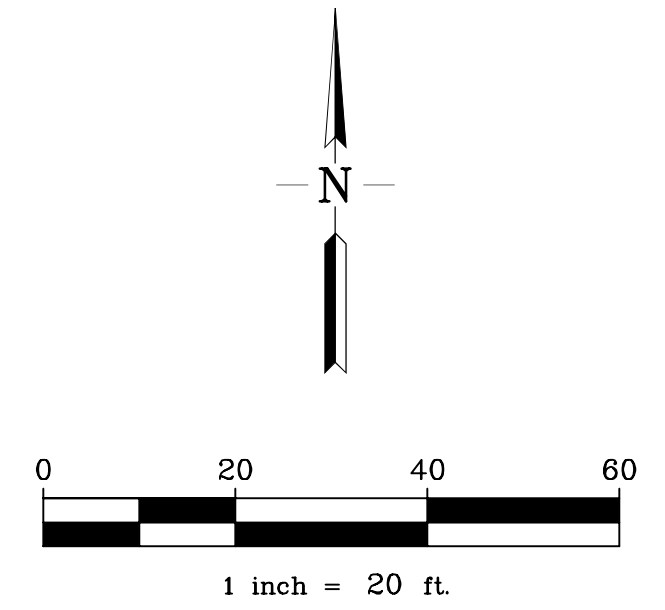
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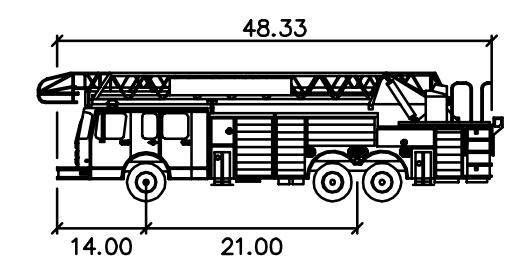
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Width : 9.50
Track : 8.33
Lock to Lock Time : 7.0
Steering Angle : 30.8

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PRELIMINARY FIRE TURNING PLAN
PLEASANTON DEALERSHIP-PARKING LOT
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
FOR: ASE CONSTRUCTION MANAGEMENT

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