

**EXHIBIT A
CONDITIONS OF APPROVAL**

**PUD-125, Carpenters Training Center
2350 Santa Rita Road
December 13, 2017**

PROJECT SPECIFIC CONDITIONS

Planning Division

1. The PUD development plan shall be divided into two phases. Phase 1 shall include the construction of the Carpenters Training Center (CTC) and associated site improvements as shown in the approved plans stamped Exhibit B. Phase 2 shall include the construction of the future office building and associated site improvements. Phase 1 shall expire two years from the effective date of this ordinance unless a building permit is issued and construction has commenced and is diligently pursued, or the City has approved a time extension. If Phase 1 expires, so does Phase 2. If Phase 1 commences construction and its PUD approval remains valid, then Phase 2 shall expire ten years from the effective date of this ordinance unless a separate Design Review application is approved and a building permit is issued for the office building and construction has commenced and is diligently pursued.

2. Prior to issuance of building permits, the applicant shall submit a comprehensive parking plan including evidence of off-site parking agreements or other alternative means of providing parking during construction phasing that meets the minimum parking demands for each phase as shown below. The comprehensive parking plan shall be subject to the review and approval by the Director of Community Development. In addition, the applicant shall enter into an agreement with the City, approved by the City Attorney, which guarantees parking within all phases of the project will be adequately provided and will not negatively impact the adjacent property owners or spill over into adjacent residential neighborhoods. Said agreement shall run with the land for the duration of construction.

Phase	Students	Parking Required (1.33 ratio)	Proposed Supply	Surplus (Deficit)
1	145	193	130	-63
2	145	193	180	-13
3.1	207	275	242	-33
3.2	230	306	269	-37

3. Only business, professional, and administrative offices, as defined by the Pleasanton Municipal Code, shall be permitted within the future office building. Medical offices are not permitted within the office building.

4. The applicant shall provide Livermore Amador Valley Transit Authority (LAVTA) transit passes to the employees and students of the CTC at a fifty percent (50%) ticket price discount during all phases of construction for use of the LAVTA transit system. In addition, if the office building is constructed, the future developer shall provide LAVTA

transit passes to all office employees at a fifty percent (50%) ticket price discount for the first four years of occupancy for use of the LAVTA transit system. The CTC developer shall also provide an incentive program to encourage use of alternative transportation such as BART, biking, and carpooling to the satisfaction of the Director of Community Development.

5. The final design and layout of the future office building and associated site improvements shall require City Design Review approval to be reviewed and approved by the Director of Community Development. The future office building shall be of the same general architectural style and design as the approved CTC building and be limited to 30-feet in height and between 8,000 and 18,000 square feet in size.
6. No certificate of occupancy will be issued by the City for the CTC until such time that either:
 - a. A building permit has been issued for the office building, the developer has entered into an Improvement Agreement with the City, in a form approved by the City Attorney, requiring the developer to construct the improvements identified in the building permit for the office building, and the developer has performed substantial work on constructing the office building as determined by the Director of Community Development; or
 - b. All of the following have occurred:
 - i. Developer has submitted to the Director of Community Development plans for an enhanced streetscape along Santa Rita Road, prepared by a licensed landscape architect, that includes, but is not limited to: enhanced landscaping; design and dedication of public art; and new curbs and gutters;
 - ii. Developer has submitted to the Director of Community Development a cost estimate for the streetscape plan;
 - ii. The streetscape plan and cost estimate have been reviewed and approved by the Director of Community Development; and
 - iv. The applicant has entered into an Improvement Agreement with the City, in a form approved by the City Attorney, requiring the applicant to:
 - (1) construct the improvements identified in the streetscape plan;
 - (2) dedicate to the City any public art identified in the streetscape plan;
 - (3) post security acceptable to the City Attorney; (4) provide insurance acceptable to the City Attorney; and (5) take other measures to ensure the streetscape plans are completed in a timely manner and in accordance with federal, state, and local laws.
7. The area shown as the “Yard” shall be kept in a dust free and weed free condition at all times and no activities beyond what has been described within the plans and narrative included within Exhibit B shall be permitted without review and approval by the Director of Community Development.

8. No signage is approved with this application. Site and building signage shall be reviewed and approved under a separate application.
9. The project applicant or developer shall effectively screen from view all ducts, meters, emergency power generators, and any other mechanical equipment, whether on the structure or on the ground, with materials architecturally compatible with the main structure. Screening details shall be shown on the plans submitted for issuance of building permits, the adequacy of which shall be determined by the Planning Division. All required screening shall be provided prior to occupancy.
10. The proposed storage racks adjacent to the east property line shall not exceed the height of the property line wall.
11. All exterior lighting including landscape lighting shall be directed downward and designed or shielded so as to not shine onto neighboring properties or streets. The applicant shall submit a final lighting plan including photometrics and drawings and/or manufacturer's specification sheets showing the size and types of light fixtures. The lighting plan shall be subject to the review and approval by the Director of Community Development prior to issuance of building permits for the project.
12. Prior approval from the Planning Division is required before any changes are made in site design, building design, grading, etc. In lieu of a PUD Development Plan modification, the Director of Community Development may authorize the design review process for minor building additions, site and landscape plan modifications, and/or grading/engineering modifications.
13. All trash and recycling refuse shall be contained completely within the approved trash and recycling enclosures. The materials and colors of the enclosures shall be consistent with plans shown in Exhibit B. The design and location of the trash and recycling enclosures shall be subject to the approval of the Director of Community Development, the Chief Building Official, and the Fire Chief. Trash and recycling containers shall be stored within the enclosures at all times, except when being unloaded. A recycling container(s) shall be provided within the enclosure. The recycling containers and enclosures shall be designed in a manner consistent with Pleasanton Garbage Service's recycling program in effect at the time of building permit issuance. The recycling containers shall be shown on the plans submitted for the issuance of a building permit.
14. All backflow prevention devices, above ground irrigation controls, and above ground irrigation meters shall be located and screened to minimize their visual impacts. These devices with their proposed screening shall be shown on the landscaping and utility plans submitted with the building permit plans, clearly marked "above ground" or "below ground" on the plans, and shall be subject to the review and approval of the Planning Division prior to their installation. If above ground, they shall be painted forest green or an equivalent dark-green color. Screens shall consist of berms, walls, or landscaping satisfactorily integrated into the landscape plan. Landscape screens shall include shrubbery designed by species and planting density to establish a complete screen within one year from the date of planting. Weather protection devices such as measures to protect pipes from freezing shall require approval by the Planning Division prior to

use; at no time shall fabric or other material not designed and/or intended for this purpose be wrapped around or otherwise placed on these devices.

15. All heating, ventilation, and air conditioning (HVAC) equipment, satellite receiving stations, etc., shall be located within the building's roof-equipment wells, and shall project no higher than a horizontal plane defined by the top-edge of the equipment screens/parapet walls unless otherwise approved by the Director of Community Development.
16. The location of any pad-mounted transformers shall be subject to approval by the Director of Community Development prior to issuance of permits by the Building and Safety Division. Such transformers shall be screened by landscaping or contained within an enclosure matching the building and with painted metal or wood gates. All transformers shall be shown on the plans submitted for issuance of building permits.
17. Prior to issuance of a building permit, the project developer shall pay the applicable Zone 7 and City connection fees and water meter cost for any water meters, including irrigation meters. Additionally, the project developer shall pay any applicable Dublin-San Ramon Services District (DSRSD) sewer permit fee.
18. The buildings with flat roofs shall have white cool roofs which are designed to reflect the heat of the sun away from the building, thus reducing its cooling load. Details of the cool roof shall be provided with the plans submitted for issuance of a building permit and shall be subject to the review and approval by the Director of Community Development.
19. The project shall comply with the current City/Pleasanton Garbage Service recycling and composting programs.
20. Final inspection by Planning Division is required prior to occupancy.
21. All conditions of approval shall be included as a plan sheet with all permit plan sets submitted for review and approval. The applicant/developer/responsible party shall create and complete a "Conditions of Approval" checklist indicating that all conditions in Exhibit A have been satisfied, incorporated into the plans, and/or addressed. Said checklist shall be attached to all plan checks submitted for review and approval by the City prior to issuance of permits.
22. The buildings shall be constructed to allow for future installation of a Photovoltaic (PV) system. The project/building developer shall comply with the following requirements for making the buildings photovoltaic-ready:
 - a. Electrical conduit and cable pull strings shall be installed from the roof/attic area to the buildings' main electrical panels;
 - b. An area shall be provided near the electrical panel for the installation of an "inverter" required to convert the direct current output from the photovoltaic panels to alternating current; and
 - c. Engineer the roof trusses to handle an additional load as determined by a structural engineer, to accommodate the additional weight of a prototypical photovoltaic system beyond that anticipated for roofing.

These measures shall be shown on plans submitted for issuance of a building permit.

23. The applicant shall prepare a Construction Best Management Plan for each construction phase for review and approval by the Planning Division. The Construction Best Management Plan shall be approved prior to issuance of a building permit and shall include, but is not limited to, the following:
 - a. A construction staging plan shall be designated for all materials, equipment, and vehicles including parking for construction works and personnel.
 - b. A construction truck route shall be designated to keep all construction traffic away from nearby residential streets. Prior to construction, the construction traffic route, construction hours, and contact names and telephone numbers shall be posted on the driveway entrances, throughout the construction site, and in any construction trailer(s).
 - c. Comprehensive traffic control measures shall be implemented, including scheduling of major truck trips and deliveries, to avoid peak travel hours. If necessary, as determined by the Traffic Engineer, proper lane closure procedures such as flagger stations, signage, cones, and other warning devices shall be implemented during construction.
 - d. The haul route for all materials to and from this development shall be approved by the City Engineer prior to the issuance of a permit, and shall include the provision to monitor the street surfaces used for the haul route so that any damage and debris attributable to the haul trucks is identified and corrected at the expense of the project applicant or developer.
 - e. All internal combustion engines used for grading or construction shall be equipped with a muffler equal to or better than that supplied by the vehicle manufacturer. All equipment shall be maintained in good mechanical condition so as to minimize noise and air pollution from a faulty engine, drive train, or other components. No muffler or exhaust system shall be equipped with cutout, bypass, or similar device intended to thwart quieting.
 - f. Dust control best management practices, as approved by the City Engineer, shall be followed at all times during grading and construction operations. Such measures may include watering of exposed surfaces twice a day, and more frequent watering when wind speeds exceed 15 mph; covering of stockpiled earth; and covering of trucks hauling dirt if windy conditions prevail. Failure to keep dust under control may result in the stoppage of all work until a modified plan acceptable to the City Engineer is approved and implemented.
 - g. Except for security trailers staffed by licensed security personnel, at no time shall campers, trailers, motor homes, or any other vehicle be used as living or sleeping quarters on the construction site. All such vehicles shall be removed from the site at the end of each workday. Construction trailers shall be allowed to be placed on

the project site for daily administration/coordination purposes during the construction period.

Landscape Architecture Division

24. The developer shall comply with the recommendations of the Arborist Report dated September 5, 2017 on file with the Planning Division. Details of the recommendations shall be submitted in conjunction with the plans submitted for issuance of building permits and shall be subject to review and approval by the Director of Community Development prior to issuance of building permits for the project.
25. A final landscape plan and irrigation plan shall be submitted to and approved by the Director of Community Development as part of the building permit plans prior to issuance of a building permit. Said landscape and irrigation plan shall be consistent with the approved landscape plan plus any conditions of approval, and shall be detailed in terms of species, location, size, quantities, and spacing. Plant species shall be of a drought-tolerant nature with an irrigation system that maximizes water conservation throughout the development (e.g., drip system). The irrigation system shall meet all requirements for compatibility with recycled water supply per City of Pleasanton Recycled Water Standards.
26. The project developer shall post cash, letter of credit, or other security satisfactory to the Director of Community Development in the amount of \$5,000 for each tree required to be preserved (including the City street trees along the project frontage), up to a maximum of \$25,000. This cash bond or security shall be retained for one year following completion of construction and shall be forfeited if the trees are destroyed or substantially damaged. No trees shall be removed other than those specifically designated for removal on the approved plans.
27. All trees used in landscaping shall be a minimum of twenty-four (24) box-size and all shrubs shall be a minimum of five (5) gallons.
28. The project shall comply with the City of Pleasanton's Water Efficient Landscape Ordinance (PWELo). Per Section 492.3 of PWELo, prior to issuance of a building permit, the applicant shall submit the following documentation in PDF format to the City's Landscape Architecture Division and shall be subject to the review and approval of the City's Landscape Architect prior to issuance of a building permit:
 - a. Landscape Documentation Package, which includes:
 - i. Project information.
 - ii. Water Efficient Landscape Worksheet.
 - iii. Soil management report.
 - iv. Landscape design plan.
 - v. Irrigation design plan; and
 - vi. Grading design plan.
29. Per Section 492.9 of PWELo, upon completion of construction and prior to a final inspection by the Building and Safety Division, the applicant shall submit the following documentation in PDF format to the City's Landscape Architecture Division for review and approval:

- a. Certificate of Completion, which includes:
 - i. Part 1: Project information sheet.
 - ii. Part 2: Certificate of installation according to the landscape documentation package.
 - iii. Part 3: Irrigation scheduling.
 - iv. Part 4: Schedule of irrigation landscape and irrigation maintenance.
 - v. Part 5: Landscape irrigation audit report; and
 - vi. Part 6: Soil management report (if not previously submitted).

30. The property owner is encouraged to use best management practices for the use of pesticides and herbicides.

31. The project developer shall provide root control barriers and four inch perforated pipes for parking lot trees, street trees, and trees in planting areas less than ten feet in width, as determined necessary by the Director of Community Development at the time of review of the final landscape plans.

32. Prior to occupancy, the landscape architect or landscape designer shall certify in writing to the Director of Community Development that the landscaping has been installed in accordance with the approved landscape and irrigation plans with respect to size, number, and species of plants and overall design concept.

33. The following statements shall be printed on to the site, grading, and landscape plans where applicable to the satisfaction of the Director of Community Development prior to issuance of a building permit:
 - a) No existing tree may be trimmed or pruned without prior approval by the Director of Community Development.
 - b) No equipment may be stored within or beneath the driplines of the existing trees.
 - c) No oil, gasoline, chemicals, or other harmful materials shall be deposited or disposed within the dripline of the trees or in drainage channels, swales, or areas that may lead to the dripline.
 - d) No stockpiling/storage of fill, etc., shall take place underneath or within five feet of the dripline of the existing trees.

34. Prior to issuance of a grading or building permit, the project developer shall install a temporary six-foot-tall chain-link fence (or other fence type acceptable to the Director of Community Development) outside of the existing tree drip lines, as shown on the plans. The fencing shall remain in place until final landscape inspection by the Department of Community Development. Removal of such fencing prior to that time may result in a “stop work order.”

35. The project developer shall enter into an agreement with the City, approved by the City Attorney, which guarantees that all landscaping included in this project as well as adjacent street trees will be maintained at all times in a manner consistent with the

approved landscape plan for this development. Said agreement shall run with the land for the duration of the existence of the improvements located on the subject property.

Traffic Engineering Division

36. The walkway on the south side of the building shall be revised to be a minimum of 5-feet wide.
37. Prior to issuance of building permits, the applicant shall pay all required traffic impact fees as well as any remaining Traffic Impact Analysis balance.

Engineering Department

38. The applicant shall slurry seal the length and width of the driving vehicle lane that is being impacted by the installation of the new 8-inch diameter sewer main along Santa Rita Road. This shall be depicted in the plans submitted for issuance of a building permit and is subject to review and approval by the City Engineer.
39. The applicant shall design DMA 5 without the 10-inch diameter storm drain bypass pipe for bioswale BMP 5, as shown in the preliminary plans on sheet C5. The revision shall be a part of the plans submitted for issuance of a building permit and is subject to review and approval by the City Engineer.
40. The applicant shall install a new sewer manhole at the new 6-inch diameter sewer lateral connection point to the City sewer main. This shall be depicted in the plans submitted for issuance of a building permit and is subject to review and approval by the City Engineer.
41. The applicant shall install a new sewer manhole where the new 8-inch diameter sewer main connects to the existing city sewer main along Santa Rita Road. This shall be depicted in the plans submitted for issuance of a building permit and is subject to review and approval by the City Engineer.
42. The applicant shall install catch basin inserts (5 millimeter mesh screens) for trash capture, approved by the State Water Resources Control Board, on all bioswale overflow outlet risers. This shall be depicted in the plans submitted for issuance of a building permit and is subject to review and approval by the City Engineer.
43. The applicant shall abandon all unused utility stubs in compliance with the latest City standards. This shall be depicted in the plans submitted for issuance of a building permit and is subject to review and approval by the City Engineer.
44. The applicant shall submit potable water, storm sewer, and sanitary sewer demand calculations to the City for review and acceptance. The calculations shall be provided with the plans submitted for issuance of a building permit and is subject to review and approval by the City Engineer.

45. The applicant shall repair the uneven sidewalk at the three locations located along the project frontage. The locations include a Pacific Bell Utility Box near an existing fire hydrant, uplifted sidewalk near the north side of southernmost driveway, and uplifted sidewalk near a street tree. This shall be depicted in the plans submitted for issuance of a building permit and is subject to review and approval by the City Engineer.
46. The applicant shall install one tree per tree well within the two existing tree wells that are missing trees along the sidewalk fronting the property. The size and species of tree shall be subject to the City Landscape Architect's review and approval. This shall be depicted in the plans submitted for issuance of a building permit and is subject to review and approval by the City Engineer.

STANDARD CONDITIONS OF APPROVAL

Planning Division

47. The proposed project shall be constructed and operated in substantial conformance to Exhibit B, including project plans dated "Received November 27, 2017", Traffic Impact Analysis and Memo dated October 3, 2017, and October 10, 2017, Environmental Noise Analysis dated "Received September 11, 2017," and Arborist Report dated September 5, 2017, on file with the Planning Division, except as modified by these conditions. Minor changes to the plans may be allowed subject to the review and approval of the Director of Community Development.
48. The applicant shall implement the measures identified in the U.S. Green Building Council's (USGBC), "Leadership in Energy and Environmental Design (LEED)" rating system to achieve a "certified rating" in the design, construction, and operation of the project. The green building measures shall be shown on plans submitted to the Building and Safety Division for issuance of a building permit. Each point identified shall have a notation indicating the sheet where the point can be found, and each sheet shall note where the point is located. All proposed green building measures shall be shown throughout the plan set as determined by the Planning Division.
49. The permit plan check package will be accepted for submittal only after the ordinance approving the PUD development plan becomes effective, unless the project developer submits a signed statement acknowledging that the plan check fees may be forfeited in the event the ordinance is overturned or that the design has significantly changed. In no case will a permit be issued prior to the effective date of the ordinance.
50. To the extent permitted by law, the project applicant shall defend (with counsel reasonably acceptable to the City), indemnify and hold harmless the City, its City Council, its officers, boards, commissions, employees and agents from and against any claim (including claims for attorneys fees), action, or proceeding brought by a third party against the indemnified parties and the applicant to attack, set aside, or void the approval of the project or any permit authorized hereby for the project, including (without limitation) reimbursing the City its attorneys fees and costs incurred in defense of the litigation. The City may, in its sole discretion, elect to defend any such action with attorneys of its choice.

51. The applicant must provide to the Director of Community Development a building height certification performed by a licensed land surveyor or civil engineer. Said certification must allow for the installation of finished roof materials and must meet the approved building height.
52. Planning Division approval is required before any changes are implemented in the site design, building design, grading, landscape material, lighting, etc., before construction begins and after construction is completed.
53. Alternative vehicle parking shall be provided in compliance with PMC Section 18.88.035.
54. Prior to issuance of a building permit, the developer shall pay the required commercial development school impact fee as prescribed by state law and as adopted by the Pleasanton Unified School District. Written proof of compliance with this condition shall be provided by Applicant to the City, on a form generated by the PUSD, prior to building permit issuance.
55. All demolition and construction activities, inspections, plan checking, material delivery, staff assignment or coordination, etc., shall be limited to the hours of 8 a.m. to 5 p.m., Monday through Saturday. No construction shall be allowed on State or Federal Holidays or Sundays. The Director of Community Development may allow earlier "start times" or later "stop times" for specific construction activities, e.g., concrete pouring. Prior to construction, the hours of construction shall be posted on site.
56. Portable toilets used during construction shall be emptied on a regular basis as necessary to prevent odor.
57. The project shall provide a minimum bicycle parking equivalent to 5-percent of the total number of vehicle parking spaces, with a maximum of 20 required bicycle parking spaces. Bicycle parking shall be shown on the building permit plans for review and approval by the Traffic Engineering Division prior to building permit submittal.
58. All bicycle racks shall comply with the following criteria:
 - a. Located in a visible and accessible location;
 - b. Support the frame of the bicycle and not just one wheel;
 - c. Allow the frame and one wheel to be located to the rack;
 - d. Allow the use of either a cable or U-shaped lock;
 - e. Be securely anchored;
 - f. Be usable by bikes with no kickstand; and
 - g. Be usable by a wide variety of sizes and types of bicycles.

Engineering Department

59. A "Conditions of Approval" checklist shall be completed and attached to all plan checks submitted for approval indicating that all conditions have been satisfied.

60. The project developer shall comply with the recommendations of the project's geotechnical consultant. The project developer's geotechnical consultant shall review and approve all foundation, retaining wall, and drainage geotechnical aspects of the final development plans to ensure that the recommendations have been properly incorporated into the development. The consultant shall certify by writing on the plans or as otherwise acceptable to the City Engineer that the final development plan is in conformance with the geotechnical report approved with the project.
61. The project developer shall arrange and pay for the geotechnical consultant to inspect and approve all foundation, retaining, and wall and drainage geotechnical aspects of project construction. The consultant shall be present on site during grading and excavation operations. The results of the inspections and the as-built conditions of the project shall be certified in writing by the geotechnical consultant for conformance to the approved plans and geotechnical report and submitted to the City Engineer for review and approval prior to occupancy.
62. All existing septic tanks or holding tanks shall be properly abandoned, pursuant to the requirements of the Alameda County Department of Health Services prior to the start of grading operations, unless specifically approved by the City Engineer.
63. The haul route for all materials to and from this development shall be approved by the City Engineer prior to the issuance of a permit, and shall address the need to schedule major truck trips and deliveries during off peak travel times, to avoid peak travel congestion. It shall also include the provision to monitor the street surfaces used for the haul route so that any damage and debris attributable to the haul trucks is identified and corrected at the expense of the project applicant or developer.
64. All dry utilities (electric power distribution, gas distribution, communication service, Cable television, street lights and any required alarm systems) required to serve existing or new development shall be installed in conduit, underground in a joint utility trench unless otherwise specifically approved by the City Engineer.
65. Any damage to existing street improvements during construction on the subject property shall be repaired to the satisfaction of the City Engineer at full expense to the project developer and includes but is not limited to slurry seal, overlay, restoration of landscaping and irrigation system, signing, striping, pavement marking or street reconstruction if deemed warranted by the City Engineer.
66. There shall be no direct roof leaders connected to the street gutter or storm drain system, unless otherwise approved by the City Engineer.
67. The project developer and/or the project developer's contractor(s) shall obtain an encroachment permit from the City Engineer prior to moving any construction equipment onto the site.
68. The project developer shall submit a final grading and drainage plan prepared by a licensed civil engineer depicting all final grades and drainage control measures, including concrete-lined V-ditches, to protect all cut and fill slopes from surface water

overflow. This plan shall be subject to the review and approval of the City Engineer prior to the issuance of a subdivision grading permit.

69. The project developer shall include erosion control measures on the final grading plan, subject to the approval of the City Engineer. The project developer is responsible for ensuring that the contractor is aware of such measures. All cut and fill slopes shall be revegetated and stabilized as soon as possible after completion of grading, in no case later than October 15. No grading shall occur between October 15 and April 15 unless approved erosion control measures are in place, subject to the approval of the City Engineer. Such measures shall be maintained until such time as a permanent landscaping is in place.
70. All existing drainage swales that are filled shall have subdrains installed unless otherwise approved by the City Engineer and the developer's soils engineer. All subdrains shall have cleanouts installed at the beginning of the pipe. The end of the pipe shall terminate in a storm drain or other storm drain outfall, subject to the approval of the City Engineer. The applicant's engineer shall submit a final subdrain location map to the City Engineer prior to acceptance of the public improvements. It shall be the responsibility of the owner to relocate a subdrain, if during the excavation of any subsurface structure, a subdrain is encountered. The City Attorney shall approve said notice.
71. A detailed grading and drainage plan prepared by a licensed Civil Engineer including all supporting information and design criteria (including but not limited to any peer review comments), storm drain treatment calculations, hydromodification worksheets, etc., shall be submitted as part of the improvement plans.
72. The minimum grade for the gutter flowline shall be set at one percent where practical, but not less than 0.75% unless otherwise approved by the City Engineer.

Building and Safety Division

73. At the time of building permit plan submittal, the project developer shall submit a final grading and drainage plan prepared by a licensed civil engineer depicting all final grades and on-site drainage control measures to prevent stormwater runoff onto adjoining properties.
74. Prior to issuance of building or demolition permits, the applicant shall submit a waste management plan to the Building and Safety Division. The plan shall include the estimated composition and quantities of waste to be generated and indicate how the project developer intends to recycle at least 75 percent of the total job site construction and demolition waste measured by weight or volume. Proof of compliance shall be provided to the Chief Building Official prior to the issuance of a final building permit. During demolition and construction, the project developer shall mark all trash disposal bins "trash materials only" and all recycling bins "recycling materials only." The project developer shall contact Pleasanton Garbage Service for the disposal of all waste from the site.

75. The project developer shall submit a building survey and/or record of survey and a site development plan in accordance with the provisions of Chapter 18.68 of the Municipal Code of the City of Pleasanton. These plans shall be approved by the Chief Building and Safety Official prior to the issuance of a building permit. The site development plan shall include all required information to design and construct site, grading, paving, drainage, and utilities.
76. The applicant and/or developer shall submit a pad elevation certification prepared by a licensed land surveyor or registered civil engineer to the Chief Building Official and Director of Community Development certifying that the pad elevation(s) and building location (setbacks) are pursuant to the approved plans, prior to receiving a foundation inspection for the structure.
77. The current State of California's Green Building Standards Code, "CAL Green," shall apply, as applicable.

Livermore-Pleasanton Fire Department (LPFD)

78. The project developer shall keep the site free of fire hazards from the start of lumber construction until the final inspection.
79. Prior to any construction framing, the project developer shall provide adequate fire protection facilities, including, but not limited to a water supply and water flow in conformance to the City's Fire Department Standards able to suppress a major fire.
80. All fire sprinkler system water flow and control valves shall be complete and serviceable prior to final inspection. Prior to the occupancy of a building having a fire alarm system, the Fire Department shall test and witness the operation of the fire alarm system.
Director of Community Development
81. All commercial, industrial, and multi-family residential occupancies shall have valve tamper and water flow connected to an Underwriters Laboratory (UL) listed Central Station Service. Fire Department plan check includes specifications, monitoring certificate(s), installation certificate and alarm company U.L. certificate. Fire alarm control panel and remote annunciation shall be at location(s) approved by the Fire Prevention Bureau. All systems shall be point identified by individual device and annunciated by device type and point.
82. A Hazardous Materials Declaration shall be provided for this tenant and/or use. The form shall be signed by the owner/manager of the company occupying the suite/space/building. No building permit will be issued until the Hazardous Materials Declaration is provided. The form is available through the permit center or from the LPFD Fire Prevention Bureau.
83. Should any operation or business activity involve the use, storage or handling of hazardous materials, the firm shall be responsible for contacting the LPFD prior to commencing operations. Please contact the Hazardous Materials Coordinator at 925-454-2361.

84. The proposed building(s) may have additional Fire Department requirements that can only be addressed by knowing the details of occupancy. These occupancy details shall be submitted to the Fire Department prior to submittal of construction plans to the Building Department. Details shall include but not be limited to the following:
- A. Type of storage
 - B. Height of storage
 - C. Aisle spacing
 - D. Rack of bulk storage
 - E. Palletized storage
 - F. Type of occupancies within areas of the building(s)

Based on the information received, there may be additional requirements such as: smoke and heat venting, in-rack sprinklers, increases in sprinkler design criteria, draft curtains, etc.

85. Electrical conduit shall be provided to each fire protection system control valve including all valve(s) at the water connections. The Livermore-Pleasanton Fire Department requires electronic supervision of all valves for automatic sprinkler systems and fire protection systems.
86. In industrial and commercial developments, fire hydrants shall be installed at spacing not greater than 300 feet. In residential development(s) hydrant spacing shall be at 400 feet.
87. On-site access ways and internal drives shall be designated as fire lanes and identified as such by red curb striping and posted with signs at locations approved by the Fire Department. Signs shall be according to state standards and read "No Parking - Fire Lane" and must be shown on the plans. The following schedule shall apply:

<u>Width</u>	<u>Requirements</u>
36 Feet or Greater	No Requirements
Between 28 and 36 Feet	Post one side
Between 20 and 28 feet	Post both sides
Less than 20 feet	Not permitted

<u>Aerial Ops - Width</u>	<u>Requirements</u>
42 Feet or Greater	No Requirements
Between 34 and 42 Feet	Post one side
Between 26 and 34 feet	Post both sides
Less than 26 feet	Not permitted

Where Fire Department vehicle access through or around a site involves changes in direction or curves, minimum-turning radius shall be as follows. Inside radius of 45 feet and outside radius of 55 feet shall be provided to facilitate fire truck turning radius for entry and exit from the site.

88. Dead-end access ways and internal drives shall not exceed 300 feet in length and shall terminate in turnaround no less than 100 feet in diameter or hammer-head (tee). Standards and options are available through the Fire Prevention Bureau.

89. Address numbers shall be installed on the front or primary entrance for all buildings. Minimum building address character size shall be 12" high by 1" stroke. If building is located greater than 50 feet from street frontage, character size shall be 16" high by 1 ½" stroke minimum. Where multiple access is provided, address or tenant space number shall be provided on each access and/or warehouse door and character size shall be no less than 4" high by ¾" stroke. In all cases address numerals shall be of contrasting background and clearly visible in accordance with the Livermore-Pleasanton Fire Department Premises Identification Standards. This may warrant field verification and adjustments based upon topography, landscaping or other obstructions.
90. LPFD truck aerial access shall be provided at a distance between 15 and 30 feet of on side of the building.
91. Emergency Responder Radio Coverage shall be provided in accordance with section 510 of the Pleasanton Fire Code.

Community Development Department

92. The project applicant/developer shall submit a refundable cash bond for hazard and erosion control. The amount of this bond will be determined by the Director of Community Development. The cash bond will be retained by the City until all the permanent landscaping is installed for the development unless otherwise approved by the department.
93. The project developer shall pay any and all fees to which the property may be subject prior to issuance of permits. The type and amount of the fees shall be those in effect at the time the permit is issued.
94. If any prehistoric or historic artifacts, or other indication of cultural resources are found once the project construction is underway, all work must stop within 20 meters (66 feet) of the find. A qualified archaeologist shall be consulted for an immediate evaluation of the find prior to resuming groundbreaking construction activities within 20 meters of the find. If the find is determined to be an important archaeological resource, the resource shall be either avoided, if feasible, or recovered consistent with the requirements of the State CEQA Guidelines. In the event of discovery or recognition of any human remains in any on-site location, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains until the County coroner has determined, in accordance with any law concerning investigation of the circumstances, the manner and cause of death and has made recommendations concerning treatment and dispositions of the human remains to the person responsible for the excavation, or to his/her authorized representative. A similar note shall appear on the improvement plans.

CODE REQUIREMENTS

(Applicants/Developers are responsible for complying with all applicable Federal, State and City codes and regulations regardless of whether or not the requirements are part of this list. The following items are provided for the purpose of highlighting key requirements.)

Livermore-Pleasanton Fire Department (LPFD)

95. All construction shall conform to the requirements of the California Fire Code currently in effect, City of Pleasanton Building and Safety Division and City of Pleasanton Ordinance 2153. All required permits shall be obtained.
96. Automatic fire sprinklers shall be installed in all occupancies in accordance with City of Pleasanton Ordinance 2153. Installations shall conform to NFPA Pamphlet 13 for commercial occupancies.
97. Fire alarm system shall be provided and installed in accordance with the CFC currently in effect, the City of Pleasanton Ordinance 2153 and 2002 NFPA 72 - National Fire Alarm Code. Notification appliances and manual fire alarm boxes shall be provided in all areas consistent with the definition of a notification zone (notification zones coincide with the smoke and fire zones of a building). Shop drawings shall be submitted for permit issuance in compliance with the CFC currently in effect.
98. City of Pleasanton Ordinance 2153 requires that all new occupancies be provided with an approved key box from the Knox Company as specified by the Fire Department. The applicant is responsible for obtaining approval for location and the number of boxes from the Fire Prevention Bureau. Information and application for Knox is available through their website or the Fire Prevention Bureau. Occupant shall be responsible for providing tenant space building access keys for insertion into the Knox Box prior to final inspection by the Fire Department. Keys shall have permanent marked tags identifying address and/or specific doors/areas accessible with said key.
99. Underground fire mains, fire hydrants and control valves shall be installed in conformance with the most recently adopted edition of NFPA Pamphlet 24, "Outside Protection."
 - Fire flow and duration shall be provided in accordance with 2016 CFC Appendix B.
 - The underground pipeline contractor shall submit a minimum of three (3) sets of installation drawings to the Fire Department, Fire Prevention Bureau. The plans shall have the contractor's wet stamp indicating the California contractor license type, license number and must be signed. No underground pipeline inspections will be conducted prior to issuance of approved plans.
 - All underground fire protection work shall require a California contractor's license type as follows: C-16, C-34, C-36 or A.
 - All field-testing and inspection of piping joints shall be conducted prior to covering of any pipeline.

Building and Safety Division

100. The project developer shall submit a record of survey and a site development plan in accordance with the provisions of Chapter 18.68 of the Municipal Code of the City of Pleasanton. These plans shall be approved by the Chief Building Official prior to the

issuance of a building permit. The site development plan shall include all required information to design and construct site, grading, paving, drainage, and utilities.

Urban Stormwater Conditions

The project shall comply with the NPDES Permit No. CAS612008, dated November 19, 2015, and amendments, issued the by California Regional Water Quality Control Board, San Francisco Bay Region, a copy of which is available at the Community Development Department, Public Works/Engineering section at City offices, Alameda County Clean Water Program and at State Water Board:

http://www.waterboards.ca.gov/sanfranciscobay/water_issues/programs/stormwater/Municipal/index.shtml);

The project shall comply with the “Construction General Permit” as required by the San Francisco Bay Regional Water Quality Control Board:

http://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.shtml)

A. Design Requirements

1. The NPDES Permit design requirements include, but are not limited to, the following:
 - a. Source control, sight design measures, and design and implementation of stormwater treatment measures are required when commercial, industrial or residential development creates and replaces 10,000 square feet or more of impervious surface, including roof area, streets and sidewalk.
 - b. Hydro-modification standards are required when a new development or redevelopment project creates and replaces total impervious area of one acre or more.
 - c. The NPDES Permit requires a proactive Diazinon pollutant reduction plan (aka Pesticide Plan) to reduce or substitute pesticide use with less toxic alternatives.
 - d. The NPDES Permit requires complying with the Copper Pollutant Reduction Plan and the Mercury Pollutant Reduction Plan.
2. The following requirements shall be incorporated into the project:
 - a. The project developer shall submit a final grading and drainage plan prepared by a licensed civil engineer depicting all final grades and on-site drainage control measures including bio-swales. Irrigated bio-swales shall be redesigned as needed to the satisfaction of the City Engineer to optimize the amount of the stormwater running off the paved surface that enters the bio-swale at its most upstream end. This plan shall be subject to the review and approval of the City Engineer prior to the issuance of any building permits.
 - b. The project developer shall submit sizing design criteria to treat stormwater runoff and for hydromodification, if required, at the time of PUD plan submittal and an updated detailed copy of calculations with subsequent submittals.

- c. Landscaping shall be designed to minimize irrigation and runoff, promote surface infiltration where appropriate and acceptable to the project soils engineer, and minimize the use of fertilizers and pesticides that can contribute to stormwater pollution.
 - I. Structures shall be designed to prohibit the occurrence and entry of pests into buildings, thus minimizing the need for pesticides.
 - II. Where feasible, landscaping shall be designed and operated to treat stormwater runoff. In areas that provide detention of water, plants that are tolerant of saturated soil conditions and prolonged exposure to water shall be specified. Soil shall be amended as required. (See planting guide line by Alameda County Clean Water Program.)
 - III. Plant materials selected shall be appropriate to site specific characteristics such as soil type, topography, climate, amount and timing of sunlight, prevailing winds, rainfall, air movement, patterns of land use, ecological consistency and plant interactions to ensure successful establishment.
 - IV. Landscaping shall also comply with City of Pleasanton ordinances and policies regarding water conservation.
- d. Trash areas, dumpsters and recycling containers shall be enclosed and roofed to prevent water run-on to the area and runoff from the area and to contain litter and trash, so that it is not dispersed by the wind or runoff during waste removal. These areas shall not drain to the storm drain system, but to the sanitary sewer system and an area drain shall be installed in the enclosure area, providing a structural control such as an oil/water separator or sand filter. No other area shall drain into the trash enclosure; a ridge or a berm shall be constructed to prevent such drainage if found necessary by the City Engineer/Chief Building Official. A sign shall be posted prohibiting the dumping of hazardous materials into the sanitary sewer. The project developer shall notify the Dublin-San Ramon Services District (DSRSD) upon installation of the sanitary connection; a copy of this notification shall be provided to the Planning Department.
- e. All paved outdoor storage areas shall be designed to minimize pollutant runoff. Bulk materials stored outdoors that may contribute to the pollution of stormwater runoff must be covered as deemed appropriate by the City Engineer/Chief Building Official and as required by the State Water Board.
- f. All metal roofs, if used, shall be finished with rust-inhibitive paint.
- g. Roof drains shall discharge and drain away from the building foundation. Ten percent of the stormwater flow shall drain to landscaped area or to an unpaved area wherever practicable.

B. Construction Requirements

The Construction General Permit's construction requirements include, but are not limited to, the following:

Construction activities (including other land-disturbing activities) that disturb one acre or more (including smaller sites that are part of a larger common plan of development) are regulated under the NPDES stormwater program. Operators of regulated construction sites are required to develop and implement a Stormwater Pollution Prevention Plan and to obtain a Construction General Permit (NOI) from the State Water Resources Control Board to discharge stormwater:

http://www.waterboards.ca.gov/water_issues/programs/stormwater/docs/finalconstpermit.pdf

Stormwater

1. The project developer shall submit a Stormwater Pollution Prevention Plan (SWPPP) for review by the City Engineer/Chief Building Official prior to issuance of building or engineering permits. A reviewed copy of the SWPPP shall be available at the project site until engineering and building permits have been signed off by the inspection departments and all work is complete. A site specific SWPPP must be combined with proper and timely installation of the BMPs, thorough and frequent inspections, maintenance, and documentation. Failure to comply with the reviewed construction SWPPP may result in the issuance of correction notices, citations or stop work orders.
2. The amendments to the SWPPP and all the inspection forms shall be completed and available at the site for inspection by the city, county or state staff.
3. The project developer is responsible for implementing the following Best Management Practices (BMPs). These, as well as any other applicable measure, shall be included in the SWPPP and implemented as approved by the City.
 - a. The project developer shall include erosion control/stormwater quality measures on the final grading plan which shall specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydroseeding, hay bales, sandbags, and siltation fences and are subject to the review and approval of the City Engineer/Chief Building Official. If no grading plan is required, necessary erosion control/stormwater quality measures shall be shown on the site plan submitted for an on-site permit, subject to the review and approval of the Building and Safety Division. The project developer is responsible for ensuring that the contractor is aware of and implements such measures.
 - b. All cut and fill slopes shall be revegetated and stabilized after completion of grading, but in no case later than October 15. Hydroseeding shall be accomplished before September 15 and irrigated with a temporary irrigation system to ensure that the grasses are established before October 15. No grading shall occur between October 15 and April 15 unless approved erosion control/stormwater quality measures are in place, subject to the approval of City Engineer/Chief Building Official. Such measures shall be maintained until such time as permanent landscaping is in place.

- c. Gather all sorted construction debris on a regular basis, place it in the appropriate container for recycling, and empty at least on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to stormwater runoff pollution.
- d. Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement and storm drains adjoining the site. Limit construction access routes onto the site and place gravel on them. Do not drive vehicles and equipment off paved or graveled areas during wet weather. Broom sweep the street pavement adjoining the project site on a daily basis. Scrape caked-on mud and dirt from these areas before sweeping.
- e. Install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site in order to retain any debris or dirt flowing in the storm drain system. Maintain and/or replace filter materials to ensure effectiveness and to prevent street flooding.
- f. Create a contained and covered area on the site for the storage of cement, paints, oils, fertilizers, pesticides, or other materials used on the site that have the potential of being discharged into the storm drain system through being windblown or in the event of a material spill.
- g. Never clean machinery, equipment, tools, brushes, or rinse containers into a street, gutter, or storm drain.
- h. Ensure that concrete/gunite supply trucks or concrete/plaster operations do not discharge wash water into street, gutters, or storm drains.
- i. Equipment fueling area: Use off-site fueling stations as much as possible. Where on-site fueling occurs, use designated areas away from the storm drainage facility, use secondary containment and spill rags when fueling, discourage “topping off” of fuel tanks, place a stockpile of absorbent material where it will be readily accessible, and check vehicles and equipment regularly for leaking oils and fuels. Dispose rags and absorbent materials promptly and properly.
- j. Concrete wash area: Locate wash out areas away from the storm drains and open ditches, construct a temporary pit large enough to store the liquid and solid waste, clean pit by allowing concrete to set, breaking up the concrete, then recycling or disposing of properly.
- k. Equipment and vehicle maintenance area: Use off-site repair shop as much as possible. For on-site maintenance, use designated areas away from the storm drainage facility. Always use secondary containment and keep stockpile of cleanup materials nearby. Regularly inspect vehicles and equipment for leaks and repair quickly or remove from the project site. Train employees on spill cleanup procedures.

C. Operation Requirements

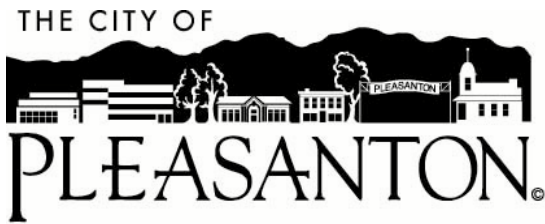
The Permit's operation and maintenance requirements include but are not limited to the following: The operation and maintenance of treatment measures including but not limited to bio-swales, lawns, landscaped areas with deep-rooted plants, oil/water separator, filterra units, etc., requires completing, signing and recording an agreement with Alameda County recorder's office in a format approved by the State and Alameda County.

1. All projects, unless otherwise determined by the City Engineer or Chief Building Official, shall enter into a recorded Stormwater Treatment Measures Inspection and Maintenance Agreement for ongoing maintenance and reporting of required stormwater measures. These measures may include, but are not limited to:
 - a. A mechanism shall be created, such as a property owners' association, to be responsible for maintaining all private streets, private utilities and other privately owned common areas and facilities on the site including stormwater treatment measures. These maintenance responsibilities shall include implementing the maintenance plan, which is attached to the Stormwater Treatment Measures Inspection and Maintenance Agreement. This document shall be reviewed by the City Attorney's Office and recorded with the final map.
 - b. On-site storm drain inlets clearly marked and maintained with the words "No Dumping – Drains to Bay."
 - c. Proper maintenance of landscaping, with minimal pesticide and fertilizer use.
 - d. Ensure wastewater from vehicle and equipment washing operations is not discharged to the storm drain system.
 - e. Ensure that no person shall dispose of, nor permit the disposal, directly or indirectly, of vehicle fluids, hazardous materials or rinse water from cleaning tools, equipment or parts into storm drains.
 - f. Clean all on-site storm drains at least twice a year with one cleaning immediately prior to the rainy season. The City may require additional cleanings.
 - g. Regularly but not less than once a month, sweep driveways, sidewalks and paved areas to minimize the accumulation of litter and debris. Corners and hard to reach areas shall be swept manually. Debris from pressure washing shall be trapped and collected to prevent entry into the storm drain system. Wastewater containing any soap, cleaning agent or degreaser shall not be discharged into the storm drain.
 - h. Vegetated swales with grasses shall be mowed and clippings removed on a regular basis.
2. Outdoor loading areas: The loading areas shall be covered. No other area shall drain into the loading area; a containment berm shall be constructed to prevent such drainage if found necessary by the City Engineer/Chief Building Official. The loading area may be required to drain to the sanitary sewer if required by the City Engineer/Chief Building

Official, subject to approval by the DSRSD. If connected to the sanitary sewer, a structural control such as an oil/water separator or sand filter shall be used, and a sign shall be posted prohibiting the dumping of hazardous materials.

A regular program of inspecting vehicles for leaks and spills, and of sweeping/vacuuming, litter control, and spill cleanup shall be implemented. Such program shall be submitted to the Director of Community Development for review and approval prior to issuance of building permits.

< End >



Planning Commission Staff Report

July 26, 2017

Item 6.a.

- SUBJECT:** Workshop for PUD-125
- APPLICANT/
PROPERTY
OWNER:** Mark Taylor
Carpenters Training Trust Fund
- PURPOSE:** Workshop to review and receive comments on an application for a Planned Unit Development (PUD) development plan to demolish an existing, approximately 68,000-square-foot building and construct an approximately 87,000-square-foot two-story Carpenter's Training Facility (CTF) building and outdoor training and storage yard, and a pad for a future, approximately 17,000-square-foot office building with associated site improvements
- GENERAL PLAN:** Retail/Highway/Service Commercial/Business and Professional Offices
- ZONING:** Planned Unit Development – Office/Central Commercial (PUD-O/C-C) District
- LOCATION:** 2350 Santa Rita Road
- EXHIBITS:**
- A. [Planning Commission Workshop Discussion Points](#)
 - B. [Narrative dated "Received July 18, 2017" and Development Plans dated "Received May 10, 2017"](#)
 - C. [PUD-81-12 Planning Commission Staff Report and City Council Ordinance No. 988](#)
 - D. [Preliminary Review Comment Letter dated June 20, 2017](#)
 - E. [HortScience Tree Report dated May 8, 2017](#)
 - F. [Applicant's Public Outreach Flyer](#)
 - G. [Location and Notification Map](#)

RECOMMENDATION

Staff recommends that the Planning Commission review the proposed development project, hear public comment, and provide comments to staff and the applicant on the project. No formal action on the application will be taken at this time.

EXECUTIVE SUMMARY

The applicant, Mark Taylor, on behalf of Carpenters Training Trust Fund, is proposing to demolish the existing 67,619-square-foot CTF building and construct an approximately 87,000-square-foot two-story CTF building and outdoor training and storage yard and a pad for a future, approximately 17,000-square-foot office building with associated site improvements on an 8.13-acre lot located at 2350 Santa Rita Road. The proposed project is being presented to the Commission as a workshop, providing the Commission with an opportunity to review the project, hear public comment, and give direction to staff and the applicant – no formal action will be taken on the application at this time. When the project is ready for public hearing, staff will present the application to the Planning Commission, and a final decision will be made by the City Council. A list of discussion topics and questions are included in the body of this report and in [Exhibit A](#).

BACKGROUND

In 1981, the City Council approved PUD-81-12 to allow for the construction of a combination office building and CTF, outdoor training yard, and 430 parking stalls. The Planning Commission staff report and City Council Ordinance No. 988 are attached for reference. The CTF has continually been in operation at the subject location since that time.

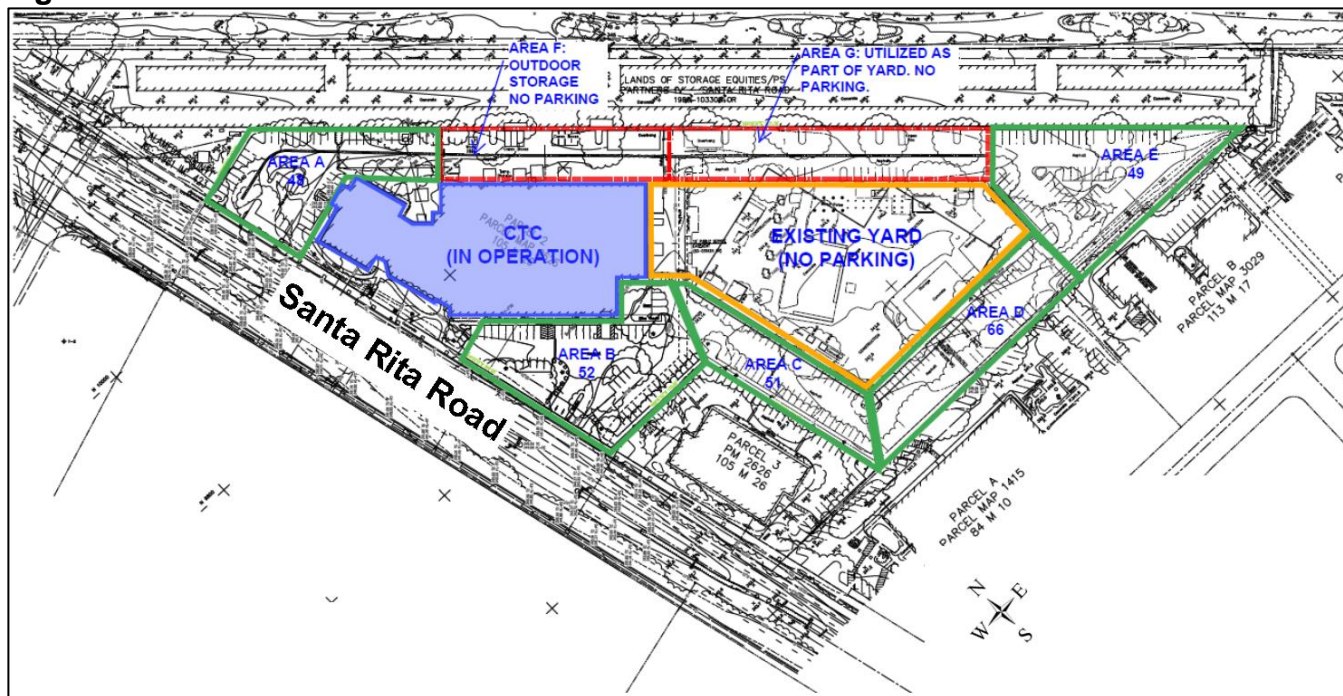
On March 1, 2017, the applicant submitted a Preliminary Review application for a Planned Unit Development (PUD) development plan application to demolish the existing CTF building and construct an approximately 87,000-square-foot two-story CTF building and outdoor training and storage yard and a pad for a future, approximately 17,000-square-foot office building with associated site improvements on the subject site. After reviewing the application, staff was generally supportive of the project and provided the applicant with a comment letter dated June 20, 2017 ([Exhibit D](#)). Comments that were provided encouraged the applicant to reconsider the placement of the proposed CTF building to provide more of a street presence along Santa Rita Road. Concerns were also raised regarding: the location of the outdoor training yard; potential noise impacts on adjacent neighbors; and the amount of parking provided, including whether there was sufficient parking to accommodate demand at the facility during all phases of construction and build-out.

On May 10, 2017, the applicant submitted an application for a PUD development plan to construct the new CTF and future building pad. The site design and layout was nearly identical to the Preliminary Review submittal.

AREA AND SITE DESCRIPTION

The approximately 8.13-acre project site is currently developed with the existing CTF, including offices. Although the site was originally approved and constructed with 430 parking stalls, the applicant has indicated that only 266 parking stalls are currently utilized due to an expansion of the outdoor training yard and storage areas as shown in Figure 1 that was approved in 1999. Staff has confirmed that there have not been any known parking complaints or Code Enforcement violations associated with the current parking conditions. Access to the site is provided by three driveways off Santa Rita Road. The arborist report (included as [Exhibit E](#)) indicates that there are a total of 100 trees on-site and 36 trees off-site with canopies extending into the property.

Figure 1: Site Area



The properties adjacent to and within the immediate vicinity of the site include a variety of commercial and residential uses such as public storage to the northeast (zoned I-P (Industrial Park) District); multi-tenant medical and professional office buildings (zoned O (Office) District), and Eden Villa assisted living and memory care facility (zoned PUD-C/O (Planned Unit Development-Commercial/Office) District) to the south; a small office building (zoned O (Office) District) directly to the west with multi-family apartments (zoned RM-2,000 and RM-1,500 (Multi-Family Residential)) and Bicentennial Park across Santa Rita Road. Figures 2 and 3 show the site and the surrounding area.

Figure 2: Surrounding Land Uses

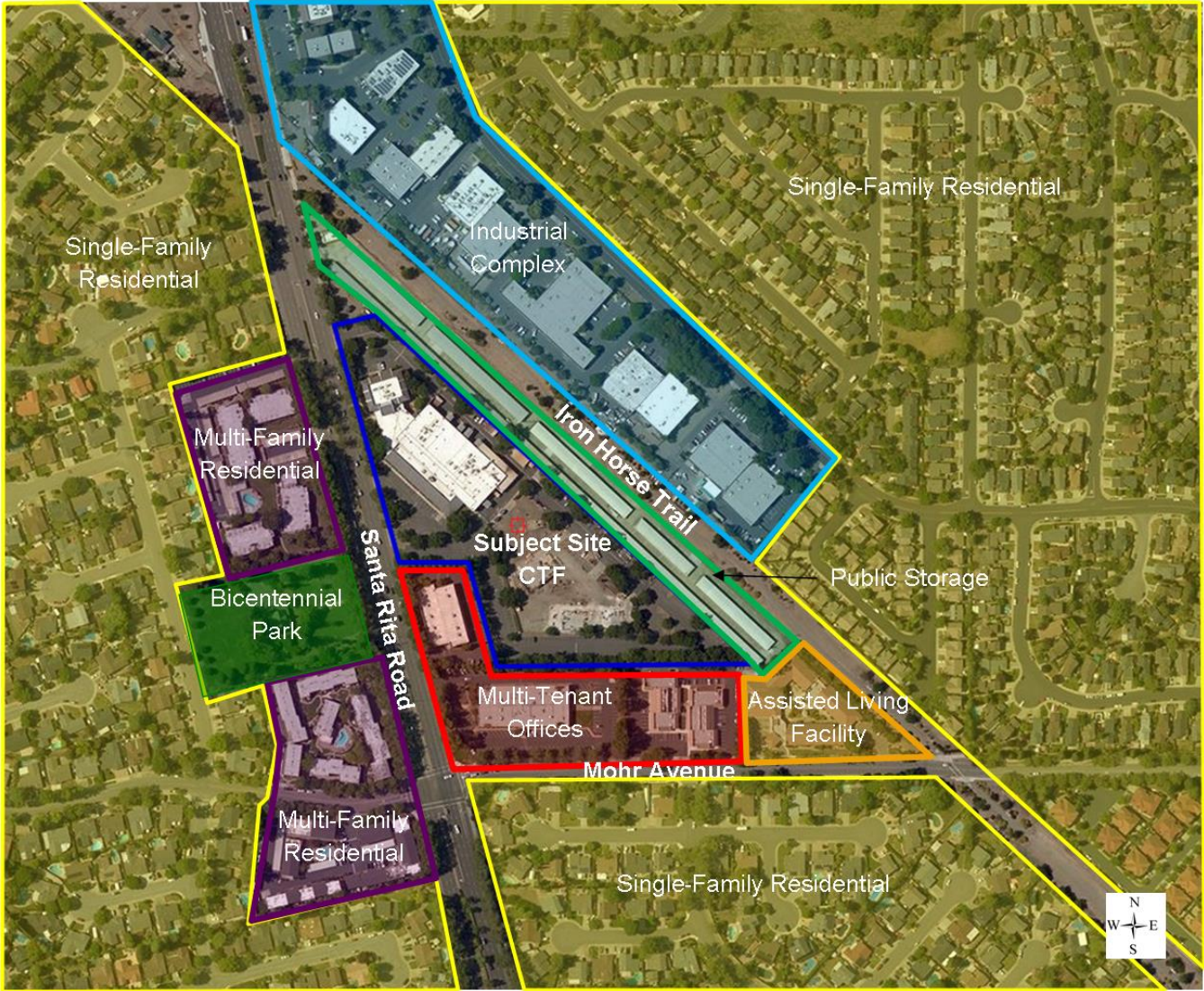


Figure 3: Surrounding Zoning

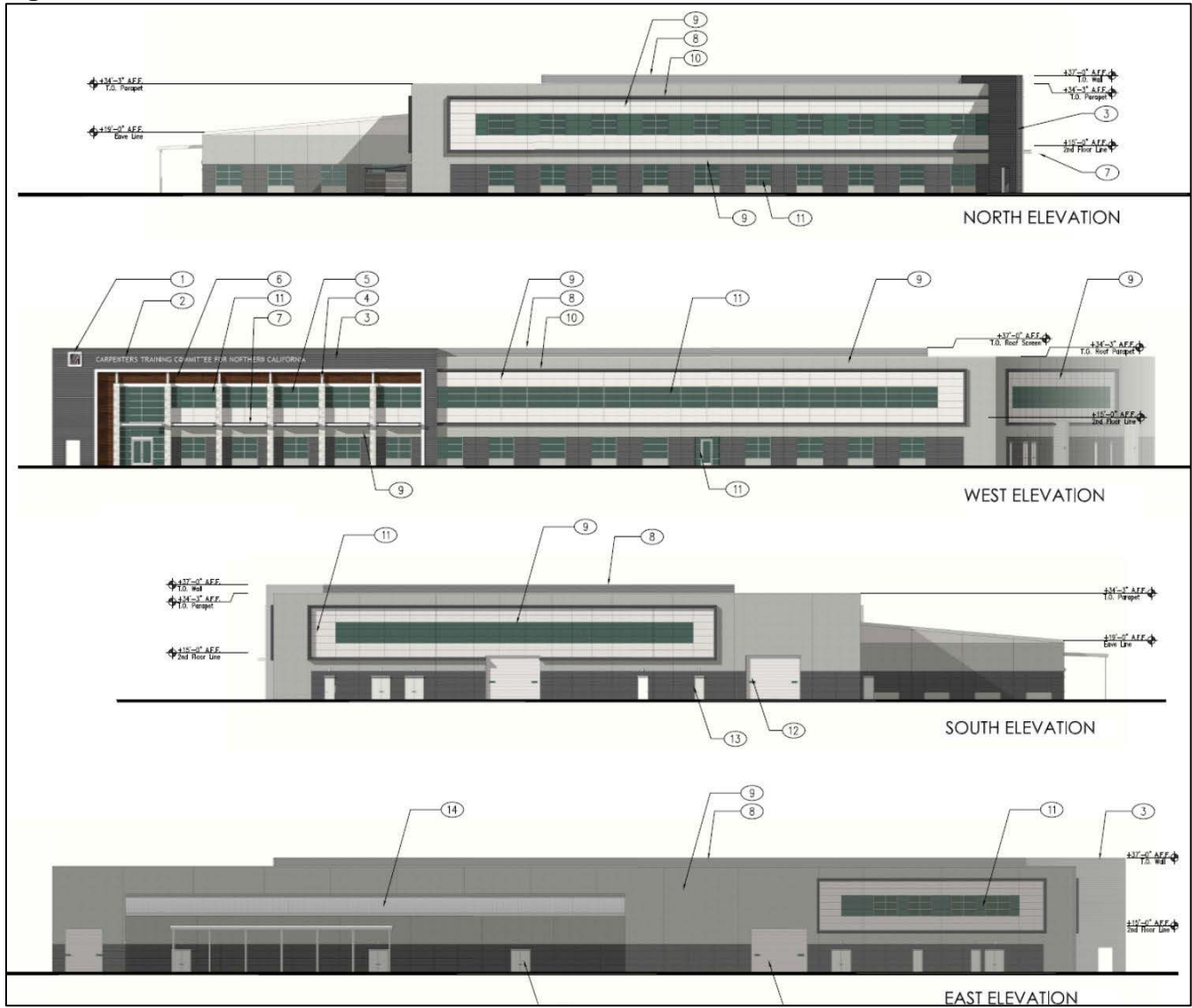


PROJECT DESCRIPTION

The applicant is proposing to demolish the existing 67,619-square-foot CTF building and construct an approximately 87,000-square-foot two-story CTF building and a pad for a future, approximately 17,000-square-foot office building with associated site improvements on an 8.13-acre lot. The new CTF will also include an approximately 68,000-square-foot outdoor training and storage yard. The new facility and office pad would include a total of 338 parking stalls throughout the site. The proposed site plan is included in Figure 4. The applicant is proposing to continue operating the existing CTF during construction of the new facility in order to meet the apprentice training needs in the area and has provided a phasing plan with proposed parking calculations during all phases of construction. The project characteristics are described below; project plans and a narrative are included as Exhibit B.

building would be a single-story section with a sloping standing seam metal roof. The building would have a maximum height of 37 feet, measured from finished grade to the top of the roof-top equipment screen, and 34 feet to the top of the parapet. Rollup doors are proposed on the south and east elevations of the building. A covered trash enclosure, matching the architectural style and colors of the building, would be located along the east property line adjacent to the Public Storage facility and would be surrounded by evergreen shrubs. Architecture for the future office building has not been provided with this application and is therefore not under consideration at this time. Architecture and final design details for the future office building would require a subsequent approval through PUD development plan approval.

Figure 5: Elevations

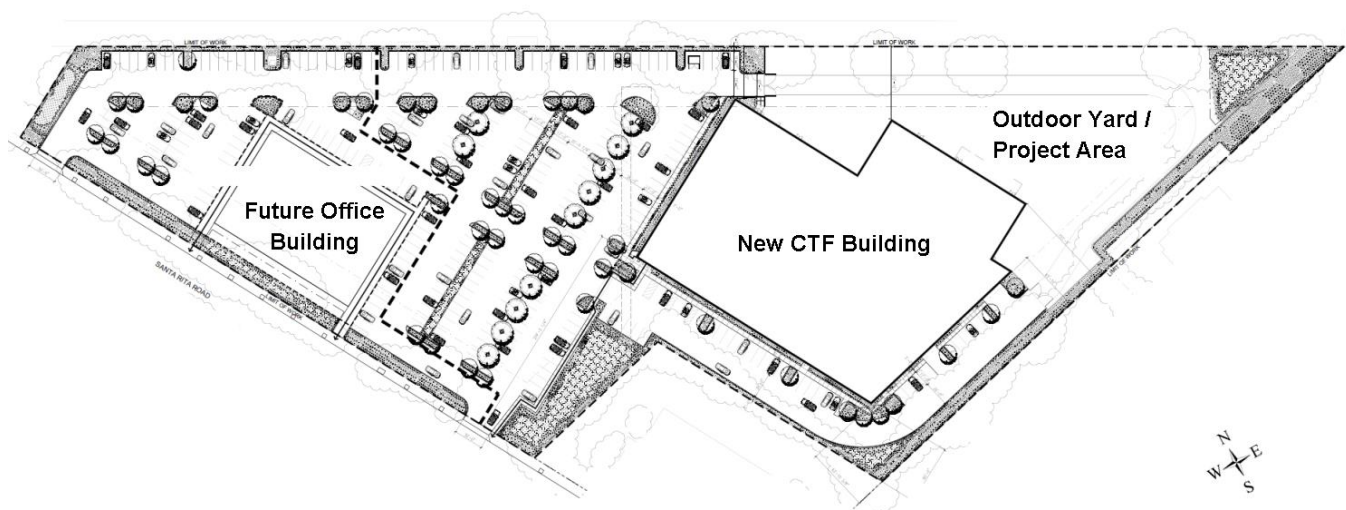


Trees and Landscaping

An arborist report was prepared for the proposed project which specifies the species, size, health, and value of the existing trees on the site that exceed six inches in diameter. The arborist report (included as Exhibit E) indicates that there are a total of 100 trees on-site and 36 trees off-site with canopies extending into the property. Of those trees, there are 46 Heritage Trees on-site and five Heritage Trees that are off-site. Based on preliminary analysis of on-site trees it is estimated that approximately 23 Heritage Trees would be preserved and 23 would be removed, and 20 non-Heritage Trees would be preserved and 34 would be removed. No off-site trees are planned for removal. Based on the current application, trees along the perimeter of the site along the Santa Rita Road street frontage and along the southeast property lines would be retained. The majority of the trees to be removed would be from the interior of the site. Staff has requested a more detailed tree removal plan to evaluate additional opportunities to reduce the potential impacts on, and to endeavor to retain more of the existing trees.

The preliminary landscape plan includes a tree/plant palette of native and non-native species that are primarily drought tolerant. New trees and landscaping would be planted throughout the site parking lot including within proposed diamond-shaped tree wells and end-cap planter islands. There are also several stormwater bioswales that would be planted with low-growing shrubs and ground cover. Staff has recommended that within the bioswales that are large enough, additional trees be planted where drainage would not be obstructed. Additional low-growing landscaping would also be planted directly adjacent to the new CTF building. Figure 6 shows the proposed landscape plan. More details are available in Exhibit B.

Figure 6: Landscape Plan

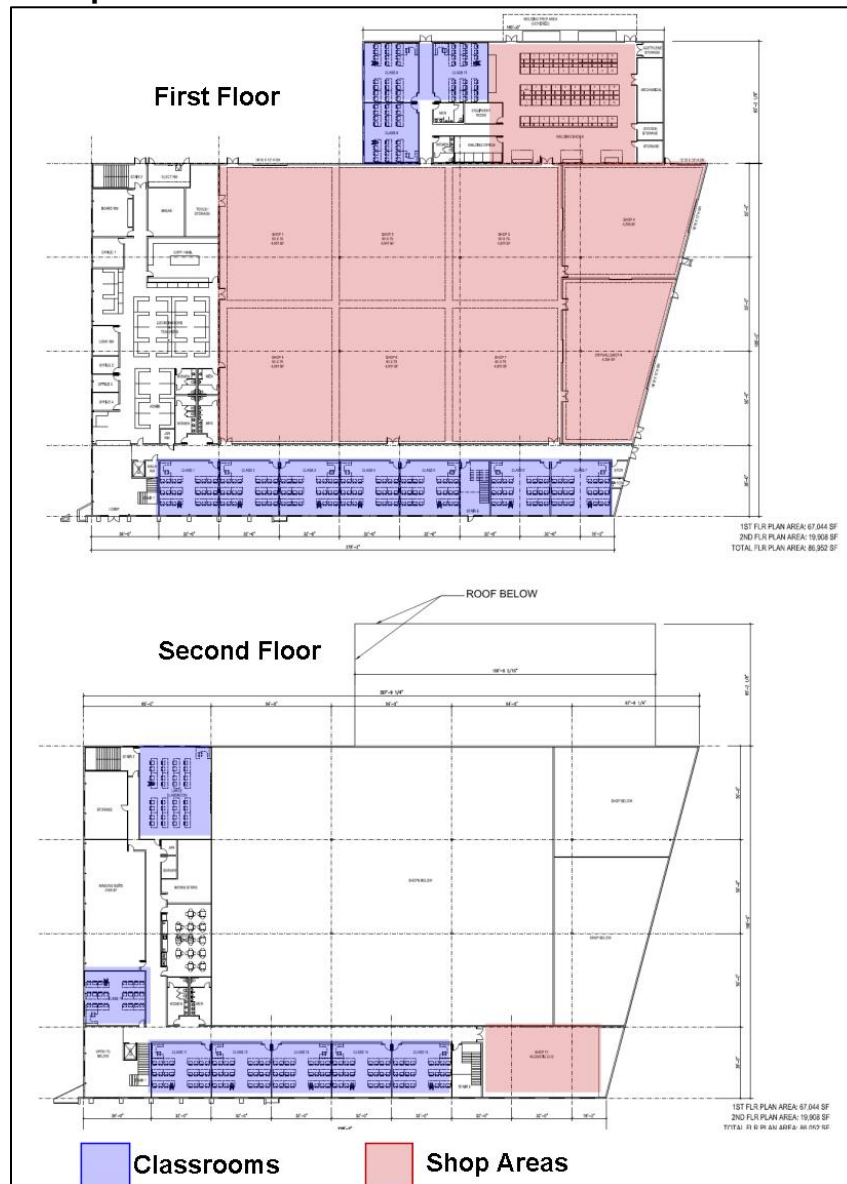


CTF Floor Plan and Operations

The Carpenters Training Trust Fund (CTTF) is a joint management-labor trust fund designated for the purpose of training apprentices and journeymen technicians in the fields of carpentry and carpenter sub-trades. Under the CTTF, the Carpenters Training Committee for Northern California (CTCNC) provides training for members and independent contractors throughout 46 northern California counties. The current active registered enrollment is approximately 4,500 apprentices, and 2017 enrollment is expected to grow to 5,000 apprentices. Approximately 2,000 of those apprentices will attend training at the Pleasanton facility. The apprenticeship program is designed to be four years in duration, with each apprentice receiving

144 hours of instruction at the facility per year while working in the field the rest of the time. Each year an apprentice attends four one-week training sessions on a quarterly rotation basis. The applicant has indicated that the current facility includes eight classrooms and associated shop areas and that CTF runs between 6 to 8 classes per week with 15 to 20 students in each class. The proposed facility would increase the number of classrooms to 16, with associated shop areas with 8 to 12 classes each week with 15 to 20 students in each class. The total number of anticipated students and staff on site per day will increase from 180 to 265 persons. The proposed floor plan is included in Figure 7.

Figure 7: Proposed Floor Plan



Classes regularly run from 7:00 a.m. to 4:30 p.m. Monday – Thursday. A typical weekly class schedule is provided in Figure 8 and a more detailed narrative, including specifics on the current and proposed daily operations, is included in Exhibit B. Similar to current operations, the proposed new facility, would operate additional nightly and weekend training classes with up to 150 students at a time and class sizes of 20 to 25 students at a time. Nightly and weekend classes would include journeyman skill upgrade classes during the evenings from 5:00 p.m. to 9:30 p.m. and Saturdays from 7:00 a.m. to 4:30 p.m. 80 percent of the training on weekends would be held in the outdoor training yard. In addition, the new facility would continue to lease room to the Cement Masons, who train on the weekends.

The proposed shop areas within the CTF would be constructed with double layer wood floors that allow students to nail and anchor into the upper layer of floor, which can be replaced as needed without damaging the lower permanent structural floor of the building. This will allow the majority of the hands-on training to be conducted indoors within the shop areas. As part of the weekly daily classes, training within the outdoor yard will be provided Tuesday through Thursday in the afternoons. Outdoor training would not occur during night or weekend classes. As proposed, outside training would typically occur on Tuesday and Wednesdays with clean-up and removal on Thursday each week. The goal is for apprentices to obtain as much hands-on teaching inside the new state of the art shops with minimal outside training. Outdoor training would include training on layout and leveling with optical and laser instruments, framing, and forklift and aerial lift training. Typical temporary outdoor structures would be no higher than 3 to 4 feet for concrete foundation projects, and no higher than 8 feet for wall framing projects. All temporary outdoor projects would be removed at the end of each week.

Figure 8: Proposed Typical Weekly Schedule

Group A Classes (weekly classes)	Classes per week	Students per class	Students per day (min-max)
Carpenters	4-6	15-20	80-120
Drywall/Lathers	2-4	15-20	40-80
Millwrights	1	15	15
Group A Sub-Totals	7-11	15-20	135-215
Group B Classes (quarterly classes)	Classes per Quarter	Students per Class	
Acoustic Installers	2-3	10-15	
Insulators	1-2	5-10	
Hardwood Floor Layers	1	8-12	
Group B Sub-Totals	4-6 (1 class/week)	5-15	5-15
SUB-TOTALS (per week) Group A + Group B Apprentices	8-12	10-20	140-230
Staff per day (admin/teachers)			30-35
TOTAL (Parking/day) (faculty + apprentices)			170-265

Traffic Analysis and Parking

A Traffic Impact Analysis (TIA) will be provided in conjunction with the Planning Commission's formal review of the development plan. The TIA will be completed by one of the City's on-call traffic consultants. While the TIA is being prepared, staff would like to obtain general comments from the Planning Commission on the design of the project to allow for further refinement. The TIA will include analysis of project-related trip generation, intersection levels of service, site access and on-site circulation, and existing and proposed parking through all phases of the project. The TIA will take into consideration impacts of both the proposed CTF, known anticipated sub-leases and partnerships (i.e., use of the facility by the Cement Masons on weekends), and the future office building.

Once complete, the project would include a total of 338 parking spaces. Sheet A1.0 within Exhibit B includes parking calculations. The applicant has provided parking on the site using the parking requirements for "Professional Trade Schools" in the Pleasanton Municipal Code (PMC), which requires one space for each employee, including teachers and administrative staff, and one space for every two students. As currently proposed the future office building would be parked at an office use ratio of one space for every 300 feet of building area (medical uses would not be permitted due to their higher parking demand). Based on PMC requirements, analyzing the facility at full capacity with all 16 classrooms that would be in use at the same time with 24 students in each classroom and 35 staff members, a total of 285 stalls would be required (227 for the CTF and 58 for the office building) and 338 stalls are provided. This calculation is based off of maximum occupancy of all 16 classrooms with 24 students per classroom and not the anticipated operations, which would involve the use of up to 12 classrooms at a time with only 15-20 students per classroom. Since not all students would carpool as assumed by the PMC parking requirements, the applicant has provided further information indicating that on a typical day the site would be occupied by up to 230 students and 35 teachers. If all teachers and students drive independently, then a total of 265 parking stalls would be required based a demand of one space for each employee and student. With the 58 stalls required for the future office building included, a total of 323 parking stalls would be needed and 338 have been proposed. The adequacy of the parking that would be provided as part of the project will be analyzed in the TIA that is currently underway.

Although staff is generally supportive of the overall number of parking spaces proposed, staff has concerns regarding the number of parking spaces provided at the various phases of the project. The TIA will also provide comments on the proposed phasing of the project. If the traffic analysis indicates that there is not enough parking during any phase of the project, CTF operations may have to be scaled down or partially moved off-site until additional parking becomes available.

Future Office Building

The application includes a future single-story office building comprising approximately 17,327 square feet of interior space. The design of the future office building is not included as part of this application and would require future PUD development plan approval. The proposed office building would allow for office uses only, but would not allow any medical uses.

Public Outreach

Staff always recommends that applicants speak to neighbors and property owners in close vicinity about their proposal to allow for public feedback and project refinement. On May 22, 2017, the applicant sent out a flyer (included as Exhibit F) to all property owners and tenants/occupants within 300 feet of the subject property. This outreach included a total of 290 flyers that were sent to approximately 50 properties. To date, the applicant has indicated that no comments or concerns were received about the project.

CONSIDERATIONS FOR THE WORKSHOP

The following section provides potential discussion topics and analysis of key issues related to the project. This workshop will allow the Planning Commission to provide direction to the applicant and staff regarding any issues it wishes to be addressed before the project application is formally presented to the Planning Commission, and the Commission makes a recommendation to the City Council. The first three questions below are topical areas where staff would find the Commission's input most helpful and the fourth and final question is open-ended. A list of these discussion topics and specific questions regarding the proposal are attached to this report as Exhibit A for the Planning Commission's consideration and discussion.

Site Plan – Aesthetics and Streetscape

The applicant is proposing that the new building be situated in the rear corner of the site, to facilitate the ongoing operation of the training facility during construction of the new facility, and to screen the proposed outdoor training facility. Ultimately, that would allow for the future demolition of the existing facility to accommodate a future office building. As redevelopment occurs along the Santa Rita Road corridor (and in other parts of our community), the City expects new projects to enhance the streetscape and connect to the public right-of-way in a manner that improves upon prior development. Setting buildings back to allow for significant parking that is visible from the street is counter to many of the community's broader policy and design objectives. For example, the recently adopted Bicycle and Pedestrian Master Plan includes Santa Rita Road as the second highest priority corridor for improvements, but auto-oriented development along the corridor would not promote bicycling in a complementary way.

To that end, staff continues to recommend that the proposed site plan for the CTF building and associated facilities, and the future office building, be re-evaluated in a way that emphasizes a "street presence" for the building, and minimizes the visual impacts related to parking. Such a site plan would also better showcase the well-designed and visually interesting building that is being proposed.

Site Plan – Outdoor Yard

By locating the proposed new building in the rear corner of the site, the associated construction and training yard would be in the back corner of the property, located in close proximity to the assisted living facility. While there have been no concerns raised to date by residents or operators of the assisted living facility, staff is seeking additional information (e.g., noise and traffic analyses) to confirm that the construction and training yard would be compatible with surrounding uses.

Discussion Point #1

What refinements to the site plan could improve the project?

Building Design, Colors, and Materials

The proposed project is on a very visible site on a well-traveled thoroughfare in the community. The architecture and design of the proposed facility, regardless of where it is located on the property, would be visible from Santa Rita Road. The proposed building architecture and design, including the prominent entry and proposed colors and materials will result in a visually interesting structure. The applicant has been responsive to staff comments requesting high-quality design on all four sides of the building and has integrated recommendations into the project design to include additional accent materials and architectural details on all elevations to complement the north and west elevations. Staff is requesting the Planning Commission's feedback on the building design, colors, and materials.

Discussion Point #2

Are the design, colors, materials, and height of the proposed CTF building acceptable?

CTF Outdoor Operations

Outside storage and training facilities will also be provided to assist with daily class operation (see Figures 9 and 10). The previous PUD conditions of approval for the existing facility prohibited power tools or other noise making activities in the area. Staff has requested additional information regarding the outdoor storage of materials, including what will be stored and the total height of all storage facilities within the yard area. As proposed, outside activities would include training on layout and leveling with optical and laser instruments, framing, and forklift and aerial lift training. Typical temporary outdoor structures would be no higher than 3 to 4 feet for concrete foundation projects, and no higher than 8 feet for wall framing projects. All temporary outdoor projects would be removed at the end of each week. The applicant has indicated that the proposed outdoor operations will not be changing from the current operations and that they have been using power tools for as long as the current staff can remember. Staff has confirmed that there have not been any known noise complaints or Code Enforcement violations associated with the current CTF operations. However, potential impacts associated with the location of the proposed yard, including noise, light and safety effects, are issues that will be further explored during review of this application.

To address some of these points, the applicant is proposing a new 8-foot tall block wall along the perimeter of the yard, near the property line that is shared with the existing office buildings and the assisted-living facility. In order to provide better information to the Commission, staff has requested that the applicant provide a noise study and will be working with neighboring business and property owners to confirm their understanding and awareness of this proposal.

Figure 9: Outdoor Yard Area

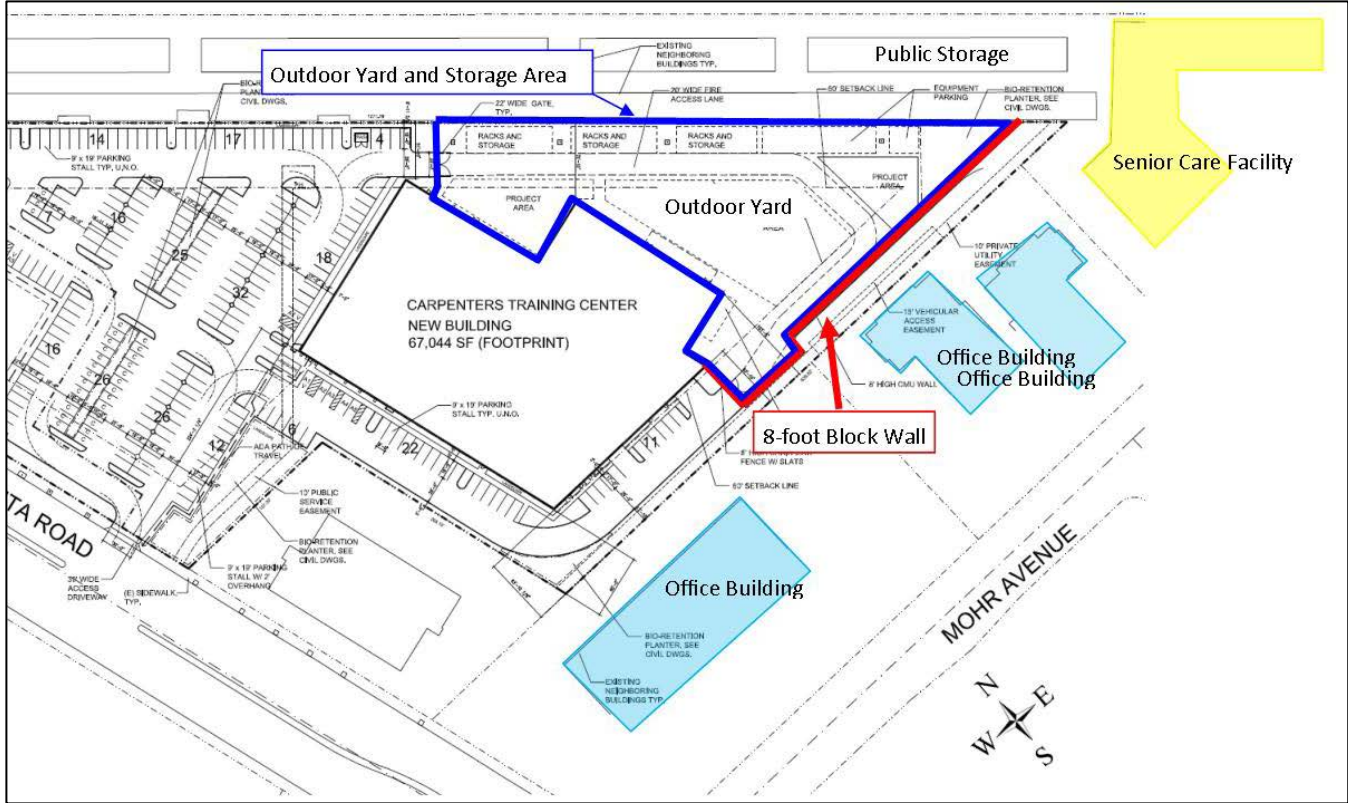


Figure 10: Aerial Photograph of Outdoor Yard Area



Discussion Point #3

Does the Commission have any initial feedback on the proposed outdoor operations?

Conclusion Discussion Point #4

What other information would assist the Commission in its decision on the proposal? Do you have any other comments on the project?

PUBLIC NOTICE

Notice of this workshop was sent to all property owners and tenants/occupants in Pleasanton within 1,000 feet of the site as shown in Exhibit G. At the time of report publication, Staff received no comments or concerns. Any public comments received after publication of this report will be forwarded to the Commission.

ENVIRONMENTAL ASSESSMENT

Since the Planning Commission will take no formal action on the project at the workshop, no environmental document accompanies this workshop report. Environmental documentation will be provided in conjunction with the Planning Commission's formal review of the PUD application.

Primary Author:

Jennifer Hagen, Associate Planner, 925-931-5607 or jhagen@cityofpleasantonca.gov

Reviewed/Approved By:

Steve Otto, Senior Planner

Adam Weinstein, Planning Manager

Gerry Beaudin, Community Development Director

PUD-125, Carpenter's Training Center

Workshop to review and receive comments on an application for a Planned Unit Development (PUD) development plan to demolish an existing, approximately 68,000-square-foot building and construct an approximately 87,000-square-foot two-story Carpenter's Training Facility (CTF) building and outdoor training and storage yard, and a pad for a future, approximately 17,000-square-foot office building with associated site improvements located at 2350 Santa Rita Road. Zoning for the property is PUD-O/C-C (Planned Unit Development - Office/Central Commercial) District.

Jennifer Hagen presented the Staff Report and described the key elements of the proposal.

Vice Chair Nagler asked staff to clarify the nature of the outdoor training.

Ms. Hagen responded there would be no change from the current activities or hours, which include for example concrete masonry, framing, and electrical power tools. She clarified that the current PUD restricts power tool use but discovered that the Carpenter's Training Facility (CTF) had been using them for many years without complaints.

Commissioner Allen asked staff to what degree the Commission should be endorsing the subdivision of the site.

Ms. Hagen asked the Commission to consider the overall site concept and noted the traffic and parking analysis will be provided at the next Planning Commission meeting.

Commissioner Brown asked if the future office building was intended to be used by CTF or if it would be sold or leased to a different tenant.

Ms. Hagen said CTF would like to sell the building to be developed separately.

Vice Chair Nagler asked how many parking spaces are required under the current PUD for CTF.

Ms. Hagen answered the original approval was for 430 which was later revised to 266 through the approval of a PUD Minor Modification. The Pleasanton Municipal Code (PMC) required 215 spaces.

Commissioner Allen asked how many of those parking spaces are typically occupied and if staff knows how many people are using alternate modes of transportation such as biking or carpooling.

Ms. Hagen replied that according to the submitted narrative approximately 180 stalls are occupied during peak hours and that staff does not know the means of transportation. She assured Commissioner Allen that with the completion of the Traffic Impact Analysis the proposed parking would meet the PMC requirement.

Vice Chair Nagler asked if there would be adequate parking available during all phases of construction.

Ms. Hagen said yes and explained that once the Traffic Impact Analysis was completed staff would work with the applicant to make sure adequate parking would be available during all construction phases. For example, some training may need to be moved off-site during construction if parking is not sufficient.

THE PUBLIC HEARING WAS OPENED.

Curtis Kelly, a regional representative for CTF, spoke on the history and future goals of the organization.

Commissioner O'Connor asked why the existing building would not be demolished prior to the construction of the new building.

Mr. Kelly replied the space is required for operations to continue because the other campuses are already impacted or are too far away (Fresno). He explained how three programs would be moving off-site to Fairfield whereby alleviating some burden on Pleasanton.

Steve Guest, architect, added commentary on how the existing building has a disproportionate amount of office space to shop space and how the new building, while not the best footprint to work with, will allow for more shop space.

Vice Chair Nagler asked the applicant team to explain the timing and plans for the office building.

Mr. Guest replied the construction timing is unknown and that in the meantime it will be a graded pad.

Commissioner Allen asked if any consideration was given to keeping the CTF facing Santa Rita Road.

Mr. Guest responded the building didn't fit well in the space.

Vice Chair Nagler asked if the needs could be met across several buildings, in a campus-like design.

Mr. Guest replied it is more cost effective to build one building.

Commissioner Allen asked if it were necessary to downscale the on-site classes, what would be the alternate locations for students to take courses.

Mr. Kelly reiterated how the other campuses are all impacted and therefore there would not be any ideal off-site location.

Commissioner Brown asked if all classes have shop components or if some classes could be taught in classroom-only settings.

Mr. Kelly answered CPR and blueprint classes are classroom only courses, however, most courses require shop components as defined by state curriculum requirements.

Commissioner O'Connor asked the applicant to comment on the reasoning for leaving the pad unpaved, restricting future development layouts, with full knowledge that staff is concerned about the presence on Santa Rita Road.

Mr. Guest replied the applicant team would be willing to discuss layout options with staff to stretch the frontage on Santa Rita Road.

Vice Chair Nagler addressed the noise concern mitigation measure of building a sound wall and asked the applicant team if they would be flexible on the location of the outdoor training yard.

Mr. Guest explained how the location was chosen for accessibility to the rear of the building where equipment can be locked and stored and near classrooms to minimize the distance the students need to travel throughout the class. He added how the corner of the yard is not usable learning space but is used for bioretention, and that fire access must be considered. Mr. Guest also commented on the height of the wall, explaining how the wall is 8 feet tall but that the CTF property is roughly 4 feet higher than the adjacent assisted living facility property making the wall effectively 12 feet tall.

Commissioner Allen asked how close the nearest residents are to CTF's other facilities.

Mr. Guest answered there were no comparable layouts.

Ben Dutere, a nearby employee, spoke in support of the project.

Rocio Overa, a resident and student of CTF, spoke in support of the project.

THE PUBLIC HEARING WAS CLOSED.

Discussion Point #1

What refinements to the site plan could improve the project?

Commissioner Brown commented that he liked the design of the building but was hesitant to leave the large frontage on Santa Rita Road unoccupied or occupied by parking for an unknown length of time. He agreed that the site is oddly shaped but said; aside from maintaining current operations he doesn't see anything precluding the applicant from shifting the yard away from the adjacent assisted living facility.

Commissioner Allen agreed with Commissioner Brown, and added that she would like to see design alternatives at the next hearing. Specifically, she asked to see design alternatives with the CTF building being the focal point on Santa Rita Road. Commissioner Allen also commented on the trees and asked the applicant to consider preserving more of the Heritage Trees along the border of the property, particularly numbers 1 – 16 on the plans, the trees that back the Iron Horse Trail and on the side by Mohr Avenue.

Commissioner O'Connor agreed with the comments regarding the building frontage on Santa Rita and the Heritage Tree preservation. He added, however, he did not want to

burden the applicant to the point they would consider leaving Pleasanton as they are a valued tenant. Commissioner O'Connor asked the applicant if the wall that goes behind the medical building stops at the far right corner of the lot.

Mr. Kelly responded the wall behind the storage facility is against the CTF property line so it would dovetail into it, however, if a cyclone fence were permitted rather than a wall then the trees could be preserved. He explained how noise mitigation was of greater concern than tree preservation and therefore the trees were marked for removal.

Commissioner Allen asked Commissioner O'Connor how he is able to consider the future building without knowing if or when it will ever be developed.

Commissioner O'Connor replied that while he doesn't know what the future building will look like he doesn't want to see an unpaved pad on the site which would restrict future development. He explained his preference for landscaping and paving in a way that would encourage future development.

Vice Chair Nagler agreed with Commissioner O'Connor's comment on not becoming so rigid that CTF would leave Pleasanton. He explained to the applicant that the concern is less about ultimate site design and more about timing. Vice Chair Nagler said the concern is an empty space on a highly trafficked corridor for an undetermined length of time. He gave the applicant three options to explore: (1) explore the feasibility of a campus and whether it could provide all the spaces at full build-out that CTF could occupy or lease out; (2) construct the building as proposed, demolish the existing building, and provide a community benefit on that vacant site, such as a park or landscaping, until the site gets developed; and (3) proceed with the entire project and not phase the construction of the buildings – keep the existing building, build the new building, tear down the existing building, and immediately construct a building on Santa Rita Road.

Mark Taylor, investor's group representative, responded to the Commission's comments stating the applicant team did not spend much time on the design and layout of the front office building, however, they understand now that it is a top concern. He told the Commission the applicant is not set on the proposed design and would be willing to provide alternatives to the Commission.

Vice Chair Nagler encouraged the applicant to work with staff on alternatives.

Commissioner Allen commented on the Traffic Impact Analysis and how the type of development that occurs could change the report and potentially double the current traffic, so until the report comes out it's unclear whether or not the Commission would want to approve a subdivision for a retail or office building.

The Commission unanimously agreed with Commissioner Allen's comment.

Commissioner Brown added that of the three options Vice Chair Nagler presented he is in favor of option three, pending the results of the Traffic Impact Analysis, and that he would prefer to approve the entire project as one PUD.

Commissioner Allen mentioned she is in favor of the campus design.

Discussion Point #2

Are the design, colors, materials, and height of the proposed CTF building acceptable?

The Commission unanimously provided compliments to the architects and support for the design, colors, materials, and height of the proposed CTF building.

Discussion Point #3

Does the Commission have any initial feedback on the proposed outdoor operations?

The Commission unanimously agreed on a request for a noise study for the sound block wall to assess whether or not it would successfully mitigate noise impacts of the activities that would occur in the yard.

Discussion Point #4

What other information would assist the Commission in its decision on the proposal? Do you have any other comments on the project?

Commissioner O'Connor reiterated his previous comment in support of a multi-building or campus type design.

Commissioner Allen asked staff to address parking concerns, especially during construction phases, and to consider construction crew and equipment storage in their analysis. She also suggested consideration of a bike corral or on-site showers to encourage students and/or employees to bike.

Vice Chair Nagler agreed with the previous comments and acknowledged that the Traffic Impact Analysis report would determine any parking challenges.

August 23, 2017

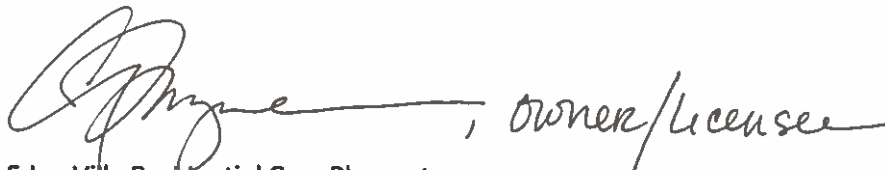
City of Pleasanton Planning Commission
P.O. Box 520
Pleasanton, CA 94566

Dear City of Pleasanton Planning Commission,

Eden Villa Residential Care Pleasanton has met with representatives from the Carpenters and is aware of their proposal for the new Carpenters Training center adjacent to our facility. The Carpenters Training Center has been a good neighbor and has not presented any issues related to noise or any other disturbance to our operations since Eden Villa has been in existence.

The Carpenters presented and described the operations of their outdoor yard and new training center. We understand the nature of the future outdoor operations and do not anticipate them being a concern for our residential care facility. As long as the new operations are similar to existing operations, Eden Villas does not foresee any future problems about the noise.

The proposal will be an improvement to the neighborhood and Eden Villa Residential Care Pleasanton supports the Carpenters proposal to replace the training center with a new facility.

 , owner/licensee

Eden Villa Residential Care Pleasanton

RECEIVED

SEP 01 2017

**CITY OF PLEASANTON
PLANNING DIVISION**

ERIC SWALWELL
15th District - California
**CO-CHAIR, DEMOCRATIC STEERING
AND POLICY COMMITTEE**
CHAIR, FUTURE FORUM
3645 Cassano Valley Blvd.
Cassano Valley, CA 94506
(510) 470-4322
179 Cannon House Office Building
Washington, DC 20515
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Congress of the United States
House of Representatives
Washington, DC 20515

**PERMANENT SELECT
COMMITTEE ON INTELLIGENCE**
Ranking Member
Subcommittee on CIA
Subcommittee on Foreign Trade
COMMITTEE ON JUDICIARY
Subcommittee on Courts, Intellectual
Property, and the Internet
Subcommittee on Regulatory Reform,
Commercial and Antitrust Law

August 17, 2017

Pleasanton Planning Commission
City of Pleasanton
P.O. Box 520
Pleasanton, CA 94566

RECEIVED

OCT 17 2017

CITY OF PLEASANTON
PLANNING DIVISION

Dear Planning Commission,

I am writing in support of the Carpenter's Training Committee for Northern California's application for a new and expanded facility at their current educational learning center located at 2350 Santa Rita Road in Pleasanton.

The existing facility opened at its current location on February 10, 1983 and currently serves as the flagship facility for the Carpenter's Training Committee for Northern California. According to information provided to my office, the facility serves over 2000 apprentices per year, and has graduated over 30,000 apprentices since the learning center was first opened.

Additionally, I am told as a post-secondary educational center, the facility provides opportunities to non-college bound high school graduates and partners with community organizations, school districts, and college districts by providing support for their vocational programs from the Bay Area and the Central Valley. This opportunity facilitates and bolsters our middle class by providing good-paying jobs, while simultaneously strengthening our economy.

I respectfully request that the Pleasanton Planning Commission give favorable consideration for the Carpenter's Training Committee for Northern California's application in accordance with all applicable laws and regulations.

Sincerely,



Eric Swalwell
Member of Congress

CC: Honorable Mayor Jerry Thorne
Councilmembers

STATE CAPITOL
PO BOX 942849
SACRAMENTO, CA 94249-0016
(916) 319-2016
FAX (916) 319-2116
DISTRICT OFFICE
2430 CAMINO RAMON, SUITE 345
SAN RAMON, CA 94583
(925) 328-1515
FAX (925) 328-1514

Assembly California Legislature



CATHARINE B. BAKER
ASSEMBLYWOMAN, SIXTEENTH DISTRICT

COMMITTEES
VICE CHAIR, HIGHER EDUCATION
TRANSPORTATION
BUSINESS AND PROFESSIONS
PRIVACY AND CONSUMER PROTECTION
JOINT LEGISLATIVE AUDIT

August 28, 2017

RECEIVED

OCT 17 2017

CITY OF PLEASANTON
PLANNING DIVISION

City of Pleasanton Planning Commission
P.O. Box 520
Pleasanton, California 94566

Dear Commissioners,

I respectfully write today to express support for the Carpenter's Training Committee for Northern California's application for a new and expanded facility at their current educational learning center located at 2350 Santa Rita Road in Pleasanton.

The existing facility was first opened at its current location on February 10, 1983, and serves as the flagship facility for the Carpenter's Training Committee for Northern California. The facility serves over 2000 apprentices per year, and has graduated over 30,000 apprentices since the learning center was first opened.

Additionally, as a state-of-the-art post-secondary educational center, the facility provides opportunities to non-college bough high school graduates and partners with community based organizations, school districts, and college districts providing support for their vocational programs from the Bay Area and Central Valley.

I recommend support for this project, as it has provided and continues to provide a valuable service to our community.

Warm regards,

A handwritten signature in blue ink that reads "Catharine B. Baker".

Catharine B. Baker
Assemblywoman, 16th District

cc: Honorable Jerry Thorne
Councilmembers



Board of Supervisors

RECEIVED

OCT 17 2017

Nathan A. Miley
Supervisor, District 4

CITY OF PLEASANTON
PLANNING DIVISION

Oakland Office
1221 Oak Street, Suite 536
Oakland, CA 94612
510-272-6694/510-465-7628 Facsimile

Eden Area District Office
20980 Redwood Road, Suite 250
Castro Valley, CA 94546
510-670-5717/510-537-7289 Facsimile

Pleasanton District Office
4501 Pleasanton Avenue, 2nd Floor
Pleasanton, CA 94566
925-803-7959

district4@acgov.org

August 25, 2017

Pleasanton Planning Commission
City of Pleasanton
P.O. Box 520
Pleasanton, CA 94566

Dear Planning Commission, City of Pleasanton:

As the Alameda County Supervisor representing the City of Pleasanton, I respectfully request your support of the Carpenter's Training Committee for Northern California's application for a new and expanded facility at their current educational learning center located at 2350 Santa Rita Road in Pleasanton.

The existing facility was first opened at its current location on February 10, 1983 and serves as the flagship facility for the Carpenter's Training Committee for Northern California. The facility serves over 2000 apprentices per year and has graduated over 30,000 apprentices since the learning center was first opened. This facility has helped thousands of men and women begin good paying job and successful careers within the trades industry.

Additionally, as a state of the art post-secondary educational center, the facility provides opportunities to non-college bound high school graduates and partners with community based organizations, school districts, and college districts providing support for their vocational programs from the Bay Area and the Central Valley.

Again, I urge your support for this project, as it has provided and continues to provide a valuable service to our shared community. Please do not hesitate to contact me within my Oakland Office should you have any additional questions.

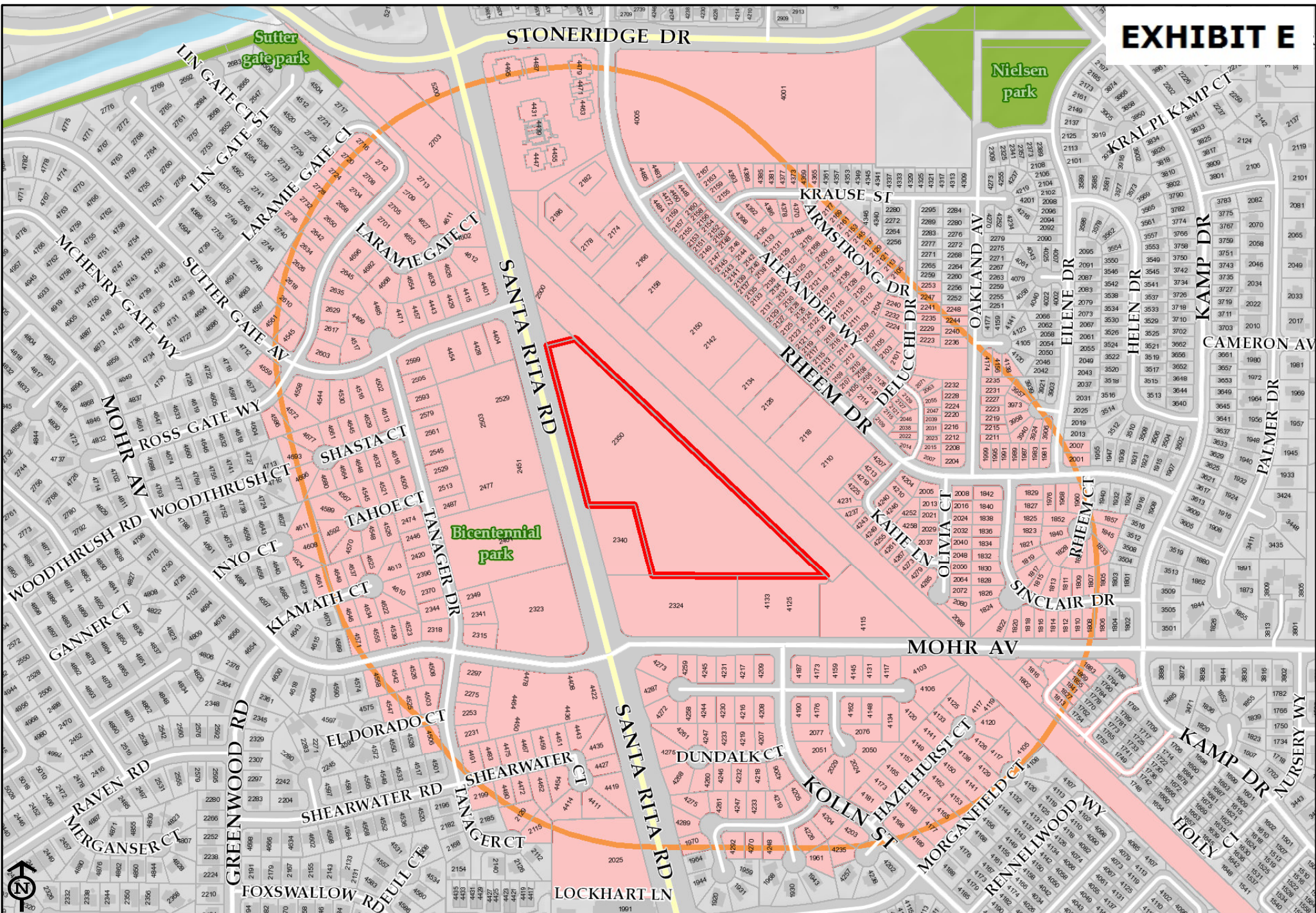
Sincerely,



NATE MILEY

NM:ab,kd

CC: Honorable Mayor Jerry Thorne
Councilmembers



PUD-125, 2350 Santa Rita Road, Carpenter's Training Center

