

Pleasanton Masonic Lodge #321, F&AM
Description of Proposed Uses

Thank you for your review of our Conditional Use Permit (CUP) and letter of comments. Listed below, in response to your questions we offer the following explanations, comments or additional information:

The building will be used for a Lodge (meeting place) for Pleasanton Masonic Lodge, #321. Specifically there are meetings scheduled:

First Wednesday of each month @ 6:30 PM we meet for dinner, and then our monthly business meeting. Most of the men who attend dinner stay for the meeting, with the wives returning home. Other men come after dinner, just for the meeting, which starts at 7:30 PM. In total most meetings have between 15 and 30 members. Generally the meeting is concluded by 9:30 PM with all present gone by 10:00 PM.

Other Wednesdays of each month the Lodge has either a practice (8 to 12 members) or a live degree (initiation) with up to 20 present. Practices start at 7:00 PM and continue till 9:30 PM or so with all present gone by 10:00 PM. Live degrees start at 7:30 PM and finish by 10:30 PM to 11:00 PM with all gone by 11:30 PM. Live degrees occur 6 - 10 times a year.

Finally we have a committee meeting the last Thursday of each month, generally attended by 7 to 10 members, starting at 7:00 PM and finished by 9:00 PM with all gone by 9:30 PM.

Doric Chapter - York Rite, is an affiliated organization with many members in common. Their meetings are the third Thursday of each month. They are preceded by dinner at 6:30 PM with the meeting starting at 7:30 PM. Again any wives leave after dinner and some members come just for the meeting. The meeting is typically over by 9:00 PM with all attendees gone before 10:00 PM. Two or three times a year they also have a practice on the first Thursday starting at 7:00 PM and finishing by 9:30 PM. In general the monthly meeting attendance averages between 8 and 15 members.

Pleasanton DeMolay, an associated youth organization for boys, meets evenings on the first and third Tuesday of each month, again with a meal before one of the meetings (6:30 PM) and attendance of approximately 15 - 20. Job's Daughters Bethel #1, another associated youth organization for girls, currently meeting in Dublin, is considering a move to our building sometime this fall and they would probably meet on the opposite Tuesday nights at 7:30 PM and finishing by 9:30 PM. Their meetings would have a regular attendance of approximately 12 - 18 members.

The other times, Mondays and Fridays would generally be unused as would most weekends. Each group has an annual (Lodge December) or semi-annual (DeMolay - February and August - Jobs Daughters - January and June)

Revised 04/27/2018

installation of officers (50 to 60 members / guests - generally 7:30 PM to 11:00 PM) on Saturdays, using both rooms. Virtually none of our usage would overlap with any other entity currently using the building or parking lot.

There would be three or four fundraisers each year, generally on Sunday mornings (8:00 AM - Pancake Breakfast – up to 30 per hour, coming & going till approx 11:30 AM).

We plan only interior modifications to the property with the exception of adding our name to the exterior of the building, monument and front doors. No other exterior modifications are planned.

Currently there are no community uses, and none are planned. The youth installations usually have a dance, wholly within the building, with recorded music, which is unlikely that it could be heard outside the building. The onsite parents and advisors see to it that the volume is not excessive. There are no outside events or activities planned. All activities, for all groups, will take place within the building.

Please don't hesitate to call me with any questions,



Kevin J. Keen, PM
Design Committee Chairman
Pleasanton Masonic Lodge
(415) 810-5802

Revised 04/27/2018



PROJECT SITE



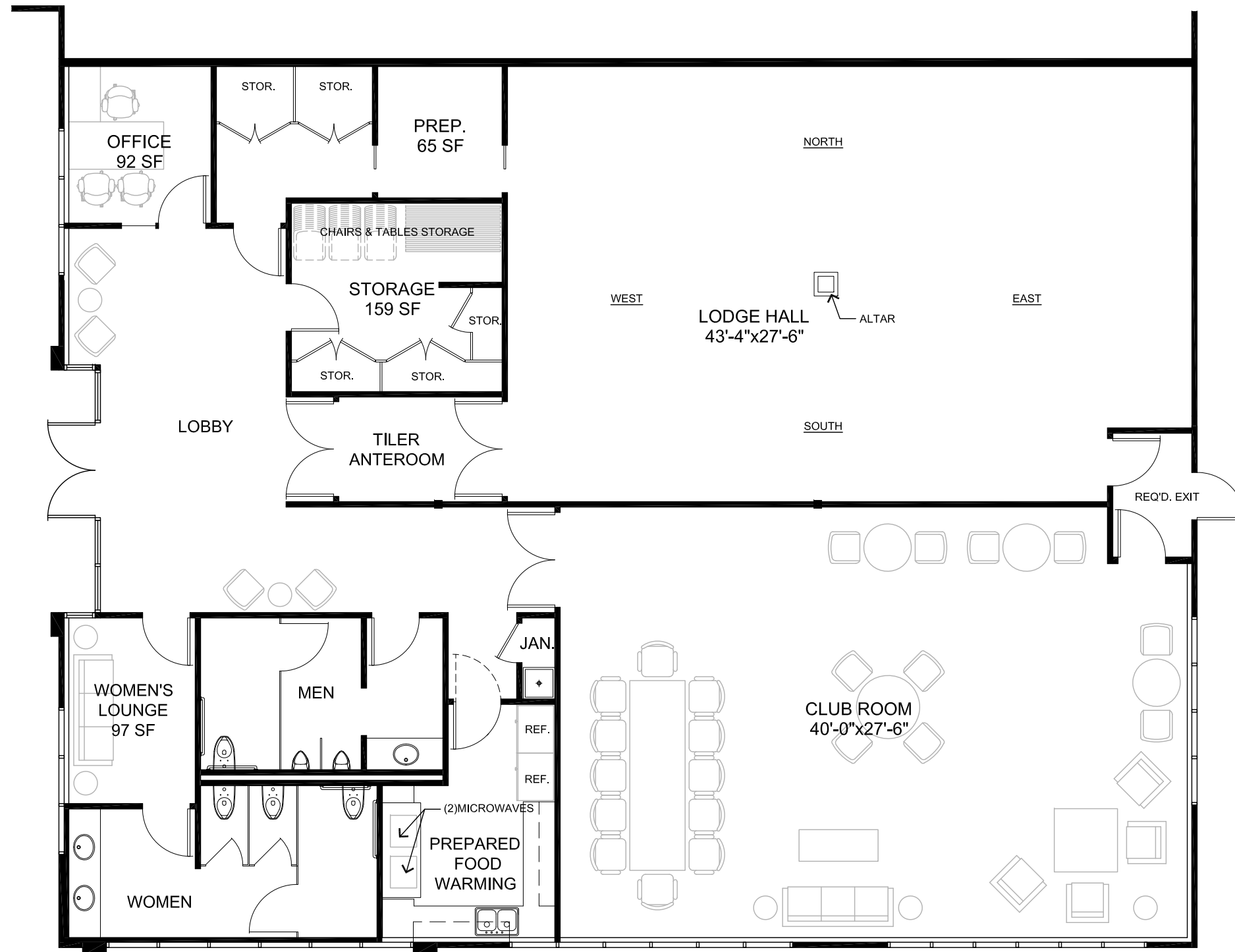
6700 Koll Center Parkway, Suite 110
Pleasanton, CA 94566
Tel: 925.484.5245 / Fax: 925.484.5206
www.idarchitecture.com

Pleasanton Masonic Lodge

Suite # 350
1181 QUARRY LANE
PLEASANTON, CA
Project #: 17220



CONDITIONAL USE PERMIT SUBMITTAL
2018-04-18
fl:BD



OCCUPANT LOAD CALCULATION

CLUB ROOM*: 1,100 SF / 20 (LOAD FACTOR) = 55 OCC.

LODGE HALL*: 1,191 SF / 20 (LOAD FACTOR) = 60 OCC.

PUBLIC SPACE/OFFICE/FOOD PREP.: 1,450 SF / 100 (LOAD FACTOR) = 15 OCC.

STORAGE: 194 SF / 500 (LOAD FACTOR) = 1 OCC.

MAX. TOTAL OCCUPANT* = 76 OCC.

* THE MASONIC LODGE USE OF THE FACILITY IS SUCH THAT THE CLUB ROOM AND THE LODGE HALL ARE SEPARATE, DISCRETE USES THAT DO NOT OCCUR AT THE SAME TIME.

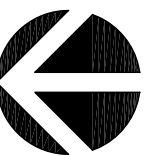


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SCALE: 1/8" = 1'-0"



FLOOR PLAN
 2018-04-18
 fl:BD



EXISTING BUILDING NORTH ELEVATION VIEW (MAIN ENTRANCE)



EXISTING BUILDING WEST ELEVATION VIEW (QUARRY LANE VIEW)

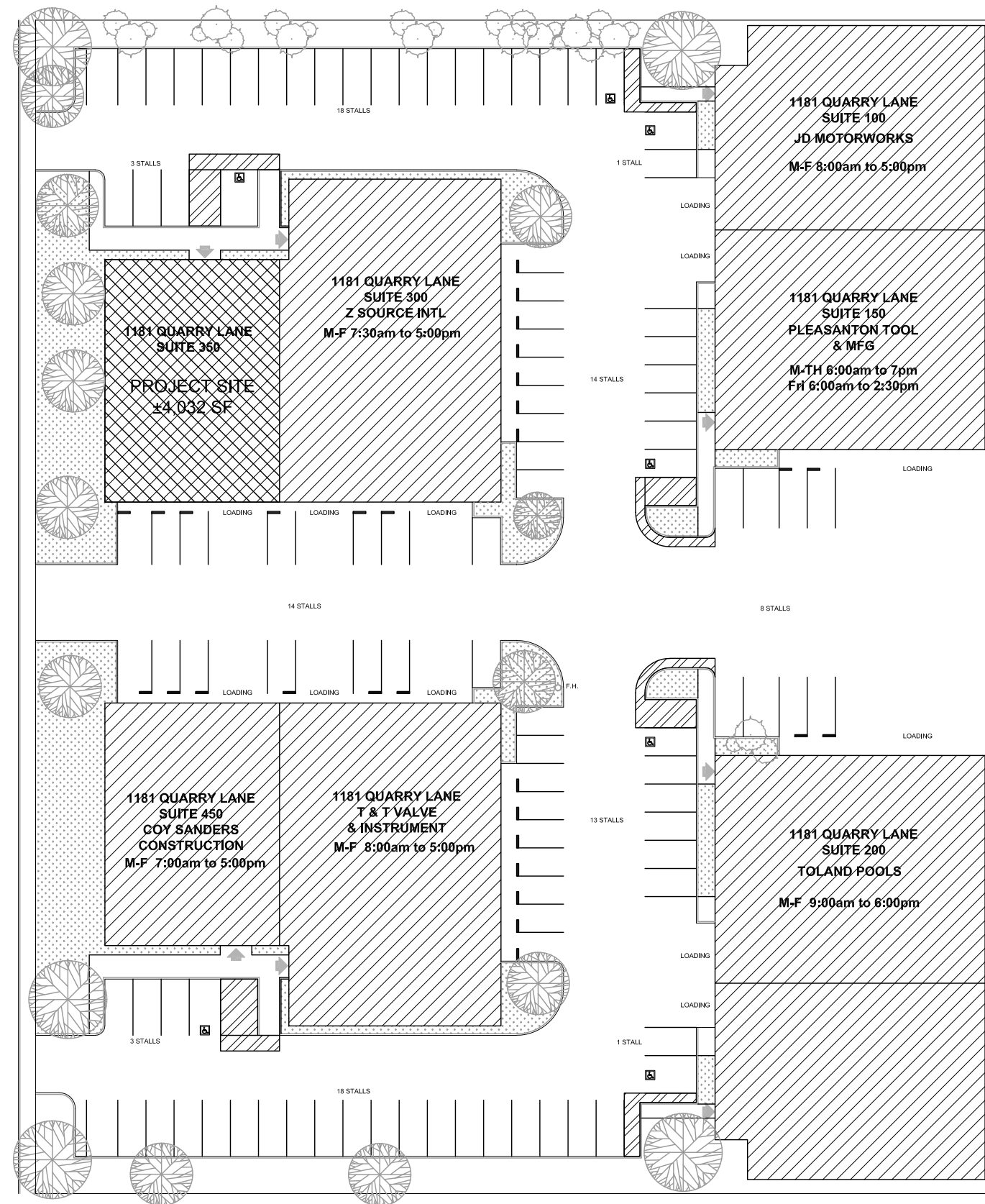


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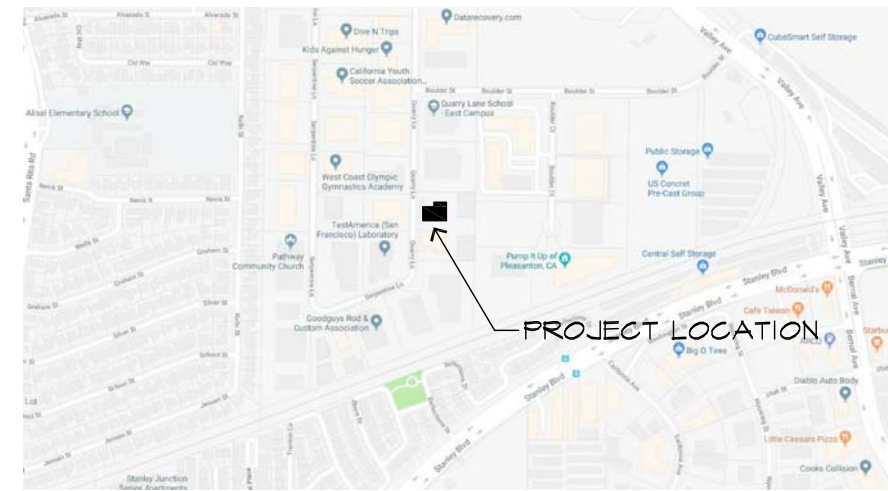
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EXISTING SITE IMAGES
2018-04-18
fl:BD



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LOCATION MAP

EXISTING PARKING COUNT

REGULAR PARKING STALLS = 93
 H.C. PARKING STALLS = 7
 TOTAL = 100

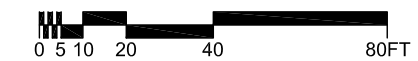
PREVIOUSLY APPROVED PARKING SPACES = 102*

*LOST SOME PARKING SPACES DUE TO HANDICAP PARKING REQ'D.
 SEE ATTACHED APPROVED RECORD SITE PLAN, SHEET 5.

MASONIC LODGE PARKING REQUIREMENTS

1. 4,032 SF @ 2.5/1000 RATIO = 11 PARKING STALLS REQ'D.
2. SEE CALCULATION, SHEET 2. THE MASONIC LODGE USE IS AFTER NORMAL BUSINESS HOURS AND WEEKENDS. ESTIMATED OCCUPANCY BASED ON THEIR USE IS CALCULATED AT 76 OCCUPANTS. THIS PARKING REQUIREMENT IS READILY ACCOMMODATED BY THE EXISTING OFF-STREET PARKING AND THE AVAILABLE ON-STREET PARKING ON QUARRY LANE.

SEE PLAN FOR EXISTING TENANTS AND THEIR HOURS OF OPERATION



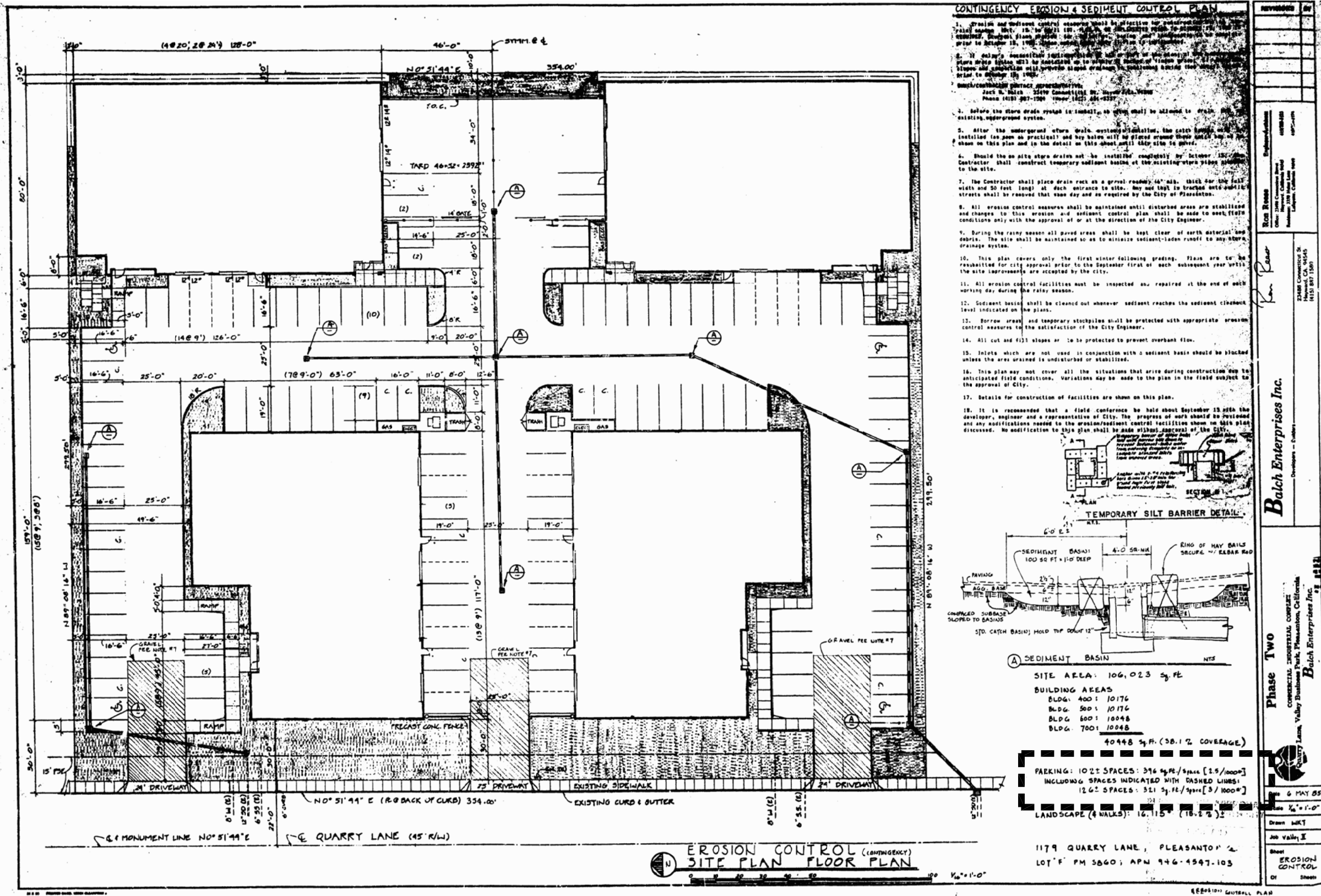
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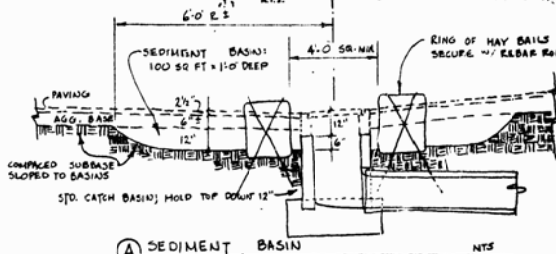
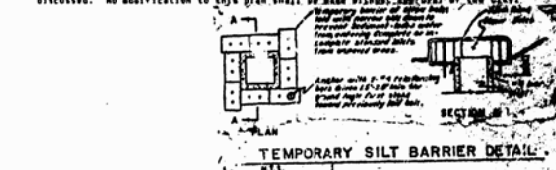


SITE PLAN
 Revised 2018-04-18
 fl:BD



CONTINGENCY EROSION & SEDIMENT CONTROL PLAN

1. Erosion and sediment control measures shall be installed and maintained in accordance with the approved plan.
2. If any delay in construction occurs, the contractor shall be responsible for maintaining the erosion and sediment control measures in place until the site is ready for final grading.
3. Should the site storm drains not be installed completely by October 15th, the contractor shall construct temporary sediment basins at the existing storm drain inlets to the site.
4. Before the storm drain system is installed, no other shall be allowed to drain into existing, underground system.
5. After the underground storm drain system is installed, the catch basins shall be installed (as soon as practical) and they shall be placed around these catch basins as shown on this plan and in the detail on this sheet until they are in place.
6. The contractor shall place drain rock on a gravel roadway 48" wide, thick for the full width and 50 feet long at each entrance to site. Any rock that is tracked onto public streets shall be removed that same day and as required by the City of Pleasanton.
7. All erosion control measures shall be maintained until disturbed areas are stabilized and changes to this erosion and sediment control plan shall be made to meet field conditions only with the approval of or at the direction of the City Engineer.
8. During the rainy season all paved areas shall be kept clear of earth material and debris. The site shall be maintained to as to minimize sediment-laden runoff to any storm drainage system.
9. This plan covers only the first winter following grading. Plans are to be resubmitted for city approval prior to the September 1st of each subsequent year until the site improvements are accepted by the city.
10. All erosion control facilities must be inspected and repaired at the end of each working day during the rainy season.
11. Sediment basins shall be cleaned out whenever sediment reaches the sediment cleanout level indicated on the plans.
12. Borrow areas and temporary stockpiles shall be protected with appropriate erosion control measures to the satisfaction of the City Engineer.
13. All cut and fill slopes are to be protected to prevent overbank flow.
14. Inlets which are not used in conjunction with a sediment basin should be blocked unless the area drained is undisturbed or stabilized.
15. This plan may not cover all the situations that arise during construction due to anticipated field conditions. Variations may be made to the plan in the field subject to the approval of City.
16. Details for construction of facilities are shown on this plan.
17. It is recommended that a field conference be held about September 15th with the developer, engineer and a representative of City. The progress of work should be reviewed and any modifications needed to the erosion/sediment control facilities shown on this plan discussed. No modification to this plan shall be made without approval of the City.



SEDIMENT BASIN

SITE AREA: 106,023 sq. ft.

BUILDING AREAS

BLDG. 400	10176
BLDG. 500	10176
BLDG. 600	10048
BLDG. 700	10048

40448 sq. ft. (38.1% COVERAGE)

PARKING: 1021 SPACES: 376 sq. ft./space [25/1000]

INCLUDING SPACES INDICATED BY DASHED LINES:

1261 SPACES: 321 sq. ft./space [3/1000]

LANDSCAPE (4 WALKS): 16,115 (16.2%)

REVISIONS

NO.	DATE	BY	DESCRIPTION

Prepared by: Ron Rader

Checked by: [Signature]

Drawn by: [Signature]

Scale: 1/8" = 1'-0"

Job: 17220

Sheet: EROSION CONTROL

Of: 2 Sheets

Phase Two

COMMERCIAL INDUSTRIAL COMPLEX

1181 QUARRY LANE, PLEASANTON, CALIFORNIA

Balch Enterprises Inc.



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APPROVED SITE PLAN IN RECORD

2018-04-18

fl:BD