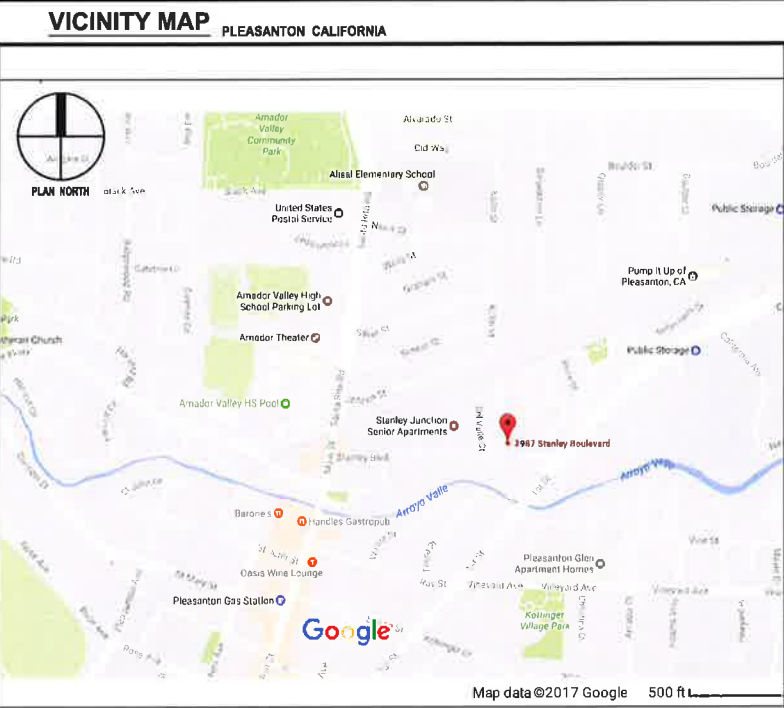


# PUD APPLICATION FOR: NEW SINGLE FAMILY HOMES AT 3987 STANLEY BOULEVARD PLEASANTON, CALIFORNIA

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A1.2	ELEVATIONS HOUSE # 1		
A1.3	ELEVATIONS COLOR		
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A1.5	ROOF PLAN		
A2.0	BLDG # 2 - 1st & 2nd FLOOR PLAN		
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A2.2	ELEVATIONS HOUSE # 2		
A2.3	ELEVATIONS COLOR		
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<b>C- CIVIL PLAN</b>			
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C1.0	SITE PLAN		
C2.0	GRADING & DRAINAGE PLAN		
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DW-1	DRIVEWAY EXHIBIT		
<b>L- LANDSCAPE PLAN</b>			
L-1	LANDSCAPE PLAN		
L-2	IRRIGATION PLAN		
<b>DOC SUPPORTING DOCUMENTS</b>			

**Ken McCoy**  
 P.O. BOX 319, MODESTO, CA 95333  
 (209) 862-1231



SITE / BLDG. INFORMATION		INDEX OF SYMBOLS	
A. PROPOSED USE:	SINGLE FAMILY HOME	[Symbol]	WOOD EXTERIOR FINISH
B. GENERAL PLANS DESIGNATION:	HIGH DENSITY RESIDENTIAL (HDR)	[Symbol]	PLYWOOD
C. TYPE OF CONSTRUCTION:	VB	[Symbol]	ASPHALT CONCRETE PAVEMENT
D. NO. OF STORIES:	2	[Symbol]	WOOD STUDS WALL BELOW
E. (B) BUILDING LIVING AREA:	649 SF (TO BE REMOVED)	[Symbol]	CONCRETE
F. ZONING:	PUD-HDR	[Symbol]	CONC. MAS. UNITS
G. MAXIMUM BUILDING HEIGHT:	28' ±	[Symbol]	AREA DRAIN
H. PROPOSED BUILDINGS ON LOT:	3	[Symbol]	LANDSCAPE AREA
		[Symbol]	STUCCO FINISH
		[Symbol]	PROPERTY LINE

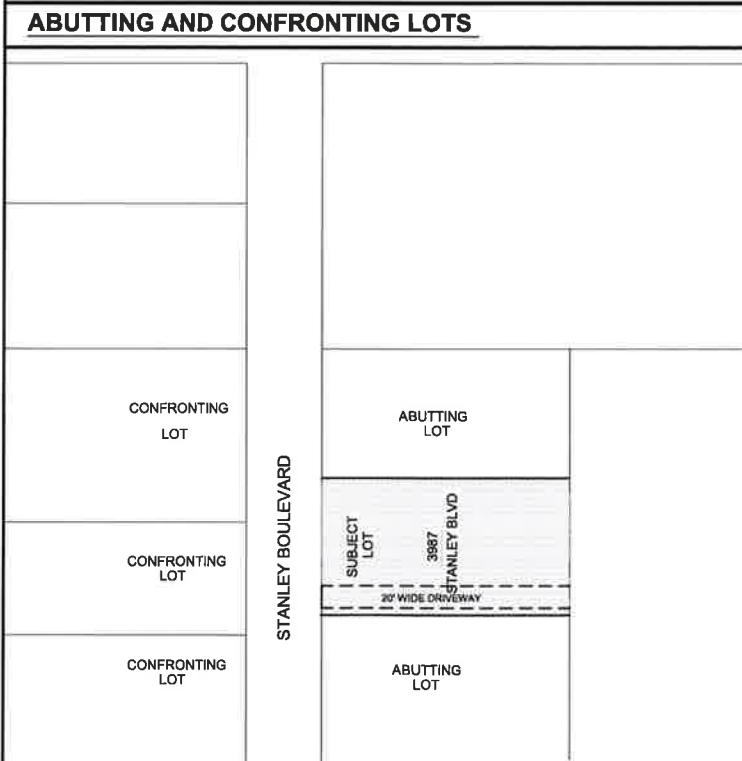
SCOPE OF WORK	
SPLIT EXISTING 80'x180' SINGLE FAMILY HOME LOT INTO (3) NEW PARCELS AND CONSTRUCT (3) NEW 2 STORY SINGLE FAMILY HOMES.	
CONSTRUCT PRIVATE DRIVEWAY FOR ALL (3) LOTS AND PROVIDE SEPARATE UTILITY SERVICE TO EACH LOT. (REQUIRED INFRASTRUCTURE)	

LOT SPECIFIC STANDARD TABLE									
LOT	GROSS LOT SIZE (SF)	LOT NET SIZE (SF)	HOUSE MODEL	MAXIMUM HEIGHT (FT)	HOUSE SIZE (SF)	F.A.R. (%)	MIN FRONT SETBACK (PORCH/HOUSE/GARAGE)	MIN REAR SETBACK (PORCH/HOUSE/GARAGE)	MIN SIDE SETBACK (FT)
1	5,440	3,538	CRAFTSMAN	27' ±	1,835	47		HOUSE-10' GARAGE-15'	5
2	4,400	2,860	CRAFTSMAN	27' ±	1,670	60		HOUSE-10' GARAGE-15'	5
3	4,580	4,560	CRAFTSMAN	27' ±	1,957	43		HOUSE-10' GARAGE-15'	5

CODE ANALYSIS:	
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:	
<b>CALIFORNIA</b>	
2016	CA. BUILDING CODE (CBC)
2016	CA. MECHANICAL CODE (CMC)
2016	CA. PLUMBING CODE (CPC)
2016	CA. FIRE CODE (CFC)
2016	CA. ELECTRIC CODE (CEC)
2016	ADA ACCESSIBLE CODE
2016	CA. ENERGY STD.
CITY OF PLEASANTON MUNICIPAL CODE	
FIRE NOTES:	
ALL HOME ADDRESS SHALL BE PLAINLY VISIBLE FROM THE STREET. PROVIDE ILLUMINATED ADDRESS SIGN / NUMBER, NUMBERS TO BE 4" HIGH.	

SIGNATURES OF ABUTTING AND CONFRONTING NEIGHBORS							
NAME (PRINTED)	SIGNATURE	ADDRESS	RENTER OR OWNER	DATE	OBJECTIONS		COMMENTS
					YES	NO	

GOVERNMENT AGENCIES	PROJECT TEAM:
<b>CITY OF PLEASANTON</b> PLANNING & DEVELOPMENT 200 OLD BERNAL AVENUE PLEASANTON, CA 94566 (925) 931-5600 PH. JENNIFER HAGEN : CONTACT  <b>CITY OF PLEASANTON</b> BUILDING & SAFETY DIVISION 200 OLD BERNAL AVENUE PLEASANTON, CA 94566 (925) 931-5600 PH. RAY YAMADA : CONTACT  <b>CITY OF PLEASANTON</b> ENGINEERING DIVISION 200 OLD BERNAL AVENUE PLEASANTON, CA 94566 (925) 931-5650 PH. DANIEL SEQUEIRA : CONTACT  <b>CITY OF PLEASANTON</b> TRAFFIC DIVISION 200 OLD BERNAL AVENUE PLEASANTON, CA 94566 (925) 931-5650 PH. MATT NELSON : CONTACT  <b>CITY OF PLEASANTON</b> FIRE DEPARTMENT 200 OLD BERNAL AVENUE PLEASANTON, CA 94566 (925) 454-2331 PH. RYAN RUCKER : CONTACT	<b>APPLICANT:</b> SARAVANA CHILLA 4232 EUGENE STREET FREMONT, CA (408) 386-6589  <b>DESIGNER:</b> KEN MCCOY PO BOX 379 MODESTO, CA 95353 (209) 862-1231  <b>PACIFIC LAND SURVEY:</b> THOMAS M. PRICE, L.S. PO BOX 379 MODESTO, CA 95353 (209) 862-1231

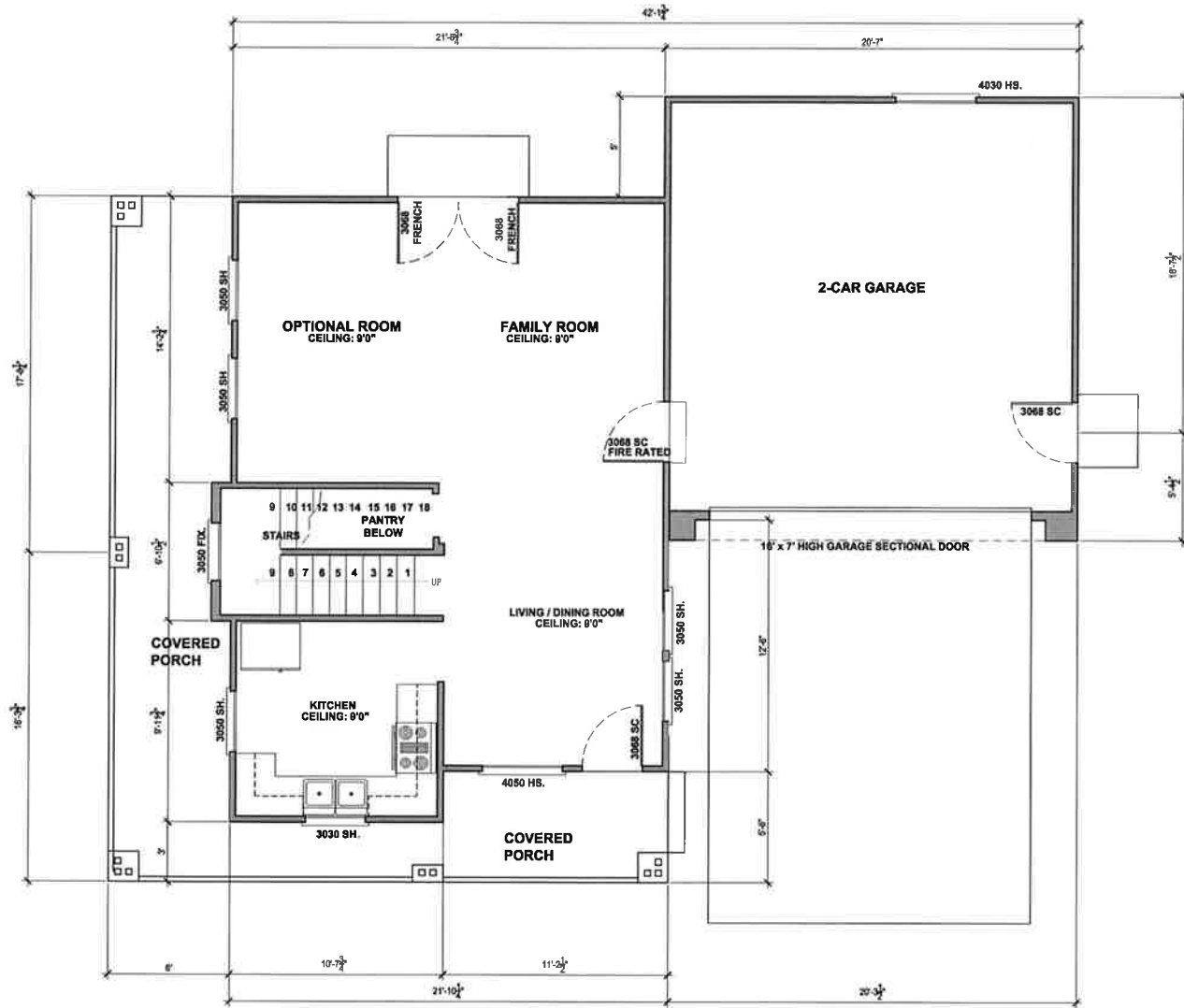
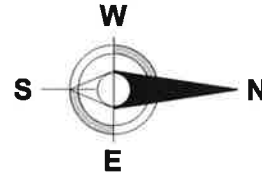


**TITLE & COVER SHEET**  
 PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
 3987 STANLEY BLVD PLEASANTON, CA.

**PUD-133**  
**RECEIVED July 3, 2019**  
**EXHIBIT B**

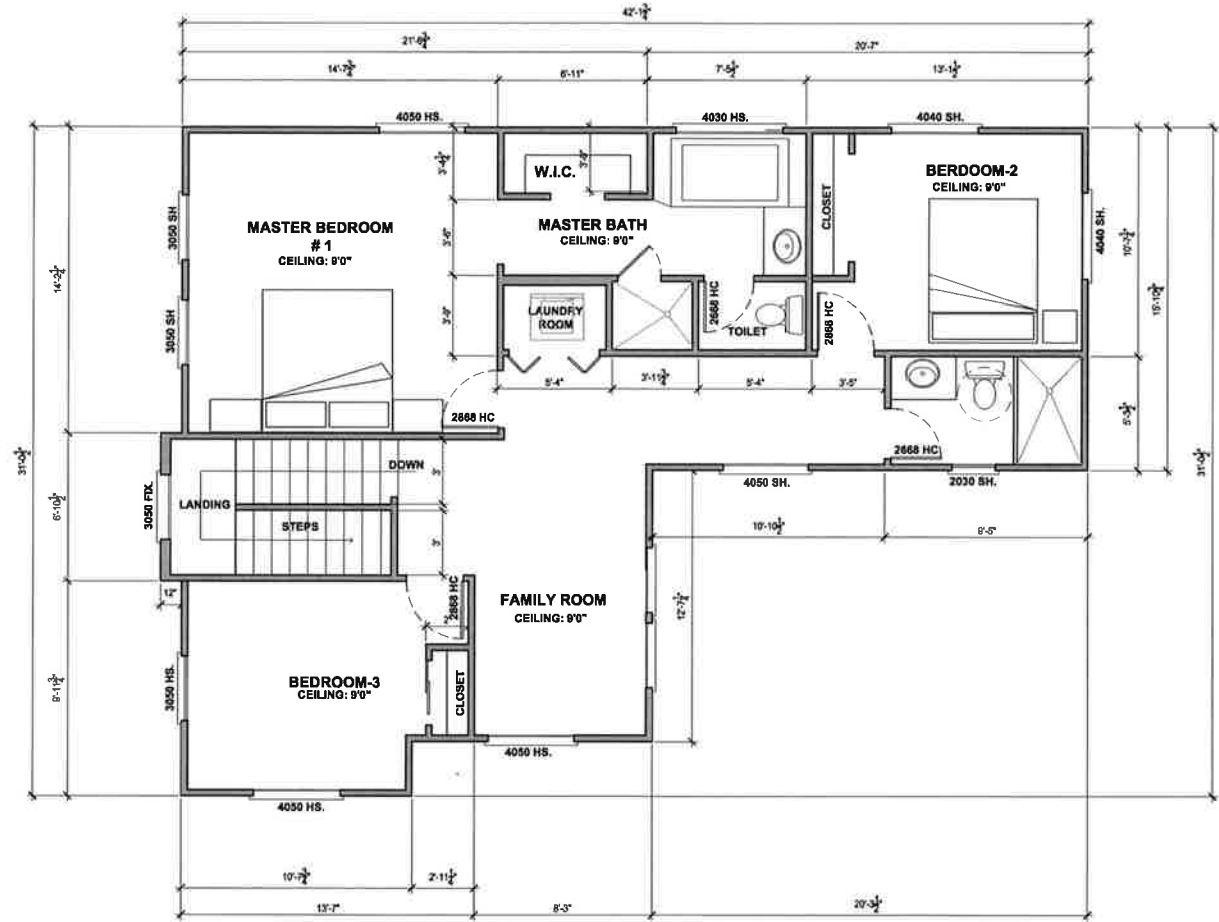
DRAWN BY: KMC  
 CHECK BY:  
 DATE: 01-17-19  
 SCALE: AS SHOWN  
 JOB NO.:  
 APN: 946-1688-003-01

T1.0



**1st. FLOOR PLAN No. 1**

FLOOR AREA : 656 SF  
 GARAGE : 456 SF  
 PORCH : 296 SF  
 SCALE: 1/4" = 1'-0"



**2 nd. FLOOR PLAN No. 1**

FLOOR AREA : 979 SF  
 SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy  
 P.O. BOX 379 MODOesto CA 95133  
 (209) 662-1121

**BLDG # 1-1 st. & 2 nd. FLOOR PLAN**

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
 CHECK BY:  
 DATE: 01-17-19  
 SCALE: AS SHOWN  
 JOB NO.:  
 APN: 946-1686-003-01

**1,635 SF**  
**CRAFTSMAN**  
**A1.0**

REVISIONS	DATE

Ken McCoy  
P.O. BOX 379, MODESTO CA. 95353  
(209) 862-1231

ELEVATIONS HOUSE # 1

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
CHECK BY:  
DATE: 01-17-19  
SCALE: AS SHOWN  
JOB NO.:  
APN: 946-1688-003-01

STYLE:  
**CRAFTSMAN**  
**A1.1**



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"





**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy  
 P.O. BOX 379, MODESTO CA, 95353  
 (209) 662-1231  
 DATE: \_\_\_\_\_  
 DESIGNER: \_\_\_\_\_

ELEVATIONS HOUSE # 1

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
 CHECK BY:  
 DATE: 01-17-19  
 SCALE: AS SHOWN  
 JOB NO.:  
 APN: 946-1866-003-01

STYLE:  
**CRAFTSMAN**  
**A1.2**










**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

**COLOR BOARD & FINISH**

COLORS AND FINISHES		
1	ROOFING	ASPHALT COMPOSITION SHINGLES (PRESIDENT STYLE)
2	ROOF FASCIA	BEHR, WHITE 52
3	BODY PAINT	BEHR, WEATHERED MOSS N380-3
4	COLUMNS	BEHR, WHITE 52
5	TRIMS	BEHR, WHITE 52
6	GUTTERS	BEHR, WHITE 52
7	DOWNSPOUTS	BEHR, WHITE 52
8	WALK WAY	NATURAL CONCRETE
9	GABLE END	BEHR, WHITE 52

**COLORS**

-  BEHR, WHITE 52 (GABLE END )
-  BEHR, WEATHERED MOSS N380-3 (HOUSE BODY)
-  ASPHALT COMPOSITION SHINGLE (PRESIDENT, STYLE (ROOF))-SEE ROOF PLAN
-  BEHR, WHITE 52 (GARAGE DOOR)
-  BEHR, ENGLISH CUSTARD M290-5 (FRONT DOOR)



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

SLOPE GROUND AWAY FROM BUILDING 5' MIN @ 2%

REVISIONS	DATE

Ken McCoy  
P.O. BOX 379 MODesto CA, 95333  
(209) 462-1231

ELEVATIONS COLOR

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY:	
CHECK BY:	
DATE:	
SCALE:	AS SHOWN
JOB NO.:	
APN:	946-1686-003-01






STYLE:  
**CRAFTSMAN**  
A1.3

REVISIONS	DATE

### COLOR BOARD & FINISH

COLORS AND FINISHES		
1	ROOFING	ASPHALT COMPOSITION SHINGLES (PRESIDENT STYLE)
2	ROOF FASCIA	BEHR, WHITE 52
3	BODY PAINT	BEHR, WEATHERED MOSS N380-3
4	COLUMNS	BEHR, WHITE 52
5	TRIMS	BEHR, WHITE 52
6	CUTTERS	BEHR, WHITE 52
7	DOWNSPOUTS	BEHR, WHITE 52
8	WALK WAY	NATURAL CONCRETE
9	GABLE END	BEHR, WHITE 52

### COLORS

-  BEHR, WHITE 52 (GABLE END )
-  BEHR, WEATHERED MOSS N380-3 (HOUSE BODY)
-  ASPHALT COMPOSITION SHINGLE (PRESIDENT, STYLE (ROOF))--SEE ROOF PLAN
-  BEHR, WHITE 52 (GARAGE DOOR)
-  BEHR, ENGLISH CUSTARD M290-5 (FRONT DOOR)

Ken McCoy  
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(209) 462-1231

ELEVATIONS COLOR  
PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3987 STANLEY BLVD PLEASANTON, CA.

DRAWN BY:  
CHECK BY:  
DATE:  
SCALE: AS SHOWN  
JOB NO.:  
APN: 946-1696-003-01

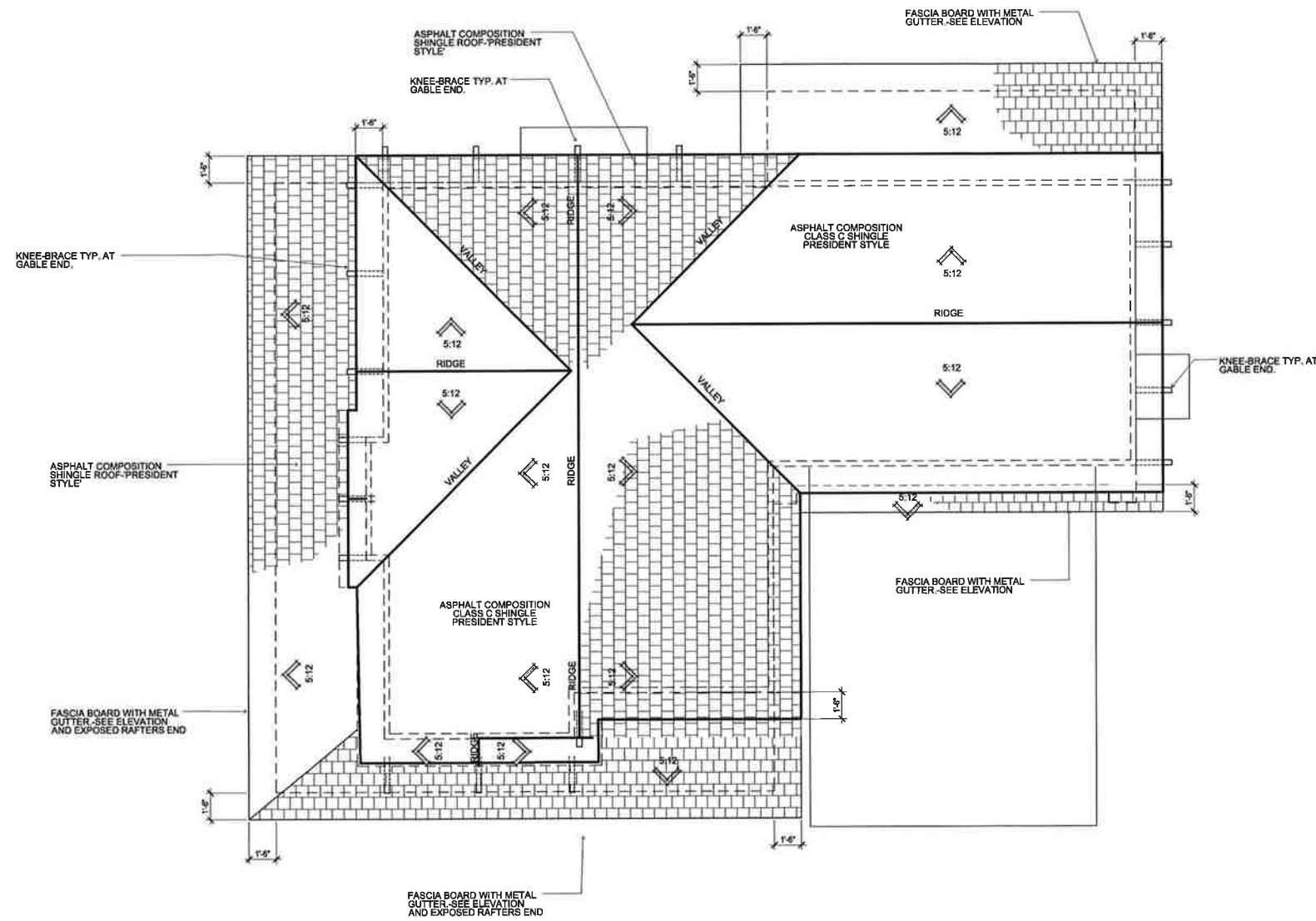
SPANISH  
A1.4



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



### ROOF PLAN

UPPER ROOF AREA: 1,202 SF  
 LOWER ROOF AREA: 463 SF  
 TOTAL ROOF AREA: 1,665 SF

SCALE: 1/4" = 1'-0"



ASPHALT COMPOSITION  
 CLASS C SHINGLES "PRESIDENT STYLE"  
 ROOF COLOR & MATERIAL

REVISIONS	DATE

Ken McCoy  
 P.O. BOX 379, MODESTO CA 95353  
 (209) 662-1231  
 RECORD: \_\_\_\_\_ DATE: \_\_\_\_\_

ROOF PLAN No 1

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
 CHECK BY:  
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 SCALE: AS SHOWN  
 JOB NO.:  
 APN: 946-1686-003-01

STYLE  
 CRAFTSMAN  
**A1.5**



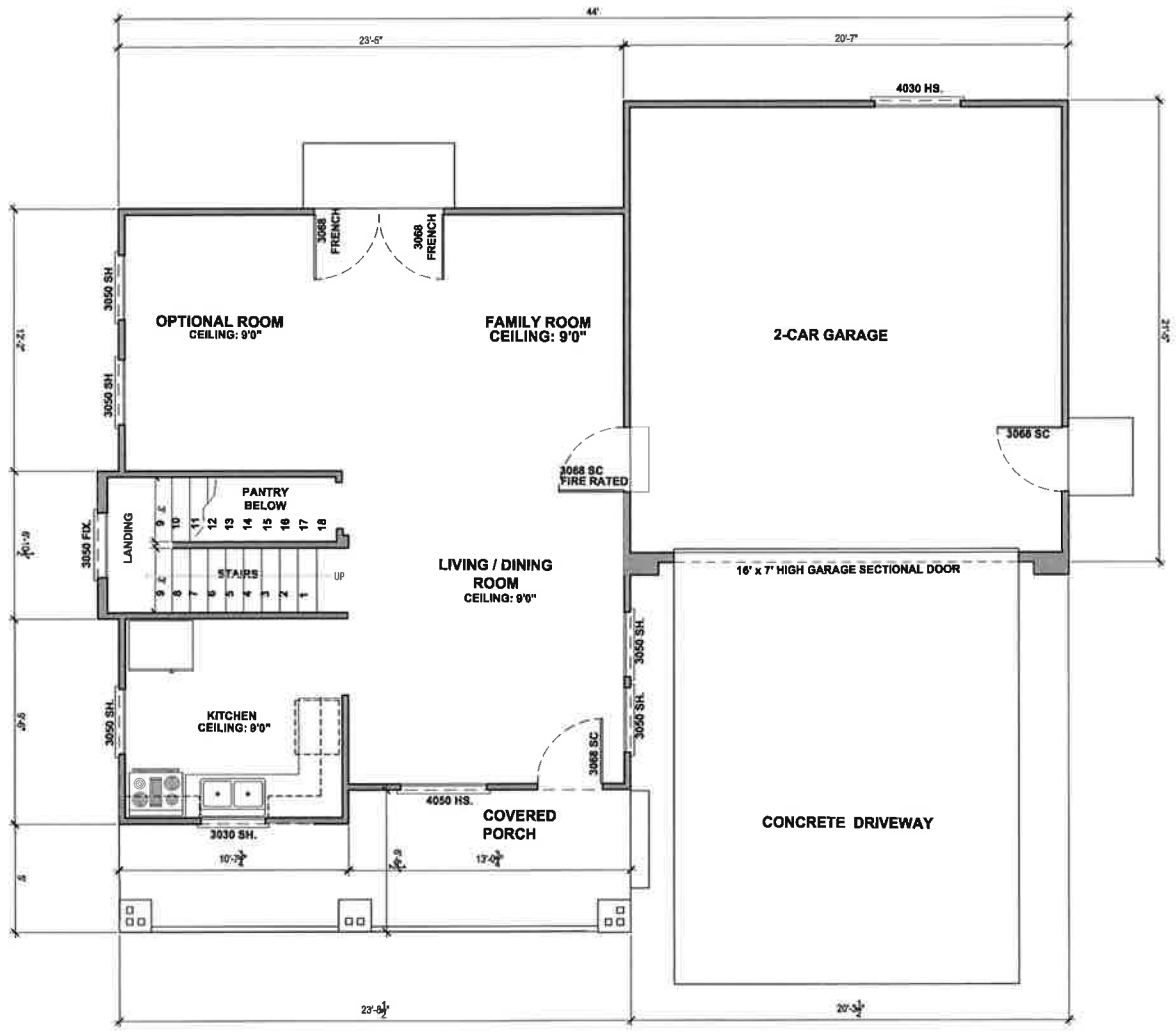
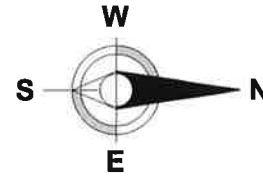
REVISIONS	DATE

Ken McCoy  
P.O. BOX 379 MODESTO CA 95353  
(209) 662-1231  
DATE: \_\_\_\_\_  
DESIGNER: \_\_\_\_\_

**BLDG # 2 -1 st. & 2 nd. FLOOR PLAN**  
PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3987 STANLEY BLVD PLEASANTON CA.

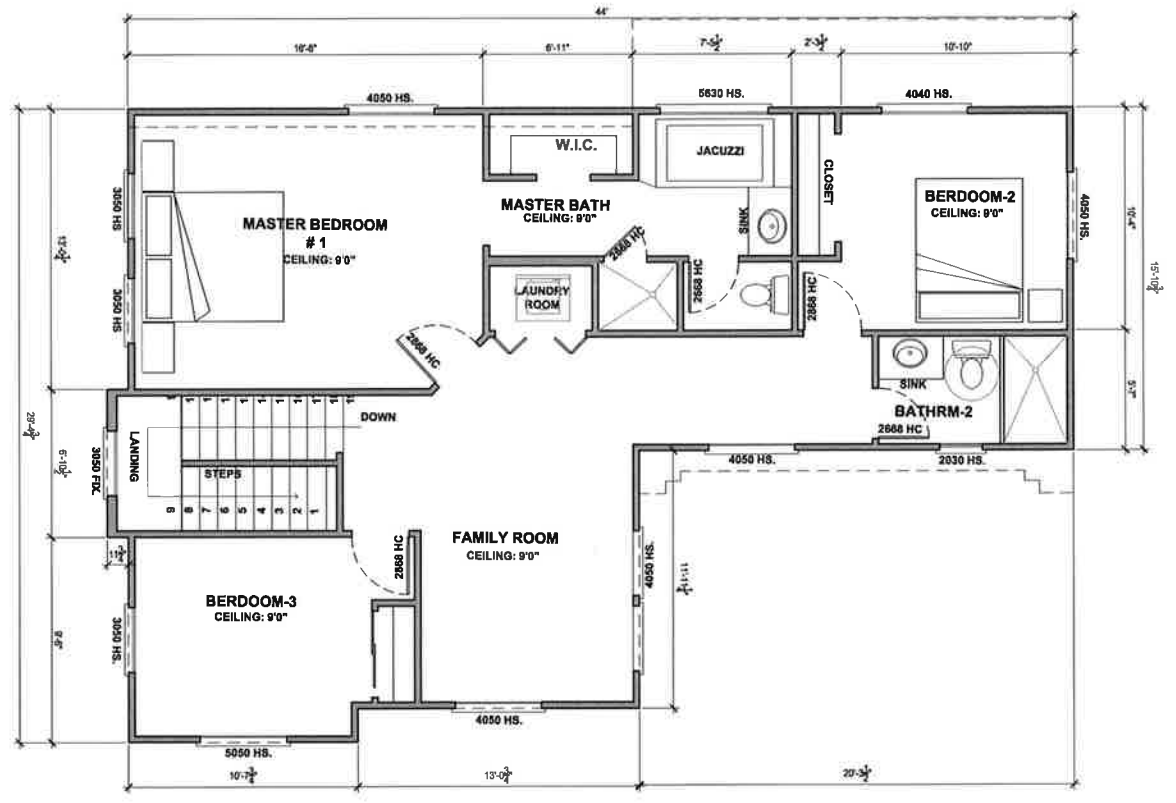
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CHECK BY:  
DATE: 01-17-19  
SCALE: AS SHOWN  
JOB NO.:  
APN: 946-1888-003-01

**1,670 SF**  
**CRAFTSMAN**  
**A2.0**



**1 st. FLOOR PLAN**

LIVING AREA = 664 SF  
GARAGE = 456 SF  
PORCH = 139 SF  
SCALE: 1/4" = 1'-0"

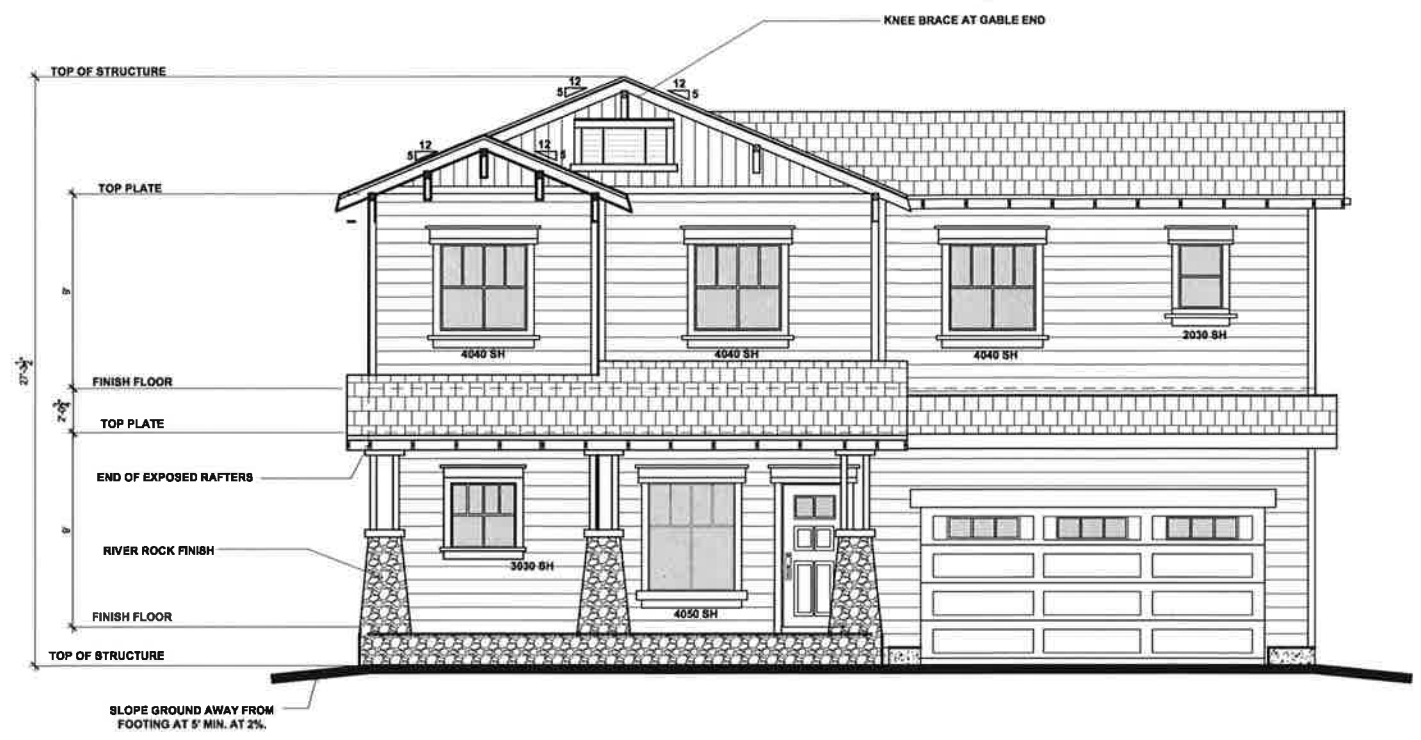


**2 nd. FLOOR PLAN**

AREA : 1,006 SF  
SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy  
P.O. BOX 379 MODESTO CA, 95353  
(209) 662-1231



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

**ELEVATIONS HOUSE # 2**

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
CHECK BY:  
DATE: 01-17-19  
SCALE: AS SHOWN  
JOB NO.:  
APN: 946-1866-003-01

STYLE:  
**CRAFTSMAN  
A2.1**



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy  
P.O. BOX 379, MODESTO CA, 95333  
(209) 662-1211

**ELEVATIONS HOUSE # 2**

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
CHECK BY:  
DATE: 01-17-19  
SCALE: AS SHOWN  
JOB NO.:  
APN: 946-1886-003-01

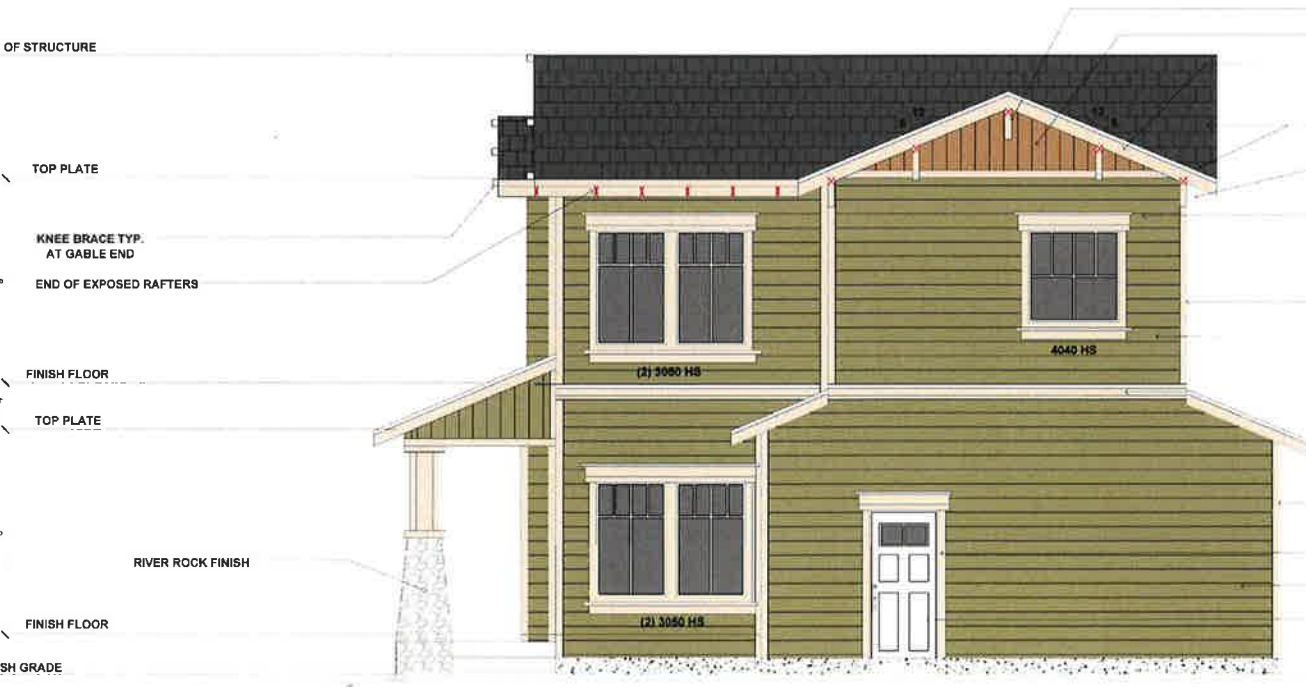
STYLE:  
**CRAFTSMAN  
A2.2**





### EAST ELEVATION

SCALE: 1/4" = 1'-0"








### NORTH ELEVATION

SCALE: 1/4" = 1'-0"

- KNEE BRACE AT GABLE END
- ATTIC VENT WINDOW W/ WOOD TRIM
- 2"x8" BARGE RAFTERS
- ASPHALT COMPOSITION TILES PRESIDENT STYLE
- KNEE BRACE TYP AT GABLE END
- WINDOW WOOD TRIM TYP
- WOOD CORNER TRIM
- WOODEN WINDOW SILL TYP.
- 8" WIDE WOOD BELLEY BAND.
- FASCIA BOARD
- WOOD CORNER TRIM
- DOOR WOODEN TRIM TYP
- LAP WOOD EXTERIOR FINISH
- SOLID EXTERIOR DOOR

COLORS AND FINISHES		
1	ROOFING	PRESIDENT STYLE COMPOSITION SHINGLE
2	ROOF FASCIA	BEHR, ANTIQUE WHITE 23
3	BODY PAINT	BEHR, SUSTAINABLE S350-4
4	COLUMNS	BEHR, ANTIQUE WHITE-23
5	TRIMS	BEHR, ANTIQUE WHITE-23
6	GUTTERS	BEHR, ANTIQUE WHITE-23
7	DOWNSPOUTS	BEHR, SUSTAINABLE S350-4
8	STONE VENEER	BEHR, LIGHT YEAR N370-3
9	GABLE END	BEHR, ARTISAN CRAFTS-N250-4
10	WALK WAY	NATURAL CONCRETE COLOR

### COLOR BOARD & FINISH

-  BEHR, LIGHTYEAR N370-3 (STONE VENEER)
-  BEHR,SUSTAINABLE S350-4 (HOUSE BODY)
-  PRESIDENT STYLE COMPOSITION SHINGLE TILE
-  BEHR, ANTIQUE WHITE (GARAGE DOOR & TRIMS)
-  BEHR, ARTISAN CRAFTS-N250-4

REVISIONS	DATE

DATE: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

CHECK BY: \_\_\_\_\_

DATE: \_\_\_\_\_

SCALE: AS SHOWN

JOB NO.: \_\_\_\_\_

APN: 946-1686-003-01

**ELEVATIONS COLOR**

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY:  
CHECK BY:  
DATE:  
SCALE: AS SHOWN  
JOB NO.:  
APN: 946-1686-003-01

**CRAFTSMAN**  
**A2.3**

**Ken McCoy**  
 P.O. BOX 379, MODESTO CA 95353  
 (209) 462-1231








### SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

COLORS AND FINISHES		
1	ROOFING	PRESIDENT STYLE COMPOSITION SHINGLE
2	ROOF FASCIA	BEHR, ANTIQUE WHITE 23
3	BODY PAINT	BEHR, SUSTAINABLE S350-4
4	COLUMNS	BEHR, ANTIQUE WHITE-23
5	TRIMS	BEHR, ANTIQUE WHITE-23
6	GUTTERS	BEHR, ANTIQUE WHITE-23
7	DOWNSPOUTS	BEHR, SUSTAINABLE S350-4
8	STONE VENEER	BEHR, LIGHT YEAR N370-3
9	GABLE END	BEHR, ARTISAN CRAFTS-N250-4
10	WALK WAY	NATURAL CONCRETE COLOR

### COLOR BOARD & FINISH

-  BEHR, LIGHTYEAR N370-3 (STONE VENEER)
-  BEHR, SUSTAINABLE S350-4 (HOUSE BODY)
-  PRESIDENT STYLE COMPOSITION SHINGLE TILE
-  BEHR, ANTIQUE WHITE (GARAGE DOOR & TRIMS)
-  BEHR, ARTISAN CRAFTS-N250-4



### WEST ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy  
P.O. BOX 379, MODESTO, CA. 95353  
(209) 662-1231  
DWC  
KCM/MS

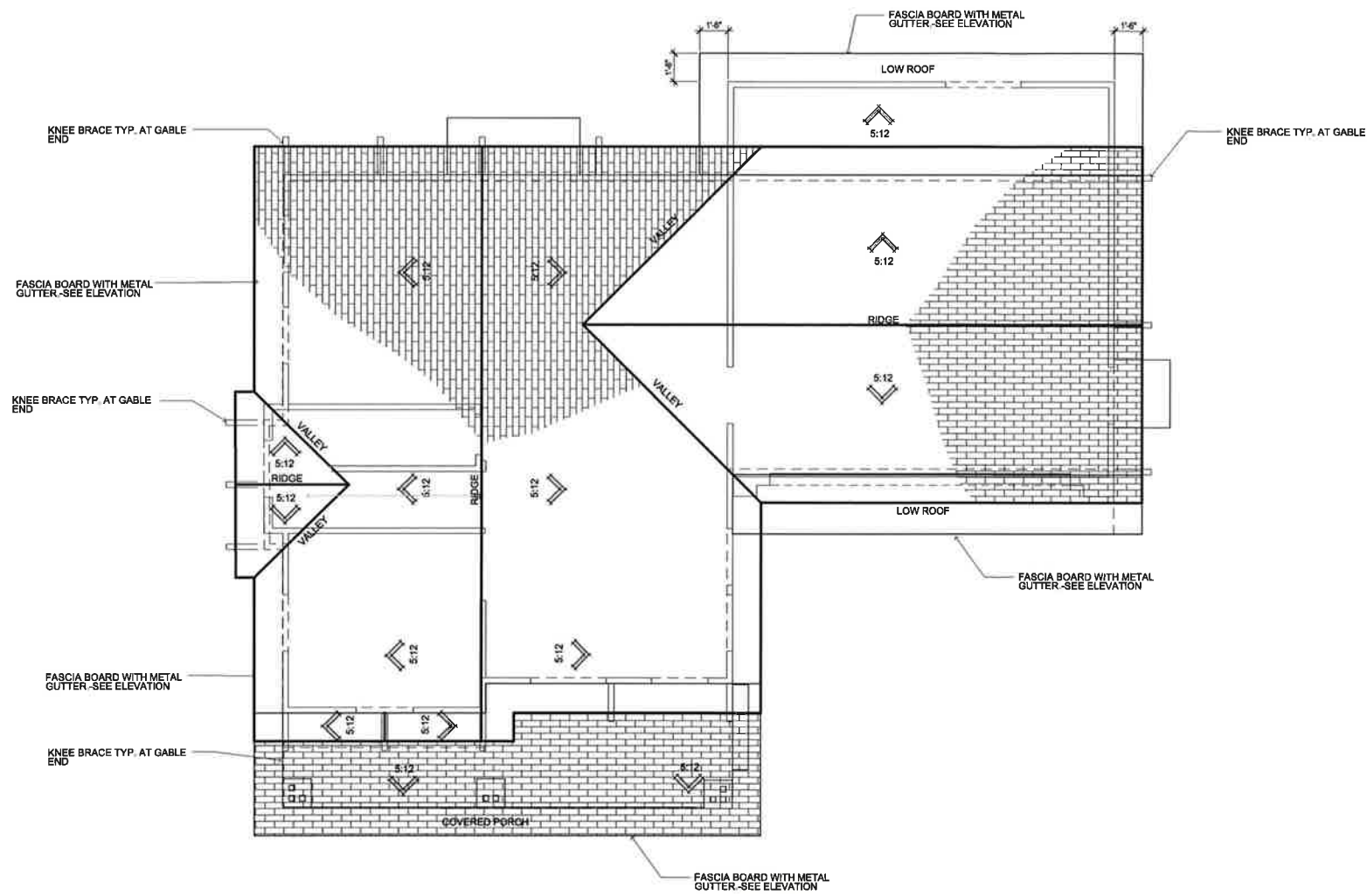
ELEVATIONS COLOR

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3987 STANLEY BLVD PLEASANTON, CA.

DRAWN BY:  
CHECK BY:  
DATE:  
SCALE: AS SHOWN  
JOB NO.:  
APN: 948-1886-003-01

CRAFTSMAN  
A2.4





PRESIDENTIAL  
STYLE COMPOSITION ROOF SHINGLE  
ROOF MATERIAL

### ROOF PLAN

UPPER ROOF AREA: 1,217 SF  
 LOWER ROOF AREA: 417 SF  
 TOTAL ROOF AREA: 1,634 SF

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy  
 P.O. BOX 379 MODESTO CA 95353  
 (209) 662-1231

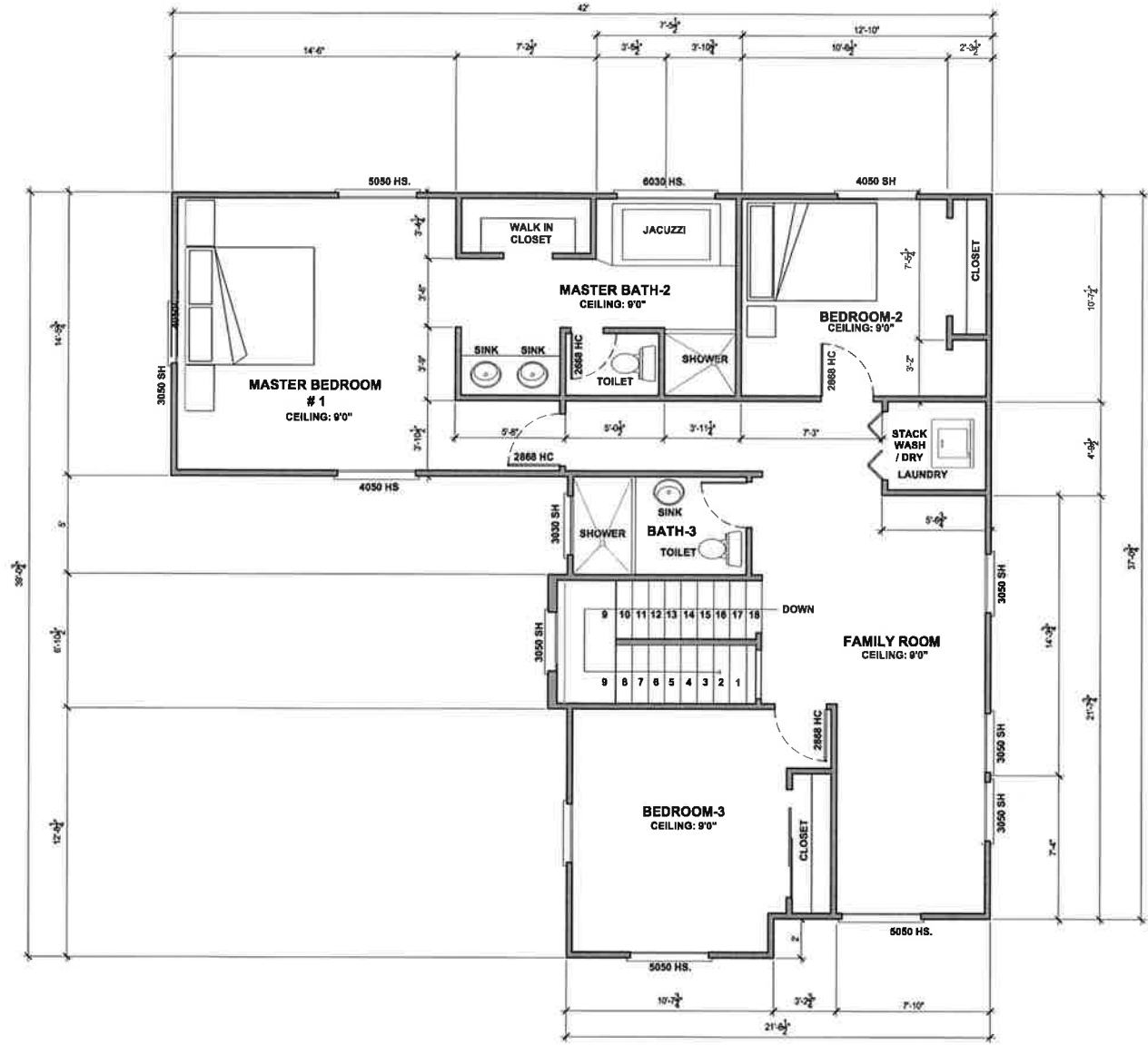
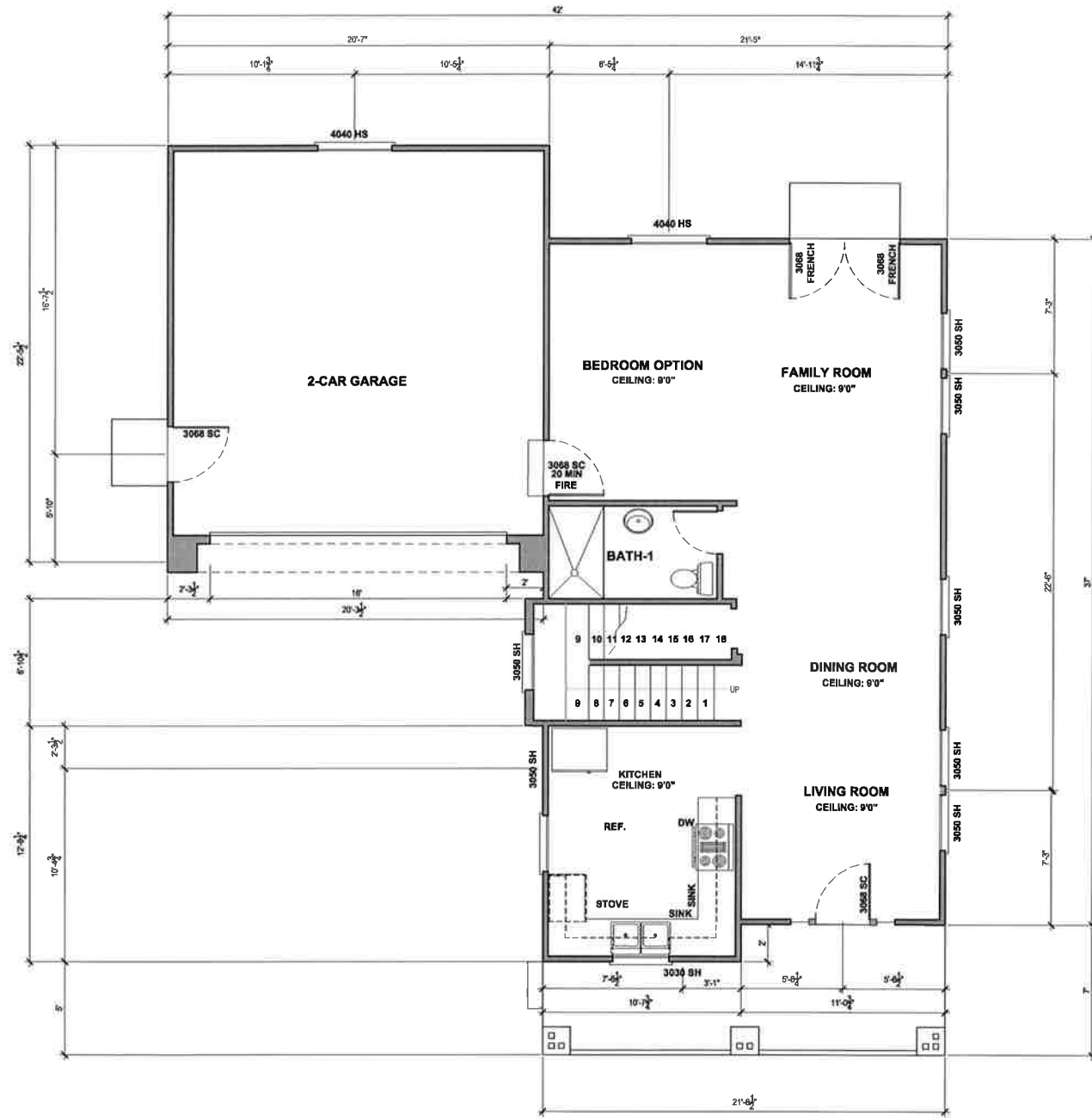
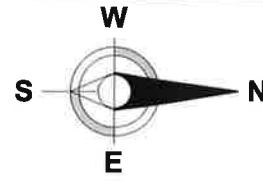
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 TYPED: \_\_\_\_\_

**ROOF PLAN**  
 PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
 CHECK BY:  
 DATE: 01-17-19  
 SCALE: AS SHOWN  
 JOB NO:  
 APN: 948-1888-003-01

STYLE  
 CRAFTSMAN  
**A2.5**





REVISIONS	DATE

Ken McCoy  
 P.O. BOX 375, MODESTO CA, 95353  
 (209) 662-1231

BLDG # 3 - 1 st. & 2 nd. FLOOR PLAN

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
 CHECK BY:  
 DATE: 01-17-19  
 SCALE: AS SHOWN  
 JOB NO.:  
 APN: 946-1686-003-01

1,957 SF  
 CRAFTSMAN  
**A3.0**



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy  
P.O. BOX 379, MODESTO, CA, 95353  
(209) 662-1231

**ELEVATIONS HOUSE # 3**  
PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3987 STANLEY BLVD PLEASANTON, CA.

DRAWN BY: KMG  
CHECK BY:  
DATE: 01-17-19  
SCALE: AS SHOWN  
JOB NO.:  
APN: 946-1886-003-01

**STYLE:**  
**CRAFTSMAN**  
**A3.1**



### WEST ELEVATION

SCALE: 1/4" = 1'-0"



### SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy  
 P.O. BOX 379, MODesto, CA 95333  
 (209) 662-1231  
 DESIGNER

ELEVATIONS HOUSE # 3

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
 CHECK BY:  
 DATE: 01-17-19  
 SCALE: AS SHOWN  
 JOB NO.:  
 APN: 948-1688-003-01

STYLE:  
**CRAFTSMAN**  
**A3.2**



ASPHALT COMPOSITION TILES  
PRESIDENT STYLE

KNEE BRACE TYP.  
AT GABLE END

EXPOSED END OF RAFTERS  
TYP

LAP WOOD EXTERIOR FINISH

1"x3" WINDOW TRIM

WINDOW SHUTTERS

GUTTER DOWN SPOUT

ROOF ABOVE GARAGE DOOR

LAP WOOD EXTERIOR FINISH

8" WIDE WOOD BAND

GARAGE SECTIONAL DOOR







## EAST ELEVATION

SCALE: 1/4" = 1'-0"

## COLOR BOARD & FINISH

COLORS AND FINISHES	
1	ROOFING ASPHALT COMPOSITION SHINGLES (PRESIDENT STYLE)
2	ROOF FASCIA BEHR, BALLERINA BEAUTY MQ3-08
3	BODY PAINT BEHR, LIGHT YEAR N370-3
4	COLUMNS BEHR, BALLERINA BEAUTY MQ3-08
5	TRIMS BEHR, BALLERINA BEAUTY MQ3-08
6	GUTTERS BEHR, BALLERINA BEAUTY MQ3-08
7	DOWNSPOUTS BEHR, BALLERINA BEAUTY MQ3-08
8	WALKWAY NATURAL CONCRETE
9	GABLE END BEHR, MAUVETTE PPU17-10

## COLORS

-  BEHR, MAUVETTE PPU17-10 (GABLE END, DOORS, GARAGE DOOR, SHUTTERS )
-  BEHR, LIGHT YEAR N370-3 (HOUSE BODY)
-  ASPHALT COMPOSITION SHINGLE (PRESIDENT, STYLE (ROOF))-SEE ROOF PLAN
-  BEHR, BALLERINA BEAUTY MQ3-08 (GARAGE DOOR, POST & TRIMS)

ASPHALT COMPOSITION TILES  
PRESIDENT STYLE

LAP WOOD EXTERIOR FINISH

1"x3" WINDOW TRIM



## NORTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy  
P.O. BOX 379, MODESTO, CA 95353  
(209) 663-1231

DESIGNER

ELEVATIONS HOUSE # 3 (COLOR)

PUD APPLICATION FOR:  
NEW SINGLE FAMILY HOMES  
3987 STANLEY BLVD PLEASANTON, CA

DRAWN BY:  
CHECK BY:  
DATE:  
SCALE: AS SHOWN  
JOB NO.:  
APN: 946-1586-003-01

STYLE:  
CRAFTSMAN  
A3.3

ASPHALT COMPOSITION TILES  
PRESIDENT STYLE

KNEE BRACE TYP.  
AT GABLE END

TOP PLATE

LAP WOOD EXTERIOR FINISH

1"x3" WINDOW TRIM

FINISH FLOOR

TOP PLATE

ROOF DOWN SPOUT

1"x3" WINDOW TRIM

FINISH FLOOR

CONCRETE LANDING







## WEST ELEVATION

SCALE: 1/4" = 1'-0"

## COLOR BOARD & FINISH

COLORS AND FINISHES	
1	ROOFING ASPHALT COMPOSITION SHINGLES (PRESIDENT STYLE)
2	ROOF FASCIA BEHR, BALLERINA BEAUTY MQ3-08
3	BODY PAINT BEHR, LIGHT YEAR N370-3
4	COLUMNS BEHR, BALLERINA BEAUTY MQ3-08
5	TRIMS BEHR, BALLERINA BEAUTY MQ3-08
6	GUTTERS BEHR, BALLERINA BEAUTY MQ3-08
7	DOWNSPOUTS BEHR, BALLERINA BEAUTY MQ3-08
8	WALKWAY NATURAL CONCRETE
9	GABLE END BEHR, MAUVETTE PPU17-10

## COLORS

-  BEHR, MAUVETTE PPU17-10 (GABLE END, DOORS, GARAGE DOOR, SHUTTERS )
-  BEHR, LIGHT YEAR N370-3 (HOUSE BODY)
-  ASPHALT COMPOSITION SHINGLE (PRESIDENT, STYLE (ROOF))--SEE ROOF PLAN
-  BEHR, BALLERINA BEAUTY MQ3-08 (GARAGE DOOR, POST & TRIMS)

ASPHALT COMPOSITION TILES  
PRESIDENT STYLE

KNEE BRACE TYP.  
AT GABLE END

TOP PLATE

LAP WOOD EXTERIOR FINISH

FINISH FLOOR

TOP PLATE

LAP WOOD EXTERIOR FINISH

FINISH FLOOR



## SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

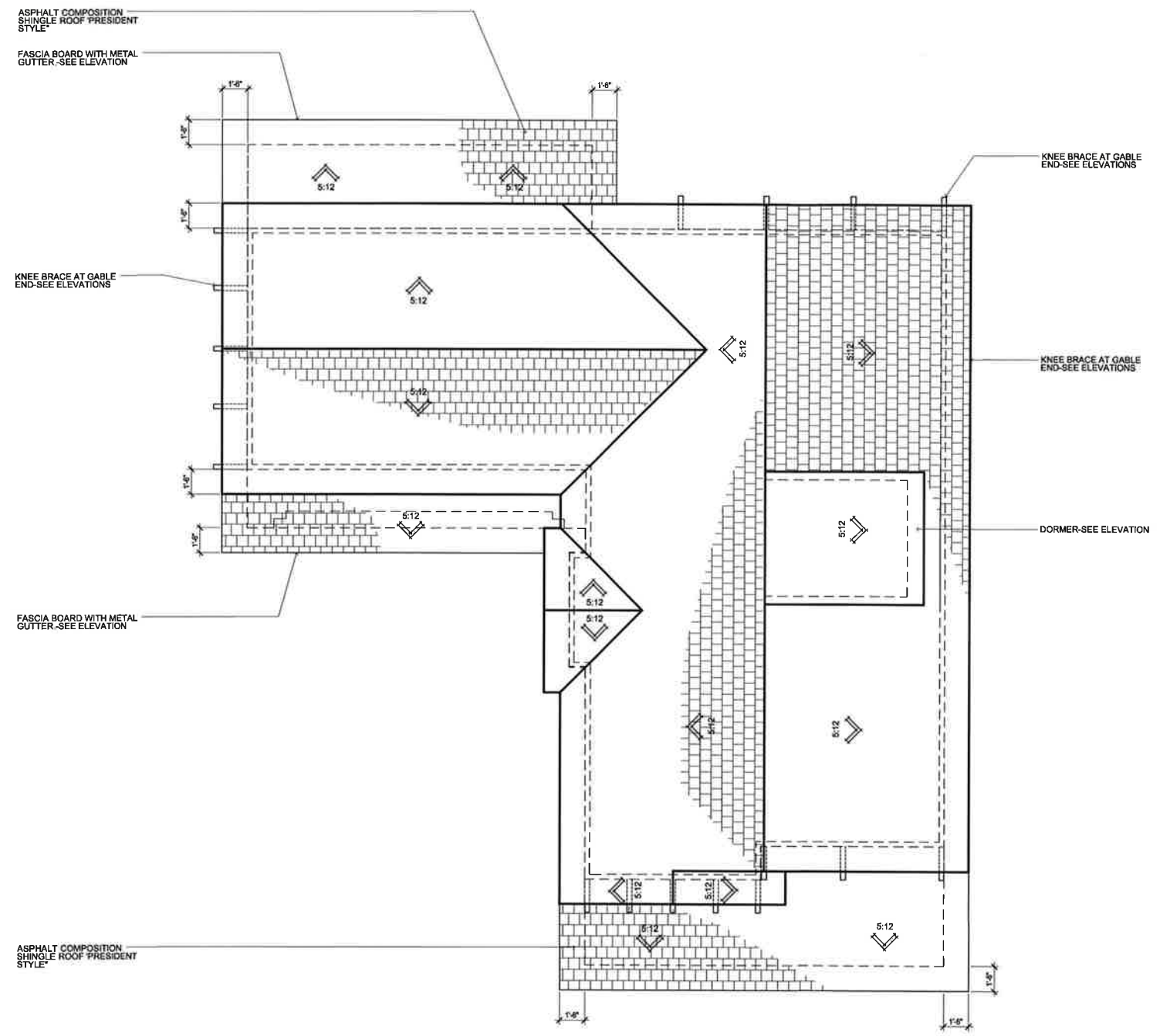
Ken McCoy  
P.O. BOX 379, MODESTO, CA. 95353  
(209) 462-1231

ELEVATIONS HOUSE # 3 (COLOR)  
PUD APPLICATION FOR:  
NEW SINGLE FAMILY HOMES  
3987 STANLEY BLVD PLEASANTON, CA.

DRAWN BY:  
CHECK BY:  
DATE:  
SCALE: AS SHOWN  
JOB NO.:

APN: 948-1866-003-01

STYLE:  
CRAFTSMAN  
A3.4



ASPHALT COMPOSITION  
 CLASS C SHINGLES "PRESIDENT STYLE"  
 ROOF  
 ROOF COLOR & MATERIAL

**ROOF PLAN**  
 UPPER ROOF AREA: 1,381 SF  
 LOWER ROOF AREA: 451 SF  
 TOTAL ROOF AREA: 1,832 SF  
 SCALE: 1/4" = 1'-0"

REVISIONS	DATE

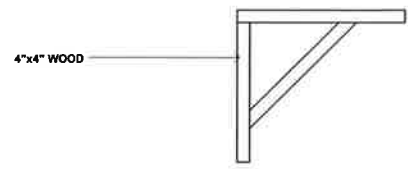
Ken McCoy  
 P.O. BOX 379, MODESTO CA, 95353  
 (209) 662-1231  
 DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_

ROOF P LAN HOUSE No 3  
 PUD APPLICATION FOR:  
 NEW SINGLE FAMILY HOMES  
 3987 STANLEY BLVD PLEASANTON CA.

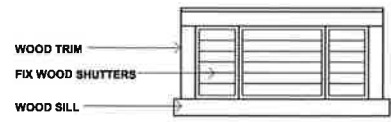
DRAWN BY: KMC  
 CHECK BY:  
 DATE: 01-17-19  
 SCALE: AS SHOWN  
 JOB NO.:  
 APN: 946-1666-003-01

STYLE  
 CRAFTSMAN  
 A3.5

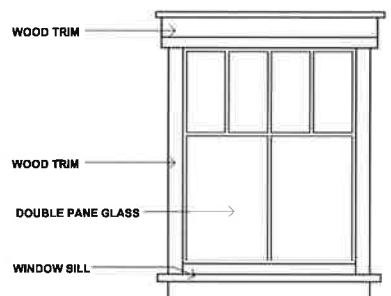




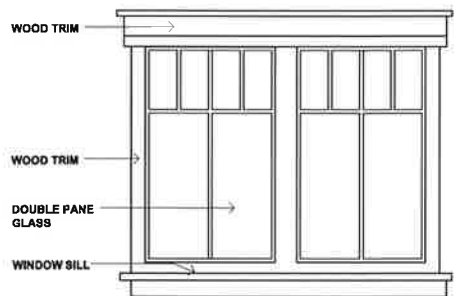
KNEE BRACE AT GABLE END



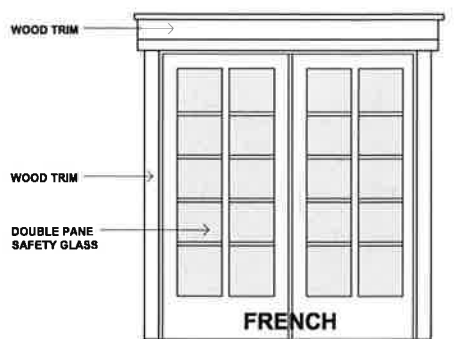
ATTIC OPENING AT GABLE END



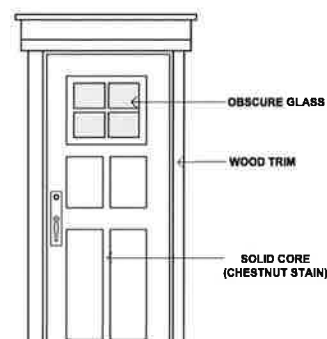
TYPICAL SINGLE HUNG WINDOW



DOUBLE SINGLE HUNG WINDOW



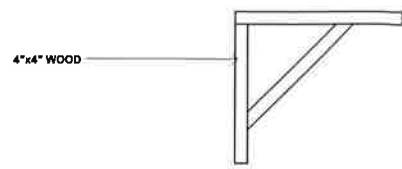
REAR DOOR



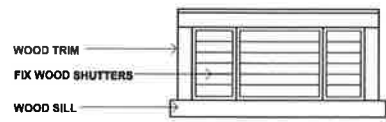
HERITAGE CRAFTSMAN FRONT DOOR

HOUSE No. 1

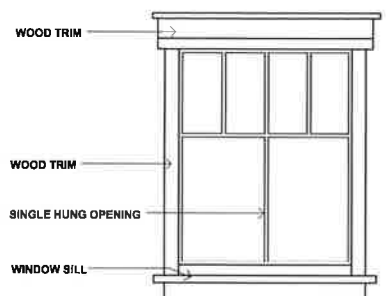
SCALE: 1/2" = 1'-0"



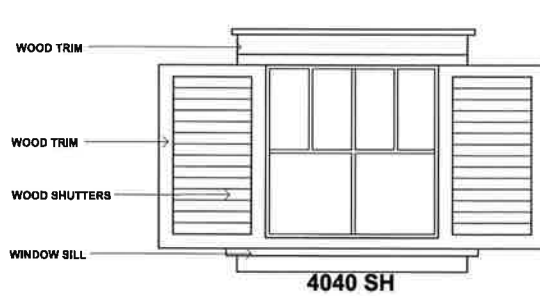
KNEE BRACE AT GABLE END



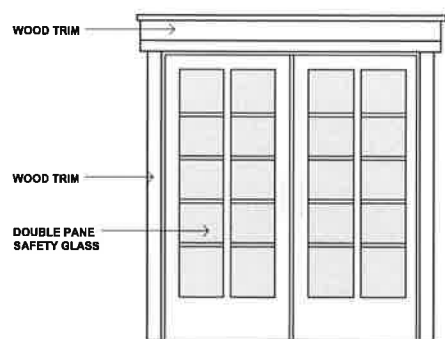
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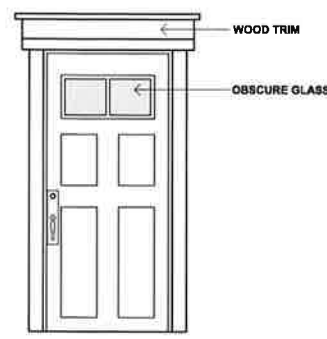
TYPICAL SINGLE HUNG WINDOW



WINDOW WITH SHUTTERS



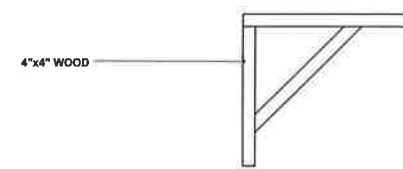
FRENCH REAR DOOR



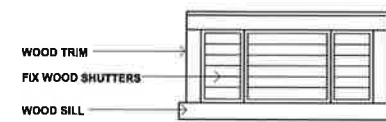
HERITAGE CRAFTSMAN FRONT DOOR

HOUSE No. 2

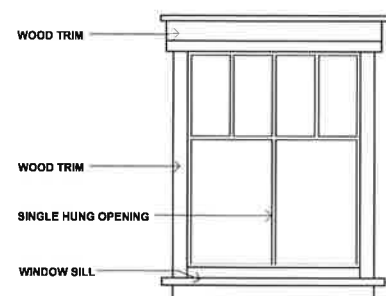
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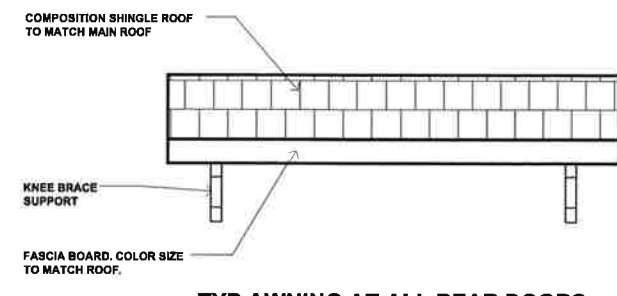
KNEE BRACE AT GABLE END



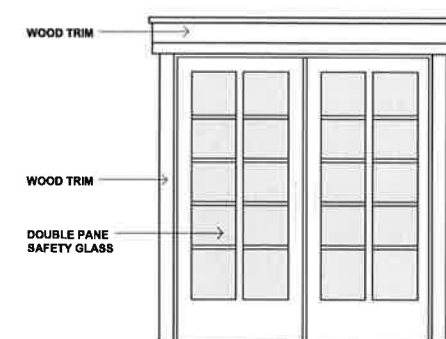
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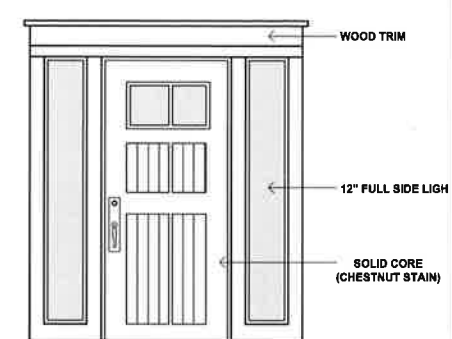
TYPICAL SINGLE HUNG WINDOW



TYP AWNING AT ALL REAR DOORS



FRENCH REAR DOOR



CRAFTSMAN COLLECTION FRONT DOOR

HOUSE No. 3

SCALE: 1/2" = 1'-0"

REVISIONS	DATE

Ken McCoy  
 P.O. BOX 379 MODesto CA 95353  
 (209) 662-1231

ARCHITECTURAL TYP. DETAIL  
 PUD APPLICATION FOR:  
 NEW SINGLE FAMILY HOMES  
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
 CHECK BY:  
 DATE: 01-17-19  
 SCALE: AS SHOWN  
 JOB NO.:  
 APN: 946-1688-003-01

STYLE:  
 CRAFTSMAN  
 A4.0



NO.	DESCRIPTIONS	DATE	APPROVED
1	REVISED ELEVATION DATUM	AUG.17	

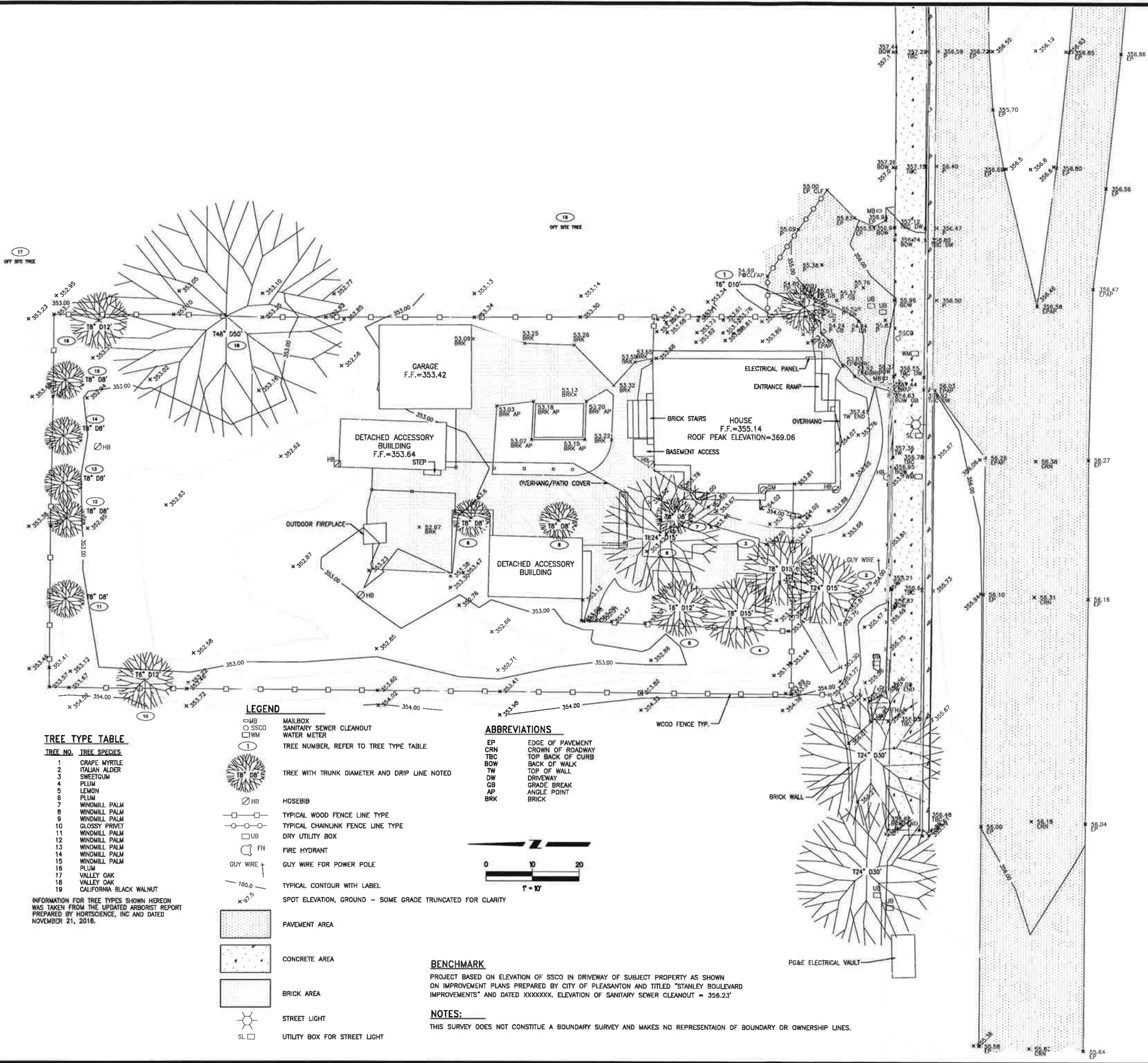
**PACIFIC LAND SURVEYS**  
 1121 Oakdale Rd., Suite 3 Modesto, CA 95355  
 209.678.7662 www.pacsurv.com

# TOPOGRAPHY PLAN

ALAMEDA COUNTY APN: 946-1686-3-1  
 3987 STANLEY BOULEVARD, PLEASANTON, CA 94566

JOB NO. 15-031  
 DATE NOV 30, 2018  
 DR BY T.PRICE  
 CK BY  
 SCALE AS NOTED

SHEET NUMBER  
**1**  
 OF 1 SHEETS



**TREE TYPE TABLE**

TREE NO.	TREE SPECIES
1	CRAPE MYRTLE
2	ITALIAN ALDER
3	SWEETGUM
4	PLUM
5	LEMON
6	PLUM
7	WINDMILL PALM
8	WINDMILL PALM
9	WINDMILL PALM
10	GLOSSY PRIVET
11	WINDMILL PALM
12	WINDMILL PALM
13	WINDMILL PALM
14	WINDMILL PALM
15	WINDMILL PALM
16	PLUM
17	VALLEY OAK
18	VALLEY OAK
19	CALIFORNIA BLACK WALNUT

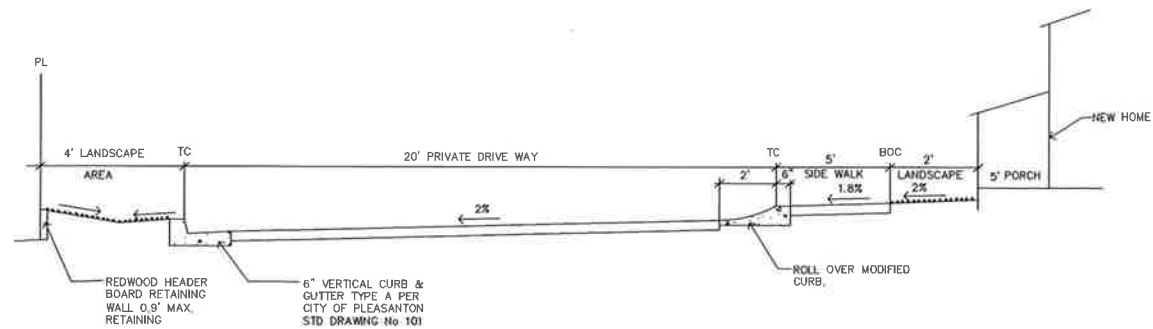
- LEGEND**
- MB MAILBOX
  - SSCO SANITARY SEWER CLEANOUT
  - WM WATER METER
  - (1) TREE NUMBER, REFER TO TREE TYPE TABLE
  - (18" D8") TREE WITH TRUNK DIAMETER AND DRIP LINE NOTED
  - HB HOSEBIB
  - TYPICAL WOOD FENCE LINE TYPE
  - TYPICAL CHAINLINK FENCE LINE TYPE
  - UB DRY UTILITY BOX
  - ⊕ FH FIRE HYDRANT
  - ↑ GUY WIRE FOR POWER POLE
  - 100.0 TYPICAL CONTOUR WITH LABEL
  - × 91.5 SPOT ELEVATION, GROUND - SOME GRADE TRUNCATED FOR CLARITY
  - [Pattern] PAVEMENT AREA
  - [Pattern] CONCRETE AREA
  - [Pattern] BRICK AREA
  - ☀ STREET LIGHT
  - UTILITY BOX FOR STREET LIGHT

- ABBREVIATIONS**
- EP EDGE OF PAVEMENT
  - CRN CROWN OF ROADWAY
  - TBC TOP BACK OF CURB
  - BOW BACK OF WALK
  - TW TOP OF WALL
  - DW DRIVEWAY
  - GB GRADE BREAK
  - AP ANGLE POINT
  - BRK BRICK

**BENCHMARK**  
 PROJECT BASED ON ELEVATION OF SSSC IN DRIVEWAY OF SUBJECT PROPERTY AS SHOWN ON IMPROVEMENT PLANS PREPARED BY CITY OF PLEASANTON AND TITLED "STANLEY BOULEVARD IMPROVEMENTS" AND DATED XXXXXX. ELEVATION OF SANITARY SEWER CLEANOUT = 356.23"

**NOTES:**  
 THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY AND MAKES NO REPRESENTATION OF BOUNDARY OR OWNERSHIP LINES.

INFORMATION FOR TREE TYPES SHOWN HEREON WAS TAKEN FROM THE UPDATED ARBORIST REPORT PREPARED BY HORTISCIENCE, INC AND DATED NOVEMBER 21, 2018.

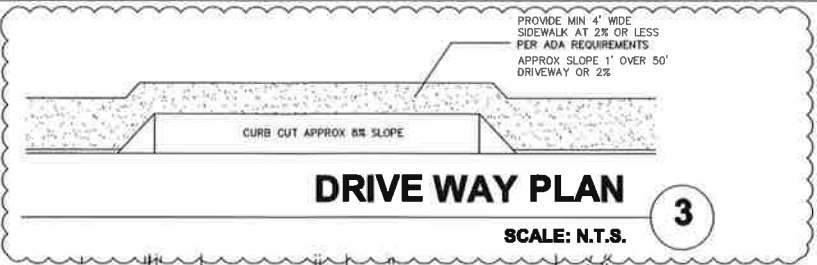


**DRIVE WAY TYP. CROSS SECTION 1**  
SCALE: 1" = 3'

NOTE:  
ANY SEPTIC AND WELL LOCATED ON-SITE SHALL BE ABANDONED PER ALAMEDA COUNTY HEALTH DEPARTMENT STANDARDS AND SPECIFICATIONS.

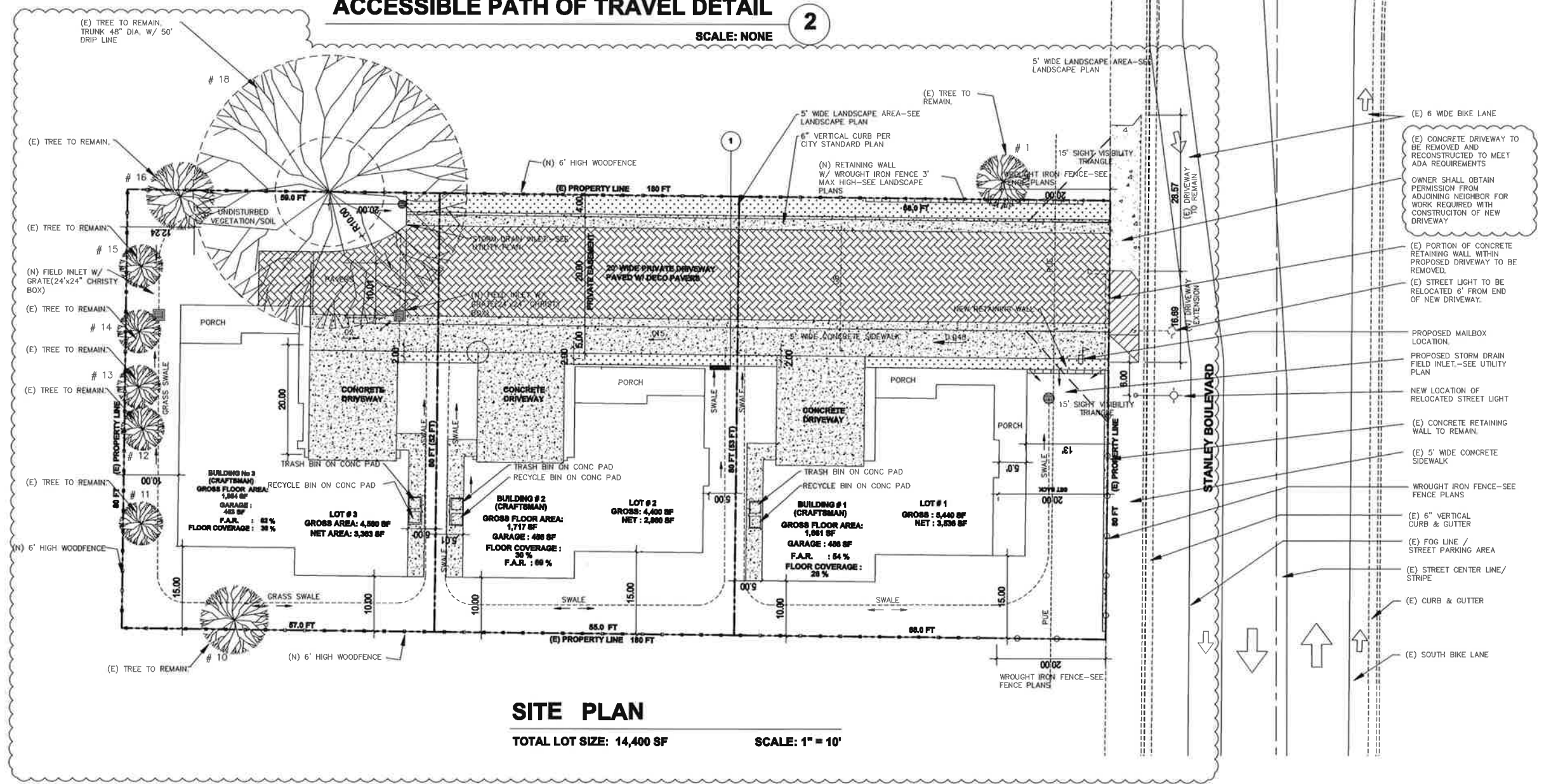
**SITE ANALYSIS:**

6" VERT. CURB & GUTTER:	274 SF
DRIVE OVER CURB:	258 SF
PAVERS DRIVE WAY:	2112 SF
5' WIDE SIDEWALK:	645 SF
GRAVEL DRIVEWAY:	411 SF
PAVER WALKWAY:	98 SF
GARAGE DRIVEWAY:	960 SF
LANDSCAPE AREA:	5,825 SF
<b>TOTAL PERVIOUS AREA:</b>	<b>5,825 SF</b>
<b>TOTAL IMPERVIOUS AREA:</b>	<b>4,180 SF</b>



**DRIVE WAY PLAN 3**  
SCALE: N.T.S.

**ACCESSIBLE PATH OF TRAVEL DETAIL 2**  
SCALE: NONE



**SITE PLAN**  
TOTAL LOT SIZE: 14,400 SF SCALE: 1" = 10'

(E) CONCRETE DRIVEWAY TO BE REMOVED AND RECONSTRUCTED TO MEET ADA REQUIREMENTS  
OWNER SHALL OBTAIN PERMISSION FROM ADJOINING NEIGHBOR FOR WORK REQUIRED WITH CONSTRUCTION OF NEW DRIVEWAY

- (E) PORTION OF CONCRETE RETAINING WALL WITHIN PROPOSED DRIVEWAY TO BE REMOVED.
- (E) STREET LIGHT TO BE RELOCATED 6' FROM END OF NEW DRIVEWAY.
- PROPOSED MAILBOX LOCATION.
- PROPOSED STORM DRAIN FIELD INLET--SEE UTILITY PLAN
- NEW LOCATION OF RELOCATED STREET LIGHT
- (E) CONCRETE RETAINING WALL TO REMAIN.
- (E) 5' WIDE CONCRETE SIDEWALK
- WROUGHT IRON FENCE--SEE FENCE PLANS
- (E) 6" VERTICAL CURB & GUTTER
- (E) FOG LINE / STREET PARKING AREA
- (E) STREET CENTER LINE/ STRIPE
- (E) CURB & GUTTER
- (E) SOUTH BIKE LANE

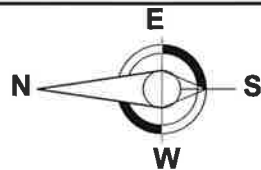
REVISIONS	DATE

**KEN MCCOY**  
PO BOX 379 MODESTO CA, 95353  
(209) 662-1231

**SITE PLAN**  
PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3897 STANLEY BLVD PLEASANTON, CA

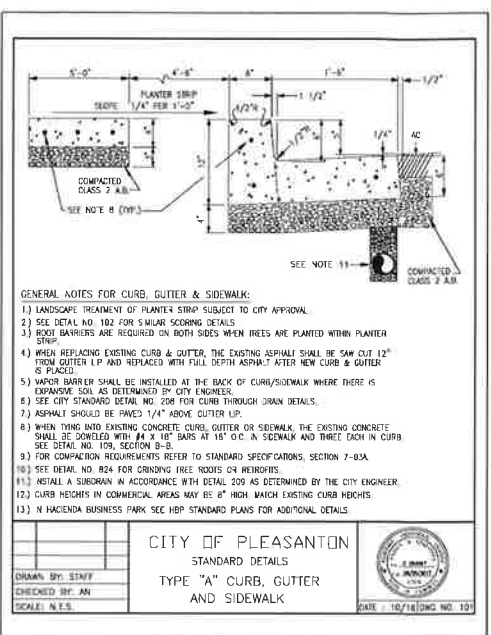
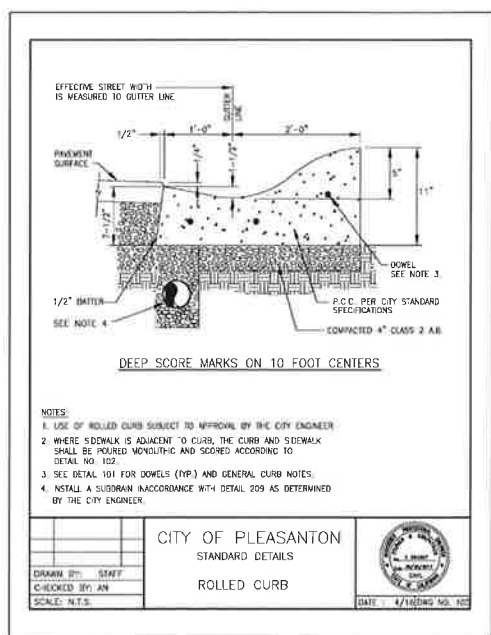
DRAWN BY: KMC  
CHECK BY:  
DATE: 07-02-19  
SCALE: AS SHOWN  
JOB NO:  
APN: 946-1686-003-01





**LEGEND:**

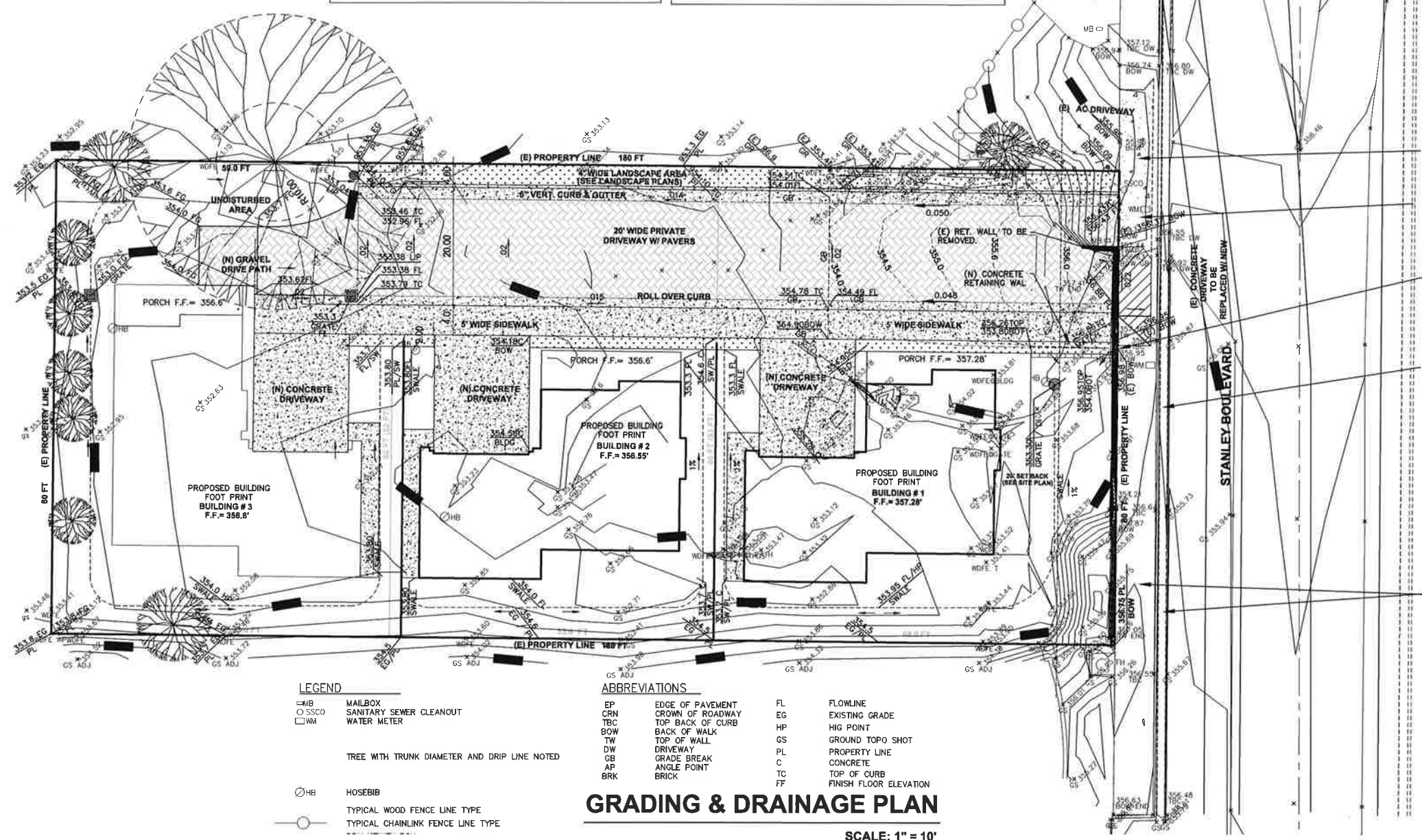
- CONCRETE AREA
- LANDSCAPE AREA—SEE LANDSCAPE PLANS.
- GRAVEL AREA



- GENERAL NOTES FOR CURB, GUTTER & SIDEWALK:**
- 1) LANDSCAPE TREATMENT OF PLANTER STRIP SUBJECT TO CITY APPROVAL.
  - 2) SEE DETAIL NO. 182 FOR 5' WIDE SIDEWALK DETAILS.
  - 3) ROOT BARRIERS ARE REQUIRED ON BOTH SIDES WHEN TREES ARE PLANTED WITHIN PLANTER STRIP.
  - 4) WHEN REPLACING EXISTING CURB & GUTTER, THE EXISTING ASPHALT SHALL BE SAW CUT 12" FROM CUTTER L.P. AND REPLACED WITH FULL DEPTH ASPHALT AFTER NEW CURB & GUTTER IS PLACED.
  - 5) WAPOR BARRIER SHALL BE INSTALLED AT THE BACK OF CURB/SIDEWALK WHERE THERE IS EXPANSION JOINT AS DETERMINED BY CITY ENGINEER.
  - 6) SEE CITY STANDARD DETAIL NO. 208 FOR CURB THROUGH DRAIN DETAILS.
  - 7) ASPHALT SHOULD BE FINISHED 1/4" ABOVE CUTTER L.P.
  - 8) WHEN TING INTO EXISTING CONCRETE CURB, GUTTER OR SIDEWALK, THE EXISTING CONCRETE SHALL BE JUNCTIONED WITH #4 X 18" BARS AT 15" O.C. IN SIDEWALK AND THREE DIA IN CURB. SEE DETAIL NO. 179, SECTION B-B.
  - 9) FOR COMPARISON REQUIREMENTS REFER TO STANDARD SPECIFICATIONS, SECTION 7-05A.
  - 10) SEE DETAIL NO. 824 FOR CRACKING FREE JOINTS OR REINFORCING.
  - 11) INSTALL A SLOTTED DRAIN IN ACCORDANCE WITH DETAIL 209 AS DETERMINED BY THE CITY ENGINEER.
  - 12) CURB HEIGHTS IN COMMERCIAL AREAS MAY BE 8" HIGH, MATCH EXISTING CURB HEIGHTS.
  - 13) IN HACIENDA BUSINESS PARK SEE HBP STANDARD PLANS FOR ADDITIONAL DETAILS.



**RETAINING WALL DETAIL**



- LEGEND**
- MAILBOX
  - SANITARY SEWER CLEANOUT
  - WATER METER
  - TREE WITH TRUNK DIAMETER AND DRIP LINE NOTED
  - HOSEBIB
  - TYPICAL WOOD FENCE LINE TYPE
  - TYPICAL CHAINLINK FENCE LINE TYPE

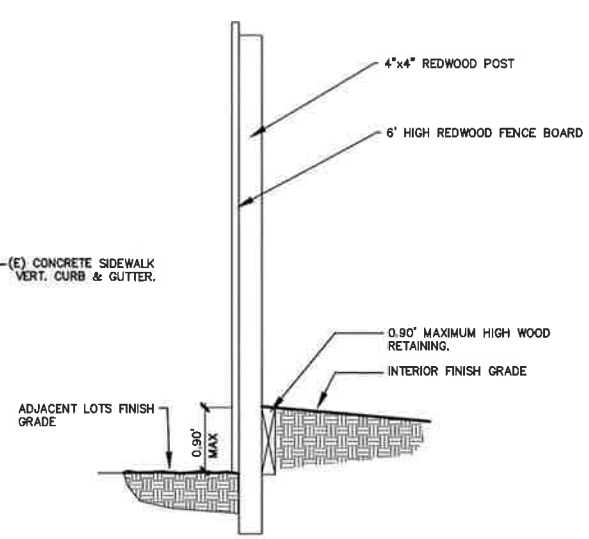
- ABBREVIATIONS**
- |     |                  |    |                        |
|-----|------------------|----|------------------------|
| EP  | EDGE OF PAVEMENT | FL | FLOWLINE               |
| CRN | CROWN OF ROADWAY | EG | EXISTING GRADE         |
| TBC | TOP BACK OF CURB | HP | HIG POINT              |
| BOW | BACK OF WALK     | GS | GROUND TOPO SHOT       |
| TH  | TOP OF WALL      | PL | PROPERTY LINE          |
| DW  | DRIVEWAY         | C  | CONCRETE               |
| GB  | GRADE BREAK      | TC | TOP OF CURB            |
| AP  | ANGLE POINT      | FF | FINISH FLOOR ELEVATION |
| BRK | BRICK            |    |                        |

**GRADING & DRAINAGE PLAN**

SCALE: 1" = 10'

- (E) CONCRETE DRIVEWAY TO REMAIN.
- (E) 12' PORTION OF DRIVEWAY TO BE REMOVED AND REPLACED W/ NEW 20' WIDE DRIVEWAY PER CITY STAND PLAN
- (E) RETAINING WALL TO BE REMOVED.
- (N) CONCRETE RETAINING WALL
- (E) 6" VERTICAL CURB & GUTTER.
- (E) CONCRETE DRIVEWAY TO BE REPLACED W/ NEW
- (E) CONCRETE SIDEWALK VERT. CURB & GUTTER.

EARTH WORK  
CUT 0 CY  
FILL 5 CY



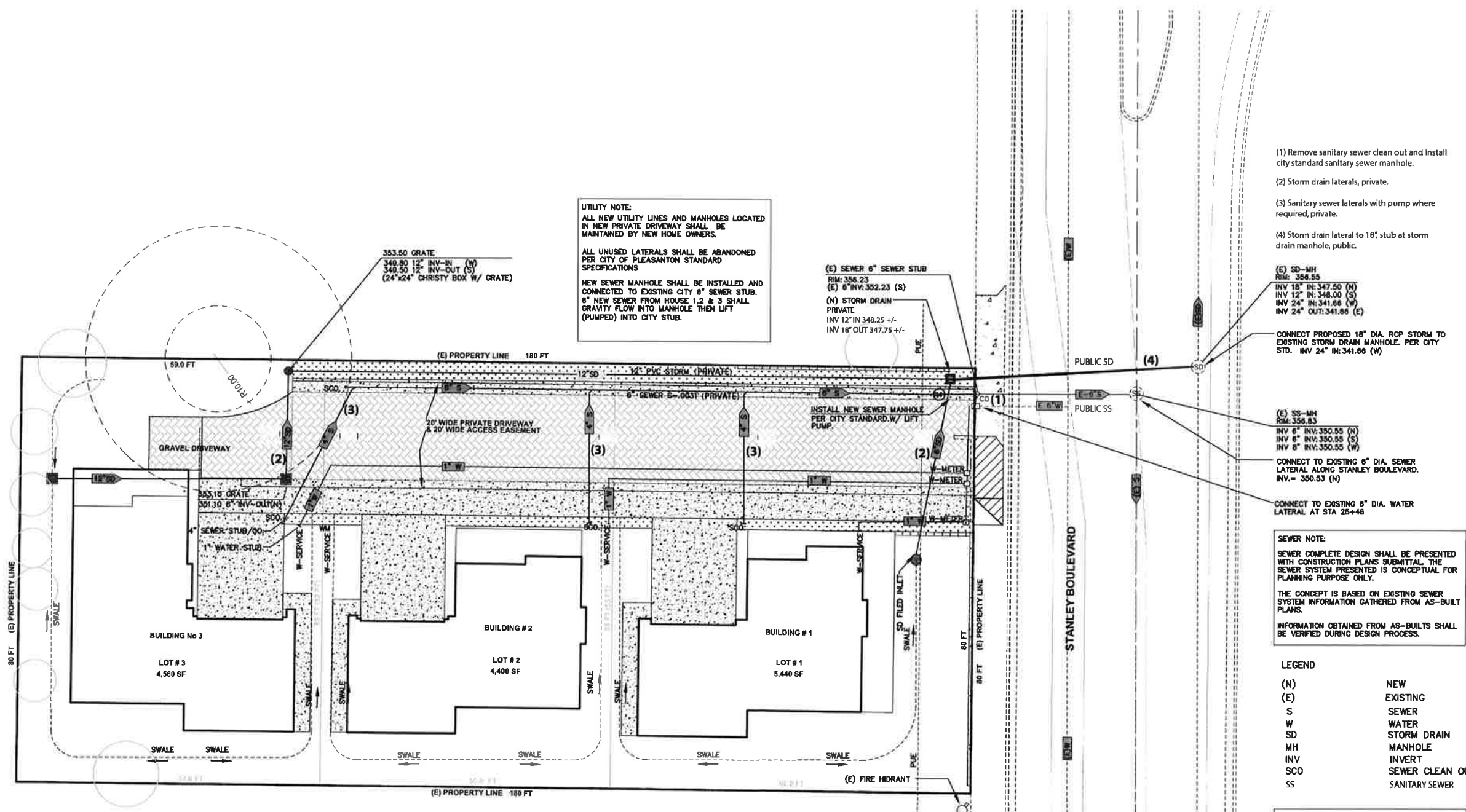
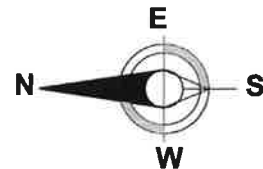
REVISIONS	DATE

Ken McCoy  
P.O. BOX 379 MODESTO CA 95353  
(209) 562-1231

**GRADING & DRAINAGE PLAN**  
PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
CHECK BY:  
DATE: 01-17-19  
SCALE: AS SHOWN  
JOB NO.:  
APN: 946-1886-003-01





**UTILITY NOTE:**  
 ALL NEW UTILITY LINES AND MANHOLES LOCATED IN NEW PRIVATE DRIVEWAY SHALL BE MAINTAINED BY NEW HOME OWNERS.  
 ALL UNUSED LATERALS SHALL BE ABANDONED PER CITY OF PLEASANTON STANDARD SPECIFICATIONS  
 NEW SEWER MANHOLE SHALL BE INSTALLED AND CONNECTED TO EXISTING CITY 6" SEWER STUB.  
 6" NEW SEWER FROM HOUSE 1, 2 & 3 SHALL GRAVITY FLOW INTO MANHOLE THEN LIFT (PUMPED) INTO CITY STUB.

- (1) Remove sanitary sewer clean out and install city standard sanitary sewer manhole.
- (2) Storm drain laterals, private.
- (3) Sanitary sewer laterals with pump where required, private.
- (4) Storm drain lateral to 18" stub at storm drain manhole, public.

- (E) SD-MH  
 RIM: 356.55  
 INV 18" IN: 347.50 (N)  
 INV 12" IN: 348.00 (S)  
 INV 24" IN: 341.86 (W)  
 INV 24" OUT: 341.86 (E)
- CONNECT PROPOSED 18" DIA. RCP STORM TO EXISTING STORM DRAIN MANHOLE PER CITY STD. INV 24" IN: 341.86 (W)
- (E) SS-MH  
 RIM: 356.63  
 INV 6" IN: 350.55 (N)  
 INV 6" IN: 350.55 (S)  
 INV 6" IN: 350.55 (W)
- CONNECT TO EXISTING 6" DIA. SEWER LATERAL ALONG STANLEY BOULEVARD. INV. = 350.53 (N)
- CONNECT TO EXISTING 6" DIA. WATER LATERAL AT STA 25+46

**SEWER NOTE:**  
 SEWER COMPLETE DESIGN SHALL BE PRESENTED WITH CONSTRUCTION PLANS SUBMITTAL. THE SEWER SYSTEM PRESENTED IS CONCEPTUAL FOR PLANNING PURPOSE ONLY.  
 THE CONCEPT IS BASED ON EXISTING SEWER SYSTEM INFORMATION GATHERED FROM AS-BUILT PLANS.  
 INFORMATION OBTAINED FROM AS-BUILTS SHALL BE VERIFIED DURING DESIGN PROCESS.

**LEGEND**

(N)	NEW
(E)	EXISTING
S	SEWER
W	WATER
SD	STORM DRAIN
MH	MANHOLE
INV	INVERT
SCO	SEWER CLEAN OUT
SS	SANITARY SEWER

**WATER NOTE:**  
 ALL NEW HOUSE MUST BE PROVIDED WITH SEPARATE WATER METER. ALL EXISTING WATER LATERAL NOT USED SHALL BE ABANDONED PER CITY STANDARD. ALL NEW WATER METERS MUST BE INSTALLED WITHIN PUE (BACK OF SIDEWALK)  
 PROVIDE LANDSCAPE IRRIGATION SERVICE W/ BACK-FLOW PREVENTION DEVICE PER CITY STANDARD.

**UTILITY PLAN** SCALE: 1" = 10'

REVISIONS	DATE

**Ken McCoy**  
 P.O. BOX 179, MODESTO CA 95313  
 (209) 662-1231

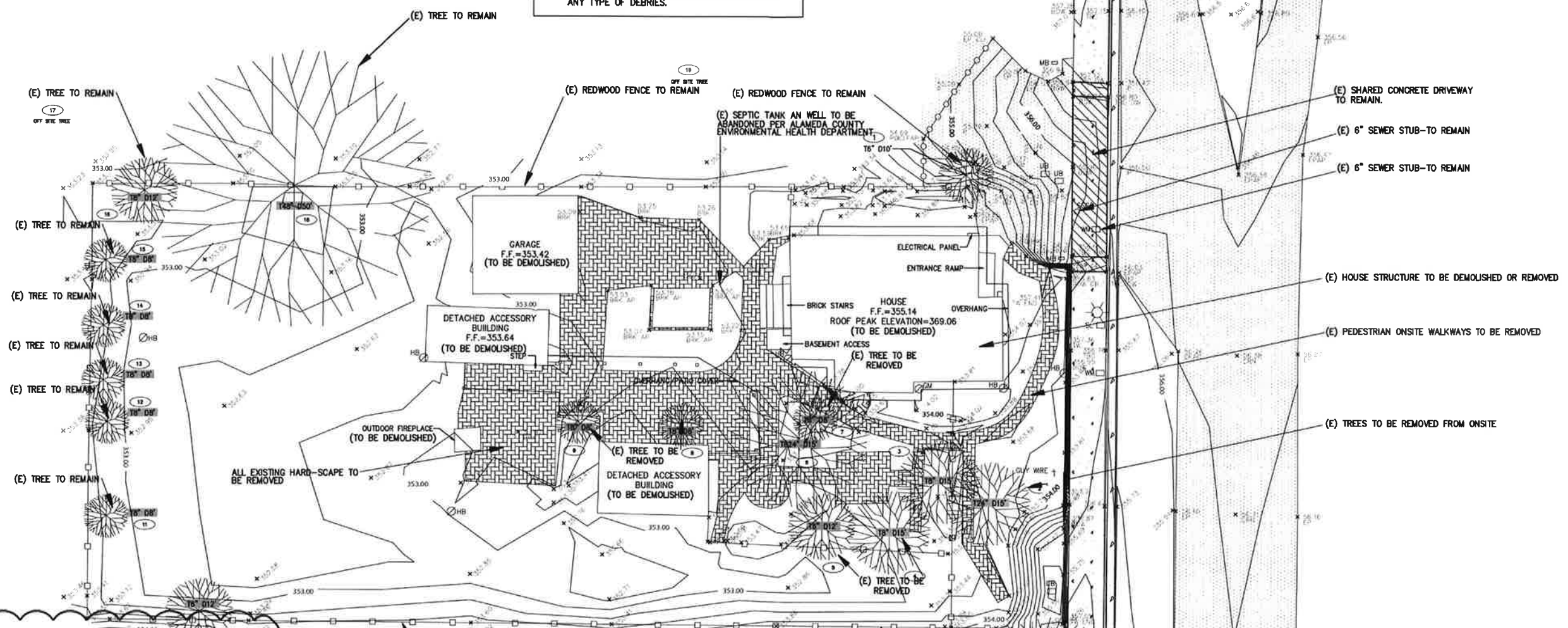
**UTILITY PLAN**

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
 CHECK BY:  
 DATE: 01-17-10  
 SCALE: AS SHOWN  
 JOB NO:  
 APN: 946-1686-003-01

**DEMOLITION NOTE:**

1. WELL, SEPTIC SYSTEM SHALL BE ABANDONED PER ALAMEDA COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARD AND SPECIFICATIONS.
2. ALL EXISTING STRUCTURES ON SITE SHALL BE DEMOLISHED. ALL DEBRIES REMOVED. SITE SHALL BE TOTALLY CLEAN AND FREE FROM ANY TYPE OF DEBRIES.



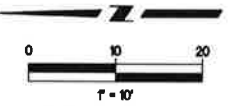
**(E) TREE TO REMAIN TREE TYPE TABLE**

TREE NO.	TREE SPECIES
1	GRAPE MYRTLE
2	ITALIAN ALDER (REMOVE)
3	SHELDON (REMOVE)
4	PLUM (REMOVE)
5	LEMON (REMOVE)
6	PLUM (REMOVE)
7	WINDMILL PALM (REMOVE)
8	WINDMILL PALM (REMOVE)
9	WINDMILL PALM (REMOVE)
10	GLOSSY PRIVET
11	WINDMILL PALM
12	WINDMILL PALM
13	WINDMILL PALM
14	WINDMILL PALM
15	WINDMILL PALM
16	PLUM
17	VALLEY OAK
18	VALLEY OAK
19	CALIFORNIA BLACK WALNUT

INFORMATION FOR TREE TYPES SHOWN HEREON WAS TAKEN FROM THE UPDATED ARBORIST REPORT PREPARED BY HORTSCIENCE, INC AND DATED NOVEMBER 21, 2018.

- LEGEND**
- MB MAILBOX
  - SSCO SANITARY SEWER CLEANOUT
  - WM WATER METER
  - 1 TREE NUMBER, REFER TO TREE TYPE TABLE
  - TREE WITH TRUNK DIAMETER AND DRIP LINE NOTED
  - HR HOSEBIB
  - TYPICAL WOOD FENCE LINE TYPE
  - TYPICAL CHAINLINK FENCE LINE TYPE
  - UB DRY UTILITY BOX
  - FH FIRE HYDRANT
  - GW GUY WIRE FOR POWER POLE
  - TYPICAL CONTOUR WITH LABEL
  - SPOT ELEVATION, GROUND - SOME GRADE TRUNCATED FOR CLARITY
  - PAVEMENT AREA
  - CONCRETE AREA
  - BRICK AREA
  - STREET LIGHT
  - UTILITY BOX FOR STREET LIGHT

- ABBREVIATIONS**
- EP EDGE OF PAVEMENT
  - CRN CROWN OF ROADWAY
  - TBC TOP BACK OF CURB
  - BOW BACK OF WALK
  - TW TOP OF WALL
  - DW DRIVEWAY
  - GB GRADE BREAK
  - AP ANGLE POINT
  - BRK BRICK



**BENCHMARK**  
 PROJECT BASED ON ELEVATION OF SSCO IN DRIVEWAY OF SUBJECT PROPERTY AS SHOWN ON IMPROVEMENTS PLANS PREPARED BY CITY OF PLEASANTON AND TITLED "STANLEY BOULEVARD IMPROVEMENTS" AND DATED XXXXXXX. ELEVATION OF SANITARY SEWER CLEANOUT = 356.23"

**NOTES:**  
 THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY AND MAKES NO REPRESENTATION OF BOUNDARY OR OWNERSHIP LINES.

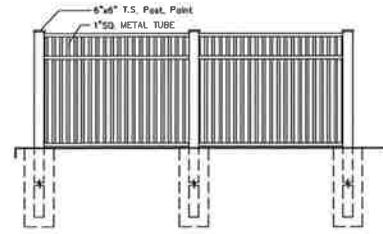
REVISIONS	DATE

**Ken McCoy**  
 P.O. BOX 379 MODesto CA 95353  
 (209) 662-1231

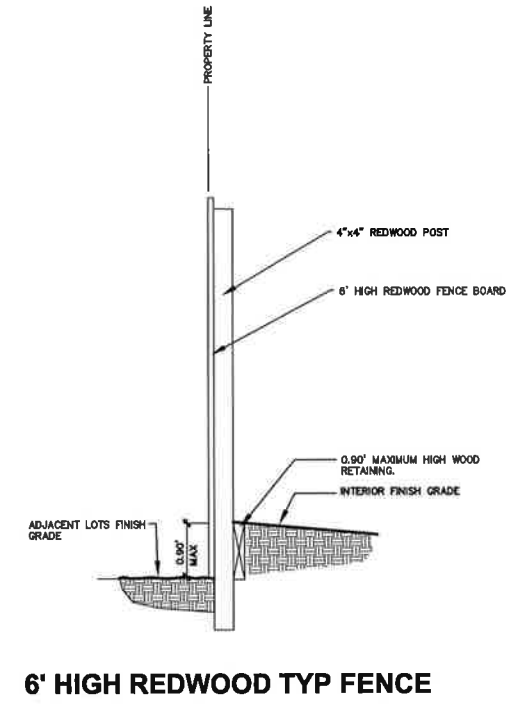
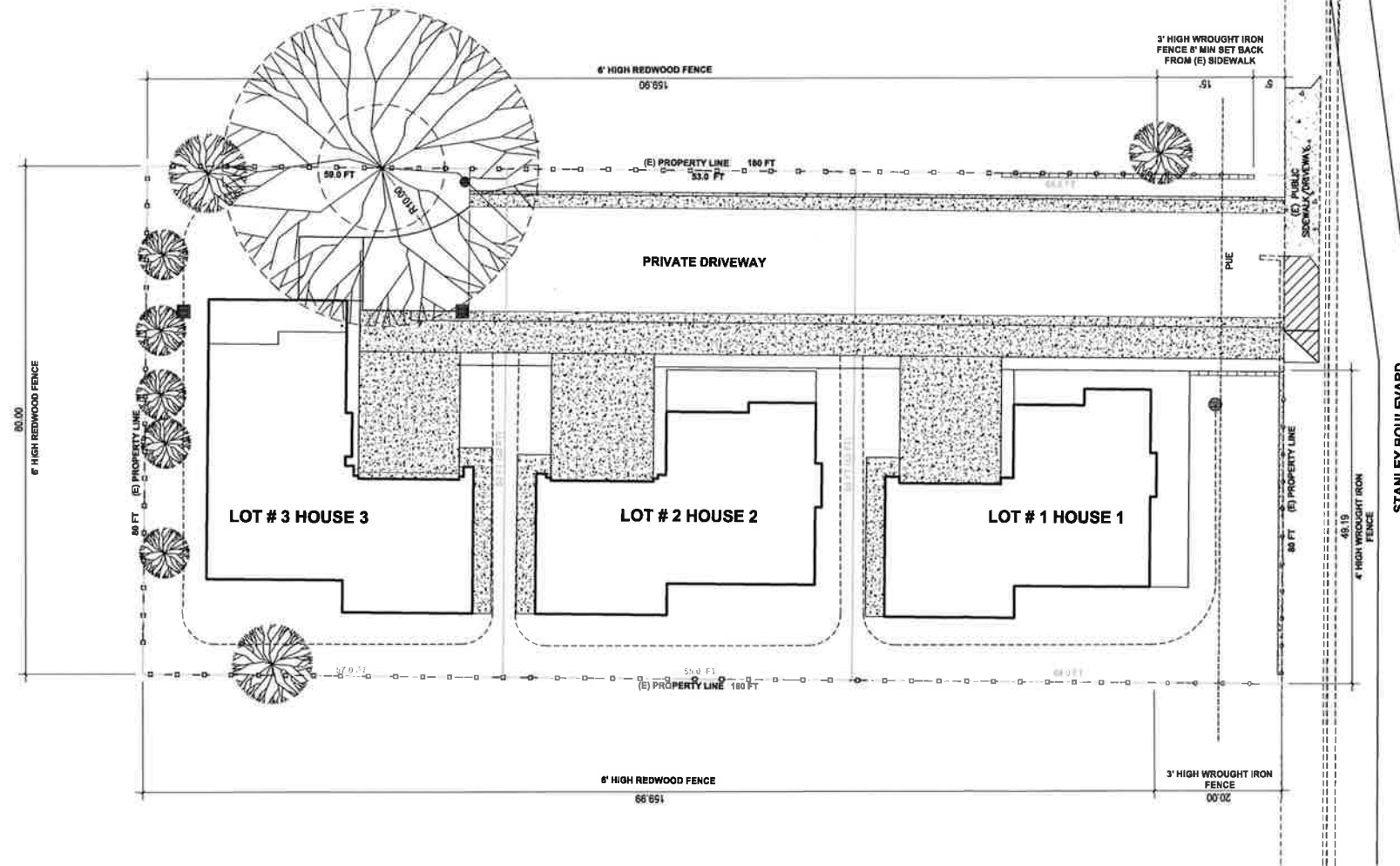
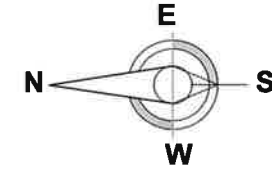
**DEMOLITION PLAN**  
 PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
 CHECK BY:  
 DATE: 01-17-19  
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 JOB NO.:  
 APN: 946-1688-003-01

**D1.0**



**IRON TYP FENCE**



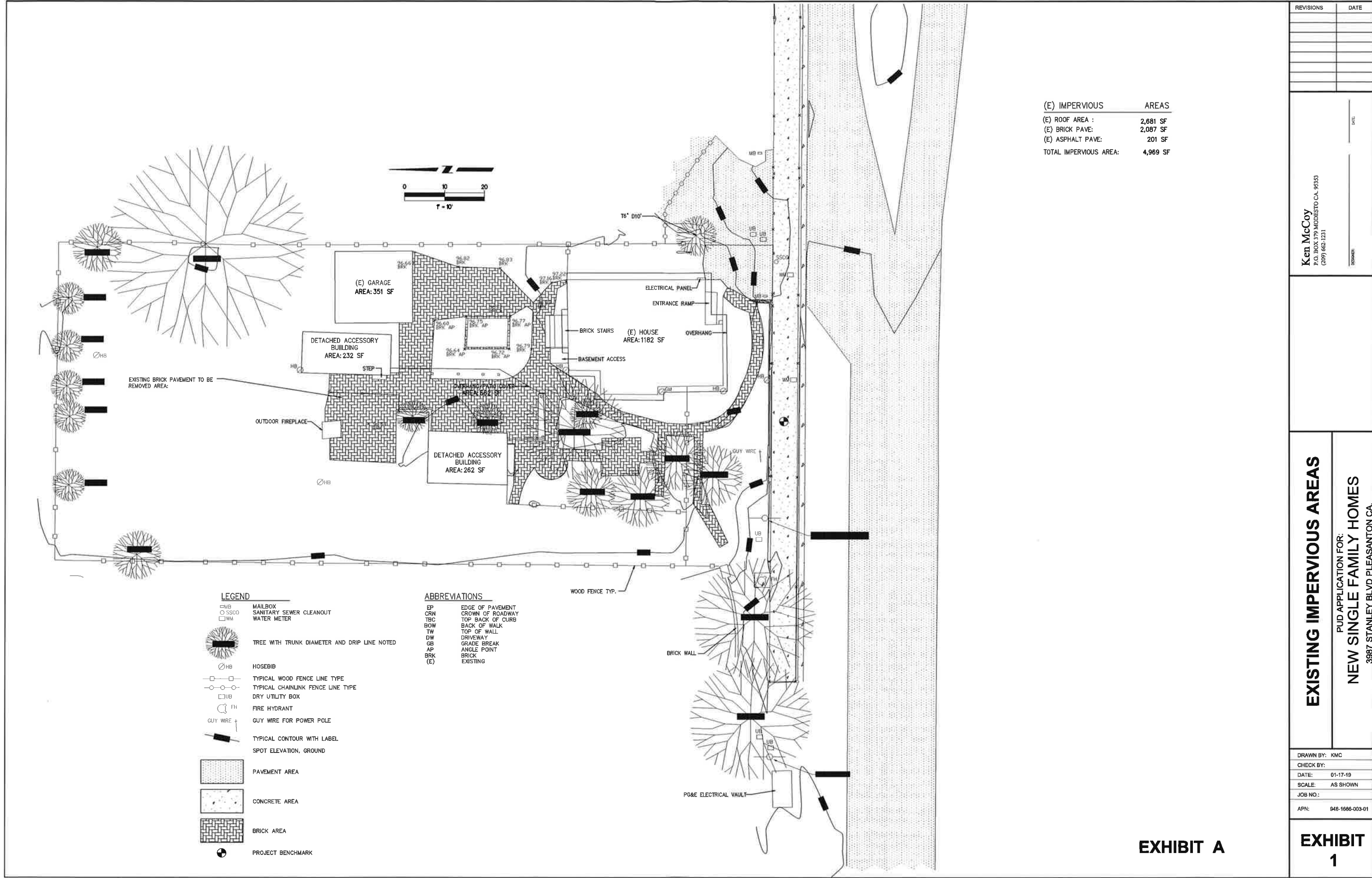
**6' HIGH REDWOOD TYP FENCE**

REVISIONS	DATE

Ken McCoy  
 P.O. BOX 379 MODESTO CA. 95353  
 (209) 662-1231

**FENCE PLAN**  
 PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
 3987 STANLEY BLVD PLEASANTON CA.

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 SCALE: AS SHOWN  
 JOB NO.:  
 APN: 948-1668-003-01



(E) IMPERVIOUS AREAS	AREAS
(E) ROOF AREA :	2,681 SF
(E) BRICK PAVE:	2,087 SF
(E) ASPHALT PAVE:	201 SF
<b>TOTAL IMPERVIOUS AREA:</b>	<b>4,969 SF</b>

**LEGEND**

- ◻ MB MAILBOX
- SSOO SANITARY SEWER CLEANOUT
- ◻ WM WATER METER
- TREE WITH TRUNK DIAMETER AND DRIP LINE NOTED
- HB HOSEBIB
- TYPICAL WOOD FENCE LINE TYPE
- TYPICAL CHAINLINK FENCE LINE TYPE
- ◻ UB DRY UTILITY BOX
- ◻ FH FIRE HYDRANT
- GUY WIRE GUY WIRE FOR POWER POLE
- TYPICAL CONTOUR WITH LABEL
- SPOT ELEVATION, GROUND
- PAVEMENT AREA
- CONCRETE AREA
- BRICK AREA
- PROJECT BENCHMARK

**ABBREVIATIONS**

- EP EDGE OF PAVEMENT
- CRN CROWN OF ROADWAY
- TBC TOP BACK OF CURB
- BOW BACK OF WALK
- TW TOP OF WALL
- DW DRIVEWAY
- GB GRADE BREAK
- AP ANGLE POINT
- BRK BRICK
- (E) EXISTING

REVISIONS	DATE

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 P.O. BOX 379 MODesto CA. 95333  
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**EXISTING IMPERVIOUS AREAS**

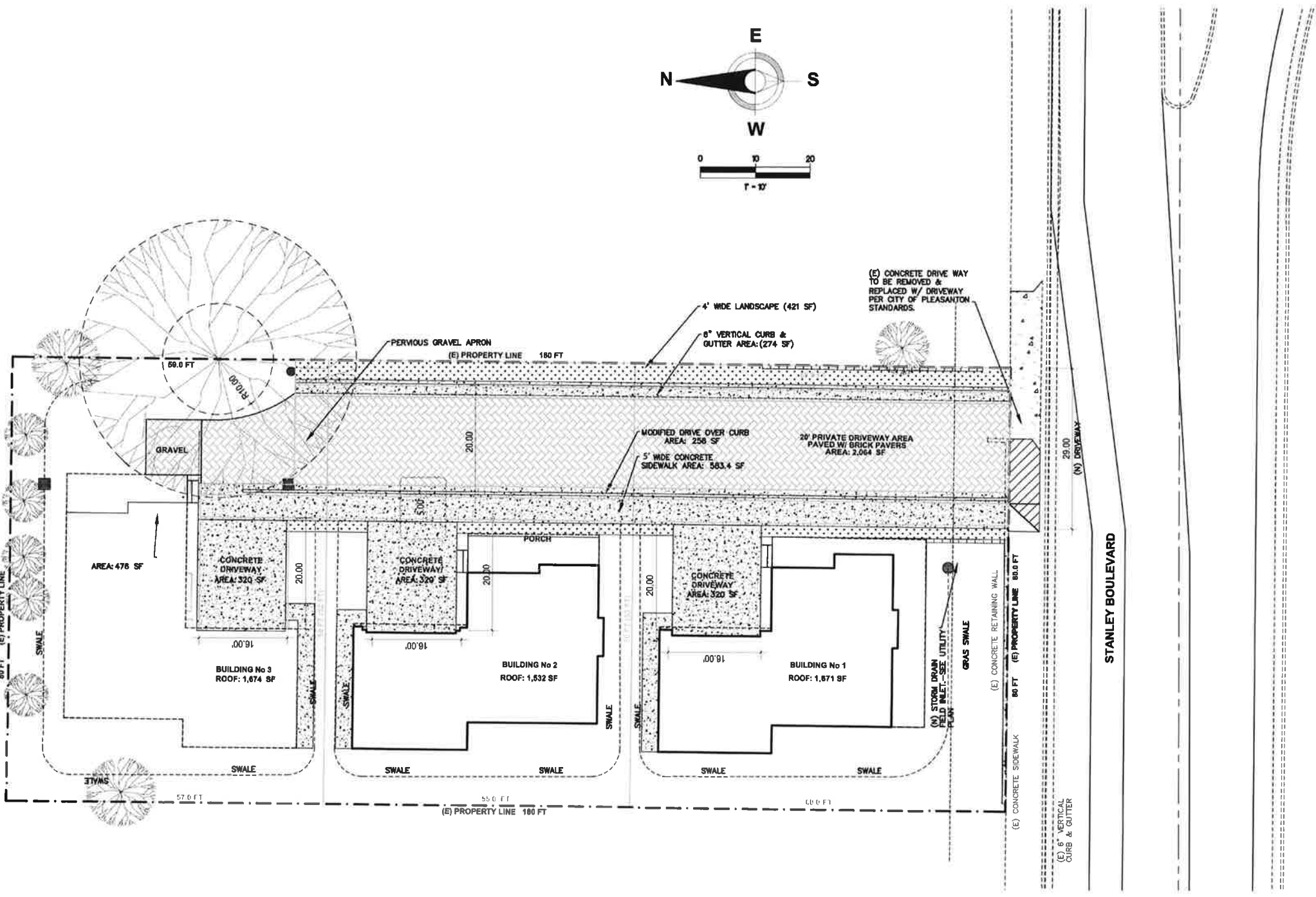
PUD APPLICATION FOR:  
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 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY:	KMC
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DATE:	01-17-19
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APN:	946-1686-003-01

**EXHIBIT A**

**EXHIBIT 1**





**IMPERVIOUS AREAS**

PRIVATE DRIVEWAY W/ DECO PAVERS :	2,014 SF
CONCRETE CURB & GUTTER :	493 SF
5' WIDE CONCRETE SIDE WALK :	731 SF
16' WIDE x 20' CONCRETE DRIVEWAY :	960 SF
3' CONCRETE WALK AT REFUSE AREA :	246 SF
PROPOSED BUILDINGS ROOF AREA :	4,877 SF
<b>TOTAL PROPOSED IMPERVIOUS AREA:</b>	<b>9,321 SF</b>

**PERVIOUS AREAS**

LANDSCAPE AREA :	5,474 SF
<b>TOTAL PROPOSED PERVIOUS AREA:</b>	<b>5,474 SF</b>

**SITE PLAN**

TOTAL LOT SIZE: 14,400 SF SCALE: 1" = 10'

REVISIONS	DATE

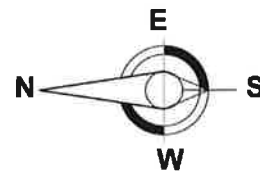
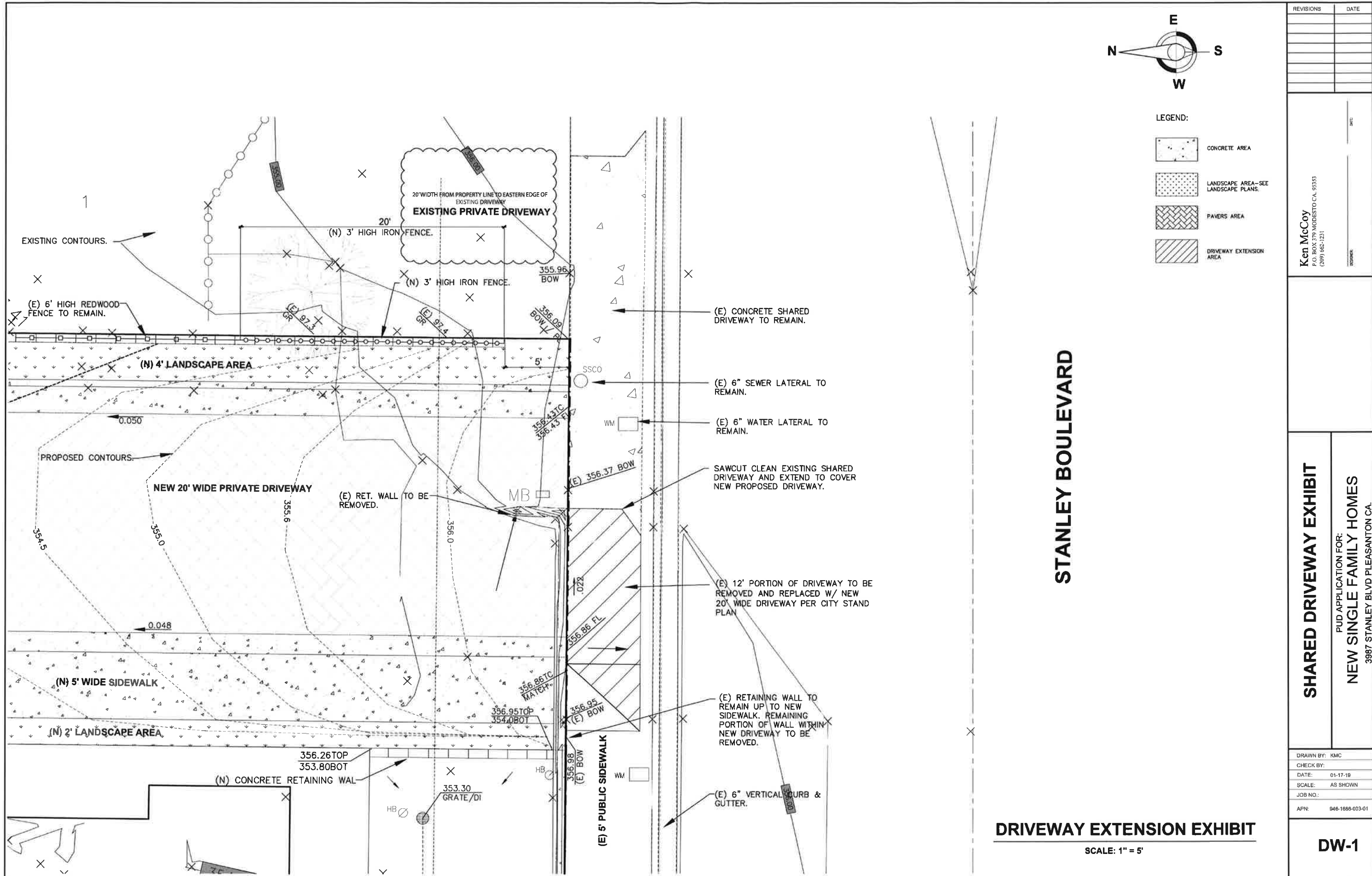
Ken McCoy  
P.O. BOX 379 MODESTO CA, 95333  
(209) 662-1231

**PROPOSED IMPERVIOUS AREAS**  
PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC  
CHECK BY:  
DATE: 01-17-19  
SCALE: AS SHOWN  
JOB NO:  
APN: 946-1898-003-01

**EXHIBIT 2**

**EXHIBIT B**



REVISIONS	DATE

Ken McCoy  
P.O. BOX 379, MODESTO CA, 95333  
(209) 462-1231

**SHARED DRIVEWAY EXHIBIT**

PUD APPLICATION FOR:  
**NEW SINGLE FAMILY HOMES**  
3987 STANLEY BLVD PLEASANTON CA.

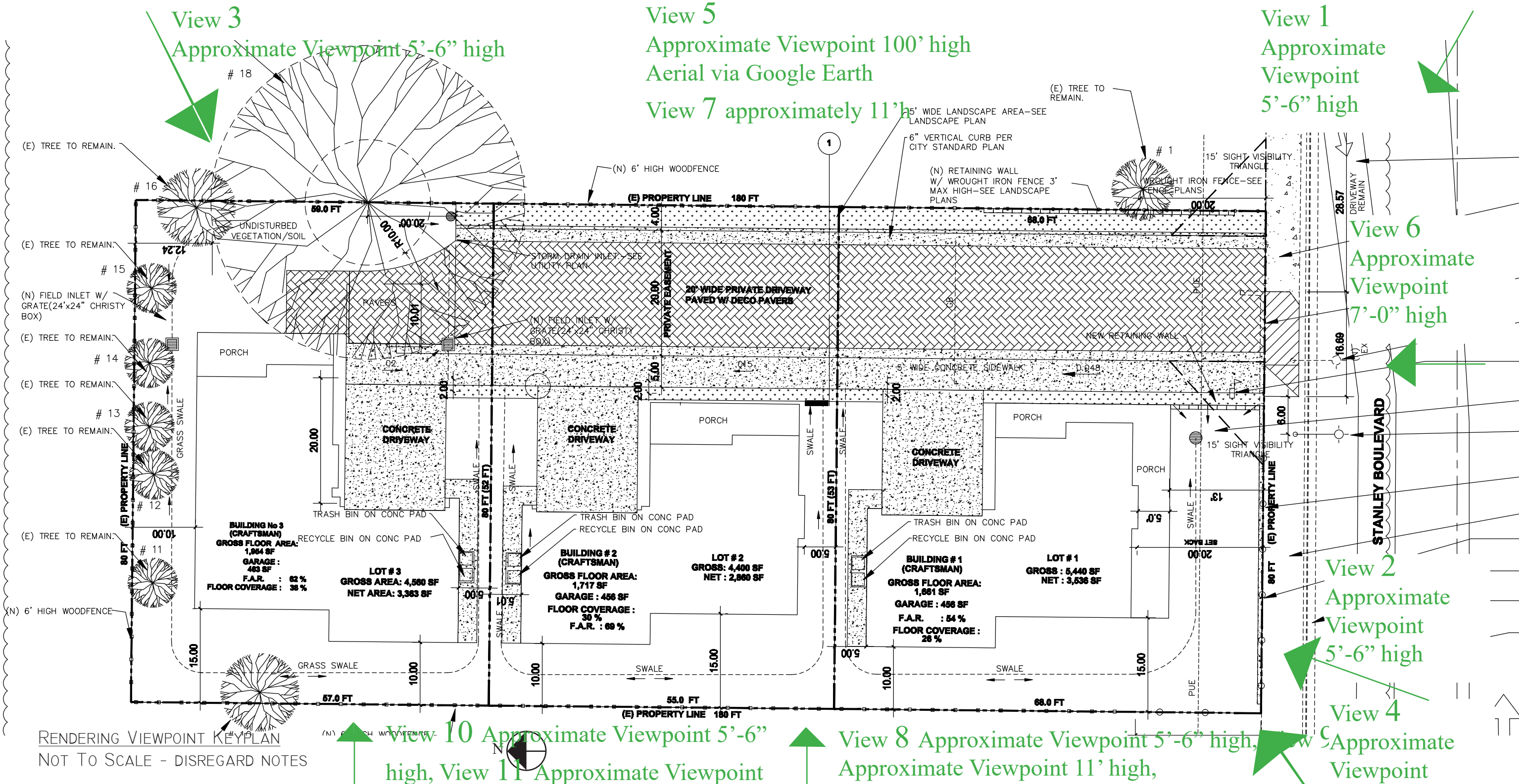
DRAWN BY: KMC  
CHECK BY:  
DATE: 01-17-19  
SCALE: AS SHOWN  
JOB NO.:  
APN: 946-1888-003-01

**DW-1**









View 3  
Approximate Viewpoint 5'-6" high

View 5  
Approximate Viewpoint 100' high  
Aerial via Google Earth  
View 7 approximately 11' high

View 1  
Approximate Viewpoint 5'-6" high

View 6  
Approximate Viewpoint 7'-0" high

View 2  
Approximate Viewpoint 5'-6" high

View 4  
Approximate Viewpoint 9' high

View 10  
Approximate Viewpoint 5'-6" high, View 11  
Approximate Viewpoint 11' high,

View 8  
Approximate Viewpoint 5'-6" high, View 9  
Approximate Viewpoint 11' high,

RENDERING VIEWPOINT KEYPLAN  
NOT TO SCALE - DISREGARD NOTES



STRIKEFORCE DESIGN  
971 270 0951  
SARAH@STRIKEFORCEDESIGN.NET

RENDER VIEW ANALYSES REVISION  
3987 STANLEY BOULEVARD, PLEASANTON, CA





EXISTING



PROPOSED

RENDER VIEW 1 FROM STANLEY BLVD. LOOKING NORTHWEST



STRIKEFORCE DESIGN  
971 270 0951  
SARAH@STRIKEFORCEDESIGN.NET

RENDER VIEW ANALYSES REVISION  
3987 STANLEY BOULEVARD, PLEASANTON, CA





EXISTING



PROPOSED

RENDER VIEW 2 FROM STANLEY BLVD. LOOKING NORTHEAST



STRIKEFORCE DESIGN  
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SARAH@STRIKEFORCEDESIGN.NET

RENDER VIEW ANALYSES REVISION  
3987 STANLEY BOULEVARD, PLEASANTON, CA





EXISTING



PROPOSED

RENDER VIEW 3 FROM EAST NEIGHBOR'S PROPERTY AT REAR (EXISTING TREES ON NEIGHBORING PROPERTY NOT SHOWN)



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RENDER VIEW ANALYSES REVISION  
3987 STANLEY BOULEVARD, PLEASANTON, CA





EXISTING



PROPOSED

RENDER VIEW 4 FROM STANLEY BLVD. LOOKING EAST, HIGH ANGLE VIEW



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RENDER VIEW ANALYSES REVISION  
3987 STANLEY BOULEVARD, PLEASANTON, CA





EXISTING



PROPOSED

RENDER VIEW 5 AERIAL VIEW SHOWING EAST PROPERTY EXISTING CANOPY



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RENDER VIEW ANALYSES REVISION  
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EXISTING



PROPOSED

RENDER VIEW 6 STREET VIEW FROM ACROSS STANLEY



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RENDER VIEW ANALYSES REVISION  
3987 STANLEY BOULEVARD, PLEASANTON, CA





RENDER VIEW 7

FROM EAST, CONSTRUCTED AT 11' FROM CENTER OF PROPERTY; NOTE THAT ONLY LANDSCAPING ON 3987 IS SHOWN, BUT SATELLITE IMAGES SUGGEST THERE ARE SIGNIFICANT TALL TREES THAT WOULD FURTHER OBSTRUCT THIS VIEW.



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RENDER VIEW ANALYSES REVISION  
3987 STANLEY BOULEVARD, PLEASANTON, CA





RENDER VIEW 8

FROM WEST, CONSTRUCTED AT 5' AND 11' FROM CENTER OF TWO HOMES; ONLY 3987 PROPERTY FEATURES SHOWN



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RENDER VIEW ANALYSES REVISION  
3987 STANLEY BOULEVARD, PLEASANTON, CA