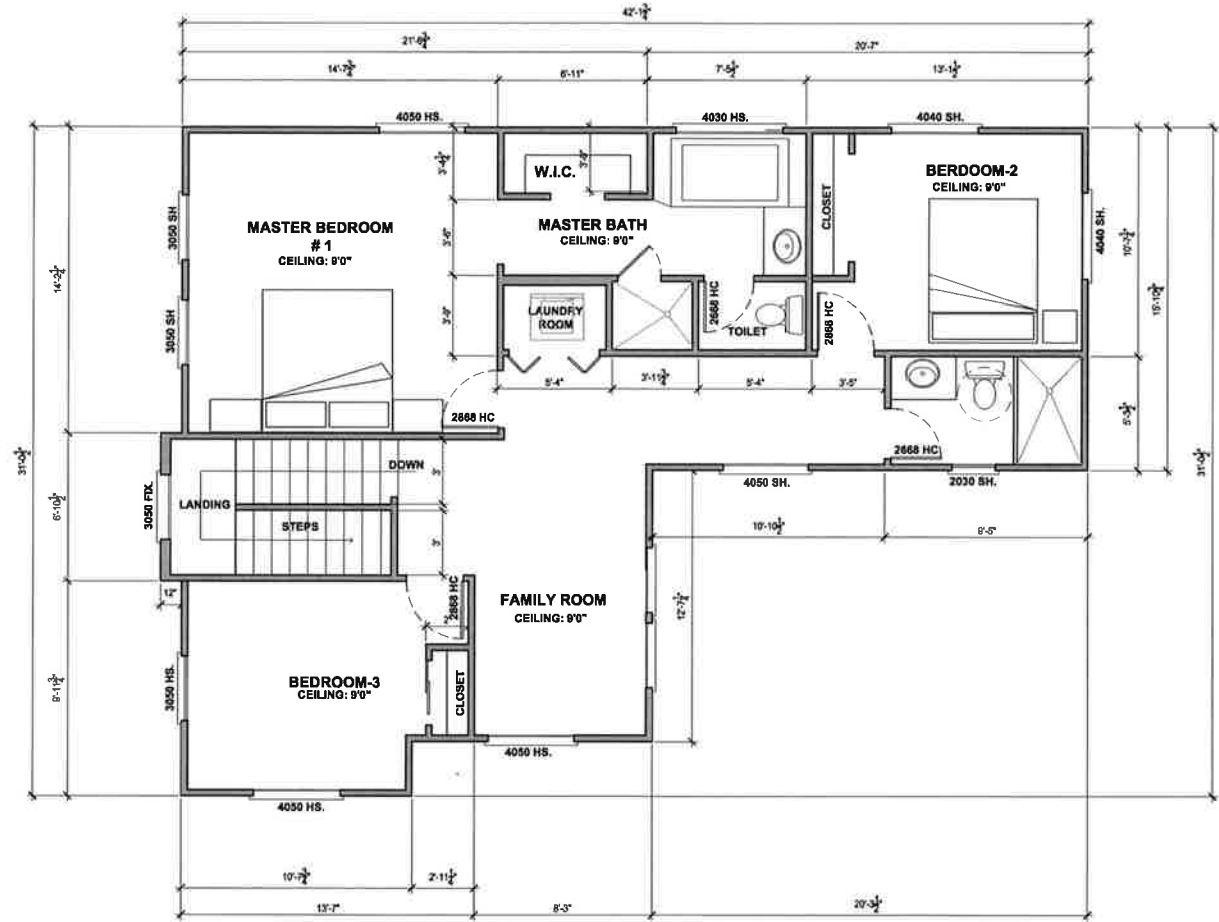


1st. FLOOR PLAN No. 1

FLOOR AREA : 656 SF
 GARAGE : 456 SF
 PORCH : 296 SF
 SCALE: 1/4" = 1'-0"



2 nd. FLOOR PLAN No. 1

FLOOR AREA : 979 SF
 SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy
 P.O. BOX 379 MODOesto CA 9533
 (209) 662-1231

BLDG # 1-1 st. & 2 nd. FLOOR PLAN

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
 CHECK BY:
 DATE: 01-17-19
 SCALE: AS SHOWN
 JOB NO.:
 APN: 946-1686-003-01

1,635 SF
CRAFTSMAN
A1.0

REVISIONS	DATE

Ken McCoy
P.O. BOX 379, MODESTO CA, 95353
(209) 862-1231

ELEVATIONS HOUSE # 1

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
CHECK BY:
DATE: 01-17-19
SCALE: AS SHOWN
JOB NO.:
APN: 946-1688-003-01

STYLE:
CRAFTSMAN
A1.1



EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy
 P.O. BOX 379, MODESTO CA, 95353
 (209) 662-1231

ELEVATIONS HOUSE # 1

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
 CHECK BY:
 DATE: 01-17-19
 SCALE: AS SHOWN
 JOB NO.:
 APN: 946-1866-003-01

STYLE:
**CRAFTSMAN
 A1.2**








EAST ELEVATION

SCALE: 1/4" = 1'-0"

COLOR BOARD & FINISH

COLORS AND FINISHES		
1	ROOFING	ASPHALT COMPOSITION SHINGLES (PRESIDENT STYLE)
2	ROOF FASCIA	BEHR, WHITE 52
3	BODY PAINT	BEHR, WEATHERED MOSS N380-3
4	COLUMNS	BEHR, WHITE 52
5	TRIMS	BEHR, WHITE 52
6	GUTTERS	BEHR, WHITE 52
7	DOWNSPOUTS	BEHR, WHITE 52
8	WALK WAY	NATURAL CONCRETE
9	GABLE END	BEHR, WHITE 52

COLORS

-  BEHR, WHITE 52 (GABLE END)
-  BEHR, WEATHERED MOSS N380-3 (HOUSE BODY)
-  ASPHALT COMPOSITION SHINGLE (PRESIDENT, STYLE (ROOF))--SEE ROOF PLAN
-  BEHR, WHITE 52 (GARAGE DOOR)
-  BEHR, ENGLISH CUSTARD M290-5 (FRONT DOOR)



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

SLOPE GROUND AWAY FROM BUILDING 5' MIN @ 2%

REVISIONS	DATE

Ken McCoy
P.O. BOX 379 MODesto CA, 95333
(209) 462-1231

ELEVATIONS COLOR
PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY:	
CHECK BY:	
DATE:	
SCALE:	AS SHOWN
JOB NO.:	
APN:	946-1686-003-01

STYLE:
CRAFTSMAN
A1.3

REVISIONS	DATE

COLOR BOARD & FINISH

COLORS AND FINISHES		
1	ROOFING	ASPHALT COMPOSITION SHINGLES (PRESIDENT STYLE)
2	ROOF FASCIA	BEHR, WHITE 52
3	BODY PAINT	BEHR, WEATHERED MOSS N380-3
4	COLUMNS	BEHR, WHITE 52
5	TRIMS	BEHR, WHITE 52
6	CUTTERS	BEHR, WHITE 52
7	DOWNSPOUTS	BEHR, WHITE 52
8	WALK WAY	NATURAL CONCRETE
9	GABLE END	BEHR, WHITE 52

COLORS

- BEHR, WHITE 52 (GABLE END)
- BEHR, WEATHERED MOSS N380-3 (HOUSE BODY)
- ASPHALT COMPOSITION SHINGLE (PRESIDENT, STYLE (ROOF)—SEE ROOF PLAN)
- BEHR, WHITE 52 (GARAGE DOOR)
- BEHR, ENGLISH CUSTARD M290-5 (FRONT DOOR)

Ken McCoy
 P.O. BOX 379, MODESTO, CA. 95353
 (209) 462-1231



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

SLOPE GROUND AWAY FROM BUILDING 5' MIN @ 2%



WEST ELEVATION

SCALE: 1/4" = 1'-0"

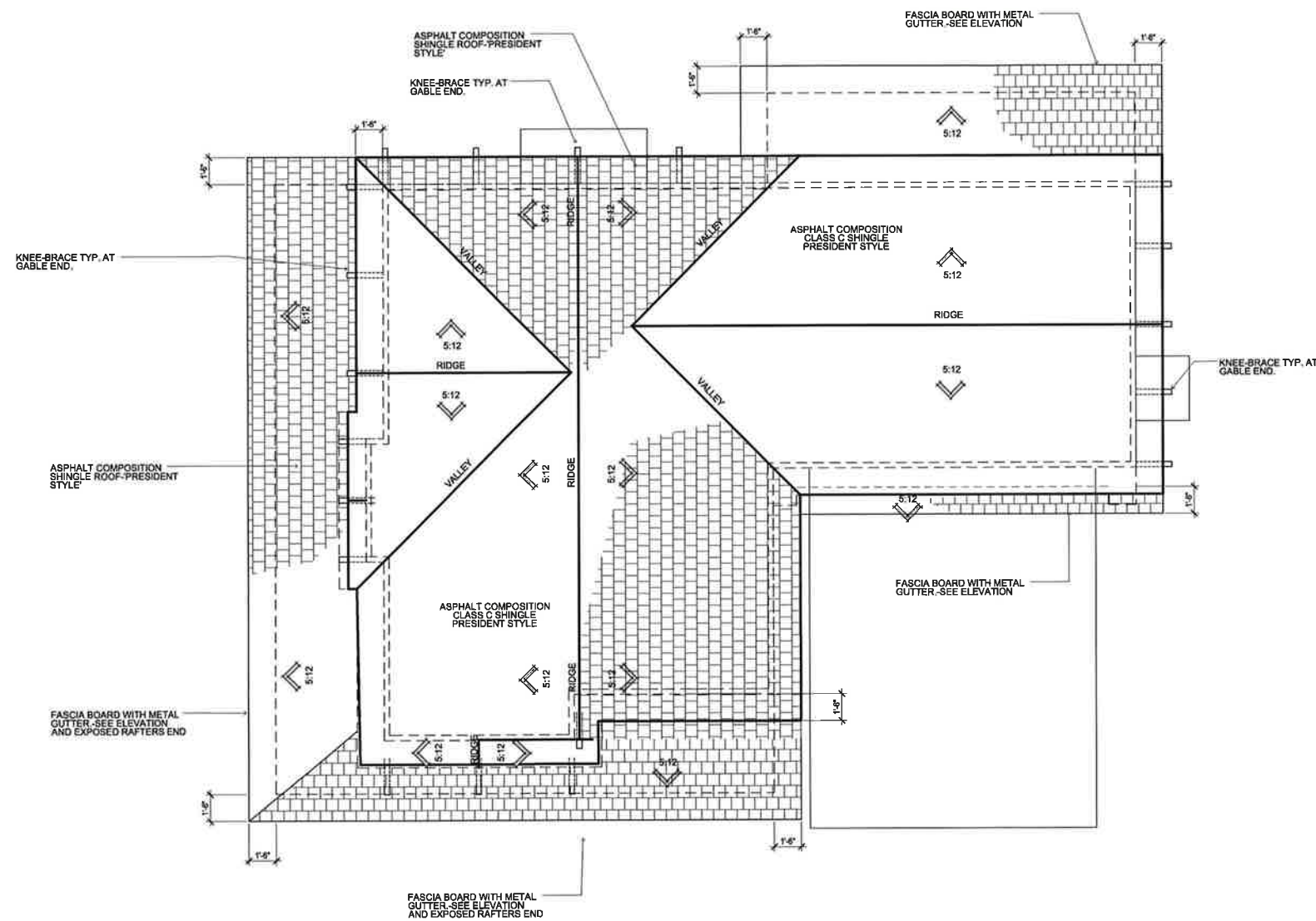
SLOPE GROUND AWAY FROM BUILDING 5' MIN @ 2% TYP.

ELEVATIONS COLOR

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY:	
CHECK BY:	
DATE:	
SCALE:	AS SHOWN
JOB NO.:	
APN:	946-1698-003-01

SPANISH
A1.4



ROOF PLAN

UPPER ROOF AREA: 1,202 SF
 LOWER ROOF AREA: 483 SF
 TOTAL ROOF AREA: 1,685 SF

SCALE: 1/4" = 1'-0"



ASPHALT COMPOSITION
 CLASS C SHINGLES "PRESIDENT STYLE"
 ROOF COLOR & MATERIAL

REVISIONS	DATE

Ken McCoy
 P.O. BOX 379, MODESTO CA 95353
 (209) 662-1231

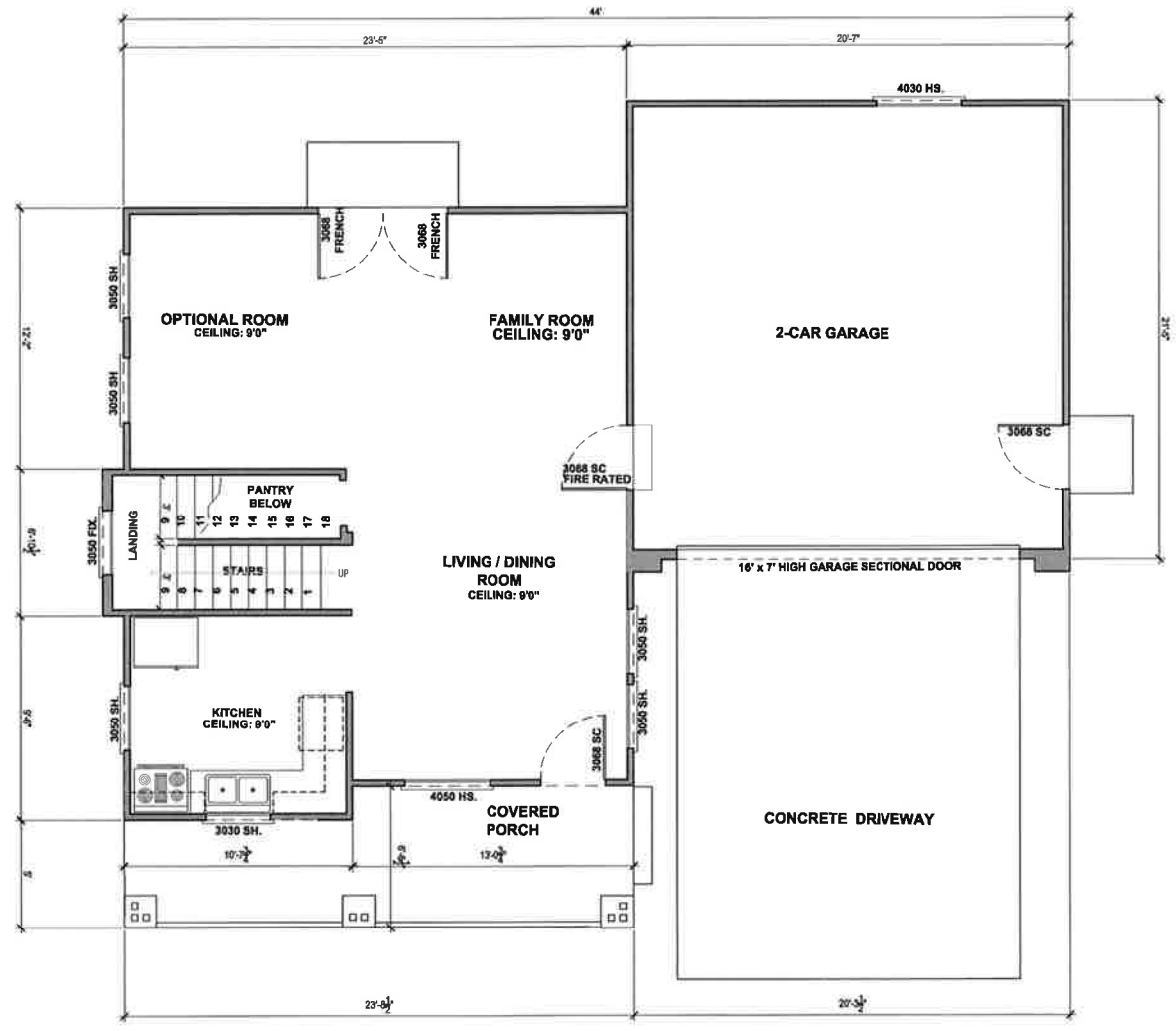
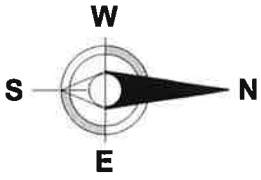
ROOF PLAN No 1

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
 CHECK BY:
 DATE: 01-17-19
 SCALE: AS SHOWN
 JOB NO.:

APN: 946-1686-003-01

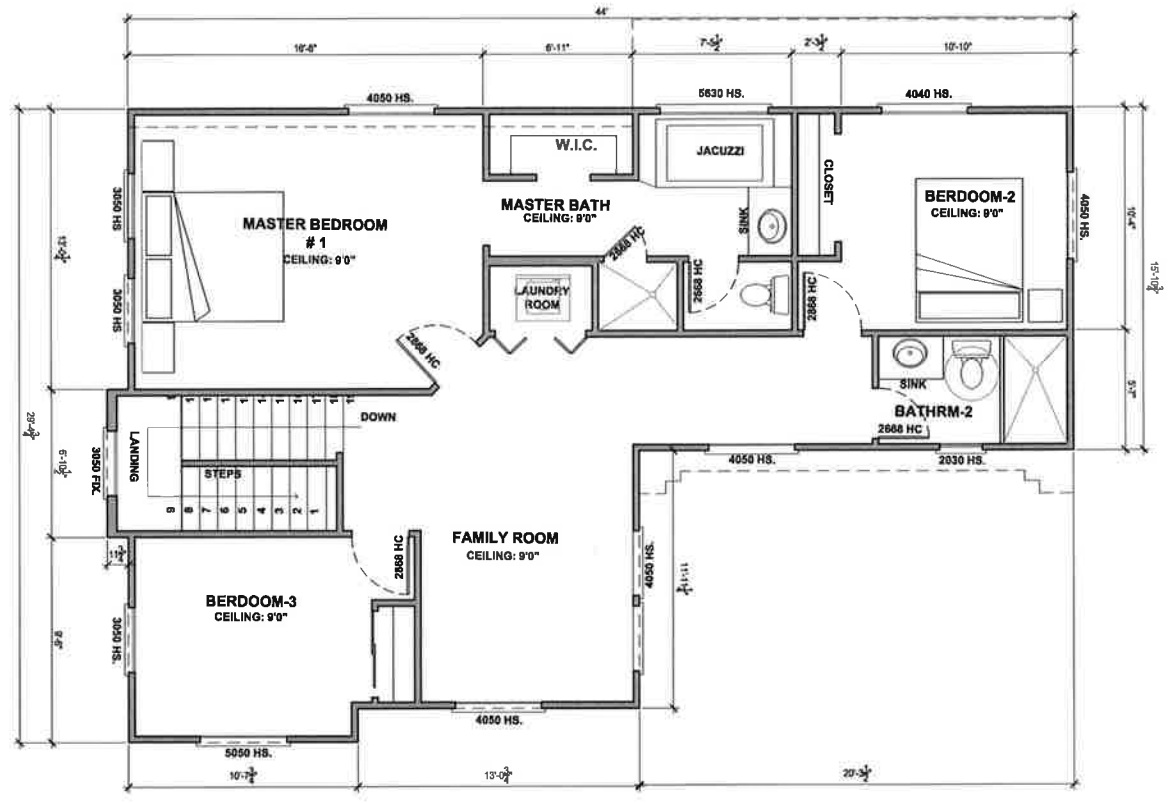
STYLE
 CRAFTSMAN
 A1.5



1 st. FLOOR PLAN

LIVING AREA = 664 SF
 GARAGE = 456 SF
 PORCH = 139 SF

SCALE: 1/4" = 1'-0"



2 nd. FLOOR PLAN

AREA : 1,006 SF

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy
 P.O. BOX 379 MODESTO CA. 95353
 (209) 462-1231

DATE: _____
 DRAWN BY: _____

BLDG # 2 -1 st. & 2 nd. FLOOR PLAN

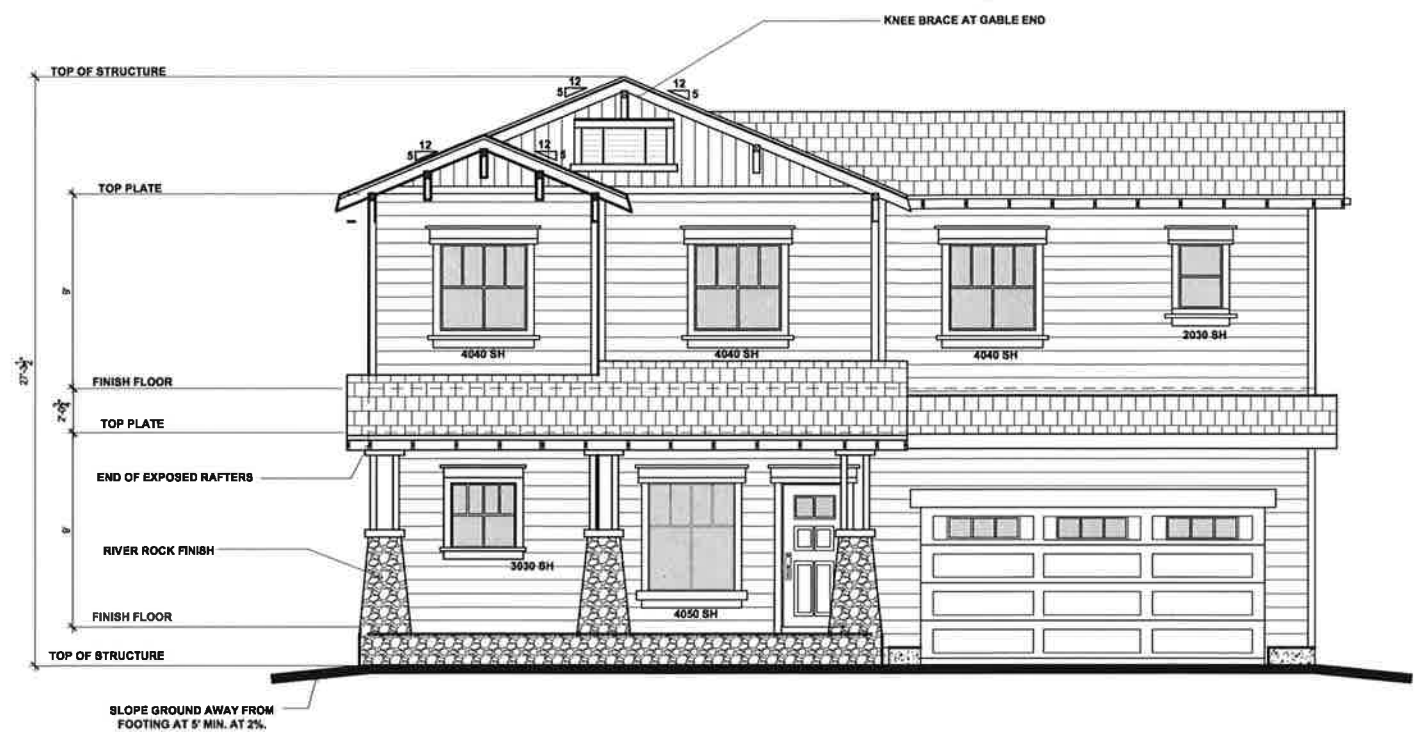
PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
 CHECK BY:
 DATE: 01-17-19
 SCALE: AS SHOWN
 JOB NO.:
 APN: 946-1888-003-01

1,670 SF
CRAFTSMAN
A2.0

REVISIONS	DATE

Ken McCoy
P.O. BOX 379 MODESTO CA, 95353
(209) 662-1231



EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATIONS HOUSE # 2

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
CHECK BY:
DATE: 01-17-19
SCALE: AS SHOWN
JOB NO.:
APN: 946-1866-003-01

STYLE:
**CRAFTSMAN
A2.1**



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy
P.O. BOX 379, MODESTO CA, 95333
(209) 662-1211

ELEVATIONS HOUSE # 2

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
3987 STANLEY BLVD PLEASANTON CA.

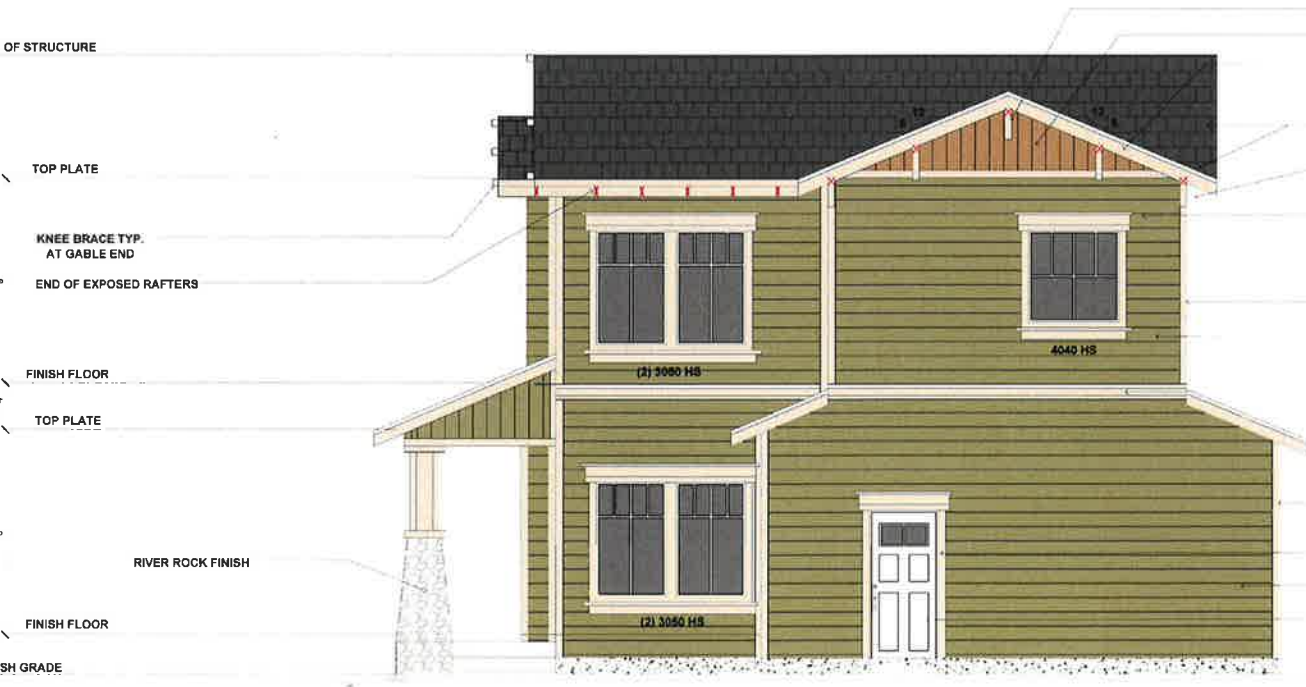
DRAWN BY: KMC
CHECK BY:
DATE: 01-17-19
SCALE: AS SHOWN
JOB NO.:
APN: 946-1886-003-01

STYLE:
**CRAFTSMAN
A2.2**



EAST ELEVATION

SCALE: 1/4" = 1'-0"








NORTH ELEVATION

SCALE: 1/4" = 1'-0"

- KNEE BRACE AT GABLE END
- ATTIC VENT WINDOW W/ WOOD TRIM
- 2"x8" BARGE RAFTERS
- ASPHALT COMPOSITION TILES PRESIDENT STYLE
- KNEE BRACE TYP AT GABLE END
- WINDOW WOOD TRIM TYP
- WOOD CORNER TRIM
- WOODEN WINDOW SILL TYP.
- 8" WIDE WOOD BELLEY BAND.
- FASCIA BOARD
- WOOD CORNER TRIM
- DOOR WOODEN TRIM TYP
- LAP WOOD EXTERIOR FINISH
- SOLID EXTERIOR DOOR

COLORS AND FINISHES		
1	ROOFING	PRESIDENT STYLE COMPOSITION SHINGLE
2	ROOF FASCIA	BEHR, ANTIQUE WHITE 23
3	BODY PAINT	BEHR, SUSTAINABLE S350-4
4	COLUMNS	BEHR, ANTIQUE WHITE-23
5	TRIMS	BEHR, ANTIQUE WHITE-23
6	GUTTERS	BEHR, ANTIQUE WHITE-23
7	DOWNSPOUTS	BEHR, SUSTAINABLE S350-4
8	STONE VENEER	BEHR, LIGHT YEAR N370-3
9	GABLE END	BEHR, ARTISAN CRAFTS-N250-4
10	WALK WAY	NATURAL CONCRETE COLOR

COLOR BOARD & FINISH

-  BEHR, LIGHTYEAR N370-3 (STONE VENEER)
-  BEHR,SUSTAINABLE S350-4 (HOUSE BODY)
-  PRESIDENT STYLE COMPOSITION SHINGLE TILE
-  BEHR, ANTIQUE WHITE (GARAGE DOOR & TRIMS)
-  BEHR, ARTISAN CRAFTS-N250-4

REVISIONS	DATE

DATE: _____

DRAWN BY: _____

CHECK BY: _____

DATE: _____

SCALE: AS SHOWN

JOB NO.: _____

APN: 946-1686-003-01

Ken McCoy
P.O. BOX 379, MODESTO CA 95353
(209) 462-1231

ELEVATIONS COLOR

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: _____

CHECK BY: _____

DATE: _____

SCALE: AS SHOWN

JOB NO.: _____

APN: 946-1686-003-01

CRAFTSMAN

A2.3








SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

COLORS AND FINISHES		
1	ROOFING	PRESIDENT STYLE COMPOSITION SHINGLE
2	ROOF FASCIA	BEHR, ANTIQUE WHITE 23
3	BODY PAINT	BEHR, SUSTAINABLE S350-4
4	COLUMNS	BEHR, ANTIQUE WHITE-23
5	TRIMS	BEHR, ANTIQUE WHITE-23
6	GUTTERS	BEHR, ANTIQUE WHITE-23
7	DOWNSPOUTS	BEHR, SUSTAINABLE S350-4
8	STONE VENEER	BEHR, LIGHT YEAR N370-3
9	GABLE END	BEHR, ARTISAN CRAFTS-N250-4
10	WALK WAY	NATURAL CONCRETE COLOR

COLOR BOARD & FINISH

-  BEHR, LIGHTYEAR N370-3 (STONE VENEER)
-  BEHR, SUSTAINABLE S350-4 (HOUSE BODY)
-  PRESIDENT STYLE COMPOSITION SHINGLE TILE
-  BEHR, ANTIQUE WHITE (GARAGE DOOR & TRIMS)
-  BEHR, ARTISAN CRAFTS-N250-4



WEST ELEVATION

SCALE: 1/4" = 1'-0"

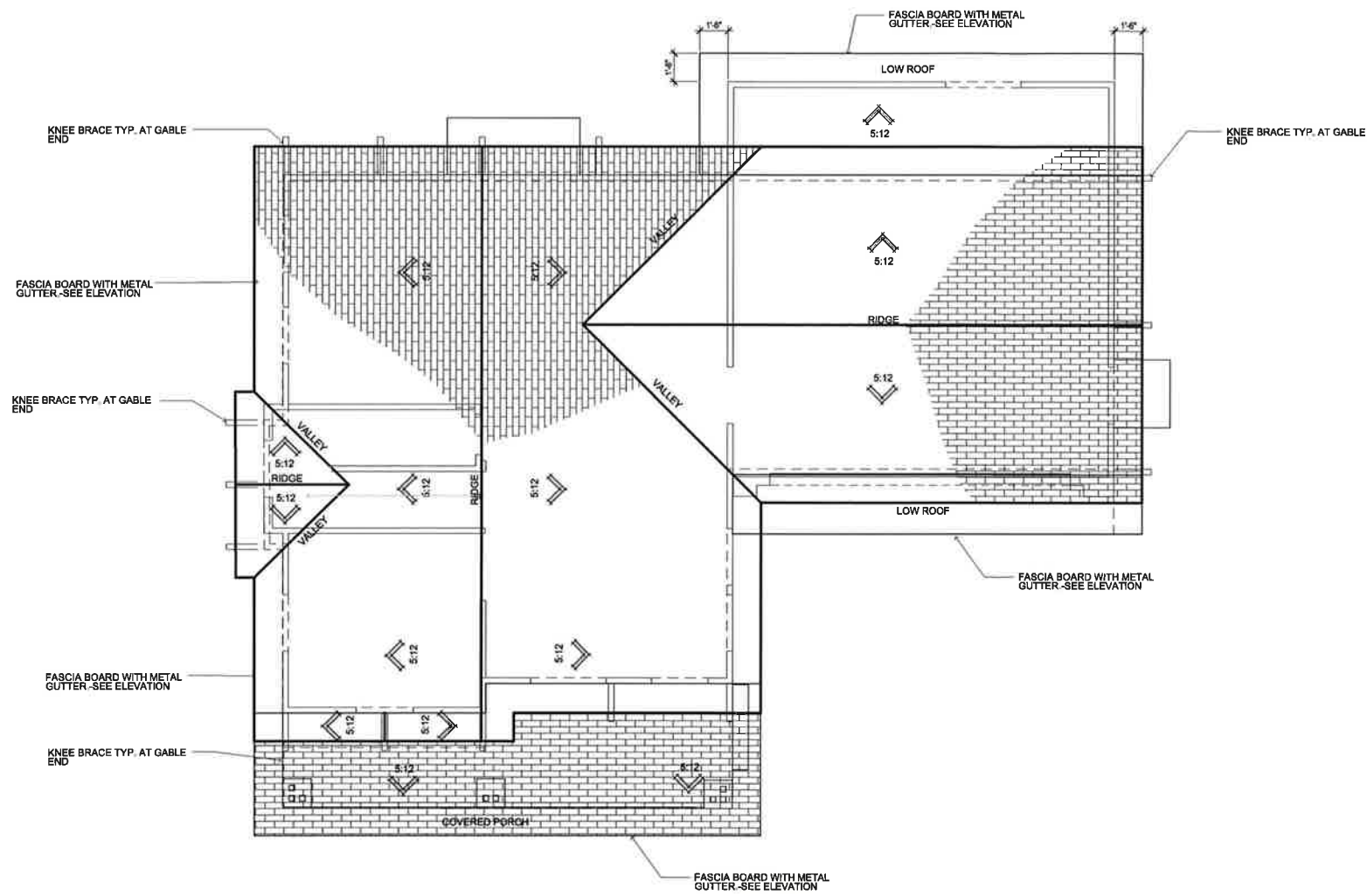
REVISIONS	DATE

Ken McCoy
P.O. BOX 379 MODESTO CA. 95353
(209) 662-1231

ELEVATIONS COLOR
PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY:
CHECK BY:
DATE:
SCALE: AS SHOWN
JOB NO.:
APN: 948-1886-003-01

CRAFTSMAN
A2.4



PRESIDENTIAL
STYLE COMPOSITION ROOF SHINGLE
ROOF MATERIAL

ROOF PLAN

UPPER ROOF AREA: 1,217 SF
 LOWER ROOF AREA: 417 SF
 TOTAL ROOF AREA: 1,634 SF

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

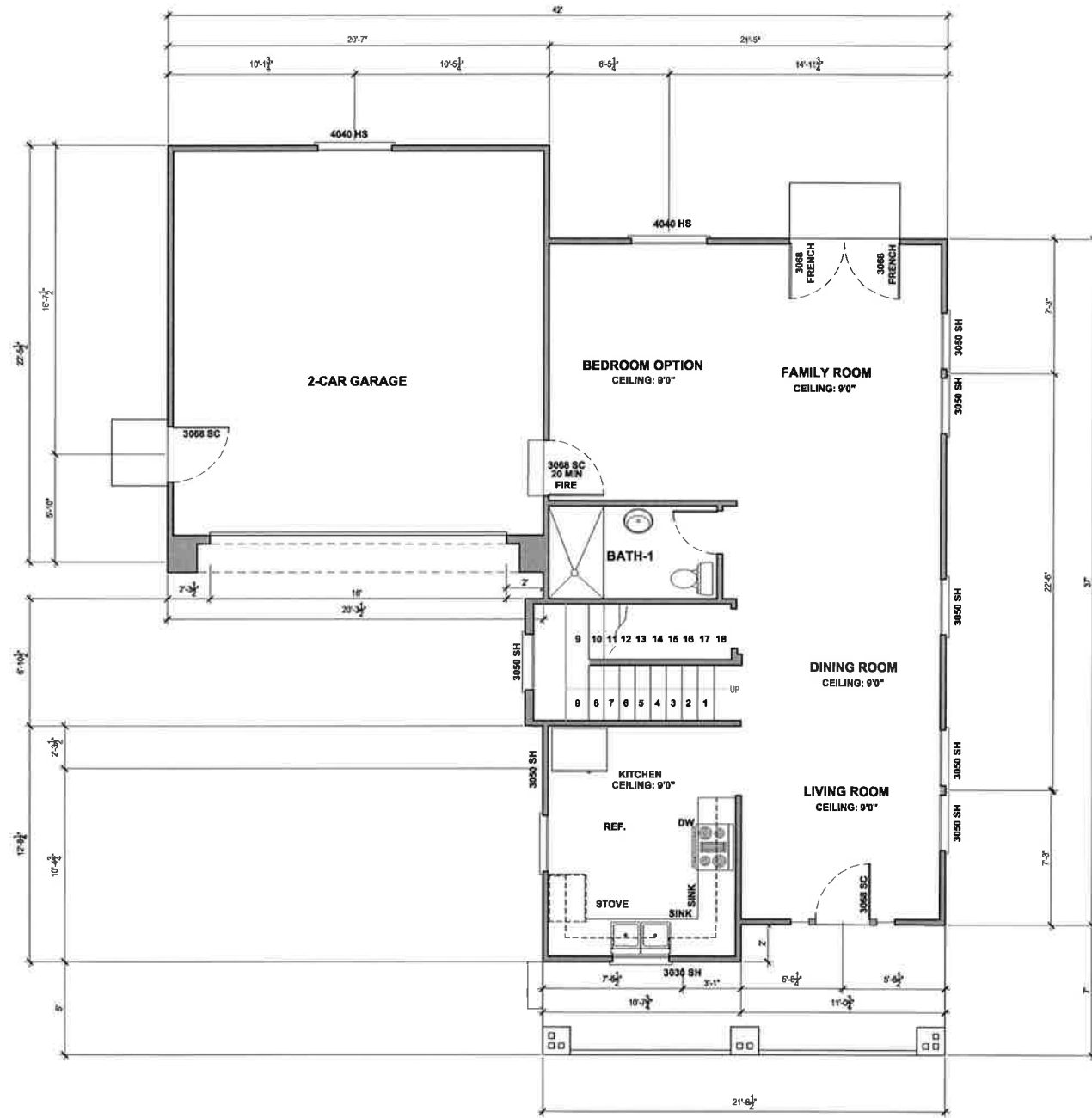
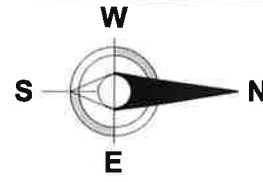
Ken McCoy
 P.O. BOX 379 MODesto CA. 95353
 (209) 662-1231

DATE: _____
 TYPED: _____

ROOF PLAN
 PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

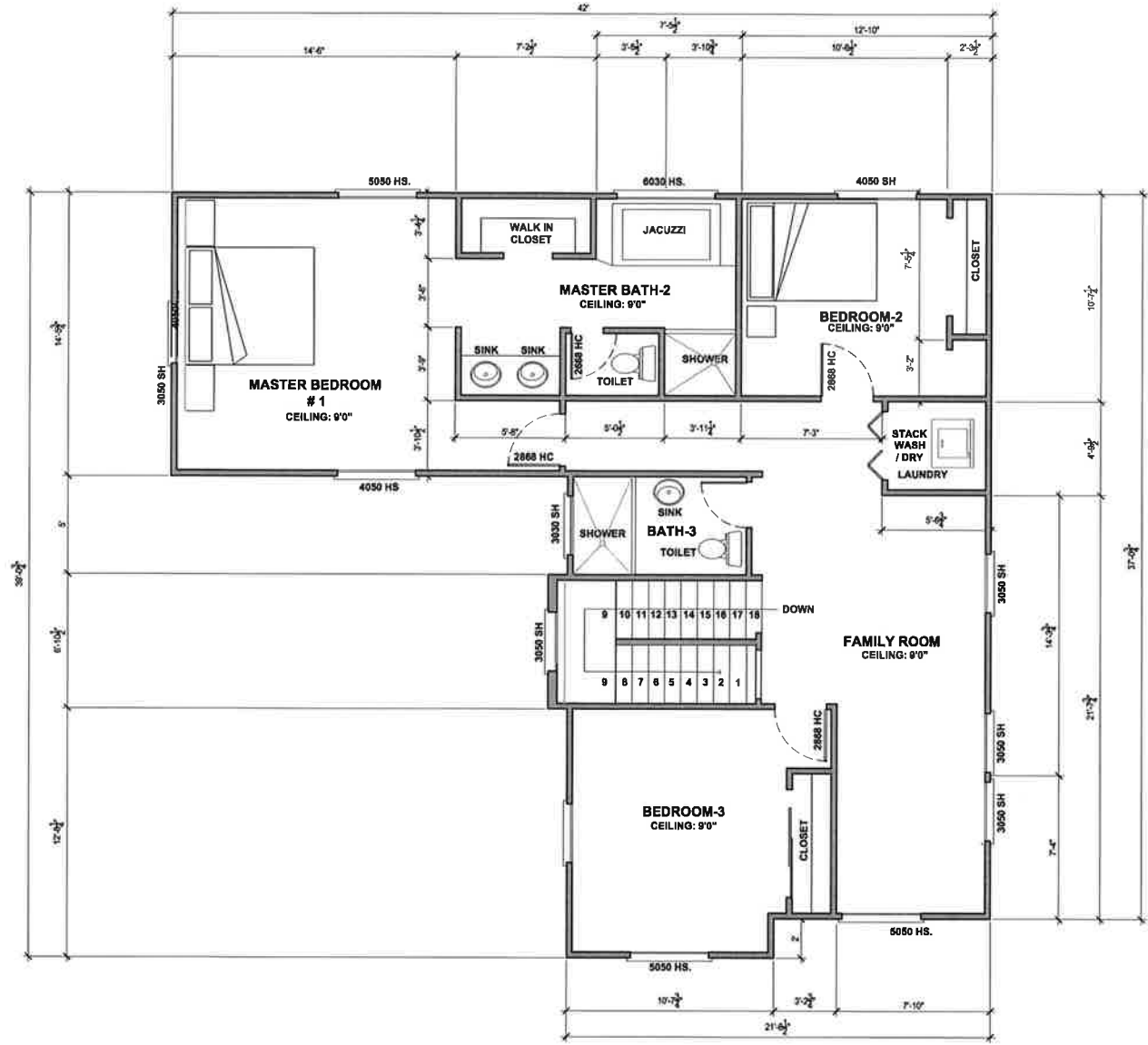
DRAWN BY: KMC
 CHECK BY:
 DATE: 01-17-19
 SCALE: AS SHOWN
 JOB NO:
 APN: 948-1888-003-01

STYLE CRAFTSMAN
A2.5



1 st. FLOOR PLAN

FLOOR LIVING AREA : 831 SF
 GARAGE : 466 SF
 PORCH : 131 SF
 SCALE: 1/4" = 1'-0"



2 nd. FLOOR PLAN

LIVING AREA : 1,126 SF
 SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy
 P.O. BOX 375, MODESTO CA, 95353
 (209) 662-1231
 DRAWN BY: _____ DATE: _____

BLDG # 3 - 1 st. & 2 nd. FLOOR PLAN
 PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
 CHECK BY:
 DATE: 01-17-19
 SCALE: AS SHOWN
 JOB NO.:
 APN: 946-1686-003-01

1,957 SF CRAFTSMAN
A3.0



EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy
 P.O. BOX 379, MODESTO, CA, 95353
 (209) 662-1231

ELEVATIONS HOUSE # 3

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON, CA.

DRAWN BY: KMG
 CHECK BY:
 DATE: 01-17-19
 SCALE: AS SHOWN
 JOB NO.:
 APN: 946-1886-003-01

STYLE:
CRAFTSMAN
A3.1



WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy
 P.O. BOX 379, MODesto, CA 95333
 (209) 662-1231
 DESIGNER

ELEVATIONS HOUSE # 3

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
 CHECK BY:
 DATE: 01-17-19
 SCALE: AS SHOWN
 JOB NO.:
 APN: 948-1688-003-01

STYLE:
CRAFTSMAN
A3.2

ASPHALT COMPOSITION TILES
PRESIDENT STYLE

KNEE BRACE TYP.
AT GABLE END

EXPOSED END OF RAFTERS
TYP

LAP WOOD EXTERIOR FINISH

1"x3" WINDOW TRIM

WINDOW SHUTTERS

GUTTER DOWN SPOUT

ROOF ABOVE GARAGE DOOR

LAP WOOD EXTERIOR FINISH

8" WIDE WOOD BAND

GARAGE SECTIONAL DOOR







EAST ELEVATION

SCALE: 1/4" = 1'-0"

COLOR BOARD & FINISH

COLORS AND FINISHES	
1	ROOFING ASPHALT COMPOSITION SHINGLES (PRESIDENT STYLE)
2	ROOF FASCIA BEHR, BALLERINA BEAUTY MQ3-08
3	BODY PAINT BEHR, LIGHT YEAR N370-3
4	COLUMNS BEHR, BALLERINA BEAUTY MQ3-08
5	TRIMS BEHR, BALLERINA BEAUTY MQ3-08
6	GUTTERS BEHR, BALLERINA BEAUTY MQ3-08
7	DOWNSPOUTS BEHR, BALLERINA BEAUTY MQ3-08
8	WALKWAY NATURAL CONCRETE
9	GABLE END BEHR, MAUVETTE PPU17-10

COLORS

-  BEHR, MAUVETTE PPU17-10 (GABLE END, DOORS, GARAGE DOOR, SHUTTERS)
-  BEHR, LIGHT YEAR N370-3 (HOUSE BODY)
-  ASPHALT COMPOSITION SHINGLE (PRESIDENT, STYLE (ROOF))-SEE ROOF PLAN
-  BEHR, BALLERINA BEAUTY MQ3-08 (GARAGE DOOR, POST & TRIMS)

ASPHALT COMPOSITION TILES
PRESIDENT STYLE

LAP WOOD EXTERIOR FINISH

1"x3" WINDOW TRIM



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy
P.O. BOX 379, MODESTO, CA 95353
(209) 663-1231

TECHNER

ELEVATIONS HOUSE # 3 (COLOR)

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
3987 STANLEY BLVD PLEASANTON, CA

DRAWN BY:
CHECK BY:
DATE:
SCALE: AS SHOWN
JOB NO.:
APN: 946-1586-003-01

STYLE:
CRAFTSMAN
A3.3

ASPHALT COMPOSITION TILES
PRESIDENT STYLE

KNEE BRACE TYP.
AT GABLE END

TOP PLATE

LAP WOOD EXTERIOR FINISH

1"x3" WINDOW TRIM

FINISH FLOOR

TOP PLATE

ROOF DOWN SPOUT

1"x3" WINDOW TRIM

FINISH FLOOR

CONCRETE LANDING







WEST ELEVATION

SCALE: 1/4" = 1'-0"

COLOR BOARD & FINISH

COLORS AND FINISHES	
1	ROOFING ASPHALT COMPOSITION SHINGLES (PRESIDENT STYLE)
2	ROOF FASCIA BEHR, BALLERINA BEAUTY MQ3-08
3	BODY PAINT BEHR, LIGHT YEAR N370-3
4	COLUMNS BEHR, BALLERINA BEAUTY MQ3-08
5	TRIMS BEHR, BALLERINA BEAUTY MQ3-08
6	GUTTERS BEHR, BALLERINA BEAUTY MQ3-08
7	DOWNSPOUTS BEHR, BALLERINA BEAUTY MQ3-08
8	WALKWAY NATURAL CONCRETE
9	GABLE END BEHR, MAUVETTE PPU17-10

COLORS

-  BEHR, MAUVETTE PPU17-10 (GABLE END, DOORS, GARAGE DOOR, SHUTTERS)
-  BEHR, LIGHT YEAR N370-3 (HOUSE BODY)
-  ASPHALT COMPOSITION SHINGLE (PRESIDENT, STYLE (ROOF))--SEE ROOF PLAN
-  BEHR, BALLERINA BEAUTY MQ3-08 (GARAGE DOOR, POST & TRIMS)

ASPHALT COMPOSITION TILES
PRESIDENT STYLE

KNEE BRACE TYP.
AT GABLE END

TOP PLATE

LAP WOOD EXTERIOR FINISH

FINISH FLOOR

TOP PLATE

LAP WOOD EXTERIOR FINISH

FINISH FLOOR



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

Ken McCoy
P.O. BOX 379, MODESTO, CA. 95353
(209) 462-1231

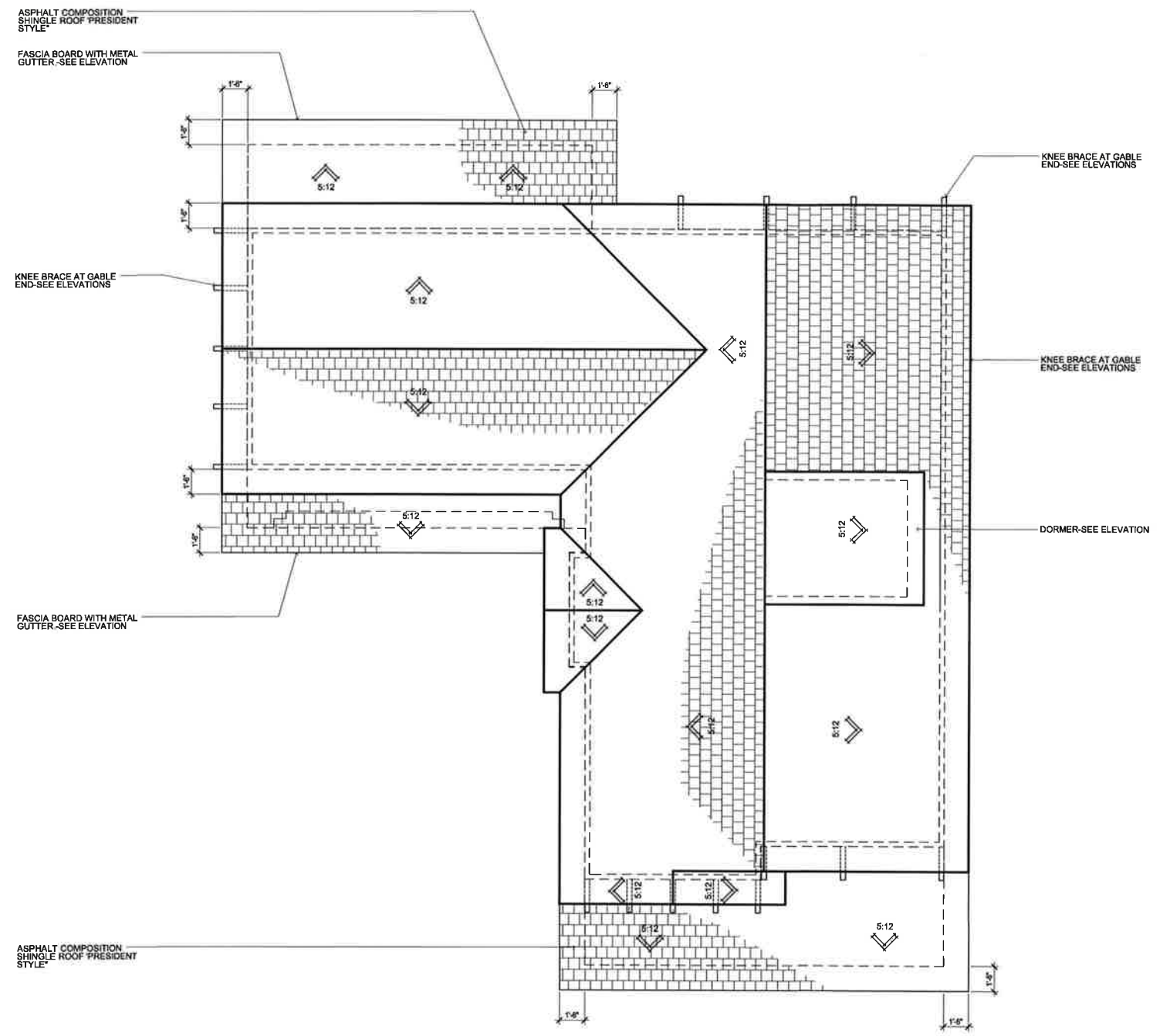
ELEVATIONS HOUSE # 3 (COLOR)

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
3987 STANLEY BLVD PLEASANTON, CA.

DRAWN BY:
CHECK BY:
DATE:
SCALE: AS SHOWN
JOB NO.:

APN: 948-1866-003-01

STYLE:
**CRAFTSMAN
A3.4**



ASPHALT COMPOSITION
CLASS C SHINGLES "PRESIDENT STYLE"
ROOF
ROOF COLOR & MATERIAL

ROOF PLAN
 UPPER ROOF AREA: 1,381 SF
 LOWER ROOF AREA: 451 SF
 TOTAL ROOF AREA: 1,832 SF
 SCALE: 1/4" = 1'-0"

REVISIONS	DATE

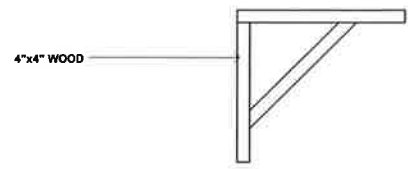
Ken McCoy
 P.O. BOX 379, MODESTO CA, 95353
 (209) 662-1231
 DRAWN BY: _____ DATE: _____

ROOF PLAN HOUSE No 3

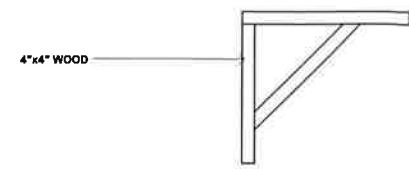
PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
 CHECK BY:
 DATE: 01-17-19
 SCALE: AS SHOWN
 JOB NO.:
 APN: 946-1666-003-01

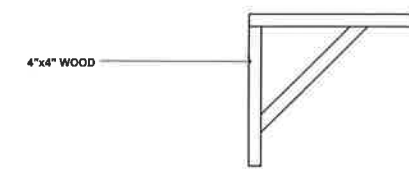
STYLE
CRAFTSMAN
A3.5



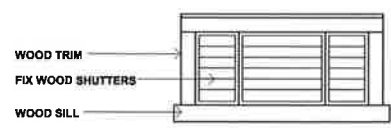
KNEE BRACE AT GABLE END



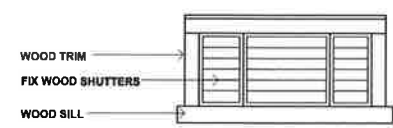
KNEE BRACE AT GABLE END



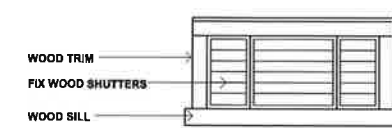
KNEE BRACE AT GABLE END



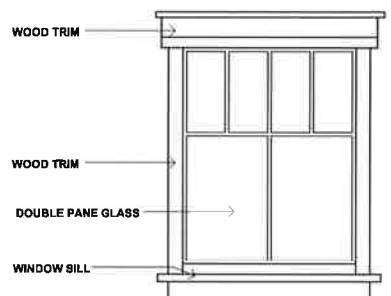
ATTIC OPENING AT GABLE END



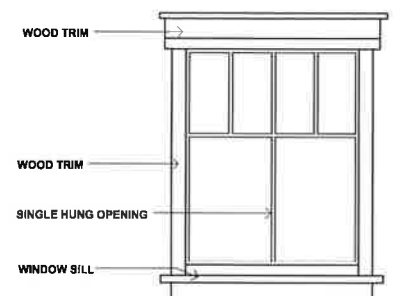
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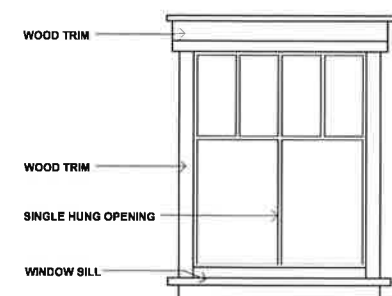
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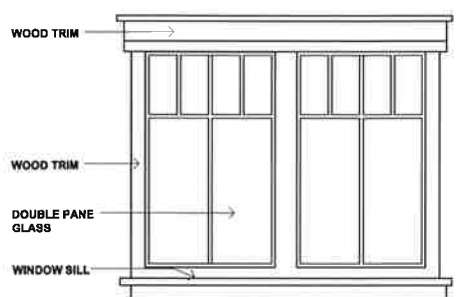
TYPICAL SINGLE HUNG WINDOW



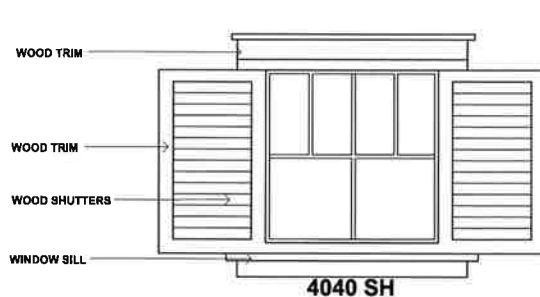
TYPICAL SINGLE HUNG WINDOW



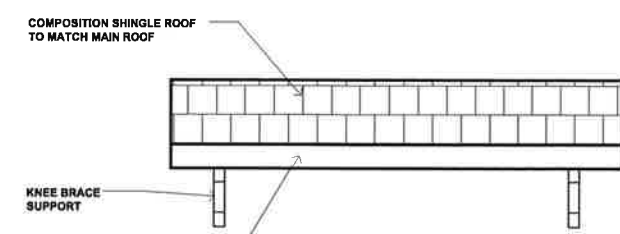
TYPICAL SINGLE HUNG WINDOW



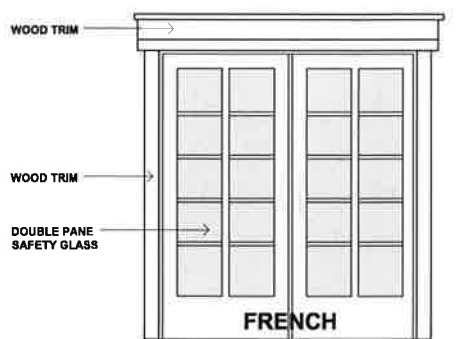
DOUBLE SINGLE HUNG WINDOW



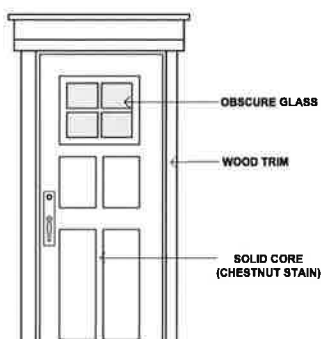
WINDOW WITH SHUTTERS



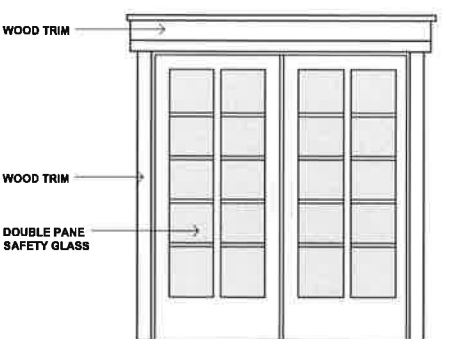
TYP AWNING AT ALL REAR DOORS



REAR DOOR



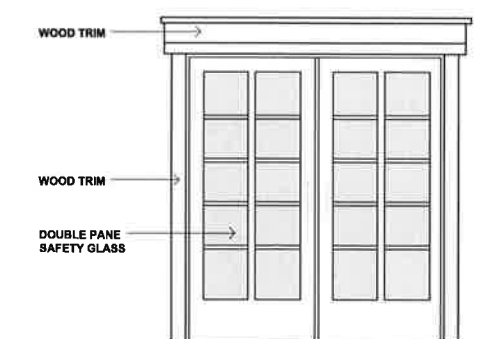
HERITAGE CRAFTSMAN FRONT DOOR



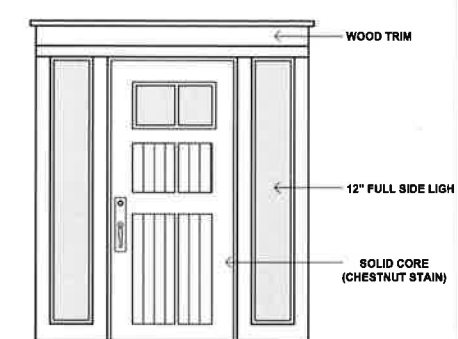
FRENCH REAR DOOR



HERITAGE CRAFTSMAN FRONT DOOR



FRENCH REAR DOOR



CRAFTSMAN COLLECTION FRONT DOOR

HOUSE No. 1

SCALE: 1/2" = 1'-0"

HOUSE No. 2

SCALE: 1/2" = 1'-0"

HOUSE No. 3

SCALE: 1/2" = 1'-0"

REVISIONS	DATE

Ken McCoy
P.O. BOX 379 MODesto CA 95353
(209) 662-1231

ARCHITECTURAL TYP. DETAIL
PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
CHECK BY:
DATE: 01-17-19
SCALE: AS SHOWN
JOB NO.:
APN: 946-1688-003-01

STYLE:
CRAFTSMAN
A4.0



NO.	DESCRIPTIONS	DATE	APPROVED
1	REVISED ELEVATION DATUM	AUG.17	

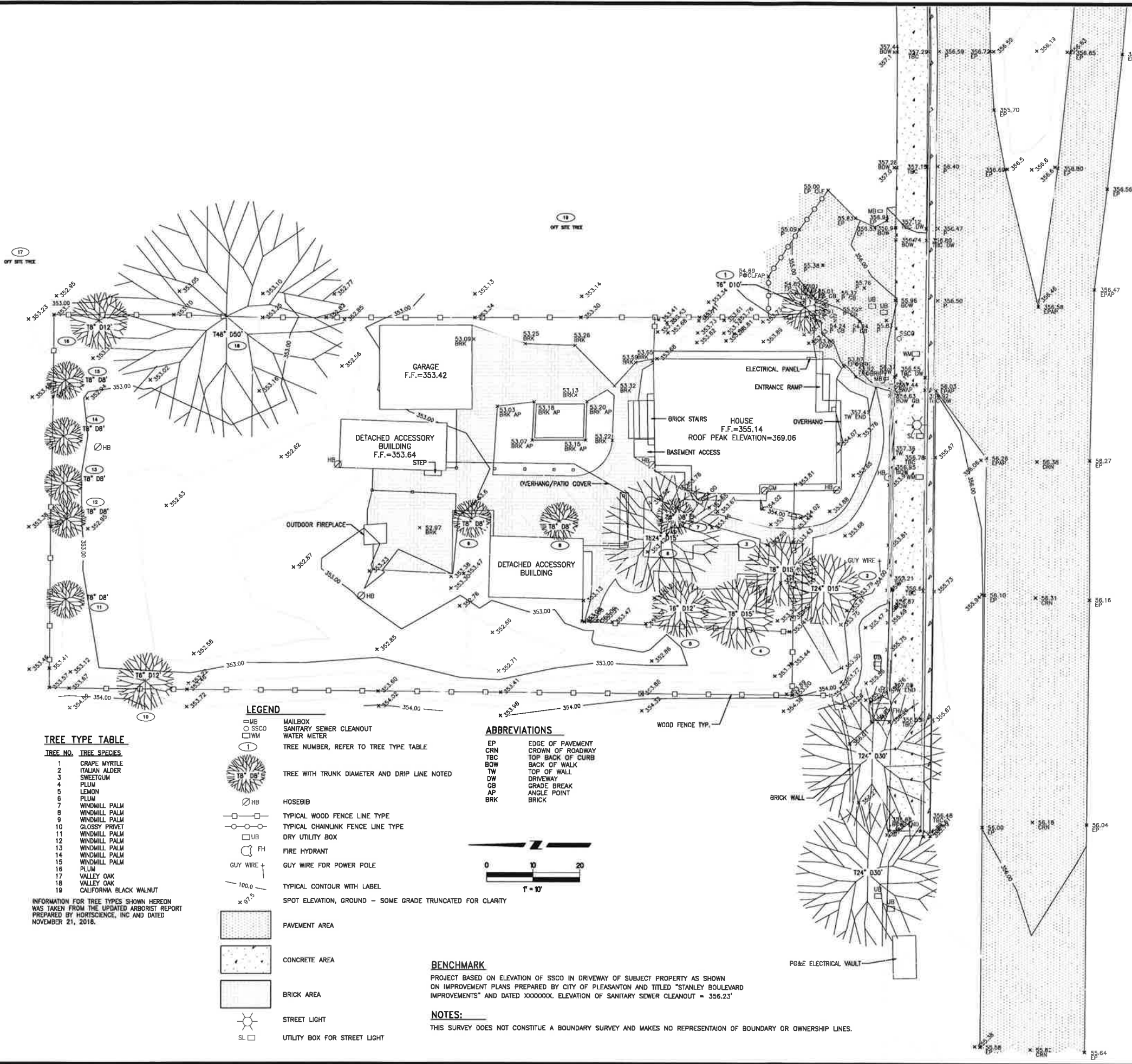
PACIFIC LAND SURVEYS
 1121 Oakdale Rd., Suite 3 Modesto, CA 95355
 209.678.7662 www.pacsurv.com

TOPOGRAPHY PLAN

ALAMEDA COUNTY APN: 946-1686-3-1
 3987 STANLEY BOULEVARD, PLEASANTON, CA 94566

JOB NO. 15-031
 DATE NOV 30, 2018
 DR BY T.PRICE
 CK BY _____
 SCALE AS NOTED

SHEET NUMBER
1
 OF 1 SHEETS



TREE TYPE TABLE

TREE NO.	TREE SPECIES
1	CRAPE MYRTLE
2	ITALIAN ALDER
3	SWEETGUM
4	PLUM
5	LEMON
6	PLUM
7	WINDMILL PALM
8	WINDMILL PALM
9	WINDMILL PALM
10	GLOSSY PRIVET
11	WINDMILL PALM
12	WINDMILL PALM
13	WINDMILL PALM
14	WINDMILL PALM
15	WINDMILL PALM
16	PLUM
17	VALLEY OAK
18	VALLEY OAK
19	CALIFORNIA BLACK WALNUT

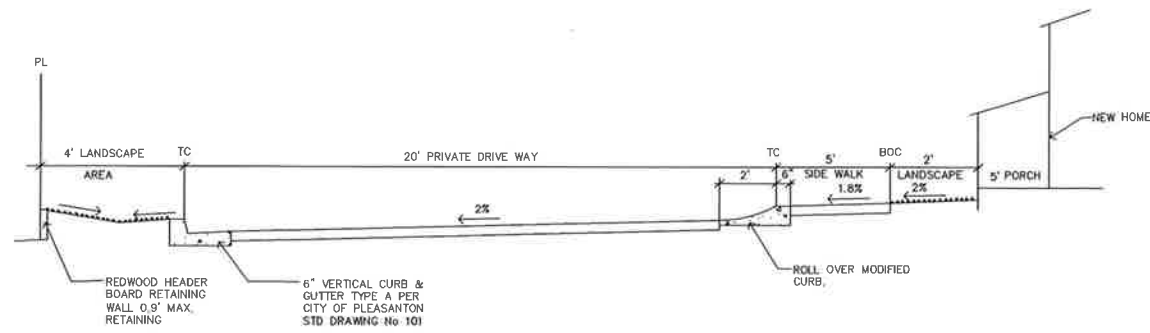
- LEGEND**
- MB MAILBOX
 - SSCO SANITARY SEWER CLEANOUT
 - WM WATER METER
 - (1) TREE NUMBER, REFER TO TREE TYPE TABLE
 - (18" DB" S) TREE WITH TRUNK DIAMETER AND DRIP LINE NOTED
 - HB HOSEBIB
 - TYPICAL WOOD FENCE LINE TYPE
 - TYPICAL CHAINLINK FENCE LINE TYPE
 - DRY UTILITY BOX
 - FH FIRE HYDRANT
 - ↑ GUY WIRE FOR POWER POLE
 - 100.0 TYPICAL CONTOUR WITH LABEL
 - x 91.5 SPOT ELEVATION, GROUND - SOME GRADE TRUNCATED FOR CLARITY
 - PAVEMENT AREA
 - CONCRETE AREA
 - BRICK AREA
 - SL STREET LIGHT
 - UTILITY BOX FOR STREET LIGHT

- ABBREVIATIONS**
- EP EDGE OF PAVEMENT
 - CRN CROWN OF ROADWAY
 - TBC TOP BACK OF CURB
 - BOW BACK OF WALK
 - TW TOP OF WALL
 - DW DRIVEWAY
 - GB GRADE BREAK
 - AP ANGLE POINT
 - BRK BRICK

BENCHMARK
 PROJECT BASED ON ELEVATION OF SSCO IN DRIVEWAY OF SUBJECT PROPERTY AS SHOWN ON IMPROVEMENT PLANS PREPARED BY CITY OF PLEASANTON AND TITLED "STANLEY BOULEVARD IMPROVEMENTS" AND DATED XXXXXX. ELEVATION OF SANITARY SEWER CLEANOUT = 356.23'

NOTES:
 THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY AND MAKES NO REPRESENTATION OF BOUNDARY OR OWNERSHIP LINES.

INFORMATION FOR TREE TYPES SHOWN HEREON WAS TAKEN FROM THE UPDATED ARBORIST REPORT PREPARED BY HORTISCIENCE, INC AND DATED NOVEMBER 21, 2018.

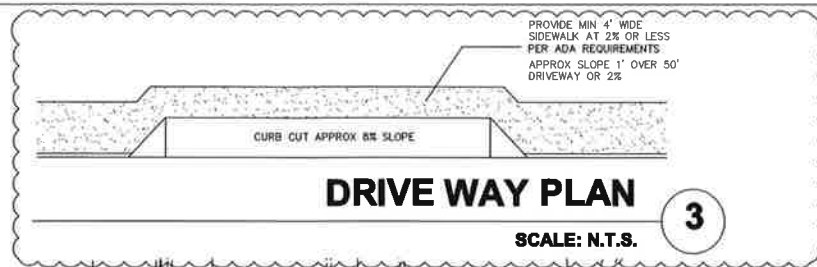


DRIVE WAY TYP. CROSS SECTION 1
SCALE: 1" = 3'

NOTE:
ANY SEPTIC AND WELL LOCATED ON-SITE SHALL BE ABANDONED PER ALAMEDA COUNTY HEALTH DEPARTMENT STANDARDS AND SPECIFICATIONS.

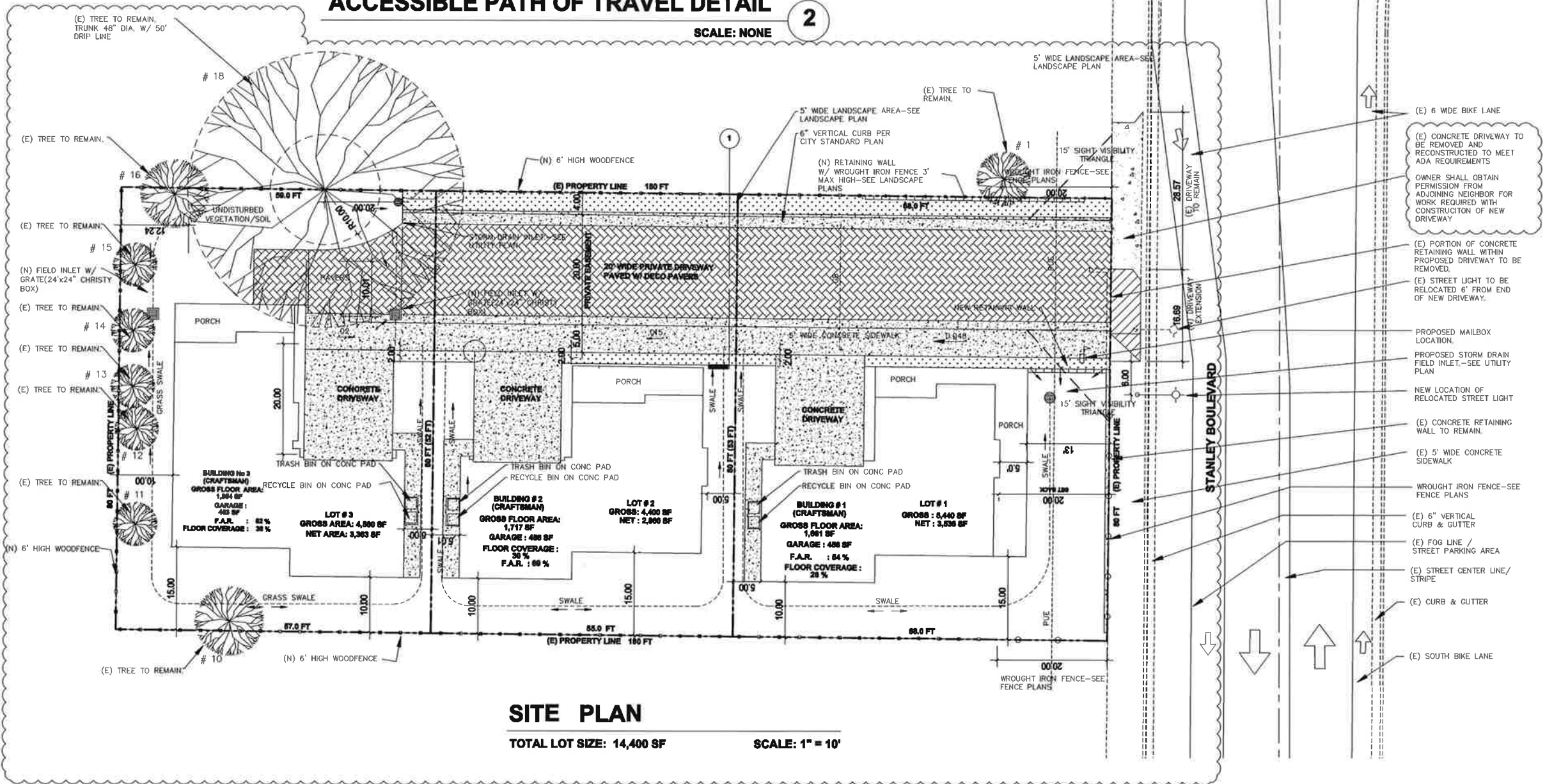
SITE ANALYSIS:

6" VERT. CURB & GUTTER:	274 SF
DRIVE OVER CURB:	258 SF
PAVERS DRIVE WAY:	2112 SF
5' WIDE SIDEWALK:	645 SF
GRAVEL DRIVEWAY:	411 SF
PAVER WALKWAY:	98 SF
GARAGE DRIVEWAY:	960 SF
LANDSCAPE AREA:	5,825 SF
TOTAL PERVIOUS AREA:	5,825 SF
TOTAL IMPERVIOUS AREA:	4,180 SF



DRIVE WAY PLAN 3
SCALE: N.T.S.

ACCESSIBLE PATH OF TRAVEL DETAIL 2
SCALE: NONE



SITE PLAN
TOTAL LOT SIZE: 14,400 SF SCALE: 1" = 10'

(E) CONCRETE DRIVEWAY TO BE REMOVED AND RECONSTRUCTED TO MEET ADA REQUIREMENTS
OWNER SHALL OBTAIN PERMISSION FROM ADJOINING NEIGHBOR FOR WORK REQUIRED WITH CONSTRUCTION OF NEW DRIVEWAY

(E) PORTION OF CONCRETE RETAINING WALL WITHIN PROPOSED DRIVEWAY TO BE REMOVED
(E) STREET LIGHT TO BE RELOCATED 6' FROM END OF NEW DRIVEWAY.

PROPOSED MAILBOX LOCATION
PROPOSED STORM DRAIN FIELD INLET-SEE UTILITY PLAN

NEW LOCATION OF RELOCATED STREET LIGHT
(E) CONCRETE RETAINING WALL TO REMAIN

(E) 5' WIDE CONCRETE SIDEWALK
WROUGHT IRON FENCE-SEE FENCE PLANS

(E) 6" VERTICAL CURB & GUTTER
(E) FOG LINE / STREET PARKING AREA

(E) STREET CENTER LINE/ STRIPE
(E) CURB & GUTTER

(E) SOUTH BIKE LANE

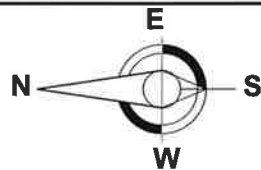
REVISIONS	DATE

KEN MCCOY
PO BOX 379 MODESTO CA, 95353
(209) 662-1231

SITE PLAN
PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
3897 STANLEY BLVD PLEASANTON, CA

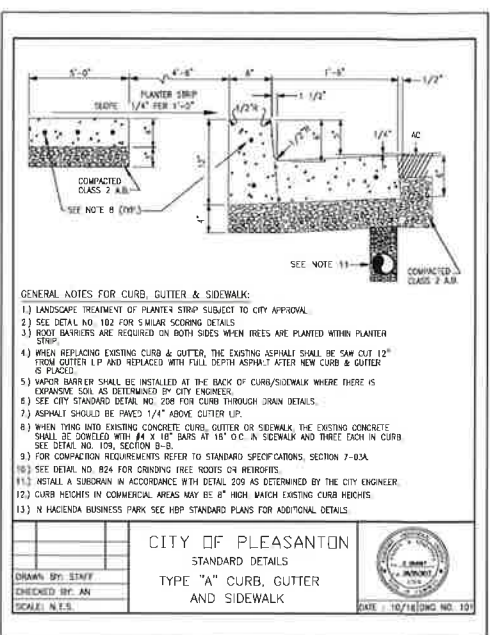
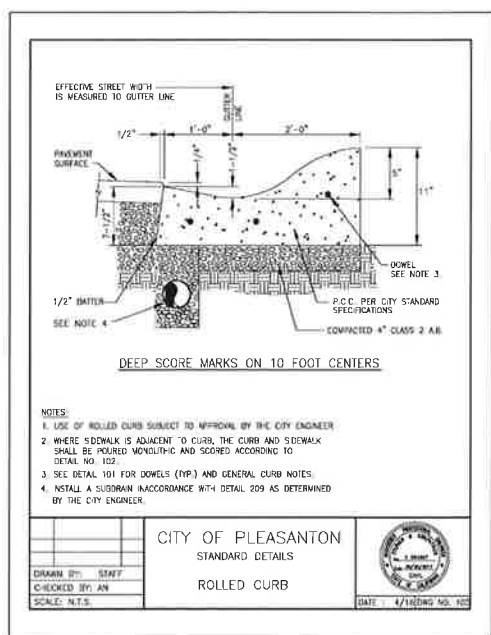
DRAWN BY: KMC
CHECK BY:
DATE: 07-02-19
SCALE: AS SHOWN
JOB NO:
APN: 946-1686-003-01

C-1

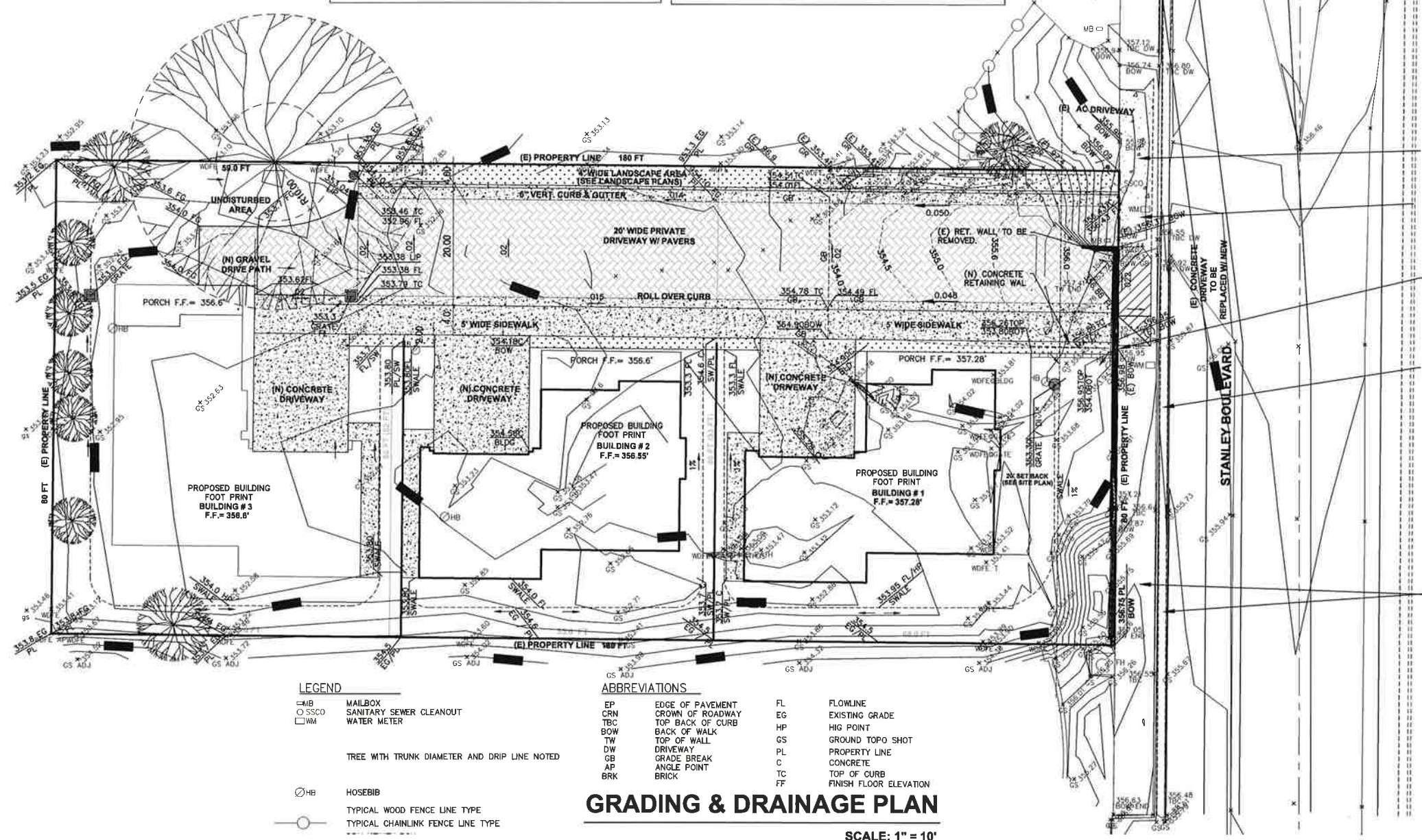


LEGEND:

- CONCRETE AREA
- LANDSCAPE AREA—SEE LANDSCAPE PLANS.
- GRAVEL AREA



RETAINING WALL DETAIL



- LEGEND**
- MB MAILBOX
 - SSCO SANITARY SEWER CLEANOUT
 - WM WATER METER
 - HB HOSEBIB
 - TYPICAL WOOD FENCE LINE TYPE
 - TYPICAL CHAINLINK FENCE LINE TYPE

- ABBREVIATIONS**
- | | | | |
|-----|------------------|----|------------------------|
| EP | EDGE OF PAVEMENT | FL | FLOWLINE |
| CRN | CROWN OF ROADWAY | EG | EXISTING GRADE |
| TBC | TOP BACK OF CURB | HP | HIG POINT |
| BOW | BACK OF WALK | GS | GROUND TOPO SHOT |
| TH | TOP OF WALL | PL | PROPERTY LINE |
| DW | DRIVEWAY | C | CONCRETE |
| GB | GRADE BREAK | TC | TOP OF CURB |
| AP | ANGLE POINT | FF | FINISH FLOOR ELEVATION |
| BRK | BRICK | | |

GRADING & DRAINAGE PLAN

SCALE: 1" = 10'

(E) CONCRETE DRIVEWAY TO REMAIN.
EARTH WORK
CUT 0 CY
FILL 5 CY

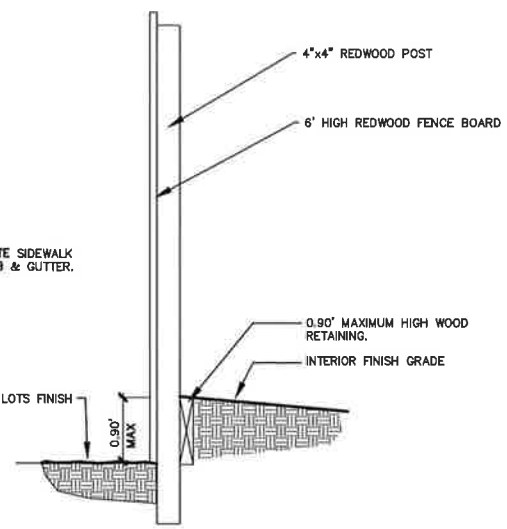
(E) 12' PORTION OF DRIVEWAY TO BE REMOVED AND REPLACED W/ NEW 20' WIDE DRIVEWAY PER CITY STAND PLAN

(E) RETAINING WALL TO REMAIN UP TO NEW SIDEWALK. REMAINING PORTION OF WALL WITHIN NEW DRIVEWAY TO BE REMOVED.

(E) 6" VERTICAL CURB & GUTTER.

(E) CONCRETE SIDEWALK VERT. CURB & GUTTER.

ADJACENT LOTS FINISH GRADE

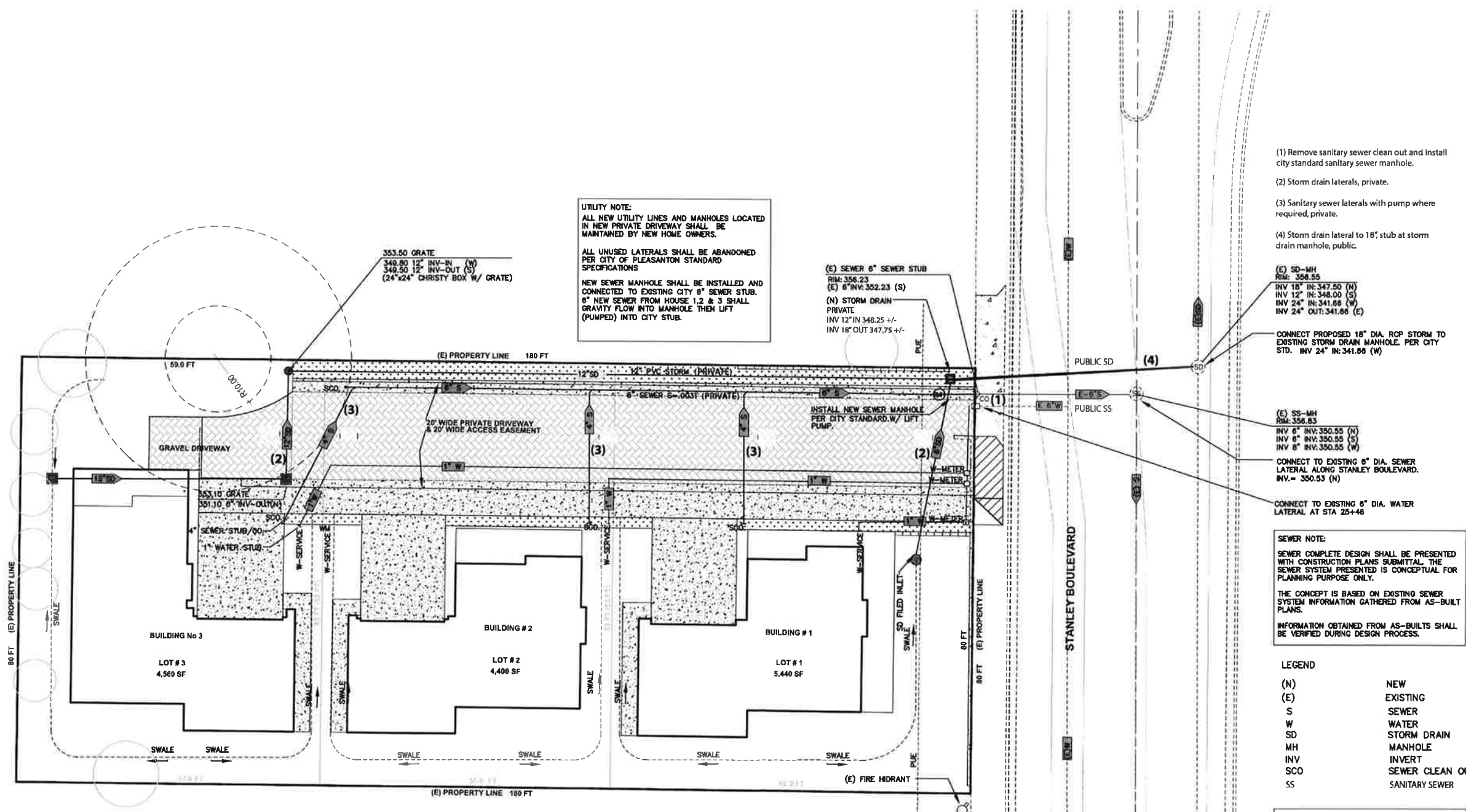
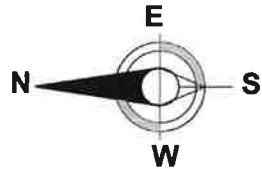


REVISIONS	DATE

Ken McCoy
P.O. BOX 379 MODESTO CA, 95353
(209) 562-1231

GRADING & DRAINAGE PLAN
PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
CHECK BY:
DATE: 01-17-19
SCALE: AS SHOWN
JOB NO.:
APN: 946-1886-003-01



UTILITY NOTE:
 ALL NEW UTILITY LINES AND MANHOLES LOCATED IN NEW PRIVATE DRIVEWAY SHALL BE MAINTAINED BY NEW HOME OWNERS.
 ALL UNUSED LATERALS SHALL BE ABANDONED PER CITY OF PLEASANTON STANDARD SPECIFICATIONS
 NEW SEWER MANHOLE SHALL BE INSTALLED AND CONNECTED TO EXISTING CITY 6" SEWER STUB.
 6" NEW SEWER FROM HOUSE 1, 2 & 3 SHALL GRAVITY FLOW INTO MANHOLE THEN LIFT (PUMPED) INTO CITY STUB.

- (1) Remove sanitary sewer clean out and install city standard sanitary sewer manhole.
- (2) Storm drain laterals, private.
- (3) Sanitary sewer laterals with pump where required, private.
- (4) Storm drain lateral to 18" stub at storm drain manhole, public.

- (E) SD-MH
 RIM: 356.55
 INV 18" IN: 347.50 (N)
 INV 12" IN: 348.00 (S)
 INV 24" IN: 341.66 (W)
 INV 24" OUT: 341.66 (E)
- CONNECT PROPOSED 18" DIA. RCP STORM TO EXISTING STORM DRAIN MANHOLE PER CITY STD. INV 24" IN: 341.66 (W)
- (E) SS-MH
 RIM: 356.63
 INV 6" IN: 350.55 (N)
 INV 6" IN: 350.55 (S)
 INV 6" IN: 350.55 (W)
- CONNECT TO EXISTING 6" DIA. SEWER LATERAL ALONG STANLEY BOULEVARD. INV. = 350.53 (N)
- CONNECT TO EXISTING 6" DIA. WATER LATERAL AT STA 25+46

SEWER NOTE:
 SEWER COMPLETE DESIGN SHALL BE PRESENTED WITH CONSTRUCTION PLANS SUBMITTAL. THE SEWER SYSTEM PRESENTED IS CONCEPTUAL FOR PLANNING PURPOSE ONLY.
 THE CONCEPT IS BASED ON EXISTING SEWER SYSTEM INFORMATION GATHERED FROM AS-BUILT PLANS.
 INFORMATION OBTAINED FROM AS-BUILTS SHALL BE VERIFIED DURING DESIGN PROCESS.

LEGEND

(N)	NEW
(E)	EXISTING
S	SEWER
W	WATER
SD	STORM DRAIN
MH	MANHOLE
INV	INVERT
SCO	SEWER CLEAN OUT
SS	SANITARY SEWER

WATER NOTE:
 ALL NEW HOUSE MUST BE PROVIDED WITH SEPARATE WATER METER. ALL EXISTING WATER LATERAL NOT USED SHALL BE ABANDONED PER CITY STANDARD. ALL NEW WATER METERS MUST BE INSTALLED WITHIN PUE (BACK OF SIDEWALK)
 PROVIDE LANDSCAPE IRRIGATION SERVICE W/ BACK-FLOW PREVENTION DEVICE PER CITY STANDARD.

UTILITY PLAN SCALE: 1" = 10'

REVISIONS	DATE

Ken McCoy
 P.O. BOX 179, MODESTO CA 95353
 (209) 662-1231

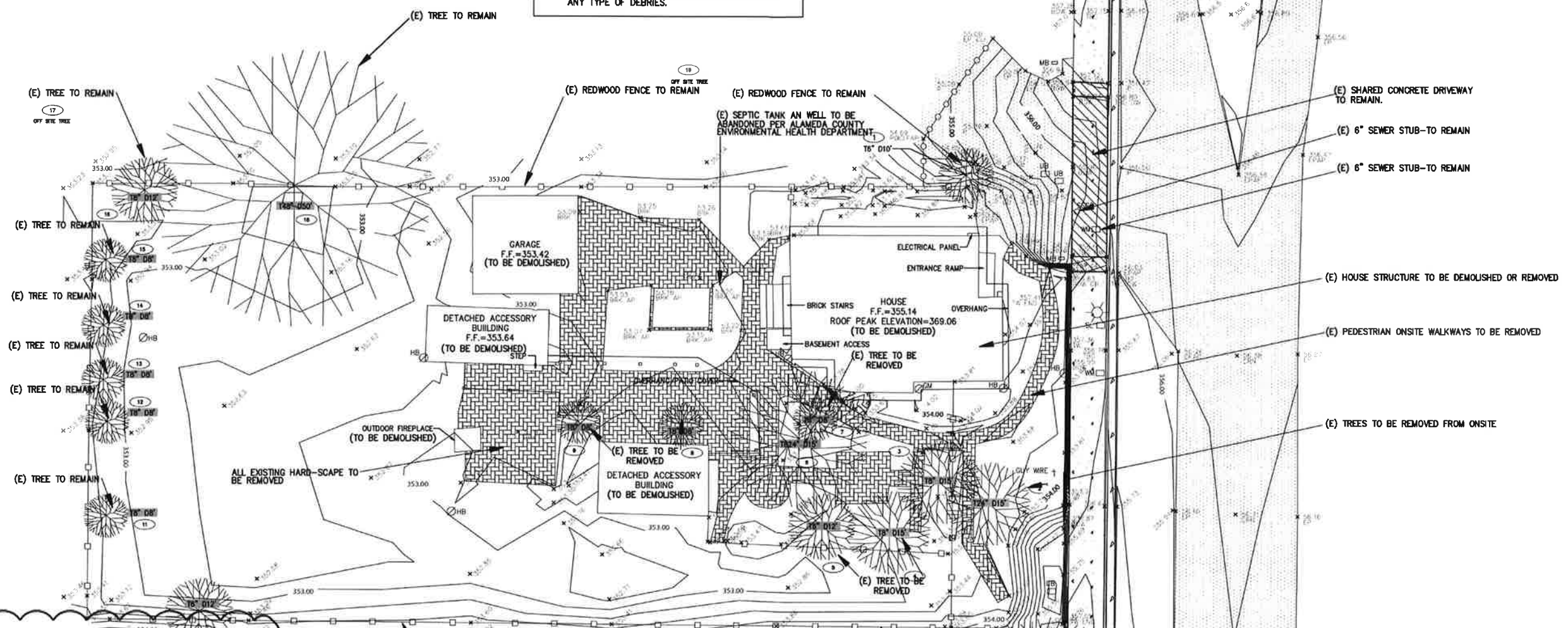
UTILITY PLAN

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
 CHECK BY:
 DATE: 01-17-10
 SCALE: AS SHOWN
 JOB NO:
 APN: 946-1686-003-01

DEMOLITION NOTE:

1. WELL, SEPTIC SYSTEM SHALL BE ABANDONED PER ALAMEDA COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARD AND SPECIFICATIONS.
2. ALL EXISTING STRUCTURES ON SITE SHALL BE DEMOLISHED. ALL DEBRIES REMOVED. SITE SHALL BE TOTALLY CLEAN AND FREE FROM ANY TYPE OF DEBRIES.



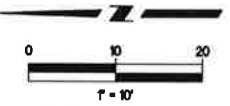
(E) TREE TO REMAIN TREE TYPE TABLE

TREE NO.	TREE SPECIES
1	GRAPE MYRTLE
2	ITALIAN ALDER (REMOVE)
3	SHELDON (REMOVE)
4	PLUM (REMOVE)
5	LEMON (REMOVE)
6	PLUM (REMOVE)
7	WINDMILL PALM (REMOVE)
8	WINDMILL PALM (REMOVE)
9	WINDMILL PALM (REMOVE)
10	GLOSSY PRIVET
11	WINDMILL PALM
12	WINDMILL PALM
13	WINDMILL PALM
14	WINDMILL PALM
15	WINDMILL PALM
16	PLUM
17	VALLEY OAK
18	VALLEY OAK
19	CALIFORNIA BLACK WALNUT

INFORMATION FOR TREE TYPES SHOWN HEREON WAS TAKEN FROM THE UPDATED ARBORIST REPORT PREPARED BY HORTSCIENCE, INC AND DATED NOVEMBER 21, 2018.

- LEGEND**
- MB MAILBOX
 - SSCO SANITARY SEWER CLEANOUT
 - WM WATER METER
 - 1 TREE NUMBER, REFER TO TREE TYPE TABLE
 - TREE WITH TRUNK DIAMETER AND DRIP LINE NOTED
 - HR HOSEBIB
 - TYPICAL WOOD FENCE LINE TYPE
 - TYPICAL CHAINLINK FENCE LINE TYPE
 - UB DRY UTILITY BOX
 - FH FIRE HYDRANT
 - GW GUY WIRE FOR POWER POLE
 - TYPICAL CONTOUR WITH LABEL
 - SPOT ELEVATION, GROUND - SOME GRADE TRUNCATED FOR CLARITY
 - PAVEMENT AREA
 - CONCRETE AREA
 - BRICK AREA
 - STREET LIGHT
 - UTILITY BOX FOR STREET LIGHT

- ABBREVIATIONS**
- EP EDGE OF PAVEMENT
 - CRN CROWN OF ROADWAY
 - TBC TOP BACK OF CURB
 - BOW BACK OF WALK
 - TW TOP OF WALL
 - DW DRIVEWAY
 - GB GRADE BREAK
 - AP ANGLE POINT
 - BRK BRICK



BENCHMARK
 PROJECT BASED ON ELEVATION OF SSCO IN DRIVEWAY OF SUBJECT PROPERTY AS SHOWN ON IMPROVEMENTS PLANS PREPARED BY CITY OF PLEASANTON AND TITLED "STANLEY BOULEVARD IMPROVEMENTS" AND DATED XXXXXXX. ELEVATION OF SANITARY SEWER CLEANOUT = 356.23"

NOTES:
 THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY AND MAKES NO REPRESENTATION OF BOUNDARY OR OWNERSHIP LINES.

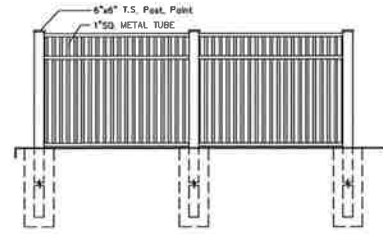
REVISIONS	DATE

Ken McCoy
 P.O. BOX 379 MODesto CA 95353
 (209) 662-1231

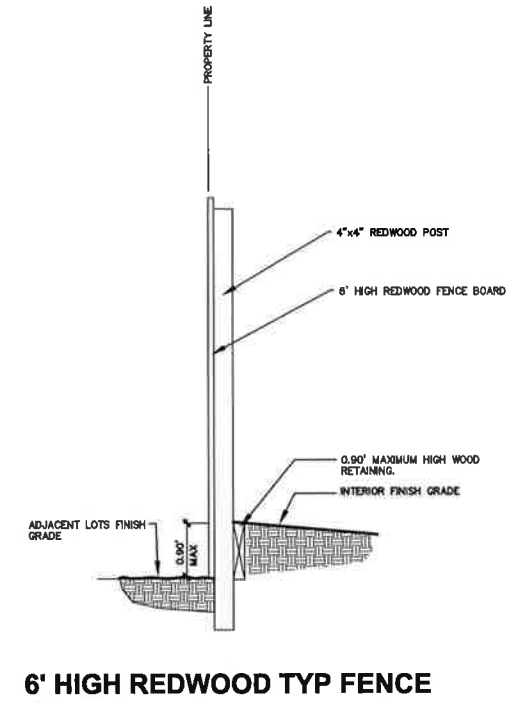
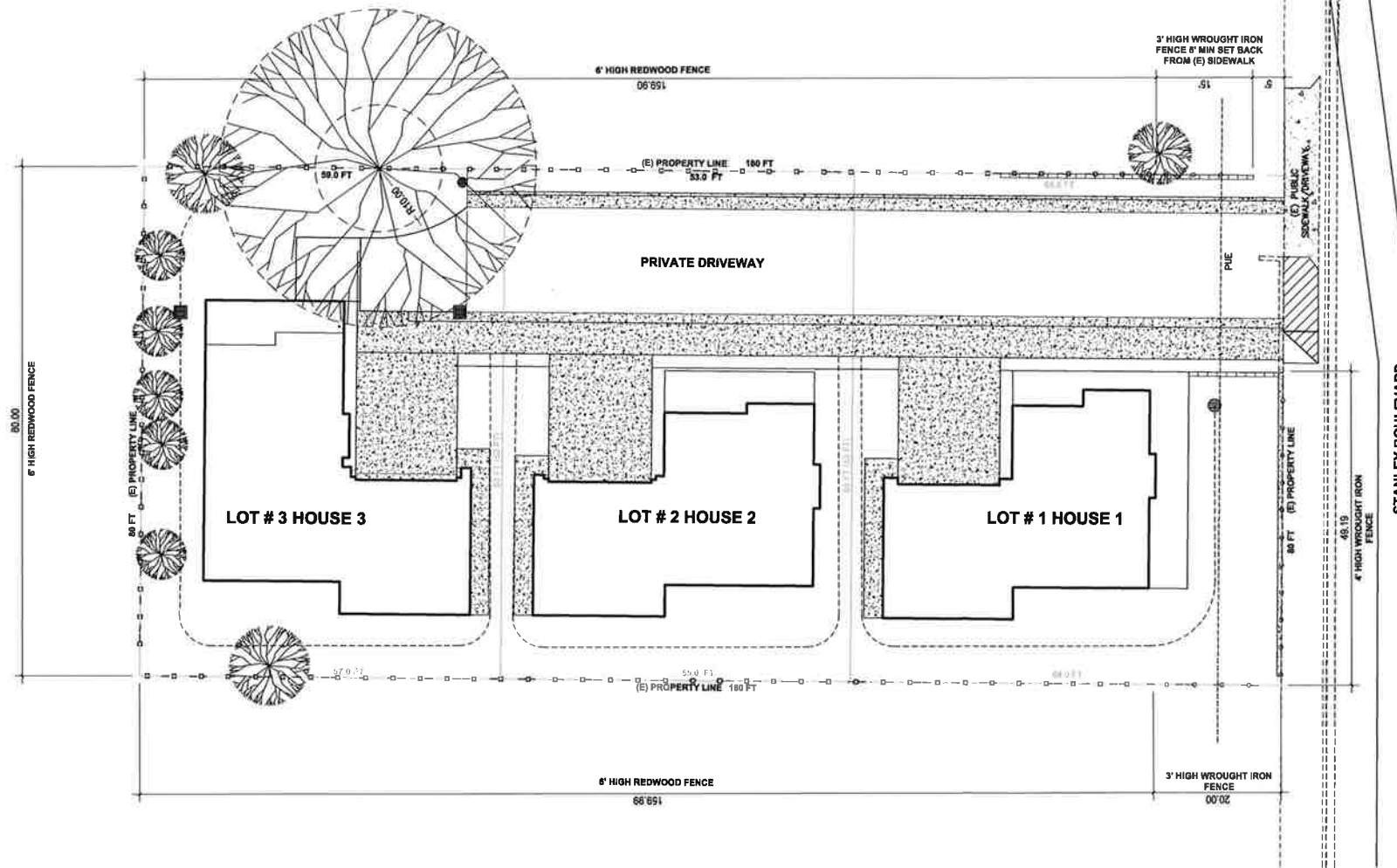
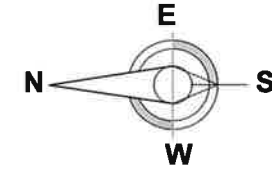
DEMOLITION PLAN
 PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
 CHECK BY:
 DATE: 01-17-19
 SCALE: AS SHOWN
 JOB NO.:
 APN: 946-1688-003-01

D1.0



IRON TYP FENCE



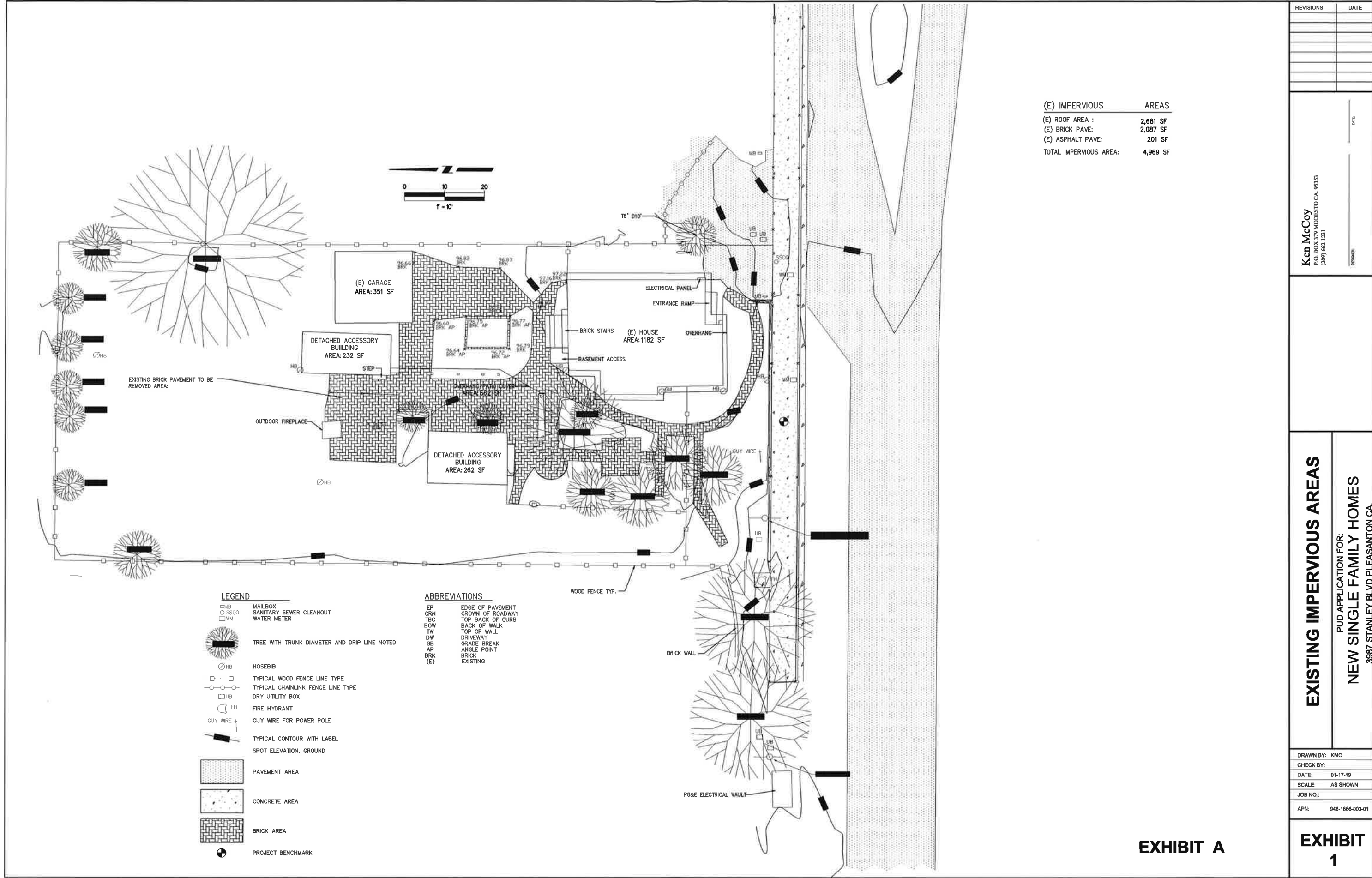
6' HIGH REDWOOD TYP FENCE

REVISIONS	DATE

Ken McCoy
 P.O. BOX 379 MODESTO CA. 95353
 (209) 662-1231
 DESIGNER

FENCE PLAN
 PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
 CHECK BY:
 DATE: 01-17-19
 SCALE: AS SHOWN
 JOB NO.:
 APN: 948-1668-003-01



(E) IMPERVIOUS	AREAS
(E) ROOF AREA :	2,681 SF
(E) BRICK PAVE:	2,087 SF
(E) ASPHALT PAVE:	201 SF
TOTAL IMPERVIOUS AREA:	4,969 SF

LEGEND

- MB MAILBOX
- SSOO SANITARY SEWER CLEANOUT
- WM WATER METER
- TB TREE WITH TRUNK DIAMETER AND DRIP LINE NOTED
- HB HOSEBIB
- TYPICAL WOOD FENCE LINE TYPE
- TYPICAL CHAINLINK FENCE LINE TYPE
- DRY UTILITY BOX
- FH FIRE HYDRANT
- ↑ GUY WIRE GUY WIRE FOR POWER POLE
- TYPICAL CONTOUR WITH LABEL
- SPOT ELEVATION, GROUND
- PAVEMENT AREA
- CONCRETE AREA
- BRICK AREA
- PROJECT BENCHMARK

ABBREVIATIONS

- EP EDGE OF PAVEMENT
- CRN CROWN OF ROADWAY
- TBC TOP BACK OF CURB
- BOW BACK OF WALK
- TW TOP OF WALL
- DW DRIVEWAY
- GB GRADE BREAK
- AP ANGLE POINT
- BRK BRICK
- (E) EXISTING

REVISIONS	DATE

Ken McCoy
 P.O. BOX 379 MODesto CA. 95333
 (209) 862-1231

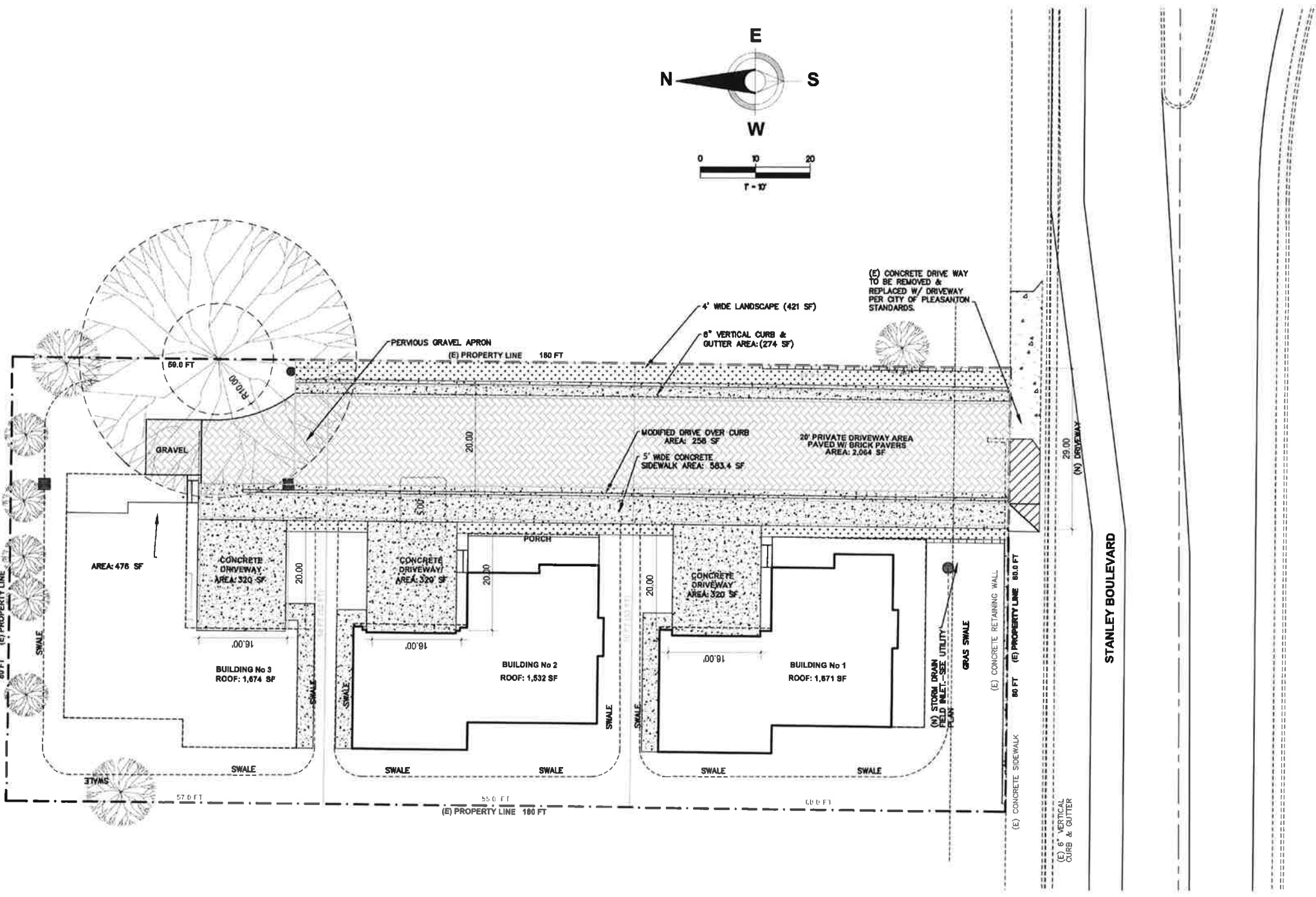
EXISTING IMPERVIOUS AREAS

PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY:	KMC
CHECK BY:	
DATE:	01-17-19
SCALE:	AS SHOWN
JOB NO.:	
APN:	946-1686-003-01

EXHIBIT A

EXHIBIT 1



IMPERVIOUS AREAS

PRIVATE DRIVEWAY W/ DECO PAVERS :	2,014 SF
CONCRETE CURB & GUTTER :	493 SF
5' WIDE CONCRETE SIDE WALK :	731 SF
16' WIDE x 20' CONCRETE DRIVEWAY :	960 SF
3' CONCRETE WALK AT REFUSE AREA :	246 SF
PROPOSED BUILDINGS ROOF AREA :	4,877 SF

TOTAL PROPOSED IMPERVIOUS AREA: 9,321 SF

PERVIOUS AREAS

LANDSCAPE AREA : 5,474 SF

TOTAL PROPOSED PERVIOUS AREA: 5,474 SF

SITE PLAN

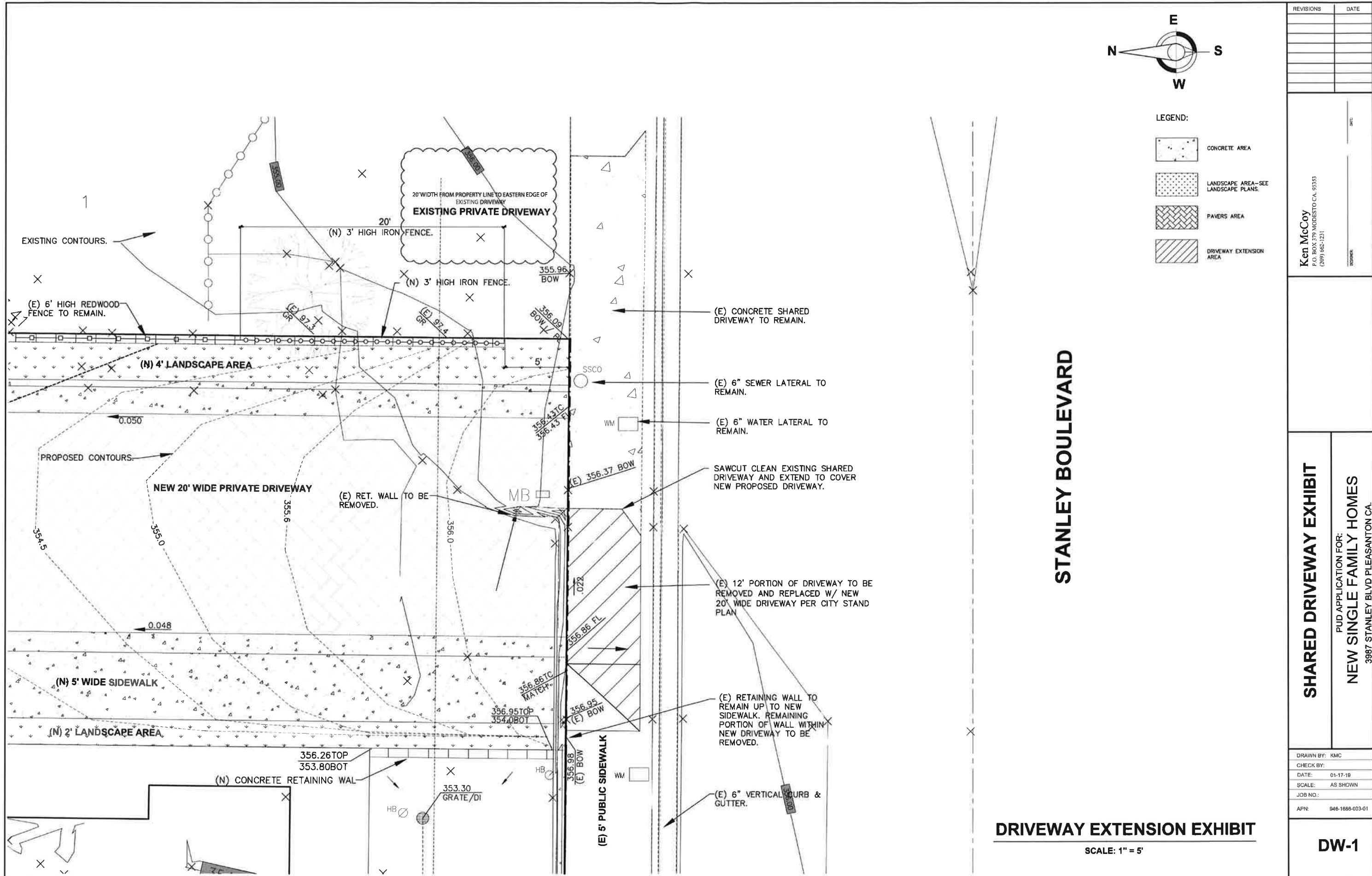
TOTAL LOT SIZE: 14,400 SF SCALE: 1" = 10'

REVISIONS	DATE

Ken McCoy
 P.O. BOX 379 MODESTO CA, 95333
 (209) 662-1231

PROPOSED IMPERVIOUS AREAS
 PUD APPLICATION FOR:
NEW SINGLE FAMILY HOMES
 3987 STANLEY BLVD PLEASANTON CA.

DRAWN BY: KMC
 CHECK BY:
 DATE: 01-17-19
 SCALE: AS SHOWN
 JOB NO:
 APN: 946-1896-003-01



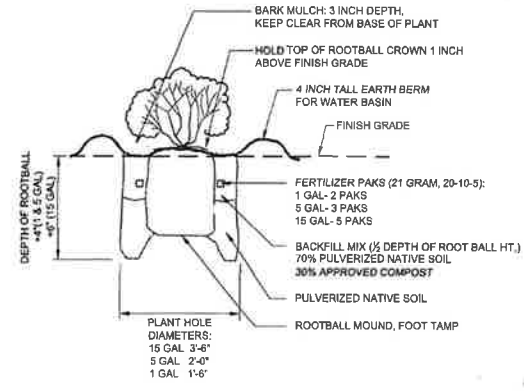
REVISIONS	BY
10.15.18	SW
1.16.19	SW
3.20.19	SW
4.1.19	SW
6.20.19	SW

STEVE WONG LANDSCAPE ARCHITECT
 30225 ARAAGON PLACE, UNION CITY, CA 94587
 (510) 377-9558 Landscape Architect Lic. No. 2397

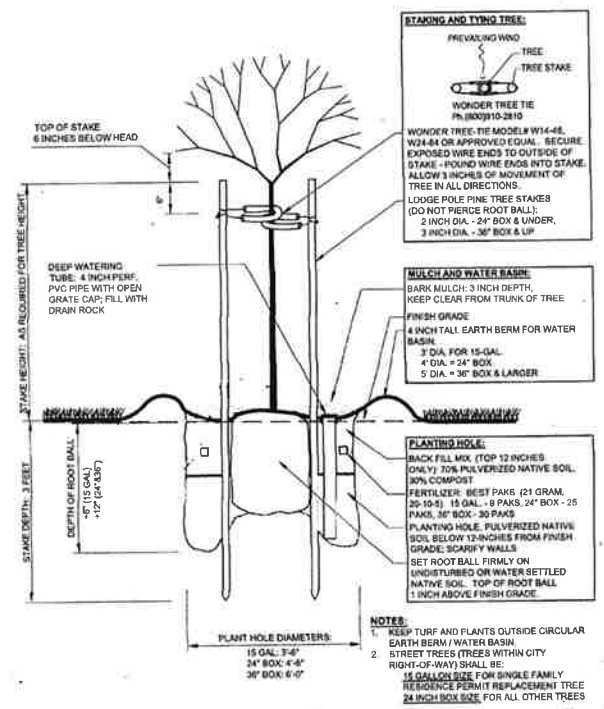
3 SINGLE FAMILY HOMES
 3987 STANLEY BLVD.
 PLEASANTON, CA

LANDSCAPE PLAN

Date	10.25.17
DR	SW
Scale	1" = 10'
Job	
Sheet	L-1

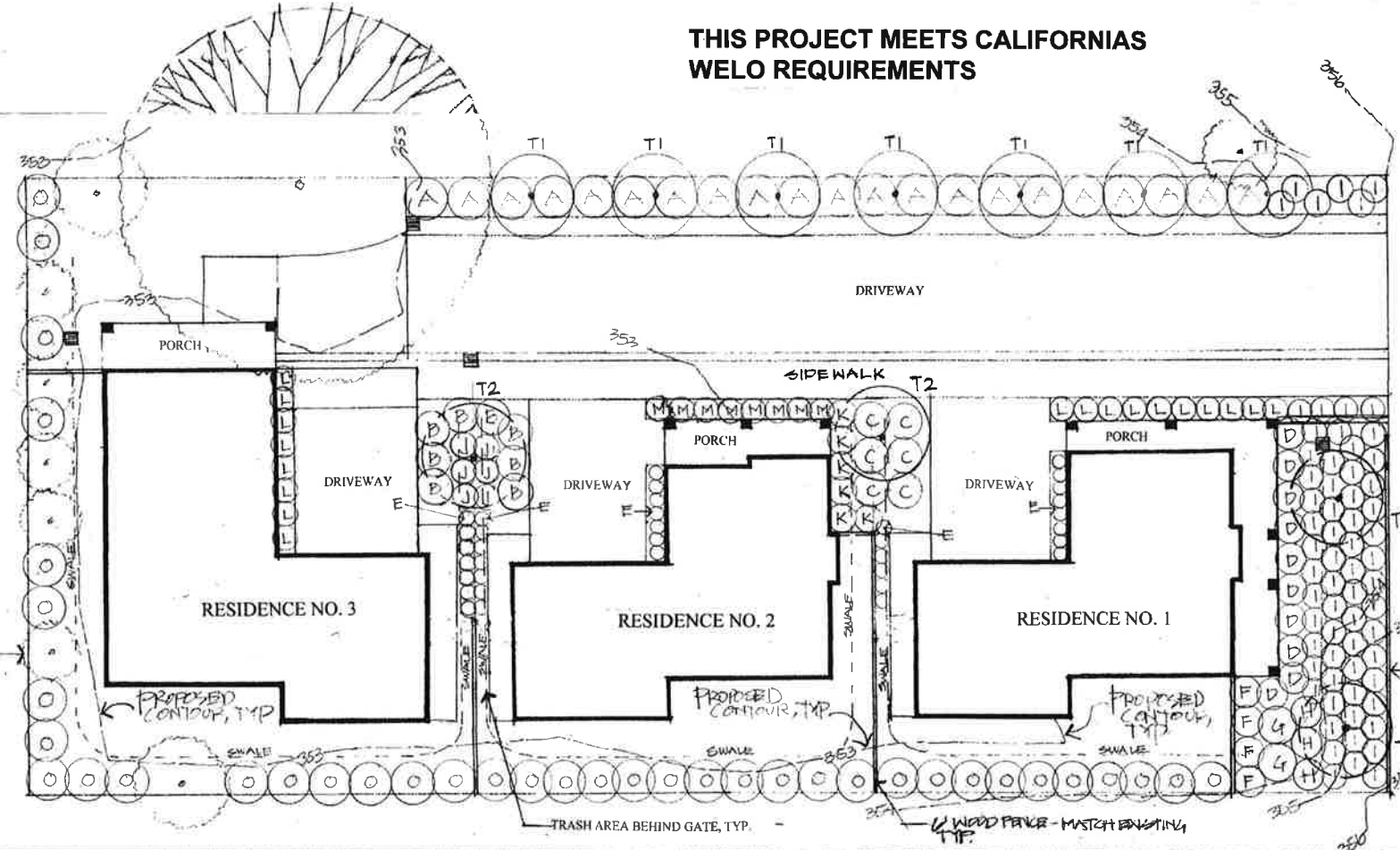


SHRUB PLANTING DETAIL



TREE PLANTING DETAIL

THIS PROJECT MEETS CALIFORNIA'S WELO REQUIREMENTS



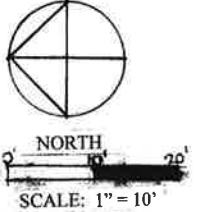
PLANTING NOTES

- CONTRACTOR SHALL SUBMIT SOILS REPORT ON HORTICULTURAL SUITABILITY AND RECOMMENDATIONS.
- ALL AREAS SHALL BE TILLED AS SPECIFIED IN SOILS REPORT AND SOIL AMENDMENTS PER SOILS REPORT INCORPORATED.
- ALL PLANTING AREAS SHALL RECEIVE 3" DEPTH BROWN WOOD CHIPS OR APPROVED EQUAL.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED IF SPECIFIED PLANTS ARE NOT AVAILABLE.
- ALL PLANTS TO BE WATERED BY AUTOMATIC DRIP IRRIGATION SYSTEM. (SEE SHEET L-2)
- VERIFY ALL MEASUREMENTS IN THE FIELD

PLANT LEGEND

KEY	QUAN	SIZE	BOTANICAL NAME	COMMON NAME	WATER USAGE	SPACING
TREES:						
T1	7	15 GAL	QUERCUS CHRYSOLEPIS	CANYON OAK	LOW	17'
T2	2	15 GAL	QUERCUS AGRIFOLIA	COAST LIVE OAK	LOW	30'
SHRUB/PERENNIALS:						
A	21	5 GAL	PHOTINIA FRASER 'RED ROBIN'	PHOTINIA	LOW	5'
B	8	3 GAL	ROSA FLOWER CARPET-CORAL	CARPET ROSE	LOW	3'
C	6	3 GAL	ROSA FLOWER CARPET-WHITE	CARPET ROSE	LOW	3'
D	10	3 GAL	ROSA FLOWER CARPET-PINK	CARPET ROSE	LOW	3'
E	35	1 GAL	IRIS DOUGLASIANA	PACIFIC COAST IRIS	LOW	2'
F	4	5 GAL	LAVANDULA A. 'PROVENCE'	LAVENDER	LOW	4'
G	2	5 GAL	PHORMIUM T. 'RAINBOW WARRIOR'	NEW ZEALAND FLAX	LOW	5'
H	3	5 GAL	PHORMIUM T. 'YELLOW WAVE'	NEW ZEALAND FLAX	LOW	5'
I	66	1 GAL	STIPA TENUISSIMA	FEATHER GRASS	LOW	3'
J	6	5 GAL	MAHONIA AQUIFOLIUM	OREGON GRAPE	LOW	4'
K	6	5 GAL	RHUS INTEGRIFOLIA	LEMONADE BERRY	LOW	4'
L	18	1 GAL	ERIGERON KARVINSKINANA	SANTA BARBARA DAISY	LOW	3'
M	8	1 GAL	LIMONIUM PEREZII	SEA LAVENDER	LOW	3'
N	8	5 GAL	PODOCARPUS 'MAKI'	NCN	LOW	3'
O	33	5 GAL	FEJOA SELLOWIANA	PINEAPPLE GUAVA	LOW	5'

NOTE: VERIFY PLANT QUANTITIES. CONTRACTOR RESPONSIBLE FOR INSTALLING ALL PLANTS AS SHOWN ON THIS PLAN.



REVISIONS	BY
10.3.18	SW
10.15.18	SW
1.16.19	SW
3.20.19	SW
4.1.19	SW

STEVE WONG LANDSCAPE ARCHITECT
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 (510) 377-5938 Landscape Architect, Lic. No. 2097

3 SINGLE FAMILY HOMES
 3987 STANLEY BLVD.
 PLEASANTON, CA

IRRIGATION PLAN

Date: Nov 1, 2017
 Dr: SW
 Scale: 1" = 10'
 Job:
 Sheet: L-2
 Of: Sheets

Appendix B - Sample Water Efficient Landscape Worksheet
WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (Eto)	Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*	
46.2 (Presentation)									
Regular Landscape Areas									
	Residence 1	1.0	Drip	0.81	0.27	10,270	2,773	19,277	
	Residence 2	1.0	Drip	0.81	0.27	9,960	2,686	10,551	
	Residence 3	1.0	Drip	0.81	0.27	2,470	674	26,800	
Totals							(A)	(B)	55,990
Special Landscape Areas									
	None								
Totals							(C)	(D)	55,990
ETWU Total									55,990
Maximum Allowed Water Allowance (MAWA)									82,249

*Hydrozone #/Planting Description
 1) front lawn
 2) low water use shrubs
 3) medium water use planting

*Irrigation Method
 overhead spray
 or drip

*Irrigation Efficiency
 0.75 for spray head
 0.81 for drip

*ETWU (Annual Gallons Required) = Eto x 0.62 x (EFA) x Area
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per acre per year.

*MAWA (Annual Gallons Allowed) = (Eto) (0.62) ((ETAF x LA) + ((1-ETAF) x SLA))
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per acre per year. LA is the total landscape area in square feet. SLA is the total total landscape area in square feet. and ETAF is 0.55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	(B)
Total Area	(A)
Average ETAF	B ÷ A

All Landscape Areas

Total ETAF x Area	(B+D)
Total Area	(A+C)
Stewide ETAF	(B+D) ÷ (A+C)

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

MAWA CALCULATION

$$MAWA = (Eto) (0.62) ((ETAF \times LA) + (1-ETAF) \times SLA)$$

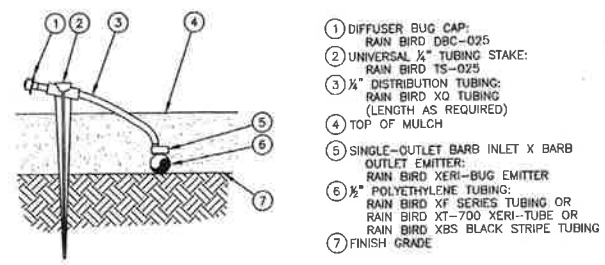
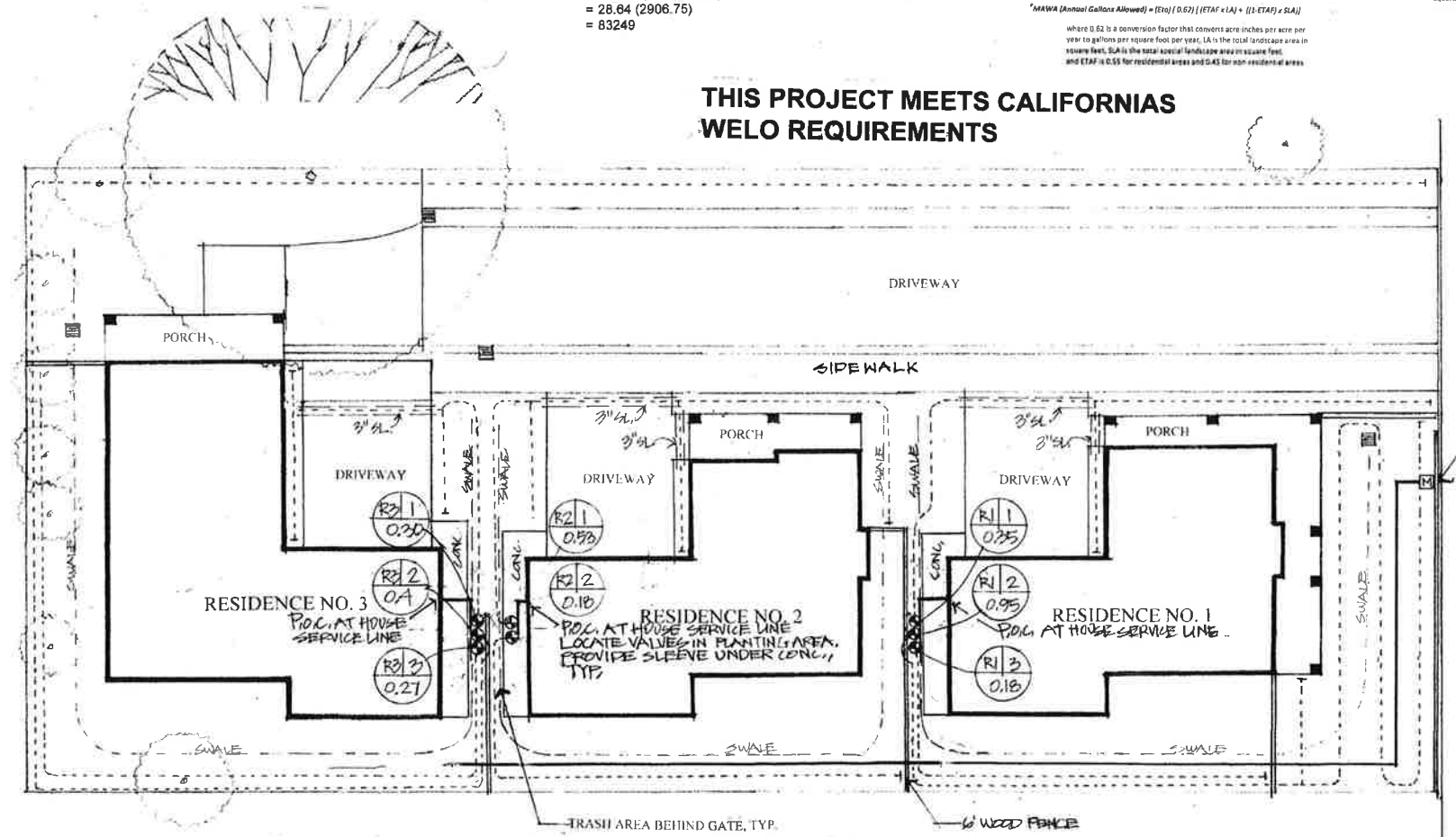
$$= (46.2) (0.62) ((.55 \times 5285sf) + (1-.55) \times 0sf)$$

$$= 28.64 (2806.75 + 0)$$

$$= 28.64 (2806.75)$$

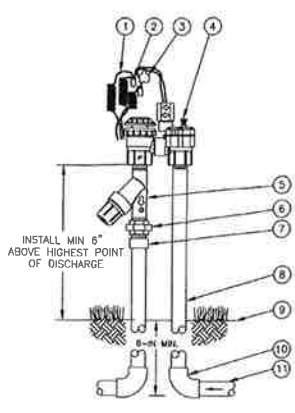
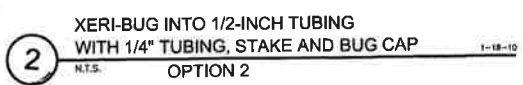
$$= 82249$$

THIS PROJECT MEETS CALIFORNIA'S WELO REQUIREMENTS



- 1) DIFFUSER BUG CAP: RAIN BIRD DBC-025
- 2) UNIVERSAL 1/4" TUBING STAKE: RAIN BIRD TS-025
- 3) 1/4" DISTRIBUTION TUBING: RAIN BIRD XO TUBING (LENGTH AS REQUIRED)
- 4) TOP OF MULCH
- 5) SINGLE-OUTLET BARB INLET X BARB OUTLET EMITTER: RAIN BIRD XERI-BUG EMITTER
- 6) 1/2" POLYETHYLENE TUBING: RAIN BIRD XF SERIES TUBING OR RAIN BIRD XT-700 XERI-TUBE OR RAIN BIRD XBS BLACK STRIPE TUBING
- 7) FINISH GRADE

- NOTES:
1. USE RAIN BIRD XERIMAN TOOL XM-TOOL TO INSERT EMITTER DIRECTLY INTO 1/2" POLYETHYLENE TUBING.
 2. RAIN BIRD XERI-BUG BARB X BARB EMITTERS ARE AVAILABLE IN THE FOLLOWING MODELS:
 XB-05PC 0.5 GPH XB-10PC 1.0 GPH XB-20PC 2.0 GPH



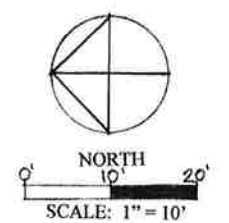
- 1) 30-INCH LINEAR LENGTH OF WIRE, COILED
- 2) WATERPROOF CONNECTION: RAIN BIRD DB SERIES (1 OF 2)
- 3) 10 TAG
- 4) LOW FLOW ANTI-SIPHON VALVE: RAIN BIRD ASH-LF-075 VALVE (INCLUDED IN XACZ-075-PRF KIT)
- 5) PRESSURE REGULATING FILTER: RAIN BIRD PRF-075-RBY (INCLUDED IN XACZ-075-PRF KIT)
- 6) PVC SCH 80 UNION
- 7) PVC SCH 40 MALE ADAPTER
- 8) UV RADIATION RESISTANT PVC SCH 40 PIPE (1 OF 2)
- 9) FINISH GRADE/TOP OF MULCH
- 10) PVC SCH 40 ELL (1 OF 2)
- 11) PVC LATERAL PIPE (1 OF 2)

Notes:

Verify point of connection and backflow preventer location.
 Verify controller location and 110v power source.
 Avoid damage to tree roots of existing trees to remain.
 Install all required sleeves under or through all paving and walls.
 Use 6" metal staples to secure drip tube @ 6" spacing.
 Use 1/4" distribution tubing to plants up to 6' distance from 1/2" drip line.
 Secure 1/4" drip tube w/ plastic v-stakes.
 All distribution tubing shall be buried just below surface level of soil.
 Contractor is responsible for adequate coverage of all planting areas, and proper operation and scheduling of irrigation system and documentation of 'as built' system.

IRRIGATION LEGEND

- | | |
|-------------------------|--|
| Symbol | Description |
| (Circle with 'M') | Water Meter |
| (Square with '6') | Raindial 6 Station Indoor Wall Mount Controller w/ Rain Shut-off |
| (Square with 'V') | 1" Gate Valve |
| (Circle with 'X') | Rainbird XACZ-075-PRF 3/4" Anti-Siphon Drip Zone Valve |
| (Double line) | PVC Sleeve (min. 3" size) |
| (Single line) | Cl. 200 PVC Lateral Line |
| (Thick solid line) | Sch. 40 PVC Main Line |
| (Dashed line) | Rainbird XBS 1/2" Distribution tubing |
| (Thin solid line) | Rainbird XQ 1/4" Distribution tubing (not shown) |
| (Short horizontal line) | 1/2" Flush valve |
| (Circle with '1') | (not shown) Rainbird Xeribug XB-05PC 0.5gph emitter (use 1 per 1 gal plant) |
| (Circle with '5') | (not shown) Rainbird Xeribug XB-10PC 1.0gph emitter (use 1 per 5 gal. plant) |
| (Circle with '15') | (not shown) Rainbird Xeribug XB-20PC 2.0gph emitter (use 2 per 15 gal. tree) |
| (Circle with 'R1') | Indicates Residence Number |
| (Circle with '1') | Indicates Valve Number |
| (Circle with '0.25') | Indicates Gpms through valve @ 30 psi operating pressure |
| (Line with 'S') | Denotes PVC sleeve |

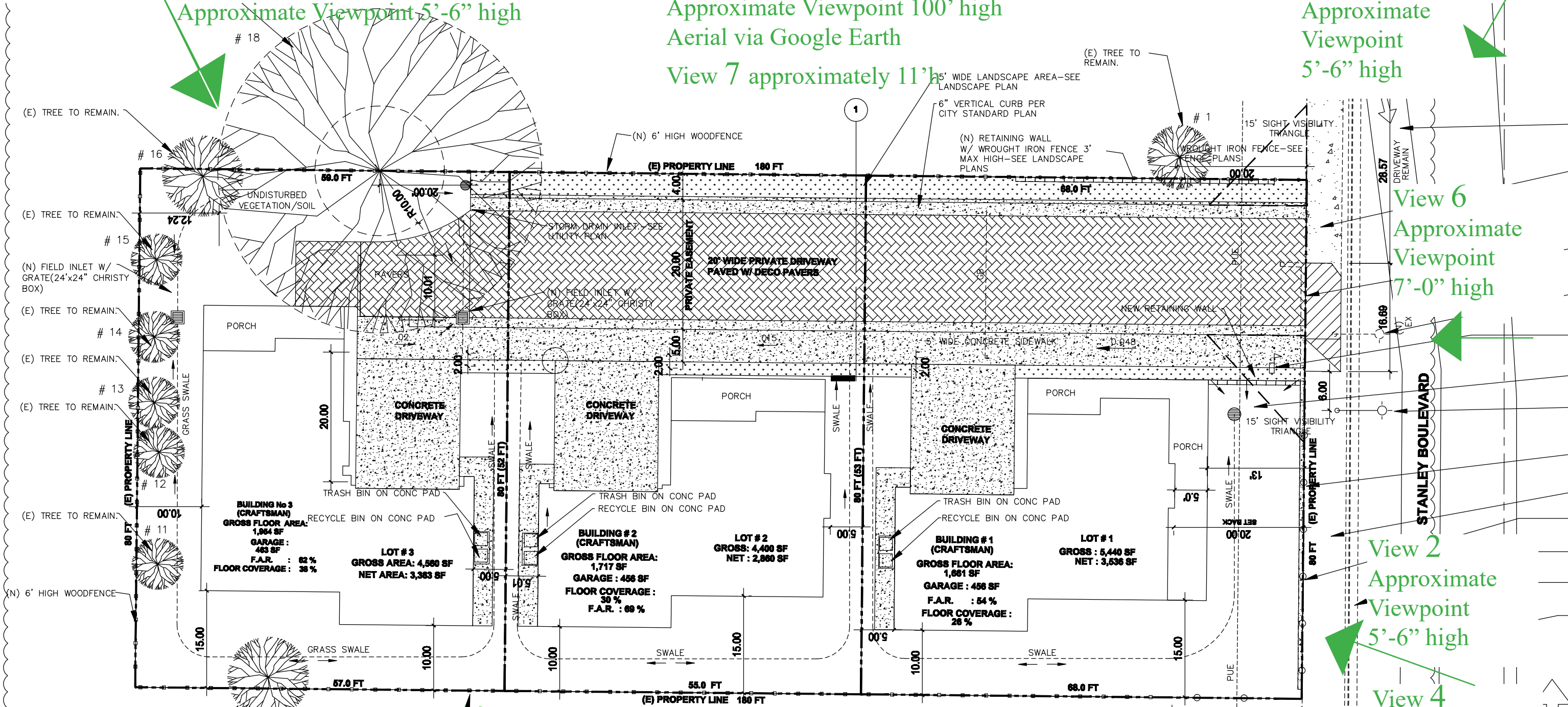


THIS PROJECT COMPLIES WITH STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE

View 3
Approximate Viewpoint 5'-6" high

View 5
Approximate Viewpoint 100' high
Aerial via Google Earth
View 7 approximately 11'h

View 1
Approximate Viewpoint 5'-6" high



View 6
Approximate Viewpoint 7'-0" high

View 2
Approximate Viewpoint 5'-6" high

View 4
Approximate Viewpoint 9' high

View 10 Approximate Viewpoint 5'-6" high, View 11 Approximate Viewpoint 11' high,

View 8 Approximate Viewpoint 5'-6" high, View 9 Approximate Viewpoint 11' high,

RENDERING VIEWPOINT KEY PLAN
NOT TO SCALE - DISREGARD NOTES



STRIKEFORCE DESIGN
971 270 0951
SARAH@STRIKEFORCEDESIGN.NET

RENDER VIEW ANALYSES REVISION
3987 STANLEY BOULEVARD, PLEASANTON, CA



EXISTING



PROPOSED

RENDER VIEW 1 FROM STANLEY BLVD. LOOKING NORTHWEST



STRIKEFORCE DESIGN
971 270 0951
SARAH@STRIKEFORCEDESIGN.NET

RENDER VIEW ANALYSES REVISION
3987 STANLEY BOULEVARD, PLEASANTON, CA



EXISTING



PROPOSED

RENDER VIEW 2 FROM STANLEY BLVD. LOOKING NORTHEAST



STRIKEFORCE DESIGN
971 270 0951
SARAH@STRIKEFORCEDESIGN.NET

RENDER VIEW ANALYSES REVISION
3987 STANLEY BOULEVARD, PLEASANTON, CA



EXISTING



PROPOSED

RENDER VIEW 3 FROM EAST NEIGHBOR'S PROPERTY AT REAR (EXISTING TREES ON NEIGHBORING PROPERTY NOT SHOWN)



STRIKEFORCE DESIGN
971 270 0951
SARAH@STRIKEFORCEDESIGN.NET

RENDER VIEW ANALYSES REVISION
3987 STANLEY BOULEVARD, PLEASANTON, CA



EXISTING



PROPOSED

RENDER VIEW 4 FROM STANLEY BLVD. LOOKING EAST, HIGH ANGLE VIEW



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SARAH@STRIKEFORCEDESIGN.NET

RENDER VIEW ANALYSES REVISION
3987 STANLEY BOULEVARD, PLEASANTON, CA



EXISTING



PROPOSED

RENDER VIEW 5 AERIAL VIEW SHOWING EAST PROPERTY EXISTING CANOPY



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SARAH@STRIKEFORCEDESIGN.NET

RENDER VIEW ANALYSES REVISION
3987 STANLEY BOULEVARD, PLEASANTON, CA



EXISTING



PROPOSED

RENDER VIEW 6 STREET VIEW FROM ACROSS STANLEY



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SARAH@STRIKEFORCEDESIGN.NET

RENDER VIEW ANALYSES REVISION
3987 STANLEY BOULEVARD, PLEASANTON, CA



RENDER VIEW 7

FROM EAST, CONSTRUCTED AT 11' FROM CENTER OF PROPERTY; NOTE THAT ONLY LANDSCAPING ON 3987 IS SHOWN, BUT SATELLITE IMAGES SUGGEST THERE ARE SIGNIFICANT TALL TREES THAT WOULD FURTHER OBSTRUCT THIS VIEW.



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RENDER VIEW ANALYSES REVISION
3987 STANLEY BOULEVARD, PLEASANTON, CA



RENDER VIEW 8

FROM WEST, CONSTRUCTED AT 5' AND 11' FROM CENTER OF TWO HOMES; ONLY 3987 PROPERTY FEATURES SHOWN



STRIKEFORCE DESIGN
971 270 0951
SARAH@STRIKEFORCEDESIGN.NET

RENDER VIEW ANALYSES REVISION
3987 STANLEY BOULEVARD, PLEASANTON, CA



Updated Arborist Report

**3987 Stanley
Pleasanton, CA**

**PREPARED FOR
Saravana Chilla
4132 Eugene St.
Fremont, CA 94538**

**PREPARED BY:
HortScience, Inc.
325 Ray St.
Pleasanton, CA 94566**

November 21, 2018



HORT SCIENCE

BARTLETT CONSULTING

Divisions of The F.A. Bartlett Tree Expert Company

**Updated Arborist Report
3987 Stanley
Pleasanton, CA**

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Suitability for Preservation	3
Preliminary Evaluation of Impacts and Recommendations for Preservation	5
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Table 3. Appraised Value of Trees Identified for Removal	7
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Exhibits

Tree Assessment Map
Tree Assessment Form
Tree Appraisal

Updated Arborist Report

3987 Stanley

Pleasanton, CA

Introduction and Overview

You are planning to construct multiple housing units on the property you recently purchased. The large lot had a house, detached garage, two out buildings and was moderately forested. The City of Pleasanton requires that an **Arborist Report** be prepared as part of project submittals.

This report provides the following information:

1. An evaluation of the health and structural condition of the trees within the proposed project area based on a visual inspection from the ground.
2. An assessment of the impacts of constructing the proposed project on the trees.
3. An appraisal value of the trees according to the procedures described in the *Guide for Plant Appraisal* (Council of Tree and Landscape Appraisers).
4. Guidelines for tree preservation prior to and during the demolition and construction phases of development.

Tree Assessment Methods

Trees were assessed on December 8, 2016. The survey included trees 6" in diameter and greater, located on the property and adjacent to property lines. The assessment procedure consisted of the following steps:

1. Identifying the tree as to species;
2. Tagging each tree with an identifying number and recording its location on a map;
3. Measuring the trunk diameter at a point 4.5' above grade;
4. Evaluating the health and structural condition using a scale of 1 – 5:
 - 5** - A healthy, vigorous tree, reasonably free of signs and symptoms of disease, with good structure and form typical of the species.
 - 4** - Tree with slight decline in vigor, small amount of twig dieback, minor structural defects that could be corrected.
 - 3** - Tree with moderate vigor, moderate twig and small branch dieback, thinning of crown, poor leaf color, moderate structural defects that might be mitigated with regular care.
 - 2** - Tree in decline, epicormic growth, extensive dieback of medium to large branches, significant structural defects that cannot be abated.
 - 1** - Tree in severe decline, dieback of scaffold branches and/or trunk; most of foliage from epicormics; extensive structural defects that cannot be abated.
5. Rating the suitability for preservation as "high", "moderate" or "low". Suitability for preservation considers the health, age and structural condition of the tree, and its potential to remain an asset to the site for years to come.

High: Trees with good health and structural stability that have the potential for longevity at the site.

Moderate: Trees with somewhat declining health and/or structural defects than can be abated with treatment. The tree will require more intense management and monitoring, and may have shorter life span than those in 'high' category.

Low: Tree in poor health or with significant structural defects that cannot be mitigated. Tree is expected to continue to decline, regardless of treatment. The species or individual may have characteristics that are undesirable for landscapes, and generally are unsuited for use areas.

Description of Trees

Nineteen (19) trees were evaluated and are summarized in Table 1. Three (3) of the trees (#1, 17 and 19 were off-site with a portion of the crown extending onto the property). Descriptions of each tree are provided in the **Tree Assessment Form** and approximate locations are plotted on the **Tree Assessment Map** (see Exhibits).

**Table 1. Tree condition and frequency of occurrence
3987 Stanley, Pleasanton, CA**

Common Name	Scientific Name	Condition			Total
		Poor (1-2)	Fair (3)	Good (4-5)	
Italian alder	<i>Alnus cordata</i>	-	1	-	1
Lemon	<i>Citrus limon</i>	-	-	1	1
California black walnut	<i>Juglans hindsii</i>	-	1	-	1
Crape Myrtle	<i>Lagerstroemia indica</i>	-	1	-	1
Glossy privet	<i>Ligustrum lucidum</i> <i>Liquidambar</i>	-	1	-	1
Sweetgum	<i>styraciflua</i>	-	-	1	1
Plum	<i>Prunus domestica</i>	1	2	-	3
Valley oak	<i>Quercus lobata</i>	-	-	2	2
Windmill palm	<i>Trachycarpus fortunei</i>	-	-	8	8
Total		1	6	12	19

Overall, the trees were in fair (6 trees) to good (12 trees) condition with one tree in poor.

The most common species was windmill palm (8 trees). All eight of these trees were in good condition. Windmill palms were semi-mature (8-10" DBH). Trees had brown trunks that ranged from 15-25' (photo 1, next page). Five trees (#11-15) were located along the north perimeter fence line and three (#7-9) were located near the house and out buildings.

Three (3) plum trees were assessed. Two (2) were in fair condition and one (1) was in poor. These trees had either multiple or codominant trunks. The largest tree (#6) was mature and had a 10" trunk diameter. Several pruning cuts had been made in the top of the canopy known as heading back. The other two were young trees located near the property fence. Tree #16 was leaning and tree #4 was growing through metal fence at the base.



Photo 1 (above): Windmill palms lined the north property fence.

The third most common species assessed was valley oak (2 trees). Both trees were in good condition. One was off-site (#17) and tree #18 was located on the property line. The fence separating the two properties was built on either side of the tree (photo 2). Diameters were estimated for both trees. Trees were mature with respectively 36 and 38" trunk diameter.

Photo 2 (below): Valley oak #18 was growing on the property line and the fence was built around it.

The following six (6) species were represented by one (1) tree.

- The Italian alder (#2) had multiple trunks arising at the base and was semi-mature with 7, 8 and 8" trunk diameters. It was growing near the front of the house and was located 11' from overhead utilities. It was in fair condition.
- The lemon (#5) was located on the west side of the house and in good condition. It had multiple branches arising from 3'. This semi-mature tree had 3, 3, 2 and 1" diameter trunks.
- The California black walnut (#19) was located off-site to the east of the house. This mature tree was in fair condition. It had codominant trunks arising from 3' and its' canopy extended 9' onto the property. Trunk diameters were estimated to be 17 and 12".
- The crape myrtle (#1) was a young tree (7" DBH) located off-site near the fence line. It was in fair condition with several harsh pruning cuts known as topping. The canopy was extending 3' over the fence.
- The glossy privet (#10) was located on the rear property to the west. This young tree had multiple trunks and was in fair condition. One branch had decay and a metal fence post was embedded in the north trunk.
- Sweetgum #3 was a semi-mature tree with a tall, narrow crown. It was in good condition with good form and structure. The trunk diameter was 7".



The City of Pleasanton Municipal Code (Chapter 17.6) defines a Heritage tree as having either a trunk diameter of 18" or greater or a height of 35' or greater. Two valley oak trees meet both criteria. One tree was located on the property line (#18) the one was an off-site tree (#17).

Suitability for Preservation

Before evaluating the impacts that will occur during development, it is important to consider the quality of the tree resource itself, and the potential for individual trees to function well over an extended length of time. Trees that are preserved on development sites must be carefully selected to make sure that they may survive development impacts, adapt to a new environment and perform well in the landscape.

Our goal is to identify trees that have the potential for long-term health, structural stability and longevity. For trees growing in open fields, away from areas where people and property are present, structural defects and/or poor health presents a low risk of damage or injury if they fail. However, we must be concerned about safety in use areas. Therefore, where development encroaches into existing plantings, we must consider their structural stability as well as their potential to grow and thrive in a new environment. Where development will not occur, the normal life cycles of decline, structural failure and death should be allowed to continue.

Evaluation of suitability for preservation considers several factors:

- **Tree health**
Healthy, vigorous trees are better able to tolerate impacts such as root injury, demolition of existing structures, changes in soil grade and moisture, and soil compaction than are non-vigorous trees. For example plum (#4) had multiple trunks growing through metal wire located at the base of the tree. The lack of proper maintenance had weakened the tree and it may not handle construction impacts as well as a healthier tree.
- **Structural integrity**
Trees with significant amounts of wood decay and other structural defects that cannot be corrected are likely to fail. Such trees should not be preserved in areas where damage to people or property is likely.
- **Species response**
There is a wide variation in the response of individual species to construction impacts and changes in the environment. Italian alder with adequate irrigation has good tolerance to construction impacts and valley oak has moderate tolerance to construction impacts.
- **Tree age and longevity**
Old trees, while having significant emotional and aesthetic appeal, have limited physiological capacity to adjust to an altered environment. Young trees are better able to generate new tissue and respond to change.
- **Species invasiveness**
Species that spread across a site and displace desired vegetation are not always appropriate for retention. This is particularly true when indigenous species are displaced. The California Invasive Plant Inventory Database (<http://www.cal-ipc.org/paf/>) lists species identified as being invasive. Pleasanton is part of the Central West Floristic Province. There were no species on this site found on the invasive plant inventory list.

Each tree was rated for suitability for preservation based upon its age, health, structural condition and ability to safely coexist within a development environment (see *Tree Assessment* in Exhibits and Table 2). We consider trees with high suitability for preservation to be the best candidates for preservation. We do not recommend retention of trees with poor suitability for preservation in areas where people or property will be present. Retention of trees with moderate suitability for preservation depends upon the intensity of proposed site changes.

**Table 2. Tree suitability for preservation
 3987 Stanley, Pleasanton, CA**

Common Name	Suitability for Preservation			Total
	Low	Moderate	High	
California black walnut	-	1	-	1
Crape Myrtle	1	-	-	1
Glossy privet	-	1	-	1
Italian alder	-	1	-	1
Lemon	-	-	1	1
Plum	3	-	-	3
Sweetgum	-	-	1	1
Valley oak	-	-	2	2
Windmill palm	-	-	8	8
Total	4	3	12	19

Evaluation of Impacts

In evaluating the potential impact to trees, I reviewed the Site Plans prepared by Ken McCoy dated September 15, 2018, Utility, Drainage and Grading Plans by Ken McCoy dated September 2017 were included. The proposed project would construct three new buildings, adjoining sidewalks and a driveway along the eastern portion of the property. Surveyed tree trunk locations were included on Topography Plan prepared by Pacific Land Surveys dated November 2016.

Using the proposed plans, potential impacts from construction were estimated for each tree. The most significant impact to the trees would occur as a result of the construction of building pads. Trees #2-7 are within the construction envelope of building #1. Trees #8 and 9 are within the construction envelope of building #2. These trees would not likely survive and I recommend removal. The only tree impacted by the construction of new buildings that qualifies as a *Heritage Tree* was plum tree #6.

Tree #1 was off-site in front of the house and 2' east of the driveway. The canopy extended over the property by 3' and the new driveway would be within the dripline of the tree. The driveway is to be installed 5' from the tree. The excavation for the new driveway may involve additional impacts imposed on the tree roots and the canopy.

Tree #18 was located on the eastern property line. The canopy extended over the property by 31' and the new driveway would be within the dripline of the tree. The excavation for the new driveway will involve significant impacts imposed on the tree roots as well as the canopy of the tree. This tree qualifies as a *Heritage Tree*. The latest plans indicated that a gravel driveway is

to be installed 10' to the west of the tree. The concrete driveway is 20' to the south and 20' to the west of the oak.

In order to retain the tree, I recommend the following design changes:

- No grading within 10' of the tree.
- No grass to be installed within 10' of the tree. Low drought-tolerant plants that thrive in shading conditions could be considered.
- No subsurface irrigation lines should be installed within 10' of the tree.
- The use of gravel is acceptable for the driveway, however only when used over a biaxial geogrid material as the subgrade layer below aggregate.
- The pavement section needs to be built up on top of existing grade so that no excavation occurs within the tree's root zone within the driveway area.

Trees #11-15 were located on the northern property line. All were windmill palms and outside of impacts. However, there should be no grade change within 5' of the base of the trees.

Trees #10 and 16 are outside of impacts. Tree #17 is an off-site valley oak with a canopy extending 5' onto the property. Tree #19 is an off-site walnut tree. The walnut had a canopy that extended onto the property by 9'. Care will need to be taken to prevent damage to the walnut tree canopy extending over the driveway from construction equipment.

Based on my assessment of the plan, I recommend removing eight trees. One tree (#4) was in poor condition including one of the eight trees that would be impacted by construction. One tree (#6) recommended for removal qualifies as a Heritage tree.

The following two trees need special considerations:

- Following the recommendations, including the utilization of the biaxial Geogrid under the gravel on the driveway to the west of the tree will allow for preservation of valley oak #18, which qualifies as a Heritage tree.
- Approach the neighbors about the future plans for off-site tree #1. This tree need to be protected against impacts from construction equipment and the new driveway.

Preservation is recommended for nine trees, including two off-site trees (#17 and 19). These two trees (#17 and 19) qualify as Heritage trees. Trees recommended for preservation are located along the perimeter of the site or on the edges of the building envelopes.

In summary, a total of eleven trees (#1, 10 - 18 and 19) can be retained and two are Heritage trees. One valley oak tree (#18) is a Heritage tree. Eight trees are within impacts and will need to be removed. One of the trees to be removed (#6) is a Heritage tree. Specific preservation requirements are provided in the **Tree Preservation Guidelines**.

Appraisal of Value

The City of Pleasanton requires that the value of trees to be preserved during construction be established and included as part of an **Arborist Report**. To establish the value of the trees, I employed the standard methods found in **Guide for Plant Appraisal**, 9th edition (published in 2000 by the International Society of Arboriculture, Savoy IL). In addition, I referred to **Species Classification and Group Assignment** (2004), a publication of the Western Chapter of the International Society of Arboriculture. These two documents outline the methods employed in tree appraisal.

The value of landscape trees is based upon four factors: size, species, condition and location. Size is measured as trunk diameter, normally 54" above grade. The species factor considers the adaptability and appropriateness of the plant in the East Bay. The **Species Classification and Group Assignment** lists recommended species ratings and evaluations. Condition reflects the health and structural integrity of the tree at the time of my inspection. The location factor considers the site, placement and contribution of the tree in its surrounding landscape.

Considering the four factors noted above, I established the value of the eight trees recommended for removal at \$8,200 (Table 3). The appraised value for eleven trees to be retained was \$91,850 (Table 4).

**Table 3. Appraised value of trees identified for removal
 3987 Stanley Pleasanton, CA**

Tree No.	Species	Trunk Diameter (in.)	Heritage Tree?	Appraised Value
2	Italian alder	7,8,8	No	700
3	Sweetgum	8	No	1050
4	Plum	3,3,2,2,1,1,1	No	100
5	Lemon	3,3,2,1	No	350
6	Plum	10,10	Yes	2050
7	Windmill palm	10	No	1400
8	Windmill palm	9	No	1150
9	Windmill palm	10	No	1400
				\$ 8,200

**Table 4. Appraised value of trees identified for preservation
 3987 Stanley Pleasanton, CA**

Tree No.	Species	Trunk Diameter (in.)	Heritage Tree?	Appraised Value
1	Crape myrtle	7	No	450
10	Glossy privet	3,3,3,3 2,2,1	No	100
11	Windmill palm	10	No	950
12	Windmill palm	10	No	950
13	Windmill palm	10	No	950
14	Windmill palm	10	No	950
15	Windmill palm	8	No	800
16	Plum	5,5	No	350
17	Valley oak	36	Yes	34750
18	Valley oak	38	Yes	48750
19	California black walnut	17,12	Yes	2850
				\$ 91,850

Tree Preservation Guidelines

The goal of tree preservation is not merely tree survival during development but maintenance of tree health and beauty for many years. Trees retained on sites that are either subject to extensive injury during construction or are inadequately maintained become a liability rather than an asset. The response of individual trees depends on the amount of excavation and grading, care with which demolition is undertaken, and construction methods. Coordinating any construction activity inside the **TREE PROTECTION ZONE** can minimize these impacts.

The following recommendations will help reduce impacts to trees from development and maintain and improve their health and vitality through the clearing, grading and construction phases.

Tree Protection Prior to and During Demolition

1. The construction superintendent demolition contractor shall meet with the Project Arborist before beginning work to discuss work procedures and tree protection.
2. For design purposes, the **TREE PROTECTION ZONE** for this project is defined as the dripline of any tree to be preserved. Any demolition and construction activity within this zone must be monitored by the Project Arborist.
3. In those areas close to construction including trees #11 - 15, install trunk protection devices such as winding silt sock wattling (see photo at right) or wood planks around trunks or stacking hay bales around tree trunks to the height of the lowest branch. Any low branches that are within the work zone also should be protected. Hay bales shall surround the tree as well as cover any surface roots greater than 3" diameter.
4. Maintain the existing irrigation system. If the existing irrigation system is not functional, have a temporary system installed (using soaker hoses or pvc laid on the ground and covered with mulch) as soon as possible to supply trees with water to help recovery and prepare it for impacts associated with the demolition and construction process.
5. Prune trees to be preserved to clean the crown of dead branches 1" and larger in diameter, raise canopy of tree #1, 10, 16 and 18 if needed for construction traffic as approved by the Project Arborist. Branches extending into the work area that can remain following demolition shall be tied back and protected from damage. All pruning shall be done by a State of California Licensed Tree Contractor (C61/D49) and Certified Arborist or Certified Tree Worker. Pruning shall be in accordance with the Best Management Practices for Pruning (International Society of Arboriculture, 2002) and adhere to the most recent editions of the American National Standard for Tree Care Operations (Z133.1) and Pruning (A300).
6. Trees to be removed shall be felled so as to fall away from **TREE PROTECTION ZONE** of trees to remain and avoid pulling and breaking of roots of trees to remain. If roots are entwined, the Project Arborist may require first severing the major woody root mass before extracting the trees, or grinding the stump below ground.
7. Structures and underground features to be removed within the 10' of a tree shall use equipment that will minimize damage to trees above and below ground, and operate from outside the Tree Protection Zone. Tie back branches and wrap with protective materials to protect from injury as directed by the Project Arborist. The Project Arborist shall be on-site during all operations within the Tree Protection Zone to monitor demolition activity.



- When demolition adjacent to trees is completed, install Tree Protection fencing a minimum of 5' from the trunk of each tree. Fences shall be 6 ft. chain link or equivalent as approved by the City. Fences are to remain until all grading and construction in the area is completed

Specific Tree Protection Zones

Tree No.	TPZ
10	5' N and S 5' E of fence line to W fence line
16	5' N and S 5' W of fence line to E fence line
18	10' to the W, N and S

Tree Protection during Construction

- Tree protection fences are to remain until all site work has been completed within the work area. Fences or other protection devices may not be relocated or removed without permission of the Project Arborist.
- Any approved grading, construction, demolition or other work within the **TREE PROTECTION ZONE** should be monitored by the Project Arborist.
- All contractors shall conduct operations in a manner that will prevent damage to trees to be preserved.
- Utilities may be installed by boring at least 4' below grade within the **TREE PROTECTION ZONE** of any Heritage tree to avoid excessive root injury.
- Hydrated lime to stabilize plastic soils shall not be incorporated into soil within the **TREE PROTECTION ZONE**. Lime is toxic to plant roots. Subsoil stabilization treatments must be discussed with the Project Arborist and designed to protect tree roots.
- Irrigation systems must be designed so that no trenching that severs roots larger than 1" diameter will occur within the **TREE PROTECTION ZONE**.
- Construction trailers, traffic and storage areas must remain outside **TREE PROTECTION ZONE** at all times.
- Any root pruning required for construction purposes shall receive the prior approval of and be supervised by the Project Arborist. Roots should be cut with a saw to provide a flat and smooth cut. Removal of roots larger than 2" in diameter should be avoided. If roots 2" and greater in diameter are encountered and during site work must be cut to complete the construction, the Project Arborist must be consulted to evaluate effects on the health and stability of the tree and recommend treatment.
- If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Project Arborist so that appropriate treatments can be applied.
- No excess soil, chemicals, debris, equipment or other materials shall be dumped or stored within the **TREE PROTECTION ZONE**.
- Any additional tree pruning needed for clearance during construction must be performed by a Certified Arborist and not by construction personnel.
- Trees that accumulate a sufficient quantity of dust on their leaves, limbs and trunk as judged by the Project Arborist shall be spray-washed at the direction of the Project Arborist.
- All trees shall be irrigated on a schedule to be determined by the Project Arborist (every 3 to 6 weeks during the warm season is typical). Each irrigation shall wet the soil within the **TREE PROTECTION ZONE** to a depth of 30".

Maintenance of impacted trees

Trees preserved at the Stanley site may experience a physical environment different from that of pre-development. As a result, tree health and structural stability should be monitored. Occasional pruning, fertilization, mulch, pest management, replanting and irrigation may be required.

Summary

You are planning to construct three residential buildings on the property. Four trees are considered to be Heritage as defined by the City of Pleasanton. I recommend that eight trees be removed, one of which is in poor condition. I recommend preservation of nine, including two off-site trees.

Tree #18 can be retained with the recommendations for the design change, including no turf or grade change within 10' of the tree. Tree #1 is an off-site tree and approaching the neighbor is recommended. Two trees are located on the east portion of the yard, adjacent to the proposed driveway. Tree vigor and overall structure of tree #1 was fair and tree #18 was good. At its closest point, the footprint will be within the trunk. Impacts from the project to the tree will come primarily from excavation for the driveway foundation. The driveway will impact crape myrtle (#1). I established the appraised value of these two trees as \$49200. Preliminary **Tree Preservation Guidelines** are provided.

Please contact me with any questions. I look forward to hearing from you.

Sincerely,



Maryellen Bell
ISA Certified Arborist WE-5643A

Attached: **Tree Assessment Map**
 Tree Assessment Form
 Tree Appraisal

Tree Assessment Plan

3987 Stanley Blvd.
Pleasanton, CA

Prepared for:
Sarvanna Chilla
Pleasanton, CA

November 2018



No Scale

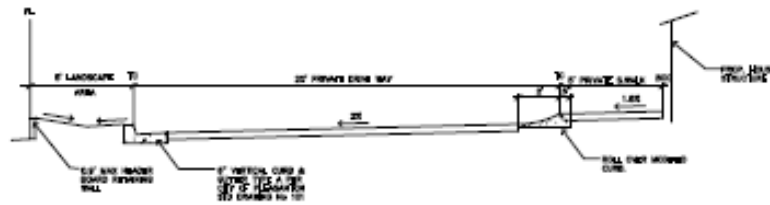
Tree Protection Zone

Notes:

Base map provided by:
Ken McCoy
Modesto, CA

Numbered tree locations are approximate

Tree numbers 17 & 19 are off-site and not tagged.



DRIVE WAY CROSS SECTION

SCALE: 1" = 3'

1

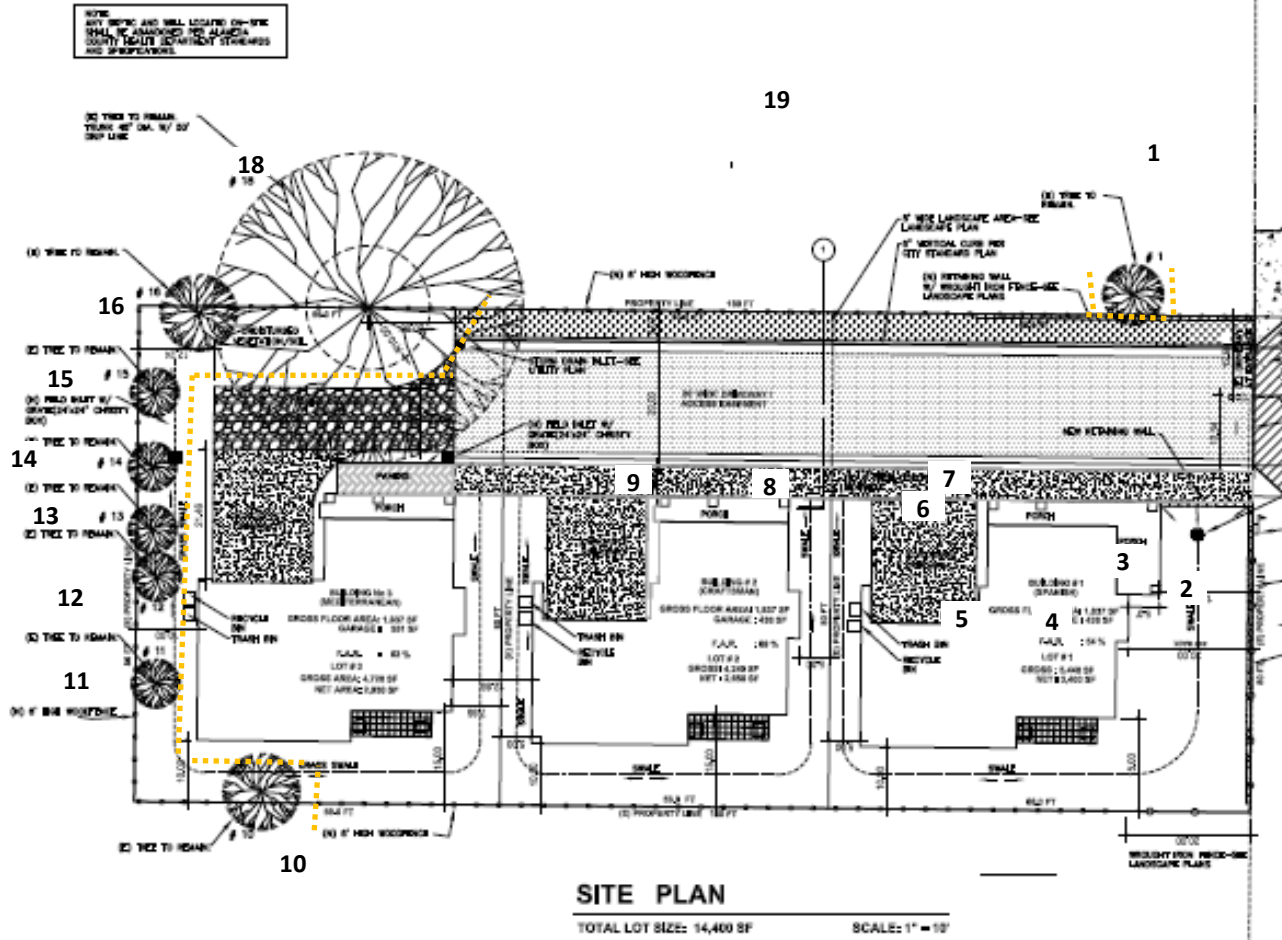
SITE ANALYSIS:

8" VERT. CURB & GUTTER	274 SF
DRIVE CURB CURB	228 SF
AC PAVEMENT	2112 SF
8" VERT. SIDEWALK	668 SF
GRAVEL DRIVEWAY	471 SF
PAVER SIDEWALK	96 SF
GARAGE DRIVEWAY	1,021 SF
GREEN AREA	5,826 SF

17

19

1



SITE PLAN

TOTAL LOT SIZE: 14,400 SF

SCALE: 1" = 10'



325 Ray Street
Pleasanton, California 94566
Phone 925.484.0211
Fax 925.484.0596

Tree Assessment

3987 Stanley
Pleasanton, CA
December 13, 2016



Tree No.	Species	Trunk Diameter (in.)	Heritage Tree?	Condition 1=poor 5=excellent	Suitability for Preservation	Comments
1	Crape myrtle	7	No	3	Low	Off-site tree; several harsh pruning cuts in top of canopy; canopy extended over fence 3'.
2	Italian alder	7,8,8	No	3	Moderate	Multiple trunks arise from base; trunk located 11' from utility lines.
3	Sweetgum	8	No	4	High	Tall, narrow crown; good form and structure.
4	Plum	3,3,2,2,1,1, 1	No	2	Low	Multiple trunks arise from base.
5	Lemon	3,3,2,1	No	4	High	Multiple trunks arise from 3'; good form and structure; good color.
6	Plum	10,10,10	Yes	3	Low	Codominant trunks arise from 2' and 3'; heading back cuts at top of canopy.
7	Windmill palm	10	No	4	High	15' brown trunk.
8	Windmill palm	9	No	4	High	Growing up thru cut out to in shed roof; 25' brown trunk.
9	Windmill palm	10	No	4	High	Growing in raised planter; 25' brown trunk.
10	Glossy privet	3,3,3,3 2,2,1	No	3	Moderate	Multiple trunks arise from base; one branch decay at 6'; metal fence post embedded in N trunk.
11	Windmill palm	10	No	4	High	20' brown trunk.
12	Windmill palm	10	No	4	High	25' brown trunk.
13	Windmill palm	10	No	4	High	25' brown trunk.
14	Windmill palm	10	No	4	High	20' brown trunk.
15	Windmill palm	8	No	4	High	25' brown trunk.
16	Plum	5,5	No	3	Low	Poor form and structure; leans N; codominant trunks arise from 4'.
17	Valley oak	36	Yes	4	High	Off-site; tag on fence; canopy hangs over 5'.

Tree Assessment

3987 Stanley
Pleasanton, CA
December 13, 2016



Tree No.	Species	Trunk Diameter (in.)	Heritage Tree?	Condition 1=poor 5=excellent	Suitability for Preservation	Comments
18	Valley oak	38	Yes	5	High	Growing on property line; fence built on either side of tree; codominant trunks arise from 7' and 8'; broad spreading in crown; good form and structure; 32' to W; 31' N; 32' to S.
19	California black walnut	17,12	Yes	3	Moderate	Off-site tree; tag on fence; codominant trunks arise from 3'; canopy extends to W on to property 9'.

Tree Appraisal

Tree No.	Species	Trunk Diameter (in.)	Heritage Tree?	Appraised Value
1	Crape Myrtle	7	No	\$ 450.00
2	Italian alder	7,8,8	No	\$ 700.00
3	Sweetgum	8	No	\$ 1,050.00
4	Plum	3,3,2,2,1,1,1	No	\$ 100.00
5	Lemon	3,3,2,1	No	\$ 350.00
6	Plum	10,10	Yes	\$ 2,050.00
7	Windmill palm	10	No	\$ 1,400.00
8	Windmill palm	9	No	\$ 1,150.00
9	Windmill palm	10	No	\$ 1,400.00
10	Glossy privet	3,3,3,3 2,2,1	No	\$ 100.00
11	Windmill palm	10	No	\$ 950.00
12	Windmill palm	10	No	\$ 950.00
13	Windmill palm	10	No	\$ 950.00
14	Windmill palm	10	No	\$ 950.00
15	Windmill palm	8	No	\$ 800.00
16	Plum	5,5	No	\$ 350.00
17	Valley oak	36	Yes	\$ 34,750.00
18	Valley oak	38	Yes	\$ 48,750.00
19	California black walnut	17,12	No	\$ 2,850.00
	Total			\$ 100,050.00

3987 Stanley

Pleasanton, CA

Environmental Noise Assessment

4 March 2017 (revised 4 August 2017)

Prepared for:

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CSA Project Number: 17-0125

INTRODUCTION

This report summarizes our environmental noise study for 3987 Stanley Drive, a single family home development in Pleasanton. The purpose of the study was to quantify the noise environment at the proposed site, compare it with applicable City and State noise standards, and propose noise attenuation measures where necessary to comply with these standards. For those readers unfamiliar with environmental acoustics, Appendix A has been included at the end of this report for further explanation.

CRITERIA

Pleasanton General Plan

The applicable acoustical criteria are contained within Policy 1 and 3 of Chapter 11: Noise Element in the Pleasanton General Plan 2025 and the California Building Code.

Policy 1:	Require new projects to meet acceptable exterior noise level standards.
Program 1.1:	Use the normally acceptable designation and text description contained in Table 11-5 “Noise and Land-Use Compatibility Guidelines,” to determine the acceptability of new development and to determine when noise studies are required. For new single-family residential development, maintain a maximum day/night average noise level standard of 60 dBA L_{dn} for exterior noise in private or shared outdoor use areas excluding front yards. For new multi-family residential development, maintain a maximum standard of 65 dBA L_{dn} in community outdoor recreation areas (or 60 dBA L_{dn} when the outdoor noise is due to aircraft). Noise standards are not applied to balconies or front yards. In the Downtown, the City Council will evaluate the requirement to achieve these standards on a case-by-case basis.
Program 1.2:	Where high noise levels are the result of railroad trains, an exterior noise level of up to 70 dBA L_{dn} would be considered compatible with most residential development recognizing that day-night average noise levels are controlled by intermittent, loud events. Vibration-sensitive land uses located near the Union Pacific Railroad tracks should demonstrate compatibility with the Federal Transit Administration’s vibration impact criteria by completing site-specific vibration analyses.
Program 3.2:	Require noise-attenuation measures when necessary to ensure that interior noise levels for new single- and multi-family residences do not exceed 45 dBA L_{dn} . Interior noise levels shall not exceed 45 dBA L_{dn} in any new residential units (single and multi family). Development sites exposed to noise levels exceeding 60 dBA L_{dn} shall be analyzed following protocols in Appendix Chapter 12, Section 1208, A, Sound Transmission Control, 2001 (current) <i>California Building Code</i> , Section 1207.
Program 3.3:	New residential development affected by noise from railroad trains and aircraft shall be designed to limit typical maximum instantaneous noise levels to 50 dBA in bedrooms and 55 dBA in other rooms.

California Building Code 2016

Section 104.7 – Allowable interior noise levels. Interior noise levels attributable to exterior sources shall not exceed 45 dB in any habitable room. The metric shall be either the day-night average noise level (L_{dn}) or the community noise equivalent level (CNEL), consistent with the noise element of the local general plan.

Federal Transit Administration

Chapter 9 of the FTA Handbook describes a preliminary screening process to determine the likelihood that a new transit project would cause a vibration disturbance to adjacent land uses. This same screening process may be applied to determine the critical distances in which existing transit vibration sources may be an issue for new sensitive land uses.

The proposed residential project is categorized as Type 2 per Chapter 9 of the FTA handbook. At this distance, the minimum critical distance is 200 feet from any rail line. For any Type 2 project within 200 feet of a rail line, FTA would advise further investigative study to determine any potential impacts from rail and transit. The proposed Stanley housing development is almost 500 feet from the nearest rail line. At

this distance, this project is significantly beyond the maximum FTA screening distance and would be categorized as “no vibration impact likely.” Per the FTA, no further study would be required.

NOISE ENVIRONMENT

Background Noise Levels

To quantify the existing noise environment, we conducted one long-term 72-hour measurement (LT) between 24 and 27 February 2017. Figure 1 below shows the approximate location of this measurement.

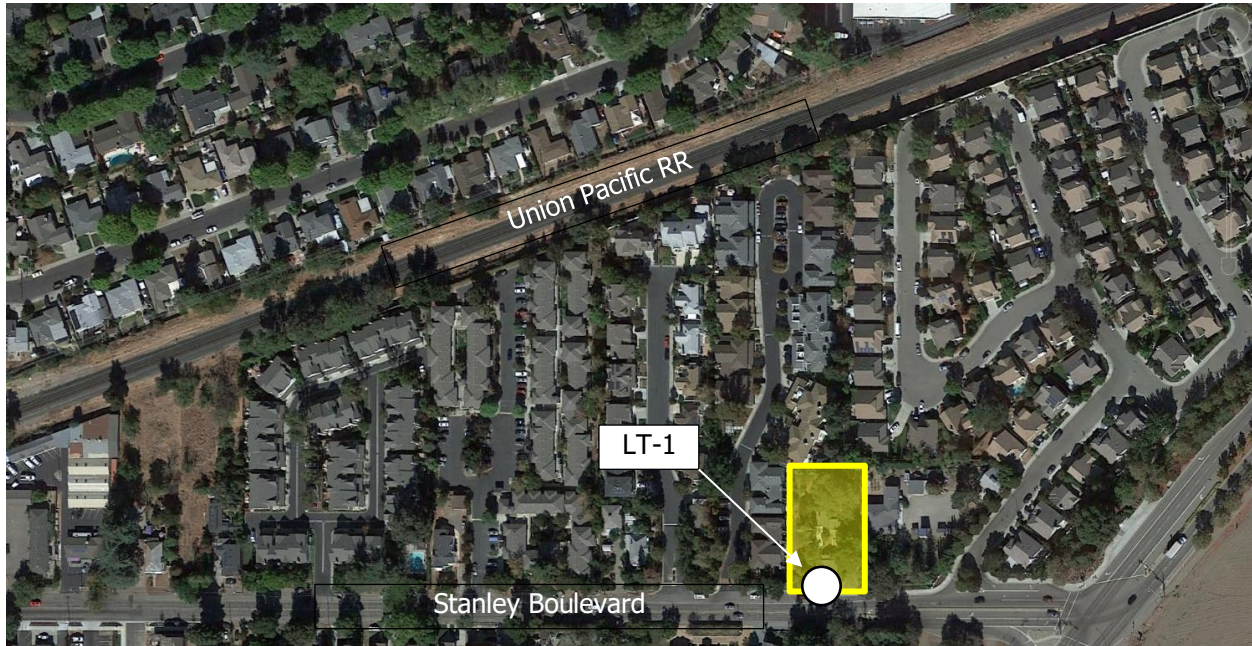


Figure 1: Noise Measurement Location

A Rion NL-52 Sound level meter was hung from a tree at a height of about 12 feet above grade 35 feet north of the centerline of Stanley Boulevard. The primary noise source is local traffic on Stanley Boulevard. The site is also exposed to loud single event noise from train activity along the Union Pacific rail line, which is approximately 550 feet north of the project site.

Site	Location	Start Date and Time/Duration	Future L _{dn} (dB)
LT-1	35 feet from centerline of Stanley Boulevard	14 July 2014, 2:00 p.m. 48 Hours	62

In addition to monitoring the average sound levels at the project site, the equipment also recorded single event noise from rail activity along the Union Pacific Railroad. In the 72-hour measurement period the meter logged seven train events, two of which occurred in the evening hours (i.e. between 10:00p.m. and 7:00 a.m.). Maximum noise levels ranged between 78 to 84 dB.

RECOMMENDATIONS

1. Single event noise from trains will limit the minimum STC¹ window rating because of the volume of noise generated by train horns. To reduce single event noise from trains, it will be necessary for all windows to be sound rated to meet the interior L_{max} of 50 dB in bedrooms and 55 dB in other living spaces. This report provides preliminary STC ratings based on assumed window sizes. Final window size and STC rating should be verified once the design is finalized.
 - a. Assuming a standard 3-coat stucco exterior assembly and 40% glazing in each room, bedroom windows will need to be minimum STC 37 glazing (which incorporates a laminated glass pane). Note window STC ratings are inclusive of the window frame. The STC of the glazing alone is insufficient as framing can significantly degrade the overall acoustic performance of the window assembly.
 - b. Assuming a standard 3-coat stucco exterior assembly and 40% glazing in each room, other living space windows will need to be minimum STC 32 glazing.
2. Noise levels at the project site exceed the L_{dn} 60 dB guideline. To construct a residential project in this noise environment, it will be necessary for all windows to be sound-rated to meet an interior L_{dn} of 45 dB.
 - a. The STC rating to achieve the single event noise criteria in habitable rooms will meet the STC requirements to meet the interior L_{dn} of 45 dB.
3. The exterior noise level of L_{dn} 62 dB was measured 12 feet above the ground. For future residents in backyard recreation areas, the receiver elevation is reduced by 6 feet. The future homes should include solid fencing at least 6 feet high at each backyard. This fencing should reduce the outdoor noise to comply with the L_{dn} 60 dB criteria.

¹ Sound Transmission Class (STC) – A single-number rating standardized by ASTM and used to rate the sound insulation properties of partitions. The STC rating is derived from laboratory measurements of a building element and as such is representative of the maximum sound insulation. Increasing STC ratings correspond to improved airborne noise isolation.

APPENDIX A – FUNDAMENTAL CONCEPTS OF ENVIRONMENTAL NOISE

This section provides background information to aid in understanding the technical aspects of this report.

Three dimensions of environmental noise are important in determining subjective response. These are as follows:

1. a) The intensity or level of the sound;
2. b) The frequency spectrum of the sound; and
3. c) The time-varying character of the sound.

Airborne sound is a rapid fluctuation of air pressure above and below atmospheric pressure. Sound levels are usually measured and expressed in decibels (dB), with 0 dB corresponding roughly to the threshold of hearing.

The "frequency" of a sound refers to the number of complete pressure fluctuations per second in the sound. The unit of measurement is the cycle per second (cps) or hertz (Hz). Most of the sounds which we hear in the environment do not consist of a single frequency, but of a broad band of frequencies, differing in level. The name of the frequency and level content of a sound is its sound spectrum. A sound spectrum for engineering purposes is typically described in terms of octave bands which separate the audible frequency range (for human beings, from about 20 to 20,000 Hz) into ten segments.

Many rating methods have been devised to permit comparisons of sounds having quite different spectra. Surprisingly, the simplest method correlates with human response practically as well as the more complex methods. This method consists of evaluating all of the frequencies of a sound in accordance with a weighting that progressively de-emphasizes the importance of frequency components below 1000 Hz and above 5000 Hz. This frequency weighting reflects the fact that human hearing is less sensitive at low frequencies and at extreme high frequencies relative to the mid-range.

The weighting system described above is called "A"-weighting, and the level so measured is called the "A-weighted sound level" or "A-weighted noise level." The unit of A-weighted sound level is sometimes abbreviated "dBA." In practice, the sound level is conveniently measured using a sound level meter that includes an electrical filter corresponding to the A-weighting characteristic. All U.S. and international standard sound level meters include such a filter. Typical sound levels found in the environment and in industry are shown in Figure A-1.

Although a single sound level value may adequately describe environmental noise at any instant in time, community noise levels vary continuously. Most environmental noise is a conglomeration of distant noise sources which results in a relatively steady background noise having no identifiable source. These distant sources may include traffic, wind in trees, industrial activities, etc. and are relatively constant from moment to moment. As natural forces change or as human activity follows its daily cycle, the sound level may vary slowly from hour to hour. Superimposed on this slowly varying background is a succession of identifiable noisy events of brief duration. These may include nearby activities such as single vehicle passbys, aircraft flyovers, etc. which cause the environmental noise level to vary from instant to instant.

To describe the time-varying character of environmental noise, statistical noise descriptors were developed. "L10" is the A-weighted sound level equaled or exceeded during 10 percent of a stated time period. The L10 is considered a good measure of the maximum sound levels caused by discrete noise events. "L50" is the A-weighted sound level that is equaled or exceeded 50 percent of a stated time period; it represents the median sound level. The "L90" is the A-weighted sound level equaled or exceeded during 90 percent of a stated time period and is used to describe the background noise.

As it is often cumbersome to quantify the noise environment with a set of statistical descriptors, a single number called the average sound level or "Leq" is now widely used. The term "Leq" originated from the concept of a so-called equivalent sound level which contains the same acoustical energy as a varying sound level during the same time period. In simple but accurate technical language, the Leq is the average A-weighted sound level in a stated time period. The Leq is particularly useful in describing the subjective change in an environment where the source of noise remains the same but there is change in the level of activity. Widening roads and/or increasing traffic are examples of this kind of situation.

In determining the daily measure of environmental noise, it is important to account for the different response of people to daytime and nighttime noise. During the nighttime, exterior background noise levels are generally lower than in the daytime; however, most household noise also decreases at night, thus exterior noise intrusions again become noticeable. Further, most people trying to sleep at night are more sensitive to noise.

To account for human sensitivity to nighttime noise levels, a special descriptor was developed. The descriptor is called the L_{dn} (Day/Night Average Sound Level) which represents the 24-hour average sound level with a penalty for noise occurring at night.

The L_{dn} computation divides the 24-hour day into two periods: daytime (7:00 am to 10:00 pm); and nighttime (10:00 pm to 7:00 am). The nighttime sound levels are assigned a 10 dB penalty prior to averaging with daytime hourly sound levels. For highway noise environments, the average noise level during the peak hour traffic volume is approximately equal to the L_{dn} .

The effects of noise on people can be listed in three general categories:

1. Subjective effects of annoyance, nuisance, dissatisfaction;
2. Interference with activities such as speech, sleep, and learning; and
3. Physiological effects such as startle, hearing loss.

The sound levels associated with environmental noise usually produce effects only in the first two categories. Unfortunately, there has never been a completely predictable measure for the subjective effects of noise nor of the corresponding reactions of annoyance and dissatisfaction. This is primarily because of the wide variation in individual thresholds of annoyance and habituation to noise over time.

Thus, an important factor in assessing a person's subjective reaction is to compare the new noise environment to the existing noise environment. In general, the more a new noise exceeds the existing, the less acceptable the new noise will be judged.

With regard to increases in noise level, knowledge of the following relationships will be helpful in understanding the quantitative sections of this report:

4. Except in carefully controlled laboratory experiments, a change of only 1 dB in sound level cannot be perceived.
5. Outside of the laboratory, a 3 dB change is considered a just-noticeable difference.
6. A change in level of at least 5 dB is required before any noticeable change in community response would be expected.
7. A 10 dB change is subjectively heard as approximately a doubling in loudness, and would almost certainly cause an adverse community response.