

# EXHIBIT B

## NARRATIVE FOR CONDITIONAL USE PERMIT / DEVELOPMENT REVIEW

EMPIRE MONTESSORI PRESCHOOL P19-0048 (CUP) / P19-0049 (DR)

5950 Stoneridge Drive, Pleasanton

RECEIVED

February 25, 2019

CITY OF PLEASANTON  
PLANNING DIVISION

### 1. INTRODUCTION

The subject property, 5950 Stoneridge Drive, Pleasanton (**BLDG-1**), is one of two buildings of what is known as the Dutra Plaza. Dutra Plaza is on a 2+ acre parcel of land at the intersection of Chabot and Stoneridge Drive. The subject property has Extended Stay America Suites as a neighbor towards its South, Crossroads Shopping Center across from Chabot Drive towards its West and Stoneridge Drive towards its North. Chabot Canal flows all along the Southern perimeter. There are no residential neighbors.

Pleasanton Bilingual Montessori, which will be a sister school, is located at 5724 West Las Positas and was approved to operate a preschool for 156 children in November 2012 by the City of Pleasanton. It has served a diverse community while maintaining a good standing with the city since they opened for business in February 2014. Due to the popularity of our programs we are completely sold out for the current year, have a long waiting list, and are only entertaining applications for 2019. Pleasanton Bilingual Montessori intends to address the growing need of the diverse population of the city by opening a second preschool by the name of Empire Montessori Preschool at the subject location.

The purpose of this document is to provide all information required by the city and Hacienda Owners Association for approval of a Conditional Use Permit (CUP) and a Site Development Review for operating a preschool at the subject location.

### 2. BUILDING DETAILS

Dutra Plaza consists of two (2) two-story structures with elevators and has approximately 7,000 Square Feet space on each floor. Both buildings, built in 1993, are zoned PUD-I/C-O. The subject building is vacant and available for rent as of this writing while 5960 Stoneridge Drive (BLDG-2) is occupied as an office. The Plaza has a total of 113 dedicated parking stalls for its use surrounding 3 sides of the building.

Empire Montessori Preschool intends to occupy **BLDG-1** and share the parking with BLDG-2. Attached is a Site Plan with the proposed area to be occupied by the preschool highlighted in grey.

Empire Montessori Preschool plans to utilize the first floor of the building for a preschool program while the second floor will be utilized as Administrative offices for the preschool and be accessible to adults only. Each floor will have independent and separate entrances. **Kids will not have access to the 2<sup>nd</sup> Floor.** The outside play area for the children will be wrapped around the building facing Stoneridge and Chabot Drives, as shown on the attached Site Plan.

There are currently two restroom cores in the building, one on each floor. Smaller restrooms are planned to be built within the classrooms for children's use on the first floor. The planned layout of the Floor Plan is attached.

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**3. ABOUT US - THE PROPOSED TENANT**

We specialize in providing bilingual services for preschool children and operate similar successful preschool bilingual programs in 5 other locations in and around the Bay Area, including the one at 5724 West Las Positas Boulevard in Pleasanton. As with all the other preschools operated by us, this preschool will be licensed by Community Care Licensing which is the state regulatory agency for childcare services.

The population of Tri-valley and surrounding cities is growing and this preschool will provide the much-needed service of bilingual education. Many parents in the tri-valley drive their children to Fremont for such services and would welcome such a service in Pleasanton.

**4. BUILDING USEAGE**

Both floors of the building are proposed to be rented by Empire Montessori Preschool. The first floor will be used as a preschool and the second floor will remain as an office use.

**FIRST FLOOR (PRESCHOOL USE)**

- Lobby for reception and registration
- Six preschool classrooms
- Bathrooms for children within the classrooms
- Staff bathrooms

**SECOND FLOOR (PRESCHOOL ADMIN OFFICE USE)**

- Office and conference room space
- Adult bathrooms

**5. PLAY STRUCTURE VISIBILITY**

The outside play area for the children will be enclosed with a decorative tubular black metal fence. The applicant is acutely aware of the City's desire to keep colorful play structures associated with preschool play areas obscured from streets. The applicant's remedies shall include, but not limited to, the following.

- Use of landscaping. The two streets that the play structure could be visible from are Stoneridge and Chabot Drives. Both streets have 3 ft – 3.5 ft of existing berms and 2 ft – 2.5 ft of landscaping hedges. Using the planting guidelines of Hacienda Owners Association, hedges and new tall plants will be used to obscure the play structure from being visible from the streets.

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- Use of a low-height 6 feet tall play structure. This will further reduce the possibility of the play structure being visible from the streets. The metal fence surrounding the play area is 6 ft high.
- The play structure selected shall be of muted natural colors that would blend with the surrounding landscaping.

**OPERATIONAL PLAN**

**6. CAPACITIES**

**Preschool (First Floor)**

The preschool is requesting a maximum capacity of 120 children of 18 months to 5 years of age with the following breakdown:

|   |     |
|---|-----|
| (i) Children between 18 and 24 months = | 20  |
| (ii) Children between 2 and 5 years =   | 100 |
| Total capacity =                        | 120 |

**7. HOURS OF OPERATION**

**Preschool**

The preschool will operate Monday through Friday, excluding holidays. The preschool will offer the following programs. The drop-off times for these programs will vary between 7:30AM and 9:30AM.

|  |                                   |
|--|-----------------------------------|
| (i) School-day program (7:30 AM – 3:00 PM):    | Pick-up time – 3:00 PM            |
| (ii) Full-day program (8:30 AM – 6:30 PM):     | Pick-up time – 6:15 PM to 6:30 PM |
| (iii) Half-day program (9:30 AM – 12:00 Noon): | Pick-up time – 12:00 Noon         |

Each program is expected to have one-third of the full capacity of children, i.e., 40 children.

The staggered pick-up and drop-off times will make a minimum impact on parking and traffic.

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**8. PRESCHOOL PLANNED ACTIVITIES**

The following table shows the planned activities for the preschool (Monday – Friday).

|                                       | <b>Childcare Room #1</b> | <b>Childcare Room #2</b> | <b>Childcare Room #3</b> | <b>Childcare Room #4</b> | <b>Childcare Room #5</b> | <b>Childcare Room #6</b> |
|---------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| <b>Usage</b>                          | Pre-school               | Pre-school               | Pre-school               | Pre-school               | Pre-school               | Pre-school               |
| <b>Dimensions</b>                     | 21'-9"x57'-9"            | 21'-9"x57'-9"            | 19'x25'-10"              | 34'-10"x30'-3"           | 34-10'x30'               | 60'-3"x2'-10"            |
| <b>Occupancy</b>                      | 20                       | 20                       | 20                       | 20                       | 20                       | 20                       |
| <b>Area</b>                           | 840 SF                   | 819 SF                   | 543 SF                   | 860 SF                   | 860 SF                   | 860 SF                   |
| <b>Days of Use</b>                    | Mon - Fri                | Mon - Fri                | Mon - Fri                | Mon - Fri                | Mon - Fri                | Mon - Fri                |
| <b>Student-Teacher Ratio</b>          | 1:12                     | 1:12                     | 1:12                     | 1:12                     | 1:12                     | 1:12                     |
| <b>Hours of Use</b>                   | 7:30AM – 6:30PM          | 7:30AM – 6:30PM          | 7:30AM – 6:30PM          | 7:30AM – 6:30PM          | 7:30AM – 6:30PM          | 7:30AM – 6:30PM          |
| <b>Drop-off</b>                       | 7:30AM – 9AM             | 7:30AM – 9AM             | 7:30AM – 9AM             | 7:30AM – 9AM             | 7:30AM – 9AM             | 7:30AM – 9AM             |
| <b>Morning Greeting</b>               | 7:30AM – 9AM             | 7:30AM – 9AM             | 7:30AM – 9AM             | 7:30AM – 9AM             | 7:30AM – 9AM             | 7:30AM – 9AM             |
| <b>Morning Circle Time</b>            | 9AM-9:30AM               | 9AM-9:30AM               | 9AM-9:30AM               | 9AM-9:30AM               | 9AM-9:30AM               | 9AM-9:30AM               |
| <b>Montessori Work</b>                | 9:30AM-11AM              | 9:30AM-11AM              | 9:30AM-11AM              | 9:30AM-10:30 AM          | 9:30AM-11AM              | 9:30AM-11AM              |
| <b>Outdoors Time</b>                  | 11AM-12Noon              | 11AM-12Noon              | 11AM-12Noon              | 11AM – 12Noon            | 11AM-12Noon              | 11AM-12Noon              |
| <b>Half Day Pickup</b>                | 12 Noon – 12:30PM        | 12 Noon – 12:30PM        | 12 Noon – 12:30PM        | 12 Noon – 12:30PM        | 12 Noon – 12:30PM        | 12 Noon – 12:30PM        |
| <b>Lunch &amp; Nap</b>                | 12 Noon – 3PM            | 12 Noon – 3PM)           | 12 Noon – 3PM)           | 12 Noon – 3PM)           | 12 Noon – 3PM)           | 12 Noon – 3PM            |
| <b>School Day Pickup</b>              | 3PM – 3:30PM             | 3PM – 3:30PM             | 3PM – 3:30PM             | 3PM – 3:30PM             | 3PM – 3:30PM             | 3PM – 3:30PM             |
| <b>Snack &amp; Montessori Summers</b> | 3PM – 5PM                | 3PM – 5PM                | 3PM – 5PM                | 3PM – 5PM                | 3PM – 5PM                | 3PM – 5PM                |
| <b>Outdoors Summers</b>               | 5PM – 6PM                | 5PM—6PM                  | 5PM – 6PM                | 5PM – 6PM                | 5PM – 6PM                | 5PM – 6PM                |
| <b>Outdoors - Winters</b>             | 3PM – 4PM                | 3PM – 4PM                | 3PM – 4PM                | 3PM – 4PM                | 3PM – 4PM                | 3PM-4PM                  |
| <b>Snack &amp; Montessori Winters</b> | 4PM – 6PM                | 4PM – 6PM                | 4PM – 6PM                | 4PM – 6PM                | 4PM – 6PM                | 4PM – 6PM                |
| <b>Full Day Pickup</b>                | 6:15PM – 6:30PM          | 6:15PM – 6:30PM          | 6:15PM – 6:30PM          | 6:15PM – 6:30PM          | 6:15PM – 6:30PM          | 6:15PM – 6:30PM          |

Note: The outside play-time for the children will be adjusted according to daylight hours between summer and winter such that the total outside play time for the children remains the same.

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**9. PRESCHOOL PICKUP / DROP-OFF POLICY**

The Preschool will follow this pickup and drop-off policy:

All children will be dropped-off and picked up by an authorized parent/guardian only. The entrance to the school will have an electronic security system, which can be opened by an electronic card key issued to each parent/guardian. The drop-off requires the following 3 steps:

- a. Park his/her car and walk the child to the entry door to the lobby
- b. Open the door with the card key to enter the lobby
- c. Check-in the child electronically on a computer in the lobby and depart

The process is quite streamlined for quick drop-offs and pickups and on an average takes about 2 minutes.

**10. PRESCHOOL SPACE REQUIREMENT**

Community Care Licensing, the State regulatory agency that licenses preschools, and the City require 35 Square Feet of classroom space per student and access to an open play area for the preschool children. The play area requirement is 75 Square Feet per child, excluding infants and toddlers.

**Preschool Classrooms:**

|  |          |
|--|----------|
| Permit application (Number of children) =                            | 120      |
| Minimum classroom space requirement for 120 children (35 SF/child) = | 4,200 SF |
| Net space of 6 preschool classrooms provided =                       | 4,782 SF |

**Hence the classroom space exceeds the minimum requirement.**

**Outside Play area:**

|   |          |
|---|----------|
| Outside play area provided =  | 4,217 SF |
| Number of children in the play area at any one time (75 SF/child) = | 56       |

**The play-time for 120 children will be staggered so that the maximum number of children in the play area do not exceed 56.**

**11. PARKING ANALYSIS**

Dutra Plaza has a total of 113 parking stalls. The following analysis shows that the parking stalls available are more than sufficient for the proposed uses.

|                              |            |
|------------------------------|------------|
| Standard car stalls          | 67 (59.3%) |
| Compact car stalls           | 42 (37.2%) |
| ADA Cars                     | 4 (3%)     |
| Preferential Parking stalls  | 6          |
| EV Charging stations         | 2          |
| Bike Racks (Total bikes – 8) | 4          |

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**BLDG-1 & 2 COMBINED**

|   |        |
|---|--------|
| Gross Square Footage of BLDG-1 and BLDG-2 | 28,027 |
| Total parking available at Dutra Plaza    | 113    |
| Required parking @ 3.33 cars/1000 SF      | 93     |
| Excess parking stalls                     | 20     |

**PARKING FOR BLDG-2 (OFFICE USE)**

|                                      |        |
|--------------------------------------|--------|
| Gross Square Footage of BLDG-2       | 13,571 |
| Required parking @ 3.33 cars/1000 SF | 45     |

**PARKING FOR BLDG-1 (PRESCHOOL & OFFICE USE)**

|                              |                 |
|------------------------------|-----------------|
| Parking available for BLDG-1 | (113 – 45) = 68 |
|------------------------------|-----------------|

**PARKING FOR BLDG-1 (SECOND FLOOR – OFFICE USE)**

|  |       |
|--|-------|
| Gross Square Footage of BLDG-1, Second Floor | 7,228 |
| Required parking @ 3.33 cars/1000 SF         | 24    |

Since Empire Montessori Preschool is leasing all of BLDG-1 (both first and second floor), the parking requirement for the Second Floor will always be restricted to 24 Parking stalls.

**PARKING FOR BLDG-1 (PRESCHOOL)**

|   |                      |
|---|----------------------|
| Parking stalls available for Preschool                        | (113 – 45 - 24) = 44 |
| Employee parking  | 18                   |
| Parking stalls available for circulation (Pick-up / Drop/off) | 44 – 18 = 26         |

The following table summarizes the maximum number of cars at the facility at any one time during the day. The analysis was done keeping in view the following:

|                     |                   |
|---------------------|-------------------|
| Preschool Capacity: | 120               |
| Staff:              | 18                |
| Hours of Operation: | 7:30 AM – 6:30 PM |

The check-in and check-out times shown in the Parking Analysis table below are based on a check-in / check-out log from the sister school, Pleasanton Bilingual Montessori Preschool, which had an enrollment of 108 children on that day (see Appendix C). Since the capacity of the new proposed preschool is 120, the additional 12 children were added evenly.

The check-in / check-out log referenced above is attached as Attachment 1. The log shows that students are dropped off at different times and are processed efficiently. For our analysis, we have allocated 5 minutes for each pickup / drop-off. Our observation at Pleasanton Bilingual Montessori Preschool has been that the use of stalls for pick-up and drop-off (circulation) do not exceed 15.

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**PARKING ANALYSIS**

| TIME WINDOW      | PRESCHOOL<br>(FIRST FLOOR) |          | ACTIVITY  | MAX<br>STALLS IN<br>USE | MAX STALLS<br>AVAILABLE |
|------------------|----------------------------|----------|-----------|-------------------------|-------------------------|
|                  | STAFF                      | STUDENTS |           |                         |                         |
| 7:00 – 7:30 AM   | 2                          | 0        | Check-in  | 2                       | 44                      |
| 7:30 – 8:00 AM   | 2                          | 4        | Check-in  | 8                       | 44                      |
| 8:00 – 8:30 AM   | 6                          | 6        | Check-in  | 11                      | 44                      |
| 8:30 – 9:00 AM   | 8                          | 18       | Check-in  | 22                      | 44                      |
| 9:00 – 9:30 AM   | 0                          | 36       | Check-in  | 26                      | 44                      |
| 9:30 – 10:00 AM  | 0                          | 38       | Check-in  | 26                      | 44                      |
| 10:00 – 10:30 AM | 0                          | 13       | Check-in  | 21                      | 44                      |
| 10:30 – 11:00 AM | 0                          | 5        | Check-in  | 19                      | 44                      |
| 11:00 – 11:30 AM | 0                          | 0        | No Change | 18                      | 44                      |
| 11:30 – 12:00 N  | 0                          | 0        | No Change | 18                      | 44                      |
| 12:00 – 12:30 PM | (-2)                       | (-16)    | Check-out | 20                      | 44                      |
| 12:30 – 1:00 PM  | (-1)                       | (-10)    | Check-out | 17                      | 44                      |
| 1:00 – 1:30 PM   | 0                          | 0        | Check-out | 15                      | 44                      |
| 1:30 – 2:00 PM   | 0                          | 0        | Check-out | 15                      | 44                      |
| 2:00 – 2:30 PM   | 0                          | 0        | Check-out | 15                      | 44                      |
| 2:30 – 3:00 PM   | 0                          | 0        | Check-out | 15                      | 44                      |
| 3:00 – 3:30 PM   | 0                          | 0        | Check-out | 15                      | 44                      |
| 3:30 – 4:00 PM   | (-2)                       | (-20)    | Check-out | 17                      | 44                      |
| 4:00 – 4:30 PM   | 0                          | (-8)     | Check-out | 15                      | 44                      |
| 4:30 – 5:00 PM   | 0                          | (-6)     | Check-out | 15                      | 44                      |
| 5:00 – 5:30 PM   | 0                          | (-8)     | Check-out | 15                      | 44                      |
| 5:30 – 6:00 PM   | (-1)                       | (-14)    | Check-out | 15                      | 44                      |
| 6:00 – 6:30 PM   | (-12)                      | (-38)    | Check-out | 20                      | 44                      |
|                  |                            |          |           |                         |                         |

**The analysis shows that the 44 available stalls for the Preschool are more than sufficient as the maximum stalls used by Staff and for Pickup / Drop-off does not exceed 26. There are 18 extra stalls available in case a high number of parents show up simultaneously for Pickup or Drop-off.**

**12. CO-EXISTENCE WITH EXISTING TENANTS**

The existing tenants in Building 2 generally use the driveway on Chabot Drive for entrance and exit and park in the section opposite their building as well as the section opposite the Extended Stay America Suites towards the south. The preschool parents would enter the parking lot from Stoneridge Drive as it is closest to the preschool entrance. This would form a natural flow of traffic for Dutra Plaza.

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While this would generally be the pattern that would develop because of the proximity of the entrances to their respective buildings, there should not be any need to designate and enforce any change in the entrance or exits for the occupants of the two buildings. There is no Cross Access Agreement with neighboring tenants and none of the parking is shared with neighbors.

**13. SECURITY**

The applicant's vast experience in childcare dictates a very high priority for Security of the children. As with other preschools of the applicant, Empire Montessori Preschool shall implement the following:

- All entry and exit doorways shall have controlled access (Card-key or code) and shall be video-monitored at all times.
- The play area and all outside walkways shall be fenced using tubular metal material.
- All parents/guardians shall be required to check-in and check-out their children.



# Attachment 1

## PLEASANTON BILINGUAL MONTESSORI

5724 West Las Positas Boulevard  
Pleasanton, CA 94588

Capacity: 141  
Enrollment: 108  
Staff: 20  
Date: 11/7/18  
Hours: 7:30 AM - 6:30 PM

### CHECK-IN/CHECK-OUT LOG

#### CHECK-IN:

| Time Window      | Number |
|------------------|--------|
| 7:00 - 7:30 AM   | 0      |
| 7:30 - 8:00 AM   | 3      |
| 8:00 - 8:30 AM   | 5      |
| 8:30 - 9:00 AM   | 15     |
| 9:00 - 9:30 AM   | 35     |
| 9:30 - 10:00 AM  | 37     |
| 10:00 - 10:30 AM | 10     |
| 10:30 - 11:00 AM | 3      |

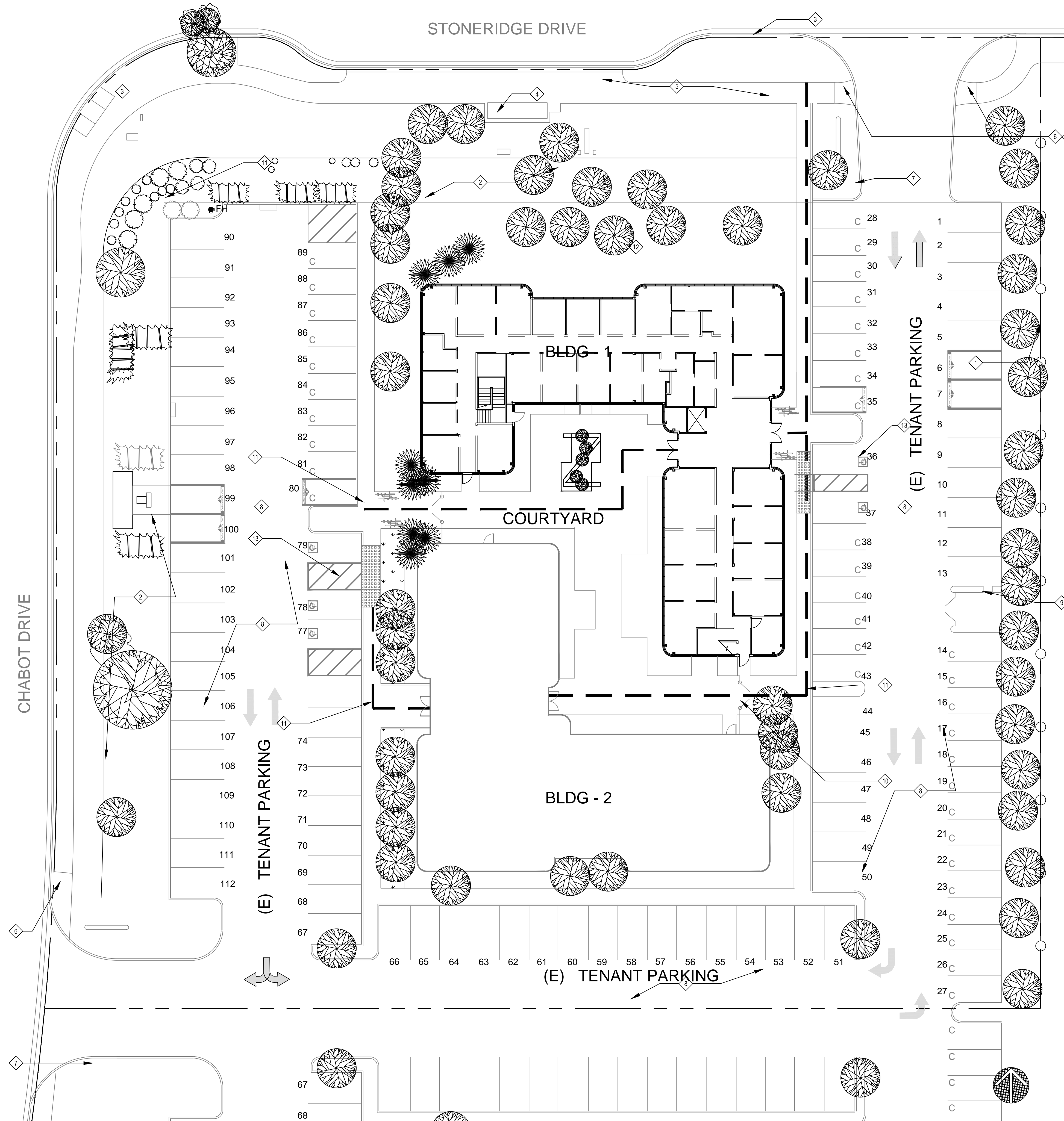
#### CHECK-OUT:

|                  |    |
|------------------|----|
| 12:00 - 12:30 PM | 16 |
| 12:30 - 1:00 PM  | 8  |
| 1:00 - 1:30 PM   | 0  |
| 1:30 - 2:00 PM   | 0  |
| 2:00 - 2:30 PM   | 0  |
| 3:00 - 3:30 PM   | 0  |
| 3:30 - 4:00 PM   | 18 |
| 4:00 - 4:30 PM   | 6  |
| 4:30 - 5:00 PM   | 4  |
| 5:00 - 5:30 PM   | 6  |
| 5:30 - 6:00 PM   | 12 |
| 6:00 - 6:30 PM   | 38 |

Director:

  
\_\_\_\_\_  
Lena Guan





**SHEET NOTES**

- 1 (E) TUBULAR STEEL FENCE
- 2 (E) TREES AND (E) LANDSCAPED BERM
- 3 (E) CURB RAMP
- 4 (E) BUS STOP SHELTER
- 5 (E) SIDEWALK
- 6 (E) HOOP RAMP AT SIDEWALK
- 7 (E) ACCESSIBLE PARKING SIGNAGE
- 8 (E) PARKING LOT
- 9 (E) TRASH ENCLOSURE
- 10 (E) GATE
- 11 (E) ACCESSIBLE PATH OF TRAVEL TO MAIN ENTRANCE & LOBBY
- 12 EXISTING LANDSCAPE AREA
- 13 EXISTING HANDICAP PARKING STALLS.

**DATA TABLE**

| TYPE              | SPACES              |  |
|-------------------|---------------------|--|
| COMPACT CAR       | 42 = 37.2%          |  |
| REGULAR CAR       | 67 = 59.3%          |  |
| ADA CAR           | 4 = 3.5%            |  |
| <b>TOTAL CARS</b> | <b>113 = 100.0%</b> |  |

| ADDRESS                 | TENANT | AREA             | PARKING |
|-------------------------|--------|------------------|---------|
| BUILDING 1 5950         |        | 14,456 SF        |         |
| BUILDING 2 5960         |        | 13,571 SF        |         |
| <b>TOTAL GROSS AREA</b> |        | <b>28,027 SF</b> |         |

|  |            |
|--|------------|
| <b>TOTAL PARKING PROVIDED</b>                | <b>113</b> |
| TOTAL REQUIRED PARKING @ 3.3 SPACES/1000 RSF | 93         |
| NET SURPLUS PARKING                          | 20         |

|   |            |
|---|------------|
| BICYCLE SPACES 112 CARS X 3.5% = REQ'D. | 4 BICYCLES |
|   | 8 PROVIDED |

| SITE DATA      |                    |
|----------------|--------------------|
| SITE AREA      | = 87,120 SF 100.0% |
| SITE COVERAGE  |                    |
| BUILDING-1     | = 7,552 SF 8.6%    |
| BUILDING-2     | = 6,830 SF 7.9%    |
| LANDSCAPE AREA | = 23,416 SF 27.1%  |

| IMPERVIOUS SURFACES |                              |
|---------------------|------------------------------|
| PARKING & DRIVEWAYS | = 38,096 SF 43.6%            |
| SIDEWALKS           | = 8,052 SF 9.2%              |
| COURTYARD           | = 3,174 SF 3.6%              |
| BUILDING            | = 14,382 SF (INCLUDED ABOVE) |

| BUILDING   |             |
|------------|-------------|
| FLOOR AREA |             |
| BUILDING-1 | = 14,456 SF |
| BUILDING-2 | = 13,571 SF |
| FAR        | = .32       |

**ARCHITECTURAL CONCEPTS**  
 ARCHITECTURE • INTERIORS • PLANNING  
 509 RAMONA AVE.  
 ALBANY, CA 94706-1431  
 T/F 510-525-9630  
 jcowee8@gmail.com  
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STAMP:  

 JOHN W. COWEE, P.E.  
 NO. C-3199  
 JOHN W. COWEE, P.E.  
 STATE OF CALIFORNIA

CONSULTANT:

**EMPIRE MONTESSORI PRESCHOOL**  
 DUTRA PLAZA BUILDING 5950 STONERIDGE DRIVE  
 PLEASANTON, CALIFORNIA  
 KEEN WEI, OWNER

- 1 PLANNING COMMENTS & HOA COMMENTS
- 2 BLDG. DEPT. PLAN CHECK & HOA COMMENTS

| REVISIONS | DATE |
|-----------|------|
|           |      |

| APPROVAL | DATE |
|----------|------|
|          |      |

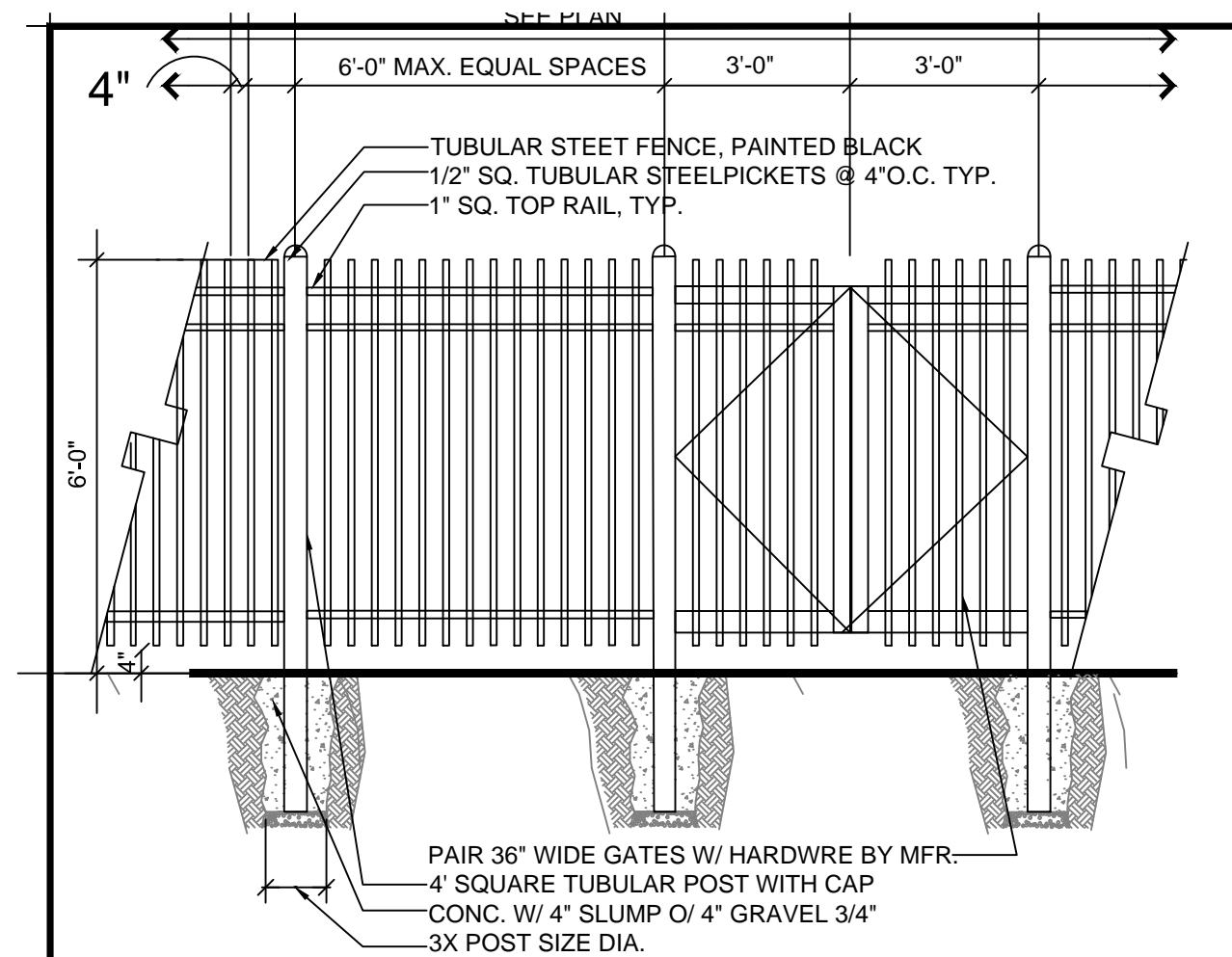
JOB:

DATE: 02/21/2019

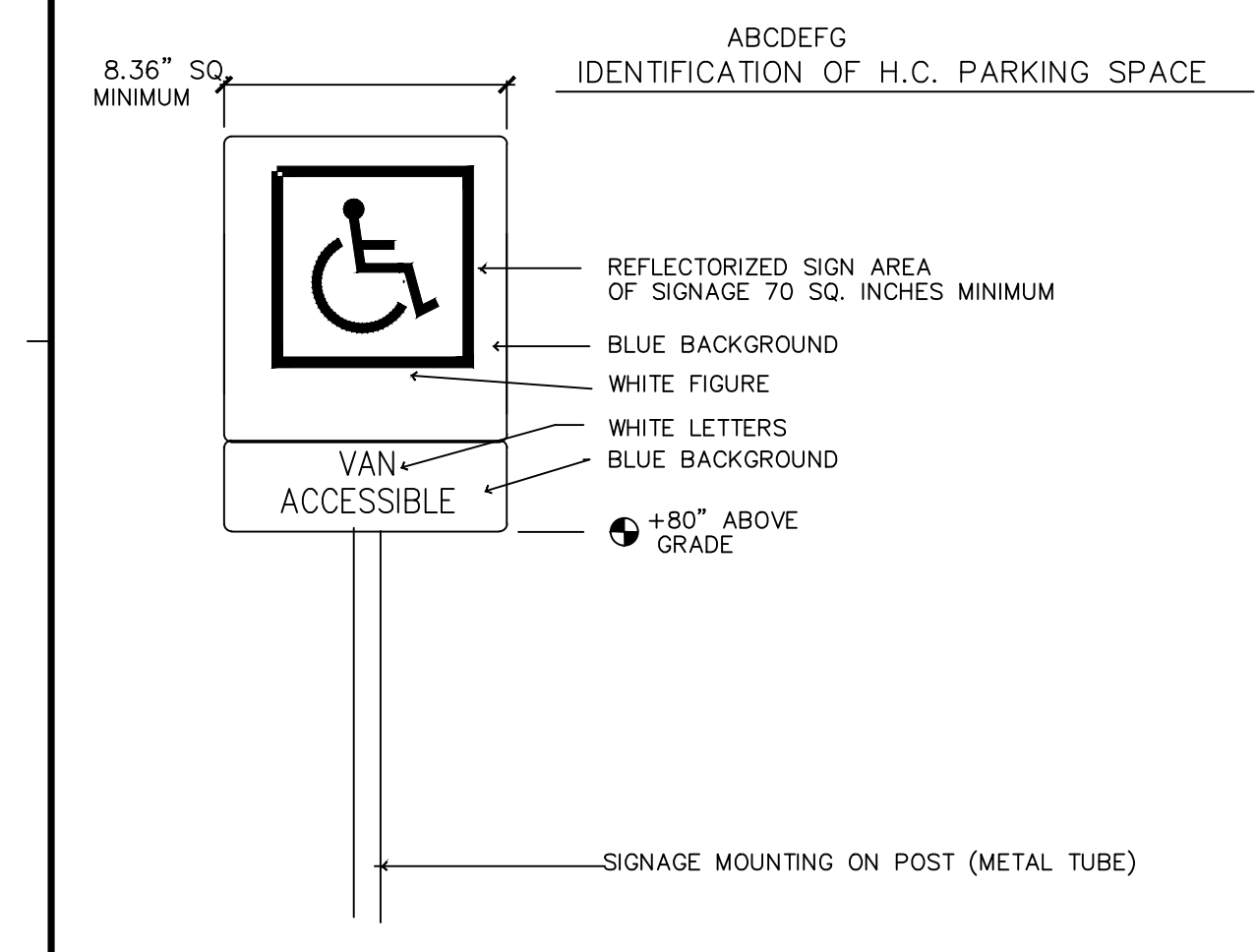
SHEET TITLE:  
**EXISTING SITE PLAN**

SHEET NO.

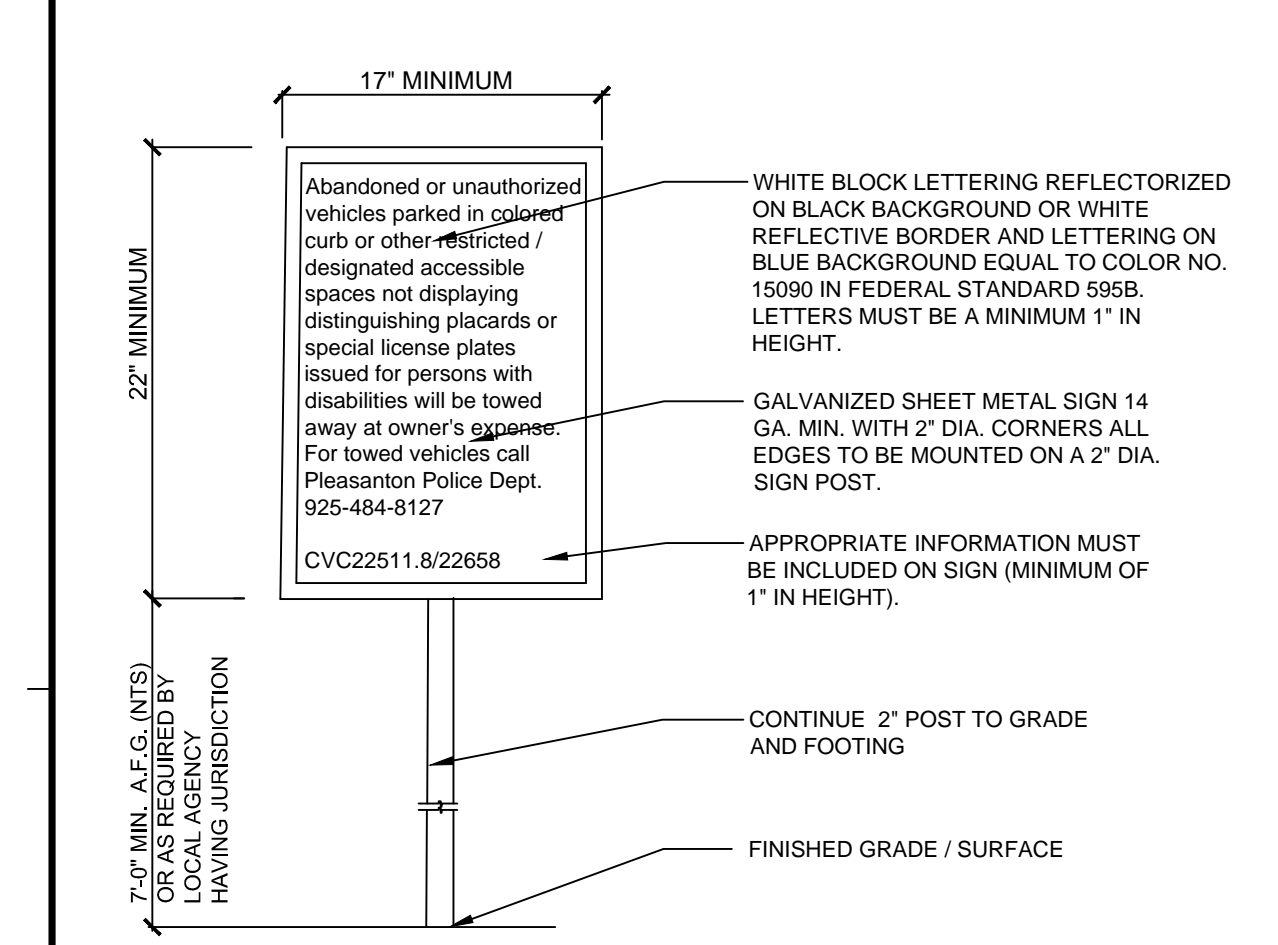
**C1.1**  
 ISSUED FOR CUP REVISION 2



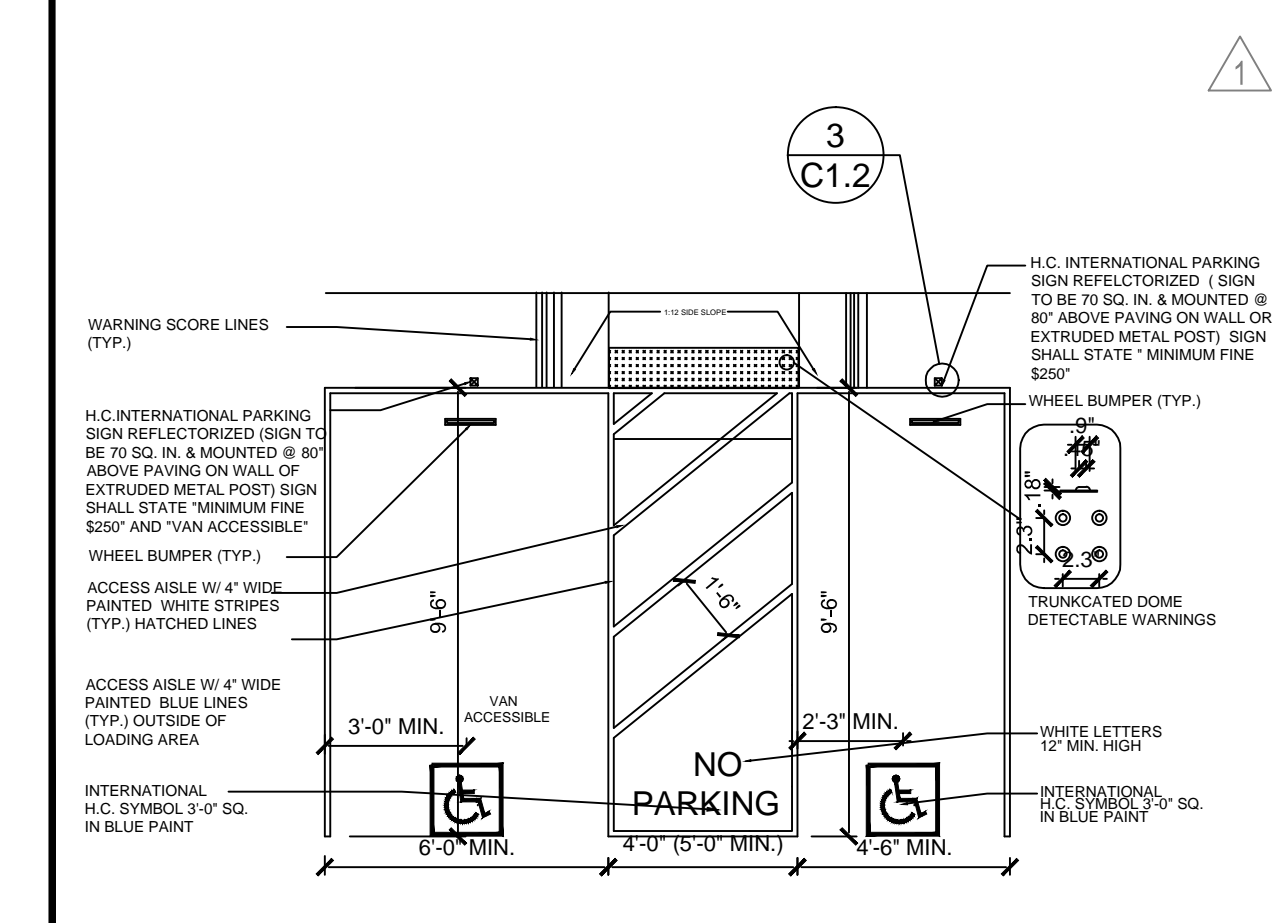
**2 TYPICAL WROUGHT IRON FENCE**  
NO SCALE



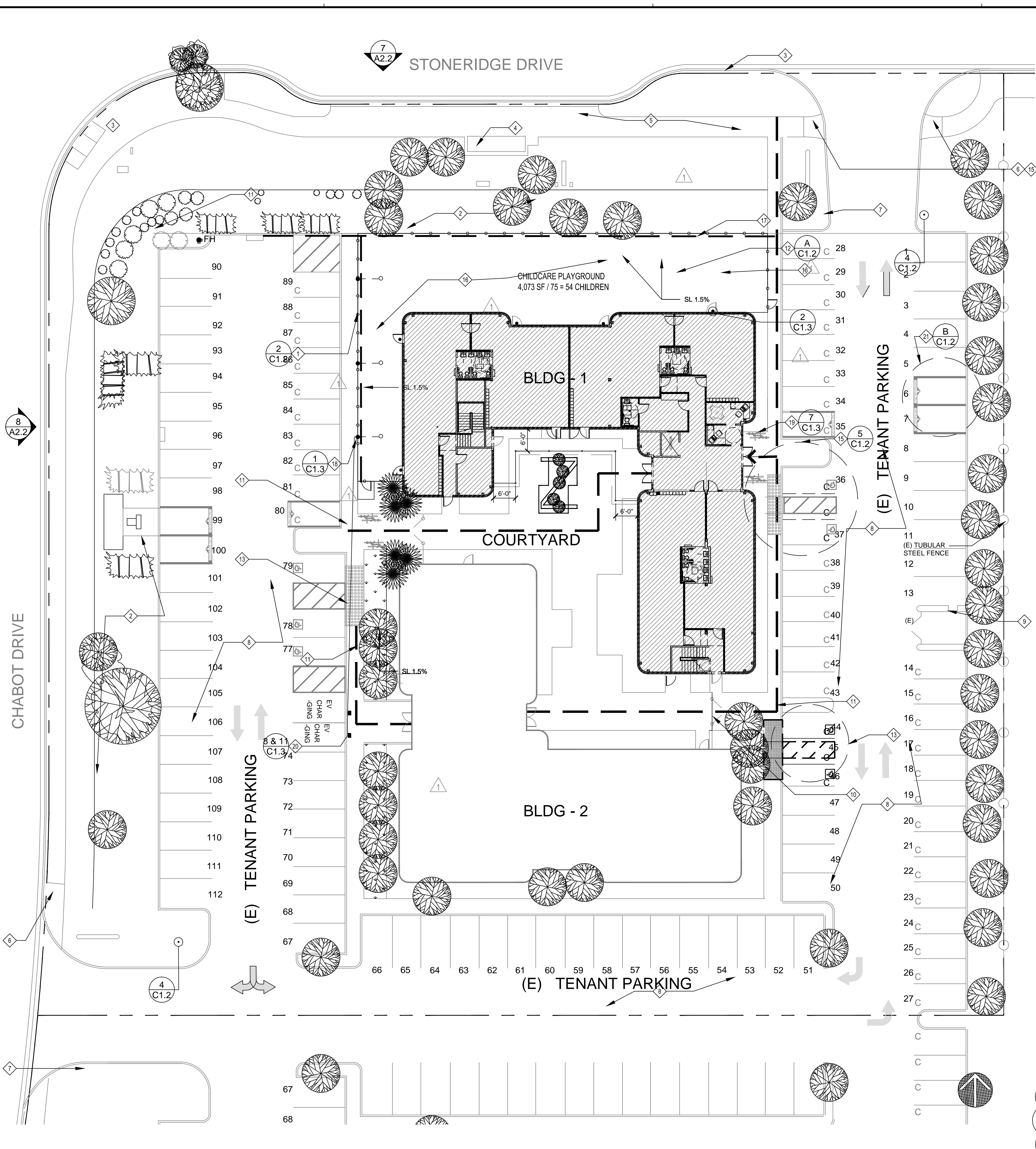
**3 PARKING STALL SIGNAGE**  
NO SCALE



**4 UNAUTHORIZED PARKING SIGNAGE**  
NO SCALE (SIM. TO HACIENDA DESIGN GUIDELINES PARKING CONTROL SIGN 'C' PAGE 93)



**5 HANDICAP PARKING DETAIL**



**1 NEW SITE PLAN** 1/16" = 1'-0"

- ### SHEET NOTES
- (N) TUBULAR STEEL FENCE.
  - (E) TREES AND (E) LANDSCAPED BERM
  - (E) CURB RAMP
  - (E) BUS STOP SHELTER
  - (E) SIDEWALK
  - (E) HOOP RAMP AT SIDEWALK
  - (E) ACCESSIBLE PARKING SIGNAGE
  - (E) PARKING LOT
  - (E) TRASH ENCLOSURE
  - (E) GATE
  - ACCESSIBLE PATH OF TRAVEL TO MAIN ENTRANCE & LOBBY
  - SEE LANDSCAPE PLAN FOR PLAYGROUND STRUCTURE SET IN POURED-IN-PLACE SURFACE
  - UPGRADE EXISTING HANDICAP PARKING STALLS TO CURRENT CBC STDS.
  - NOT USED.
  - INSTALL NEW HANDICAP PARKING STALLS, (N) TRUNCATED DOMES AND UPDATE ADA SIGNAGE AS REQUIRED.
  - SEE LANDSCAPE PLANS FOR 6 FT. MIN. CLEAR PLAY STRUCTURE FALL ZONE W/ POURED-IN-PLACE SAFETY SURFACE. SEE LANDSCAPE PLAN FOR COMPLETE LAYOUT.
  - NEW 3" DIA. FRENCH DRAIN WITH GRAVEL & FILTER FABRIC. EXTEND THROUGH SIDEWALK TO DRAIN INTO PARKING LOT STORM DRAIN.
  - REMOVE EXISTING BALLARD LIGHT FIXTURE. EXTEND WIRING UNDERGROUND TO NEW POLE MOUNTED SCREENED LIGHT TO MATCH (E).
  - DOUBLE BICYCLE RACK.
  - EV CHARGING STATION PER CITY STANDARDS & DETAILS
  - CAR/VANPOOL PARKING

### DATA TABLE

|  |           |
|--|-----------|
| BUILDING 1 - 5950                            | 14,456 SF |
| BUILDING 2 - 5960                            | 13,571 SF |
| TOTAL GROSS AREA                             | 28,027 SF |
| FAR  | .32       |
| TOTAL PARKING PROVIDED                       | 112       |
| TOTAL REQUIRED PARKING @ 3.3 SPACES/1000 RSF | 93        |
| NET SURPLUS PARKING                          | 19        |

| TYPE                | SPACES              |
|---------------------|---------------------|
| COMPACT CAR         | 42 = 37.2%          |
| REGULAR CAR         | 56 = 50.0%          |
| ADA CAR             | 6 = 5.3%            |
| CAR/VANPOOL         | 6 = 5.3%            |
| EV CHARGING STATION | 2 = 1.2%            |
| <b>TOTAL CARS</b>   | <b>112 = 100.0%</b> |

BICYCLE SPACES 112 CARS X 3.5% = 4 BICYCLES REQUIRED, 8 BICYCLE CAPACITY PROVIDED.

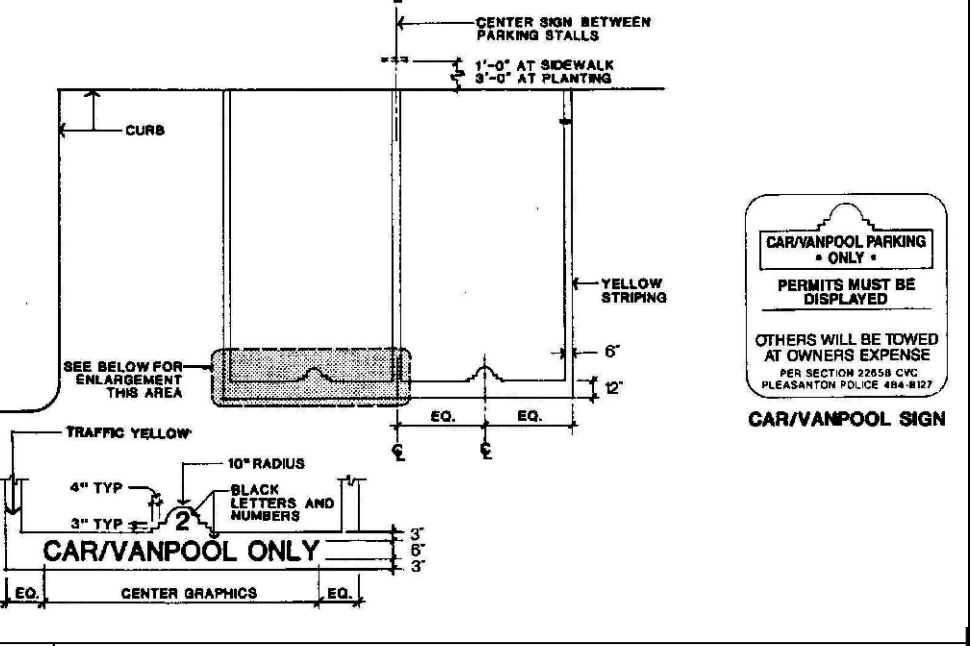
### SITE DATA

|               |             |                              |
|---------------|-------------|------------------------------|
| SITE AREA     | = 87,120 SF | 100.0%                       |
| SITE COVERAGE | BUILDING-1  | = 7,552 SF 8.6%              |
|               | BUILDING-2  | = 6,830 SF 7.9%              |
|               | COURTYARD   | = 3,174 SF 3.6%              |
|               | PLAY YARD   | = 4,289 SF 4.9%              |
|               | BUILDING    | = 14,382 SF (INCLUDED ABOVE) |

### IMPERVIOUS SURFACES

|                     |                              |
|---------------------|------------------------------|
| PARKING & DRIVEWAYS | = 38,096 SF 43.6%            |
| SIDEWALKS           | = 8,052 SF 9.2%              |
| COURTYARD           | = 3,174 SF 3.6%              |
| PLAY YARD           | = 4,289 SF 4.9%              |
| BUILDING            | = 14,382 SF (INCLUDED ABOVE) |



**B CAR / VANPOOL PARKING**



**A LOW PLAY STRUCTURE**  
SEE 9/C1.3 & 11/C1.3 FOR DETAILS

**ARCHITECTURAL CONCEPTS**  
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ALBANY, CA 94706-1431  
T/F 510-525-9630  
jcowee8@gmail.com  
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STAMP:  
LICENSED ARCHITECT  
JOHN W. COWEE, JR.  
NO. 23199  
EXPIRES 1-31-11  
STATE OF CALIFORNIA

CONSULTANT:

**EMPIRE MONTESSORI PRESCHOOL**  
DUTRA PLAZA BUILDING 5950 STONERIDGE DRIVE  
PLEASANTON, CALIFORNIA  
KEEN WEI, OWNER

REVISIONS DATE

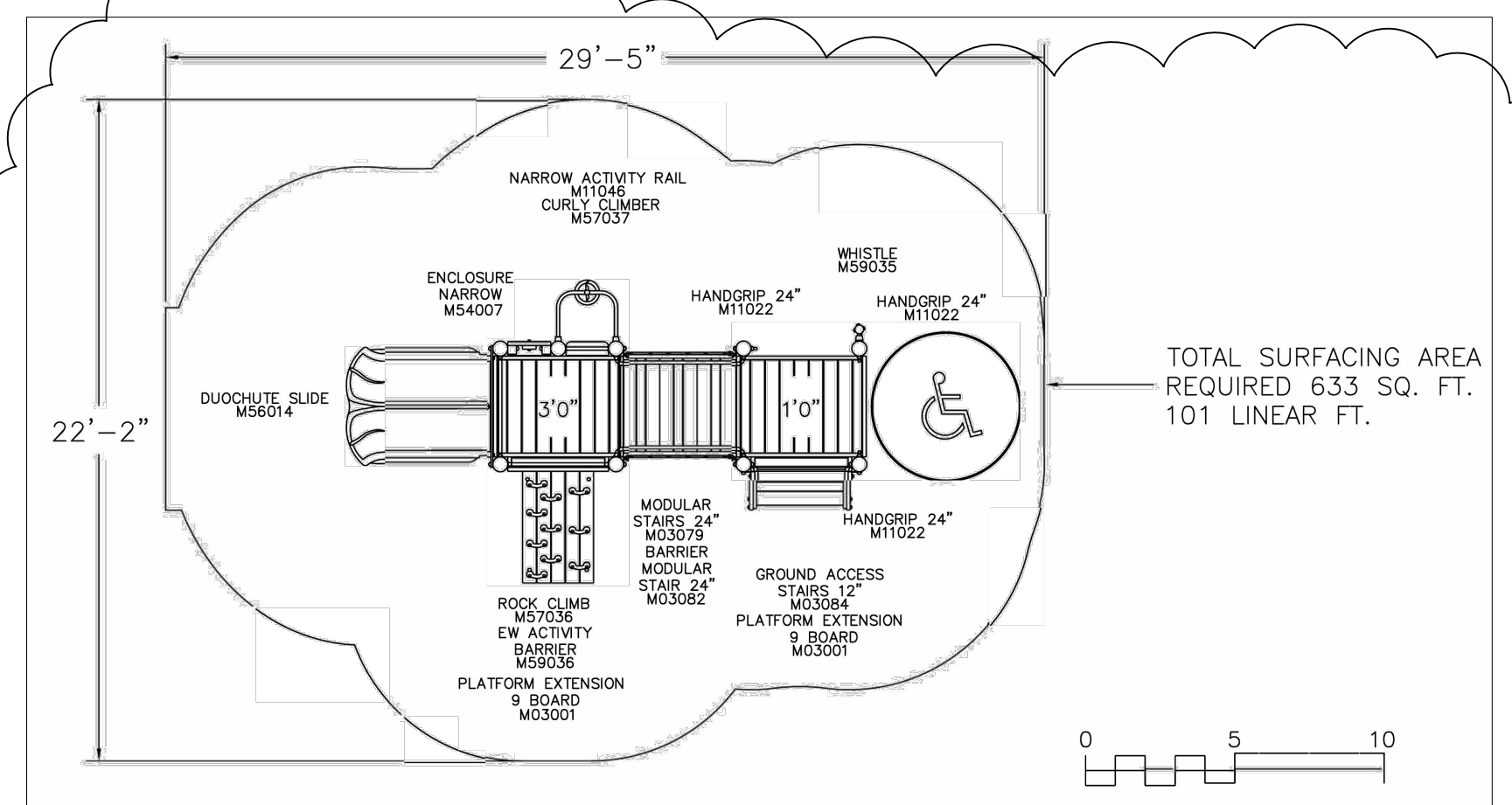
APPROVAL DATE

JOB: DATE: 02/21/2019

SHEET TITLE: NEW SITE PLAN

SHEET NO. C1.2

ISSUED FOR CUP REVISION 2



11 PLAY EQUIPMENT PLAN NO SCALE (SEE A/C1.2)



GREEN & BLACK CRYSTALS SET IN RESINOUS MATRIX SEE 9/C1.3 & LANDSCAPE PLANS  
 OMIT CENTER PLAY AREA - SEE LANDSCAPE PLANS  
 CONCRETE PAVEMENT - SEE LANDSCAPE PLANS  
 GREEN & BLK CRYSTALS SET IN RESINOUS MATRIX SEE 9/C1.3 & LANDSCAPE PLANS

12 TRICYCLE PATH NO SCALE (FOR EXAMPLE ONLY COLOR TO MATCH 9/C1.3)

PPG ProLuxe Wood Finishes. Enhance the natural beauty of wood. Select a color below: 003 Colorless, 005 Natural Oak, 006 Light Oak, 009 Dark Oak.

13 PLANTERBOX STAIN COLOR NO SCALE



LIGHT GREEN CRYSTALS SET IN RESINOUS MATRIX  
 BLACK CRYSTALS SET IN RESINOUS MATRIX

9 POURED-IN-PLACE PAVING NO SCALE

10

### ELECTRIC VEHICLE CHARGING STATION CONFIGURATIONS

PRACTICAL MULTI-PORT CHARGING FOR COMMERCIAL PARKING FACILITIES  
 MODEL EVSE-RS SINGLE, DUAL AND QUAD

**FEATURES:**

- Industry standard SAE-J1772 connector
- Underwriters Laboratory (UL) listed
- Outdoor rated enclosure
- Americans with Disabilities Act (ADA) compliant installation
- Auto restart in event of power outage or ground fault
- Breakaway safety cable
- Integrated cable storage
- Optional network communication module (EVSE-RS\*)

**SERVICE AND INSTALLATION:**

- Expanding network of independent certified, trained electricians
- Convenient customer site assessments and installation
- 24-hour response time during business hours

**SPECIFICATION EVSE-RS:**

|                       |                                 |
|-----------------------|---------------------------------|
| Connector             | SAE J1772 compliant             |
| Voltage               | 208VAC to 240VAC                |
| Frequency             | 60/50Hz                         |
| Output Current        | 30A max                         |
| Input Current         | 40A max                         |
| Operating Temperature | -22°F to 122°F<br>-30°C to 50°C |
| Enclosure             | NEMA 3R                         |
| Regulatory Compliance | UL, cUL, CE, CTick listed       |

Information and specifications subject to change.

8 EV CHARGING STATION NO SCALE

### 11 ELECTRIC VEHICLE SIGN NO SCALE

HOOP RUNNER HR100 SERIES INVERTED U BIKE RACK

7 BICYCLE RACK NO SCALE

### SMSBULLET2X12NA

Two adjustable 12W LED floodlights. Equivalent to 2x75W BR30/halogen/wide floods. Comes with sensor with 180° detection pattern at up to 30 ft.

**Project:** Type: Prepared By: Date:

**Driver Info:** Type: Constant Current, 120V: 0.22A, 208V: N/A, 240V: N/A, 277V: N/A, Input Watts: 28W, Efficiency: 91%

**LED Info:** Watts: 24W, Color Temp: 4000K, Color Accuracy: 84 CRI, L70 Lifetime: 50000, Lumens: 2528, Efficacy: 96 LPW

**Technical Specifications:**

- UL Listing:** Suitable for wet locations, wall mount only
- IESNA LM-79 & LM-80 Testing:** RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have been awarded the Department of Energy "Lighting Facts" label.
- LED Characteristics:** LEDs: Multi-chip, high-output, long-life LEDs; Lifespan: 100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculation; Color Stability: LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period; Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.
- Construction:** Thermal Management: Superior heat sinking with external Air-Flow fins; Housing: Die-cast aluminum housing, lens frame and mounting plate; Reflector: Semi-specular, vacuum-metallized polycarbonate
- Lens:** Microprismatic diffusion lens for smooth and even light distribution
- Mounting:** Heavy-duty mounting arm with "O" ring seal and stainless steel screws
- Gaskets:** High-temperature silicone gaskets
- Finish:** Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color.
- Green Technology:** Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.
- Electrical:** Switching Capacity: 500 Watts of LED BULLET12 floods; Sensor Characteristics: Voltage: 120VAC, 60Hz; Sensor Power Consumption (when idle): 1 Watt; Time Adjustment: 5 seconds to 15 minutes
- Sensor LED:** Sensor indicator LED glows red day & night for "on guard" deterrence
- Surge Protection:** Withstands up to 3000 Volts
- "No Hands" Auto Testing:** Auto mode starts after 4 minutes of testing. No adjustment needed.
- Manual Override:** Double flip wall switch logic prevents activation by momentary power outages. Overrides resets to auto at dawn. No extra wiring needed.
- RF Immunity:** Circuits fully shielded for maximum radio frequency immunity
- Photoelectric Control:** Detects ambient light during daylight. Fully adjustable for 24-hour operation or custom applications.
- Adjustments:** Time, ambient light & sensitivity
- Other:** Warranty: RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

2 PROPOSED FLOOD LIGHTS NO SCALE

### American HID

Dimensional Drawings

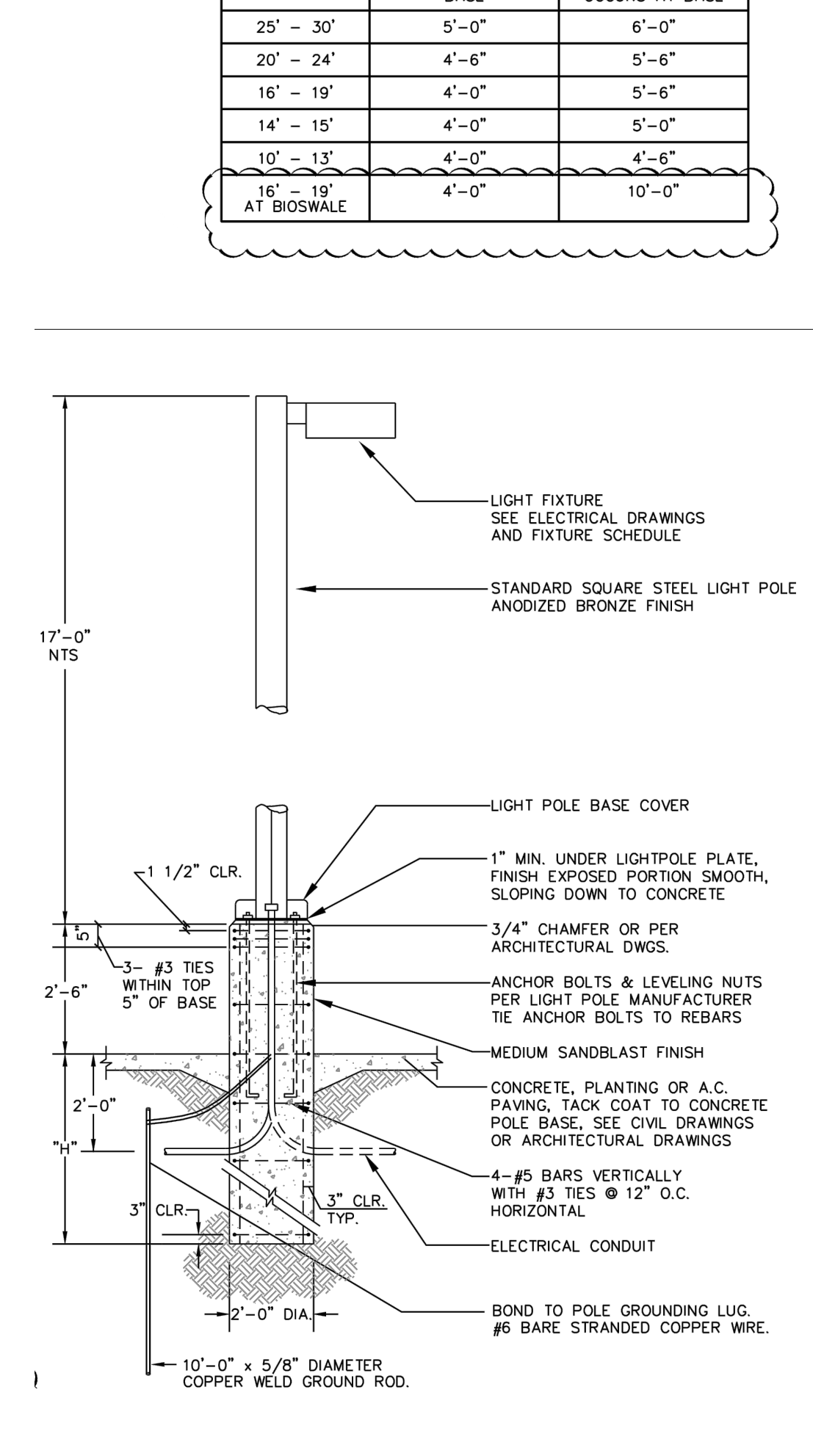
| Model | Height | Width | Depth | Max. Watts | LM80 |
|-------|--------|-------|-------|------------|------|
| AME-1 | 14"    | 12"   | 12"   | 400 W      | 50   |
| AME-2 | 18"    | 12"   | 2"    | 400 W      | 50   |
| AME-3 | 22"    | 12"   | 2"    | 1000 W     | 70   |
| AME-4 | 22"    | 12"   | 2"    | 1000 W     | 70   |

The American series features the most advanced lighting technology available today. It is a compact, modular, and easy-to-install lighting fixture. The American series is available in four enclosure sizes and four mounting options. The American series is available in four enclosure sizes and four mounting options. The American series is available in four enclosure sizes and four mounting options.

**NOTES:**

- POLE BASE IN NATURAL UNDISTURBED SOIL OR APPROVED COMPACTED FILL
- PASSIVE SOIL BEARING ASSUMED TO BE 250 PSF.
- PEDESTAL HEIGHT "P" = 3'-0" MAX.
- POLE MANUFACTURER TO PROVIDE BASE PLATE AND ANCHOR BOLT CALCULATION AND DETAIL FOR THE APPROVAL OF BUILDING AND SAFETY DEPARTMENT PRIOR TO ERECTION OF SHAFT

1 PARKING LOT LIGHT NO SCALE



1 PARKING LOT LIGHT NO SCALE

ARCHITECTURAL CONCEPTS  
 ARCHITECTURE • INTERIORS • PLANNING  
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 jcwoe8@gmail.com  
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STAMP: LICENSED ARCHITECT JOHN W. COE, JR. ARCHITECTURE

CONSULTANT:  
 EMPIRE MONTESSORI PRESCHOOL  
 DUTRA PLAZA BUILDING 5950 STONERIDGE DRIVE PLEASANTON, CALIFORNIA  
 KEEN WEI, OWNER

REVISIONS DATE

APPROVAL DATE

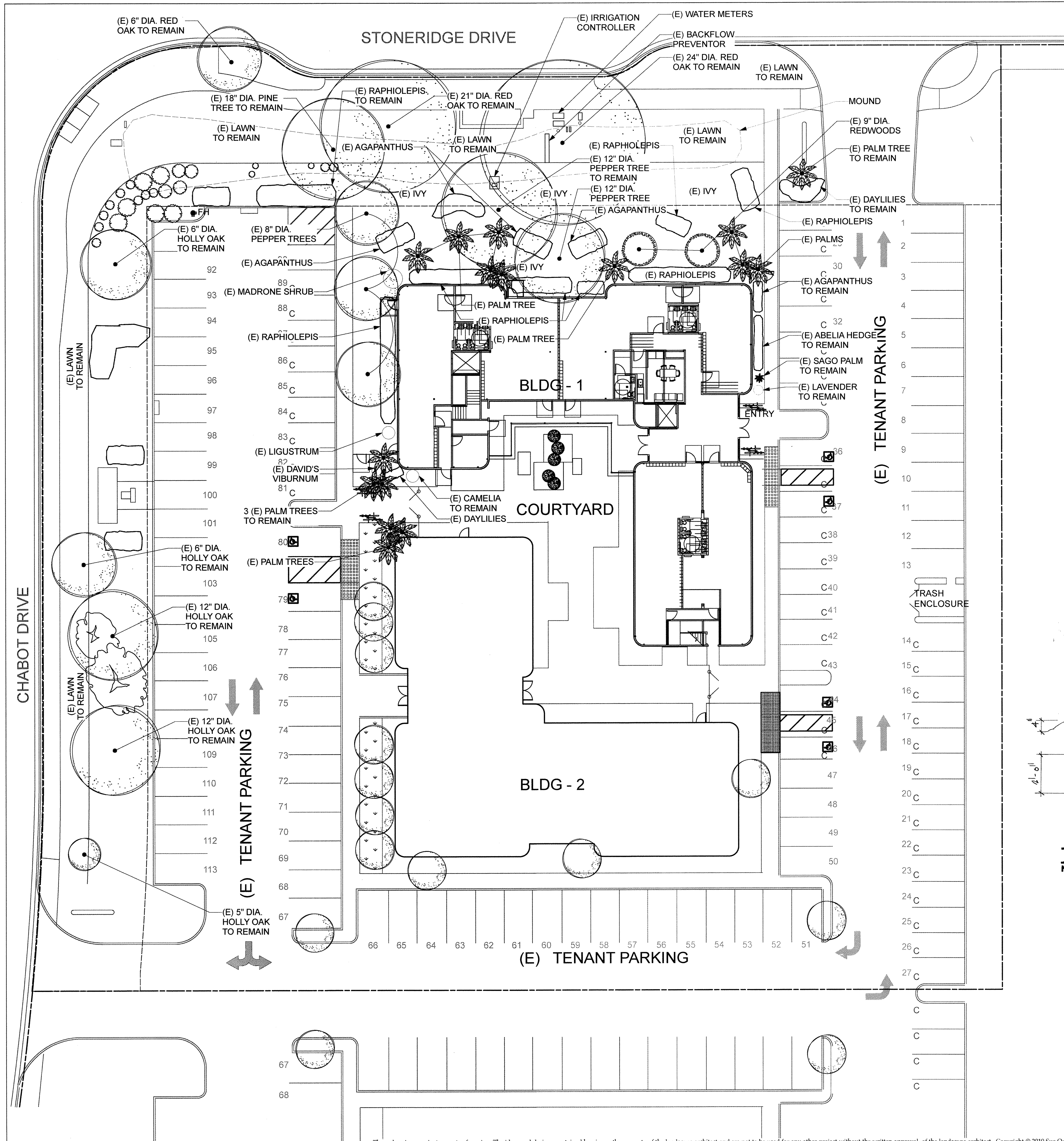
JOB:

DATE: 02/21/2019

SHEET TITLE: EXTERIOR FIXTURES & PANEL BD. SCHEDULES

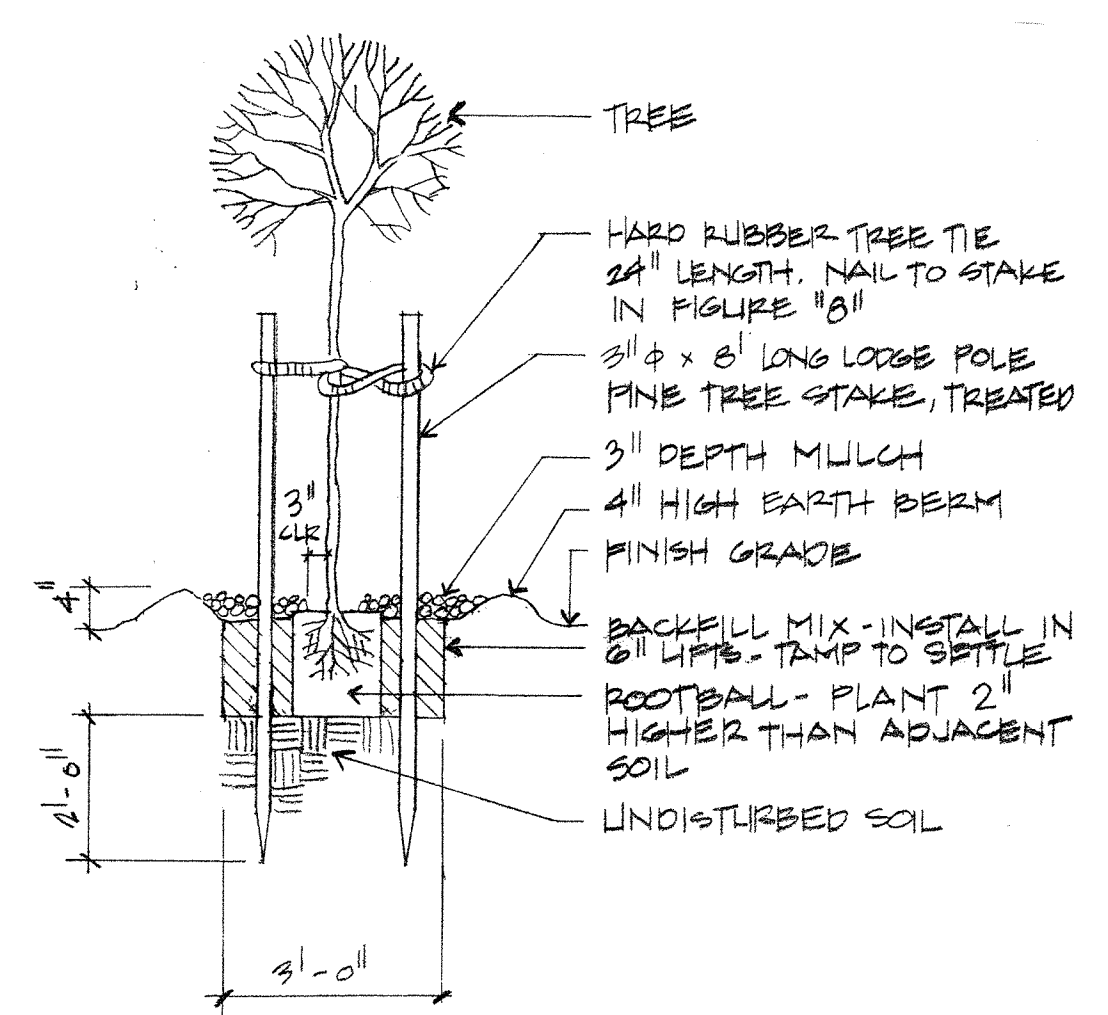
SHEET NO. C1.3

ISSUED FOR CUP REVISION 2

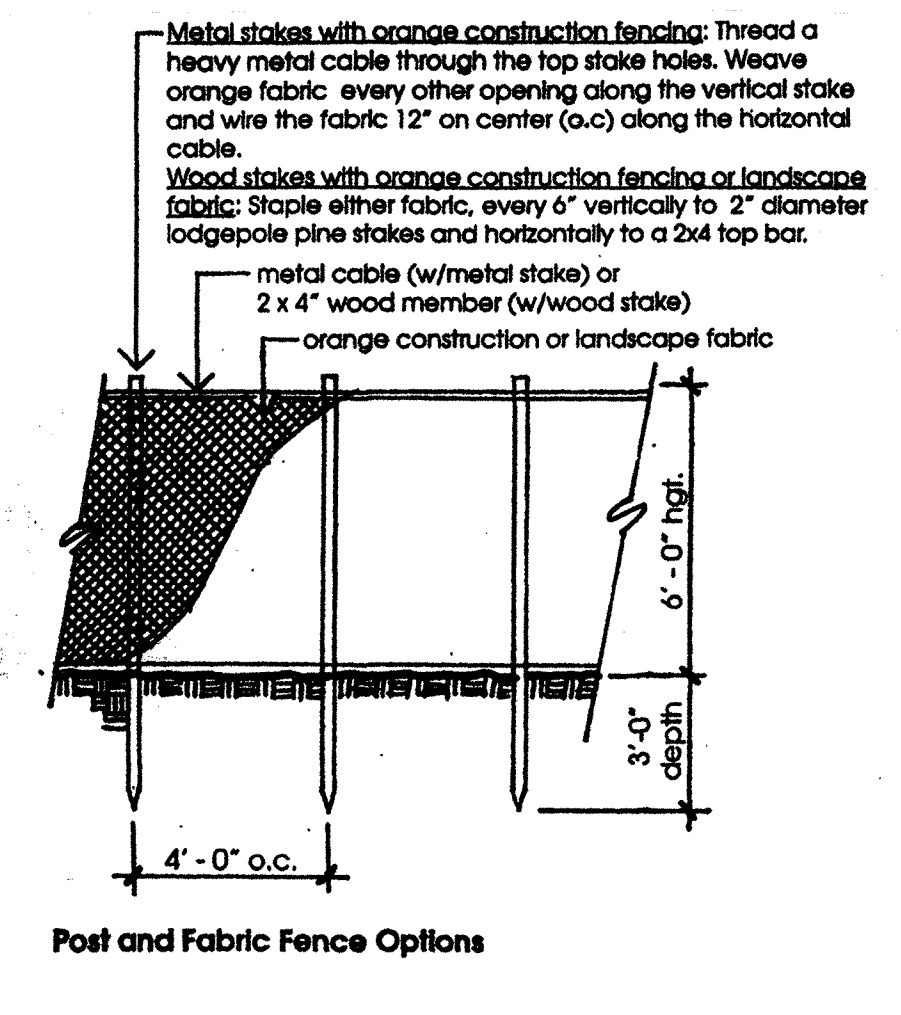


- NOTES**
1. ALL PLANTINGS IN PLAYGROUND PAVING AREA SHALL BE REMOVED.
  2. PLAYGROUND AREA SHALL HAVE RUBBER SAFETY FALL SURFACE.
  3. SEE ARCHITECTURAL PLANS FOR MATERIALS AND FINISHES AT PLAYGROUND.
  4. EXISTING WALKWAYS SHALL REMAIN.
  5. EXISTING MOUND (BERM) AT PUBLIC SERVICE EASEMENT SHALL REMAIN.

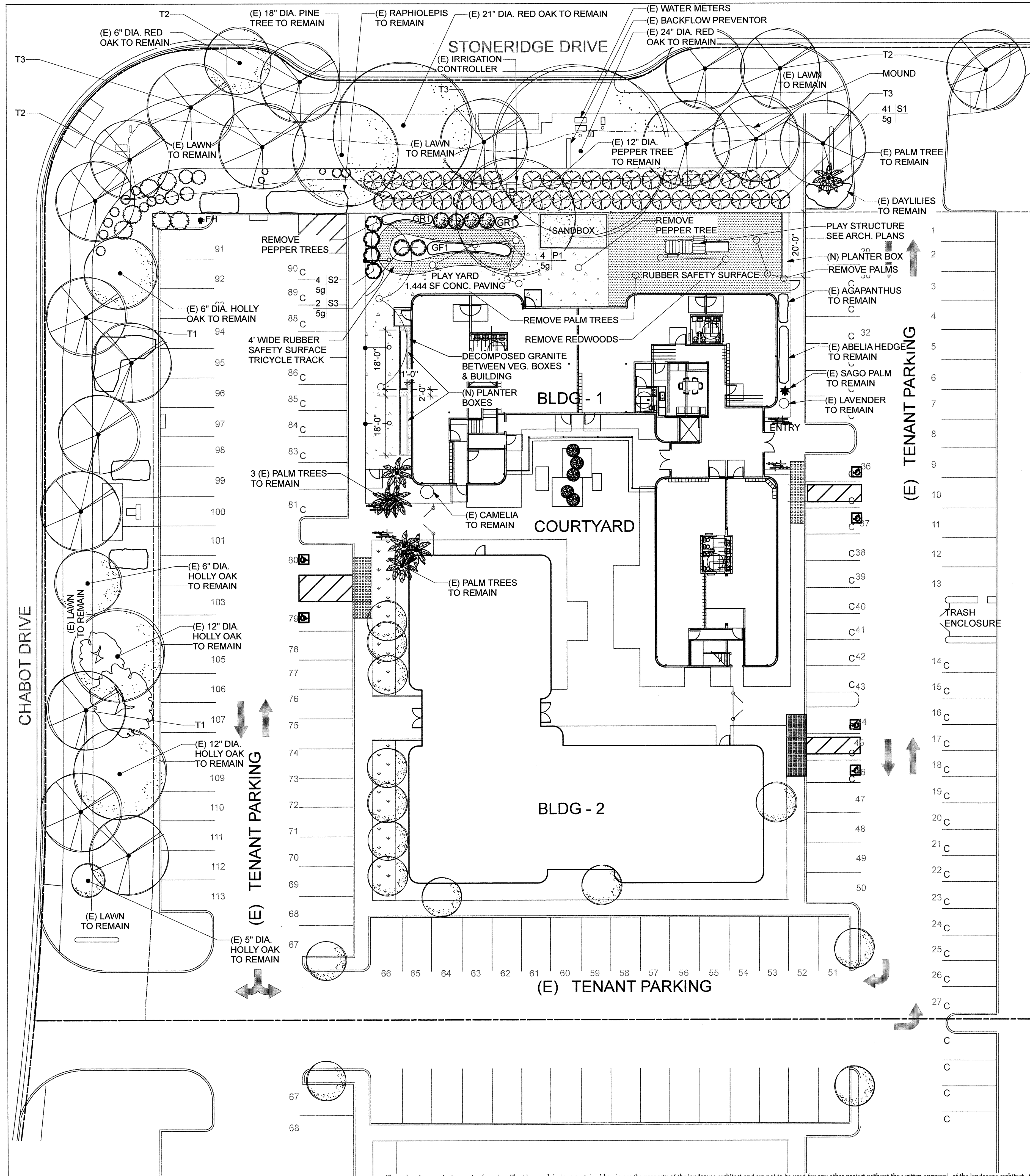
- GENERAL LANDSCAPE NOTES**
- GENERAL**
1. CONTRACTOR SHALL CONFINE HIS ACTIVITIES WITHIN THE PROJECT SITE.
  2. DO NOT SCALE THESE DRAWINGS. IF THESE DRAWINGS ARE NOT 24" X 36" THEY HAVE BEEN REDUCED OR ENLARGED.
  3. ALL OMISSIONS OR CONFLICTS BETWEEN DRAWINGS, SPECIFICATIONS, AND GOVERNING CODES SHALL BE BROUGHT TO THE OWNER'S ATTENTION BEFORE STARTING THE WORK INVOLVED.
  4. PROTECTION: THE CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES TO BE RETAINED, MATERIALS AND WORK AGAINST INJURY FROM ANY CAUSE AND SHALL PROVIDE AND MAINTAIN ALL NECESSARY SAFEGUARDS FOR THE PROTECTION OF THE PUBLIC. S/HE SHALL REPAIR ANY DAMAGE CAUSED BY, OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL EXERCISE CARE IN DIGGING AND OTHER WORK SO AS NOT TO DAMAGE EXISTING WORK, INCLUDING UNDERGROUND CABLES AND PIPES. SHOULD SUCH OVERHEAD OR UNDERGROUND OBSTRUCTIONS BE ENCOUNTERED THAT INTERFERE WITH HIS WORK, THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK.
- TREE PROTECTION.**
1. PROTECT EXISTING TREES DESIGNATED AS REMAINING, FROM CONSTRUCTION ACTIVITIES. DO NOT STORE EQUIPMENT OR MATERIALS UNDER TREES.
  2. DIRECT ALL DRAIN WATER AWAY FROM THE DRIP LINE AREA. DO NOT ALTER DRAINAGE PATTERNS UNDER DRIPLINE OF TREES TO REMAIN.
  3. PROTECT TREE ROOTS FROM COMPACTION. NEVER PULL ROOTS WHEN CONTACTED BY CONSTRUCTION EQUIPMENT.
  4. INSTALL TEMPORARY TREE PROTECTION FENCING AS DETAILED. TREE PROTECTION FENCING SHALL BE INSTALLED AT A MINIMUM DISTANCE FROM THE TRUNK OF THE DRIPLINE OF THE TREE.
- DEMOLITION.**
1. REMOVE EXISTING PLANTS AND STUMPS OR OLD ROOTBALLS THAT ARE NOT DESIGNATED AS REMAINING. PLANT REMOVAL SHALL INCLUDE ROOTBALL AS WELL AS FOLIAGE. PLANT REMOVAL SHALL BE CONFIRMED WITH OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION.
- SITE CLEAN-UP.**
1. REMOVE ALL SURPLUS MATERIAL AND DEBRIS FROM THE SITE UPON COMPLETION OF THE WORK.



**TREE PLANTING**  
NOT TO SCALE



**TREE PROTECTION FENCING**  
SCALE: 1/4" = 1' - 0"

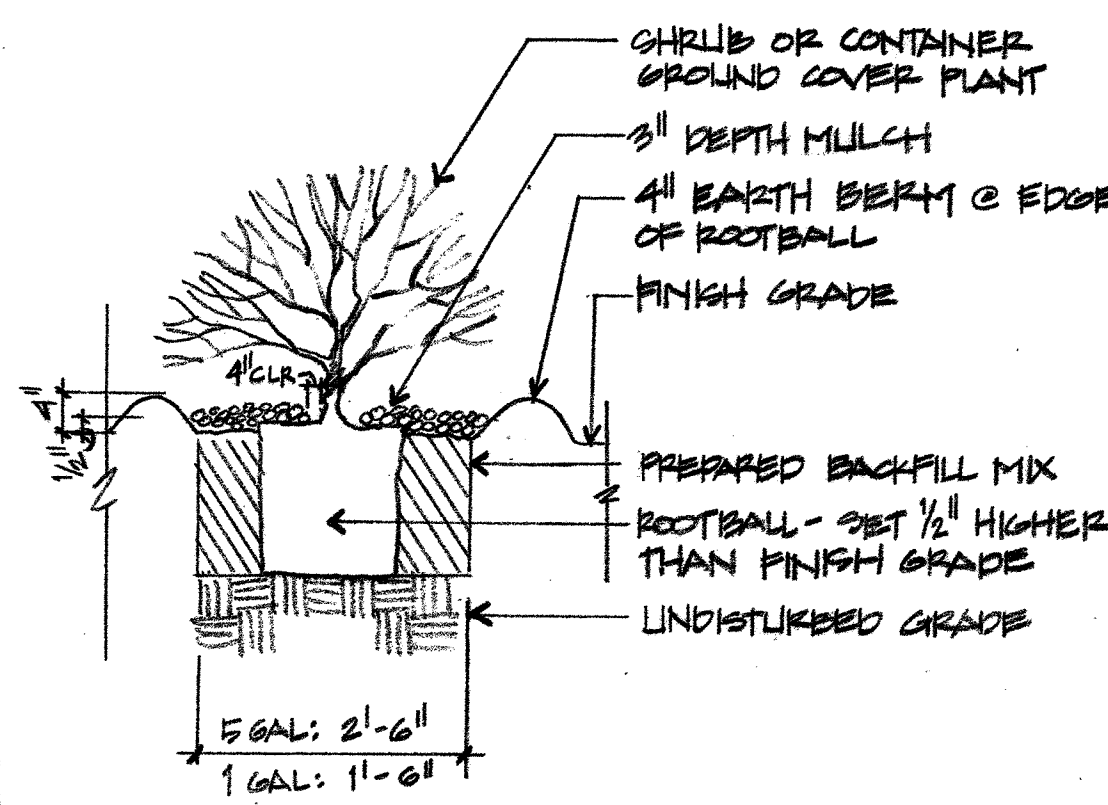


**PLANT LIST**

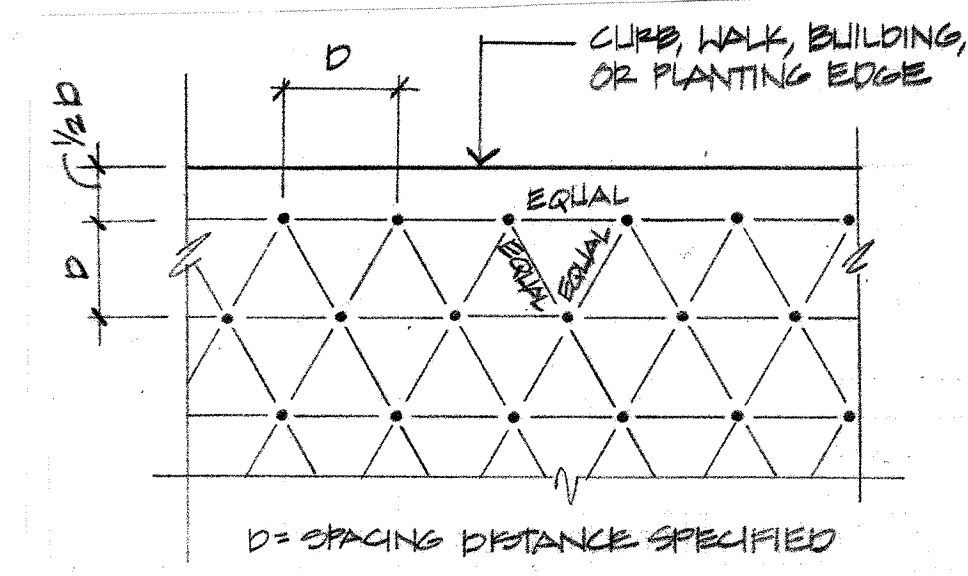
| TREES        |        |                                   | COMMON NAME        | HT. X WIDTH |
|--------------|--------|-----------------------------------|--------------------|-------------|
| T1           | 24\" B | QUERCUS ILEX                      | HOLLY OAK          | 30' X 30'   |
| T2           | 24\" B | QUERCUS RUBRA                     | RED OAK            | 60' X 40'   |
| T3           | 24\" B | PINUS CANARIENSIS                 | CANARY ISLAND PINE | 50' X 30'   |
| SHRUBS       |        |                                   | COMMON NAME        | HT. X WIDTH |
| S1           | 5G.    | RHAPHIOLEPIS INDICA 'ROSEA'       | INDIAN HAWTHORNE   | 6' X 6'     |
| S2           | 5G.    | BUDDLEJA DAVIDII 'HARLEQUIN'      | BUTTERFLY BUSH     | 4' X 5'     |
| S3           | 5G.    | CISTUS 'SUNSET'                   | SUNSET ROCKROSE    | 2' X 6'     |
| PERENNIALS   |        |                                   | COMMON NAME        | HT. X WIDTH |
| P1           | 1G.    | EPILOBIUM CANUM 'CALISTOGA'       | CALIFORNIA FUCHSIA | 2' X 4'     |
| GROUND COVER |        |                                   | COMMON NAME        | HT. X WIDTH |
| GR11         |        | STACHYS BIZANTINA 'SILVER CARPET' | LAMB'S EAR         | 8\" HIGH    |

**PLANTING NOTES**

- GENERAL.**
- CONTRACTOR SHALL CONFINE HIS ACTIVITIES WITHIN THE PROJECT SITE. PLANTING SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED FOREMAN. PROTECT PLANTS FROM FREEZING AND DRYING OUT DURING TRANSPORTATION AND STORAGE. TRUCKS FOR TRANSPORTING PLANTS SHALL BE EQUIPPED WITH COVERS TO PROTECT PLANTS FROM WIND DAMAGE. PLANTS STORED ON SITE SHALL BE WATERED DAILY.
- SOIL PREPARATION.**
- SOIL PREPARATION SHALL FOLLOW FINE GRADING PROCEDURES. GRADE ALL PLANTING AREAS FOR SMOOTH TRANSITIONS AND POSITIVE DRAINAGE AWAY FROM STRUCTURES.
  - THOROUGHLY TILL SOIL 18\" DEEP IN TWO DIRECTIONS AT PLANTING AREA. SECOND TILLING TO BE PERPENDICULAR TO THE FIRST TILLING. TAKE CARE NOT TO DISTURB ROOTS OF EXISTING PLANTS TO REMAIN. BREAK UP OR REMOVE CLODS AND ROCKS 1\" OR LARGER.
  - EVENLY SPREAD OVER THE ENTIRE NEW PLANTING AREA:  
5 CUBIC YARDS OF BULK 50/50 COMPOST FROM DEVIL MOUNTAIN WHOLESALE NURSERY, SAN RAMON, CA (925) 829-6006.
- THOROUGHLY TILL COMPOST IN TWO PERPENDICULAR DIRECTIONS TO A MINIMUM DEPTH OF 10\". IF TILLING WILL DISTURB ROOTS OF EXISTING PLANTS, LAY COMPOST ON SOIL SURFACE.
- BACKFILL SOIL.** SOIL FILL FOR PLANTER BOXES SHALL BE MANUEL'S MIX, AVAILABLE AT DEVIL MOUNTAIN WHOLESALE NURSERY, SAN RAMON, CA.
- GENERAL PLANTING.** PLANTING SHALL FOLLOW SOIL PREPARATION PROCEDURES. PLANT AND WATER WITHIN 30 MINUTES OF REMOVAL FROM FLATS OR CONTAINERS.
- TREES, SHRUBS, GROUND COVER.**
- PLANT TREES AND SHRUBS FIRST, THEN GROUND COVER PLANTS.
  - DIG HOLE NO DEEPER THAN 2\" LESS THAN THE DEPTH OF THE SOIL IN THE CONTAINER OR DEPTH OF SOIL BALL. THE HOLE SHALL BE AT LEAST TWICE THE DIAMETER OF THE CONTAINER OR ROOT BALL.
  - PLANT PIT BACKFILL MIX SHALL BE PREPARED SOIL (SEE ABOVE).
  - DO NOT ADD FERTILIZER TO PLANT PIT.
  - REMOVE NURSERY STAKES FROM TREES AND PROVIDE STAKING AS DETAILED. LOCATE STAKES PERPENDICULAR TO PREVAILING WINDS. NAIL RUBBER TIES TO STAKE USING 2 GALVANIZED ROOFING NAILS AT EACH END OF TIE. ALLOW MINIMUM 4\" OF PLAY IN EACH DIRECTION.
  - PROVIDE EARTH WATERING WELL FOR INDIVIDUAL CONTAINER PLANTS OR GROUP MASSING.
  - HAND WATER INDIVIDUAL PLANTS DEEPLY AND THOROUGHLY IMMEDIATELY AFTER PLANTING.
- MULCH.**
- AFTER PLANTING IS COMPLETE, MULCH ALL PLANTED AREAS IN A 3\" LAYER OF BULK BLACK MINI-BARK MULCH AVAILABLE AT DEVIL MOUNTAIN WHOLESALE NURSERY, SAN RAMON, CA (925) 829-6006.
- SITE CLEAN-UP.**
- REMOVE ALL SURPLUS MATERIAL AND DEBRIS FROM THE SITE UPON COMPLETION OF THE WORK.
  - MAINTENANCE PERIOD SHALL BE FOR 14 CALENDAR DAYS FROM THE DATE OF COMPLETION AND OWNER'S ACCEPTANCE.
  - MAINTENANCE SHALL CONSIST OF REPAIR OF EROSION OR SETTLING, REPLACING DEAD OR DYING OR DISEASED PLANT MATERIAL WITH STOCK OF SAME SIZE AND VARIETY AT NO ADDITIONAL COST.



**SHRUB PLANTING**  
NOT TO SCALE



**GROUND COVER PLANTING**  
NOT TO SCALE

**SUE ODA**  
LANDSCAPE ARCHITECT

POST OFFICE BOX 2674  
EL CERRITO, CA 94530  
510-684-8789  
INFO@SUEODA.COM  
WWW.SUEODA.COM  
LICENSE #CLA3798

JOB TITLE

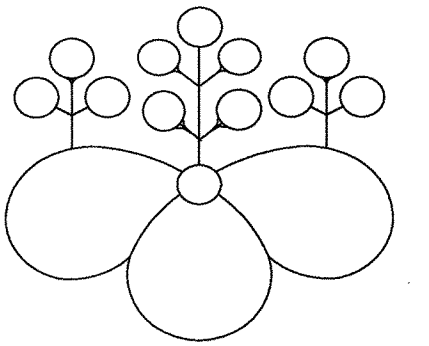
**EMPIRE MONTESSORI PRESCHOOL**  
DUTRA PLAZA BUILDING  
5960 STONERIDGE DRIVE  
PLEASANTON, CALIFORNIA

SHEET TITLE  
**(N) PLANTING PLAN**

SCALE 1/16" = 1'-0" DATE 2/19/19

DRAWN NR CHECKED SEO

SHEET L2 OF 7 SHEETS



**SUE ODA**  
LANDSCAPE ARCHITECT

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**NOTES:**

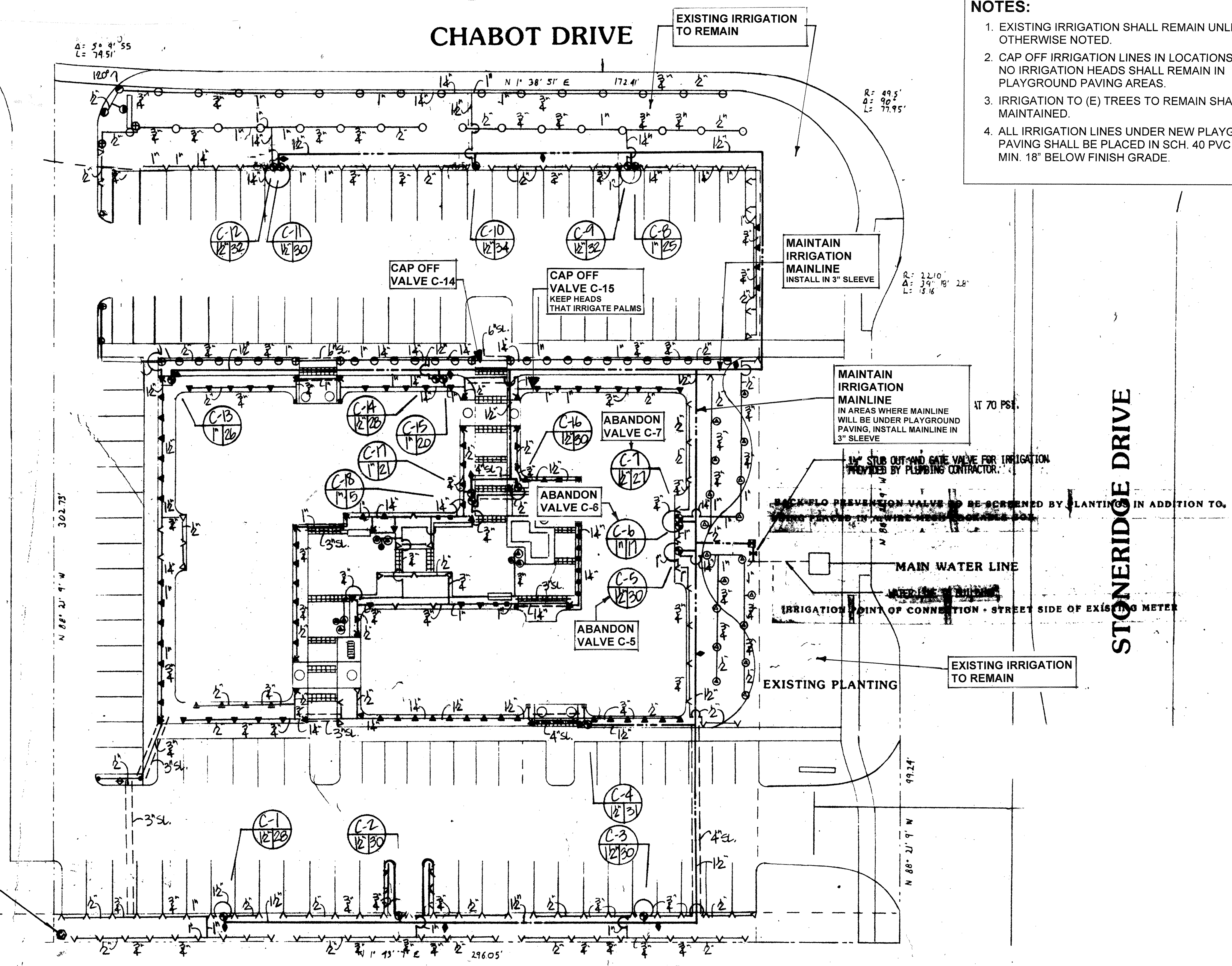
- EXISTING IRRIGATION SHALL REMAIN UNLESS OTHERWISE NOTED.
- CAP OFF IRRIGATION LINES IN LOCATIONS SHOWN. NO IRRIGATION HEADS SHALL REMAIN IN PLAYGROUND PAVING AREAS.
- IRRIGATION TO (E) TREES TO REMAIN SHALL BE MAINTAINED.
- ALL IRRIGATION LINES UNDER NEW PLAYGROUND PAVING SHALL BE PLACED IN SCH. 40 PVC SLEEVES, MIN. 18" BELOW FINISH GRADE.

**IRRIGATION LEGEND**

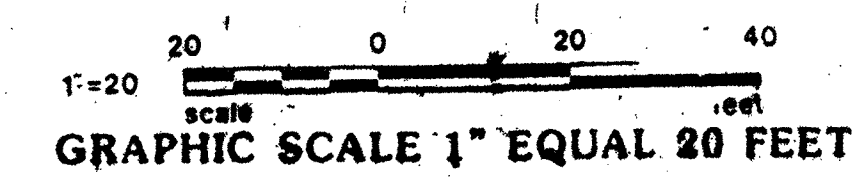
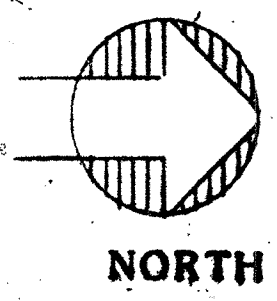
| SYMBOL | NUMBER                      | DESCRIPTION                       |
|--------|-----------------------------|-----------------------------------|
|        | 1804-15F, H, Q              | Rain Bird Pop-Up Lawn Sprinkler   |
|        | 1804-10H-LA, Q-LA           | Rain Bird Pop-Up Lawn Sprinkler   |
|        | 1806-12F, H, Q              | Rain Bird Pop-Up Shrub Sprinkler  |
|        | 1806-8H-FLT, Q-FLT          | Rain Bird Pop-Up Shrub Sprinkler  |
|        | 1806-15SST                  | Rain Bird Pop-Up Side Strip Spray |
|        | 1806-15SST                  | Rain Bird Pop-Up Strip Spray      |
|        | 1806-5GST-B, SQ-B (PCS-030) | Rain Bird Pop-Up Stream Bubbler   |
|        | 5633                        | Popco Quadra Bubbler              |
|        | FR Series                   | Rain Bird Remote Control Valve    |
|        | 33DMP                       | Rain Bird Quick Coupling Valve    |
|        | RM24R                       | Rain Master Controller            |
|        |                             | Pedestal Mount                    |
|        | 105Y-11"                    | Fabco Double Check Valve          |
|        |                             | Backflow Assembly                 |

| STATION NUMBER | GALLONS PER MINUTE | VALVE SIZE   |
|----------------|--------------------|--|
|                |                    | Main Line: 1120-Schedule 40 PVC Plastic Pipe with Schedule 40 PVC Solvent Weld Fittings 18" Cover. |
|                |                    | Lateral Line: 1120-200 psi PVC Plastic Pipe with Schedule 40 PVC Plastic Fittings. 12" Cover.      |
|                |                    | Sleeves: 1120-200 psi PVC Plastic Pipe. 24" Cover.   |



IRRIGATION CONTROLLER 1/2" PEDestal MOUNT SERVICE WITH 120 VOLT A.C. ELECTRICAL. ELECTRICAL SERVICE TO THIS LOCATION PROVIDED BY ELECTRICAL CONTRACTOR.

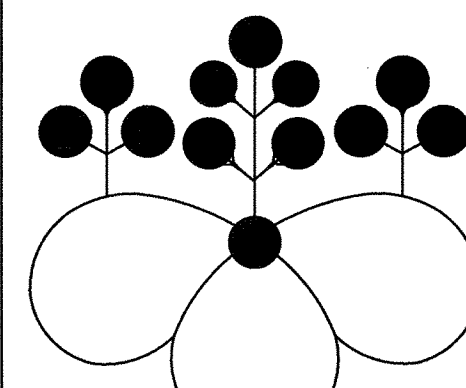


JOB TITLE  
**EMPIRE MONTESSORI PRESCHOOL**  
DUTRA PLAZA BUILDING  
5850 STONERIDGE DRIVE  
PLEASANTON, CALIFORNIA  
KEEN WEI, OWNER

SHEET TITLE  
MODIFICATION TO (E) IRRIGATION

|                    |              |
|--------------------|--------------|
| SCALE 1/4" = 1'-0" | DATE 1/10/19 |
| DRAWN SEO          | CHECKED      |
| SHEET L3           | OF 7 SHEETS  |





SUE ODA  
LANDSCAPE ARCHITECT

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EL CERRITO, CA 94530  
510-684-8789  
INFO@SUEODA.COM  
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LICENSE #CLA3798

SEE SHEET L3 FOR MODIFICATION TO  
(E) IRRIGATION VALVES AND LINES.

### IRRIGATION NOTES

#### GENERAL

- CONTRACTOR QUALIFICATIONS: THIS AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED BY AN EXPERIENCED FIRM, REGULARLY ENGAGED IN IRRIGATION INSTALLATION. CONTRACTOR SHALL HAVE A MINIMUM OF THREE YEARS OF SUCCESSFUL EXPERIENCE WITH INSTALLATIONS.
- CONTRACTOR SHALL OBTAIN PERMITS REQUIRED AND PROVIDE LABOR AND MATERIALS NECESSARY TO FULLY COMPLETE THE WORK IN ACCORDANCE WITH THE DRAWINGS.
- PROTECTION: THE CONTRACTOR SHALL LOCATE AND PROTECT NEW AND EXISTING UTILITIES PRIOR TO EXCAVATION. PROTECT ALL MATERIALS AND WORK AGAINST INJURY FROM ANY CAUSE AND SHALL PROVIDE AND MAINTAIN ALL NECESSARY SAFEGUARDS FOR THE PROTECTION OF THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK. THIS ALSO APPLIES TO LAWN AREAS. DO NOT STORE PVC PIPE IN DIRECT SUNLIGHT. BEDS ON WHICH PIPE ARE STORED MUST EXTEND FULL LENGTH OF PIPE.
- THIS PROPERTY IS LOCATED ALONG THE CITY'S RECYCLED WATER DISTRIBUTION SYSTEM. LANDSCAPE IRRIGATION IN THE PROJECT AREA SHALL CONVERT TO RECYCLED WATER USE FOR THE IRRIGATION AT THIS SITE. CONTRACTOR SHALL CONNECT NEW IRRIGATION TO EXISTING RECYCLED WATER IRRIGATION SYSTEM. ALL IRRIGATION COMPONENTS SHALL HAVE PURPLE INDICATORS TO INDICATE USE OF RECLAIMED WATER.
- CONTRACTOR SHALL POST A SIGN ON THE PROPERTY INDICATING THAT RECYCLED WATER IS IN USE AND IS NOT APPROPRIATE FOR HUMAN OR ANIMAL CONSUMPTION.
- CONTRACTOR SHALL INSTALL IRRIGATION SYSTEM SO THAT NO IRRIGATION COMES IN CONTACT WITH THE CHILDREN'S PLAY STRUCTURES.
- THE DRAWINGS ARE DIAGRAMMATIC. EQUIPMENT SHOWN IN PAVING IS FOR CLARITY ONLY - INSTALL IN PLANTING AREAS WHERE POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, ALL OFFSETS, FITTINGS, SLEEVES, ETC. WHICH MAY BE REQUIRED ARE NOT INDICATED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIFFERENCES THAT MAY HAVE NOT BEEN CONSIDERED IN THE ENGINEERING. WHERE FIELD CHANGES EXIST, COORDINATE THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AS PER THE CONTRACT SPECIFICATIONS. COORDINATE IRRIGATION CONTRACT WORK WITH ALL APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT, OR SLEEVES OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING, STRUCTURE, ETC.
- THE INTENT OF THIS IRRIGATION SYSTEM DESIGN IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- SCOPE OF WORK: THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR A COMPLETE OPERATING UNDERGROUND IRRIGATION SYSTEM AS SPECIFIED HEREIN AND AS SHOWN ON THE DRAWINGS. WORK AND MATERIALS SHALL CONFORM TO ALL CURRENT STATE AND LOCAL LAWS, RULES, CODES OR REGULATIONS AS MAY BE APPLICABLE TO THIS WORK.
- GUARANTY: MATERIALS, EQUIPMENT, AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE GUARANTY SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - FILLING DEPRESSIONS & REPLACING PLANTS DUE TO SETTLEMENT OF IRRIGATION TRENCHES.
  - ENSURING THAT THE IRRIGATION SYSTEM HAS BEEN ADJUSTED TO SUPPLY PROPER WATER COVERAGE OF AREAS DESIGNED TO RECEIVE WATER.

#### MATERIALS

- ALL MATERIALS ABOVE GRADE SHALL HAVE PURPLE INDICATORS.
- MAINLINE: SCHEDULE 40 PVC PIPE.
- PVC FITTINGS: SCHEDULE 40, TYPE 1, NSF APPROVED.
- PVC SLEEVES: MIN. SCHEDULE 40 PVC.
- PIPE THREAD SEALANT COMPOUND: PERMATEX 51 OR RECTOR SEAL T+2.
- DRIPLINE: NETFAM BIO-LINE PRESSURE COMPENSATING DRIPLINE WITH ROOT BARRIER.
- CONTROL WIRE: SOLID STRAND COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND, SIZE AWG-UF #14.1. COMMON GROUND WIRE: WHITE INSULATING JACKET. CONTROL WIRE: INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICES: MADE WITH 3M-DBY-SEAL PACKS.

**AUTOMATIC CONTROLLER:** CONTRACTOR SHALL USE EXISTING CONTROLLER. NEW IRRIGATION

**HOSE BIBB:** PROVIDE HOSE BIBB AT PLANTER BOX AS SHOWN.

#### RECYCLED WATER DRIP IRRIGATION

- GENERAL:** RECYCLED WATER DRIP IRRIGATION TUBING AND EMITTERS SHALL BE INSTALLED ONLY AFTER PLANTING AND FINISH GRADING IS COMPLETE, WATERING WELLS ARE INSTALLED.
- FLUSH AND ADJUST EMITTER HEADS FOR EFFICIENT PERFORMANCE. PREVENT WATER ON THE WALKS AND PAVEMENT. FLUSH SOLID WALL PVC PIPE PRIOR TO INSTALLING DRIP IRRIGATION TUBING. PROVIDE EMACULATE CONNECTIONS AT ALL TIMES TO PREVENT PARTICLES FROM CLOGGING TUBING AND EMITTERS.
- FILTER:** FLUSHABLE WYE FILTER SHALL HAVE A MINIMUM OF 200 MESH SCREEN.
- PRESSURE REDUCER:** IF WATER PRESSURE AFTER FILTER EXCEEDS 25 PSI, PROVIDE PRESSURE REDUCER SET TO 25 PSI.
- RECLAIMED WATER TUBING AND EMITTERS OUTSIDE OF CHILDREN'S PLAY AREA: DRIP TUBING OUTSIDE OF CHILDREN'S PLAY AREA SHALL BE LAID ON THE FINISHED GRADE AND STAKED AT 3' - 0" O.C. WITH DRIP TUBING STAKES. DO NOT PINCH TUBING WITH STAKES. PROVIDE FLUSH VALVE AT END OF EACH LINE. EMITTERS SHALL BE INSTALLED WITH BARBED CONNECTORS AND PLACED ABOVE ROOT ZONE OF PLANT, BUT NOT AGAINST TRUNK OR STEM, AS FOLLOWS:
  - HOLLY OAKS: EXISTING IRRIGATION TO THIS AREA SHALL REMAIN
  - 5 GAL SHRUBS: 0.6 GPH DRIPLINE, 24" SPACING
- RECLAIMED WATER TUBING AND EMITTERS INSIDE CHILDREN'S PLAY AREA: DRIP TUBING INSIDE OF CHILDREN'S PLAY AREA SHALL BE INSTALLED 4" BELOW FINISH GRADE AND STAKED AT 3' - 0" O.C. WITH DRIP TUBING STAKES. DO NOT PINCH TUBING WITH STAKES. PROVIDE FLUSH VALVE AT GRADE AT THE END OF EACH LINE. EMITTERS SHALL BE INSTALLED WITH BARBED CONNECTORS AND PLACED AT ROOT BALL OF PLANT, AS FOLLOWS:
  - PEPPER TREE: UNDERGROUND DRIPLINE TREE RING
  - 5 GAL SHRUBS: 0.6 GPH DRIPLINE, 18" SPACING
  - 1 GAL. PERENNIALS: 0.6 GPH DRIPLINE, 18" SPACING
  - GROUND COVER: 0.6 GPH DRIPLINE, 12" SPACING

#### MAINTENANCE

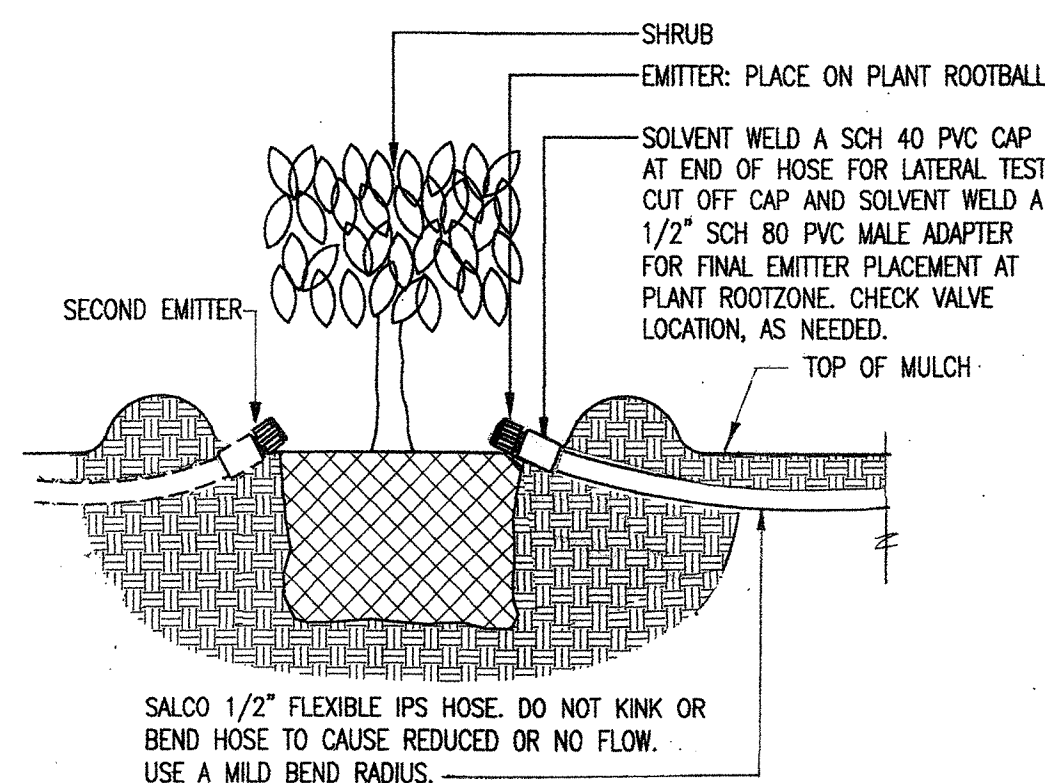
- CONTRACTOR SHALL ENSURE ALL LANDSCAPE AND IRRIGATION MAINTENANCE PROFESSIONALS KNOW THAT RECLAIMED WATER IS BEING USED ON THE PROPERTY.
- IRRIGATION SHALL OCCUR AT NIGHT WHEN CHILDREN ARE NOT PRESENT.
- THE CITY'S RECYCLED WATER PROGRAM REQUIRES AT LEAST ONE PERMANENT STAFF MEMBER OF A CHILDCARE BUSINESS ON A PROPERTY USING RECYCLED WATER FOR IRRIGATION TO ATTEND THE CITY'S NO COST RECYCLED WATER TRAINING WORKSHOP (2 HOURS).

#### SITE CLEAN-UP

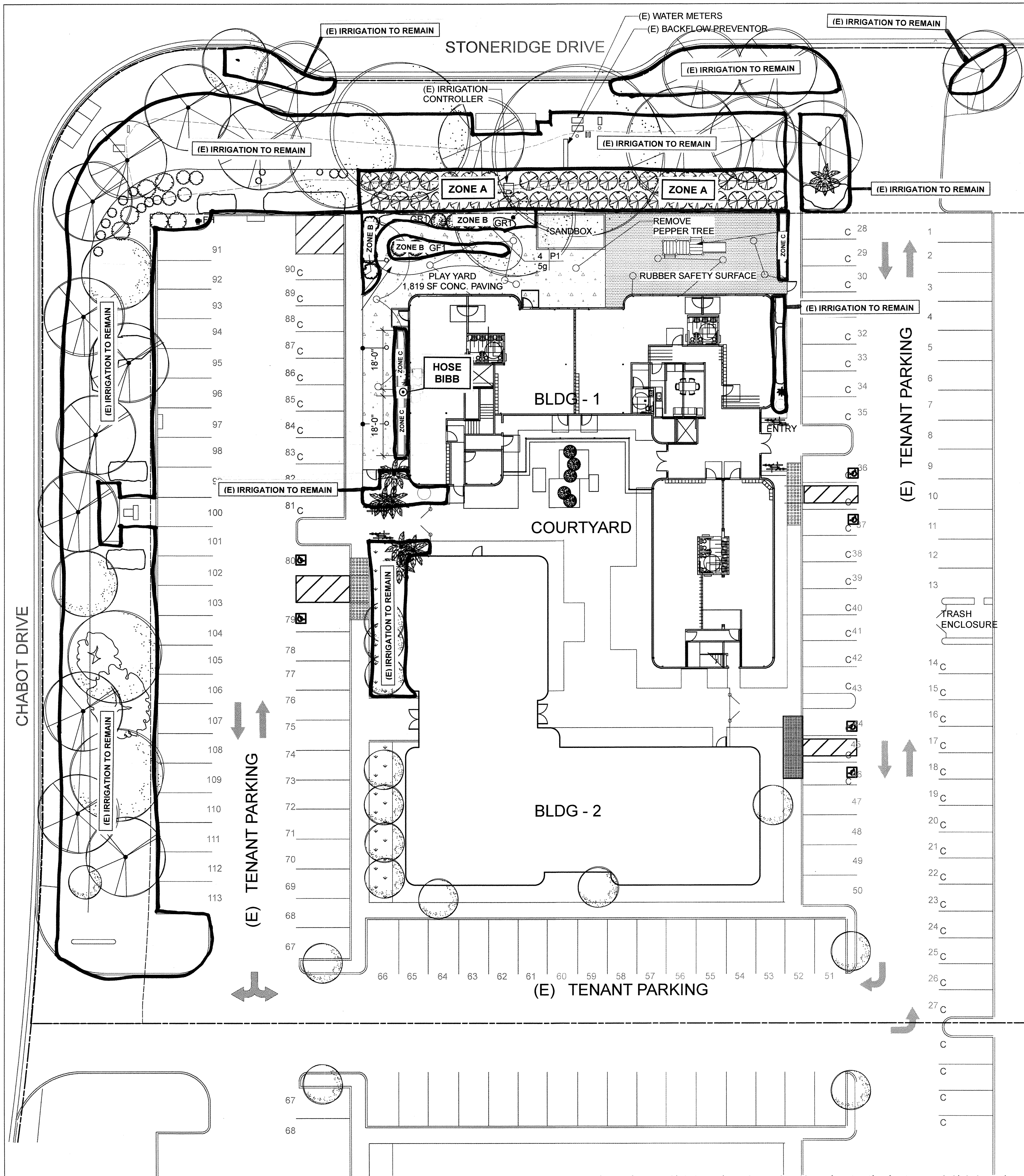
- REMOVE DEBRIS AND ACCUMULATION OF DEBRIS AS A RESULT OF IRRIGATION CONSTRUCTION FROM THE SITE AND LEAVE AREA IN A CLEAN CONDITION ACCEPTABLE TO THE OWNER. AS-BUILT DRAWINGS - DURING THE COURSE OF THE INSTALLATION, THE IRRIGATION CONTRACTOR SHALL RECORD ALL CHANGES MADE TO THE IRRIGATION SYSTEM DURING INSTALLATION. CHANGES SHALL BE CAREFULLY DRAWN IN RED LINE ON A PRINT OF THE IRRIGATION SYSTEM DRAWING. UPON COMPLETION OF THE INSTALLATION, THIS RED LINE DRAWING SHALL BE GIVEN TO THE OWNER FOR USE AS AN AS-BUILT DRAWING.

### IRRIGATION ZONE KEY

- ZONE A:** UNDERGROUND AUTOMATIC DRIP IRRIGATION W/ RECYCLED WATER MODERATE WATER FLOW
- ZONE B:** UNDERGROUND AUTOMATIC DRIP IRRIGATION W/ RECYCLED WATER LOW WATER FLOW
- ZONE C:** HAND WATER AT CHILDREN'S PLANTER BOXES



**SHRUB EMITTER**  
NOT TO SCALE



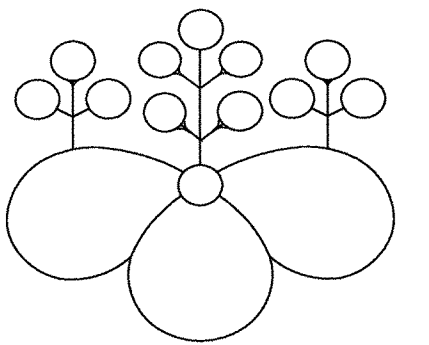
JOB TITLE  
**EMPIRE MONTESSORI PRESCHOOL**  
EMPIRE MONTESSORI PRESCHOOL  
EMPIRE MONTESSORI PRESCHOOL  
5960 STONERIDGE DRIVE  
PLEASANTON, CALIFORNIA

SHEET TITLE  
**(N) IRRIGATION PLAN**

SCALE 1/16" = 1'-0" DATE 2/7/19

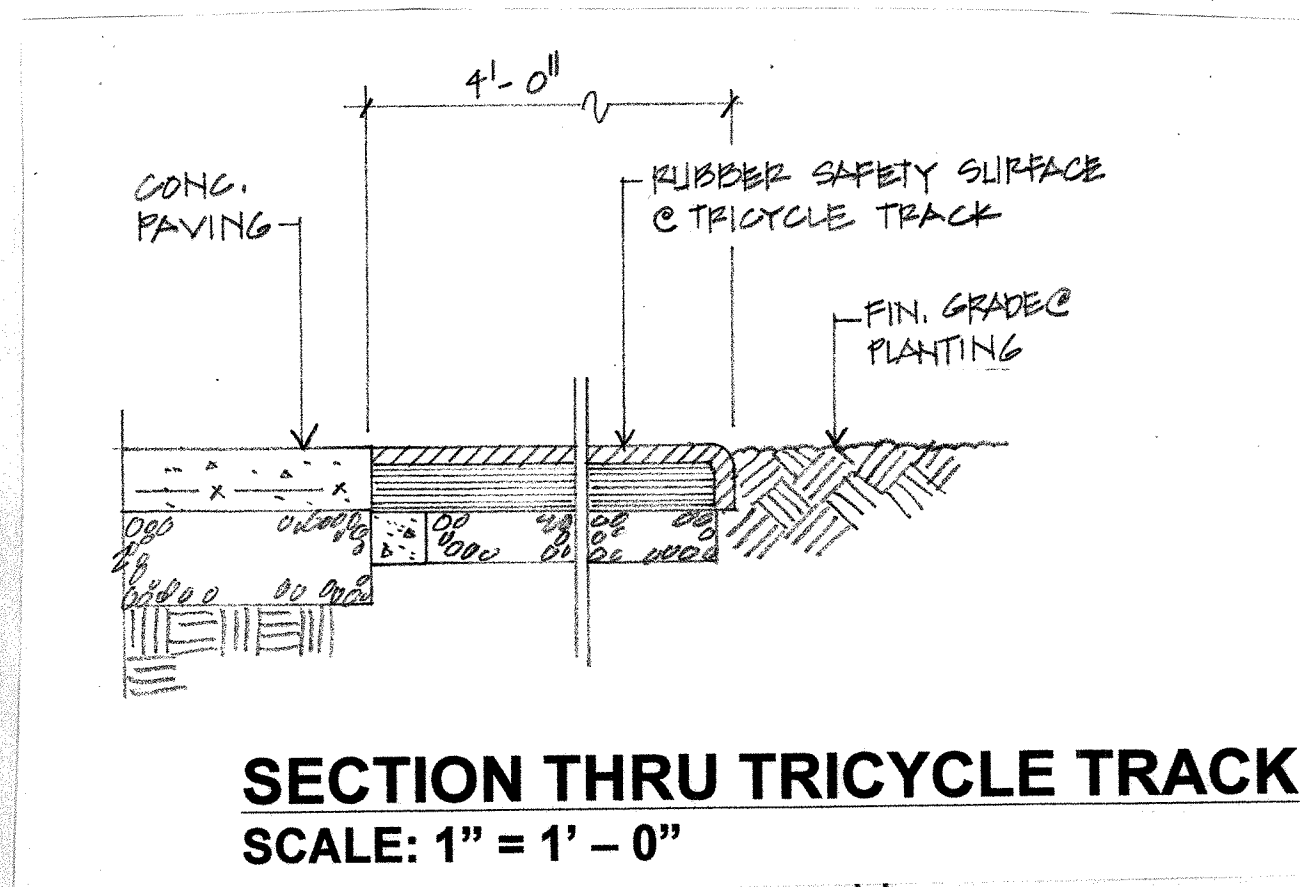
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SHEET L4 OF 7 SHEETS



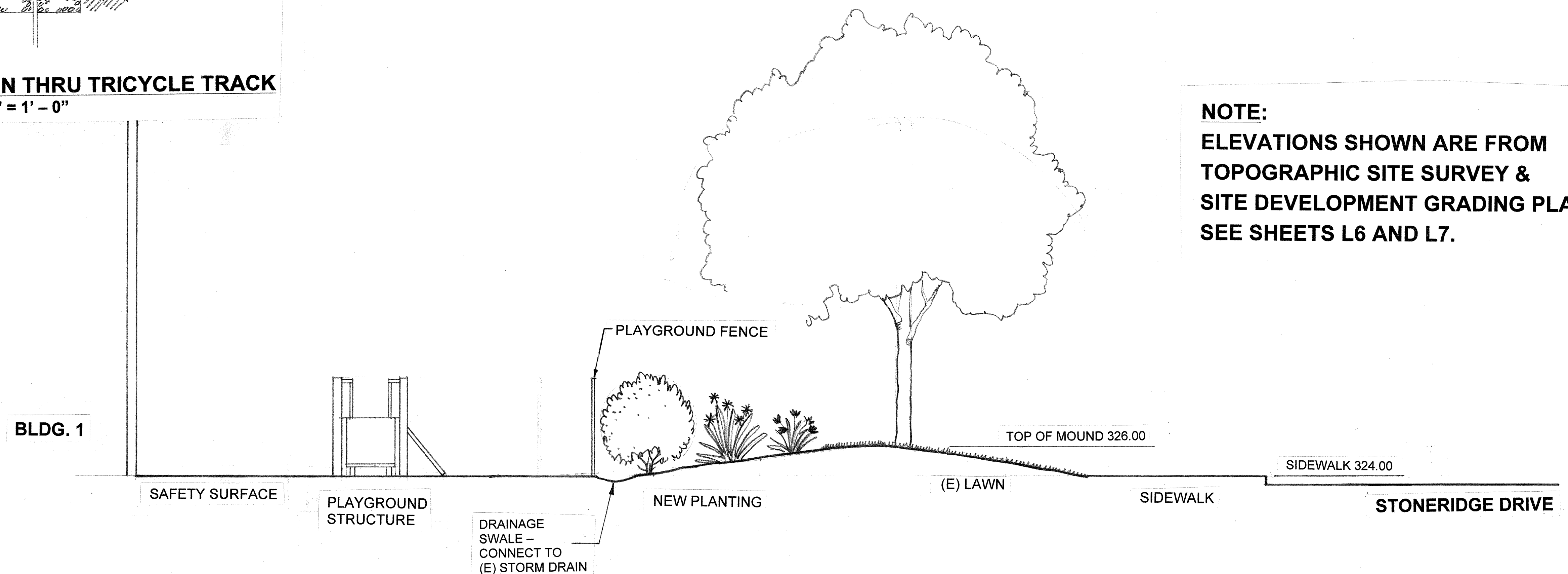
**SUE ODA**  
LANDSCAPE ARCHITECT

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EL CERRITO, CA 94530  
510-684-8789  
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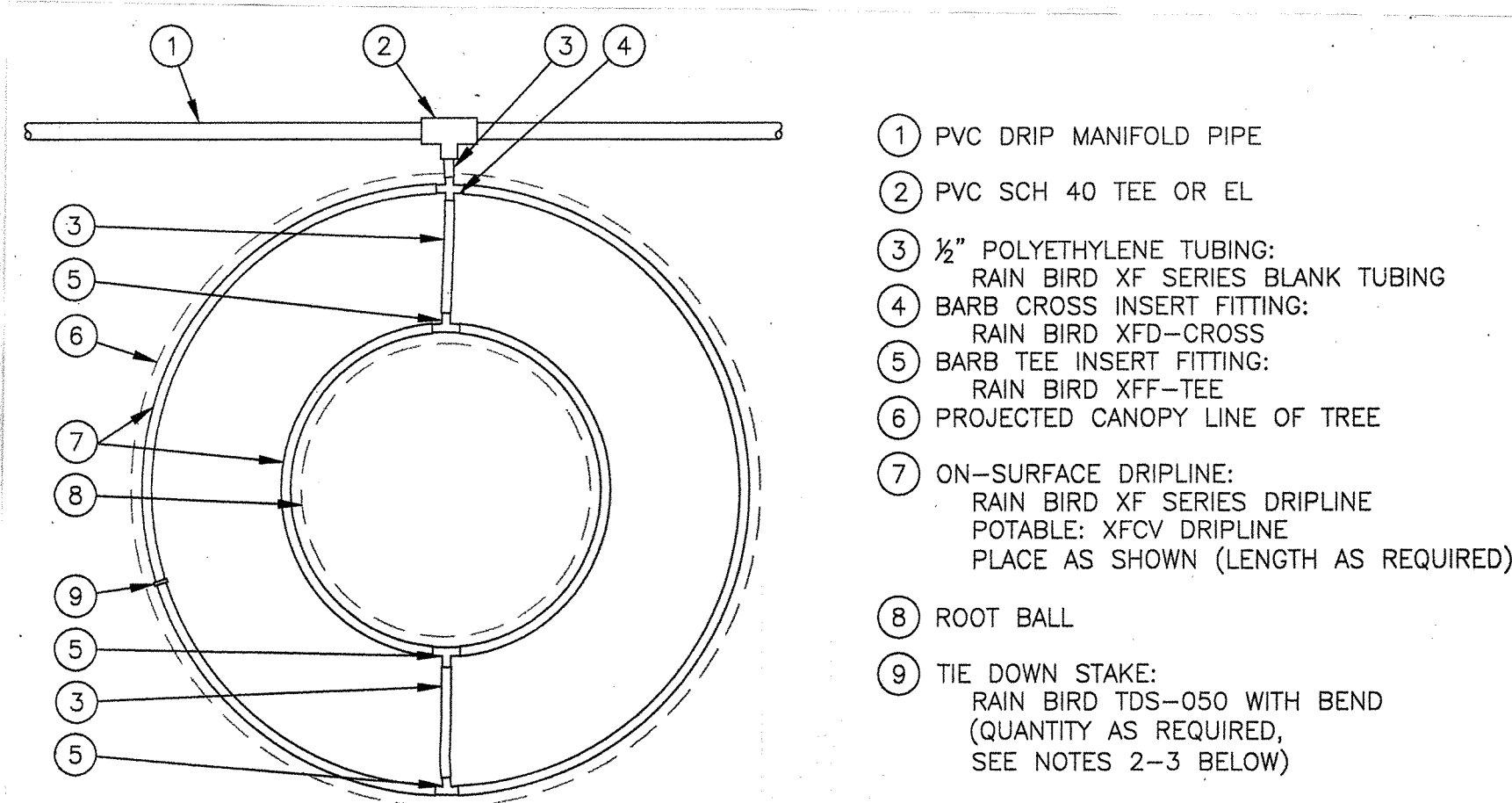


**SECTION THRU TRICYCLE TRACK**  
SCALE: 1" = 1'-0"

**NOTE:**  
ELEVATIONS SHOWN ARE FROM  
TOPOGRAPHIC SITE SURVEY &  
SITE DEVELOPMENT GRADING PLAN.  
SEE SHEETS L6 AND L7.



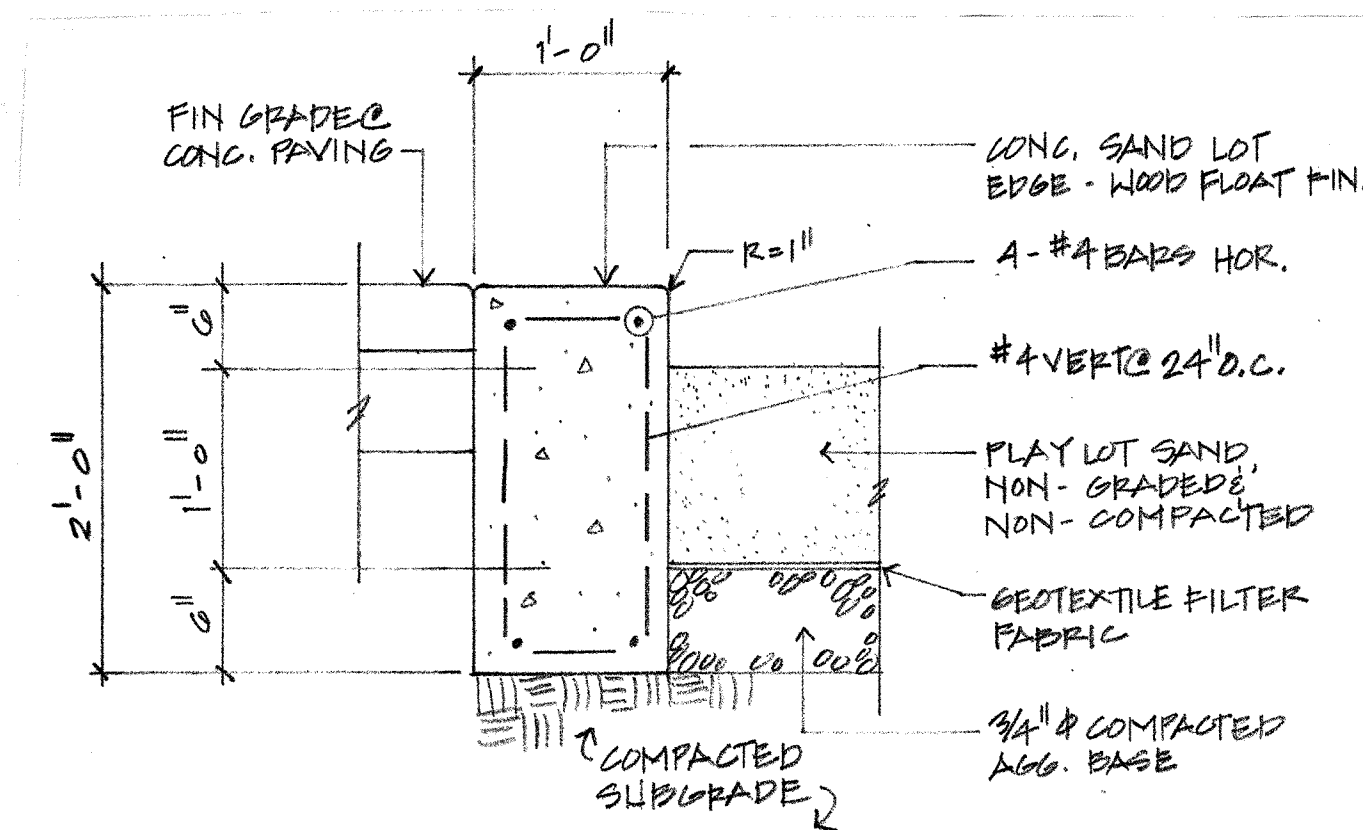
**SECTION THROUGH PLAYGROUND & LANDSCAPE AREA**  
SCALE: 1/4" = 1'-0"



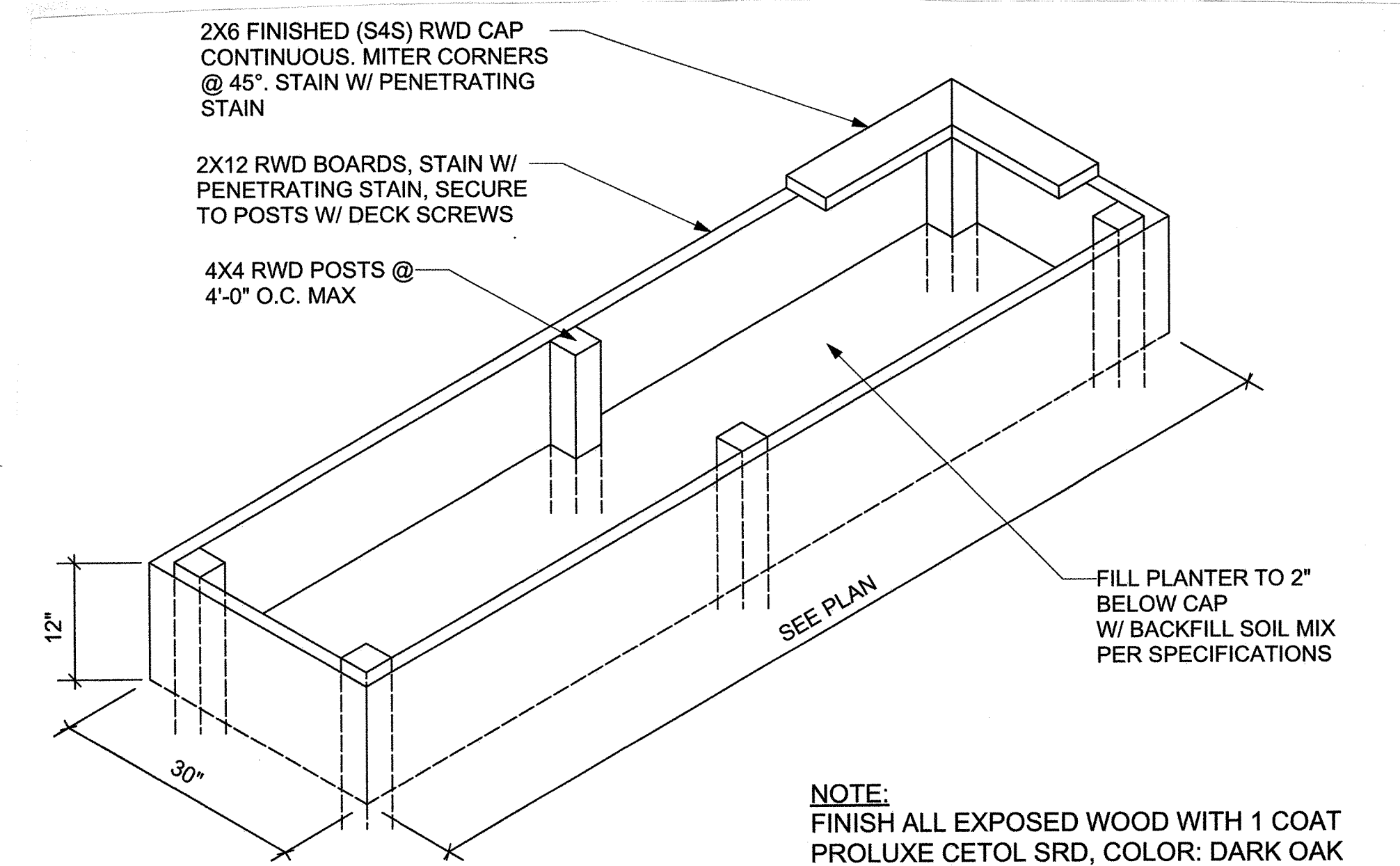
- ① PVC DRIP MANIFOLD PIPE
- ② PVC SCH 40 TEE OR EL
- ③ 1/2" POLYETHYLENE TUBING: RAIN BIRD XF SERIES BLANK TUBING
- ④ BARB CROSS INSERT FITTING: RAIN BIRD XFD-CROSS
- ⑤ BARB TEE INSERT FITTING: RAIN BIRD XFF-TEE
- ⑥ PROJECTED CANOPY LINE OF TREE
- ⑦ ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFCV DRIPLINE PLACE AS SHOWN (LENGTH AS REQUIRED)
- ⑧ ROOT BALL
- ⑨ TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (QUANTITY AS REQUIRED, SEE NOTES 2-3 BELOW)

- NOTES:
1. DISTANCE BETWEEN LATERAL RINGS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, AND TREE CANOPY. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
  2. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
  3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

**DRIP RING TO TREE**  
NOT TO SCALE



**SANDBOX EDGE**  
SCALE: 1" = 1'-0"



**RAISED REDWOOD PLANTER (STAINED)**  
SCALE: 3/4" = 1'-0"

**NOTE:**  
FINISH ALL EXPOSED WOOD WITH 1 COAT  
PROLUXE CETOL SRD, COLOR: DARK OAK

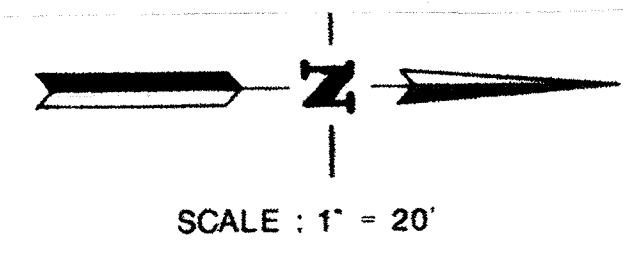
JOB TITLE  
**EMPIRE MONTESSORI PRESCHOOL**  
DUTRA PLAZA BUILDING  
5950 STONERIDGE DRIVE  
PLEASANTON, CALIFORNIA  
KEEN WEI, OWNER

SHEET TITLE  
**LANDSCAPE SECTION AND DETAILS**

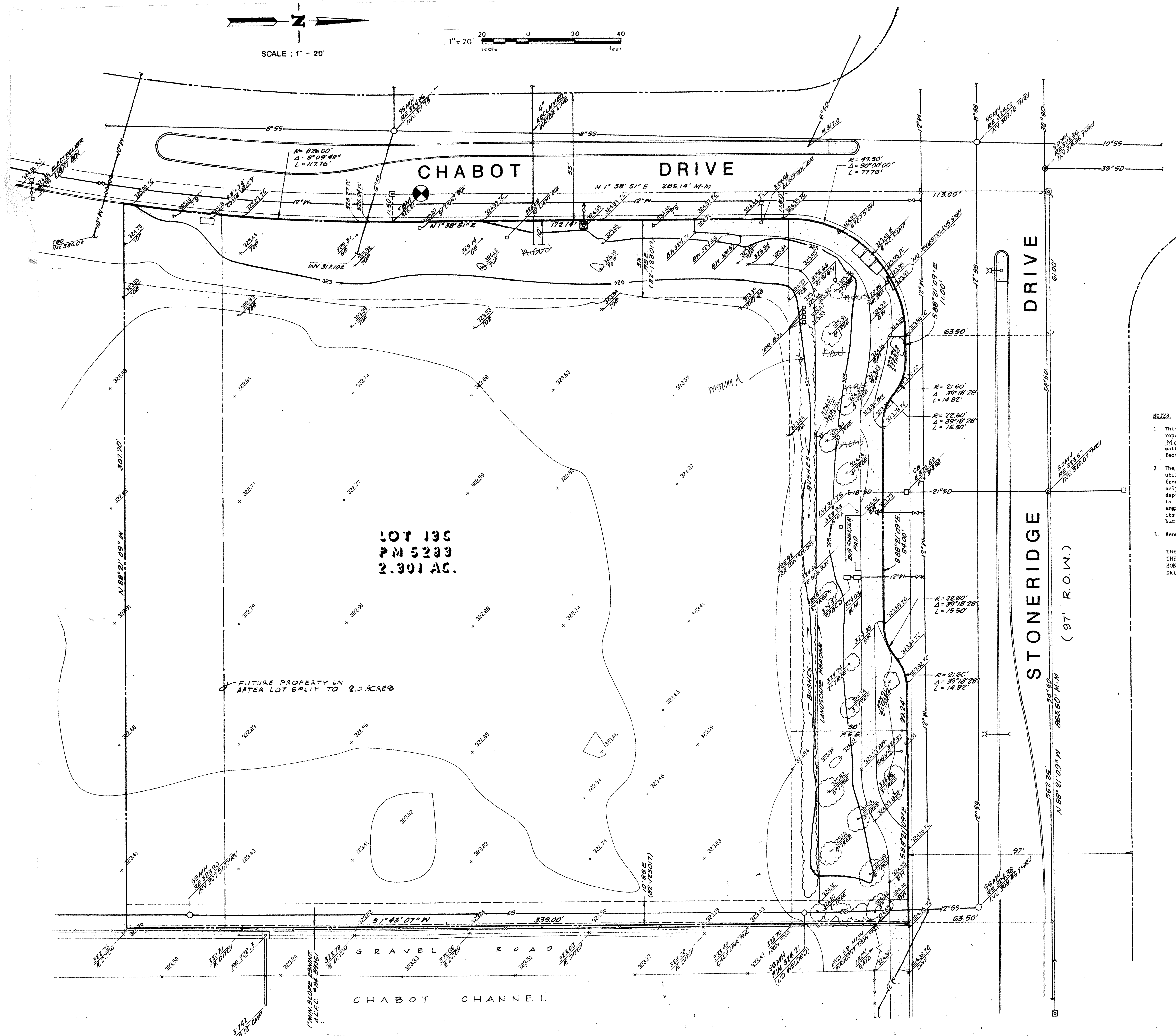
SCALE 1/4" = 1'-0" DATE 2/19/19

DRAWN SEO CHECKED

SHEET L5 OF 7 SHEETS



1" = 20'  
scale feet



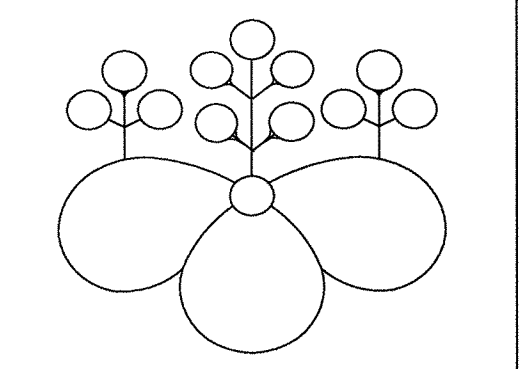
| EXISTING | PROPOSED | DESCRIPTION                       |
|----------|----------|-----------------------------------|
| ---      | ---      | PROPERTY LINE                     |
| ---      | ---      | BUILDING LINE                     |
| ---      | ---      | CENTERLINE                        |
| ---      | ---      | EASEMENT LINE                     |
| ---      | ---      | CURB AND GUTTER                   |
| ---      | ---      | CONCRETE CURB                     |
| ---      | ---      | SANITARY SEWER                    |
| ---      | ---      | STORM DRAIN AND RAIN WATER LEADER |
| ---      | ---      | WATER LINE                        |
| ---      | ---      | POST INDICATOR VALVE              |
| ---      | ---      | FIRE DEPARTMENT CONNECTION        |
| ---      | ---      | DOMESTIC WATER SERVICE            |
| ---      | ---      | FIRE SERVICE                      |
| ---      | ---      | GAS LINE                          |
| ---      | ---      | TELEPHONE LINE                    |
| ---      | ---      | JOINT TRENCH                      |
| ---      | ---      | UNDERGROUND POWER                 |
| ---      | ---      | OVERHEAD POWER                    |
| ---      | ---      | STREET LIGHT CONDUIT              |
| ---      | ---      | FENCE LINE                        |
| ---      | ---      | EDGE OF PAVEMENT                  |
| ---      | ---      | SEWER MANHOLE                     |
| ---      | ---      | STORM DRAIN MANHOLE               |
| ---      | ---      | CATCH BASIN                       |
| ---      | ---      | AREA DRAIN                        |
| ---      | ---      | BARRIER                           |
| ---      | ---      | CLEANOUT                          |
| ---      | ---      | POWER OR JOINT POLE WITH ANCHOR   |
| ---      | ---      | ELECTROLYZER                      |
| ---      | ---      | FIRE HYDRANT                      |
| ---      | ---      | TRAFFIC SIGN                      |
| ---      | ---      | STANDARD STREET MONUMENT          |
| ---      | ---      | DRIVEWAY                          |
| ---      | ---      | A/C PAVEMENT                      |
| ---      | ---      | TRUCK PAVEMENT                    |
| ---      | ---      | CONCRETE                          |
| ---      | ---      | CONCRETE CAP                      |
| ---      | ---      | CONTOUR                           |
| ---      | ---      | SPOT ELEVATION                    |
| ---      | ---      | FLOW ARROWS                       |
| ---      | ---      | CONCRETE OR BLOCK WALL            |

- NOTES:
- This survey was prepared from information furnished in a preliminary title report, prepared by NORTH AMERICAN TITLE COMPANY, dated March 23, 1990, number S-0104362. No liability is assumed for matters of record not stated in said preliminary title report that may affect the title lines, or exceptions, or assessments of the property.
  - The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic and boundary survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all known underground utilities.) However, the engineer can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
  - Benchmark:  
THE TOP OF CURB MARKED WITH A CHISELED SQUARE ON THE EASTERLY SIDE OF CHABOT DRIVE OPPOSITE THE MONUMENT IN ROAD, 285 FEET SOUTH OF STONERIDGE DRIVE WAS USED AS THE BENCHMARK FOR THIS SURVEY.  
ELEVATION - 325.21

**BID SET**



David A. Readler  
DAVID A. READLER RCE 30799 DATE  
LIC. EXP. 3-31-92

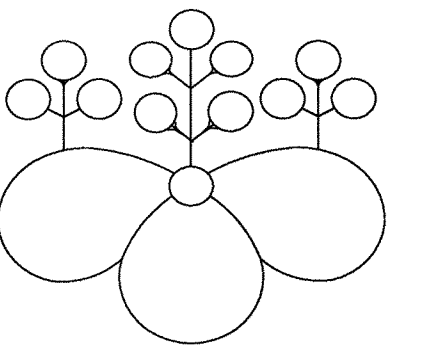


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JOB TITLE  
**EMPIRE MONTESSORI PRESCHOOL**  
DUTRA PLAZA BUILDING  
5950 STONERIDGE DRIVE  
PLEASANTON, CALIFORNIA  
KEEN WEI, OWNER

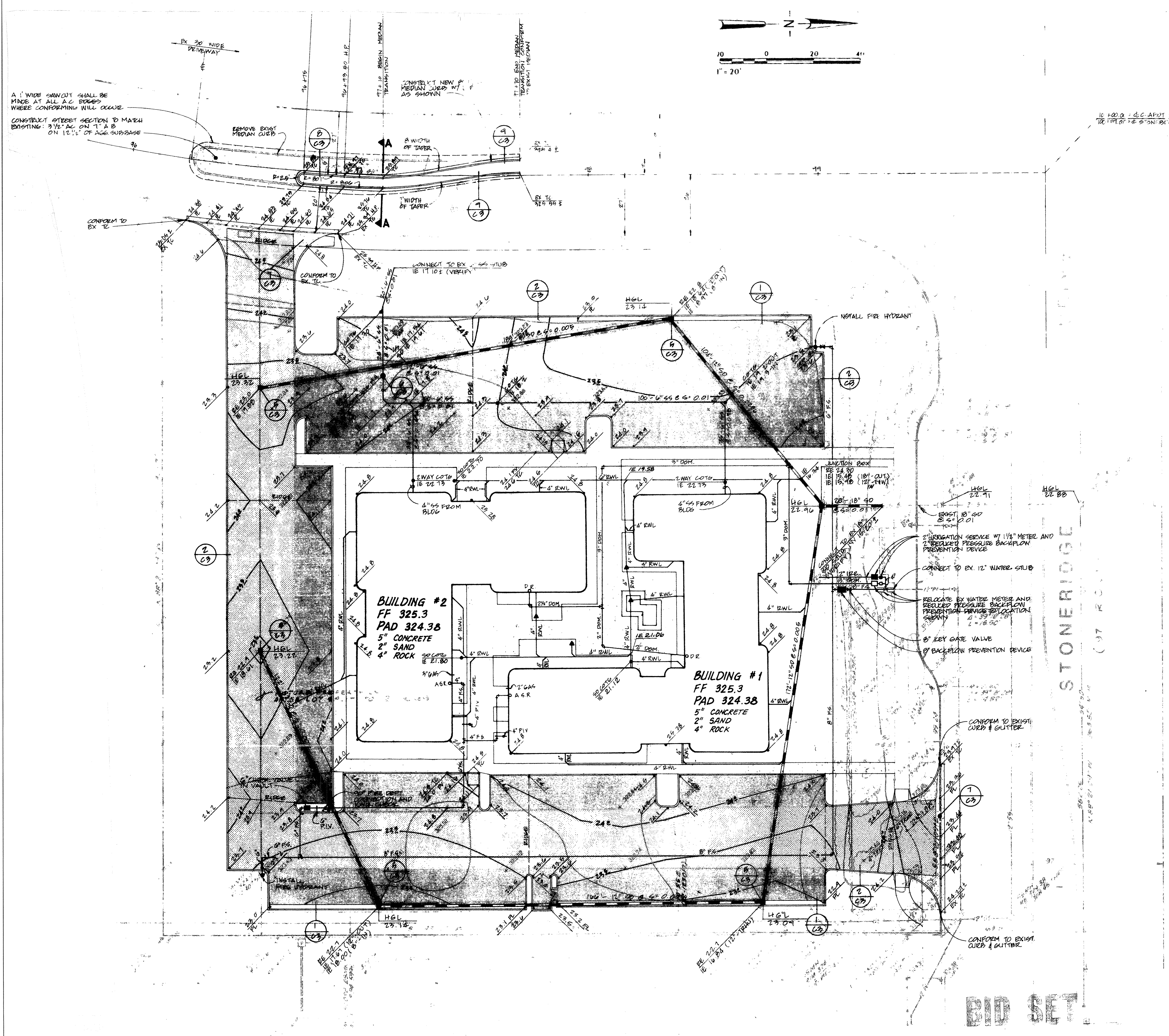
SHEET TITLE  
TOPOGRAPHIC SURVEY

|                      |              |
|----------------------|--------------|
| SCALE 1/4" = 1' - 0" | DATE 1/10/19 |
| DRAWN SEO            | CHECKED      |
| SHEET L6             | OF 7 SHEETS  |



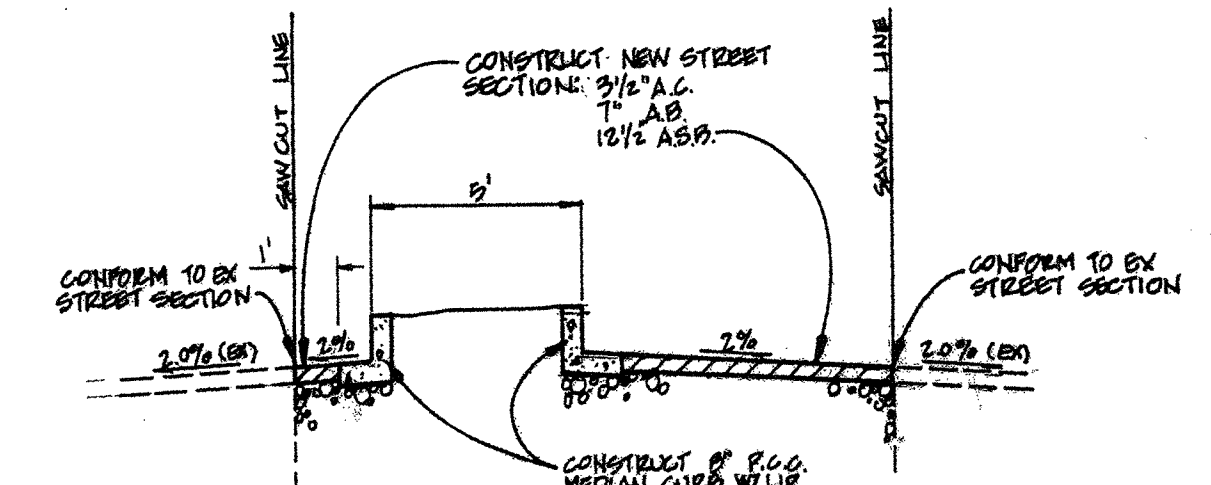
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**GRADING AND UTILITY NOTES**

- 1) ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE SOIL AND FOUNDATION INVESTIGATION PREPARED FOR THIS SITE BY RSK & ASSOCIATES DATED OCTOBER 28, 1991, RSK JOB NO. F911196.
- 2) STORM DRAIN PIPE DESIGNATED AS "SD" TO BE CLASS III S.C.P. OR SDR-35 (GREENITTE) P.V.C. PIPE BY MANVILLE OR APPROVED EQUAL. P.V.C. PIPE SHALL ONLY BE USED WHEN MINIMUM COVER REQUIREMENTS ARE AS SPECIFIED IN THE "P.V.C. PIPE BEDDING DETAIL" SUBSTITUTIONS FOR ANY PIPE WITH A PARTICULAR MATERIAL SPECIFIED ON THIS PLAN SHALL ONLY BE MADE WITH THE APPROVAL OF THE ENGINEER.
- 2b) STORM DRAIN PIPE TO BE:  
12" DIAMETER AND SMALLER-P.V.C. SDR-35.  
15" DIAMETER AND LARGER CLASS III RCP.  
NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE (D.I.P.).
- 3) ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VALVES, AND PULL BOXES, THAT LIE WITHIN THE PUBLIC RIGHT-OF-WAY EASEMENTS OR AREAS AFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY FOR WHICH THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
- 4) CONTRACTOR SHALL DETERMINE HIS OWN EARTH QUANTITIES AND BASE HIS BID ACCORDINGLY.
- 5) TOP OF CURB ELEVATION IS 0.5' ABOVE THE A.C. PAVING AND SPOT ELEVATIONS ARE TO FINISHED SURFACE (UNLESS OTHERWISE NOTED).
- 6) COMPACTION TO BE DETERMINED USING ASTM D-1557, LATEST EDITION.
- 7) THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, DEPTHS, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- 8) CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. PIPES SHALL NOT BE STRUNG OR TRENCHING CONDUCTED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
- 9) THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR TO PLACING OF CONCRETE OF TRENCHING.
- 10) ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE PARKING BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- 11) ALL WORK, ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO CITY OF PLEASANTON STANDARDS AND REQUIREMENTS.
- 12) GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND UTILITIES. PROVIDE 6" MINIMUM BETWEEN PIPES CROSSING ELECTRICAL LINES AND 12" MINIMUM BETWEEN PIPES PARALLEL TO ELECTRICAL LINES.
- 13) FIRE LINES AND SPRINKLER RISERS ARE SHOWN SCHEMATICALLY ONLY. SIZE OF LINE, VALVES, ETC., SHALL CONFORM TO SPECIFICATIONS AND REQUIREMENTS OF ALL APPLICABLE AGENCIES, SUCH AS FIRE DEPARTMENT, I.S.O., ETC.
- 14) SANITARY SEWER IS SHOWN SCHEMATICALLY ONLY. VERIFY FIXTURE LOCATIONS WITH FLOOR PLAN AND PROVIDE CLEANOUTS AND SERVICES AS REQUIRED.
- 15) FOR UTILITY MATERIALS AND TYPES, SEE THE PROJECT SPECIFICATION.
- 16) WATER LINES SHOULD BE 12" MINIMUM ABOVE SANITARY SEWER LINE AT ALL CROSSINGS.
- 17) MINIMUM COVER FOR WATER LINES IS 3.0 FEET.



**SECTION A-A**  
N.T.S.

**EMPIRE MONTessori PRESCHOOL**  
DUTRA PLAZA BUILDING  
5950 STONERIDGE DRIVE  
PLEASANTON, CALIFORNIA  
KEEN WEI, OWNER

|             |                  |         |          |
|-------------|------------------|---------|----------|
| JOB TITLE   |                  |         |          |
| SHEET TITLE | (E) GRADING PLAN |         |          |
| SCALE       | 1/4" = 1'-0"     | DATE    | 1/10/19  |
| DRAWN       | SEO              | CHECKED |          |
| SHEET       | L7               | OF      | 7 SHEETS |

**BID SET**

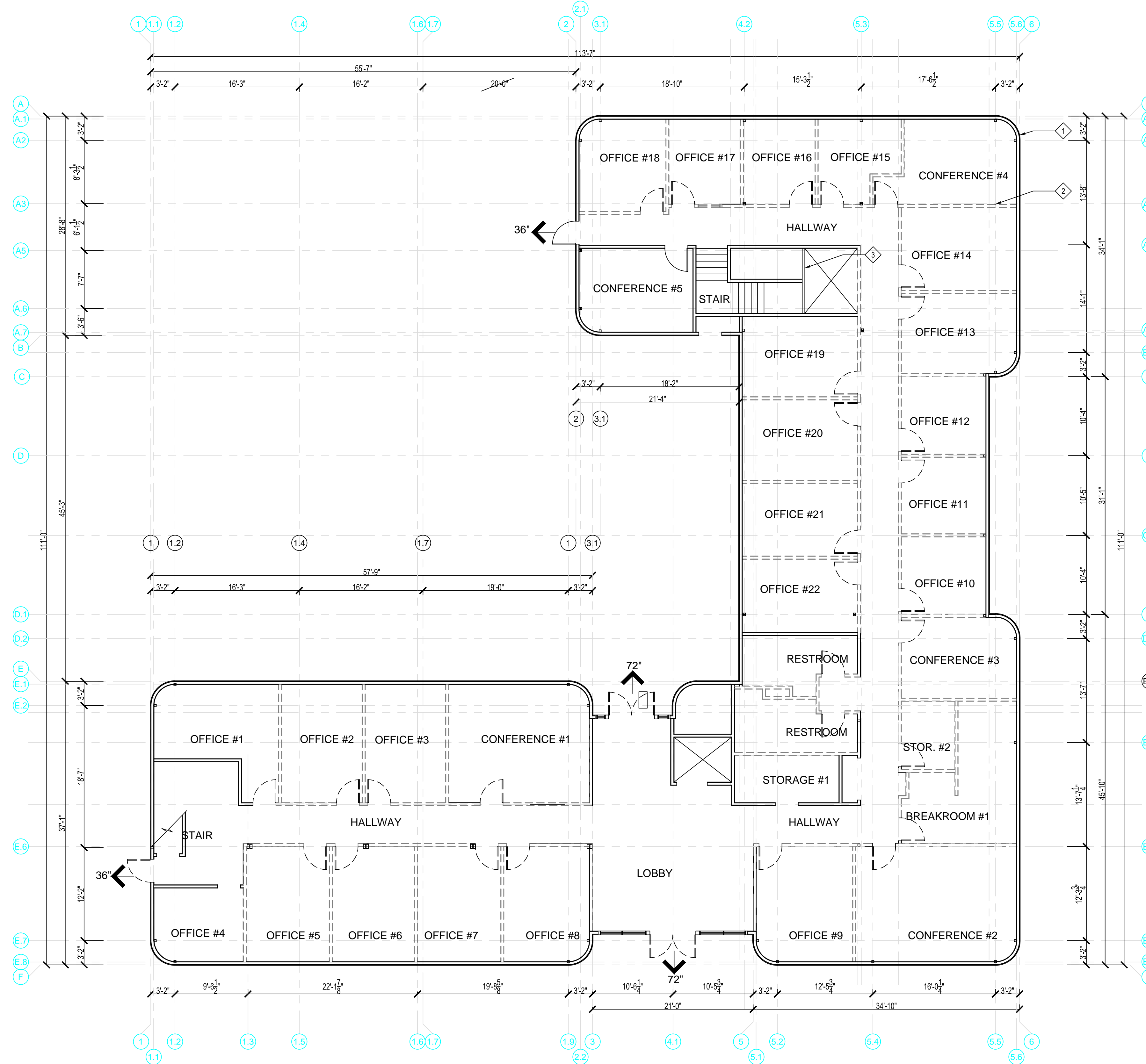
19

19

19

20

2 EXISTING FIRST FLOOR & DEMOLITION PLANS 1/8" = 1'-0"



SHEET NOTES

- 1 EXISTING EXTERIOR WALLS W/ CONTINUOUS STRIP WINDOWS.
- 2 DEMOLISH EXISTING 4" METAL STUD WALLS.
- 3 EXISTING INTERIOR WALL TO REMAIN.

**ARCHITECTURAL CONCEPTS**  
 ● ARCHITECTURE ● INTERIORS ● PLANNING  
 509 RAMONA AVE.  
 ALBANY, CA 94706-1431  
 T/F 510-525-9630  
 jcowee8@gmail.com  
 architectural-concepts.net



CONSULTANT:

**EMPIRE MONTESSORI PRESCHOOL**  
 DUTRA PLAZA BUILDING 5950 STONERIDGE DRIVE  
 PLEASANTON, CALIFORNIA  
 KEEN WEI, OWNER

OCCUPANCY "B"

OCCUPANT LOAD:

|                                 |   |              |   |     |
|---------------------------------|---|--------------|---|-----|
| OFFICE #1                       | = | 184 SF / 100 | = | 2   |
| OFFICE #2                       | = | 162 SF / 100 | = | 2   |
| OFFICE #3                       | = | 162 SF / 100 | = | 2   |
| OFFICE #4                       | = | 109 SF / 100 | = | 2   |
| OFFICE #5                       | = | 161 SF / 100 | = | 2   |
| OFFICE #6                       | = | 163 SF / 100 | = | 2   |
| OFFICE #7                       | = | 163 SF / 100 | = | 2   |
| OFFICE #8                       | = | 167 SF / 100 | = | 2   |
| OFFICE #9                       | = | 187 SF / 100 | = | 2   |
| OFFICE #10                      | = | 111 SF / 100 | = | 2   |
| OFFICE #11                      | = | 113 SF / 100 | = | 2   |
| OFFICE #12                      | = | 111 SF / 100 | = | 2   |
| OFFICE #13                      | = | 154 SF / 100 | = | 2   |
| OFFICE #14                      | = | 162 SF / 100 | = | 2   |
| OFFICE #15                      | = | 103 SF / 100 | = | 2   |
| OFFICE #16                      | = | 103 SF / 100 | = | 2   |
| OFFICE #17                      | = | 103 SF / 100 | = | 2   |
| OFFICE #18                      | = | 133 SF / 100 | = | 2   |
| OFFICE #19                      | = | 157 SF / 100 | = | 2   |
| OFFICE #20                      | = | 157 SF / 100 | = | 2   |
| OFFICE #21                      | = | 142 SF / 100 | = | 2   |
| OFFICE #22                      | = | 142 SF / 100 | = | 2   |
| CONFERENCE #1                   | = | 279 SF / 15  | = | 19  |
| CONFERENCE #2                   | = | 314 SF / 15  | = | 21  |
| CONFERENCE #3                   | = | 157 SF / 15  | = | 11  |
| CONFERENCE #4                   | = | 175 SF / 15  | = | 12  |
| CONFERENCE #5                   | = | 161 SF / 15  | = | 11  |
| STORAGE #1                      | = | 83 SF / 200  | = | 1   |
| STORAGE #2                      | = | 61 SF / 200  | = | 1   |
| LOBBY                           | = | 481 SF / 15  | = | 32  |
| BREAK ROOM #1                   | = | 205 SF / 15  | = | 14  |
| BREAK ROOM #1 & BLDG. STRUCTURE | = | 2,502 SF / 0 | = | 0   |
| TOTALS                          | = | 7,456 SF     | = | 162 |

162 X .2 = 33 IN. = EXIT WIDTH REQ'D  
 216 IN. = EXIT WIDTH PROVIDED

|                                       |
|---------------------------------------|
| PLANNING COMMENTS & HOA COMMENTS      |
| BLDG. DEPT. PLAN CHECK & HOA COMMENTS |

| REVISIONS | DATE |
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| APPROVAL | DATE |
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JOB:

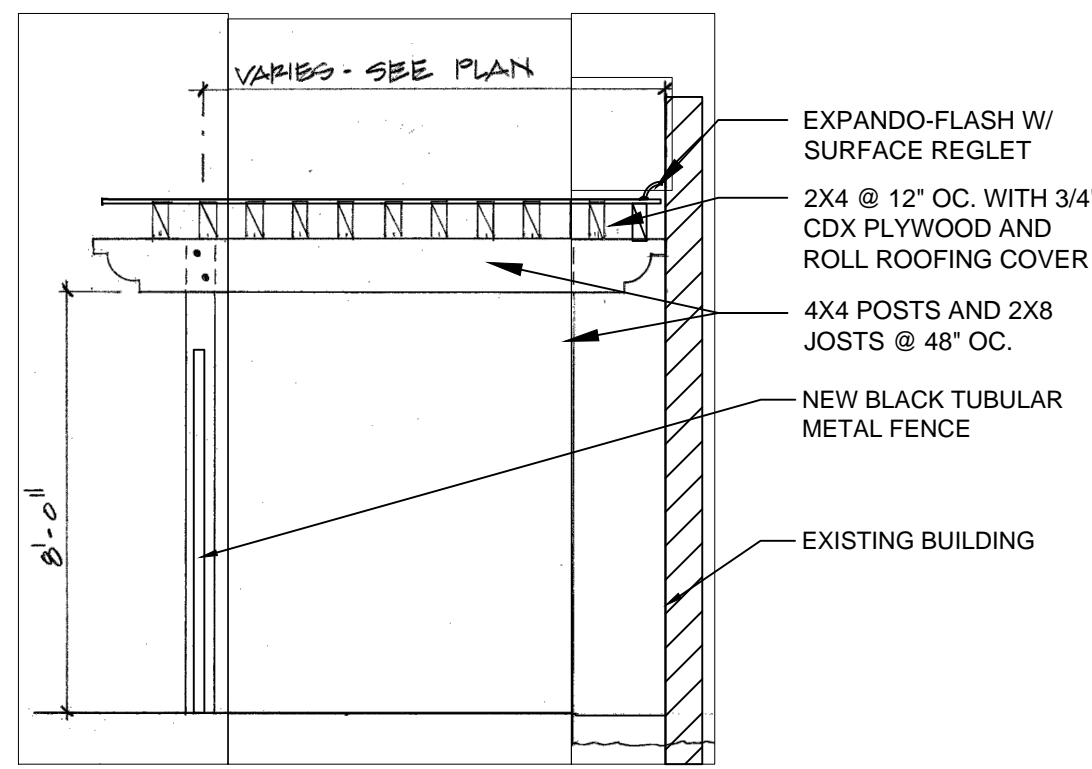
DATE: 02/21/2019

SHEET TITLE:  
**EXISTING FIRST FLR & DEMOLITION PLAN**

SHEET NO.

**A1.1**

ISSUED FOR CUP REVISION 2

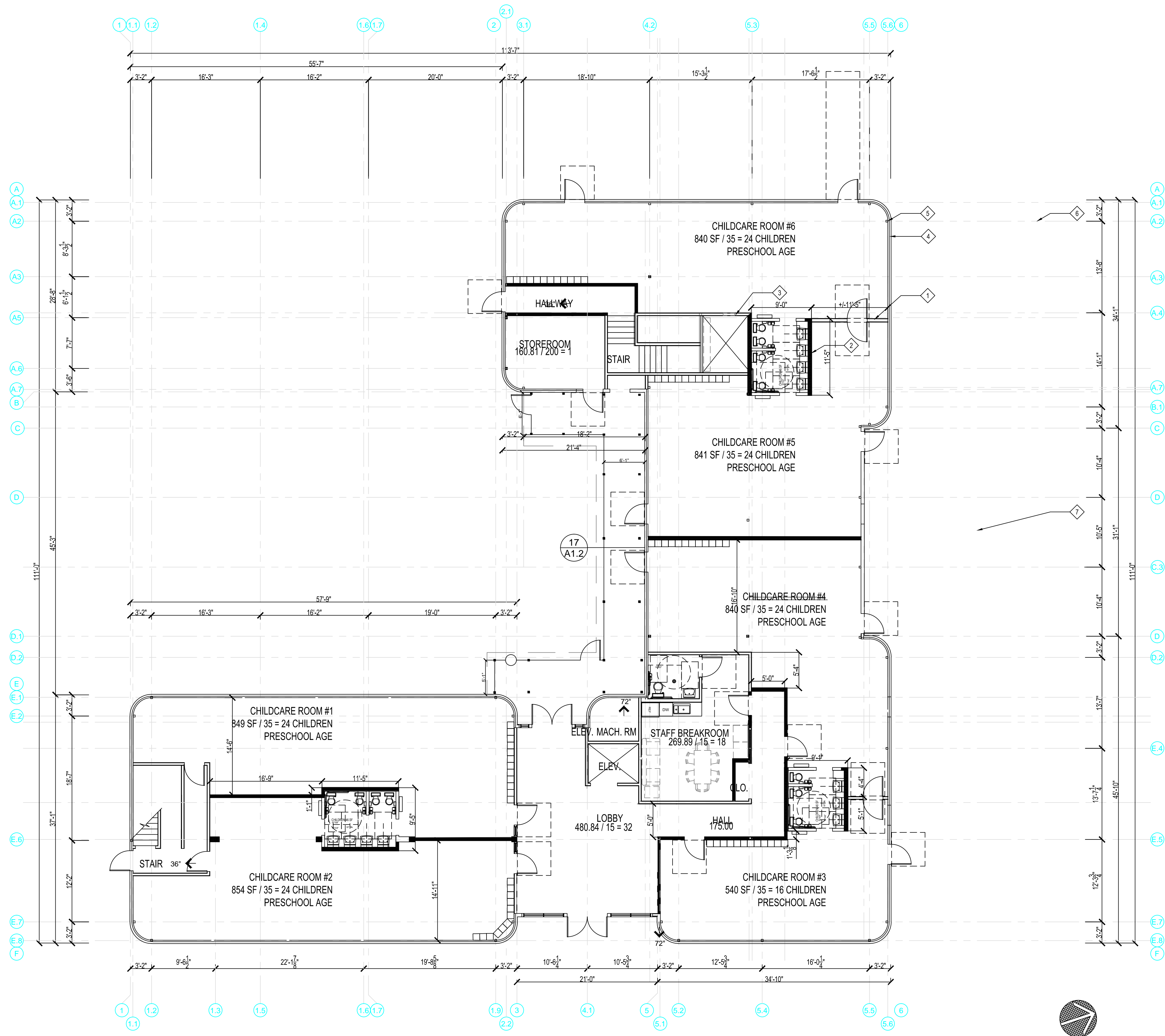


17 WOOD CANOPY @ COURTYARD



18

19



SHEET NOTES

- 1 NEW PARTIAL 4" METAL STUD HEIGHT WALLS.
- 2 NEW FULL 4" METAL STUD HEIGHT WALLS.
- 3 EXISTING WALLS.
- 4 EXISTING CONTINUOUS STRIP WINDOWS.
- 5 EXISTING STEEL COLUMNS
- 6 NEW PLAY YARD - SEE C1.2 & LANDSCAPE
- 7 NEW PLAY STRUCTURE - SEE C1.2 & LANDSCAPE
- 8 NEW WOOD CANOPY OVER WALKWAY. SEE DET.

ARCHITECTURAL  
CONCEPTS

● ARCHITECTURE ●  
INTERIORS ● PLANNING

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DUTRA PLAZA BUILDING 5950 STONERIDGE DRIVE  
PLEASANTON, CALIFORNIA  
KEEN WEI, OWNER

OCCUPANCY "E"

OCCUPANT LOAD:

|                                |   |              |   |     |
|--------------------------------|---|--------------|---|-----|
| CHILD CARE ROOM #1             | = | 849 SF / 35  | = | 24  |
| CHILD CARE ROOM #2             | = | 854 SF / 35  | = | 24  |
| CHILD CARE ROOM #3             | = | 540 SF / 35  | = | 16  |
| CHILD CARE ROOM #4             | = | 840 SF / 35  | = | 24  |
| CHILD CARE ROOM #5             | = | 841 SF / 35  | = | 24  |
| CHILD CARE ROOM #6             | = | 840 SF / 35  | = | 24  |
| TOTAL CHILDREN = 136           |   |              |   |     |
| STORAGE ROOM                   | = | 161 SF / 200 | = | 1   |
| LOBBY                          | = | 481 SF / 15  | = | 32  |
| STAFF BREAK RM                 | = | 270 SF / 15  | = | 18  |
| COMMON AREAS & BLDG. STRUCTURE | = | 1,780 SF / 0 | = | 0   |
| TOTALS                         | = | 7,456 SF     | = | 187 |

187 X .2 = 37.4 IN. = EXIT WIDTH REQUIRED  
216 IN. = EXIT WIDTH PROVIDED

| REVISIONS | DATE |
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|           |      |
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APPROVAL DATE

JOB:

DATE: 02/21/2019

SHEET TITLE:  
NEW 1ST  
FLOOR

SHEET NO.

A1.2

ISSUED FOR CUP  
REVISION 2

17

18

19

20



ALL WALLS TO REMAIN. NO CHANGE TO EXISTING FLOOR PLAN

1 EXISTING & PROPOSED SECOND FLOOR PLAN 1/8" = 1'-0"

SHEET NOTES

ALL WALLS TO REMAIN. NO CHANGE TO EXISTING FLOOR PLAN

OCCUPANCY "B"

OCCUPANT LOAD:

|                                |   |              |   |     |
|--------------------------------|---|--------------|---|-----|
| OFFICE #1                      | = | 184 SF / 100 | = | 2   |
| OFFICE #2                      | = | 162 SF / 100 | = | 2   |
| OFFICE #3                      | = | 162 SF / 100 | = | 2   |
| OFFICE #4                      | = | 109 SF / 100 | = | 2   |
| OFFICE #5                      | = | 161 SF / 100 | = | 2   |
| OFFICE #6                      | = | 163 SF / 100 | = | 2   |
| OFFICE #7                      | = | 163 SF / 100 | = | 2   |
| OFFICE #8                      | = | 167 SF / 100 | = | 2   |
| OFFICE #9                      | = | 128 SF / 100 | = | 2   |
| OFFICE #10                     | = | 168 SF / 100 | = | 2   |
| OFFICE #11                     | = | 111 SF / 100 | = | 2   |
| OFFICE #12                     | = | 111 SF / 100 | = | 2   |
| OFFICE #13                     | = | 154 SF / 100 | = | 2   |
| OFFICE #14                     | = | 162 SF / 100 | = | 2   |
| OFFICE #15                     | = | 103 SF / 100 | = | 2   |
| OFFICE #16                     | = | 103 SF / 100 | = | 2   |
| OFFICE #17                     | = | 103 SF / 100 | = | 2   |
| OFFICE #18                     | = | 133 SF / 100 | = | 2   |
| OFFICE #19                     | = | 157 SF / 100 | = | 2   |
| OFFICE #20                     | = | 157 SF / 100 | = | 2   |
| OFFICE #21                     | = | 142 SF / 100 | = | 2   |
| OFFICE #22                     | = | 142 SF / 100 | = | 2   |
| OFFICE #23                     | = | 142 SF / 100 | = | 2   |
| OFFICE #24                     | = | 142 SF / 100 | = | 2   |
| OFFICE #25                     | = | 142 SF / 100 | = | 2   |
| CONFERENCE #1                  | = | 279 SF / 15  | = | 19  |
| CONFERENCE #2                  | = | 328 SF / 15  | = | 22  |
| CONFERENCE #3                  | = | 157 SF / 15  | = | 11  |
| CONFERENCE #4                  | = | 175 SF / 15  | = | 12  |
| CONFERENCE #5                  | = | 161 SF / 15  | = | 11  |
| STORAGE #1                     | = | 83 SF / 200  | = | 1   |
| LOBBY                          | = | 481 SF / 15  | = | 32  |
| COMMON AREAS & BLDG. STRUCTURE | = | 1,885 SF / 0 | = | 0   |
| TOTALS                         | = | 7,000 SF     | = | 158 |

158 X 2 = 32 IN. = EXIT WIDTH REQ'D  
72 IN. = EXIT WIDTH PROVIDED

ARCHITECTURAL CONCEPTS  
● ARCHITECTURE ● INTERIORS ● PLANNING  
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 KEEN WEI, OWNER

PLANNING COMMENTS & HOA COMMENTS  
 BLDG. DEPT. PLAN CHECK & HOA COMMENTS

| REVISIONS | DATE |
|-----------|------|
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|           |      |
|           |      |

| APPROVAL | DATE |
|----------|------|
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JOB:

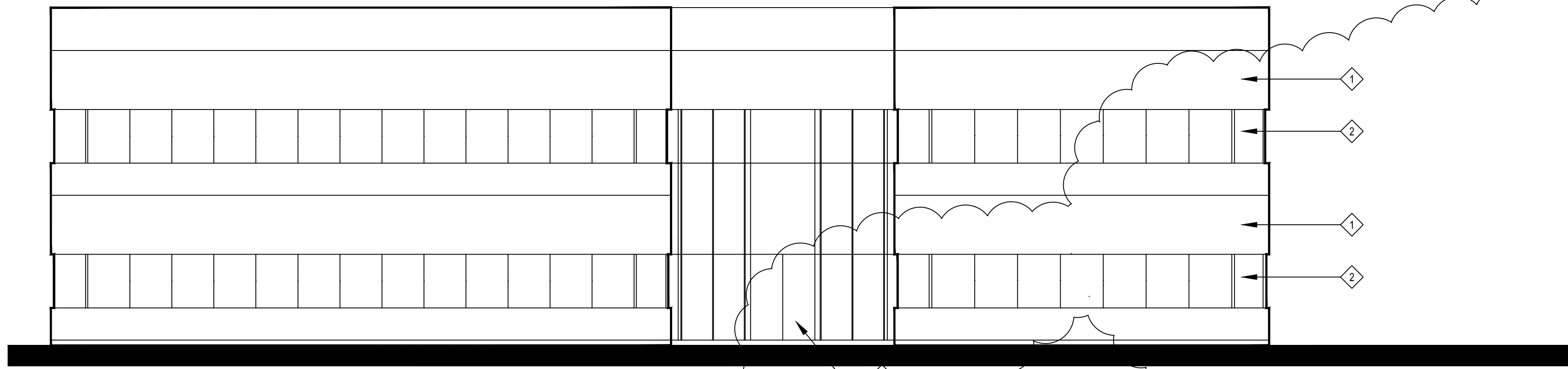
DATE: 02/21/2019

SHEET TITLE:  
 EXISTING & PROPOSED 2ND FLR & PLANS

SHEET NO.

A1.3

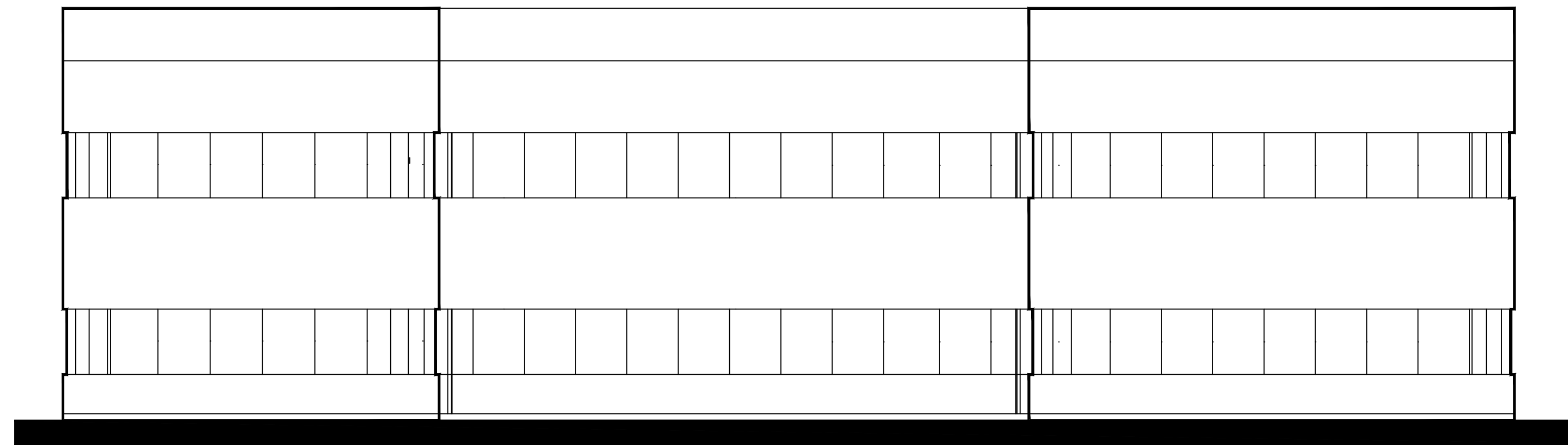
ISSUED FOR CUP REVISION 2



**SHEET NOTES**

- 1 (E) STUCCO EXTERIOR
- 2 (E) WINDOW BAND
- 3 (E) ALUMINUM ENTRY DOORS

1 EXISTING FRONT ELEVATION 1/8" = 1'-0"



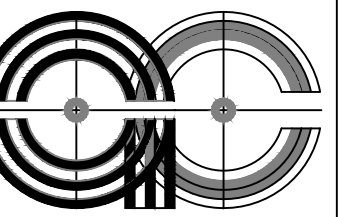
2 EXISTING RIGHT ELEVATION 1/8" = 1'-0"



3 EXISTING LEFT ELEVATION 1/8" = 1'-0"



4 EXISTING REAR ELEVATION 1/8" = 1'-0"



**ARCHITECTURAL  
CONCEPTS**

● ARCHITECTURE ●  
INTERIORS ● PLANNING ●  
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KEEN WEI, OWNER

|           |                                       |
|-----------|---------------------------------------|
| △         | PLANNING COMMENTS & HOA COMMENTS      |
| △         | BLDG. DEPT. PLAN CHECK & HOA COMMENTS |
| REVISIONS | DATE                                  |

APPROVAL DATE

JOB:

DATE: 02/21/2019

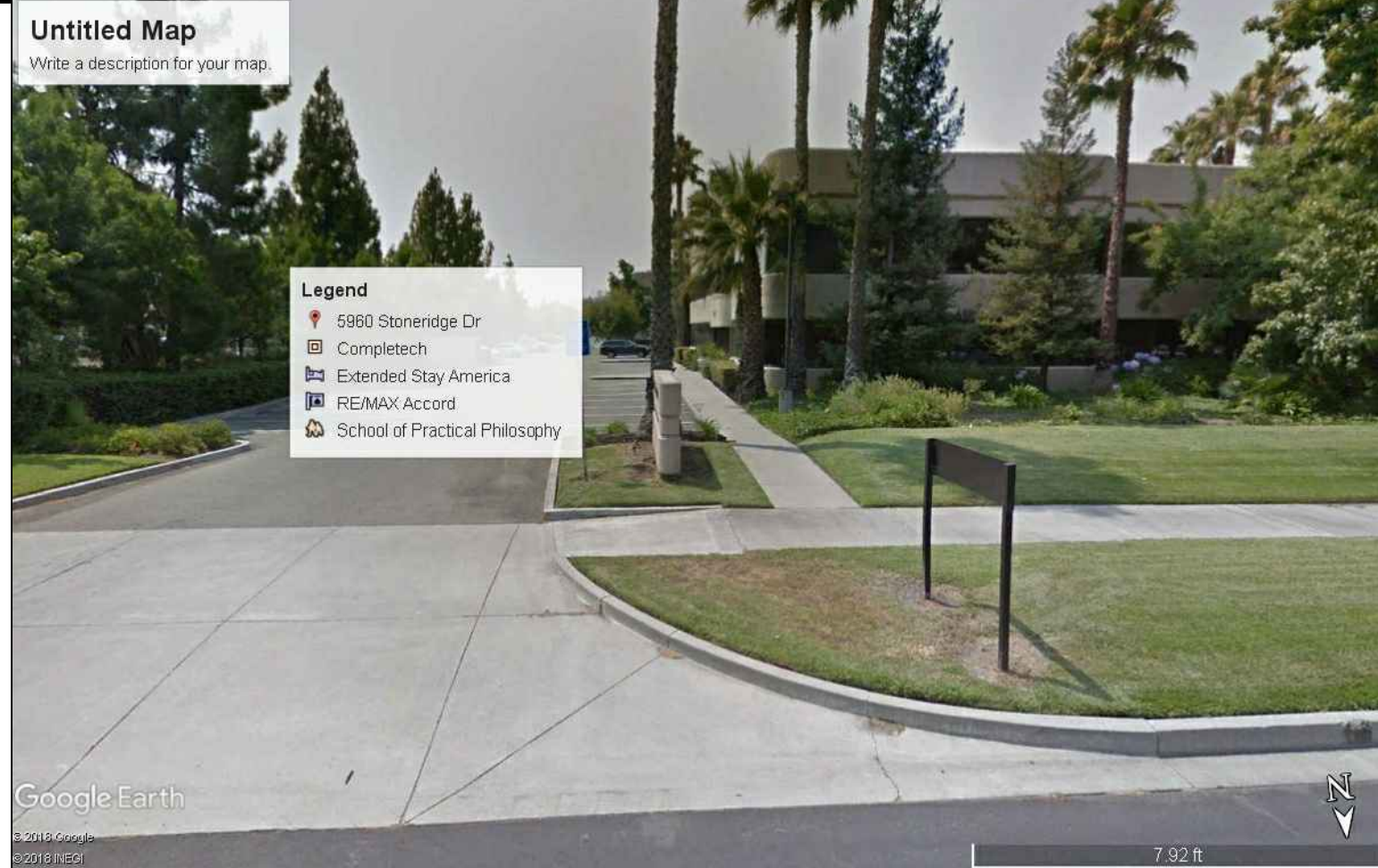
SHEET TITLE:  
**EXISTING  
EXTERIOR  
ELEVATIONS**

SHEET NO.

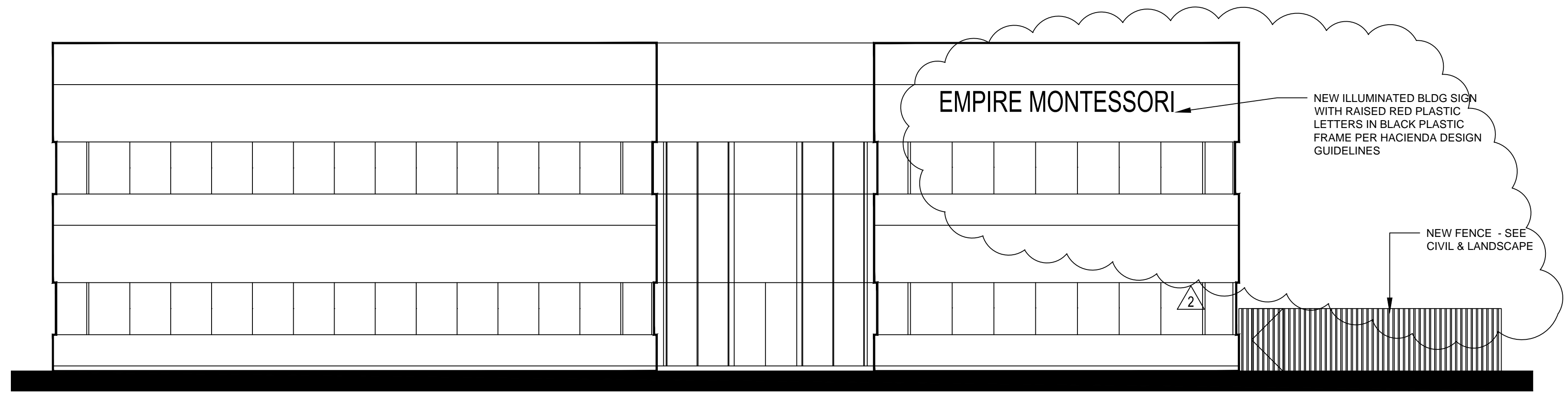
**A2.1**

ISSUED FOR CUP  
REVISION 2





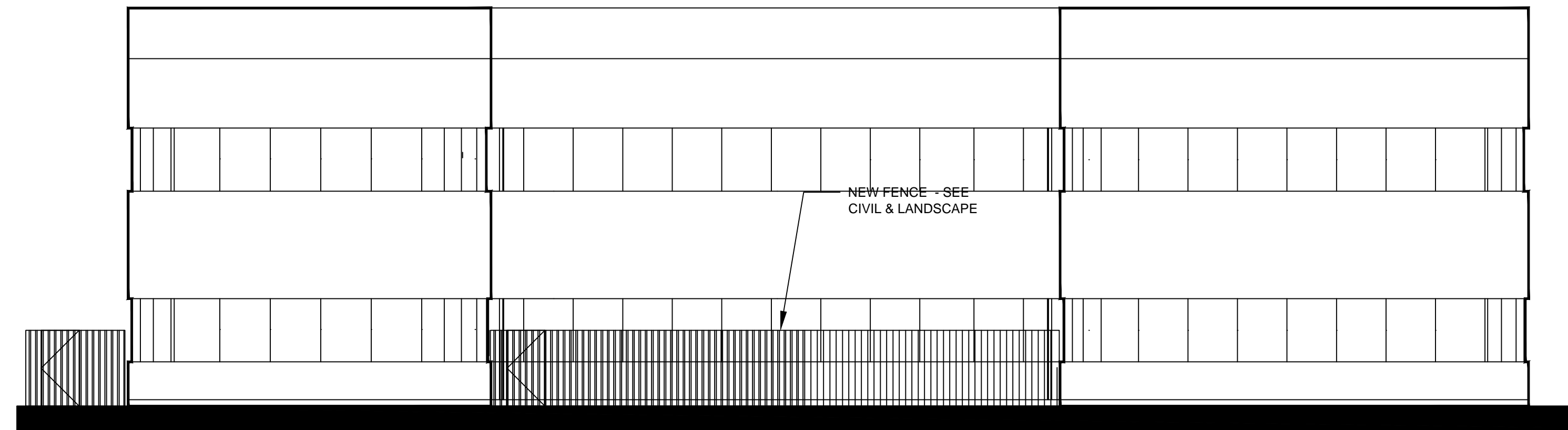
5 Existing View From Stoneridge Drive



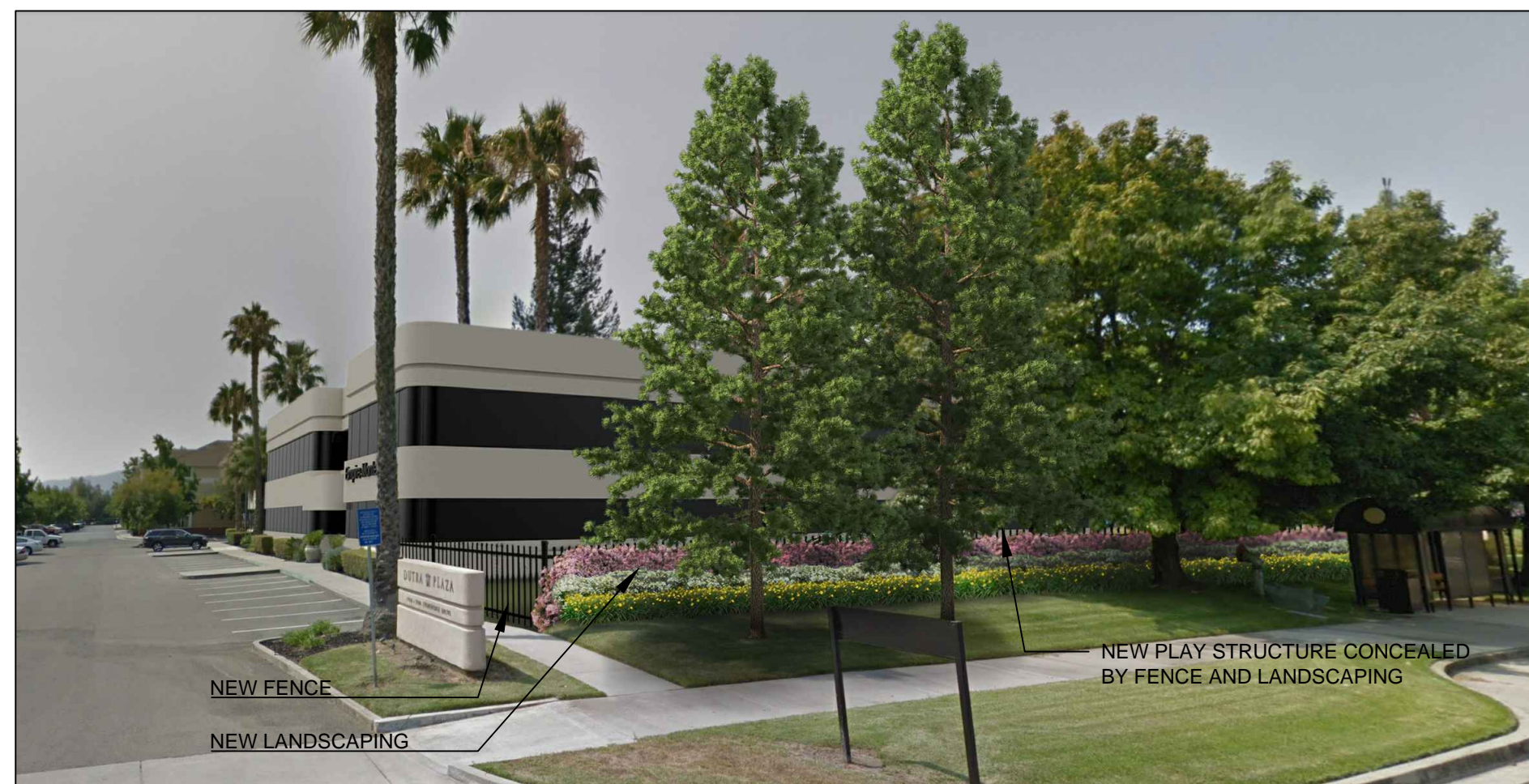
1 FRONT ELEVATION 1/8" = 1'-0"



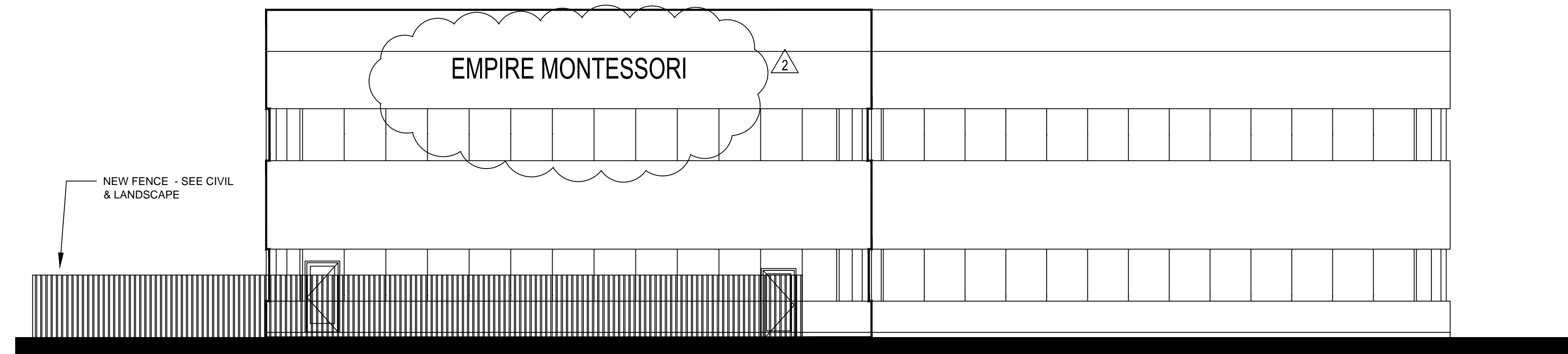
6 Existing View From Chabot Road



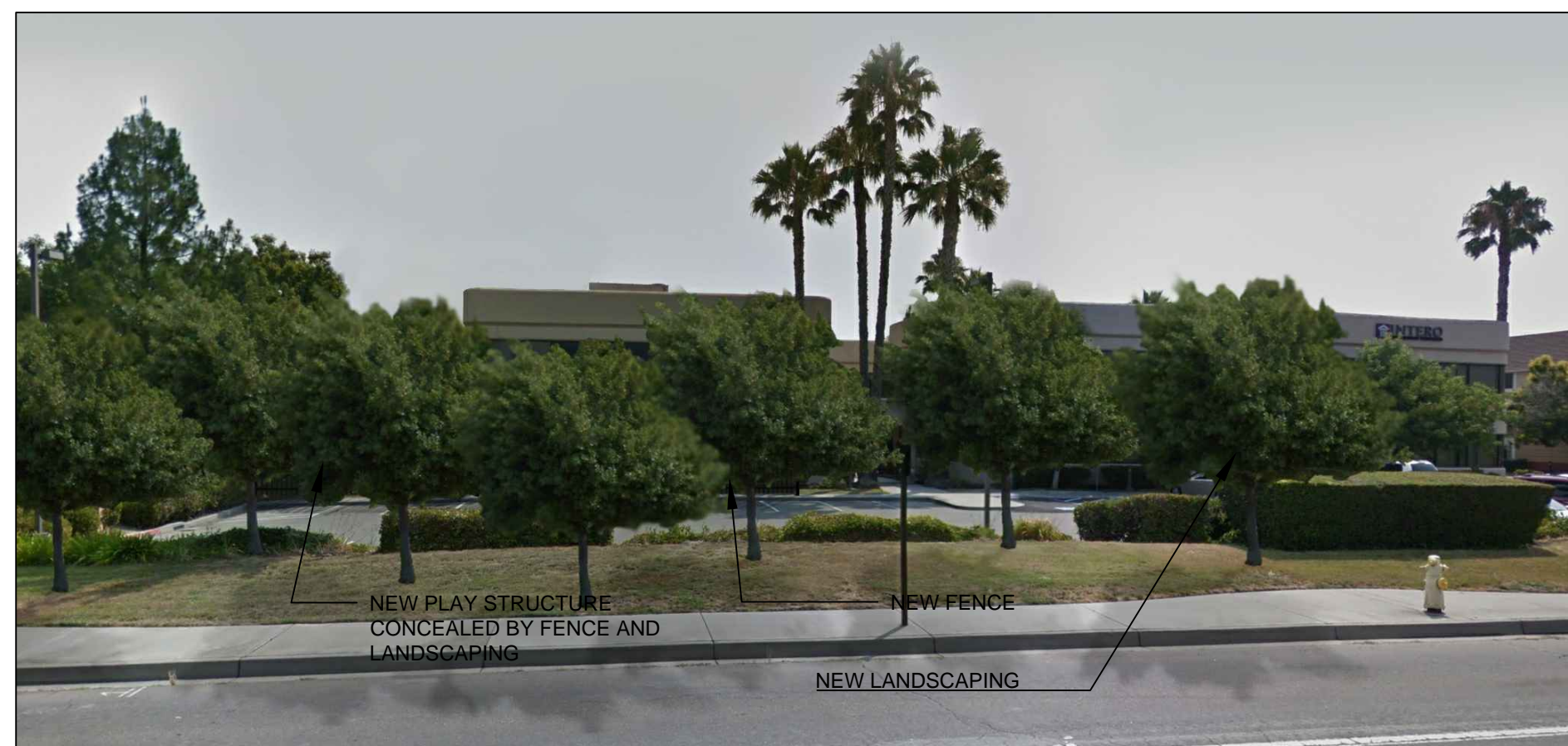
2 RIGHT ELEVATION 1/8" = 1'-0"



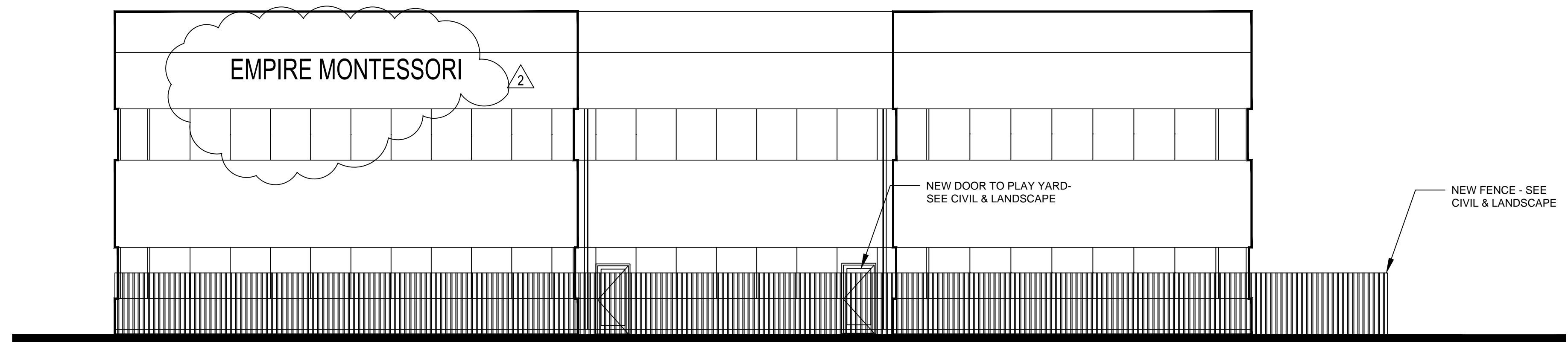
7 New View From Stone Ridge Drive



3 LEFT ELEVATION 1/8" = 1'-0"



8 New View From Chabot Road



4 REAR ELEVATION 1/8" = 1'-0"



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|   |                                       |
|---|---------------------------------------|
| △ | PLANNING COMMENTS & HOA COMMENTS      |
| △ | BLDG. DEPT. PLAN CHECK & HOA COMMENTS |

| REVISIONS | DATE |
|-----------|------|
|           |      |

| APPROVAL | DATE |
|----------|------|
|          |      |

JOB:

DATE: 02/21/2019

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

SHEET NO.

**A2.2**

ISSUED FOR CUP  
REVISION 2