

# PLEASANTON CIVIC CENTER / LIBRARY MASTER PLAN

AUGUST 10, 2016

FIELD

PAOLI

PREPARED BY:  
FIELD PAOLI ARCHITECTS  
CALLANDER ASSOCIATES AND  
MARK SCHATZ, CONSULTING ARCHITECT

FOR  
THE CITY OF PLEASANTON



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# Acknowledgements

## CITY COUNCIL

Jerry Thorne, Mayor  
Kathy Narum, Vice Mayor  
Karla Brown, Council member

Arne Olson, Council member  
Jerry Pentin, Council member

## TASK FORCE

Jerry Thorne, Mayor  
Karla Brown, City Council  
David Nagler, Planning Commission  
Joanie Fields, Parks & Recreation  
Commission  
Kellene Cousins, Library Commission  
Janice Sangster-Phalen, Economic Vitality  
Committee

Ardin Lo, Youth Commission  
Mike Hosterman, Pleasanton Downtown  
Association  
Brad Hirst, At-Large Representative  
Kelly French, At-Large Representative  
Steve Sherman, At-Large Representative

## CITY STAFF

Nelson Fialho, City Manager  
Brian Dolan, Assistant City Manager  
Julie Farnsworth, (retired)  
Sandy Silva  
Heidi Murphy  
Susan Andrade-Wax  
Tina Olson

Gerry Beaudin  
Steve Kirkpatrick  
Tracy Dunne  
Chief Dave Spiller  
Karen Diaz, City Clerk  
Pamela Ott  
Allen Hammond

## CONSULTANTS

Steven Lovell, Field Paoli Architects  
Merlene Robertson, Field Paoli Architects  
Brian Fletcher, Callander Associates  
Nate Ritchie, Callander Associates

Mark Schatz, Consulting Architect  
Economic Planning Systems



# 1 | INTRODUCTION



Model study of preferred option

# 1.1 Introduction

This Civic Center/Library Master Plan represents the work completed by the Civic Center/Library Task Force, City of Pleasanton staff, and members of the design team, in developing a concept plan and model, along with design guidelines, for a proposed new Civic Center to be located at Bernal Community Park in downtown Pleasanton. This work builds upon prior efforts to program and plan for expanded City facilities at the existing downtown site, and proposals for the third phase of development at Bernal Community Park.

The Task Force was appointed by City Council in February 2015, and the design team of Field Paoli Architects; with Mark Schatz, Consulting Architect; Callander Associates, landscape architects; and Economic Planning Systems was hired in November 2015. The work was completed in June 2016.

The report includes a history of the previous master planning and park planning efforts, a summary of the needs assessment, programming, and design process, a documentation of the current proposal for the Master Plan, design guidelines, and a review of the next steps.



**FIGURE 1-1**  
3D model of final design, view from south

## WHY DO WE NEED A NEW CIVIC CENTER AND LIBRARY?

- Many of the existing buildings are undersized for the current and future needs of the citizens of Pleasanton.
- Many of the existing Civic Center buildings have long term deficiencies that lead to the need for repair or replacement.
- The community has outgrown the current Library. A needs assessment for the Library showed that, to meet current library planning standards, and to meet the needs expressed by members of the community, the building should be more than twice its current size.
- City Hall is currently housed in 5 separate buildings, one is partly condemned and 2 others are portables intended only for short term use.
- To operate at maximum efficiency, the Police Station should have features beyond what is existing in the current building.
- There has long been expressed demand for a Community Center with a large multi-purpose social hall space.

## WHAT IS THE TASK FORCE AND WHAT WERE THEY ASKED TO DO?

- The Task Force was created by the City Council in early 2015.
- It included Mayor Thorne and Councilmember Brown, representatives from the Library, Park and Recreation, Youth, and Planning Commissions, the Economic Vitality Committee, the Pleasanton Downtown Association, and three at large members.
- They met almost every month between July 2015 and July 2016.
- Activities have included:
  - Creating a vision for the new Civic Center and Library
  - Touring existing facilities
  - Reviewing past efforts, planning documents, and policies
  - Virtual tours and field trips to nearby Civic Centers
  - Meeting with a "Library Futurist"
  - Reviewing needs assessments
  - Discussing options for both sites, and reviewing a series of refined concepts
  - Reviewing potential funding sources
  - Discussing public outreach efforts



## WHY BUILD IT AT BERNAL PARK?

- The Task Force and design team studied alternatives to construct the new Civic Center both at Bernal Community Park and at the existing site at Old Bernal and Main Street.
- The Bernal site is much larger and more easily accommodates all of the planned facilities and their associated parking demand.
- The original design for Phase 3 at Bernal Community Park calls for community facilities and parking to be included, along with additional open park lands.
- The site is ideally located to provide improved visibility and access off Bernal Avenue.
- The site offers great opportunities for indoor/outdoor programming, and for synergy with the adjacent earlier phase park features.
- This frees up the existing site to be redeveloped with commercial uses and potential housing that would complement and enhance the activities in the Downtown Main Street business district.
- Proceeds from the sale of the existing site will help pay for the new Civic Center project.

## WHAT WILL HAPPEN AT THE EXISTING CIVIC CENTER SITE?

- The re-use of the existing site will be studied as part of the Downtown Specific Plan study beginning in late summer 2016.
- The redevelopment will likely include an extension of the commercial uses of Main Street up to the intersection with Bernal Avenue, and a mix of other uses to be determined in the Downtown Specific Plan.



**FIGURE 1-2**  
Commercial use along Main Street, Downtown Pleasanton



## WHAT IS PLANNED TO HAPPEN IN THE NEW, LARGER LIBRARY?

- More seating throughout for users of all ages to study, read, and relax.
- Collections will expand in all areas.
- Larger, updated spaces providing programs for children, teens, and adults. In addition, the Library will be connected to the Community Center and users will have access to the large multi-purpose room and other classroom spaces.
- A series of small-group study rooms for class projects and small meetings.
- Staff efficiency will be improved with modernized systems including an automated book check-in and sorting machine, and additional self-checkout stations.
- Increased technology, including ATM-like machines where patrons can check out laptops and tablets for use anywhere in the new library.
- Defined areas for teens, with specialized collections.
- Improved energy and water efficiency.



**FIGURE 1-3**  
Comfortable seating to study and relax



**FIGURE 1-4**  
Self-checkout stations

## WHAT IS PROPOSED FOR THE NEW COMMUNITY CENTER?

- This building will connect directly to the Library and adjacent to the City Hall so its spaces can be used by all.
- The main space will be a large, divisible, multi-purpose Social Hall, with seating for up to 300 people at round tables, or 700 in rows. This can be used for social, recreational, educational, and cultural activities, and will be available for rental by private groups and businesses.
- A catering kitchen serving this space and the rest of the building.
- A stage with state of the art audio visual equipment.
- A wood-floored studio space that will accommodate a broad range of activities, including yoga, martial arts, dance, and fitness classes.
- Multiple classrooms/meeting rooms for City-run programs and private rentals.
- It will be adjacent to a large outdoor plaza that opens into a central meadow area for outdoor activities and larger events.
- Community Services staff offices will be consolidated into this new facility.



**FIGURE 1-5**

A multi-purpose social hall for event and rental use



**FIGURE 1-6**

Multiple classrooms and studio space will accommodate a broad range of activities

## HOW WILL THE NEW CITY HALL BE DIFFERENT FROM WHAT WE HAVE NOW?

- City staff are currently spread through 5 separate buildings. They will all be consolidated into the new City Hall building.
- This will allow for greater efficiency, with shared spaces for various departmental meetings, office tasks, and public access.
- State of the art Council Chamber with comfortable, fixed seating, greatly improved AV systems, improved acoustics, and overflow space in the large adjacent lobby area.
- It will include an area of unfinished open office space on the second floor to provide for future expansion or reconfiguration of the departments.



**FIGURE 1-7**  
Council Chambers with fixed seating

## WHY BUILD A NEW POLICE STATION?

- The existing station is too small for the anticipated staffing needs for the community.
- The new station will have improved entry and exiting for emergency vehicles, with three potential routes.
- Moving to this location along with the Library and City Hall will free up the entire existing Civic Center site for redevelopment.
- A community education room near the entry that will also serve for staff training.
- More space adjacent to the building for a secure parking lot for police vehicles, as well as nearby parking for staff cars.



**FIGURE 1-8**  
Police station with secured parking

- Fewer holding cells, and increased areas for other staff functions.
- Larger and improved areas for dispatching.
- Larger and improved gym, locker room, and bunk room facilities for officers of both genders.
- Adjacency to the other City buildings for shared services.

**WILL THESE BE “GREEN” BUILDINGS?**

- The entire project is being designed to maximize sustainability.
- Buildings will be designed to be LEED gold certified at a minimum.
- Energy saving systems will be specified throughout.
- Energy will be generated onsite by means of solar photovoltaic panels on all of the sloping roof areas.
- Water saving fixtures and features will be incorporated.
- Storm water will be collected onsite, in the large seasonal pond in the meadow area.
- Recycled and renewable materials will be used wherever possible.



**FIGURE 1-9**  
Public lobby for police building



**FIGURE 1-10**  
Buildings and site designed to maximize sustainability



## WHAT ELSE IS GOING TO HAPPEN AT THE SITE?

- Extension of Pleasanton Avenue from the signalized intersection at Bernal Avenue, to the existing baseball field parking lot at the south.
- Parking lots located north of the proposed buildings, east of Pleasanton Avenue in a new 1 story above grade deck, and along a new central road that cuts through the site.
- An amphitheater with seating for around 200 people. This was part of the original master plan for Phase 3 of the park, and it is proposed to stay in the new plans.
- A large circular meadow area with a storm water retention pond, small seating areas, and a pathway with a wooden bridge.
- A large event plaza that opens into the meadow.
- Extensions of the bike and walking trails that link into the rest of the park.
- Other casual open space for un-programmed activities.



**FIGURE 1-11**

Provide safe pedestrian crossings to parking and buildings



**FIGURE 1-12**

Meadow can serve as storm water retention with native plantings

## WHY SO MUCH PARKING?

- The design team worked with planning staff to determine the required parking counts for each of the different buildings at the site. The total number of spaces required is 471.
- A separate, secure parking lot is required for 100 police vehicles, which is located just south of their building. These are in addition to the 471 to serve the rest of the Civic Center.
- The original master plan for Phase 3 of Bernal Community Park included 250 parking spaces that would be shared between the proposed new Performing Arts Center and the adjacent ball field users. Because the ball fields are often in use at the same time as the other proposed new Civic Center facilities, we added those 250 spaces to the required count.
- The total proposed parking is currently 836 spaces. Around half of this is in the one-story above grade parking structure on the East side of the Pleasanton Avenue extension.

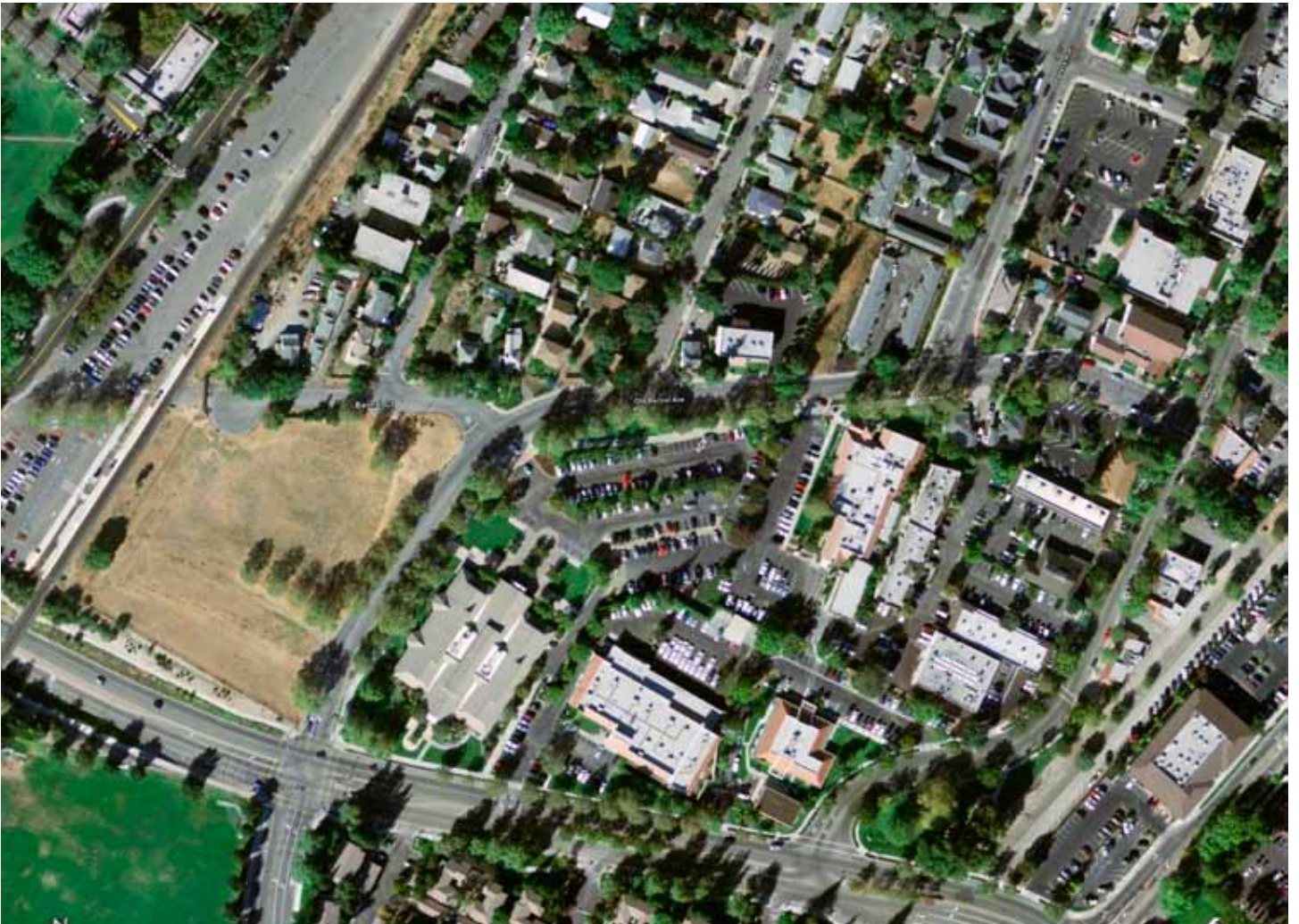
## WHEN IS IT GOING TO BE BUILT?

- The next steps in the process involve publishing the final Master Plan report, and taking it to the various City commissions and the City Council for approval.
- Changes to the previously approved land uses on the Bernal Property will require voter approval.
- Funding mechanisms also need to be determined. Some available options may also require voter approval.
- In all likelihood, the project will be built in phases, and the exact schedule is yet to be determined.

## HOW WILL IT BE PAID FOR?

- The funding strategy will require extensive discussions with the City Council and the public.
- It will likely require a broad combination of sources including existing capital funds, revenues from the sale of the existing Civic Center site, and other new revenue sources.

## 2 | BACKGROUND



Aerial view of the current downtown site



## 2.1 History of the Civic Center Master Planning Process

The City of Pleasanton has been considering a new Civic Center Master Plan since June of 2001, when the Downtown Specific Plan was nearing completion. A study was done by Group 4 Architecture Research + Planning, Inc. (Group 4) for creating a new Civic Center at the existing 9.9-acre site, and the adjacent San Francisco property. This was followed in 2004 by a Library Needs Assessment Study, and in 2007 and 2010, by designs for a new library and expanded Civic Center site, performed by the current consulting team of Mark Schatz and Field Paoli Architects. Brief descriptions of these prior studies are provided below.

### 2001 CIVIC CENTER MASTER PLAN STUDY

In June 2001, near completion of the Downtown Specific Plan, the City Council approved an agreement with Group 4 to conduct a Civic Center Site Master Plan process for the approximately 13-acre civic center site, including the 3.3-acre San Francisco site located adjacent to Old Bernal.

While the Council had discussed the civic center site prior to that time, including the potential of relocating the Civic Center to the old Kaiser building on Sunol Boulevard, the decision to pursue the Master Plan at that time was based largely on the following:

- The City was nearing completion of the Downtown Specific Plan, which addressed the site's relationship to the Downtown;
- Anticipation that the City would acquire the 3.3-acre San Francisco site, which could be incorporated into the civic center site;
- A clear need to address a long-term solution to the site's three temporary/modular buildings;
- The acquisition of 157 Main Street provided the Main Street frontage necessary to create a building presence on Main Street and to create a public plaza/place as outlined in the Downtown Specific Plan;
- A need to address the Downtown Gateway in a way that is consistent with the Pleasanton Downtown Specific Plan and the needs of the Pleasanton Downtown Association;
- A general sense that consolidation of facilities could improve the City's ability to deliver services to the community.



The first phase of the Group 4 study involved site and facility assessment, space needs analysis, assessing the potential for realigning or closing Old Bernal near the library (the study indicated that neither were practical), pedestrian crossing at Old Bernal near the library building to the San Francisco site, and public input regarding civic center needs.

A total of twelve site plan concepts were developed and shared with the community at a series of public meetings. All site plan concepts included a new City Hall building, sized at approximately 53,520 sf with additional parking and options to improve access to the library from Main Street, plus reservation of space for library expansion (but not the actual expansion), and improvements to the Main Street gateway. None of the site plans considered relocating the police department or the library. Nevertheless, they all offered unique concepts and were shared with the community.

The twelve concepts represented various planning stages of the project and as a result, some are more detailed, feasible, and complete than others. For example, the early site concepts included parking adjacent to Bernal/Main Street, which was inconsistent with subsequent Council direction regarding parking requirements, and some included the 3.3-acre San Francisco site. Although there was some public comment regarding off-site options for a city hall, none were explored as part of the study.

Prior to finalizing the Civic Center Master Plan, the Council determined that it would be beneficial to shift the study's focus to library space needs to assure that all civic center needs were studied and as a result, work on the Civic Center Master Plan process with Group 4 was suspended prior to preparation of a final Civic Center Master Plan document.



**FIGURE 2-1**  
2001 Civic Center Master Plan Study

## 2004 LIBRARY NEEDS ASSESSMENT STUDY

The Library Commission began the needs assessment process in June 2004 in order to identify the space needed to serve not only current residents, but also the population at build-out. Kathryn Page Associates, a Library-planning firm, was engaged to conduct the assessment.

The consultant met with ten community focus groups; conducted eleven interviews with Library Commissioners, Pleasanton City officials and Pleasanton Unified School District personnel; and worked with Library staff to conduct a general community survey. Interviews with eight groups of Library staff were held. Community demographic data was compiled and analyzed. Library usage and resource level statistics were assembled, reviewed and compared to similar data for libraries that serve comparable communities.

While the whole library assessment is not included in this report, the end result was a clear indication that in order to meet service expectations, it was necessary to expand and update the library building. The study called for a new library of approximately 70,000 square feet, as compared to the existing library which is just over 30,000 square feet. The program also called for a large expansion in the amount and type of community meeting space.

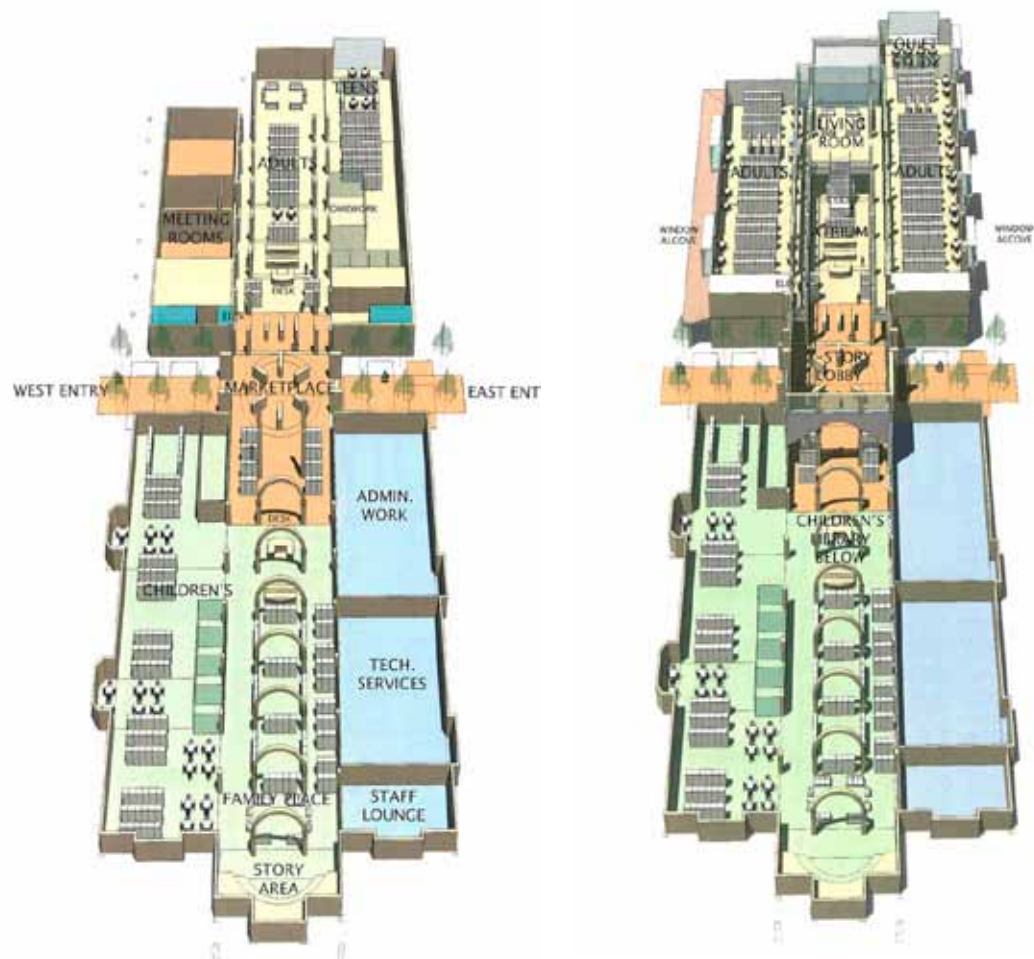


**FIGURE 2-2**  
Existing Pleasanton Library, main entrance

## 2007 LIBRARY TECHNICAL STUDY/ CONCEPTUAL LIBRARY DESIGN/ PRELIMINARY COST ANALYSIS

Based in part on the results of the Needs Assessment Study, and at the request of the Library Commission, in February of 2006, the City Council directed staff to seek architectural services to conduct a technical assessment regarding the potential for expanding the library building and a pre-schematic design of potential options including, if necessary, a new library facility. The contract was awarded to Field Paoli Architects of San Francisco.

Field Paoli completed its initial feasibility analysis in February 2007 and concluded that the structural system of the current library building could not accommodate additional stories, but that it could be expanded to the north and that this expansion could be two stories. Because this expansion would not meet the Library's space needs, the Library Commission and staff explored three other design options and settled on one that included a new 73,000 sf Library building to be constructed on the southwest corner of Main Street and Bernal, a two-story expansion to the north end of the existing library building creating



**FIGURE 2-3**  
2007 Technical Study/Conceptual Library Design  
Expansion Options for a 2-story Library



a 56,000 sf structure that would be used for city administrative offices, a single level parking garage with 171 parking spaces on the first level, and a total of 523 parking spaces on the civic center site, and removal all existing civic center facilities except the Police Department building that would not be altered.

The proposed new Master Plan for the site included a new landscaped pedestrian path connecting all of the facilities with Main Street. One of the big challenges in developing a concept for the redevelopment of the existing site was the desire to maintain the existing Police facility, with its adjacent fenced secure parking lot, in the middle of the site.

### 2010 CIVIC CENTER MASTER PLAN STUDY

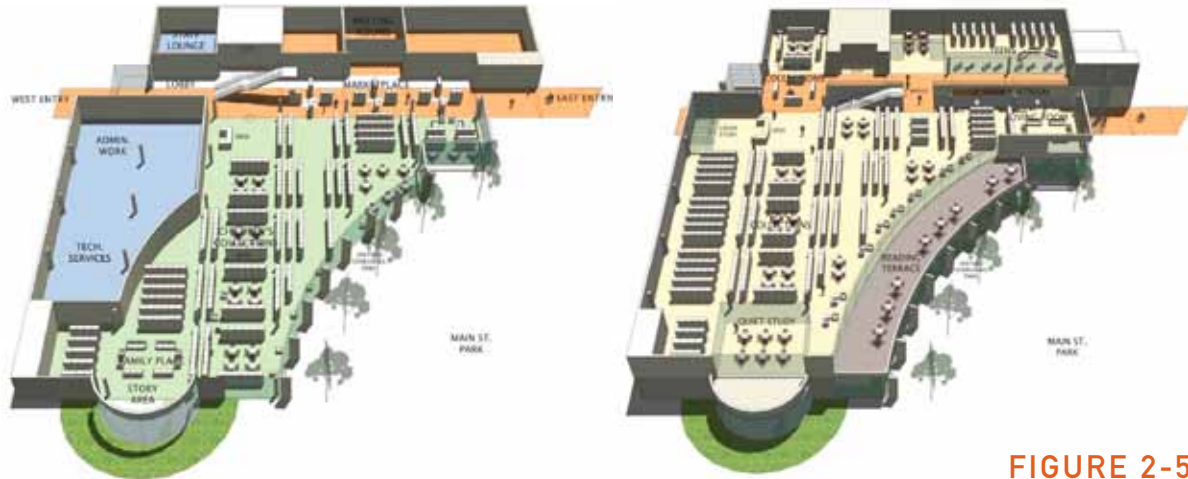
In response to the Technical Study, in January 2010, the City amended the Field Paoli agreement to prepare a Civic Center Master Plan incorporating the recommendations included in its technical study, as well as the study of a number of adjacent sites. The result of that study was the development of three options that expanded on the site plan concept detailed in the Technical Study (i.e. they included construction a new library building on Main/Bernal, converted and expanded the existing library to house the City's administrative offices and an option to either a construct a parking structure or on-grade parking.) but at the direction of the City Council, it also included the potential for Transit Oriented Development housing and retail on the adjacent San Francisco parcel, and studies for mixed use buildings on the opposite side of Main Street, across from the new Library.



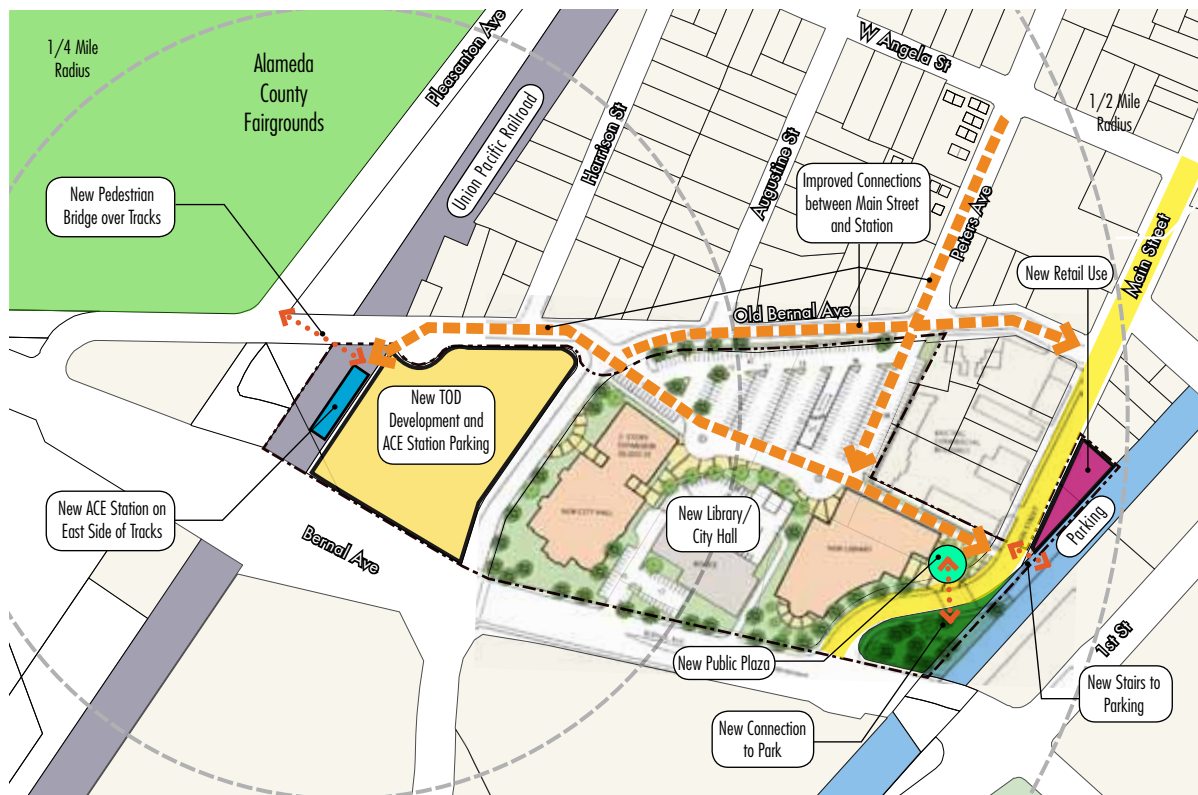
**FIGURE 2-4**  
2010 Civic Center Master Plan Study  
Massing study



There was no City Council action on the Field Paoli Master Plan, as overall economic issues, the inability to acquire the San Francisco site, and other priorities required more immediate attention. Staff presented a summary of these studies to the new Civic Center/Library Master Plan Task Force at their early meetings in 2015.



**FIGURE 2-5**  
2010 Civic Center Master Plan Study  
2-story library study along east end of the site



**FIGURE 2-6**  
2010 Civic Center Master Plan Study  
Preferred Site Plan

## 2.2 Bernal Property - Relevant Plans

Because the proposed site of the new Civic Center and Library is within Bernal Park, it is necessary to understand the City's existing policy documents that address this property.

Over the past several years, a number of City planning documents and plans have been generated which relate to the Bernal property. These include the 2005-2025 General Plan (adopted in 2009), the Bernal Property Specific Plan (adopted in 2000), the Bernal Property Phase II Specific Plan (adopted in 2006), the Bernal Community Park Master Plan (adopted in 2006), the Parks and Recreation Master Plan (adopted in 2014), Pleasanton Youth Master Plan (adopted in 2010), and the Cultural Plan Update (adopted in 2014). Highlights of these studies are provided below, including the specific sections which are relevant to the proposed new Civic Center Project at Bernal Park.

### PLEASANTON GENERAL PLAN 2005-2025 (ADOPTED IN 2009)

The General Plan consists of mandatory and discretionary elements including land use, housing, circulation, conservation and open space, safety, noise, air quality, and economic development. California State law requires that the day-to-day decisions of a City should follow logically from, and be consistent with, the General Plan. A public facilities element is an optional general plan element.

The purpose of a General Plan's Public Facilities and Community Programs Element is to define the capital improvements, public facilities, and programs needed to service the community at build out. The following goals, policies, and programs, relate to the Civic Center/Library discussion.

#### GOALS, POLICIES AND PROGRAMS:

**Goal 1:** Provide sufficient public facilities and community programs to efficiently serve existing and future development while preserving and enhancing the quality of life for existing and future residents.

#### CAPITAL IMPROVEMENTS AND FINANCING:

**Policy 4:** Promote new community facility construction to better serve residents, businesses and visitors.

**Program 4.1:** In the long term, explore the feasibility of constructing a "landmark" civic center to house City administrative offices, providing efficient services for the community, preferably in the Downtown area.

**Program 4.2:** Promote the construction of new community facilities including the Firehouse Arts Center, downtown restrooms, and on the Bernal property a cultural arts center, environmental education center, an amphitheater, and a youth/community center.

### **LIBRARY FACILITIES AND PROGRAMS:**

**Goal 5:** Enhance the quality of Pleasanton library services.

**Policy 9:** Provide sufficient sites and improvements for a full range of library facilities to serve existing and future development.

**Program 9.3:** Explore the expansion of Pleasanton Library services and associated facility needs.

**Program 9.4:** As part of the Civic Center Master Plan, consider various locations for an expanded library, including relocating the Library to create a Downtown gateway on Main Street.

### **HUMAN SERVICES:**

**Policy 24:** Facilitate the provision of safe, accessible youth activities, facilities, and services.

**Program 24.3:** Facilitate the planning, development, and programming of a Youth/Teen Center preferably on the Bernal Property, serving Pleasanton youth.

**Program 24.4:** Involve youth in evaluating the need for, and planning of, recreational facilities.

## **BERNAL PROPERTY SPECIFIC PLAN (ADOPTED IN 2000)**

The Bernal Property Specific Plan was prepared primarily to plan for the portions of the Bernal property that would be available for private development. It laid out the overall land use plan, circulation system, infrastructure components, and conservation plans for the property. While not providing detailed guidance on public uses, it did identify the area that would be reserved for public uses including a 30-50 acre community park. It anticipated a phased approach for planning the public portion of the property with an extensive public participation process. It does not specifically address what other public uses could be located on the Bernal property.

## **BERNAL PROPERTY PHASE II SPECIFIC PLAN (ADOPTED 2006)**

The Bernal Property Phase II Specific Plan provides planning direction for the 318-acre public land portion of the greater 516-acre Bernal Property located within the City of Pleasanton. The primary purpose of this Phase II Plan is to supplement the Phase I Specific Plan in implementing the Pleasanton General Plan and in guiding the orderly development and provision of services for this site. This Specific Plan was prepared with the assistance of an 18-member Bernal Property Park Task Force.

The Phase II Plan establishes a vision and planning guidance for the long-range development of an open space/park like setting within which a variety of public and quasi-public uses are to be integrated. Specific Plan objectives, policies and guidelines are provided for land use, design, transportation, public facilities, and conservation and environmental mitigation. In addition, a planning process is outlined for preparing future development project plans, which includes extensive community input and the preparation of Planned Unit Development plans.

### **The Phase II Specific Plan includes the following objectives:**

- To develop a series of high quality public facilities over time to better serve the community.
- To establish a coordinated pattern of public facilities within an open space/park-like setting.
- To provide park facilities that meet the neighborhood and community park needs of residents of the Phase I Planning Area and assist in meeting city-wide park facility needs.
- To preserve as open space the key visual resources and natural habitat areas of the site.
- To coordinate Planning Area development and activities with related off-site land uses.
- To ensure that all planning within the Phase II Specific Plan Area is conducted in accordance with initiatives approved by the voters or adopted by the City Council.
- To create public gathering places and maximize programming opportunities.
- To integrate the design of public facilities into the Grand Park open space setting.



### Types of Public and Quasi-Public Uses Permitted:

- Agricultural club
- Agriculture
- Child care
- Community vegetable garden
- Cultural arts facilities
- Art classrooms
- Art gallery
- Rehearsal space
- Theater (800-seat indoor facility for the performing arts)
- Educational facilities
- Environmental education center
- Fire station (now existing)
- Native American history reflective area
- Open space
- Park and recreation uses (including lighted sports fields and amphitheater)
- Park-and-ride commuter parking lot
- Public utilities and improvements (water, wastewater disposal, flood control, storm water drainage, power, and communications systems)
- Trails
- Youth/community center

It is assumed that not all of these uses will ultimately be developed since the resulting developed acreage would probably overburden the desired overall open space/park-like character of the site.

Two of the uses of the identified in the plan for the approximately 27 acre site of interest to the Task Force are a youth/community center and various class and meeting room facilities.

## BERNAL COMMUNITY PARK MASTER PLAN (ADOPTED 2006)

The Bernal Community Park Master Plan was created to provide a more detailed plan for the creation of the Community Park called for in the Bernal Property Specific Plan and the Bernal Property Phase II Specific Plan. Specifically, the Master Plan provided a more detailed site plan for the development of sports fields for baseball, soccer, lacrosse and football, as well as supporting facilities such as parking, pedestrian access paths, picnic areas, public plazas, playgrounds, and restrooms.

It also included a conceptual plan for a large passive open space area that included oak woodland, grassland, and riparian habitats that would separate the active sports fields from the nearby residential development previously approved

on the property. It did not provide detailed plans for an approximately 27 acre portion of the site near the north east corner of the site, the area that is the subject of the current study. It did anticipate an extension of Pleasanton Avenue into the Bernal Property which would provide access to this site.

## PARKS AND RECREATION MASTER PLAN (ADOPTED 2014)

The purpose of the Parks and Recreation Master Plan is to provide a realistic and visionary guide for the creative, orderly development and management of parks, recreation facilities and programs for the City, now and into the future. The Master Plan was created with the assistance of a 14-member Steering Committee and the Parks and Recreation Commission. The Parks and Recreation Master Plan is an implementation tool of the General Plan, providing strategies for addressing the General Plan's vision, as well as goals and policies based on current analysis and community input. The primary park and recreation goal, from which numerous General Plan objectives and policies are derived, is to:

“Provide sufficient public facilities and community programs to efficiently serve existing and future development while preserving and enhancing the quality of life for existing and future residents.”

The Master Plan's findings and recommendations are based on a combination of community input derived from community workshops, targeted surveys, and staff's technical analysis. The plan specifically identifies the need for a new Community Center Master Planning process to consolidate City Administrative offices and the Community Services Department. The plan also calls for the consideration of the Bernal property for these new Community Services and other City Administrative offices.

## PLEASANTON YOUTH MASTER PLAN (ADOPTED IN 2010)

In 2010, the City of Pleasanton collaborated with the Pleasanton Unified School District to work with the Youth Master Plan Implementation Committee to create a Youth Master Plan, an update to the original 2001 Youth Master Plan. The plan provided an analysis of existing conditions and direction for more specific and targeted youth services. The plan supports the creation of a new Youth/Community Center on the Bernal property, and also acknowledges the need for an expanded library to meet youth needs.

## CULTURAL PLAN UPDATE (ADOPTED IN 2014)

The purpose of this planning effort was to update the City's 1998 Cultural Plan and to guide development of facilities, programs, and amenities related to the arts and cultural activities into the future. This updated cultural plan is intended as a 10-year master plan for the City as well as community partners. It was prepared with the assistance of a 14-member Steering Committee and the Civic Arts Commission.

Recommended goals and strategies are intended to address the community needs identified above, building on the City's current capacities, opportunities and partnerships.

One of the primary recommendations of the plan was the construction of a Community/Cultural Arts Center, with an 800 seat regional theater, and a number of multi-functional classrooms, workrooms, and studios.



**FIGURE 2-7**  
Bernal Property, Phase II Specific Plan

## 2.3 Bernal Park Master Plan and Development

The Bernal Park Master Plan document was prepared by M.D. Fotheringham, Landscape Architects and Rasmussen Planning for the Department of Parks and Community Services. It was issued in its final form in May 2006. Quotations noted below are taken directly from the text of that report.

The primary goal of the new park was to expand the number of sports fields and related facilities available to residents of Pleasanton, with a more natural open space on a 50 acre site. The idea was to create a flexible park that would provide lighted fields for baseball, soccer, football, and lacrosse, with an amphitheater for outdoor performances and events. The design was planned to “minimize the utilitarian appearance of the sports fields and create a more natural and intimate environment”. The idea was to create a “Grand Park” with turf areas blended into an overall atmosphere of forested and meadow areas, to provide the sense of a single, well integrated open space.

It noted that construction would be phased based on community needs and availability of funding. The first phase consisted of three baseball fields with parking and related facilities on approximately 13 acres of land. The plans for this were approved in 2005, and this work has been completed. Phase 2 is currently under construction.

***The components proposed in the final Park Master Plan document include:***

- Three lighted baseball diamonds, including a stadium, and one informal baseball field that could potentially be lit in the future
- One lighted football/lacrosse field
- Three lighted soccer fields including a small stadium
- Concession stands and restrooms
- Trails
- Picnic grounds and facilities for other small community gatherings
- Play areas for small children
- 1,000 seat amphitheater
- Dog park
- Forested open space
- Public art
- Parking
- Park maintenance facility



Phase 1 of the park was constructed in 2000. This included three baseball fields (the stadium was deferred to a future phase), parking, the southernmost portion of the Pleasanton Avenue extension, with the connection to Valley Avenue, and adjacent landscaping. The total area was approximately 13 acres.

Phase 2 of the park is currently under construction. This includes the bermed and forested area in the western portion of the site, adjacent to the mixed density housing development off Valley Avenue, the illuminated multi-sport fields and associated parking, the small group picnic area, plaza, and new trails, with associated landscaping. The area of the second phase is approximately 60 acres.

The master plan report said that Phase 3 might include the baseball stadium, an additional synthetic field, amphitheater, trails, and 250 shared parking spaces at the site of the proposed Performing Arts Center. These spaces would serve the Arts Center for its large events, but would also provide overflow parking for the sports fields during other times. This phase would also incorporate the construction of the northern part of the Pleasanton Avenue extension to the intersection with Bernal Avenue.

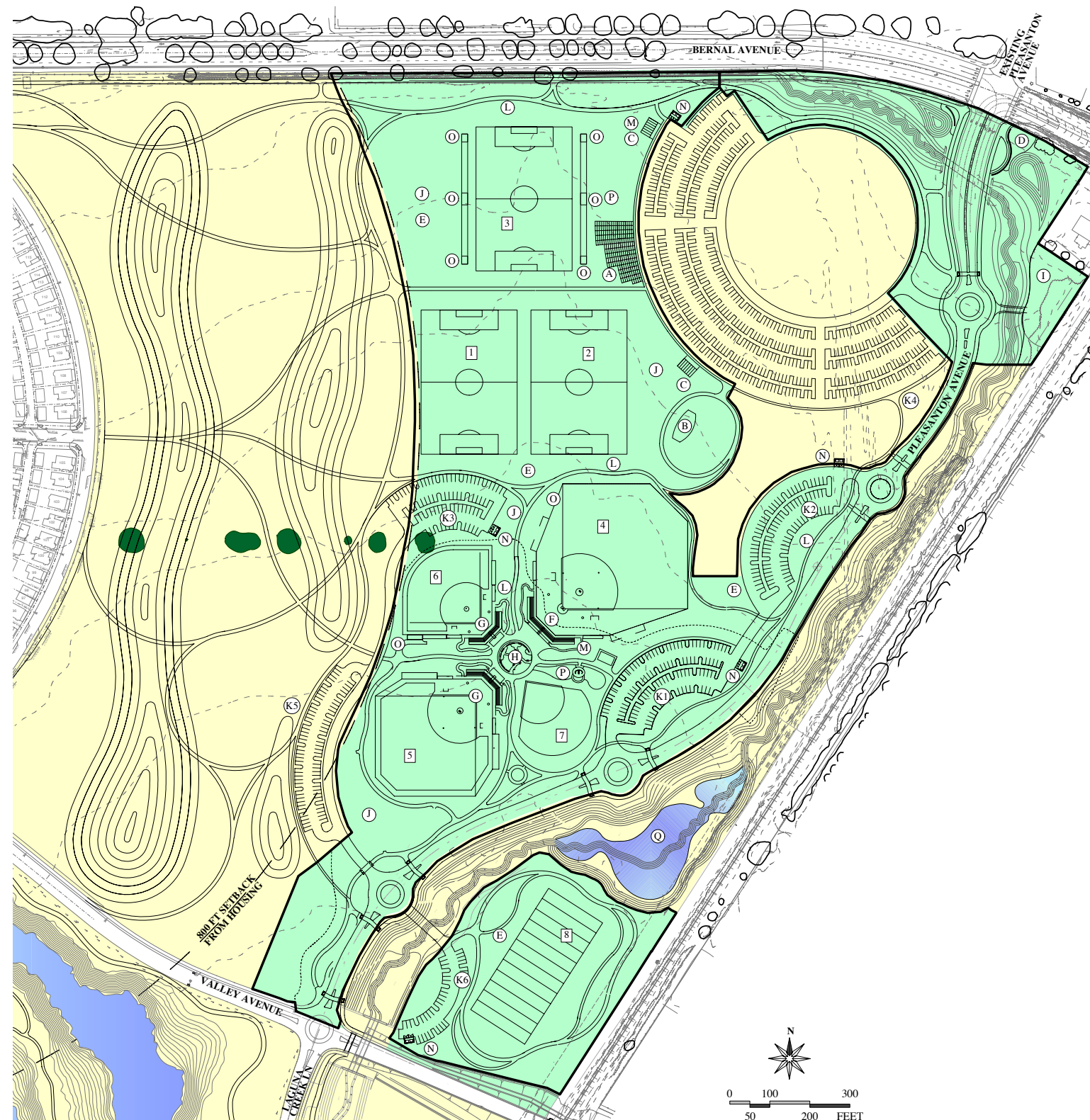
The fourth and final phase would potentially complete the remaining 5 acre site at the southeast portion of the overall park. In the report, this site was indicated as the location of the new football/lacrosse stadium and other active open space.

The performing arts center itself, with additional parking was shown as possible future work in the Master Plan Document, and was not specifically called out as being constructed as a part of any of the phases.

The original Master Plan was quite explicit in constraints on any future development within the naturally forested western portion of the site. It restricts any community park buildings within that zone to 1,000 sf in area and 15 ft. in height.



**FIGURE 2-8**  
Bernal Park plaza



**KEYED AREA DESCRIPTIONS**

- (A) **Soccer Plaza**  
Focal point  
Shade  
Concessions / Restrooms
- (B) **Amphitheater**
- (C) **Large Group Picnic Pavilions**  
Tables and shade structure  
Food preparation areas  
Restroom in close proximity
- (D) **Park Entry Feature**  
Pathway crossing  
Gateway landscaping
- (E) **Active Open Space**
- (F) **Baseball Stadium Structure**  
Concession stand  
Restrooms  
Built-in bleacher seating  
Scorekeeper's booth  
Bullpens
- (G) **Baseball Field Structure**  
Built-in bleacher seating  
Scorekeeper's booth  
Bullpens
- (H) **Baseball Plaza**  
Central Feature  
Picnic areas and benches  
Shade trees
- (I) **Park Maintenance Compound**
- (J) **Small Group / Family Picnic Areas**  
Individual or paired tables with small grill  
Shade trees
- (K) **Parking (580 total)**  
1 Approximately 103 spaces  
2 Approximately 78 spaces  
3 Approximately 72 spaces  
4 Approximately 230 spaces  
5 Approximately 75 spaces  
6 Approximately 22 spaces
- (L) **Lighted Multi-use Paths**  
9' in width
- (M) **Remote Restrooms**
- (N) **Screened Dumpster**
- (O) **Sports Field Equipment Storage and/or Announcer's Booth**
- (P) **Playground**
- (Q) **Water Quality Basin**

**SPORTS FIELDS**

- [1] **Soccer**  
240' x 360'
- [2] **Soccer**  
240' x 360'
- [3] **Soccer Stadium**  
240' x 360'
- [4] **Baseball Stadium**  
375' pocket - 90' base paths
- [5] **Baseball Field**  
320' pocket - 60', 70', and 80' base paths
- [6] **Baseball Field**  
220' pocket - 50', 60', and 70' base paths  
Fenced
- [7] **Baseball Field**  
200' pocket - 50' and 60' base paths  
Unfenced
- [8] **Football Field / Lacrosse**  
160' x 360'

**FIGURE 2-9**  
Site Plan , Bernal Property, Phase II Specific Plan

Following the completion of Phase 1, the Park Master Plan was updated by the landscape architecture firm of Harris Design. In the new plan, Phase 2 consists of three illuminated synthetic fields, in a revised configuration, with the plaza, picnic and play areas, parking, and the build-out of the forested area on the western side of the site. It includes a large swale for the collection of storm water from the park. The new parking lot is accessed from the southern portion of Pleasanton Avenue, which was completed as part of Phase 1. However, the northern portion of the extension remains un-built, so still needs to be incorporated in the Civic Center Master Plan. This work is currently under construction, with completion scheduled for the fall of 2016.



**FIGURE 2-10**  
Bernal Park soccer fields today



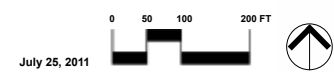
**FIGURE 2-11**  
Bio-swale for stormwater management





LEGEND

- ① Synthetic Multi-purpose Field 1: 240 x 360 ft
- ② Synthetic Multi-purpose Field 2: 225 x 330 ft
- ③ Synthetic Multi-purpose Field 3: 225 x 330 ft
- ④ Spectator Seating
- ⑤ Field Berming
- ⑥ Soccer Plaza
- ⑦ Childrens Play Area
- ⑧ Pathway 8-10 feet wide
- ⑨ Natural Turf for Casual Use
- ⑩ Oak Woodland Area
- ⑪ Bioswale and Riparian Corridor
- ⑫ Auto/Bus Drop Off
- ⑬ Parking 170 Spaces
- ⑭ Parking 30 Spaces
- ⑮ Parking 12 Spaces
- ⑯ Restroom
- ⑰ Concession Building
- ⑱ Storage Building
- ⑲ Group Picnic Area
- ⑳ Overlook
- ㉑ Nature Trail/Interpretive Area



July 25, 2011

**FIGURE 2-12**  
Updated Bernal Park Master Plan  
Phase 2, Harris Design





**FIGURE 2-13**  
North Bernal entry location



**FIGURE 2-14**  
South Bernal entry location



**FIGURE 2-15**  
View from south entry at Pleasanton Avenue



**FIGURE 2-16**  
Bernal Park, new ball fields



### 3 | CIVIC CENTER/ LIBRARY MASTER PLAN OBJECTIVES



Model study of preferred option

## 3.1 Master Plan Objectives

The objectives of this new Civic Center/Library Master Plan are as follows:

- Develop a master plan for a new Civic Center and Library that will be able to serve the community for at least 50 years.
- Design in flexibility for all of the facilities to accommodate multiple uses, and to adapt to changes in community needs over time.
- Make the campus a focal point within the City of Pleasanton and a source and expression of community pride.
- Integrate the new facilities into the existing Bernal Community Park environment.
- Free up the existing Civic Center site to facilitate commercial development to invigorate downtown and provide a more inviting entrance to Main Street from the south.
- Provide adequate on-site parking for all of the new facilities and overflow uses from the adjacent park.
- Provide safe access to the site for pedestrians and cyclists coming from the Middle School and across Bernal Avenue.
- Create usable outdoor public spaces for governmental, cultural, community, and social events.
- Incorporate a Community Center into the new Civic Center campus, providing a large, multi-purpose social hall to accommodate large public and private functions, as well as a variety of other class and activity rooms.
- Provide a new Library that is adequately sized and flexibly programmed to meet the current and anticipated future needs of the community.
- Provide a new City Hall building, which will bring all of the various departments, currently housed in five separate buildings, together under one roof, with a Council Chamber incorporating state of the art AV technology.
- Bring a modernized and expanded Police Station to the new site, so that staff services can be consolidated and improved.
- Focus on sustainability to optimize energy and water efficiency throughout all of the buildings and the site, with on-site power generation, storm water retention, and other green design features.

This work commenced in December 2015, and was completed in June 2016.



## 3.2 Civic Center Master Plan Task Force

In February 2015, the City Council approved the formation of a new Civic Center / Library Task Force. The Task Force's assignment was to explore options and make a recommendation to the City Council regarding a potential new Civic Center / Library Master Plan.

The Task Force has been comprised of 11 members including Mayor Jerry Thorne, Council member Karla Brown, and representatives from the Planning Commission, Parks and Recreation Commission, Library Commission, Youth Commission, Economic Vitality Committee, Pleasanton Downtown Association, and three at-large community representatives. They have met approximately once a month since their first meeting in July 2015.

The team of Field Paoli Architects, with Mark Schatz, consulting architect, Brian Fletcher, landscape architect, and Economic Planning Systems, economic market research consultants, was hired in November 2015 to work with the Task Force in the development of the new Civic Center Master Plan.

***The activities of the Task Force have included the following:***

1. Creation of a vision for a potential new Civic Center/Library Master Plan.
2. Tour of existing Civic Center and Library.
3. Review of past Civic Center/Library Master planning efforts.
4. Review of relevant City Plans and policies affecting the Civic Center/Library Master planning process (i.e., the General Plan, Downtown Specific Plan, Parks and Recreation Master Plan, Pleasanton Youth Master Plan, Cultural Plan Update, and because the Bernal Property is being considered as an alternate site, the Bernal Property Specific Plans, and the Bernal Community Park Master Plan.
5. Virtual tours of several civic centers, city halls, police stations, and public libraries throughout the Bay Area and the state.
6. Field trips by individual Task Force members to nearby civic centers and libraries.
7. Presentation by a "Library Futurist" on what to consider in planning a library that we want to retain its usefulness for 50 years.
8. Review of a physical Space Needs Assessment for each City of Pleasanton Department and function.

9. Review of several iterations of conceptual site plans on the current Civic Center site and the Bernal Park property prepared by Field Paoli, Mark Schatz, and Brian Fletcher based on input from the Task Force and City staff.
10. Review of a Market Analysis for potential future alternate uses of the current Civic Center site should the City decide to pursue relocation of the Civic Center to the Bernal property.
11. Review of a series of refinements to the Bernal Property Alternative.
12. Selection of the Bernal Property site as the preferred location and selection of the preferred site plan.
13. Review of community outreach efforts.

## ALTERNATIVES CONSIDERED

The Task Force concentrated its efforts on two specific sites, the existing Civic Center and Library site, and an alternative site on the northeast corner of the Bernal Property between the new synthetic sports fields currently under construction and the eastern property line along the railroad tracks.

*Each of the alternatives includes the following program of facilities:*

<b>Library:</b>	<b>67,517 SF on two levels</b>
<b>City Hall:</b>	<b>40,000 SF on two levels</b>
<b>Community Center:</b>	<b>25,040 SF on two levels</b>
<b>Police Station:</b>	<b>28,566 SF on two levels</b>
<b>Total:</b>	<b>161,123 SF</b>

In addition, the needs assessment included a study of the required parking for each of these facilities, as well as additional parking needed for the adjacent ball fields and park. An outdoor amphitheater is also part of the program. A more detailed analysis of the needs assessment and building programming efforts follows in a later section of this report.

## 3.3 Needs Assessment and Programming Process

Members of the design team met with the heads of the various city departments in order to conduct a needs analysis and develop space programs for the different components of the proposed new Civic Center complex. In the case of the Library, the process involved a detailed review of the previous Library Space Needs Program, that was prepared by Kathryn Page Associates, and later updated by Library staff. For the Community Center, the team met with Community Services staff to review the unmet demands for recreational and social gathering spaces within the City, to best determine which of those should be provided for in the new Civic Center complex, and how those could be integrated with the other proposed facilities.

Each assessment discussion included a review of the current staffing and spaces provided within each of the existing buildings, as well as a discussion of the currently unfilled positions, and potential future needs for each department. In addition, the design team visited the existing homes of each department to assess with staff what was and wasn't working in their current configurations.

Following these meetings, an initial space program was prepared for each department within the City Hall and Police Station, listing out the needs for private offices, shared workspace, specialized areas, meeting rooms, storage, and related unassigned spaces.

For the Library, a revised program was presented, looking to maximize flexibility, and provide spaces for some of the newer ideas that are arising in library planning. Some of the revisions grew from the presentation to the Task Force by Library futurist, Joan Frye Williams.

For the Community Center, an additional meeting was held with specialized community facilities planning consultant Lauren Livingston of the Sports Management Group. Lauren helped staff and the consultant team to better understand the potential long term operating costs and offsetting revenue generating opportunities that could impact the programming decisions.

A key element of the programming process was the discussion of creating a facility that maximized the use of all of the built spaces, so that we could avoid redundancy, and create the most efficient program possible. To that end, the large community room within the Community Center will also serve to house large Library programs, and overflow meetings of the City Council or other agencies. Similarly, within the City Hall program, rather than providing individual meeting rooms for each department, shared meeting rooms will be provided on each floor to be used by all.

The discussions also included the use of the surrounding outdoor spaces. There was a great desire expressed by the Task Force and staff to have indoor/outdoor

activity areas, including a large programmable space off the Community Center’s main room. In addition, the outdoor amphitheater, which was an important component of the Bernal Park Master Plan, was still considered an important aspect of the new project.

Parking was studied and discussed in great detail. The design team worked with representatives of the City Planning Department to determine the required parking for the proposed new buildings, and also took into consideration the additional parking needed to handle overflow from the existing playing fields and other earlier phase park facilities. The Task Force had considerable input in these discussions, and the final parking plans reflect the responses to their expressed concerns.

As previously noted, the final building program document calls for the following allocation of spaces between the buildings. Charts illustrating the full breakdown of the areas within each of these facilities are given in the complete program document, which is attached as an appendix to this Master Plan.

<b>Library:</b>	<b>67,517 SF on two levels</b>
<b>City Hall:</b>	<b>40,000 SF on two levels</b>
<b>Community Center:</b>	<b>25,040 SF on two levels</b>
<b>Police Station:</b>	<b>28,566 SF on two levels</b>
<b>Total:</b>	<b>161,123 SF</b>



**FIGURE 3-2**  
 Civic Center Study  
 Downtown Site - Option 3



# 4 | SITE DESCRIPTION AND ANALYSIS



Aerial view of Bernal Park and the downtown site

## 4.1 Overall Context Within Pleasanton

Bernal Community Park is located in the southern part of the City of Pleasanton, south of Bernal Avenue, with the Union Pacific Railroad tracks to the east, and Valley Avenue to the west. Pleasanton Avenue, which extends north from Bernal Avenue opposite the northeast corner of the park, will be extended through the site to connect to Valley Avenue. Bicycle and pedestrian paths will also be connected through the park.

Phases one and two of the park development will, when complete, include the majority of the site, with the exception of the northeast corner, which comprises approximately 27 acres. This remaining area is the proposed site for the new Civic Center.

Pleasanton Middle School and Hearst Elementary school are located directly east of the site, on the opposite side of the railroad tracks. The two schools are separated by high density residential. South of the elementary school the use shifts to low density residential.

The Alameda County Fairgrounds is located to the north of the property, on the other side of Bernal Avenue. They too are planning for future improvements, and one of the goals for this project is that their entrance off Bernal can be coordinated at a single new signalized intersection with the western entry to the Civic Center.

To the west of the site, there is a new mixed density residential community that extends to Valley Avenue, with a curving perimeter road lined with homes that look into the great views of the forested portion of the park.

Finally, the existing Civic Center site and entry onto Main Street are located just one block east of the site, on the north side of Bernal Avenue, providing excellent opportunities for a strong pedestrian, bicycle, and vehicular connection from Main Street and the new developments at the old site, to the new Civic Center.





**FIGURE 4-1**  
Context map of the Bernal Park and downtown sites



**FIGURE 4-2**  
Close up aerial photo, showing existing Civic Center campus and adjacent downtown areas

## 4.2 Relationship to Existing Means of Travel

Bernal Avenue is one of the primary vehicular routes through Pleasanton, and the new Civic Center will have two primary entries at signalized intersections off this street. The extension of Pleasanton Avenue will create a strong new north-south axis through the site, linking to Valley Avenue, another major artery, to the south.

There are bus routes that run along Bernal Avenue, and it is hoped that new bus stops could be added along that street to maximize convenience for visitors to the new Civic Center. In addition, it is hoped that other bus routes could be reconfigured to incorporate new stops along the new Pleasanton Avenue extension that runs through the eastern portion of the site.

The Civic Center complex will also be very convenient to the ACE train station, which is located just north of Bernal Avenue, across from the eastern boundary of the site.

The overall park master plan includes proposals for bicycle and pedestrian path extensions through the park, linking previously disconnected portions of the city-wide trail network. The new Civic Center/Library Master Plan details the proposed path connections, and calls for the provision of abundant bicycle parking. One option would also include providing a fenced and locked bicycle parking zone within the proposed parking structure, which would serve employees who choose to bike to work.



**FIGURE 4-3**  
Ace Train in Pleasanton





**FIGURE 4-4**  
Bus route map with ACE train station also noted





**FIGURE 4-5**  
Bike/pedestrian map of surrounding context and park

## 4.3 Context Within the Park Master Plan

The proposed site for the new Civic Center development is in the northeastern corner of the overall Bernal Community Park Site. It is comprised of approximately 27 acres of land, extending from the border of the new soccer fields on the west, to the existing Union Pacific Railroad tracks on the west, bounded by Bernal Avenue on the north, and the drive aisle to the soccer parking lot on the south.

It does not include the small site in the northeast corner that houses an existing pump station. That property will remain as is, with the exception that a new access drive to the pump station will be provided off the extension of Pleasanton Avenue, replacing the existing drive that parallels Bernal Avenue.

It also omits the 5 acres in the southeast corner, which were designated in the original Bernal Community Park Master Plan document as the site for a football/lacrosse field.



**FIGURE 4-6**  
Bernal Park and the downtown site



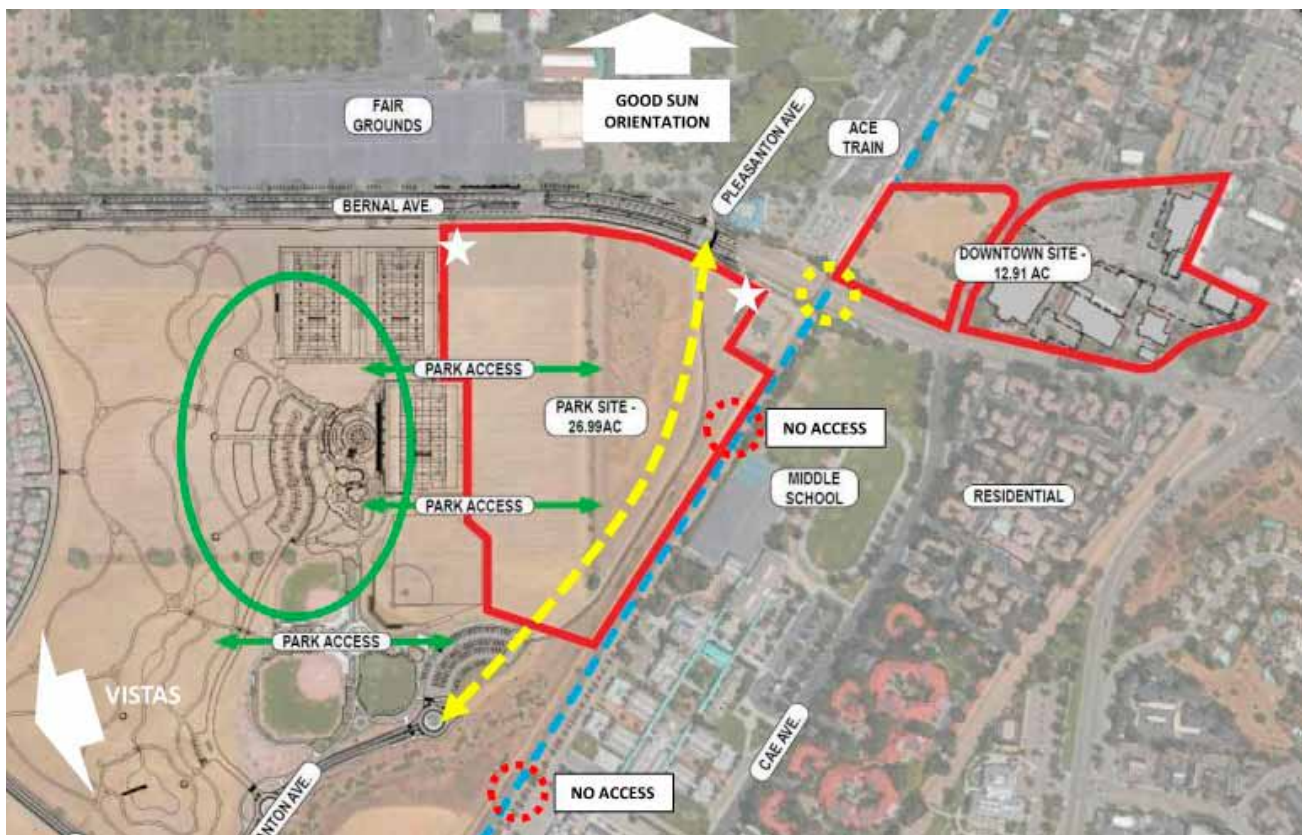
## 4.4 Bernal Community Park Site Analysis

The following site analysis diagram illustrates some of the key issues that have helped shape the proposed Civic Center/Library Master Plan at Bernal Community Park.

The first component of the analysis is an environmental review, assessing the sun angles and wind directions. This is important for optimizing the orientation of the buildings to minimize glare and heat gain, and allow for the opportunity of on-site solar power generation on the roofs.

The next aspect is a review of the surrounding conditions. The primary context of the site is its location within the full proposed build-out of Bernal Park. Other neighboring land uses have been explained in the previous section of this Master Plan.

Finally, the site was studied within the context of existing patterns of circulation for vehicles, bicycles and pedestrians.



**FIGURE 4-7**  
Site Analysis Diagram



## 5 | PROJECT COMPONENTS



Model study of preferred option

## 5.1 Library

The new library is proposed as a 2 story building of just under 70,000 square feet. This is more than double the size of the existing library, and better meets the recommended guideline for library space per capita.

As previously noted, the new Library building program was based on an earlier needs assessment and program document prepared by Kathryn Page and Associates along with City Library staff. Only minor adjustments were made to this program, in an effort to avoid redundancies in community meeting rooms, and address some of the more recent trends in public library services, including laptop and tablet check out services, and incorporation of a large maker's space.

The current master plan design proposes that the main entry be shared between the new Library and Community Center, so that they can operate as a single, jointly operated facility. This provides for a number of important efficiencies including a centralized mechanical ventilation system, a single shared main information counter, shared restrooms, janitorial, and other service areas. Should the building need to be built in phases, this lobby area would be part of the first phase of development.

The main focus of the first floor is a large, flexible children's room. This space will incorporate seating, computers and collections, largely in movable configurations so that they can be adjusted over time. There will be a number of enclosed small group study rooms located off the children's room, as well as large open areas for families



**FIGURE 5-1**  
Maker Lab



**FIGURE 5-2**  
Children's story time space

to explore, play, and learn together, and for storytelling and other children's programs. It will be adjacent to the large library program room which can house larger youth oriented events.

Other areas on the ground floor include a marketplace with new books and other materials, staff work areas including a space for an automated materials handling machine, and the Friends' bookstore and workroom.

The second story will include the adult and young adult areas, again with flexible seating, collections and computers, additional group study and meeting rooms, staff work areas, and an outdoor deck with views into the park.

An innovative feature on the second floor will be a maker's space / technology lab. This large enclosed area, which will be near the teen space, but will serve patrons of all ages, will include a wide range of hands on activity centers, with opportunities to learn about audio and video production, three dimensional printing, circuitry, and other STEAM (Science, Technology, Engineering, Arts and Mathematics) based programs.

Throughout the new Library, there will be state of the art access to technology, with the flexibility to respond to the ever accelerating pace of change. The entire facility will have free wi-fi service for high speed internet access, which may also extend out into the patio areas. Rather than having large areas designated for



**FIGURE 5-3**  
Laptop lending machine.



**FIGURE 5-4**  
Adult reading area with flexible seating and plenty of natural light.



## 5.2 Community Center

Earlier master plans for Bernal Park called for the development of a future youth center or community center as part of the redevelopment.

Now, a new 25,000 square foot Community Center with flexibility for youth related activities is planned for the Civic Center complex, in response to the local demand for large, flexible gathering spaces for social, recreational, cultural, and educational programs. As noted above, the intention is to provide these services in a combined facility with the Library, so that the spaces can all be shared and multi-purposed.

The main space of this new center, located directly off the shared lobby, is a 300 seat banquet hall, which can be divided into 3 smaller spaces when not in full use. This will include a stage, catering kitchen, chair and table storage, and extensive AV capabilities. The hall will also open out into a large entertaining terrace that comprises a part of the proposed large central meadow area. This space will be available for large city sponsored programs, library events, City Council meeting overflow, and rental occasions.

Secondary spaces will include a large teen center/games room for use by residents of all ages, and several multi-use classrooms for a broad range of public and privately run activities and programs. Some of these will be equipped for arts and other messy programs, while others will be for quieter activities including yoga and language classes. Office and meeting space for Community Services department staff will also be centralized in this new facility.



**FIGURE 5-5**  
Dance studio



**FIGURE 5-6**  
Large community room



## 5.3 City Hall

Existing City offices are spread amongst 5 separate buildings at the existing Civic Center site. There has long been a need for a new, centralized City Hall building, with an improved Council Chamber, and the ability to better serve the citizens of Pleasanton in a more efficient manner. The proposed new building will have 40,000 square feet of area spread between two floors. This isn't actually an increase in overall size, but it will now be in a single, more efficient configuration.

Design team members met with all of the various City department heads during the programming exercise explained in an earlier section of this report, and worked to ascertain the specific space needs for each department, and to also consolidate those spaces that could be shared between the various departments in an effort to create an efficient, flexible, and functional program for the new building.

An important goal of the new program was to maintain a combined public counter to serve the permitting and other needs of patrons meeting with representatives of the Community Development, Planning, Building, Engineering and Economic Development divisions/departments. This shared information /permit counter will be located directly off the entry area, with flexible options for staffing. These departments will have their shared and private office areas directly adjacent to the counter on the ground floor for ease of access, along with shared meeting, storage, clerical and other spaces.



**FIGURE 5-7**  
Council Chamber with fixed seating



**FIGURE 5-8**  
Permit and Information Desk

The second floor will provide office and meeting space for the City Manager, City Attorney, Mayor and Council, Finance, Human Resources, and other department staff that do not have as frequent public contact. All office areas are being planned based on the anticipated future staffing needs, and there will be additional unfinished space on the second floor to allow for unforeseen expansion. There will also be an outdoor deck, similar to that at the library, providing an opportunity for staff and the public to take a break and look out into the park and the surrounding hills.



**FIGURE 5-9**  
Information Center



**FIGURE 5-10**  
Dedicated meeting room

## 5.4 Police Station

The existing Police Station is undersized for the anticipated future needs of the City of Pleasanton, and is also deficient in a number of areas, including having room for training programs and other public educational activities.

The proposed new facility will be a 2 story, 28,500 square foot building, with an adjacent enclosed parking lot for 100 vehicles. The functions are basically unchanged from those in the existing station, but they will be laid out in a more efficient manner. The proposed location of the new police station is on the east side of the new Pleasanton Avenue extension, with easy access and egress available from the north, south, and west directions. It is adjacent to the proposed parking structure, so police staff can park their personal vehicles in a designated area there.



## 5.5 Circulation and Parking

The proposed new site plan indicates the extension of Pleasanton Avenue from Bernal Avenue on the north to the existing phase 1 parking area on the south, just north of Valley Road. This creates two distinct development areas to the east and west of the new road. The main Civic Center complex with its central meadow and the adjacent amphitheater are located to the west, and the parking deck, police station and secure police parking are to the east.

A parking analysis was conducted by the design team in conjunction with planning department staff. The requirements are based on the guidelines in the Pleasanton Zoning Code. The agreed upon requirements are outlined in the table that follows.

Based upon the input received from the Task Force and Community Services Department staff, we also acknowledge that additional parking is required as overflow from the phase 1 and 2 athletic facilities at Bernal Park. Based upon discussions with City Staff, and review of the previous park master plan documents, it was decided that the new project should aim to provide an additional 250 parking spaces.

<b>City Hall</b>	<b>1 space/300 sf</b>	<b>133 spaces</b>
<b>Library</b>	<b>1 space/600 sf</b>	<b>113 spaces</b>
<b>Community Center</b>	<b>1 space/60 sf of main room</b>	<b>125 spaces</b>
<b>Police</b>	<b>per Chief Spiller</b>	<b>100 spaces</b>
		<b>471 spaces</b>
<b>Additional secure police parking</b>		<b>100 spaces</b>
<b>Overflow parking for ball fields</b>		<b>250 spaces</b>
		<b>821 total spaces required</b>



**FIGURE 5-11**  
Proposed site plan

As currently designed, the proposed new Civic Center Master Plan will provide new parking for 835 cars. This parking is spread throughout the site. The current Master Plan illustrates the following locations for parking:

- An on-grade lot located to the north of the buildings, separated from Bernal Avenue by berms to block views of the cars.
- Two small drop-off / short term parking lots located at the far ends of the curving building complex, adjacent to the Library and Council Chamber.
- Along one side of the cross-site access road, directly adjacent to the new soccer fields
- In a parking structure located to the east of the new Pleasanton Avenue extension. This structure is currently illustrated as providing two stories of parking – on grade, and on a one story deck. The option of building a third level has been discussed, and is favored by many of the task force members.
- An enclosed, secure parking lot adjacent to the police station, with two means of access and egress
- A small public lot in front of the police station
- A future on-grade lot at the south of the site to provide additional parking for the baseball and soccer fields, as well as overflow for other activities. Should the third level be provided at the parking structure, this additional on-grade parking would not be necessary, and that area could be retained as open landscaped park land.

In addition, it is proposed that one of the nearby bus routes could be rerouted to pass through the site along Pleasanton Avenue, with conveniently located stops for both directions of travel.

Finally, the existing bicycle and pedestrian paths that have begun in the earlier phases of the park will be extended through the new phase of development, with abundant convenient parking near the entry to each building. Select staff restrooms will be provided with showers to help promote bicycle commuting.

As the design gets developed, studies will be done to determine the best approach for providing safe pedestrian and bicycle access both from the Middle School, located on the opposite side of the ACE train tracks. One option might be to provide a bridge over the tracks, potentially landing at a designated walking path on the upper level of the parking structure. This would require a large ramp on the school side for accessibility.

Safe access across Bernal Avenue will also need to be studied, with options including a timed “walk” signal separate from vehicular traffic from any direction.

## 5.6 Amphitheater

The phase 2 Master Plan for Bernal Park illustrates an outdoor amphitheater as one of the primary elements of the redevelopment of the northeastern quadrant of the park. In reviewing the goals for the new project with the Task Force and staff, it was decided that this component should remain as a feature of the new Civic Center Master Plan. It will be an outdoor venue for performances as well as other outdoor cultural and social programs. When not in use, the terraced lawn seating will provide an inviting space for workers and park visitors alike to have lunch, sit and read, or just visit and relax.

The size of the amphitheater might become larger, should the need arise



**FIGURE 5-12**

Amphitheatre with terraced lawn seating



**FIGURE 5-13**

View across the meadow from proposed Amphitheater



## 5.7 Other Outdoor Spaces

This phase of development will not provide for any new programmed athletic fields. There will be some un-programmed open turf areas, which can serve as recreational or practice fields, or just open lounging areas.

The entire site will be landscaped with drought tolerant species wherever possible, and will also provide swales and other recessed areas for the collection and natural filtration of rain water from the surrounding buildings, parking lots, and other hardscape areas.



**FIGURE 5-14**  
Open recreation areas

## 6 | DESIGN PROCESS



Model study of preferred option



## 6.1 Community Open Houses

Following the Task Force workshops, and presentations of the ongoing process to the full City Council and School Board, a series of two community open houses were held at the Library on May 31st and June 18th, to introduce the broader community to the Master Planning efforts and the resulting recommended design.



**FIGURE 6-1**

3D model display at the community open house

The workshops were set up with a series of stations around the room, giving participants the opportunity to learn about various aspects of the project, with multiple opportunities for providing input. Topics addressed at the different stations included image boards to help describe the characteristics and programs for the new Library, Community Center and City Hall, as well as one dealing with the context of Bernal Park, a virtual tour of nearby Civic Centers, and a station with a large model and image boards illustrating the proposed Master Plan concept.





**FIGURE 6-2**

Image displays at the community open house.

There were also stations where participants could record their wishes, comment on the proposed design, and draw their own ideal new Civic Center and Library.



**FIGURE 6-3**

Community open house participants writing comments and wishes for the new Civic Center and Library.

## PUBLIC COMMENTS:

Some of the wishes that were recorded by members of the community included:

### General Wishes:

- Atrium
- Digital marquee out front
- Solar panels over the parking areas to provide shade and power
- Outdoor amphitheater – for public and private events
- New bus stops near the buildings (multiple wishes)
- More frequent bus runs
- A Café, snack bar, concession stand (multiple wishes)
- Play structure
- Wind power
- Connected bike lanes, and bike parking (multiple wishes), bike parking near all uses
- Keep community “feel” and inclusiveness
- Plan for future growth
- Frank Lloyd Wright elements
- Build enough parking – concern about ACE train parking overflow
- Water bottle filling stations
- Outdoor access to restrooms
- Keep plenty of open space
- Green roofs
- Get donations to help fund the project

Comments received on the proposed master plan concept include the following:

### Library Wishes:

- Fast, free Wi-Fi with ample band width
- Keep the bronze sculptures of the children that are at the existing Library
- A second branch Library in North Pleasanton
- More conference spaces including for ESL groups (multiple wishes)
- Maker space and media lab
- Small group study spaces within the library
- Vibrant children’s room
- More books
- Keep the library cozy
- Catalog foreign language books
- Drive-by book drop
- Maintain mail drop box for patrons



#### Community Center Wishes:

- Games room with chess sets
- Art rooms, painting classes
- Rotating art exhibits
- Daycare
- A space for musical performances
- Youth Center – involve youth in the planning (multiple wishes)
- Martial arts classes, karate school (multiple wishes)
- Video game machines
- Teen drop-in activities

#### Additional Wishes

- Ice rink (multiple wishes), rink with 2 sheets, rink with 4 sheets!
- Indoor or outdoor swimming pool (multiple wishes)
- Paintball fields
- Indoor sports facilities
- Bridge across Bernal to the fairgrounds site (multiple wishes)
- Snack bar / concession stand
- Dog waste stations
- Rock climbing wall (multiple wishes)
- Large performance space
- Fishing pond
- Bridge across the tracks to the Middle School



**FIGURE 6-3**  
Drawings created at the open house



Comments received on the proposed master plan concept include the following:

- Don't delay, do it now
- Do it right the first time!
- Maintain the "craftsman" style of the old library
- Move Pleasanton Avenue to the far side of the parking garage
- Use less surface parking by adding another level to the parking structure
- Maintain the existing location for the police station (multiple comments)
- Like the meadow area in front of all of the buildings
- Like the amphitheater – cover it, use artificial turf, no artificial turf
- Build a bridge across the railroad tracks to connect to the Middle School
- Multiple questions on how the project will be funded
- No employee parking in the prime locations – create a defined location for staff parking
- Secure the outside face of the parking structure so nothing can be thrown at the train tracks
- Incorporate Main Street landscape elements into the Civic Center landscape design
- Consider option to expand parking structure at a future date
- Use a parking ticket/voucher system to deter parking by fairgrounds visitors
- Concern about the safety of crossing the very busy Bernal Avenue
- Having a library on Main Street would be great
- Dedicated youth center space is needed – welcoming youth gathering space
- Looks great, but a bridge across Bernal would be nice
- Need room for meetings of non-profit groups
- Hold another meeting at the Firehouse Arts Center
- Add some rose bushes – Pleasanton is known for them
- Solicit ideas from local high school and college students
- No need to be larger than the Dublin Civic Center
- More shaded seating in the main plaza area
- Good sound system in the amphitheater – use it for community events
- Use permeable paving in the surface parking lots
- Keep and expand the meadow
- Additional comments regarding the need for a hockey rink
- Low voltage landscape lighting, and streetlights consistent with downtown
- Please continue to involve all demographics in the feedback loop as the architecture is developed
- Sustainability and green elements
- Work to avoid traffic and parking overflow into adjacent neighborhood streets
- Parking concerns – ACE train commuters, overnight, yahoo, fairgrounds, bus commuters
- Safe and walkable trails and bike routes

In addition, a number of the documented comments pertained to the potential re-use of the existing Civic Center site.

- Don't sell the existing site
- No housing on the existing site – retail only
- Another comment to use the existing site for more parking for downtown
- Provide incentives to attract more day/night uses to downtown – no more banks or mortgage companies
- What is going to happen to the existing Civic Center buildings?

## 6.2 Additional Community Meetings

In addition to the two open houses, City Staff also met with the Downtown Vitality Committee of the Pleasanton Downtown Association, the Economic Development & Government Relations Committee (EDGR) of the Chamber of Commerce, and the City of Pleasanton Economic Vitality Committee.

Meeting with Pleasanton Downtown Association Downtown Vitality Committee (5/24/16)

- Supports the civic center being relocated to Bernal property.
- Supports the extension of Pleasanton Avenue.
- Supports the construction of an ACE parking garage – will be good for after hours/special events/weekend parking for downtown.
- Key questions that need to be addressed.
- We must have a clear vision of what will happen in downtown if/when the civic center is moved. Must include a development timeline.
- How will the City zone the current civic center site? Will it be mixed use? What say will PDA have in this zoning decision?
- How will downtown be taken care of? We recognize the civic center project will take a significant amount of city funds and we want to ensure funds are still available for the projects needed in downtown. These projects include parking improvements, Wayside/Delucchi Parks, lighting on Division Street, improve the hardscape of downtown & others.

Meeting with Pleasanton Chamber of Commerce EDGR Committee (5/24/16)

- Committee felt moving to the Bernal property and amending the park plan makes sense as it will create opportunity to help downtown toward becoming a more vibrant destination for dining, retail and entertainment, while potentially generating \$20+/- million from sale of current campus property to apply to new project.
- However, group was concerned the scale of the proposed project may absorb resources needed to make downtown Pleasanton successful. The Civic Center/Library financing plan should include (at its front end) the improvements needed for downtown Pleasanton. For example, an ice skating facility (like the one planned, but not yet approved, for Staples Ranch) and an additional hotel in proximity to downtown would bring year-round activity/visitor traffic to downtown.
- Committee's general sense is the plan as currently proposed represents a very attractive, five-star vision without the realities of cost and the need for voter approval. They felt it was essential that two, three and four-star alternatives be prepared and presented with cost projections so the City can accurately gauge public support and/or opposition. For example, at a cost of somewhere between \$100 and \$200 million the current plan appears vulnerable to any vocal opposition on the single observation that it's costs are approximately as high as the City's current unfunded pension liabilities.

## Meeting with City of Pleasanton Economic Vitality Committee (6/16/16)

- Want to know what uses will be located on the downtown site.
- Concerned about the cost and how it would be funded.
- Concerned about the nexus between funding a civic center and an increase in the transient Occupancy tax.
- Wanted to know how other cities funded their civic centers.
- Wanted to make sure Pleasanton Avenue was a "complete street."
- Had questions about project timing, and timing of the downtown specific plan process.
- Were concerned about how middle school students would travel to the library.
- Supported all the proposed parking, they don't think there can be too much.
- Wanted to further explore the possibility of adding school district offices to the site.
- Wanted the amphitheater to be available to private organizations.
- Wanted to understand what approvals require voter approval and when that would occur.
- Voted 12-0 to support the proposed civic center and library on the Bernal property with the caveat that the financial impact and cost of the project needed to be further analyzed.



**FIGURE 6-5**  
Open House meetings



## 6.3 Final Master Plan Design

Following the development of the initial building space program document and the assessment of the Bernal Community Park and Civic Center sites, the design team created a series of three initial concepts which were presented to the Task Force and City Staff for review and comment in January 2016. Two of the concepts called for building the new Civic Center and Bernal Community Park, and the third studied it at the existing Civic Center site.

Based upon input from the Task Force and staff, these concepts were revised and represented to the groups in February and again in March, with additional comments and recommendations discussed at each successive meeting. The final proposed plan combines aspects of the previous two options, and was presented to the Task Force for their final review at their April meeting.

The design proposes gently curving buildings framing the north end of a large central meadow. The meadow itself will be landscaped with native drought tolerant, seasonally changing plantings, and will feature a large storm water retention pond in the center, with a meandering path and wood bridge crossing over it. A large paved patio, located at the center of the northern portion of the meadow, between City Hall and the Community Center, will provide a beautiful setting for outdoor functions, with opportunities for indoor/outdoor events.

The amphitheater at the south end of the meadow will feature gently stepped terraced seating, with stone edges with turf between for a very soft look and feel. These open onto a paved stage area that intersects the path ringing the meadow.

The buildings themselves are connected with a covered walkway to provide weather protection, and also sun protection for the lower floors on the south side. This walkway extends into the drop off / short term parking zones on either end.

The buildings are shown as having simple forms, with flat roof areas, and sections of pitched roof that slope down from north to south, bringing abundant north daylight into the upper floor spaces, while also providing a great substrate for solar photo voltaic panels for on-site energy generation.

A formal entry from the north parking lot will bring building users into the site, and direct them to the meadow and the main entries of the individual buildings that ring its northern edge.

The police station, parking structure, and secure parking lot remain on the east side of Pleasanton Avenue, and a connecting road cuts through the site, from Bernal Avenue at the northwest corner, to the parking entry to the Police station on the east. There will be parking along one side of this road only, with a berm on the other side to minimize the views of the cars from within the park. This

provides more parking directly adjacent to the soccer fields, while minimizing the impact of that parking on the visual connections through the park.

For now, it is proposed that the additional parking lot on the south be considered as a future phase of work. Once the whole complex is open, staff will be better able to determine the actual parking demand, and if additional parking proves to be needed they have the option to add this lot based upon that need. This creates a much larger open landscaped zone at the southern end of the site, which many members of the the team saw as a positive aspect of the proposed design.

The final proposed design, with the future southern parking lot, provides parking for 832 cars, which more than meets the anticipated demand, both from the new Civic Center complex and the anticipated overflow need from the park itself.

The roadways themselves will be carefully designed with traffic calming elements such as crosswalks that are raised and paved in an alternative material, with flashing lights at ground level for additional safety.



**FIGURE 6-6**  
Proposed Master Plan - Aerial View

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## 7 | PROPOSED MASTER PLAN DESIGN



Model study of preferred option



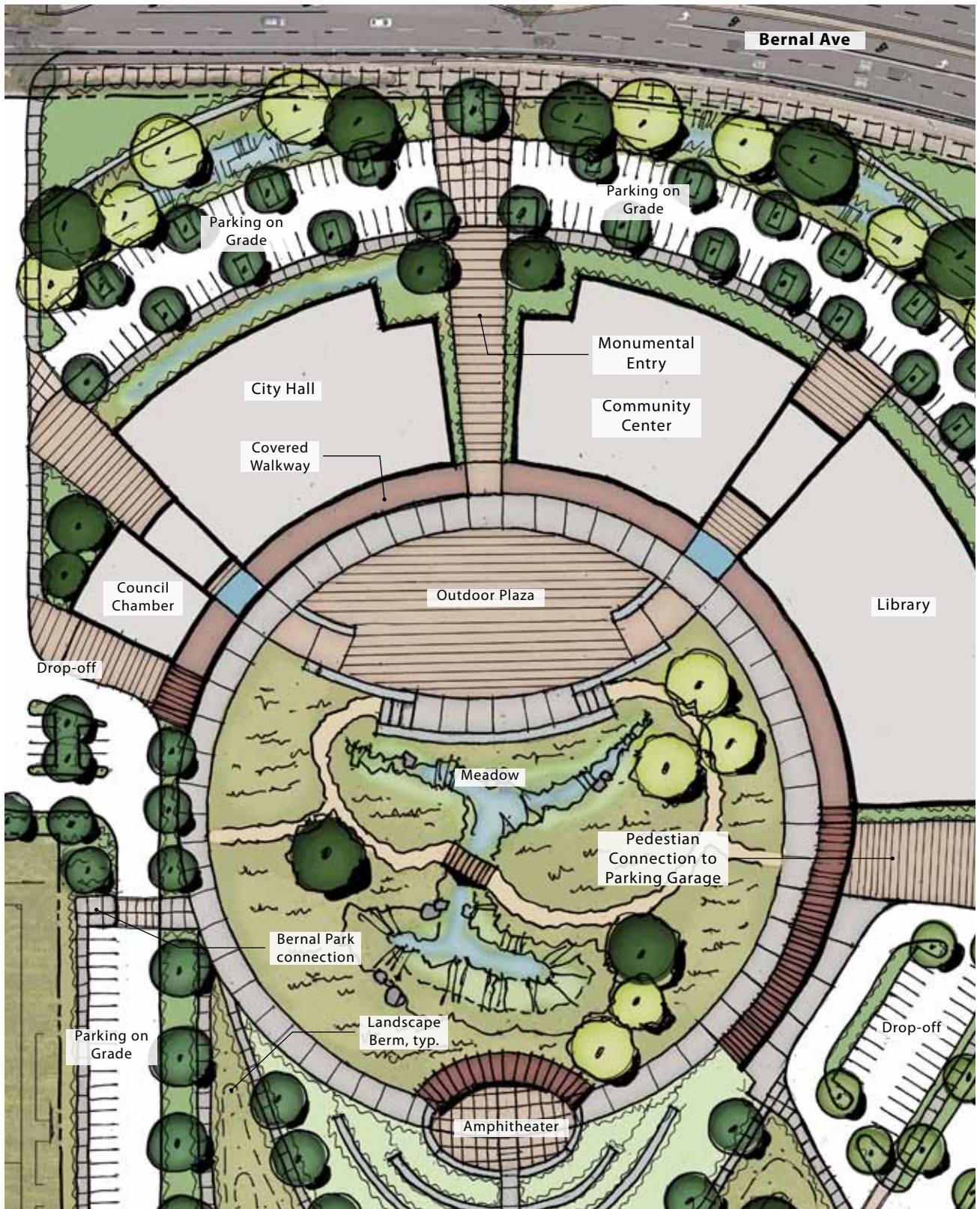


# 7.1 Site Plan

**FIGURE 7-1**  
Proposed Master Plan - Site Plan



# 7.2 Landscape Plan-Details



**FIGURE 7-2**  
Detail view of landscape plan at meadow





**FIGURE 7-3**  
Detail view of landscape plan at south entrance



## 7.3 Model Views



**FIGURE 7-4**  
3-dimensional model - view above South Pleasanton Avenue entry



**FIGURE 7-5**  
3-dimensional model - view above Bernal Avenue looking south



## 7.4 Conceptual Renderings



**FIGURE 7-6**  
Aerial view from Bernal Ave



**FIGURE 7-7**  
Aerial view from meadow.



**FIGURE 7-8**  
Entry drive at Pleasanton Avenue  
and proposed Library



**FIGURE 7-9**  
Detail view at Library entry



**FIGURE 7-10**  
View along Bernal Avenue





**FIGURE 7-11**  
Entry Drive at Bernal Avenue  
and proposed City Hall



**FIGURE 7-12**  
Detail entry view at City Hall and Council Chambers



**FIGURE 7-13**  
View from drop-off looking towards the main plaza

## 7.5 Architectural Design Guidelines

### STREETSCAPE

- Extend design of Pleasanton Avenue to connect north-south through the site.
- Provide a minimum of Class 2 bike lanes on street for direct connections and a separated Class 1 multi-use path that meanders through the park for recreational riders and connections to amenities.
- Provide a consistent street tree canopy
- Whenever possible provide vegetated stormwater treatment areas as planter strips to accommodate runoff.
- Provide safety enhancements at all pedestrian crossings including high visibility cross walks, change in materials to provide color and texture contrasts, and explore usage of elevated crosswalks / speed tables to provide additional traffic calming.



**FIGURE 7-14**

View of Pleasanton Avenue at the southern entry to the site

### PARKING AND CIRCULATION

- Surface on-site parking is allowed in front (to the north) of the proposed Civic Center. Parking should be located along the westerly or southerly sides of the Civic Center site.
- Distinct drop-off zones should be located near building and project entry's.
- Create clear and safe pedestrian access on site and from parking to building entry's.
- Where parking areas occur, they should be heavily screened and landscaped to avoid the "sea of cars" look.
- Designated zones will be created for delivery zones and screened trash enclosures.
- Parking along the north side should be bermed and landscaped to hide views of cars from Bernal



**FIGURE 7-15**

Create clear and safe pedestrian access on-site



- A new multi-level parking structure is planned on the east side of Pleasanton Road with easy access to the civic center.
- The inclusion of recharging stations or alternate fuel stations in City parking areas should be considered.
- Parking for the disabled shall be conveniently located adjacent to building entry(s).
- The installation of secured bike storage or bike lockers (for staff) should be considered.
- Extend the city bike network through the site.
- Provide improvements and locate bus stops to connect to the city and county transportation network.
- Maximize amount of landscaping within parking lots to soften their



**FIGURE 7-16**  
Utilize native and drought tolerant plantings

## PEDESTRIAN CIRCULATION

- Provide direct pedestrian connections from parking to building entries and park amenities.
- Utilize a variety of materials and designs to provide a hierarchy of pathways and to identify different use zones.
- Provide strong and clear connections to the existing park.
- Pedestrian walkways shall be physically separated from vehicular areas to insure safety.

## LANDSCAPE

- Utilize a plant palette of native, drought tolerant, and Bay Friendly species.
- Minimize the use of traditional turf grasses in favor of more native drought tolerant species.
- Work closely with the City Landscape Architect to develop plant palette



**FIGURE 7-17**  
Incorporate connections to the park and adjacent neighborhoods



best suited to the Pleasanton environment. Utilize a variety of tree species to avoid mono culture and risk of large die-offs.

- Central meadow shall reflect the character of an enhanced native oak woodland that will provide seasonal interest.
- The overall landscape shall be complementary of the existing park's landscape so that the both will read as a single site.
- All back flow preventers, transformers and other structures related to utilities will be carefully sited to minimize their visual impact.
- Bus shelters should complement the architecture of the civic center.

## TERRACES AND PLAZAS

- The design of a central Civic Plaza adjacent to the new Civic Center is preferred and should organize the public outdoor spaces. This central plaza adjacent to the proposed meadow and park is seen as a key feature in the building design.
- The development of more intimate walkways and garden spaces within the site and adjacent to building(s) for outdoor programs or events is preferred.
- The location of plazas or patios adjacent to public entryways is encouraged to provide an "indoor/outdoor" sense of space and a public gathering space.
- A featured colonnade along with, overhangs, canopies and arbors, which link the architecture to the Civic Center site are encouraged.
- The use of a fountain or more natural water feature(s) is strongly recommended.
- The incorporation of a variety of outdoor spaces including patios, plazas and gardens linked by a pedestrian walkway is encouraged.



**FIGURE 7-18**

Landscape should reflect the character of its location



**FIGURE 7-19**

Use of natural water features within the landscape design for stormwater control

- The design of second floor or roof balconies and patios at the city hall is encouraged to take advantage of terraced building massing. These balconies shall be located to exploit the view shed to the west.
- Plazas and patios shall provide an interesting and variety of outdoor spaces. Public spaces shall be intimate yet have an open feeling.
- Site continuity shall be enhanced through the use of unique pedestrian hardscape and landscape features, signage and lighting.
- Outdoor amphitheater shall be designed in such a way as to minimize the amount of hardscape to provide a softer “less formal” design that blends with the adjacent landscape.

## SITE LIGHTING

- Lighting of parking areas and walkways should exceed minimum standards for these areas and provide a safe and friendly environment, even after dark.
- Lighting fixtures exposed to view in parking areas, walkways and plazas shall be compatible to the architectural design of the Civic Center/Library and shall have a consistent theme.
- All pedestrian pole lighting shall be limited to a height of twelve feet.
- No low pressure sodium lighting shall be permitted.
- Where possible and practical, lighting of walkways, plazas and landscape areas shall be accomplished via indirect lighting (i.e. non-visible fixtures recessed in masonry walls, up lighting of specimen trees, etc.).
- Lighting design shall be carefully coordinated to maximize identity and security for the Civic Center/Library project. All light fixtures shall be vandal and weather resistant.



**FIGURE 7-20**

Outdoor spaces with an informal design approach



**FIGURE 7-21**

Integrate building and site lighting for a safe night environment

## BUILDING DESIGN

### ***Building Mass and Form:***

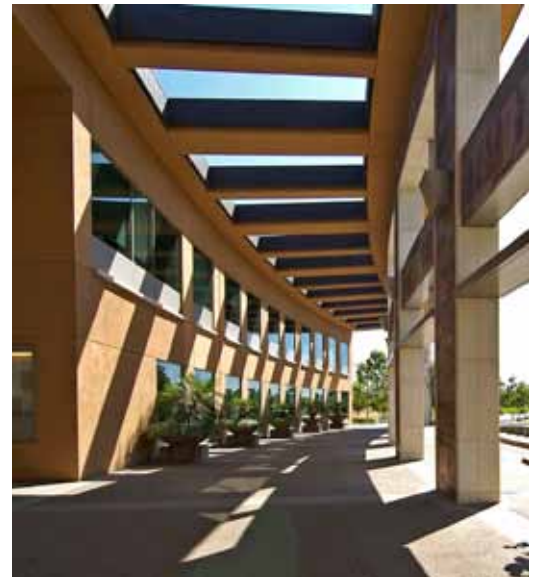
- The building pad(s) for the City Hall/Library and Civic Plaza should be elevated or raised above existing grade to give the Civic Center a sense of prominence and importance.
- The new Civic Center is envisioned as a 3 three building complex with a City Hall, Library and Community/ Multipurpose Room as distinct and separate building elements connected by covered walkways and arcades.
- The building form of the Civic Center structures should be interesting and irregular with prominent forms or massing as opposed to “box-like”.
- Upper floors of the Civic Center should be setback from lower floors to reduce the mass of the complex and to provide a terracing effect. Terraced areas should have landscape treatment integrated into the architecture of the Civic Center.
- Building height should be 2 stories.
- Building forms shall have strong wall or base elements made of permanent materials such as stone, brick or concrete to visually help anchor the building to the site.
- Design elements in the body of the building (above the base but below the roof or cornice) should be articulated to express rhythm and scale. Long repetitive expanses of wall surfaces should be avoided.
- Roof or cornice elements should be expressed to cap or accentuate the architectural mass of the complex.

### ***Proportion and Articulation:***

- Use vertical proportion to contrast with horizontal site and building elements and to provide balance.
- The incorporation of a strong



**FIGURE 7-22**  
Variety in building massing



**FIGURE 7-23**  
Relate building elements to provide indoor-outdoor connections



building or roof forms is preferred to create emphasis and to become a major identifying element for the Civic Center.

- The main entry(s) into the Civic Center should be articulated by strong design elements that are open and visible to the central plaza and landscape space
- The height of roof elements should be designed to establish prominence and to be viewed from afar.

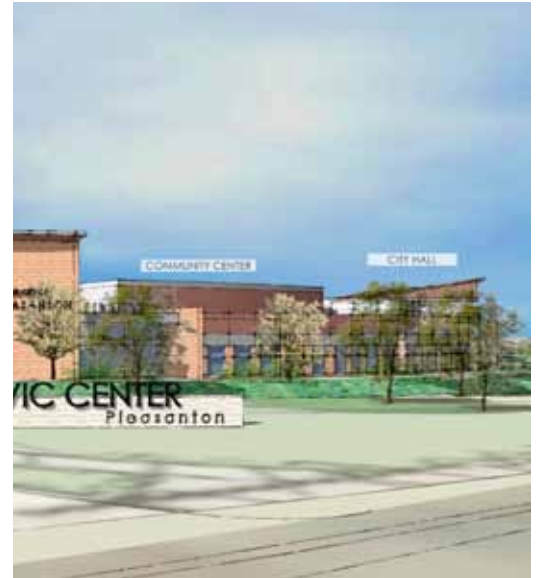
#### **Building Scale:**

- The overall scale of the Civic Center should be impressive and notable.
- Individual building elements should be in scale with each other.
- Create hierarchy of scale of building elements as perceived by the pedestrian from parking areas to walkways to building entrances.
- Entry(s), walkways and plazas should have design elements that relate to pedestrian scale and should be comfortable and inviting.

#### **Architectural Style**

It is strongly recommended that the architectural style of the Pleasanton Civic Center should be distinguished, timeless and prominent since this complex could serve the City for the next 50-100 years.

The community wishes the style of the new Civic Center to be fresh and unique to Pleasanton. Compatibility to adjacent architectural styles at the Fire House Arts Center and the historic commercial downtown.



**FIGURE 7-24**

Varied scale and massing, modern and timeless to the setting



**FIGURE 7-25**

Connections of entry to landscape

The following is a summary of design parameters for architectural style and character:

- Timeless to its setting.
- Prominent scale and massing.
- Warm and friendly.
- Inspiring.
- Sustainable approach to design with a goal of LEED Gold Certified.
- Wide covered walkways.
- Welcoming and comfortable.
- Memorable.
- Notable.
- Sensitive to climate.
- Warm and natural materials-inviting/ not cold.
- Use of arcades, pergolas or canopies for shade.
- Notable design.
- Upper floors setback, terraced.
- Indoor/outdoor connections to the park site.
- Respectful of the character of Pleasanton, yet with global sophistication and reflecting the multi-cultural population of the city.

### ***Building Entries***

- Entry(s) should be “grand,” prominent and inviting with high ceilings. Adequate budgets should be established for entry(s) to achieve emphasis and importance for entry(s) through incorporation of unique design features and materials.
- Entry(s) should be clearly identifiable and visible from drop off areas, walkways and plazas.
- Entry areas should be tall in height and have strong connections to the central plaza space.
- Entries could take the form of an enclosed pergola seen as an extension of the landscape and central arcade.
- Roof elements may be utilized to denote entries.



**FIGURE 7-26**

Use arcades, pergolas or canopies for shade



**FIGURE 7-27**

Inviting entry with connections to drop off

### Roof Forms

- Use roof forms that reinforce and compliment the architectural style.
- The use of visible roof forms and materials is strongly suggested. Taller roof elements should have adequate roof slope so that roofing is visible to the pedestrian.
- The use of open space between buildings to connect with the internal plaza to help identify entries is suggested.
- Use interesting roof elements to emphasize areas of importance, such as entries, Council Chambers, etc.
- Utilize the terraced setbacks of upper floors for balconies and roof decks.

### Window Treatment

- The introduction of natural light into Civic Center spaces should be maximized.
- Windows should be placed to create an indoor/outdoor feeling from interior spaces.
- Windows should be placed to maximize view potential to distant vistas, the adjacent park, plazas and garden areas.
- The use of north facing light or skylights for natural daylighting strategies is encouraged.
- Windows should be operable type to allow for natural ventilation.
- Window shape and location should be integrated into the architectural design of the Civic Center building(s).
- Utilize the relationship of windows to solid wall areas to establish an interesting rhythm and visual emphasis.
- The use of reflective glazing adjacent to pedestrian areas is not recommended.



**FIGURE 7-28**

Roof forms compliment architectural style



**FIGURE 7-29**

Use of north facing windows for natural daylighting strategies



- Shading strategies for solar protection is recommended.

### **Materials**

- Selection of building materials should be based on appearance, quality, longevity and ease of maintenance.
- Building materials should be selected on the basis of their appropriateness and compatibility to proposed architectural styles.
- The use of natural, warm, solid, durable and timeless building materials is suggested. Suggested building materials include stone, brick, concrete, plaster and metal materials.
- Finish materials should be used consistently on all building facades to tie the complex of buildings together to create a cohesive complex. Featured accent materials can be specific to individual buildings or locations.
- Building finishes should be compatible to each other. The number of finish building materials should be limited.

### **Color**

- Building colors should be used to achieve a high quality visual design.
- Building colors should be compatible to the architectural style of the building and to other building finish materials.
- Building colors should be striking and tasteful, not flashy.
- Use colors and accents which are compatible and complimentary to architectural style and form.
- Limit the number of colors in the building palate to achieve design clarity and simplicity.



**FIGURE 7-30**  
Use of natural materials



**FIGURE 7-31**  
Limited building colors and materials

### Sustainability Guidelines

- The entire Civic Complex should meet the requirements for LEED gold certification as a minimum.
- Opportunities for on-site energy generation include photovoltaic solar panels on the sloping and flat roof areas of all of the buildings, as well as on shade structures in the parking areas.
- The option of unobtrusive on-site wind generators should also be explored.
- As previously noted, all stormwater generated on the site needs to be retained and filtered naturally through the means of bio-retention ponds or swales.
- The use of electrically powered vehicles should be encouraged through the provision of designated recharging stations in the parking structure and elsewhere on site.
- Use of alternative means of transportation should be encouraged by requesting the extension of local bus lines into the site and providing convenient bus stops, by providing more than adequate bicycle parking dispersed throughout the site, and by linking to the existing network of pedestrian and bicycle paths.
- Landscape irrigation should utilize recycled water, which is proposed to be available at the site by the time of completion
- The option of using gray-water for plumbing fixtures within the buildings should be explored
- Natural ventilation and daylighting of all occupied spaces is encouraged as the most efficient means of saving on energy usage.
- Wherever possible, the use of locally produced, recycled, or renewable materials should be encouraged.
- The design should provide for a safe, chemical free indoor environment.



**FIGURE 7-32**

Buildings and site design to meet standards for Leed Gold certification as a minimum



**FIGURE 7-33**

Photovoltaic panels incorporated into the design as shade structures

## SIGNAGE

- Signage should be classic, bold and easy to read, classy and understated
- Use architectural emphasis elements to incorporate signage or unique building elements featured in signage design
- Signage should be clear and visible to all age groups. Use of signs for both vehicular and pedestrian locations should be easily legible with appropriate font size.
- Integrate signage locations into the architecture of streetscape, site and buildings.
- Develop an overall comprehensive signage plan, which utilizes consistent sign types, locations and materials and is compatible with other design features and elements.



**FIGURE 7-34**  
Clean and visible signage



**FIGURE 7-35**  
Integration of signage with streetscape



## 8.1 Next Steps

The next step in the process will involve presenting this Master Plan report to the various City commissions, including the Planning Commission, Parks and Recreation Commission, and Library Commission. Once they have all had a chance to review, comment on, and make a recommendation on the plan, it will be brought back before the Council for their final approval.

The proposed changes to the land uses on the Bernal Property will also require approval from Pleasanton voters. A graphic and text explanation of the specific changes that will need to be made to the Bernal Property Phase II Specific Plan are provided in Appendix A-3.

Simultaneously, staff will be working to study various options for the funding and potential phasing of the project. This will lead to a proposed implementation plan. At that point, a design team will be hired to begin on the actual design of the overall Civic Center and the first phase of individual buildings.

There will be many more opportunities for community input during this process, and the conceptual and schematic design phases will include a series of well publicized and organized community design workshops.

Once an initial design is in place, it will go through an environmental review process, with the scope of CEQA documentation required to be determined in a review by Planning staff. It will also require a series of entitlements such as a Planned Unit Development Plan.

## 8.2 Potential Phasing Diagrams

The Task Force strongly recommends that the entire complex be built at one time, in a single phase, as it is the best way to assure that it will all, in fact, come to fruition. In this option, the southernmost parking lot would still be broken out as a future phase, to be constructed only if it proves necessary to add more parking capacity, based on the actual use of the complex.

If it is all built at the same time, it will be more cost effective in the long run, because the later phases of work will not be subject to construction cost inflation. It will be more efficient for operations to move all of the departments to the new site at the same time, and it will also enable the entire existing site to become available for redevelopment, without that also having to be phased.

However, because 100% of the required funding for the project may not be initially available the design team has also looked at an option for phasing the development of the Master Plan, so that it can be built over a number of years, similarly to how it has been done at Bernal Community Park.

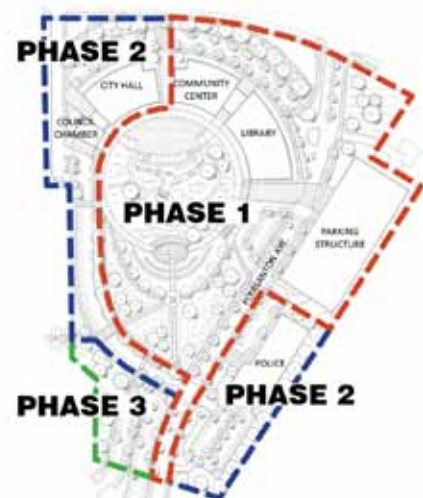
Since the most important aspects of the project for the community are the new, larger Library and the adjacent Community Center, it is proposed that these be built as the first phase, along with the extension of Pleasanton Avenue, the central meadow, amphitheater, other roadways and parking areas with associated landscaping, and the parking structure.

The second phase of construction would include the new City Hall, Council Chambers, and Police Station, along with its associated secure parking lot. The third phase, if deemed necessary, would be the southernmost parking lot along Pleasanton Avenue.

The diagrams below illustrate these two alternatives.



**FIGURE 8-1**  
Phasing Diagram - Option 1



**FIGURE 8-2**  
Phasing Diagram - Option 2

# APPENDICES



Model study of preferred option



### Proposed New Library/Civic Center Program Summary

	<u>Gross Area</u>	<u>Footprint</u>	<u>Required Parking</u>
City Hall	40,000	25,120	1/300 sf = 133
Library	67,517	36,657	1/600 sf = 113
Community Center	25,040	20,032	1/60 sf of large rooms = 125
Police	28,566	17,500	per Chief Spiller - 100
<b>Total</b>	<b>161,123</b>	<b>99,309</b>	<b>total = 471</b>

approximate area of parking	350 sf/car	police structure	35,000
		area/level	130,000
			split onto 2 levels
			65,000
total footprint of parking area			100,000

#### Existing Civic Center Building Area Summary

City Hall			
200 Bernal	16,209		
200 Bernal - Modular	2,666		
123 Main	9,423		
123 Main - Modular	2,048		
157 Main	15,218		Note: 2nd floor not used
Total Available Area	45,564		
Library	30,000		
Police Station	21,130		
<b>Total</b>	<b>96,694</b>		

## Pleasanton City Hall Program Summary

<u>Department</u>	<u>First Floor</u>	<u>Second Floor</u>	<u>Comments</u>
Building and Safety Inspector	-		now in comm dev.
Central Services	907		
City Clerk		832	
City Manager / City Attorney		3,993	
Community Development	13,973		
Community Services			at community center
Council Chambers and Lobby	4,750		
Economic Development	1,646		
Engineering / Construction Services	3,844		
Finance		2,441	
Human Resources		826	
Information Technology / GIS		3,943	
Additional Expansion Space		2,845	
Total Area / Floor	25,120	14,880	
<b>Total Gross Area</b>	<b>40,000</b>		

## Pleasanton Library Program Summary

Based on program provided by Library staff

<u>Space</u>	<u>Area</u>		<u>Comments</u>
	First Floor	Second Floor	
Entry Area	2,586		
Staff Areas	4,185		
Community Meeting Rooms	3,600	1,800	plus shared at comm ctr
Adults		14,666	
Teens		3,540	
Technology / Learning Center		3,139	
Children's	12,962		
Administration	994		
Technical Services	1,356		
Utility/Equipment Space	1,810		
Net Assignable Area	27,493	23,145	
Gross Area at 75% Efficiency	36,657	30,860	
<b>Total Gross Area</b>	<b>67,517</b>		



## Pleasanton Library Program Long Form Summary

Based on program provided by Library staff

<u>Space</u>	<u>Area</u>	<u>Totals</u>	<u>Comments</u>
Entry Area		2,586	
Public Lobby	578		
Exhibit Gallery	250		
Café	293		
Community News	72		
Friends Bookstore	390		
Circulation Desk	390		
Holds and Self Checkout	613		
Staff Areas		4,185	
Friends Workspace	1,314		
Automated Materials Handlin	1,867		
Circ Staff Work Area	400		
Staff Services Center	248		
Circ Supervisor's Office	164		
Print Services	192		
Community Meeting Rooms		5,400	
Meeting Room A (divisible)	-		in comm center
Storage	-		in CC
Catering Kitchen	-		in CC
Meeting Room B (divisible)	3,000		200 at tables, 428 max
Storage	500		
Mini-Kitchen	100		
Meeting Room C	1,200		80 at tables, 170 max
Storage	200		Second floor
Tulancingo Conference Room	400		
Adults		14,666	all on second floor
New Books	1,426		
Media	738		
Info/Ref Desk	110		
Staff Work Area	920		
Conf Room	160		
24 Computers	888		
Quiet Study	850		
Community Living Room	1,130		
Fiction	3,196		
Nonfiction	2,496		
International	844		
Literacy	501		
Geneology	514		
Local History	493		
4 Group Study Rooms @100	400		
Teens		3,540	second floor
8 Computers + printer	315		
Seating and Shelving	3,225		
Learning		3,139	second floor
Technology Training Room	802		
Learning Center (divisible)	2,050		maker space
Storage	287		

Children's		12,962
Service Desk	331	
14 Computers	514	
New and Display Books	772	
Circulating Books	4,305	
Picture and Toddler Books	1,786	
Media	284	
International	284	
Family/Parent Space	1,456	
4 Group Study Rooms @100	400	
Storytelling	1,100	
Storytelling Storage	320	
Booklegger Collection Storag	220	
Staff Work Area	1,030	
Staff Conference Room	160	
Administration		994
Reception	232	
Director's Office	234	
Assistant Director	208	
Large Conference Room	320	
Technical Services		1,356
Work Space	1,196	
Conference Room	160	
Utility/Equipment Space		1,810
Deliveries and Receiving	285	
Supplies/Storage	195	
Server Room	200	
Staff Entrance	350	
Staff Break Room	680	
Custodial Storage	100	
<b>Net Assignable Area</b>		<b>50,638</b>
<b>Gross Area at 75% Efficiency</b>		<b>67,517</b>
First floor gross area		36,657
Second floor gross area		30,860

**Pleasanton Community Center Program**

Could be in a shared building with the Library

<u>Space</u>	<u>No.</u>	<u>Area</u>	<u>Total</u>	<u>Comments</u>
Reception / Registration Counter	1	400	400	
Public Lobby / Pre-Function	1	1,200	1,200	can share w/library
Large Community Room (divisible)	1	5,400	5,400	300 at tables, 642 max
Storage	1	800	800	divisible into 2 eq spaces
Catering Kitchen	1	1,200	1,200	
Stage	1	600	600	opens out to amphitheater
AV/lighting control Rooms	2	100	200	
Medium and Small Community Rms				at library
Class/Activity Rooms	2	1,200	2,400	second floor
Art/Activity Rooms	1	1,200	1,200	second floor
Classroom Storage	4	100	400	second floor
Teen Lounge / Game Room	1	1,200	1,200	second floor
Computer/Technology Room				at the library
Wood Floored Studio	1	1,800	1,800	
Studio Storage	1	350	350	
<u>Community Services Staff Offices:</u>				can also be on second floor
Large Office	1	180	180	if there is room
Director of Comm Services				
Small Office	7	120	840	
Community Services Mgr				
Community Services Mgr				
Community Services Mgr				
Rec Supervisor				
Rec Supervisor - sports complex				
Management Analyst				
Community Center Manager				future
Workstation	8	64	512	
Administrative Asst				
Senior Office Asst				
Ar Rec Program Specialist				
Marketing Asst				
Program Staff				future
Part time Staff				future
Rec Coordinator - sports complex				
Sr Rec Program Specialist - sports				
Large Conference (20 people)	1	400	400	
Storage/Filing/Supplies	1	400	400	
Staff Break Room	1	350	350	
Printer/Copier area	1	200	200	
Sub-Total			20,032	
Building Load Factor - 25%			5,008	

Total Area 25,040 first floor - 19,832 sf

**Comments**

Some spaces can be shared with the library, like the lobby and community rooms  
 This has reduced the area of the library  
 The classrooms and art rooms can be on the second floor



## Pleasanton City Hall Program

Department: Police

<u>Space</u>	<u>No.</u>	<u>Area</u>	<u>Total</u>
Entry Lobby	1	600	600
Community Meeting Room / Training	1	1,800	1,800
Records/Clerical	1	240	240
Support Services Commander	1	150	150
Dispatch	5	120	600
Dispatch staff lounge	1	150	150
Dispatch staff unisex toilet	1	65	65
Watch Commander / Asst	2	150	300
Storage	1	120	120
Chief's Suite			
Asst / Waiting	1	200	200
Chief's Office	1	200	200
Conference Room	1	240	240
Toilet	1	65	65
Investigations			
Investigations Commander	1	200	200
Patrol Commander	1	200	200
Additional Commander	1	150	150
Administrative Aides	2	80	160
Investigator Workstations	10	80	800
Interview Rooms	2	100	200
Tech/Data Downloads	1	100	100
Conference Room	1	240	240
Report Writing	1	240	240
Field Supervisor	1	200	200
Field Supervisor Storage	1	60	60
Records	1	200	200
Youth Services			
Sgt - Youth and Comm. Services	1	150	150
New Office	1	150	150
Juvenile Processing Area	1	200	200
Juvenile Workstations	6	80	480
Holding Cells	2	50	100
Traffic and Special Operations			
Leuit - Special Operations, Traffic	1	200	200
Sgt - Traffic and Parking	1	150	150
Sgt - Special Events	1	150	150
Neighborhood Watch, Social Media	1	150	150
Undercover			
Supervisor	1	150	150
Operators	4	80	320
Secure Storage / Safe	1	50	50

Admin / Business Services			
Sgt - Professional Standards	1	150	150
Budget Prep and Purchasing	1	150	150
Personnel Training Officer	1	150	150
Workstations	4	65	260
Small Conference Room	1	180	180
Holding Area			
Processing	1	300	300
Holding	3	50	150
Arsenal/Evidence/Sallyport			
Arsenal	1	150	150
Evidence Room	1	500	500
Safe	1	80	80
Tech Equipment	1	200	200
2 station Sallyport	2	500	1,000
Heavy Eqpt Storage	1	500	500
Sallyport Storage	1	500	500
Staff Areas			
Locker Rooms / Showers / Toilets	2	1,000	2,000
Bunk Room	2	200	400
Workout Room	1	1,500	1,500
Break Room	1	500	500
Sub-Total			18,400
Internal Circulation - 35%			6,440
Sub-Total			24,840
Building Load Factor - 15%			3,726
Total Area			28,566

#### Comments

Undercover, Admin, Traffic, Chief's Office, and Staff Areas  
can be on Second Floor  
Community Room and Public Toilets should be off the entry lobe  
Juvenile needs a separate intake area

# Appendix A-2 Design Process

## DESIGN PROCESS INITIAL DESIGN CONCEPTS - JANUARY 2016

Following the development of the initial building space program document and the assessment of the Bernal Park and Civic Center sites, the design team created a series of three initial concepts.

The first scheme at Bernal Community Park sites the Library, Community Center and City Hall buildings in a gently curving arc at the north end of a large circular meadow. A two level parking structure, fenced police parking lot, and the Police station are all situated to the east of the proposed extension of Pleasanton Avenue.

The second option illustrates a more rectilinear arrangement of the buildings around a central square, with Pleasanton Avenue running along the east edge of the open space.

The third option is housed at the existing Civic Center site, as well as at the adjacent vacant San Francisco PUC property, located between the Civic Center and the ACE train station. In this proposed design, the buildings are stretched along Bernal Avenue, with the Library and Community Center at the corner of Main Street. Structured parking is provided parallel to Old Bernal Avenue on the north side of the site.

The majority of the Task Force preferred the idea of relocating the Civic Center buildings to the Bernal Community Park site, but they asked the design team to continue their exploration of the existing Civic Center site as well. A great deal of feedback dealt with the issue of parking, and its proximity to the various building entries and to the rest of the park.



**FIGURE A2-1**  
 Option 1 - Bernal Park site,  
 Meadow scheme.



**FIGURE A2-2**  
 Option 2 - Bernal Park site,  
 Campus scheme



**FIGURE A2-3**  
 Option 3 - Existing Civic Center downtown  
 site.



## REFINED CONCEPTS - FEBRUARY 2016

Based on this input, the design team worked on the further development of all three options for the February Task Force presentation.

The first option at Bernal Community Park is a refinement of the previous curving scheme with the central circular meadow. The buildings have been rearranged and parking added along the north side of the complex to provide better accessibility to the main entries.

The second new option creates a more rectilinear campus of buildings around a central community plaza. In this scheme, a second vehicular entry has been introduced from Bernal Avenue, to the west of the buildings, with a new connecting road with parking on both sides that leads directly to the Police station, providing a third means of access and egress for emergency vehicles.

The third scheme is a refinement of the previous plan for the existing Civic Center. The new proposal flips the Police station with the main parking area – locating all of the parking in a two story lot on the SF property, and siting the police station with its secure parking lot on the north side of the existing lot.

A majority of the Task Force expressed a preference for Option 1, however many members also liked the idea of the new road cutting through the site, because it provides additional parking near the soccer fields, and a third egress route for the police emergency vehicles. Once again, parking was a main concern, and it was agreed that staff would determine a number for additional parking spaces to be added to the program for overflow ball field parking.

A decision was reached to stop studying the old Civic Center site, leaving that to be redeveloped based on input from the community and the economic market analysis report. That work will be done as part of the Downtown Specific Plan study later in 2016.



**FIGURE A2-4**  
Option 1A - Bernal Park site,  
Meadow scheme.



**FIGURE A2-5**  
Option 2A - Bernal Park site,  
Campus scheme



**FIGURE A2-6**  
Option 3A - Existing Civic Center  
downtown site.

## REFINED CONCEPTS - MARCH 2016

For the March meeting of the Task Force, the design team came back with the two new variants on the previous Option 1. After meeting with staff, it was determined that additional parking should be provided on the site for 250 cars.

The first new option shows the same configuration of the buildings, except that the locations of the Library and Community Center have been reversed, so that the Community Center is at the center of the arc. New drop-off and short term parking lots have been placed at either end of the main Civic Center buildings, flanking the meadow, both adding parking, and creating defined drop off zones. In this scheme, a new large parking lot has also been added at the south end of the Pleasanton Avenue extension, near the baseball complex. The total number of cars parked onsite is now approximately 850.

The second scheme is very similar to the first, except that the new parking lot is located on the west side of the site, directly adjacent to the soccer fields, with the connecting road leading from the south end of the new parking lot to Pleasanton Avenue at the entry to the police parking lot.

At the March meeting, the Design team also presented more detailed landscape plans, along with images the offered options for architectural and landscape character for discussion.

While the Task Force agreed on the general direction of the design, there was still disagreement about the location of the expanded parking lot, and the impact of that parking on the site. It was agreed that the final design scheme should be a hybrid of both options, with most of the parking at the southern end of the site, but with the road connection through the site and some amount of internal parking. The final Master Plan design reflects this compromise.



**FIGURE A2-7**  
Option 1A - Bernal Park site,  
Meadow scheme variation 1.



**FIGURE A2-8**  
Option 1B - Bernal Park site,  
Meadow scheme variation 2.



**FIGURE A2-9**  
Option 1A - Initial landscape scheme  
showing meadow design concept.

# Appendix 3

## BERNAL PROPERTY PHASE 11 SPECIFIC PLAN





**FIGURE A3-1**  
Updates to Bernal Property Phase II Specific Plan

