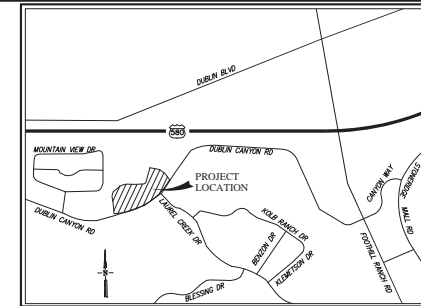
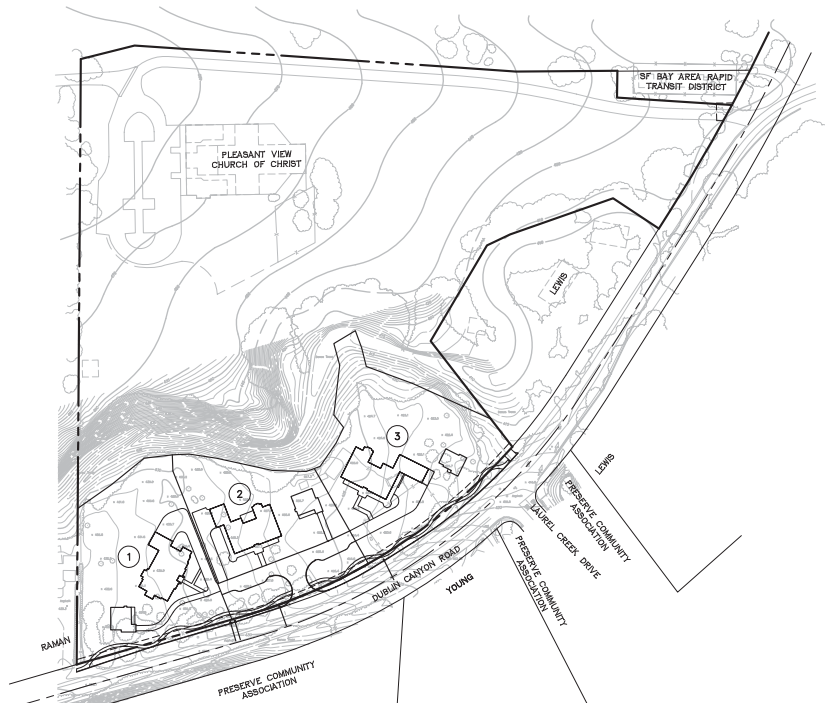


PLANNED UNIT DEVELOPMENT PLEASANT VIEW CHURCH SITE CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	
---	LOT LINE	
---	RIGHT OF WAY	
---	CENTER LINE	
---	MATCH LINE	
---	RETAINING WALL	
---	EASEMENT LINE	
---	STORM DRAIN	EX 12" SD
---	SANITARY SEWER	EX 8" SS
---	WATER	EX 8" WC
---	RECYCLED WATER	EX 8" RW
---	CURB & GUTTER	EX FC
---	SIDEWALK	
---	OVERHEAD UTILITIES	
---	JOINT POLE	
---	EARTH OR GRASS SWALE	
---	CONCRETE DITCH	
---	STORM WATER INLET	
---	FIELD INLET	
---	AREA DRAIN	
---	DIRECTION OF FLOW	
---	MANHOLE	
---	FIRE HYDRANT	
---	BLOW OFF	
---	SANITARY SEWER CLEAN OUT	
---	WATER VALVE	
---	STREET LIGHT	
---	MONUMENT	
---	TRAFFIC SIGN	
---	STREET NAME SIGN	
---	FENCE	
---	BARRICADE	
---	SLOPE	
---	HANDICAP RAMP	
---	SAVE TREE	1847
---	REMOVE TREE	1848
---	CONTOUR ELEVATIONS	
---	SPOT ELEVATION	+525.2
---	ASPHALT PAVEMENT	
---	BIORETENTION AREA	
---	LIFT STATION	
---	DIRECTION OF FUTURE FLOW	
---	AB MAINTENANCE ROAD	
---	LIGHT CLASS RIP RAP	



SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	EXISTING CONDITIONS
4	SLOPE CLASSIFICATION MAP
5	EXISTING TREES PLAN

ARCHITECTURE

1.1	LOT 1 FLOOR PLAN
1.2	LOT 1 ROOF PLAN
1.3	LOT 1 EXTERIOR ELEVATIONS
1.4	LOT 1 EXTERIOR ELEVATIONS
1.5	LOT 1 SECOND UNIT, FLOOR AND ROOF PLAN
1.6	LOT 1 SECOND UNIT, EXTERIOR ELEVATIONS
2.1	LOT 2 FLOOR PLAN
2.2	LOT 2 ROOF PLAN
2.3	LOT 2 EXTERIOR ELEVATIONS
2.4	LOT 2 EXTERIOR ELEVATIONS
2.5	LOT 2 SECOND UNIT, FLOOR AND ROOF PLAN
2.6	LOT 2 SECOND UNIT, EXTERIOR ELEVATIONS
3.1	LOT 3 FLOOR PLAN
3.2	LOT 3 ROOF PLAN
3.3	LOT 3 EXTERIOR ELEVATIONS
3.4	LOT 3 EXTERIOR ELEVATIONS
3.5	LOT 3 SECOND UNIT, FLOOR AND ROOF PLAN
3.6	LOT 3 SECOND UNIT, EXTERIOR ELEVATIONS
D1	ARCHITECTURAL DETAILS
G	GREEN BUILDING CHECKLIST

ABBREVIATIONS

AB	AGGREGATE BASE	LE	LANDSCAPE EASEMENT
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	ME	MAINTENANCE EASEMENT
BC	BEGINNING OF CURVE	MH	MANHOLE
BFE	BASE FLOOD ELEVATION (FEMA)	OH	OVERHEAD UTILITIES
BVC	BEGIN VERTICAL CURVE	PAE	PRIVATE ACCESS EASEMENT
BO	BLOW OFF	PCC	POINT OF COMPOUND CURVE
BW	BOTTOM OF WALL	PL	PROPERTY LINE
CL	CENTER LINE	PRC	POINT OF REVERSE CURVE
CL	CORRUGATED METAL PIPE	PSE	PUBLIC SERVICE EASEMENT
CP	CENTER POINT	PVC	POLYVINYL CHLORIDE PIPE
CG	DECOMPOSED GRANITE	PVI	POINT OF VERTICAL INTERSECTION
DWV	DRIVEWAY	ROP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RET	CURB RETURN
EC	END OF CURVE	RW	RIGHT OF WAY
ESMT	EASEMENT	SDE	STORM DRAIN EASEMENT (PUBLIC)
EVIC	END VERTICAL CURVE	SNS	STREET NAME SIGN
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SO	SIDE OPENING INVERT
EX	EXISTING	SSCO	SANITARY SEWER CLEAN OUT
FC	FACE OF CURB	STA	STATION
FG	FINISHED GRADE	SW	STORM WATER INLET
FH	FIRE HYDRANT	SWK	SIDEWALK
FI	FIELD INLET	TC	TOP OF CURB
FL	FLOW LINE	TOP	TOP OF WALL
GB	GRADE BREAK	WM	WATER METER
GR	GRATE	VC	VERTICAL CURVE
HP	HIGH POINT	VCP	VITRIFIED CLAY PIPE
INV	INVERT ELEVATION		
JP	JOINT POLE		

PROJECT TEAM

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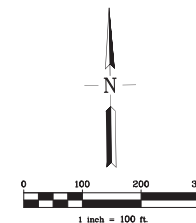
LANDSCAPE ARCHITECTURE

L1	PRELIMINARY LANDSCAPE PLAN
L2	PRELIMINARY MATERIALS & PALETTE

PUD-114

RECEIVED June 30, 2016

EXHIBIT B



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D:\2024\141084\141084_PLEASANT VIEW CHURCH\141084_PLEASANT VIEW CHURCH_SITING_PUD_02.06.2024_1.08.57 BY SHARLA_H00000000



SITE SUMMARY

NUMBER OF NEW UNITS:	3
CHURCH PARCEL ACRES	11.9 ACRES
DEVELOPED ACRES (LOTS AND STREETS)	4.3 ACRES
TOTAL ACRES	16.2 ACRES

GROSS DENSITY = DWELLING UNITS/DEVELOPED ACRES (DEVELOPMENT ONLY)
 GROSS DENSITY = 3 UNITS/4.3 AC
 = 0.7 DU/AC

NET DENSITY = # UNITS/ (TOTAL AC - CHURCH PARCEL - STREETS)
 = 3 UNITS / (16.2 - 11.9 - 0.2)
 = 0.73 DU/AC

PARKING	
DRIVEWAYS (2 MINIMUM PER NEW RESIDENCE)	6
GARAGE (3 PER NEW RESIDENCE)	9
TOTAL	15 TOTAL

LAND USE SUMMARY

LAND USE	UNITS	ACRES	% OF SITE
LOW DENSITY RESIDENTIAL (LDR)			
SINGLE FAMILY DETACHED	3	4.1	25.3%
57,839 S.F. TO 67,226 S.F. LOT SIZE			
ROAD EASEMENT (STREETS & SIDEWALKS)	-	0.2	1.2%
CHURCH PARCEL	-	11.9	73.5%
TOTAL	3	16.2	100.0%

ACCESSORY STRUCTURES

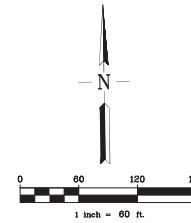
LOTS	MINIMUM SETBACK (SEE NOTES BELOW)
1-3	3' TO SIDE PL. 5' TO REAR PL. CLASS II IS LIMITED TO A MAXIMUM 15 FEET HEIGHT
1-3	CLASS II SHALL COMPLY WITH THE APPLICABLE CLASS II ACCESSORY STRUCTURE REGULATIONS OF CITY OF PLEASANTON ZONING ORDINANCE

NOTES:

- FRONT, SIDE, REAR YARD SETBACKS DO NOT INCLUDE MINOR ARCHITECTURAL PROJECTIONS PER CITY OF PLEASANTON ZONING ORDINANCE.
- ACCESSORY STRUCTURES EXCEEDING 10 FEET IN HEIGHT SHALL BE SUBJECT TO DESIGN REVIEW PER CITY OF PLEASANTON ZONING ORDINANCE.

NOTES:

- FOR SPECIFIC BUILDING HEIGHTS, SEE ARCHITECTURAL PLANS.
- PRELIMINARY SQUARE FOOTAGES ARE APPROXIMATE.



PUD LOT SPECIFICATIONS SUMMARY

LOT	GROSS LOT SIZE (SF)	NET LOT SIZE (SF)	HOUSE MODEL	HOUSE MODEL MAX HEIGHT (FT)	HOUSE SIZE (SF)	GARAGE (SF)	GRANNY UNIT SIZE (SF)	GRANNY UNIT GARAGE (SF)	FAR	MIN FRONT SETBACK (PORCH/HOUSE/ DW)	MIN REAR SETBACK (INTERIOR/CORNER)	MIN SIDE SETBACK (INTERIOR/CORNER)
1	62,686	62,686	PLAN 2	30	4,474	894	1,200	317	10%	17'25"/25'	25'	5'00'
2	57,839	50,356	PLAN 1	26	4,552	897	1,200	317	10%	17'25"/25'	25'	5'00'
3	67,226	67,226	PLAN 1	26	4,552	1,452	1,183	-	10%	17'25"/25'	25'	5'00'

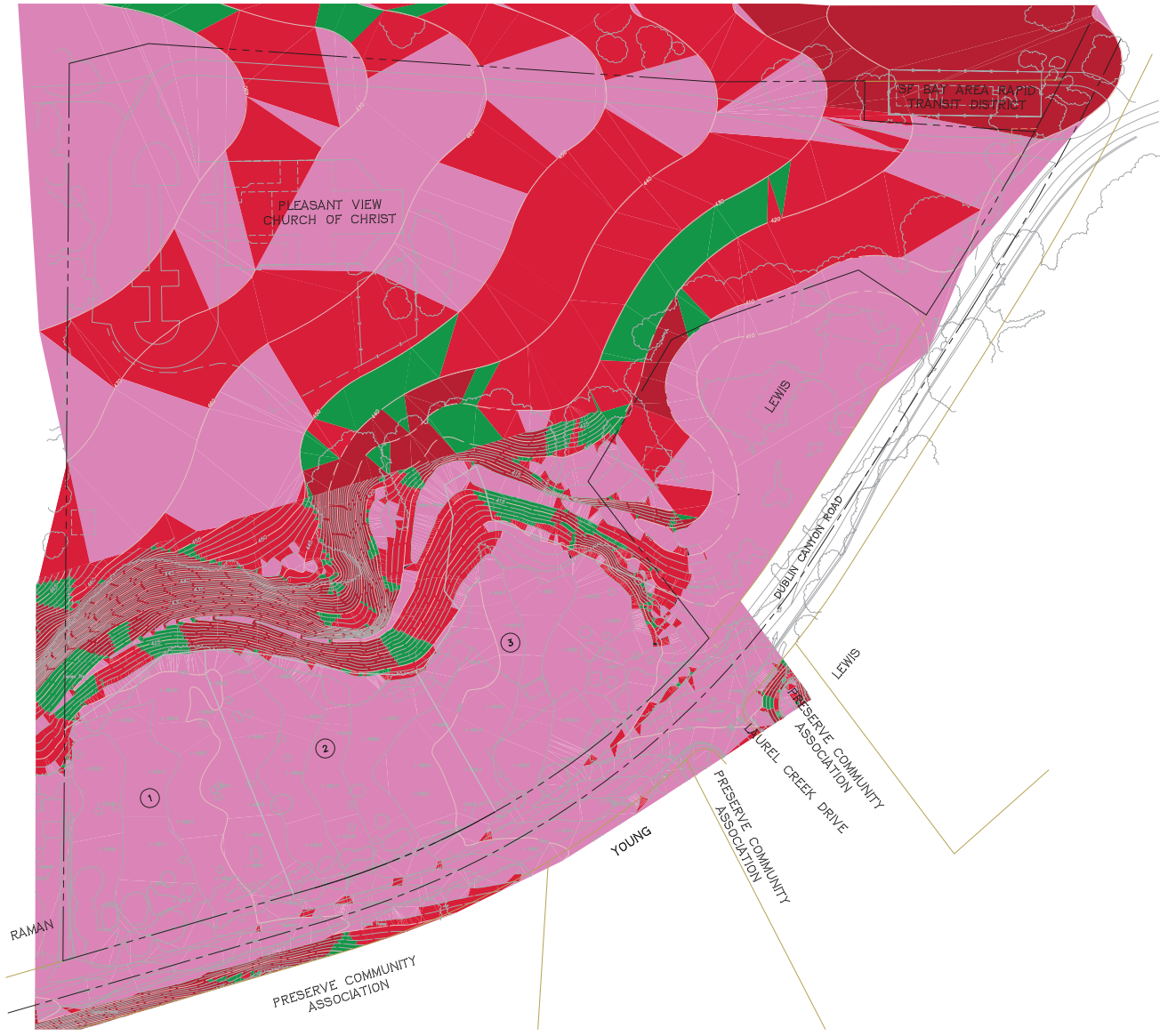
FAR = HOUSE SF + GRANNY UNIT SF + GARAGE SF IN EXCESS OF 600 SF/1000SQ LOT SIZE SFI. MAX FAR = 80%

SITE DEVELOPMENT PLAN
PLEASANT VIEW CHURCH

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

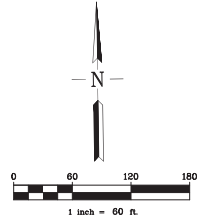


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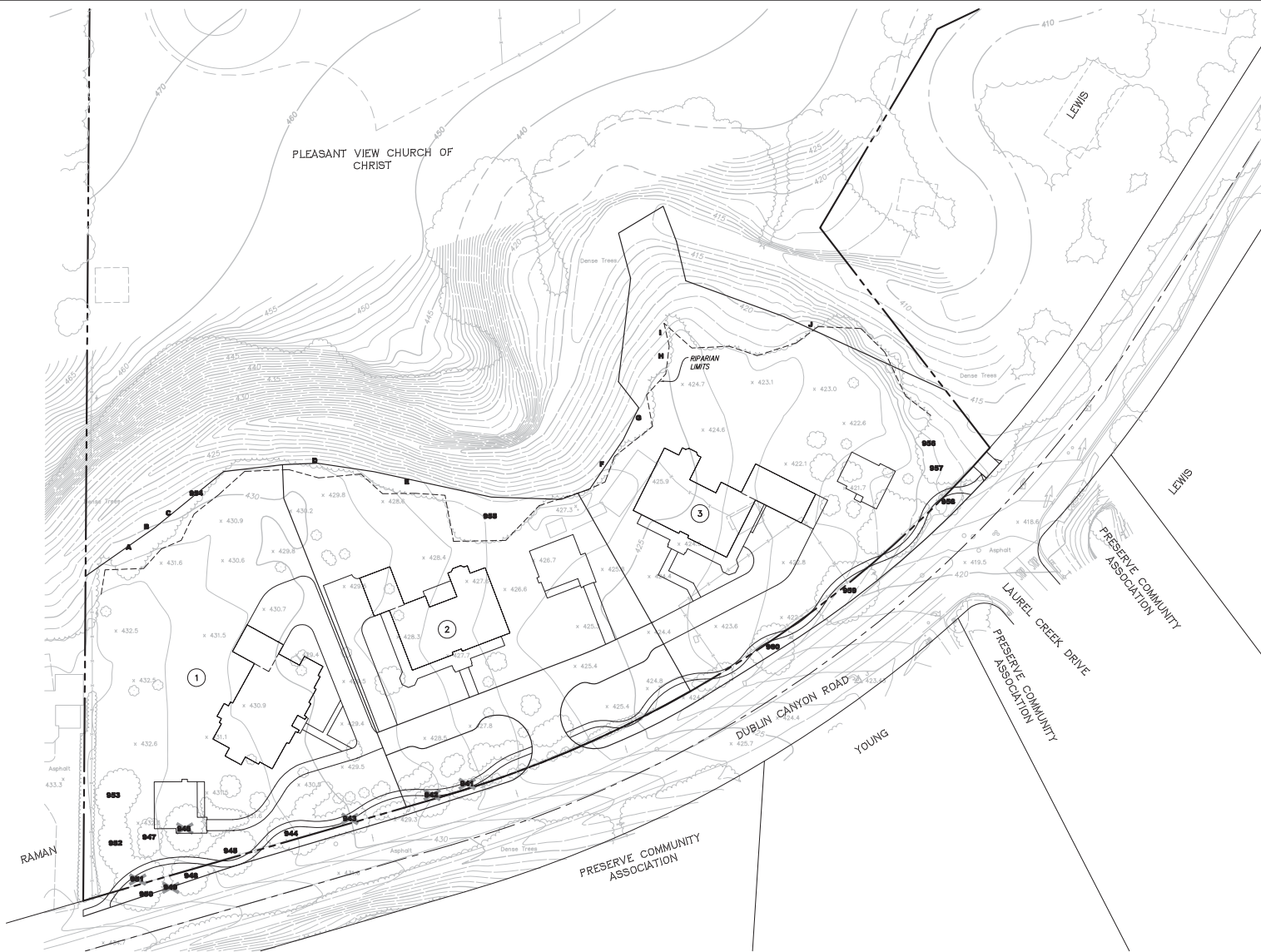
LEGEND:

Light Pink	0 - 10%
Red	10% - 20%
Green	20% - 24.8%
Dark Red	25%+



SLOPE CLASSIFICATION MAP
PLEASANT VIEW CHURCH
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

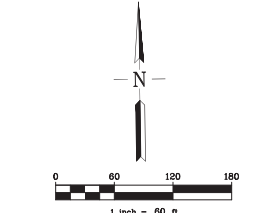
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- LEGEND**
- A-J** TREES IN RIPARIAN CORRIDOR TO BE SAVED
 - 955** TREE TO BE SAVED
 - 943** TREE TO BE REMOVED

FOR TREE ASSESSMENT, SEE THE TREE REPORT PREPARED FOR PLEASANT VIEW CHURCH SITE BY DRYAD LLC, JUNE 24, 2016.

**EXISTING TREE PLAN
PLEASANT VIEW CHURCH
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA**



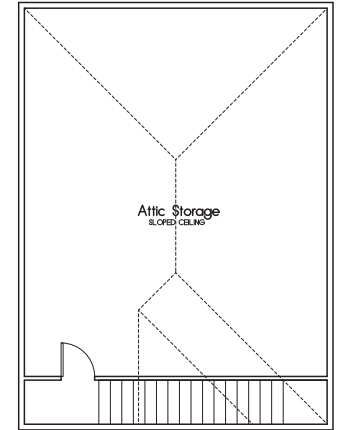
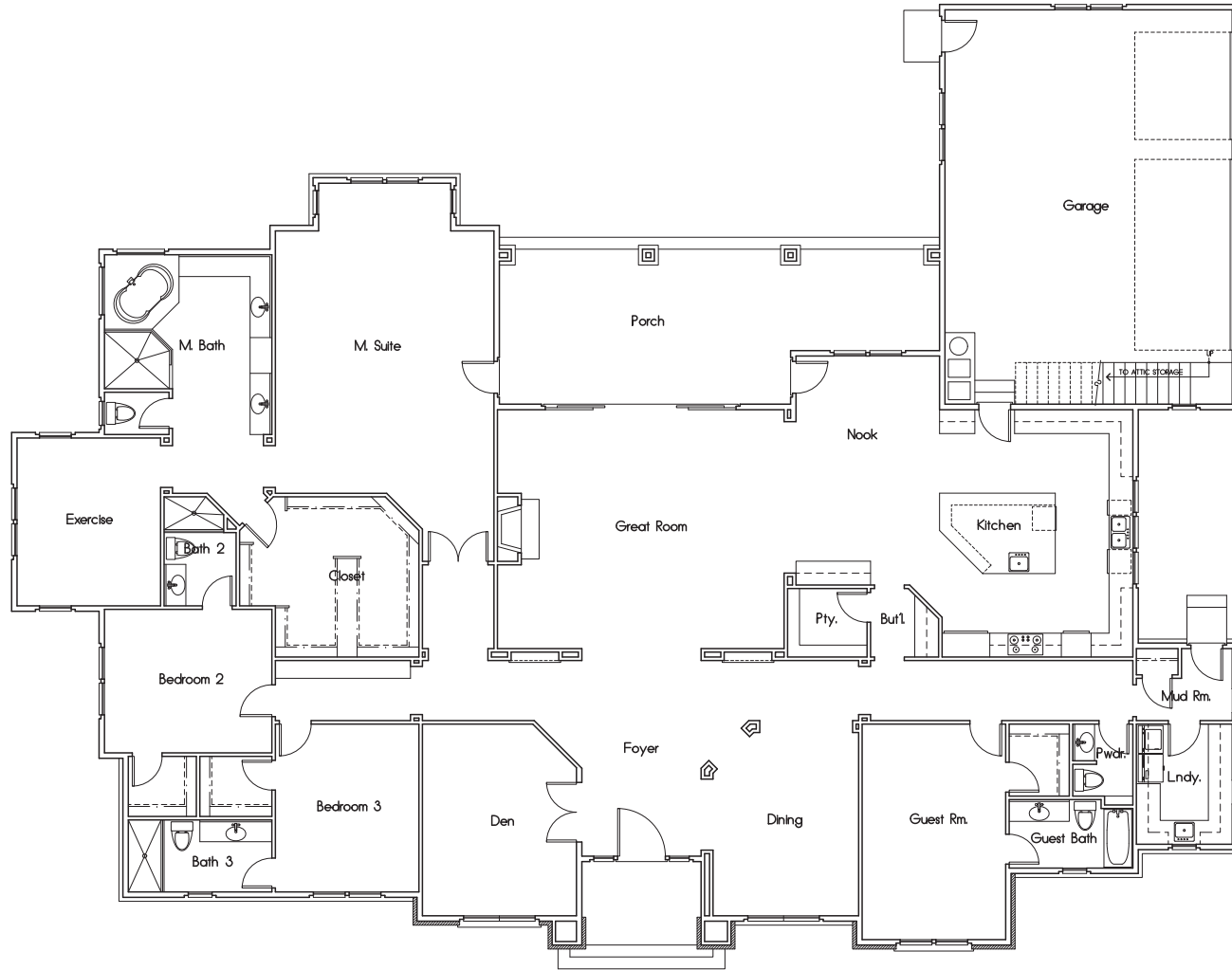
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Proposed Residence

Lot 1 Church Property
 Pleasanton, California

Notes:



Attic Storage Floor Plan

Rev	Description	Date

Floor Plan
 4474 SQUARE FEET
 GARAGE 546 SQUARE FEET
 COVERED PORCHES 424 SQUARE FEET

Job Number: 201910 Sheet: 1,1
 Scale: 1/4" = 1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 of 20

Proposed Residence

Lot 1 Church Property
 Pleasanton, California

Notes:

Roofing shall be Composition Shingle over 3/4" felt over 1/2" OSB sheathing w/ radiant barrier nailed per structural engineer's specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

ATTIC VENTILATION : XXXX / 150 = XXXXX sq. ft.
 Total area required to be vented : XXXXX sq. ft.
 XXX Rafter vent XXXXX sq. ft.
 XXX Gable end vent XXXXX sq. ft.
 XXX O'High vent XXXXX sq. ft.
 Total Area of ventilation : XXXXX sq. ft.
 50% LOW REQUIREMENT: XXX > XXX, OKAY
 50% HIGH REQUIREMENT: XXX < XXX, OKAY

All framing shall be Douglas Fir No. 2 or better (UONI). Composition shingles shall be fastened per 2013 CBC.

Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead copper, or other approved flexible flashing material and shall be formed to follow the contours of the tile and slow seating of the tiles as per 2013 CBC.

Plate heights are designated off adjacent subfloor (UONI).

All rakes shall be 6" from wall framing (UONI).

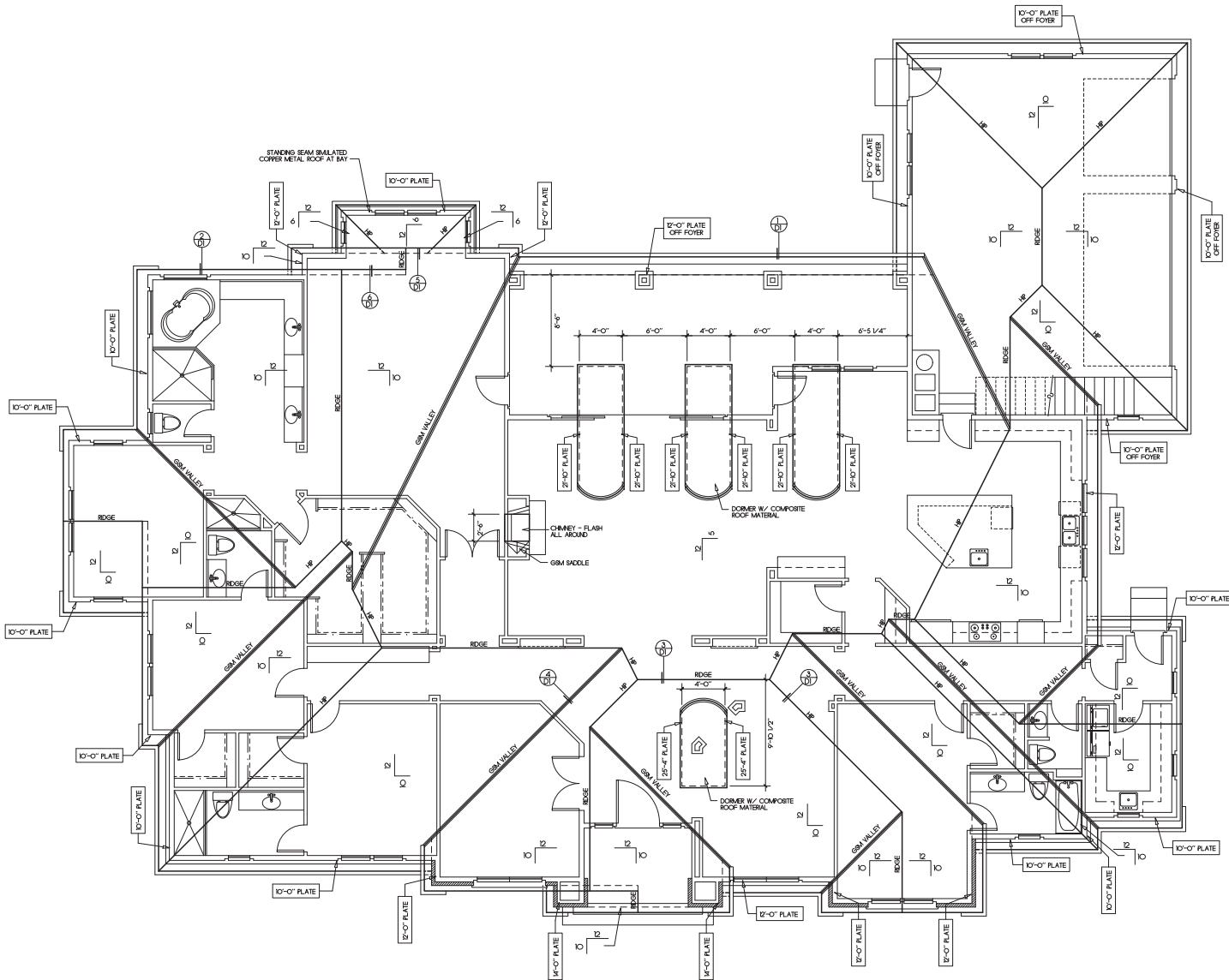
All eaves shall be 12" from wall framing (UONI).

Plumbing waste stacks and combustion flues shall be placed 10 penetrates to the rear of the main ridge line. All beams shall be braced at each end to prevent rotation.

Rev	Description	Date

Roof Plan

Job Number: 201900 Sheet: 12
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 of 20

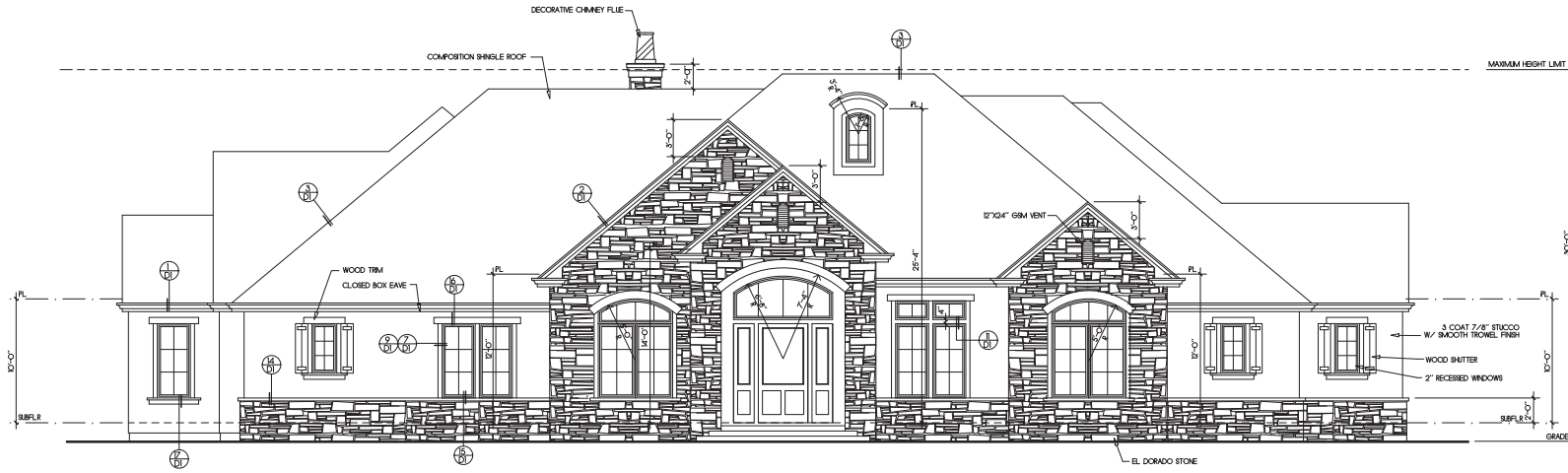


Proposed Residence

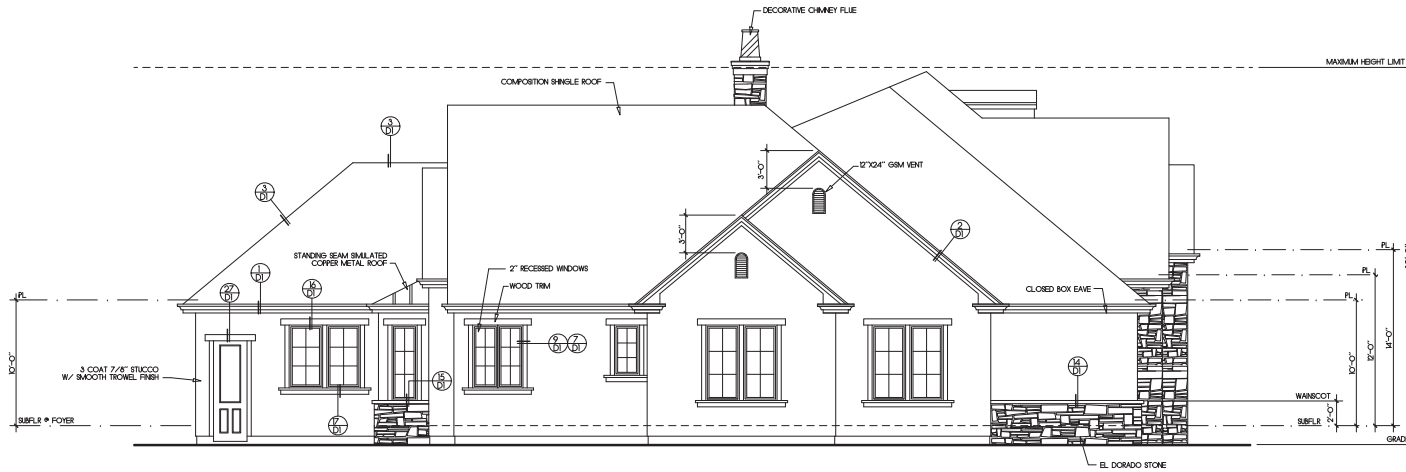
Lot 1 Church Property
 Pleasanton, California

Notes:

- All windows at first floor shall be mounted at 6'-0" above top of subfloor (LONL)
- A weep screed shall be provided for the foundation plate on all exterior stucco covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building per 2013 CBC.
- S.F. : Subfloor
- Subfl : Subfloor
- T.O.S. : Top of Slab
- T.O.S.W. : Top of stem wall
- T.O. Fig. : Top of Footing
- Fireplace shall be equipped with GSI terminal cap with spark arrester.
- Egress windows shall comply with 2013 CBC with a minimum net clear openable area of 5.7 sq. ft., a minimum net clear openable height of 24 inches, a minimum net clear openable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Front Elevation
 (Southeast)



Left Side Elevation
 (Southwest)

Rev	Description	Date

Exterior Elevations

Job Number:	201910	Sheet:	
Scale:	1/4"=1'-0"	Drawn:	Terry
Checked:	Terry	Date:	5-3-16

1.3

20

Proposed Residence

Lot 1 Church Property
 Pleasanton, California

Notes:

All windows at 1st floor shall be mounted at 6'-0" above top of subfloor (1/0N1).

A weep screed shall be provided at the foundation plate on all exterior stucco covered with stucco. The screed shall be of a type which will slow trapped water to drain to the exterior of the building per 2013 CBC.

S.F. : Subfloor

Subfl : Subfloor

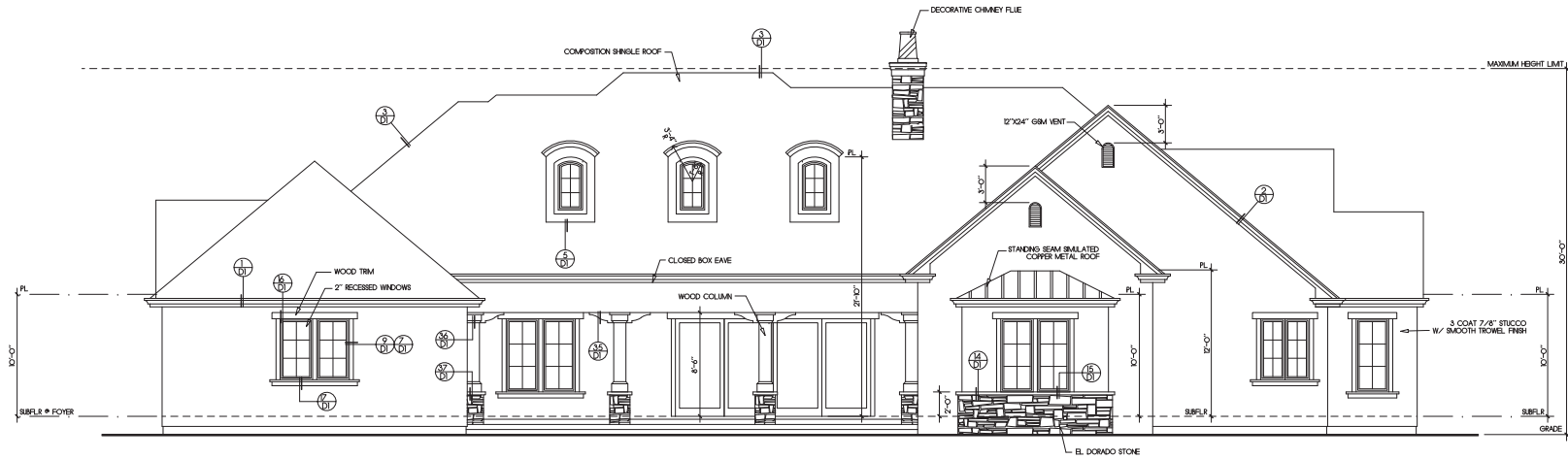
T.O.S. : Top of Slab

T.O.S.W. : Top of stem wall

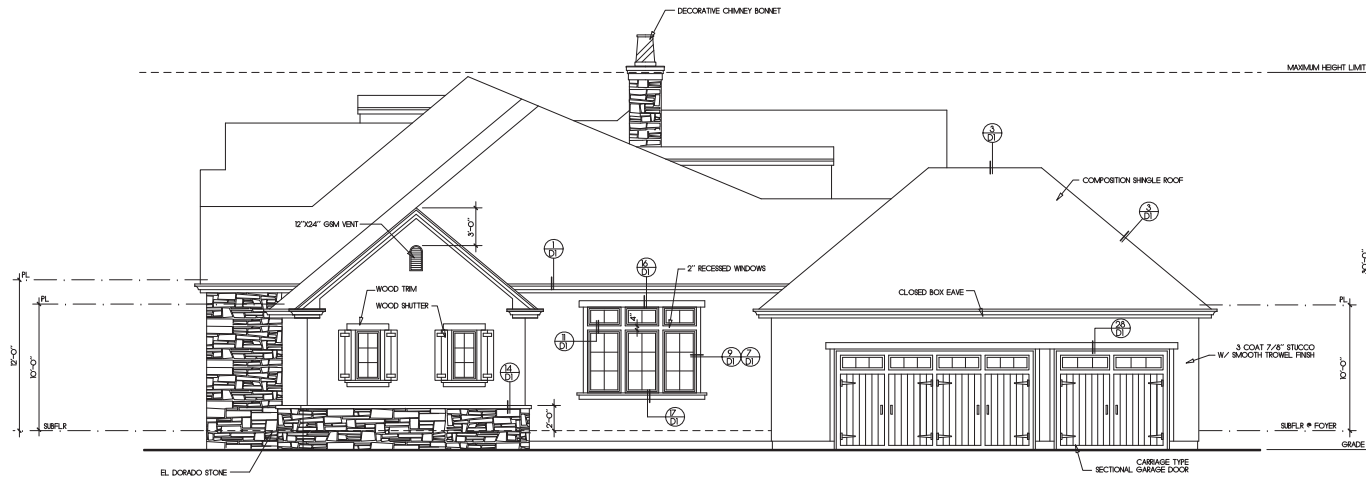
T.O. Flg. : Top of Footing

Fireplace shall be equipped with GSM terminal cap with spark arrester.

Egress windows shall comply with 2013 CBC with a minimum net clear openable area of 5.7 sq. ft., a minimum net clear openable height of 24 inches, a minimum net clear openable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Rear Elevation
 (Northwest)



Right Side Elevation
 (Northeast)

Rev	Description	Date

Exterior Elevations

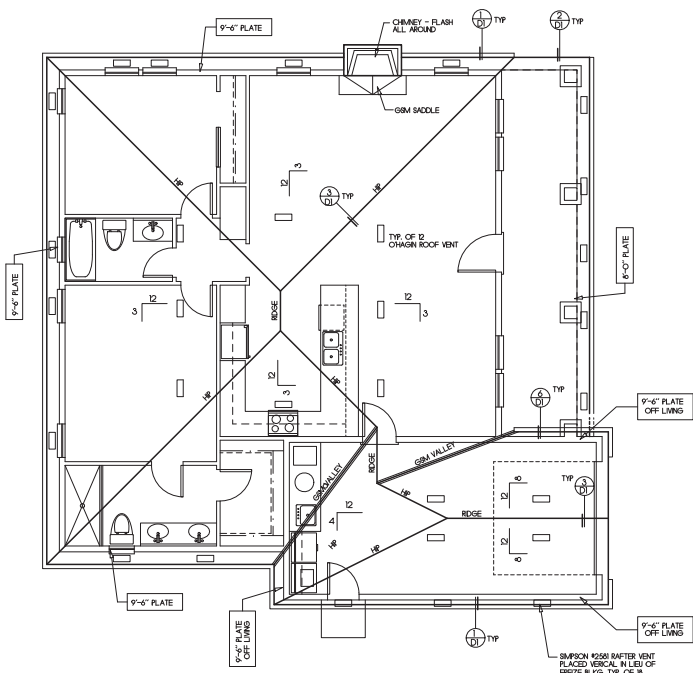
Job Number: 2019C Sheet: 14
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 of 20

Proposed Residence

Lot 1 Church Property
 Pleasanton, California

Notes:

- All angles other than 90 degrees shall be 45 degrees (U.O.N.I.)
- Provide outside combustion air openings directly into the firebox of fireplace to comply with CEC regulations 2-2322 (2) 5. Fireplace hearth shall be of non-combustible material. Fireplaces shall be provided with tight fitting glass doors. Hearth extensions shall conform to the conditions of the listing and the manufacturer's installation instructions. Fireplaces and chimney shall be installed in accordance with their listing and manufacturer's instructions as specified in the CRC.
- Light panels in exterior doors, or within a 24" arc of a swinging door shall be laminated security glass which is a minimum of 1/4" polycarbonate security sheets or their equivalent.
- Firestops shall be provided around the chimney in openings of the ceiling and floor levels with non-combustible material per 2013 CRC.
- All posts, beams, and walls supporting the floor/ceiling above the garage shall be protected by one hour construction on the garage side.
- See cover sheet for schedules and general notes.
- Provide 5/8" type "X" gyp bd on the garage side of the wall extending per CRC.
- Provide minimum 18"x30" clear access from underfloor access point to each drain the cleanout located in the underfloor area.
- Sliding doors and operable windows shall comply with 2013 CRC.
- Shearwalls shall extend to the roof diaphragm.
- Walls with an unbraced height in excess of 10 feet shall be 2X6 studs @ 16" o.c.
- Wall coverings of shower and tub/shower shall be cement plaster. tile or approved equal to 7/8" above drain inlet. Materials other than structural shall be moisture resistant.
- Any cap or cover installed on the fireplace chimney shall comply with the ICC research report and manufacturer's listing.
- Furnace ducts penetrating the garage/house occupancy separation shall be a minimum 26 gauge galvanized steel and have no openings into the garage.
- Water closets shall be in a clear space 30" minimum wide and have a minimum 24" clear space in front.
- All exterior walls shall be 2X6 studs @ 16" o.c. minimum, or otherwise noted.
- All interior walls shall be 2X4 studs @ 16" o.c. minimum, or otherwise noted.
- Threshold height shall be limited to 7/8 inches residential where the door is an exterior door that is not a component of the required means of egress; the door, other than an exterior storm or screen door does not swing over the landing or stair.
- Fireplaces shall have an efficiency rating of not less than 60%.
- Use low VOC interior wall and ceiling paints and construction adhesives.
- Use low VOC water-based wood finishes.
- Use low VOC construction adhesives.
- Use recycled content materials at interior trim and shelving.
- Tightly seal the air barrier between the living area and garage.
- Egress windows shall comply with 2013 CRC with a minimum net clear operable area of 5.7 sq. ft., a minimum net clear operable width of 24 inches, a minimum net clear operable height of 24 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening. Escape opening opens directly to a street, public alley, yard or court that opens to a public way.



Roof Plan

Roofing shall be Composition Shingles over Two layers 3/8" tall over 1/2" OSB sheathing w/ radiant barrier nailed per engineer's specifications. Downspouts shall be located by others. The net free attic ventilation area shall be not less than 1/50 of the area of the space ventilated.

ATTIC VENTILATION : $1692 / 150 = 11.28$ sq. ft.

Total area required to be vented : 11.28 sq. ft.

16 Rafter vent 10.38 sq. ft.

0 Gable end vent 0.00 sq. ft.

12 O'High vent 7.86 sq. ft.

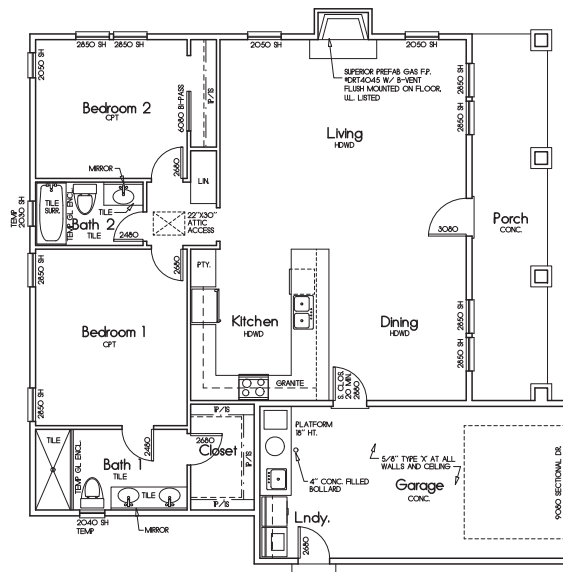
Total Area of ventilation : 18.24 sq. ft.

50% LOW REQUIREMENT: 10.38 > 5.64 OKAY

50% HIGH REQUIREMENT: 7.86 > 5.64 OKAY

All framing shall be Douglas Fir No. 2 or better (U.O.N.I.)
 Composition Shingles shall be fastened per 2013 CRC.
 Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper, or other approved flexible flashing material and shall be formed to follow the contours of the tile and allow seating of the tiles as per 2013 CRC.

Plate heights are designated off adjacent exterior (U.O.N.I.)
 All rakes shall be 6" from wall framing (U.O.N.I.)
 All eaves shall be 12" from wall framing (U.O.N.I.)
 Plumbing waste stacks and combustion flues shall be placed to penetrate to the rear of the main ridge line.
 All beams shall be braced at each end to prevent rotation.



Floor Plan

1500 SQUARE FEET
 GARAGE: 37 SQUARE FEET
 PORCH: 175 SQUARE FEET

Rev	Description	Date

**Second Unit
 Floor and Roof Plan**

Job Number: 201609 Sheet:
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 of 20

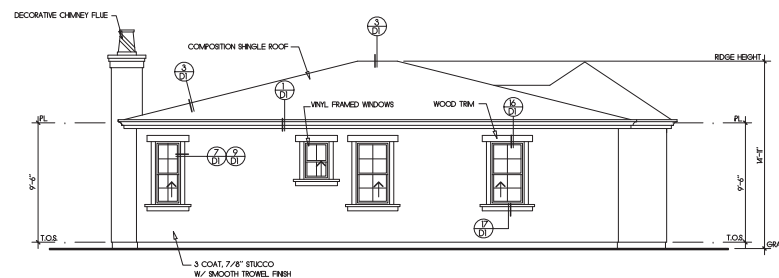
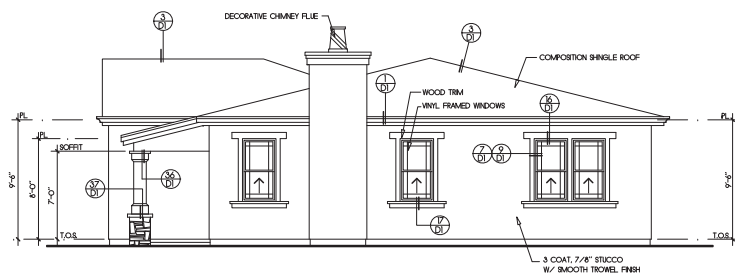
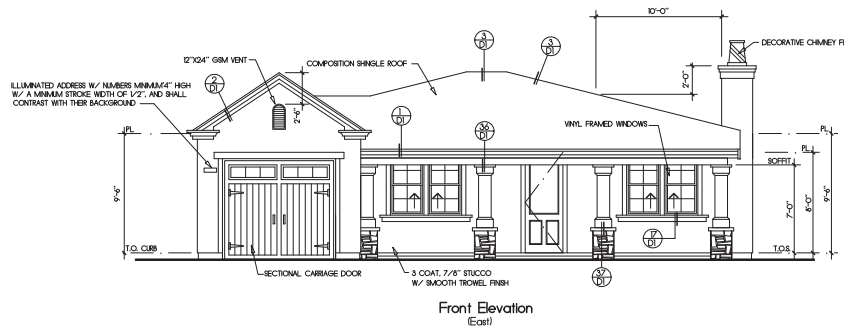
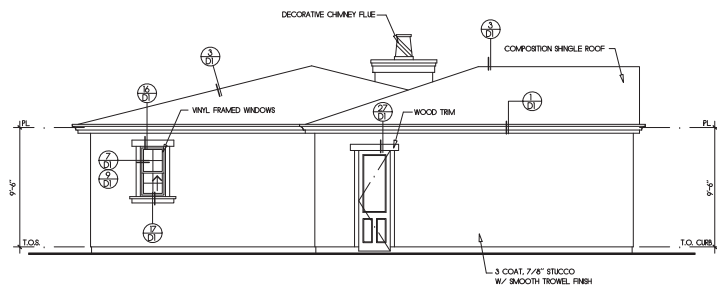
15

Proposed Residence

Lot 1 Church Property
 Pleasanton, California

Notes:

- All windows of first floor shall be mounted at 6'-0" above top of subfloor (L.O.N.).
- Provide 15# building paper at all exterior walls with wood siding finish.
- S.F. : Subfloor
- Subfr : Subfloor
- T.O.S. : Top of Slab
- T.O.S.W. : Top of stem wall
- T.O. Ftg. : Top of Footing
- Fireplace shall be equipped with GSM terminal cap with spark arrester.
- Egress windows shall comply with 2013 IRC with a minimum net clear openable area of 5.7 sq. ft., a minimum net clear openable height of 24 inches, a minimum net clear openable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Rev	Description	Date

**Second Unit
 Exterior Elevations**

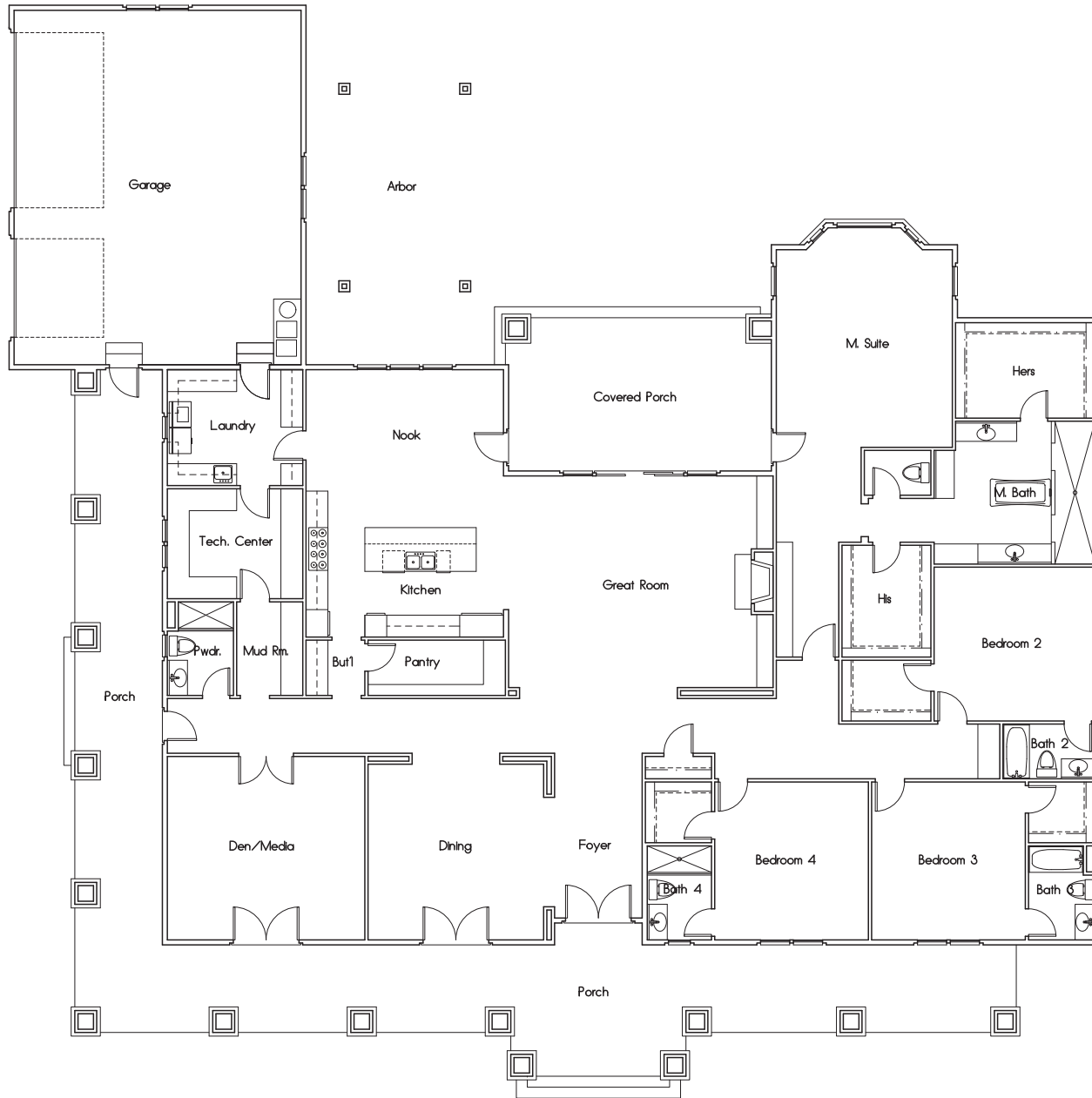
Job Number: 201609 Sheet:
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 of 20

16

Proposed Residence

Lot 2 Church Property
 Pleasanton, California

Notes:



Rev	Description	Date

Floor Plan

4500 SQUARE FEET
 GARAGE: 877 SQUARE FEET
 COVERED PORCHES: 1022 SQUARE FEET

Job Number: 201506	Sheet:
Scale: 1/4"=1'-0"	
Drawn: Terry	21
Checked: Terry	
Date: 5-3-16	of 20

Proposed Residence

Lot 2 Church Property
 Pleasanton, California

Notes:

Roofing shall be Composition Shingle over 3/8" fall over 1/2" OSB sheathing w/ radiant barrier nailed per structural engineer's specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

ATTIC VENTILATION: XXXX / 150 = XXXXX sq. ft.
 Total area required to be vented: XXXXX sq. ft.
 XXX Rafter vent XXXXX sq. ft.
 XXX Gable end vent XXXXX sq. ft.
 XXX O'High vent XXXXX sq. ft.
 Total Area of ventilation: XXXXX sq. ft.
 50% LOW REQUIREMENT: XXX > XXX OKAY
 50% HIGH REQUIREMENT: XXX < XXX OKAY

All framing shall be Douglas Fir No. 2 or better (LION).
 Composition shingles shall be fastened per 2013 CBC.

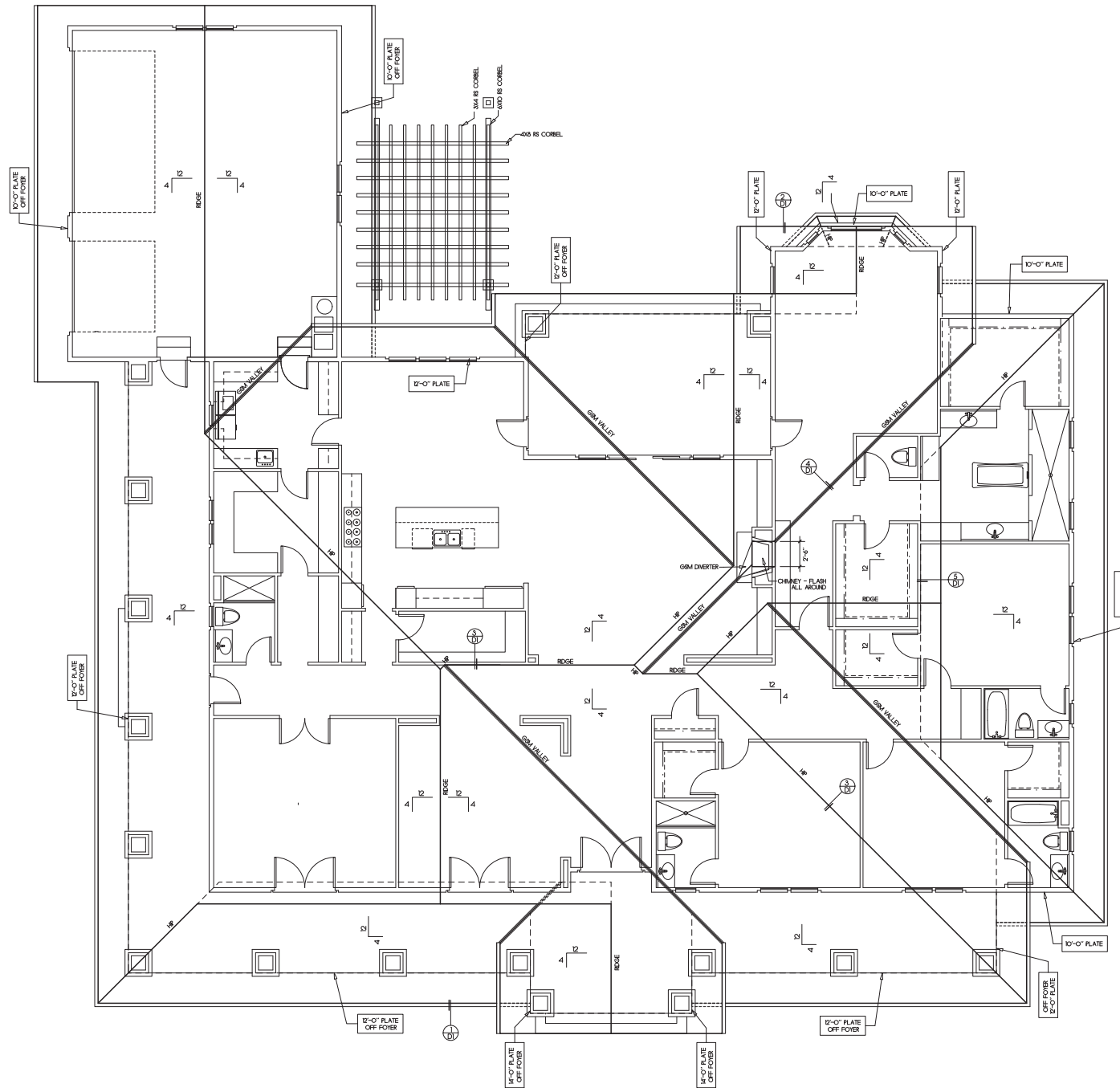
Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper or other approved flexible flashing material and shall be formed to follow the contours of the tile and allow sealing of the tiles as per 2013 CBC.

Plate heights are designated off adjacent subfloor (LION).

All rakes shall be 24" from wall framing (LION).

All eaves shall be 36" from wall framing (LION).

Plumbing waste stacks and combustion flues shall be placed to penetrate to the rear of the main ridge line. All beams shall be braced at each end to prevent rotation.



Rev	Description	Date

Roof Plan

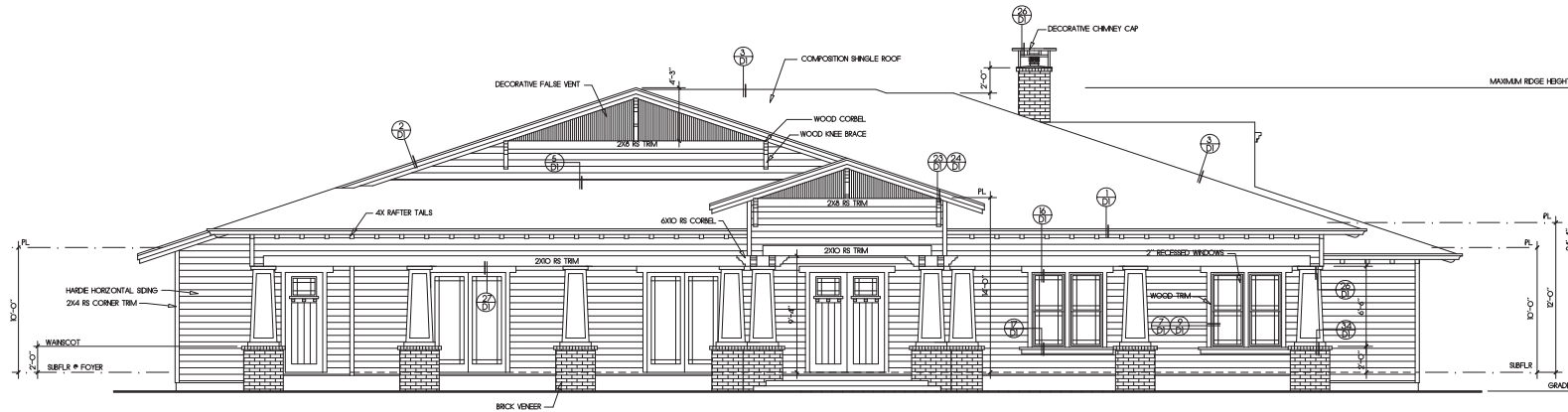
Job Number: 201506 Sheet: _____
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: _____
 Date: 5-3-16 of 20

Proposed Residence

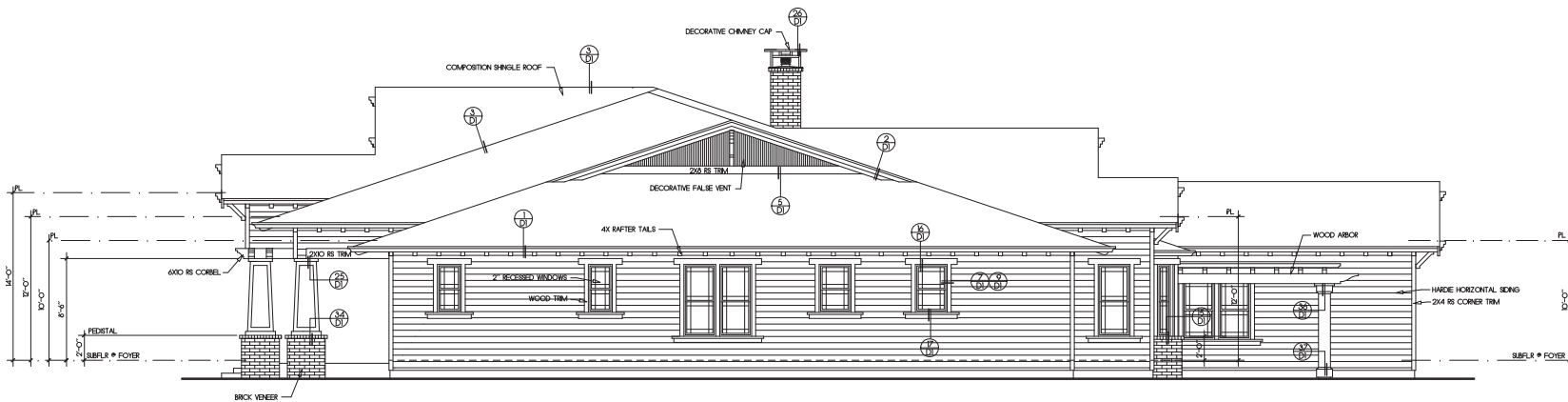
Lot 2 Church Property
 Pleasanton, California

Notes:

- All windows at first floor shall be mounted at 6'-0" above top of subfloor (UCM).
- Provide 15# building paper at all exterior walls with wood siding finish.
- S.F. : Subfloor
- Subfr : Subfloor
- T.O.S. : Top of Slab
- T.O.S.W. : Top of stem wall
- T.O. Fig. : Top of Footing
- Fireplace shall be equipped with GFM terminal cap with spark arrester.
- Egress windows shall comply with 2015 CBC with a minimum net clear operable area of 57 sq. ft. a minimum net clear operable height of 24 inches, a minimum net clear operable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Front Elevation
 (South)



Right Side Elevation
 (East)

Rev	Description	Date

Exterior Elevations

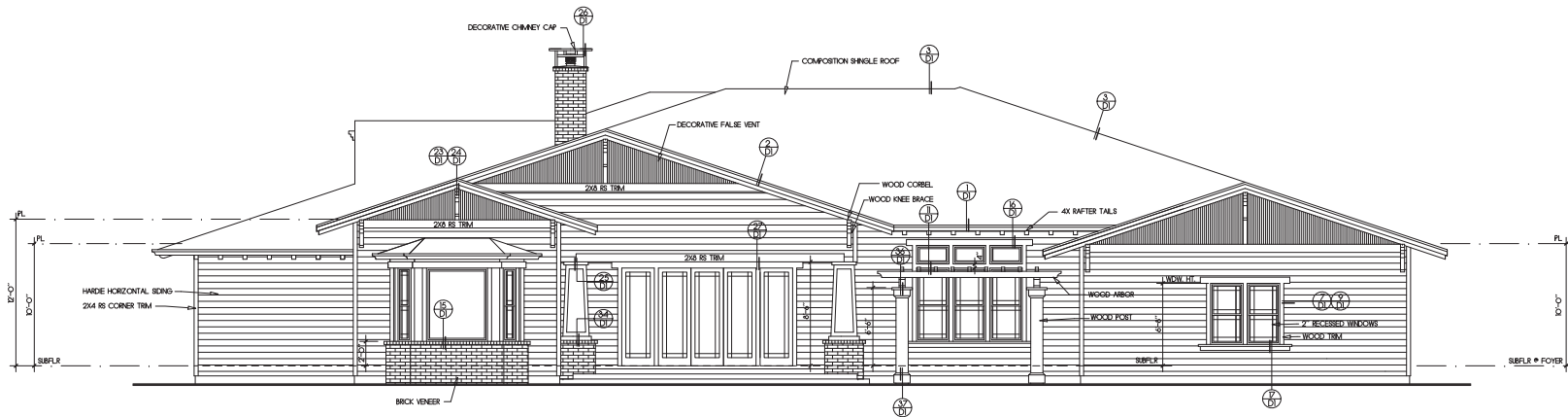
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 Scale: 1/4"=1'-0" _____
 Drawn: Terry _____
 Checked: _____
 Date: 5-3-16 of 20

Proposed Residence

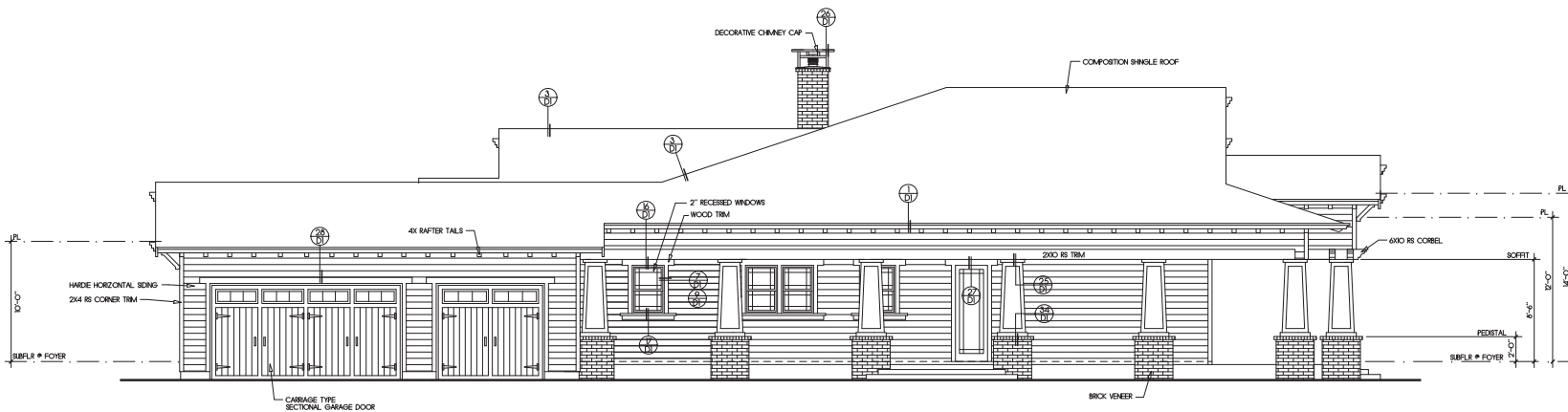
Lot 2 Church Property
 Pleasanton, California

Notes:

- All windows at first floor shall be mounted at 8'-0" above top of subfloor (UCM).
- Provide 15# building paper at all exterior walls with wood siding finish.
- SF: Subfloor
- Subfr: Subfloor
- T.O.S: Top of Slab
- T.O.S.W: Top of Stem Wall
- T.O. Fig: Top of Footing
- Fireplace shall be equipped with GFM terminal cap with spark arrester.
- Egress windows shall comply with 2015 CBC with a minimum net clear operable area of 57 sq. ft. a minimum net clear operable height of 24 inches, a minimum net clear operable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Rear Elevation
 (North)



Left Side Elevation
 (West)

Rev	Description	Date

Exterior Elevations

Job Number: 201506 Sheet: _____
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 of 20

Proposed Residence

Lot 2 Church Property
 Pleasanton, California

Notes:
 All angles other than 90 degrees shall be 45 degrees (U.G.N.I.)

Provide outside combustion air openings directly into the firebox of fireplace to comply with CEC regulations 2-5325 (3) 5. Fireplace hearth shall be of non-combustible material. Fireplaces shall be provided with tight fitting glass doors. Hearth extensions shall conform to the conditions of the listing and the manufacturer's installation instructions. Fireplaces shall be installed in accordance with their listing and manufacturer's instructions as specified in the CBC.

Light panels in exterior doors, or within a 24" arc of a swinging door shall be laminated security glass which is a minimum of 1/4" polycarbonate security sheets or their equivalent.

Firestops shall be provided around the chimney in openings of the ceiling and floor levels with non-combustible material per 2013 CBC.

All posts, beams, and walls supporting the floor/ceiling above the garage shall be protected by one hour construction on the garage side.

See cover sheet for schedules and general notes.

Provide 5/8" type "X" gyp bd on the garage side of the wall extending per CBC.

Provide minimum 18"x30" clear access from underfloor access point to each drain the cleanout located in the underfloor area.

Sliding doors and operable windows shall comply with 2013 CBC.

Shearwalls shall extend to the roof diaphragm. Walls with an unbraced height in excess of 10 feet shall be 2X6 studs @ 16" o.c.

Wall coverings of shower and tub/shower shall be cement plaster, tile or approved equal to 2" above drain inlet. Materials other than structural shall be moisture resistant.

Any cap or cover installed on the fireplace chimney shall comply with the ICC research report and manufacturer listing.

Furnace ducts penetrating the garage/house occupancy separation shall be a minimum 26 gauge galvanized steel and have no openings into the garage.

Water closets shall be in a clear space 30" minimum wide and have a minimum 24" clear space in front.

All exterior walls shall be 2X6 studs @ 16" o.c. minimum, or otherwise noted.

All interior walls shall be 2X4 studs @ 16" o.c. minimum, or otherwise noted.

Threshold height shall be limited to 7/16 inches residential where the door is an exterior door that is not a component of the required means of egress; the door, other than an exterior storm or screen door does not swing over the landing or stair.

Fireplaces shall have an efficiency rating of not less than 60%.

Use low VOC interior wall and ceiling paints and construction adhesives.

Use low VOC water-based wood finishes.

Use low VOC construction adhesives.

Use recycled content materials at interior trim and sheking.

Tightly seal the air barrier between the living area and garage.

Egress windows shall comply with 2013 CBC with a minimum net clear operable area of 5.7 sq. ft., a minimum net clear operable width of 24 inches, a minimum net clear operable height of 24 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.

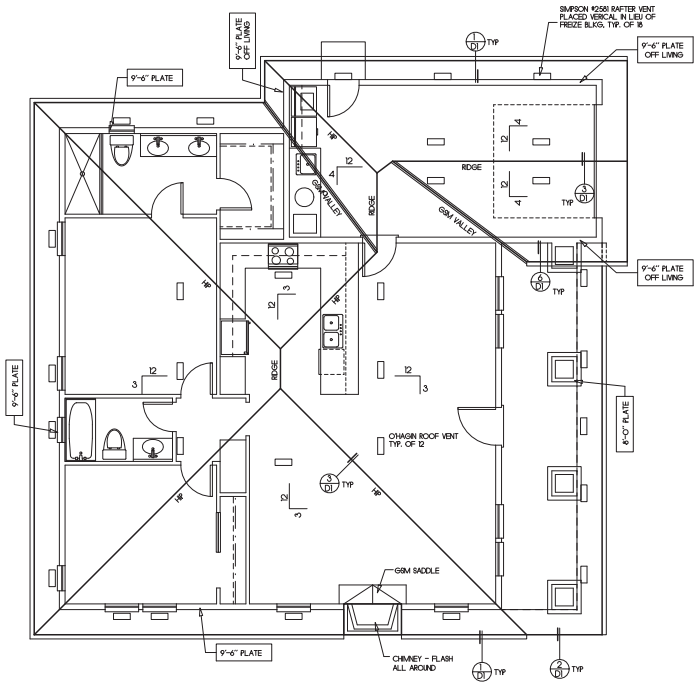
Escape opening opens directly to a street, public alley, yard or court that opens to a public way.

Rev	Description	Date

**Second Unit
 Floor and Roof Plan**

Job Number: 201608 Sheet:
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 of 20

25



Roof Plan

Roofing shall be Composition Shingles over Two layers 3/8\"/>

Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/50 of the area of the space ventilated.

ATTIC VENTILATION :	1692 / 150 = 11.28 sq. ft.
Total area required to be vented :	11.28 sq. ft.
16 Rafter vent	10.38 sq. ft.
0 Gable end vent	0.00 sq. ft.
12 O'Hugh vent	7.86 sq. ft.
Total Area of ventilation :	18.24 sq. ft.
50% LOW REQUIREMENT:	10.38 > 5.64, OKAY
50% HIGH REQUIREMENT:	7.86 > 5.64, OKAY

All framing shall be Douglas Fir No. 2 or better (U.G.N.I.)
 Composition Shingles shall be fastened per 2013 CBC.

Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper, or other approved flexible flashing material and shall be formed to follow the contours of the tile and allow seating of the tiles as per 2013 CBC.

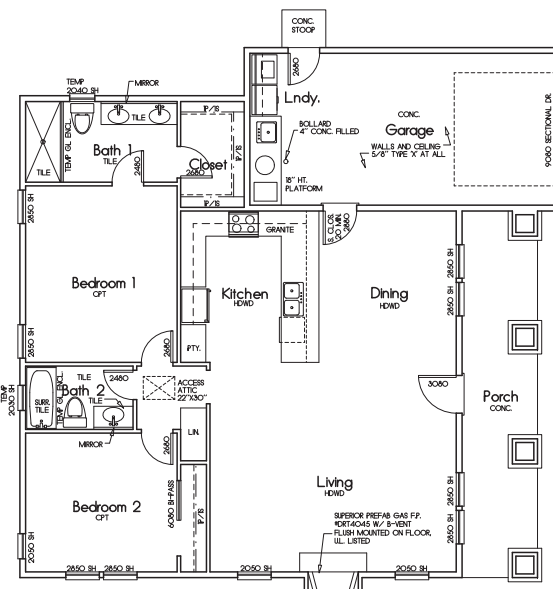
Plate heights are designated off adjacent exterior (U.G.N.I.)

All rakes shall be 24" from wall framing (U.G.N.I.)

All eaves shall be 24" from wall framing (U.G.N.I.)

Plumbing waste stacks and combustion flues shall be placed to penetrate to the rear of the main ridge line.

All beams shall be braced at each end to prevent rotation.



Floor Plan

1500 SQUARE FEET
 GARAGE: 37 SQUARE FEET
 PORCH: 175 SQUARE FEET



Terry J. Townsend

• Architect •

147 Old Bernal Ave., Suite 6

Pleasanton, CA 94566

Tel. 925-484-5438

Proposed Residence

Lot 2 Church Property
Pleasanton, California

Notes:

All windows at first floor shall be mounted at 6'-0" above top of subfloor (L.O.N.).

Provide 19# building paper at all exterior walls with wood siding finish.

S.F. : Subfloor

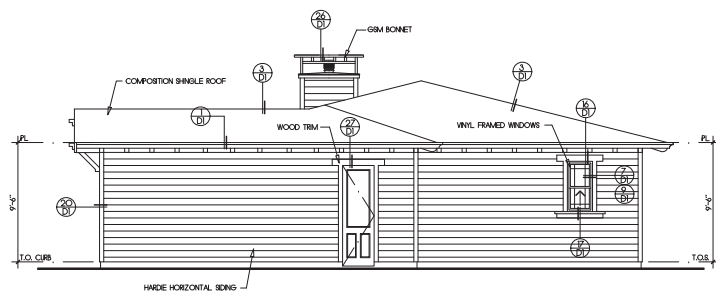
T.O.S. : Top of Slab

T.O.S.W. : Top of stem wall

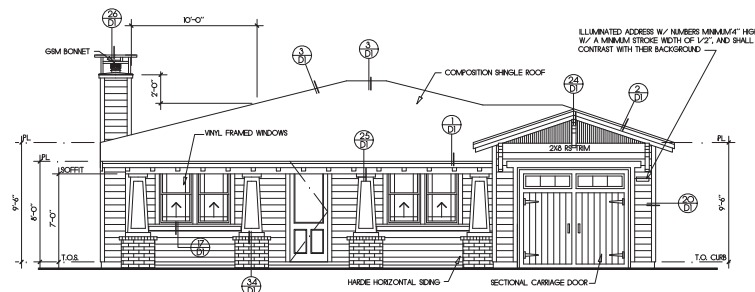
T.O. Ftg. : Top of Footing

Fireplace shall be equipped with GSM terminal cap with spark arrester.

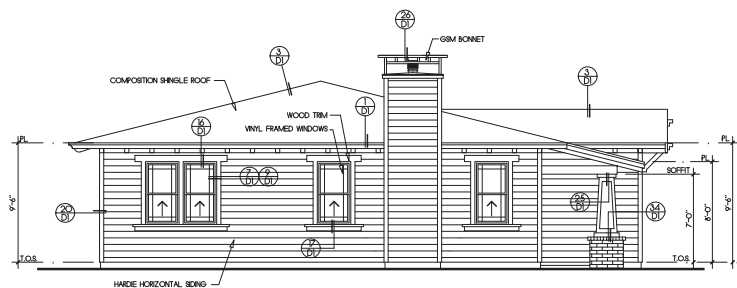
Egress windows shall comply with 2013 IRC with a minimum net clear openable area of 5.7 sq. ft., a minimum net clear openable height of 24 inches, a minimum net clear openable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



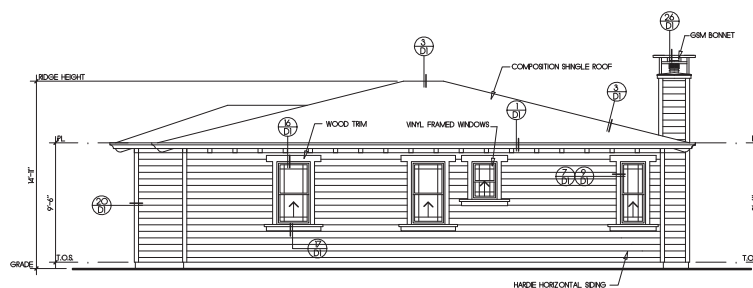
Right Side Elevation
(East)



Front Elevation
(South)



Left Side Elevation
(West)



Rear Elevation
(North)

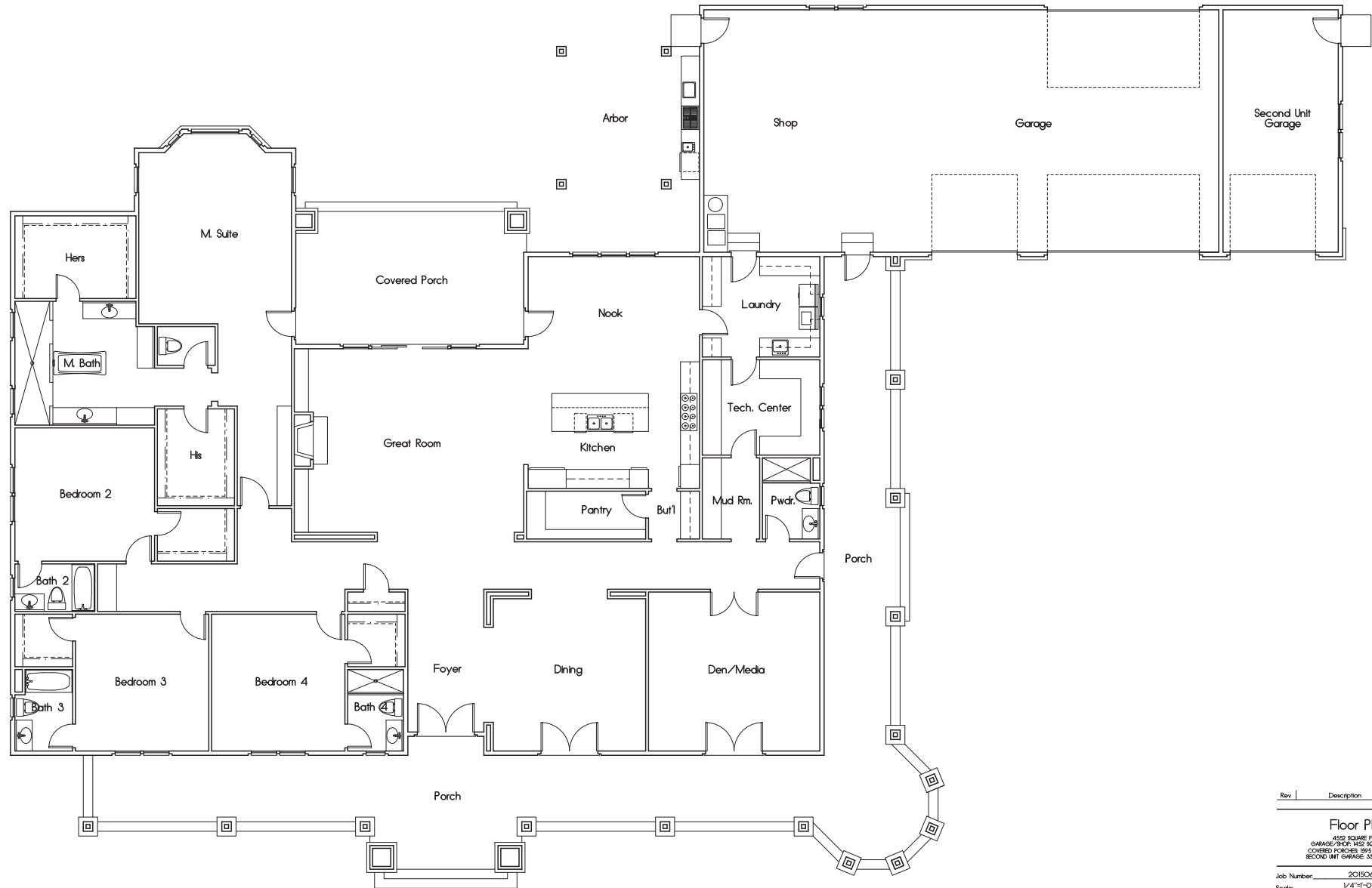
Rev	Description	Date

Second Unit Exterior Elevations

Job Number: 201608 Sheet: 2,6
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 of 20

Proposed Residence
 Lot 3 Church Property
 Pleasanton, California

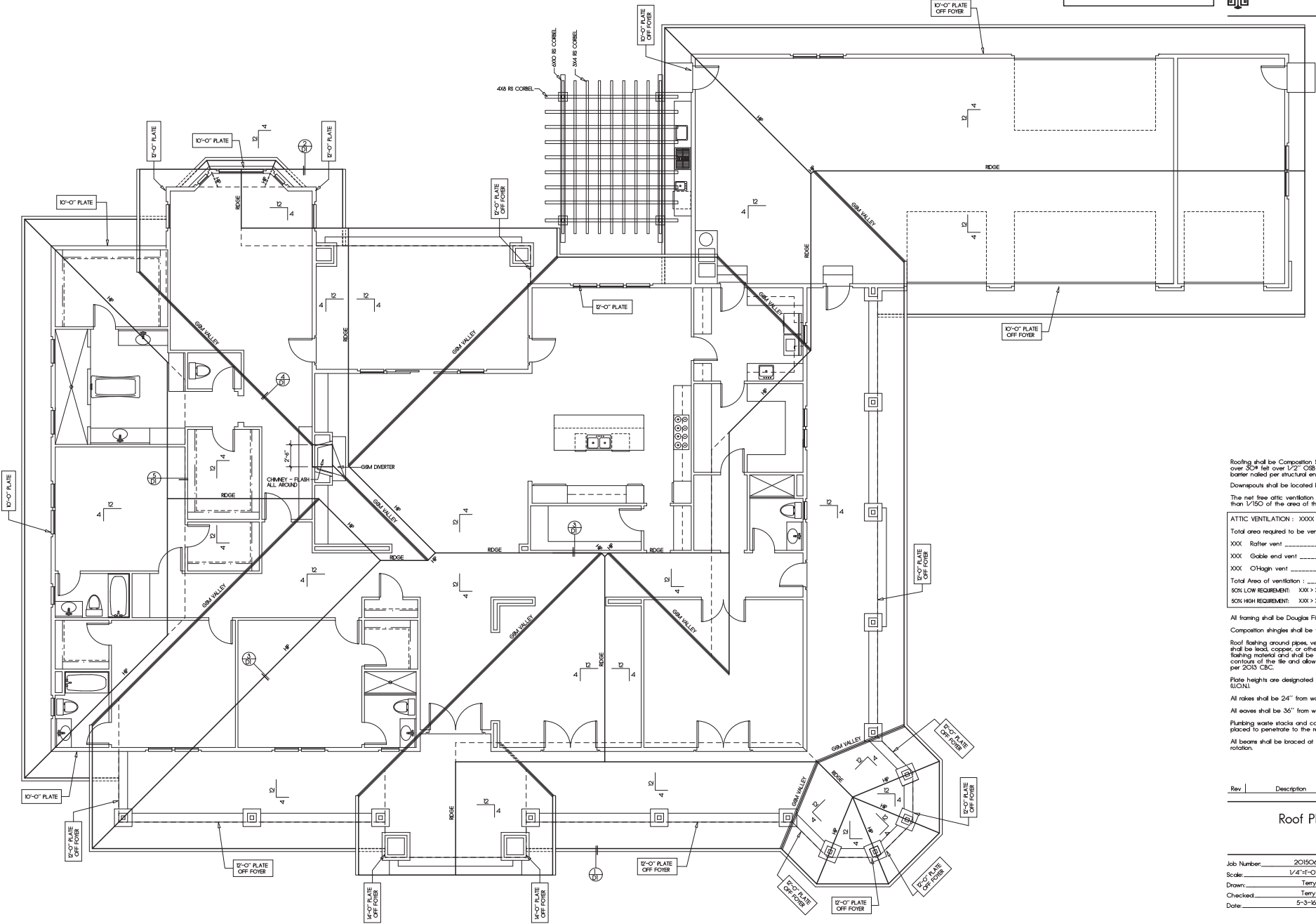
Terry J. Townsend
 • Architect •
 147 Old Bernal Ave., Suite 6
 Pleasanton, CA 94566
 Tel: 925-484-5438



Rev	Description	Date
Floor Plan		
<small> 4562 SQUARE FEET GARAGE/PORCH 1832 SQUARE FEET COVERED PORCHES 1895 SQUARE FEET SECOND UNIT GARAGE 203 SQUARE FEET </small>		
Job Number:	201506	Sheet
Scale:	1/4"=1'-0"	
Drawn:	Terry	31
Checked:	Terry	
Date:	5-3-16	of 20

Proposed Residence
 Lot 3 Church Property
 Pleasanton, California

Terry J. Townsend
 • Architect •
 147 Old Bernal Ave., Suite 6
 Pleasanton, CA 94566
 Tel: 925-484-5436



Roofing shall be Composition Shingle over 5/8" felt over 1/2" OSB sheathing w/ radiant barrier rated per structural engineer's specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

ATTIC VENTILATION: XXXX / 150 = XXXXX sq. ft.
 Total area required to be vented: XXXXX sq. ft.
 XXX Rafter vent XXXXX sq. ft.
 XXX Gable end vent XXXXX sq. ft.
 XXX CH-gn vent XXXXX sq. ft.
 Total Area of ventilation: XXXXX sq. ft.
 50% LOW REQUIREMENT: XXX > XXX, OKAY
 50% HIGH REQUIREMENT: XXX > XXX, OKAY

All framing shall be Douglas Fir No. 2 or better (UONI).
 Composition shingles shall be fastened per 2003 CBC.
 Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper, or other approved flexible flashing material and shall be formed to follow the contours of the tile and allow seating of the tiles as per 2003 CBC.
 Plate heights are designated off adjacent subfloor (UONI).
 All rakes shall be 24" from wall framing (UONI).
 All eaves shall be 36" from wall framing (UONI).
 Plumbing waste stacks and combustion flues shall be placed to penetrate to the rear of the main ridge line.
 All beams shall be braced at each end to prevent rotation.

Rev	Description	Date

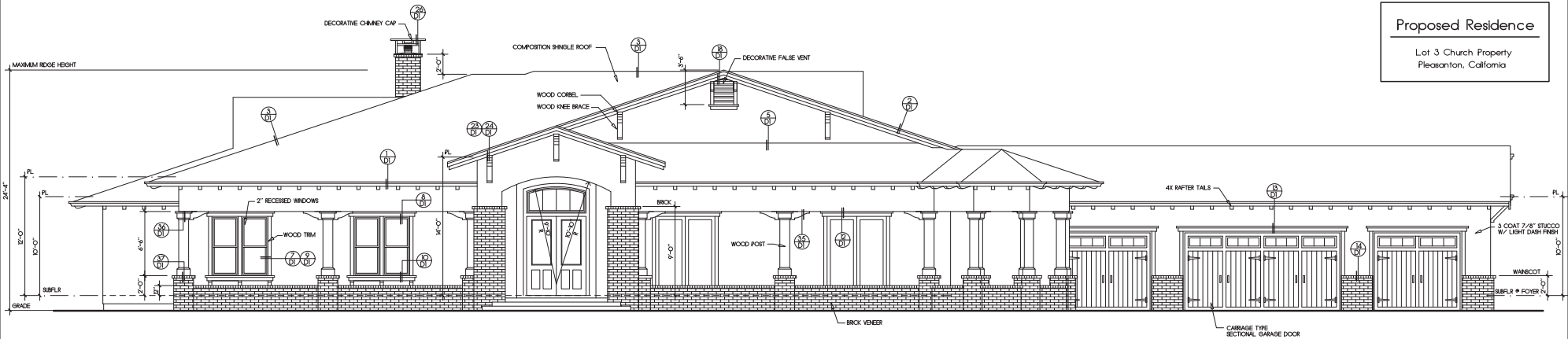
Roof Plan

Job Number: 201906 Sheet: _____
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 of 20

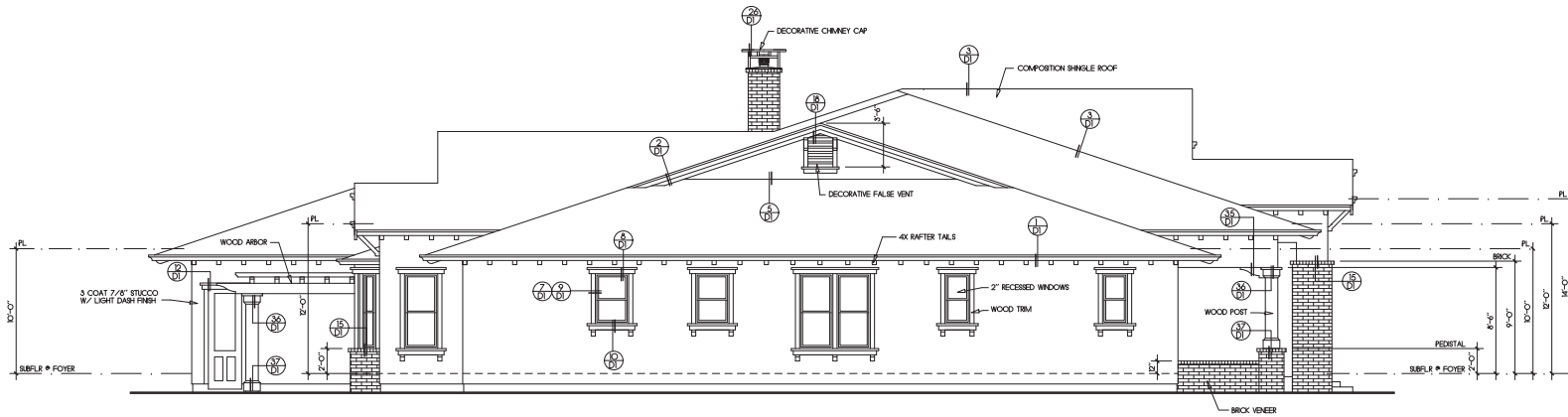
3.2

Proposed Residence

Lot 3 Church Property
 Pleasanton, California



Front Elevation
 (Southwest)



Left Side Elevation
 (Northwest)

All windows of first floor shall be mounted at 8'-0" above top of subfloor (I.O.N.).
 Provide two layers grade "D" paper on all exterior walls with stucco over wood based sheathing.
 A weep screed shall be provided at the foundation plate on all exterior studwalls covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building per 2003 CBC.

SF : Subfloor
 Subfl : Subfloor
 T.O.S. : Top of Slab
 T.O.S.W. : Top of stem wall
 T.O. Flg. : Top of Footing
 Fireplace shall be equipped with GSM terminal cap with spark arrestor.
 Egress windows shall comply with 2003 CBC with a minimum net clear operable area of 5.7 sq. ft., a minimum net clear operable height of 24 inches, a minimum net clear operable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.

Rev	Description	Date

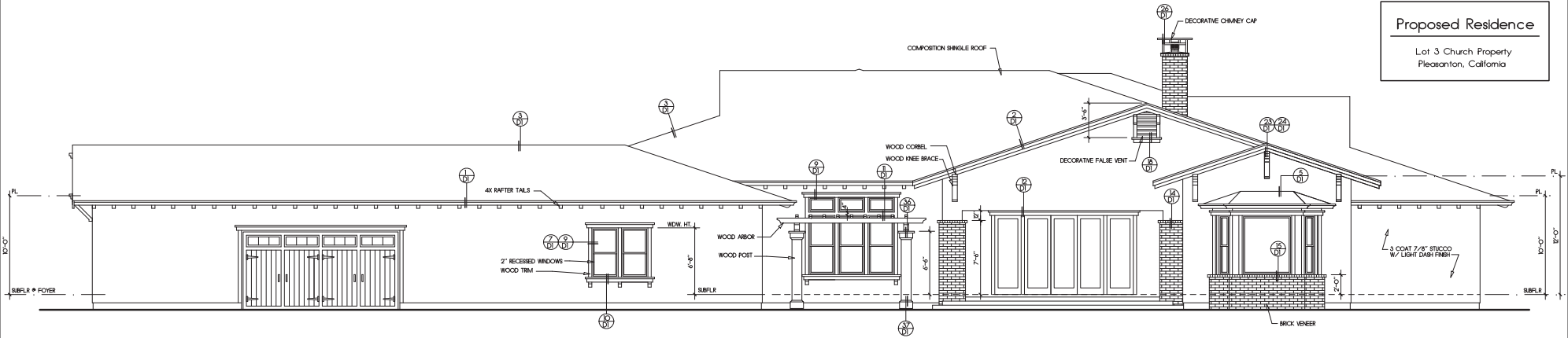
Exterior Elevations

Job Number: 201806 Sheet:
 Scale: 1/4" = 1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 of 20

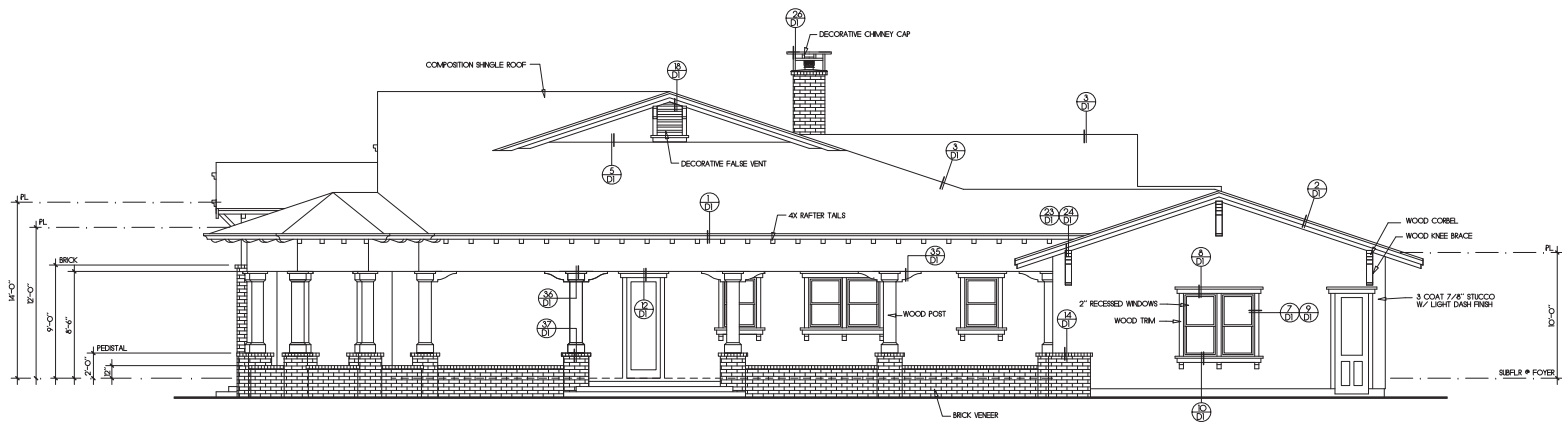
3,3

Proposed Residence

Lot 3 Church Property
 Pleasanton, California



Rear Elevation
 (Northeast)



Right Side Elevation
 (Southeast)

All windows at first floor shall be mounted at 8'-0" above top of subfloor (I.O.N).
 Provide two layers grade "D" paper at all exterior walls with stucco over wood based sheathing.
 A weep screed shall be provided at the foundation plate on all exterior studwalls covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building per 2003 CBC.

SF: Subfloor
 Subfr: Subfloor
 T.O.S: Top of Slab
 T.O.S.W: Top of stem wall
 T.O. Flg: Top of Footing
 Fireplace shall be equipped with GSM terminal cap with spark arrestor.
 Egress windows shall comply with 2003 CBC with a minimum net clear operable area of 5.7 sq ft, a minimum net clear operable height of 24 inches, a minimum net clear operable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.

Rev	Description	Date

Exterior Elevations

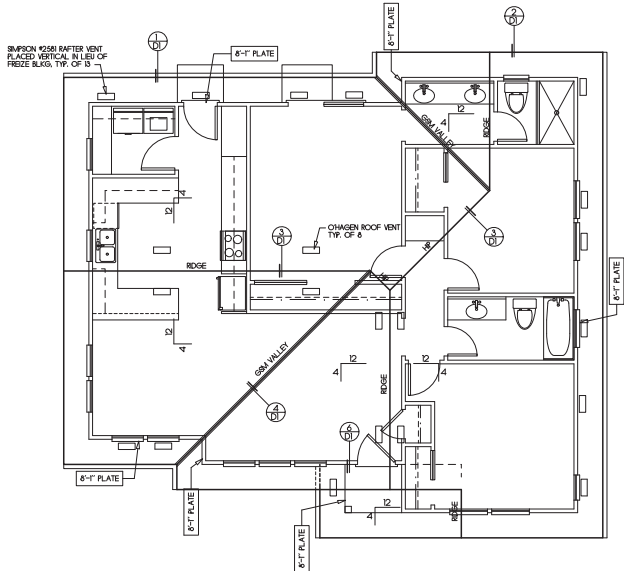
Job Number: 201906 Sheet: _____
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 Of 20

Proposed Residence

Lot 3 Church Property
 Pleasanton, California

Notes:

- All angles other than 90 degrees shall be 45 degrees (LIONL).
- Light panels in exterior doors, or within a 24" arc of a swinging door shall be laminated security glass which is a minimum of 1/4" polycarbonate security sheets or their equivalent.
- See cover sheet for schedules and general notes.
- Provide minimum 16" x 30" clear access from underfloor access point to each drain line cleanout located in the underfloor area.
- Sliding doors and operable windows shall comply with 2013 CRC.
- Wall coverings of shower and tub/shower shall be cement plaster, tile, or approved equal to 72" above drain inlet. Materials other than structural shall be moisture resistant.
- Maximum difference between the largest and smallest tier shall be 3/8".
- Water closets shall be in a clear space 30" minimum wide and have a minimum 24" clear space in front.
- All exterior walls shall be 2x4 studs @ 16" o.c. minimum, or otherwise noted.
- All interior walls shall be 2x4 studs @ 16" o.c. minimum, or otherwise noted.
- Threshold height shall be limited to 7/5 inches residential where the door is an exterior door that is not a component of the required means of egress; the door, other than an exterior storm or screen door does not swing over the landing or step.
- Contractor shall verify all conditions and measurements in field prior to any fabrication of materials or commencement of work.
- Contractor shall notify the Architect immediately upon discovery of any discrepancies and cease work until resolved to the satisfaction of the Architect.



Roof Plan

Roofing shall be Composition Shingle over 3/4" felt over 1/2" OSB sheathing w/ radiant barrier noted per structural engineer's specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

All framing shall be Douglas Fir No. 2 or better (LIONL).

Composition shingles shall be fastened per 2013 CRC.

Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper, or other approved flexible flashing material and shall be formed to follow the contours of the tile and allow sealing of the tiles as per 2013 CRC.

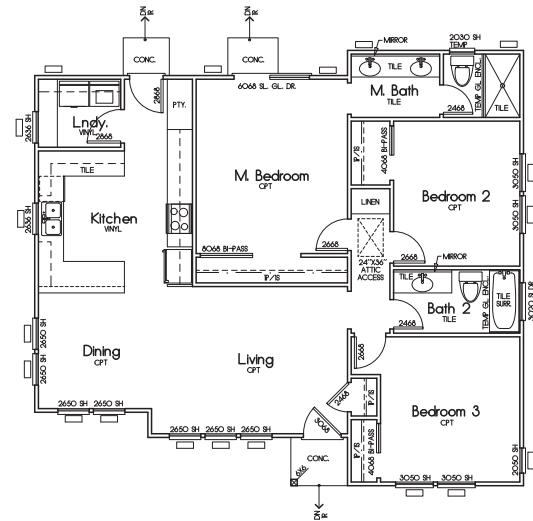
Plate heights are designated off adjacent subfloor (LIONL).

All rakes shall be 24" from wall framing (LIONL).

All eaves shall be 24" from wall framing (LIONL).

All beams shall be braced at each end to prevent rotation.

ATTIC VENTILATION: 1/150 / 150 = 8,000 sq. ft.
Total area required to be vented: 8,000 sq. ft.
13 Rafter vent 7,46 sq. ft.
0 Gable end vent 0.00 sq. ft.
8 O'Hahn vent 524 sq. ft.
Total Area of ventilation: 12,72 sq. ft.
50% LOW REQUIREMENT: 7,46 > 400, OKAY
50% HIGH REQUIREMENT: 524 > 400, OKAY



Floor Plan

1043 SQUARE FEET

Rev.	Description	Date

**Second Unit
 Floor and Roof Plan**

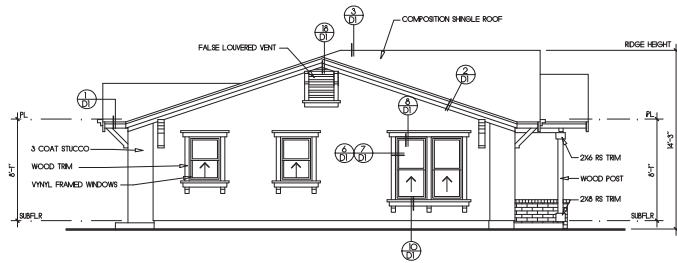
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 Scale: 1/4" = 1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 Cl: 20

Proposed Residence

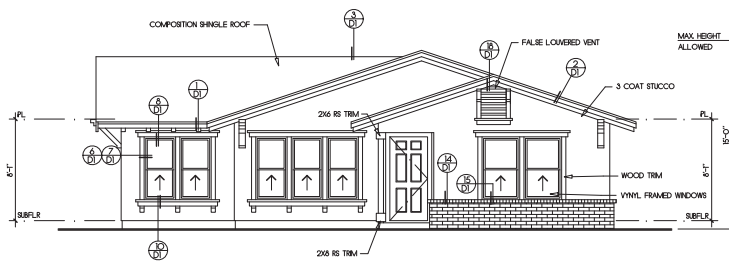
Lot 3 Church Property
 Pleasanton, California

Notes:

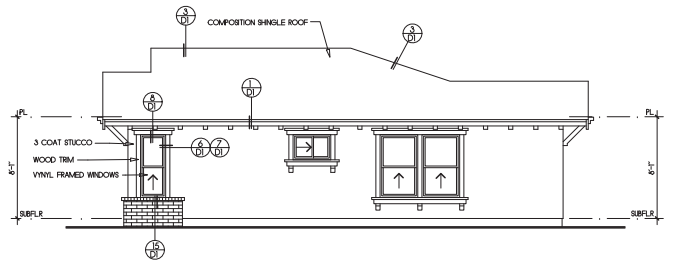
All windows of first floor shall be mounted at 6'-0" above top of subfloor (T.O.S.F.)
 Provide 15# building paper on all exterior walls with wood siding finish.
 SF: Subfloor
 Subfr: Subfloor
 T.O.S.: Top of Slab
 T.O.S.W.: Top of stem wall
 T.O. Fig.: Top of Flooring
 Egress windows shall comply with 2013 CBC with a minimum net clear operable area of 5.7 sq. ft., a minimum net clear operable height of 24 inches, a minimum net clear operable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



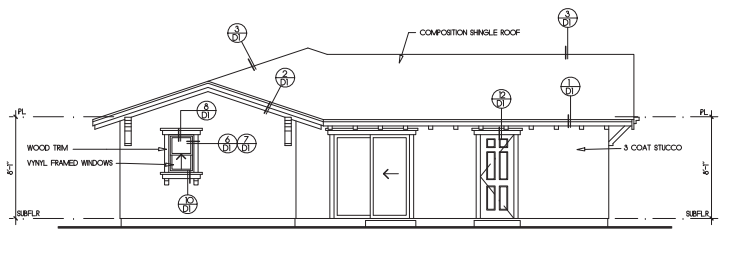
Left Side Elevation
 (Northwest)



Front Elevation
 (Southwest)



Right Side Elevation
 (Southeast)



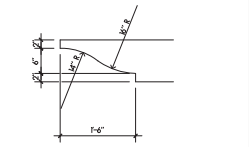
Rear Elevation
 (Northeast)

Rev	Description	Date

**Second Unit
 Exterior Elevations**

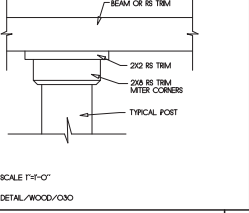
Job Number: 20K07 Sheet: 3.6
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 Drawn: Terry
 Checked: Terry
 Date: 5-3-16 Of: 20

Notes:



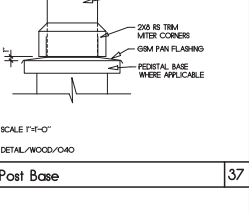
SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/006

Roof to Wall 6



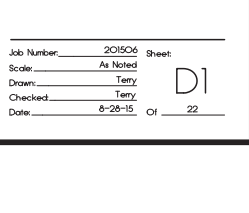
SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/005

Roof to Wall 5



SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/004

Valley 4

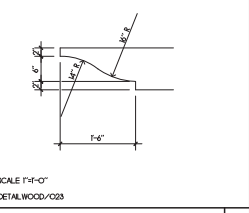


SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/003

Hip/Ridge 3

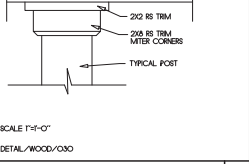
SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/001

Typical Rake 2



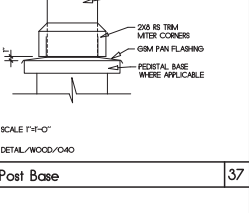
SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/006

Typical Eave 1



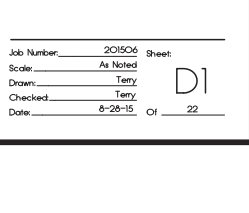
SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/006

Roof to Wall 6



SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/005

Roof to Wall 5

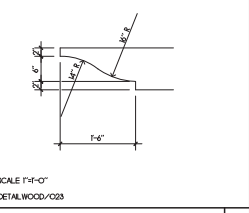


SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/004

Valley 4

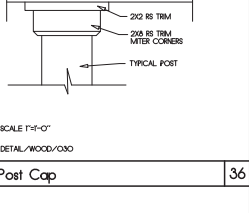
SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/003

Hip/Ridge 3



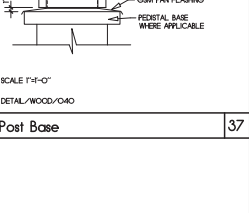
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Typical Rake 2



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 DETAIL/ROOF/COMPOSITION/006

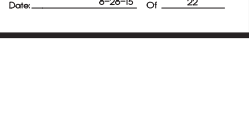
Typical Eave 1



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 DETAIL/ROOF/COMPOSITION/006

Roof to Wall 6

Roof to Wall 5



SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/004

Valley 4

SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/003

Hip/Ridge 3

SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/001

Typical Rake 2

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 DETAIL/ROOF/COMPOSITION/006

Typical Eave 1

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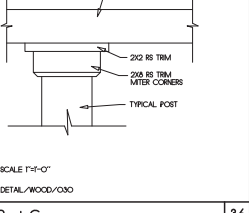
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Roof to Wall 5

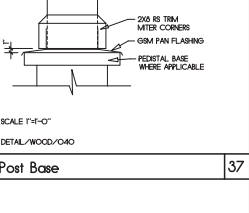
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Valley 4



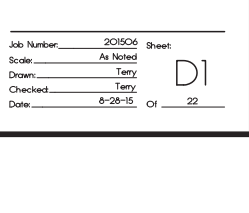
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Hip/Ridge 3



SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/001

Typical Rake 2



SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/006

Typical Eave 1

SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/006

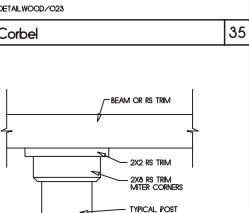
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Roof to Wall 5

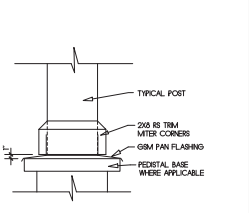
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Valley 4



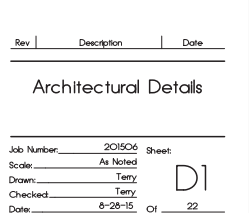
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Hip/Ridge 3



SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/001

Typical Rake 2



SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/006

Typical Eave 1

Roof to Wall 6

Roof to Wall 5

SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/004

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SCALE 1 1/4\"/>
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SCALE 1 1/4\"/>
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Typical Rake 2

SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/006

Typical Eave 1

SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/006

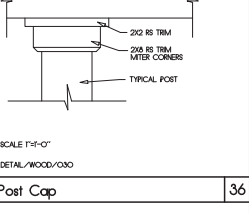
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 DETAIL/ROOF/COMPOSITION/005

Roof to Wall 5

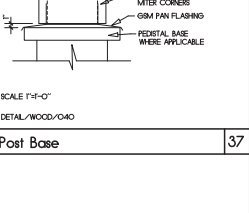
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Valley 4



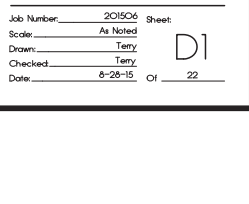
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 DETAIL/ROOF/COMPOSITION/003

Hip/Ridge 3



SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/001

Typical Rake 2



SCALE 1 1/4\"/>
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Typical Eave 1

SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/006

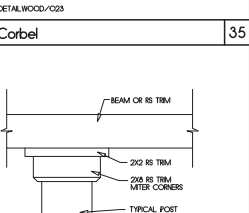
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 DETAIL/ROOF/COMPOSITION/005

Roof to Wall 5

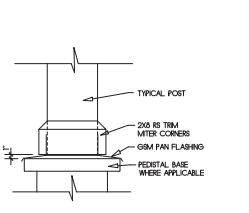
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Valley 4



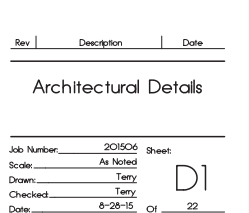
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SCALE 1 1/4\"/>
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SCALE 1 1/4\"/>
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Typical Eave 1

SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/006

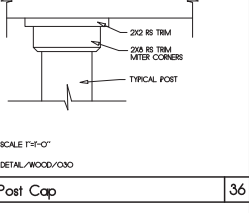
Roof to Wall 6

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Roof to Wall 5

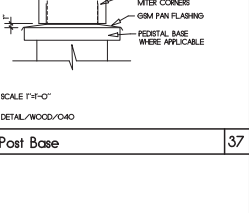
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 DETAIL/ROOF/COMPOSITION/004

Valley 4



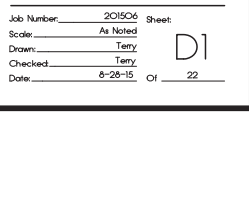
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Hip/Ridge 3



SCALE 1 1/4\"/>
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Typical Rake 2



SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/006

Typical Eave 1

SCALE 1 1/4\"/>
 DETAIL/ROOF/COMPOSITION/006

FENCING



4' WOODCRETE RAIL FENCE WITH WIRE MESH



6' WELDED WIRE MESH FENCE



6' WOOD FENCE

PAVING



STAMPED COLORED CONCRETE



DECOMPOSED GRANITE SURFACE

WALLS



CALSTONE WALL BLOCK SYSTEM

PLANT PALETTE

TREES



Cercis occidentalis



Lagerstroemia f. 'Muskogee', 'Seminole', or 'Tuscarora'



Platanus a. 'Columbia'



Quercus virginiana

SHRUBS (5 feet tall or greater)



Alyogyne huegelii



Cotoneaster lacteus



Lavatera assurgentiflora



Leptospermum s. 'Ruby Glow'



Rosmarinus o. 'Tuscan Blue'

SHRUBS (3-5 feet tall)



Asparagus d. 'Myers'



Berberis l. 'Rose Glow'



Euryops p. 'Viridis'



Ilex v. 'Nana'



Lavandula species



Westringia l. 'Wynyabbie Gem'



Mulhenbergia repens

SHRUBS (3 feet tall or less)



Cistus 'Sunset'



Coltenema p. 'Sunset Gold'



Erigeron karvinskianus



Euonymus f. 'Emerald Gaiety'



Rosa x. 'Nostrum'



Teurcium marum

SHRUBS (biofiltration areas)



Carex pansa



Chondropetalum tectorum



Juncus patens

GROUND COVERS



Ajuga reptans



Coprosma k. 'Variegata'



Cotoneaster d. 'Lowfast'

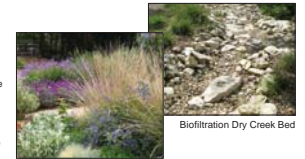


Euonymus f. 'Colorata'

LANDSCAPE CONCEPT

The Preliminary Landscape Plan depicts a general concept. The Plant Palette is not intended to be a complete list of materials. Actual plant material used in the construction documents may vary. The design incorporates drought tolerant and deer resistant plant material. The biofiltration areas are camouflaged as dry creek beds to blend in with the surrounding environment and to help reduce erosion.

Construction Documents will be prepared based on City of Pleasanton approval in compliance with the State of California AB1881 Water Efficient Landscaping Regulations, CAL Green Building Standards Code requirements for outdoor water use, Alameda County Clean Water Program C.3 Stormwater Technical Guidance, and Bay-Friendly Landscape Guidelines principles.



Landscape Concept

Biofiltration Dry Creek Bed

Valley Capital Realty

7080 Donlon Way, Suite 208
Dublin, CA 94568

PLEASANT VIEW CHURCH SITE

PLANNED UNIT DEVELOPMENT
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

PRELIMINARY
LANDSCAPE
MATERIALS

L2

05.03.16





PRESERVE COMMUNITY ASSOCIATION

NOTES

1. CONSTRUCTION DOCUMENTS WILL BE PREPARED BASED ON CITY OF PLEASANTON APPROVAL IN COMPLIANCE WITH THE STATE OF CALIFORNIA 181181 WATER EFFICIENT LANDSCAPING REGULATIONS, CAL GREEN BUILDING STANDARDS CODE REQUIREMENTS FOR OUTDOOR WATER USE, ALAMEDA COUNTY CLEAN WATER PROGRAM C.3 STORMWATER TECHNICAL GUIDANCE, AND BAY-FRIENDLY LANDSCAPE GUIDELINES PRINCIPLES.

KEY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING	'F'
TREES:					
	CERCIS OCCIDENTALIS LAGERSTROEMIA HYBRIDS	WESTERN REDBUD GRAPE HIRTLE	15 GALLON 24" BOX	AS SHOWN	VL LOW
	PLATANUS A. 'COLUMBIA'	COLUMBIA LONDON PLANE TREE	15 GALLON	AS SHOWN	MED
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	15 GALLON	AS SHOWN	MED
	ORCHARD TREE AS SELECTED BY HOMEOWNER		TBD	AS SHOWN	MED
SHRUBS:					
LARGE (5 FEET TALL OR GREATER)					
	ALYOGNE HUEGELII LAVATERA ASSURGENTIFLORA LEPTOSPERMUM S. 'RUBY GLOW'	BLUE HIBISCUS TREE MALLOW TEA TREE	5 GALLON	AS SHOWN	LOW LOW MED
	COTONEASTER LACTEUS ROSMARINUS O. 'TURCAN BLUE'	PARNEY'S COTONEASTER ROSEMARY	5 GALLON	AS SHOWN	LOW LOW
MEDIUM (3-5 FEET TALL)					
	ASPARAGUS D. 'MYERS' BERBERIS T. 'ROSE GLOW' EURYOPS P. 'VIRIDS' ILEX V. 'NANA' LAVANDULA SPECIES WESTRINGIA F. 'WYNABBIE GEM'	MYERS' ASPARAGUS WARTY BARBERY NO COMMON NAME DWARF 'YU'CON LAVENDER COAST ROSEMARY	5 GALLON	3'-5' OC	MED MED LOW LOW LOW LOW

PLANT PALETTE

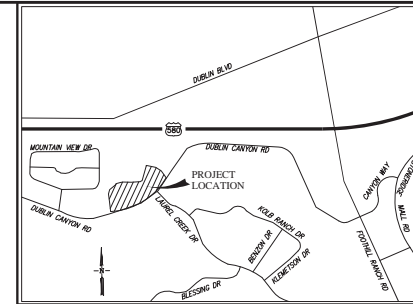
KEY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING	'F'
SHRUBS (CONT):					
MEDIUM (3-5 FEET TALL)					
	MULHENBERGIA RIGENS	DEER GRASS	1 GALLON	AS SHOWN	LOW
LOW (3 FEET TALL OR LESS)					
	CISTUS P. 'SUNSET' COLEONEMA P. 'SUNSET GOLD' ERIODON KARYOPHYLLUS EUKALYPTUS F. 'EMERALD GAETY' ROSA X. NOCTURNUM TEUFRIDIUM MARITIM	ROCKROSE PINK BREATHER OF HEAVEN SANTA BARBARA DAISY WINTER CREEPER FLOWER CARPET CAT THYME	5 GALLON	3' OC	LOW MED LOW MED MED LOW
BIOFILTRATION AREAS					
	CAREX PANSA CHONDRIPETALUM TECTORUM JUNCUS PATENS	ROCKROSE CAPE RUSH CALIFORNIA GRAY RUSH	1 GALLON	3' OC	MED LOW LOW
GROUND COVERS					
	AJUGA REPENS COPROSMA K. 'VARIEGATA' COTONEASTER D. 'LOW FAST' EUKALYPTUS F. 'COLORATUS'	CARPET BUGLE VARGATED COPROSMA BEARBERY COTONEASTER PURPLE-LEAF WINTER CREEPER	1 GALLON	2'-4' OC	MED LOW LOW MED

NOTE: PLANT PALETTE IS INTENDED AS A REPRESENTATIVE GUIDE OF THE PLANT MATERIAL TO BE USED. ACTUAL PLANT MATERIAL USED IN THE CONSTRUCTION DOCUMENTS MAY VARY. EACH PLANT SYMBOL ON THE PLANT PALETTE IDENTIFIES A NUMBER OF SPECIES. ONLY ONE SPECIES WILL BE SELECTED PER SYMBOL FOR PLANTING IN A GROUP OF THE SAME SYMBOL ON THE PLAN.
* PLANT FACTORS (F) ARE BASED ON WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS) PUBLISHED BY THE UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, JANUARY 2014.

VESTING TENTATIVE MAP

PLEASANT VIEW CHURCH SITE

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

1. OWNER: PLEASANT NEW CHURCH OF CHRIST
11300 DUBLIN CANYON ROAD
PLEASANTON, CA 94568
2. DEVELOPER: CALIFORNIA GOLD ADVOCACY GROUP
7850 DUBLIN BOULEVARD, SUITE 312
PLEASANTON, CA 94568
TEL (925) 828-4254
CONTACT: GUY HOUSTON
3. CIVIL ENGINEER: RUGGERI-JENSEN-AZAR
4690 CHABOT DRIVE, SUITE 200
PLEASANTON, CA 94568
TEL (925) 227-9100
CONTACT: MARK FALCOUT
4. GEOTECHNICAL ENGINEER: NICHOLAS ENGINEERING CONSULTANTS
6743 DUBLIN BOULEVARD, SUITE 15
DUBLIN, CA 94568
TEL (925) 828-8000
CONTACT: DEWY A. NICHOLAS
5. ARCHITECT: TERRY TOWNSEND ARCHITECT
147 OLD BERNAL AVENUE, SUITE 6
PLEASANTON, CA 94568
TEL (925) 464-2439
CONTACT: TERRY TOWNSEND
6. LANDSCAPE ARCHITECT: DUTCHOVER & ASSOCIATES
1233 QUARRY LANE, SUITE 115
PLEASANTON, CA 94568
TEL (925) 462-3576
CONTACT: BRIAN DUTCHOVER
7. PROPERTY DESCRIPTION: ASSESSOR'S PARCEL NUMBER 941-1600-007-03
PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
8. ASSESSOR'S PARCEL NUMBER: 941-1600-007-03
9. CURRENT USE: UNDEVELOPED LAND AND EXISTING STRUCTURES
10. PROPOSED USE: SINGLE-FAMILY DETACHED
11. EXISTING ZONING: PUD - A
12. PROPOSED ZONING: PUD - MDR
13. GROSS SITE AREA: 4.192 ACRES
14. SMALLEST LOT AREA: 25,000 SQUARE FEET
15. TOTAL NUMBER OF PROPOSED LOTS: 5
16. UTILITIES:
 - a. WATER: CITY OF PLEASANTON
 - b. SANITARY SEWER: CITY OF PLEASANTON
 - c. STORM DRAIN: CITY OF PLEASANTON
 - d. FIRE: LIVERMORE-PLEASANTON FIRE DEPARTMENT
 - e. GAS AND ELECTRIC: PACIFIC GAS AND ELECTRIC
 - f. TELEPHONE: AT&T
 - g. CABLE TV: COMCAST
17. TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AERIAL TOPOGRAPHIC SURVEY PREPARED IN SEPTEMBER, 2014.
18. THIS PROPERTY LIES WITHIN ZONE X, OTHER AREAS (AREAS DEEMED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOOD PLAN), & ZONE AE (AREAS OF 1% ANNUAL CHANCE FLOOD WITH KNOWN BASE FLOOD ELEVATION) AS SHOWN IN FLOOD INSURANCE RATE MAP, COMMUNITY MAP NO. 0600103046, DATED AUGUST 1, 2009.
19. THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS.

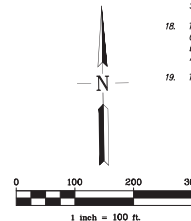
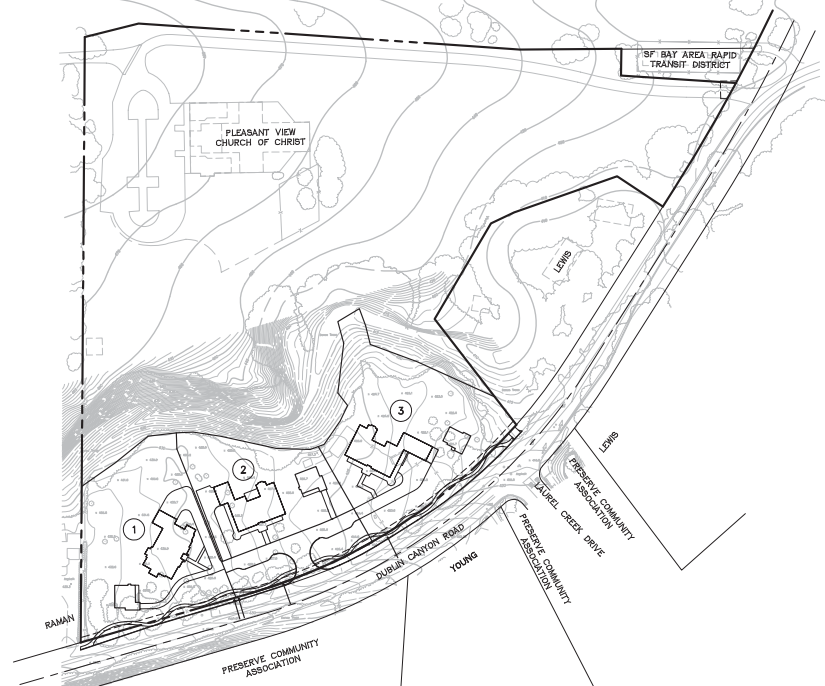
PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	CENTER LINE	---
---	MATCH LINE	---
---	RETAINING WALL	---
---	EASEMENT LINE	---
---	STORM DRAIN	EX 12"30
---	SANITARY SEWER	EX 8"35
---	WATER	EX 8"38
---	RECYCLED WATER	EX 8"38
---	CURB & GUTTER	EX FC
---	SIDEWALK	---
---	OVERHEAD UTILITIES	---
---	JOINT POLE	---
---	EARTH OR GRASS SWALE	---
---	CONCRETE DITCH	---
---	STORM WATER INLET	---
---	FIELD INLET	---
---	AREA DRAIN	---
---	DIRECTION OF FLOW	---
---	MANHOLE	---
---	FIRE HYDRANT	---
---	BLOW OFF	---
---	SANITARY SEWER CLEAN OUT	---
---	WATER VALVE	---
---	STREET LIGHT	---
---	MONUMENT	---
---	TRAFFIC SIGN	---
---	STREET NAME SIGN	---
---	FENCE	---
---	BARRICADE	---
---	SLOPE	---
---	HANDICAP RAMP	---
---	SAVE TREE	1847
---	REMOVE TREE	1848
---	CONTOUR ELEVATIONS	---
---	SPOT ELEVATION	525.2
---	ASPHALT PAVEMENT	---
---	BIORETENTION AREA	---
---	LIFT STATION	---
---	DIRECTION OF FUTURE FLOW	---
---	AB MAINTENANCE ROAD	---
---	LIGHT CLASS RIP RAP	---

ABBREVIATIONS

AB	AGGREGATE BASE	LE	LANDSCAPE EASEMENT
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	ME	MAINTENANCE EASEMENT
BC	BEGINNING OF CURVE	MH	MANHOLE
BFE	BASE FLOOD ELEVATION (FEMA)	OH	OVERHEAD UTILITIES
BVC	BEGIN VERTICAL CURVE	PAE	PRIVATE ACCESS EASEMENT
BO	BLOW OFF	PCC	POINT OF COMPOUND CURVE
BW	BOTTOM OF WALL	PL	PROPERTY LINE
CL	CENTER LINE	PRC	POINT OF REVERSE CURVE
CMP	CORRUGATED METAL PIPE	PSC	PUBLIC SERVICE EASEMENT
CP	CENTER POINT	PVC	POLYVINYL CHLORIDE PIPE
DWY	DRIVEWAY	PVI	POINT OF VERTICAL INTERSECTION
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
EC	END OF CURVE	RET	CURB RETURN
ESMT	EASEMENT	RW	RIGHT OF WAY
EVC	END VERTICAL CURVE	SDE	STORM DRAIN EASEMENT (PUBLIC)
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SNS	STREET NAME SIGN
EX	EXISTING	SO	SIDE OPENING INVERT
FC	FACE OF CURB	SSCO	SANITARY SEWER CLEAN OUT
FG	FINISHED GRADE	STA	STATION
FN	FIRE HYDRANT	SW	STORM WATER INLET
FI	FIELD INLET	SWK	SIDEWALK
FB	FRONT BREAK	TC	TOP OF CURB
GR	GRATE	TW	TOP OF WALL
HP	HIGH POINT	WM	WATER METER
INV	INVERT ELEVATION	VC	VERTICAL CURVE
JP	JOINT POLE	VCP	VITRIFIED CLAY PIPE

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PRELIMINARY LOTTING PLAN
3	PRELIMINARY GRADING AND UTILITY PLAN
4	PRELIMINARY STORMWATER TREATMENT PLAN



RJA
RUGGERI-JENSEN-AZAR
ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94568
PHONE: (925) 227-9100 FAX: (925) 227-9300



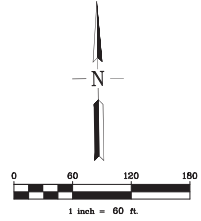
SITE SUMMARY

NUMBER OF NEW UNITS:	3
CHURCH PARCEL ACRES	11.9 ACRES
DEVELOPED ACRES (LOTS AND STREETS)	4.3 ACRES
TOTAL ACRES	16.2 ACRES
PARKING DRIVEWAYS (2 MINIMUM PER NEW RESIDENCE)	6
GARAGE (2 PER NEW RESIDENCE)	9
TOTAL	15 TOTAL

LOT TABLE AREA

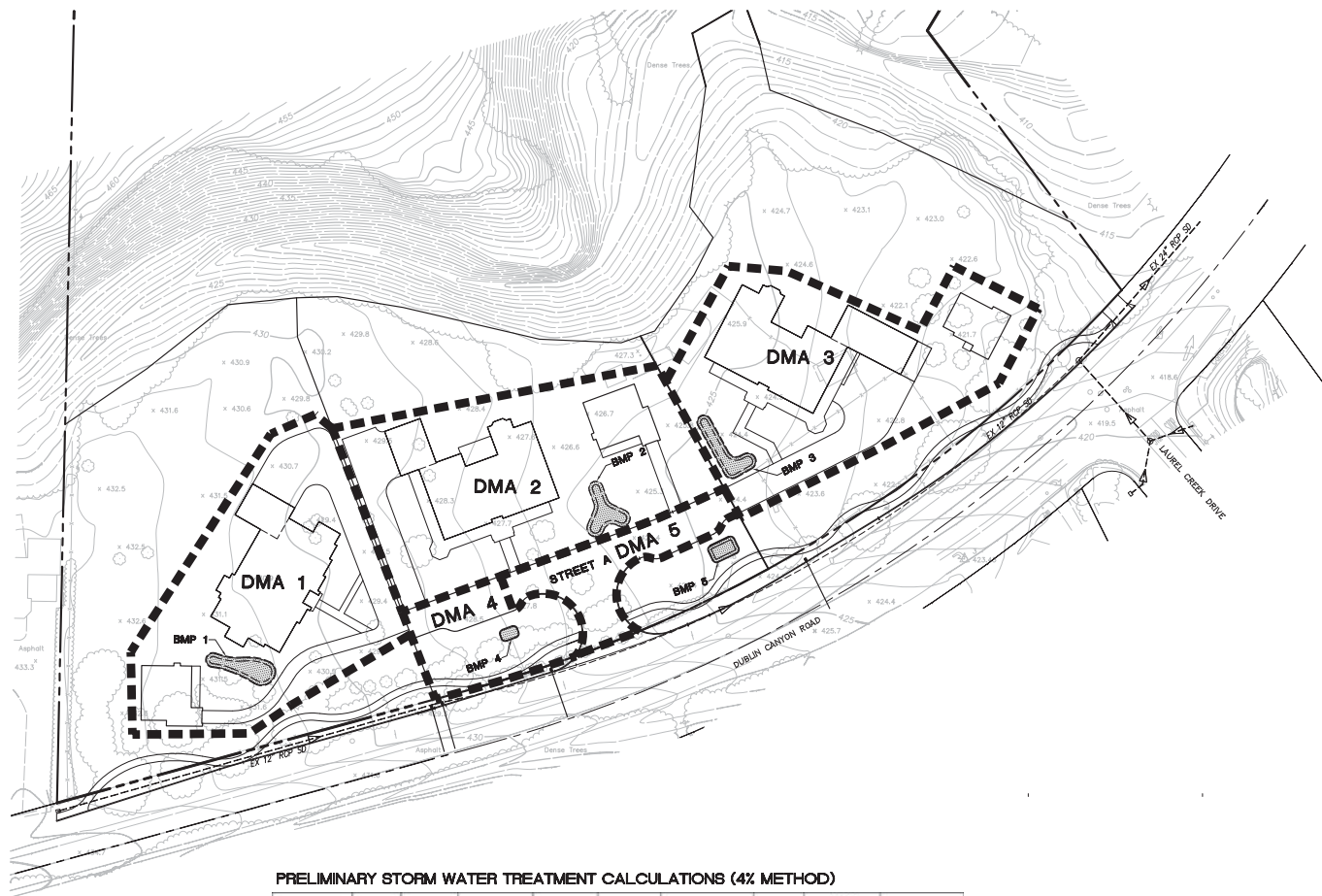
LOT	GROSS LOT SIZE (SF)	NET LOT SIZE (SF)
1	62,686	62,686
2	57,839	50,356
3	67,226	67,226

PRELIMINARY LOTTING PLAN
PLEASANT VIEW CHURCH
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA




RUGGERI-JENSEN-AZAR
 ENGINEERS • PLANNERS • SURVEYORS
 4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
 PHONE: (925) 227-9100 FAX: (925) 227-9300

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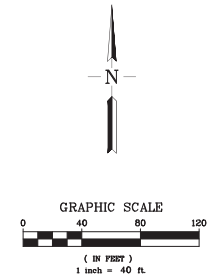
LEGEND:
 ■■■■■ DRAINAGE AREA BOUNDARY
 ▨▨▨▨ BIO-RETENTION AREA

- NOTES:**
- THE CALCULATIONS ARE BASED ON THE ALAMEDA COUNTYWIDE CLEAN WATER PROGRAM, C3 STORMWATER TECHNICAL GUIDANCE, DATED MAY 14, 2013 AND THE FOLLOWING CRITERIA:
 - a. 0.2 INCHES/HOUR RAINFALL INTENSITY ON 100% IMPERVIOUS AREA.
 - b. SOI FOR TREATMENT MEDIUM WITH A 5 INCHES/HOUR INFILTRATION RATE.
 - c. A TREATMENT MEDIUM OF 0.04 SIZING FACTOR.
 - SIZING FACTOR OF 0.04 NOTED ABOVE IS CALCULATED BASED ON THE FOLLOWING CRITERIA:
 - a. SIZING FACTOR=(0.2 IN/HR)/(5 IN/HR)=0.04
 - TOTAL POST DEVELOPMENT IMPERVIOUS SURFACE = 45,913 S.F. IMPERVIOUS SURFACE TREATED BY BELOW GRADE FLOW-THROUGH MEDIUM = 45,913 S.F. PERCENT OF POST DEVELOPMENT IMPERVIOUS SURFACE TREATED = 100%
 - ALL STORM DRAIN INLETS WITHIN THE DEVELOPMENT IN BOTH PUBLIC AND PRIVATE LOTS SHALL BE INSTALLED WITH FULL CAPTURE TRASH DEVICES.

PRELIMINARY STORM WATER TREATMENT CALCULATIONS (4% METHOD)

AREA ID	AREA OF ASPHALT (SF)	AREA OF CONCRETE (SF)	AREA OF LANDSCAPING (SF)	AREA OF ROOF (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	BMP USED	BMP ID	4% MIN BIORETENTION AREA REQUIRED (SF)	BIORETENTION AREA PROVIDED (SF)
DMA 1	0	5,683	13,089	7,493	14,485	BIORETENTION	BMP 1	579	580
DMA 2	0	3,234	13,979	8,750	13,562	BIORETENTION	BMP 2	543	545
DMA 3	0	4,504	13,187	8,766	14,589	BIORETENTION	BMP 3	584	585
DMA 4	1,752	0	5,089	0	2,261	BIORETENTION	BMP 4	90	90
DMA 5	5,730	0	0	0	5,730	BIORETENTION	BMP 5	229	230

TOTAL IMPERVIOUS AREA = 45,913 SF
 NOTE: BIORETENTION TREATMENT AREAS WERE DESIGNED USING THE 4% RULE ACCORDING TO ALAMEDA COUNTY'S C.3 STORMWATER TECHNICAL GUIDANCE DATED MAY 14, 2013.



PRELIMINARY STORMWATER TREATMENT PLAN
PLEASANT VIEW CHURCH
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

RJA
RUGGERI-JENSEN-AZAR
 ENGINEERS • PLANNERS • SURVEYORS
 4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
 PHONE: (925) 227-9100 FAX: (925) 227-9300

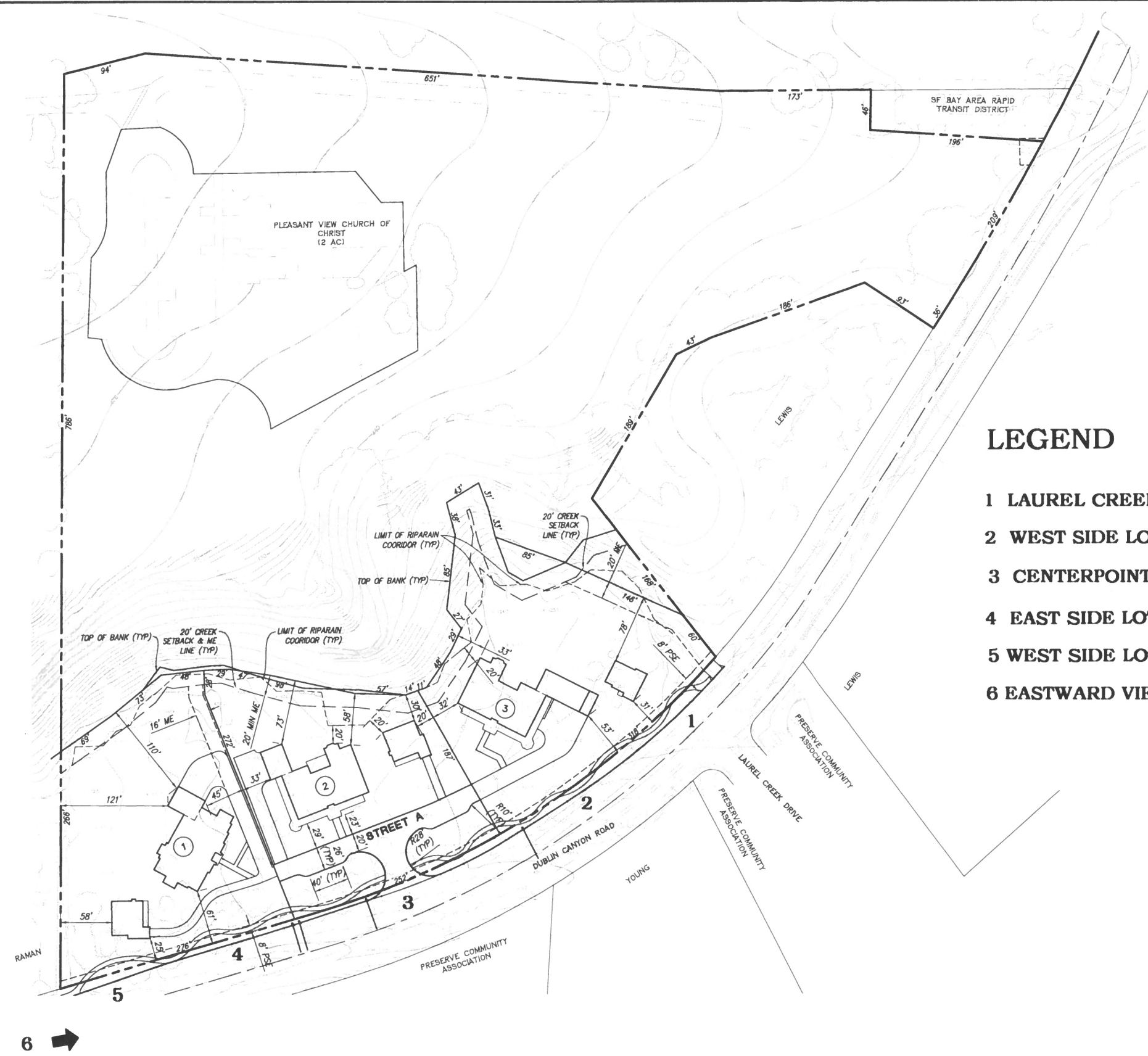
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SITE SUMMARY

NUMBER OF NEW UNITS:	3
CHURCH PARCEL ACRES	11.9 ACRES
DEVELOPED ACRES (LOTS AND STREETS)	4.3 ACRES
TOTAL ACRES	16.2 ACRES
PARKING	
DRIVEWAYS (2 MINIMUM PER NEW RESIDENCE)	6
GARAGE (2 PER NEW RESIDENCE)	9
TOTAL	15 TOTAL

LOT TABLE AREA

LOT	GROSS LOT SIZE (SF)	NET LOT SIZE (SF)
1	62,686	62,686
2	57,839	50,356
3	67,226	67,226

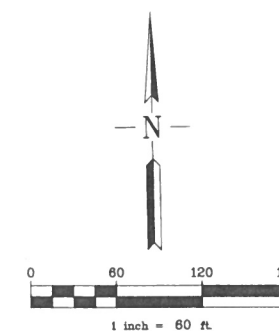


LEGEND

- 1 LAUREL CREEK INTERSECTION
- 2 WEST SIDE LOT 3
- 3 CENTERPOINT OF LOT 2
- 4 EAST SIDE LOT 1
- 5 WEST SIDE LOT 1
- 6 EASTWARD VIEW OF BOTH SIDES DUBLIN CANYON ROAD

**PRELIMINARY LOTTING PLAN
PLEASANT VIEW CHURCH**

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



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**FOR VISUAL SCALE PURPOSES
LANDSCAPE NOT SHOWN**







2





3





4



5





6