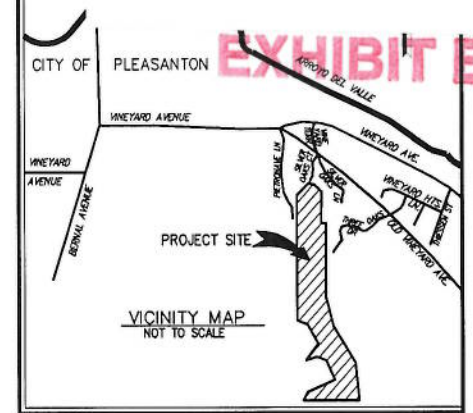
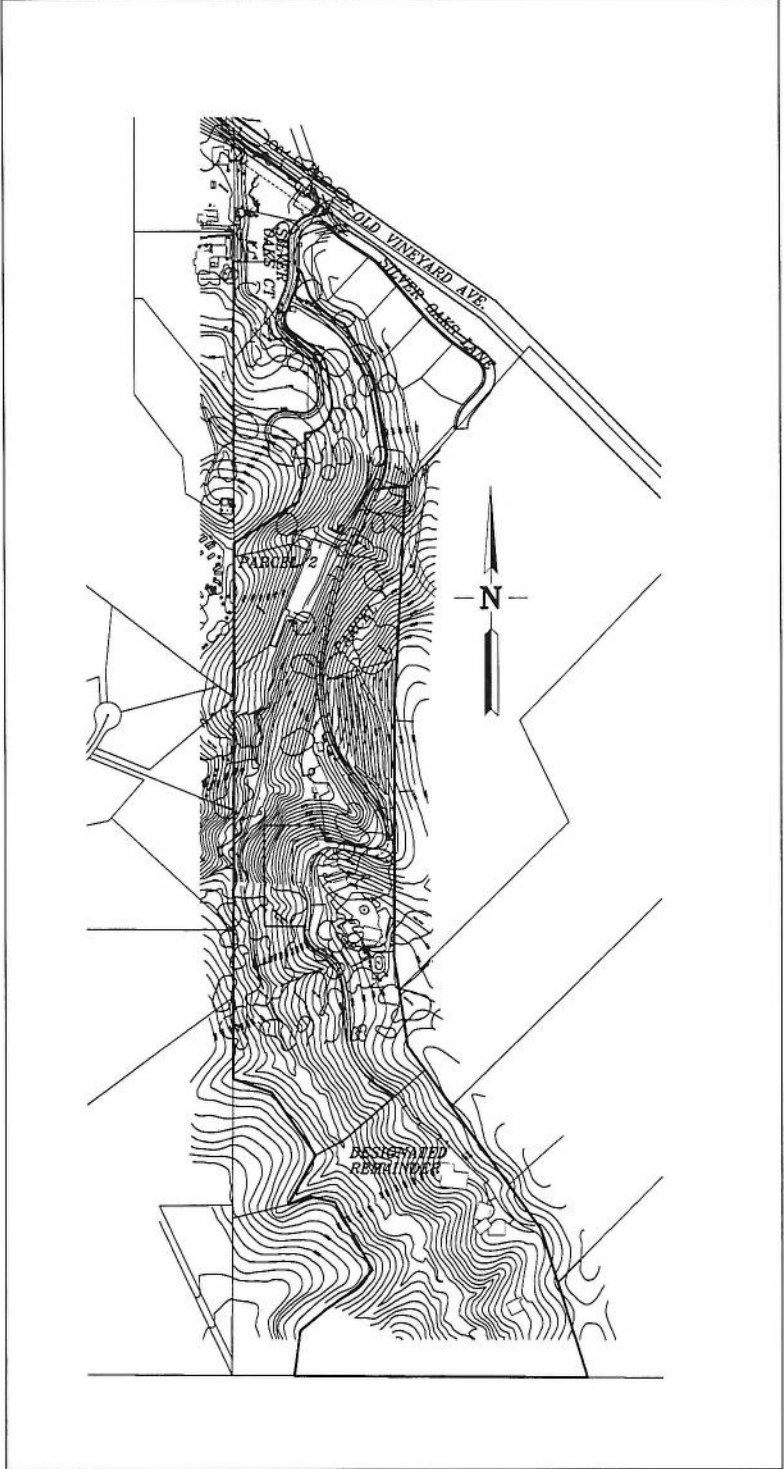


EXHIBIT B



PLANNED UNIT DEVELOPMENT
BERLOGAR PROPERTY

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



LOCATION MAP
NOT TO SCALE

BENCHMARK

BRASS DISK LOCATED 0.5 MILES NORTHEAST ALONG THE SOUTHERN PACIFIC COMPANY RAILROAD FROM THE CROSSING OF NEAL STREET AT PLEASANTON, ALONG PLEASANTON-LIVERMORE ROAD, AT A CONCRETE HIGHWAY BRIDGE OVER ARROYO VALLE, IN THE TOP THE SOUTHWEST END OF THE NORTHWEST CONCRETE SIDEWALK, 18 FEET NORTHWEST OF THE CENTER LINE OF THE ROAD, 0.6 FOOT SOUTHWEST OF THE NORTHWEST END OF A STEEL HAND RAIL, AND ABOUT 1 FOOT HIGHER THAN THE ROAD.
ELEVATION = 361.910

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
BC	BEGINNING OF CURVE
BVC	BEGIN VERTICAL CURVE
BO	BLOW OFF
BW	BOTTOM OF WALL
CL	CENTER LINE
CMP	CORRUGATED METAL PIPE
CP	CENTER POINT
CS	CURB STATION
DWY	DRIVEWAY
DIP	DUCTILE IRON PIPE
EC	END OF CURVE
EVC	END VERTICAL CURVE
EVA	EMERGENCY VEHICLE ACCESS
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
FC	FACE OF CURB
FG	FINISHED GRADE
FI	FIELD INLET
FL	FLOW LINE
GB	GRADE BREAK
GR	GRATE
HP	HIGH POINT
INV	INVERT ELEVATION
LP	LOW POINT
MH	MANHOLE
PAE	PRIVATE ACCESS EASEMENT
PL	PROPERTY LINE
PSE	PUBLIC SERVICE EASEMENT
PUE	PRIVATE UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE PIPE
PI	POINT OF VERTICAL INTERSECTION
RCP	REINFORCED CONCRETE PIPE
RW	RIGHT OF WAY
SDE	STORM DRAIN EASEMENT
STA	STATION
SWI	STORM WATER INLET
SWK	SIDEWALK
TC	TOP OF CURB
TRC	TOP OF ROLLED CURB
TW	TOP OF WALL
WM	WATER METER
VC	VERTICAL CURVE
U.O.N.	UNLESS OTHERWISE NOTED

LEGEND

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	CENTER LINE	---
---	MATCH LINE	---
---	RETAINING WALL	---
---	EASEMENT LINE	---
---	12" SD STORM DRAIN	---
---	8" SS SANITARY SEWER	---
---	8" W WATER	---
---	CURB & GUTTER	---
■	STORM WATER INLET	□
■	FIELD INLET	□
▼	DIRECTION OF FLOW	▽
○	MANHOLE	○
⊕	FIRE HYDRANT	⊕
○	BLOW OFF	○
○	SANITARY SEWER CLEAN OUT	○
⊕	STREET LIGHT	⊕
---	SLOPE	---
○	EXIST. TREE (TO REMAIN)	○ 20" OAK
---	CONTOUR ELEVATIONS	---
---	SPOT ELEVATION	---

SHEET INDEX

- COVER SHEET
- PUD SITE PLAN
- UTILITY PLAN
- GRADING PLAN

NOTES

- OWNER: FRANK BERLOGAR TRUST
5587 SUNOL BOULEVARD
PLEASANTON, CA 94566
CONTACT: FRANK BERLOGAR
- CIVIL ENGINEER: ALEXANDER & ASSOCIATES
147 OLD BERNAL DRIVE, SUITE 10
PLEASANTON, CA 94566
(925) 462-2255
CONTACT: DARRYL ALEXANDER
- ASSESSORS PARCEL NUMBER: 946-1350-025-03
- CURRENT USE: HILLSIDE RESIDENTIAL
- EXISTING ZONING: PLANNED UNIT DEVELOPMENT -
- PROPOSED ZONING: PLANNED UNIT DEVELOPMENT -
- TOTAL NUMBER OF UNITS: 2 UNITS PLUS 1 EXISTING UNITS (3 UNITS TOTAL)
- TOTAL SITE AREA: 34.3± ACRES
- LOT SIZE: PARCEL 1 - 3.88± ACRES
PARCEL 2 - 14.56± ACRES
REMAINDER - 15.86± ACRES
- UTILITIES:
WATER: CITY OF PLEASANTON
SANITARY SEWER: CITY OF PLEASANTON
STORM DRAIN: CITY OF PLEASANTON
FIRE: LIVERMORE-PLEASANTON FIRE DEPARTMENT
GAS AND ELECTRIC: PACIFIC GAS AND ELECTRIC
TELEPHONE: AT&T
CABLE TV: COMCAST
- TOPOGRAPHIC INFORMATION SHOWN IS BASED ON AERIAL SURVEY PREPARED BY: AERO GEODETIC CORPORATION, DATED MARCH 2015
- THIS PROPERTY LIES WITHIN FLOOD ZONE "X" (AREAS OF MINIMAL FLOODING) AS SHOWN IN FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO 060001 0337 G DATED AUGUST 3, 2009
- ALL EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF PLEASANTON.

GRADING QUANTITIES

3,800 CU. YD. CUT
23,100 CU. YD. IMPORT

REV	DATE	DESCRIPTION	APPROVAL

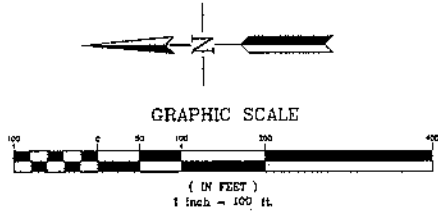
PROJECT NAME	

ALEXANDER & ASSOCIATES INC.
SURVEYORS ENGINEERS PLANNERS
147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 462-2255

DRAWN BY: SL
DESIGNED BY: DA
CHECKED BY: DA
SCALE: AS SHOWN

SHEET TITLE
**PLANNED UNIT DEVELOPMENT
COVER SHEET
BERLOGAR PROPERTY
CITY OF PLEASANTON CALIFORNIA**

JOB NO.: 15223	SHEET NO.: 1
DISK NO.:	
FILE NO.: 15223	
DATE: FEB 16, 2016	OF 4 SHEETS



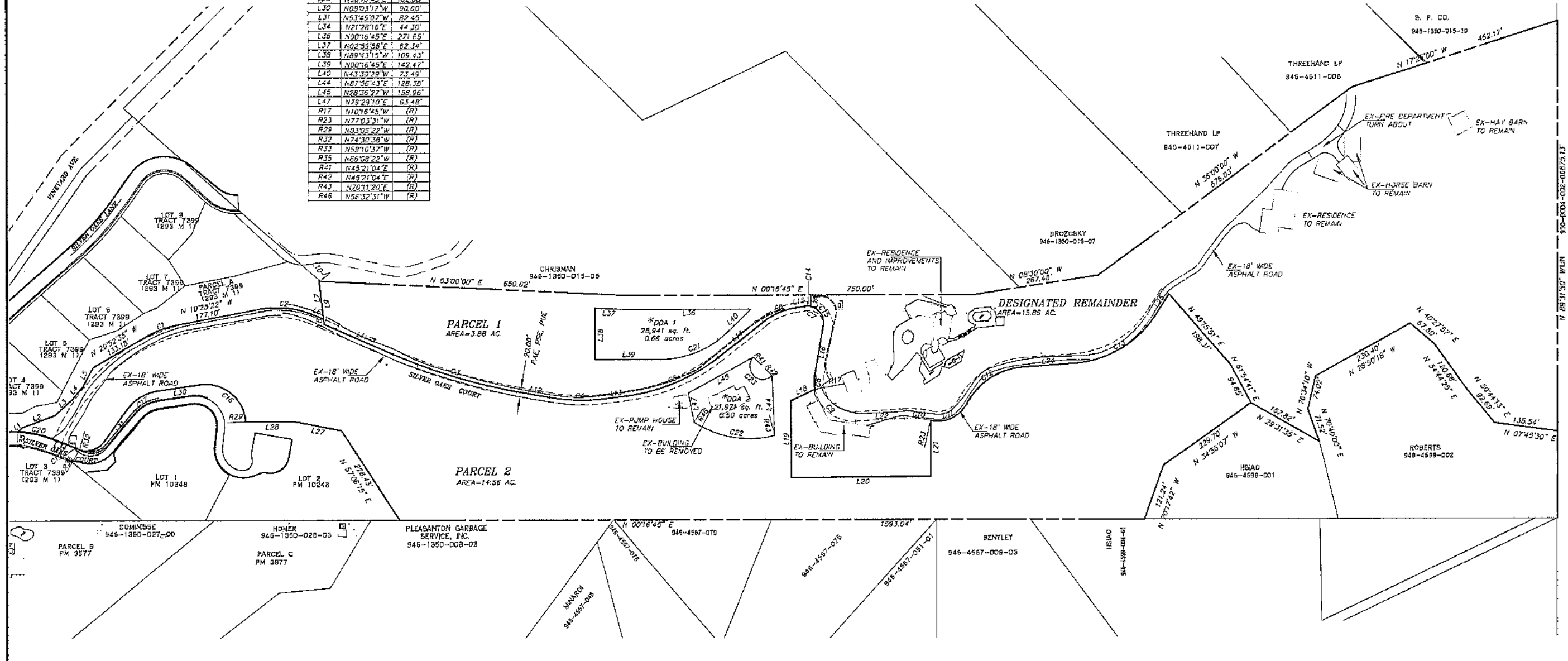
BASIS OF BEARINGS
PARCEL MAP 8070 (274 PM 66)

NOTE:
THE EXISTING ACCESS EASEMENT FILED WITH
PARCEL MAP 8070 (274 PM 66) TO BE ABANDONED
WITH ACCEPTANCE OF THIS MAP.

* DESIGNATED DEVELOPMENT
AREA (DDA)

LINE	BEARING	LENGTH
L1	N42°51'24"W	10.36'
L2	N20°00'57"W	75.64'
L3	N42°04'58"W	48.14'
L4	N50°37'54"W	39.81'
L5	N61°20'26"W	45.12'
L6	N71°47'01"E	27.65'
L7	N83°43'38"E	82.95'
L8	N83°43'38"E	11.51'
L9	N83°43'38"E	94.46'
L10	N41°35'07"E	3.89'
L11	N23°48'03"E	162.40'
L12	N107°18'47"E	64.43'
L13	N02°03'42"W	44.42'
L14	N37°40'20"W	124.10'
L15	N08°51'13"W	20.38'
L16	N78°53'10"W	108.56'
L18	N25°22'59"W	57.00'
L19	N90°00'00"W	164.00'
L20	N00°11'34"W	288.39'
L21	N90°00'00"W	119.29'
L22	N03°02'47"W	104.51'
L24	N03°50'16"W	110.14'
L25	N56°20'22"W	55.90'
L26	N89°43'15"W	24.64'
L27	N11°18'01"E	104.62'
L28	N00°16'45"E	102.08'
L30	N08°01'17"W	90.00'
L31	N53°45'07"W	82.45'
L34	N21°28'16"E	44.30'
L36	N00°16'45"E	271.65'
L37	N02°39'58"E	62.34'
L38	N89°43'15"W	109.43'
L39	N00°16'45"E	142.47'
L40	N43°37'29"W	23.49'
L44	N87°56'43"E	128.58'
L45	N28°15'27"W	158.96'
L47	N78°29'10"E	63.48'
R17	N10°16'45"W (R)	
R23	N77°03'31"W (R)	
R28	N03°05'22"W (R)	
R32	N74°30'39"W (R)	
R33	N59°10'37"W (R)	
R35	N66°08'22"W (R)	
R41	N45°21'04"E (R)	
R42	N45°21'04"E (R)	
R43	N20°11'20"E (R)	
R46	N98°32'31"W (R)	

CURVE	RADIUS	DELTA	LENGTH
C7	205.00'	19°27'12"	69.60'
C2	203.00'	32°12'23"	114.11'
C3	1200.00'	13°29'16"	282.49'
C4	450.00'	12°22'29"	121.30'
C5	450.00'	30°26'38"	213.20'
C5	150.00'	28°43'07"	75.45'
C7	35.00'	106°58'03"	66.56'
C8	84.00'	20°23'35"	29.90'
C9	84.00'	82°46'01"	121.34'
C10	200.00'	15°52'16"	55.81'
C11	70.00'	74°24'13"	90.80'
C12	150.00'	57°17'38"	150.87'
C13	225.00'	52°30'17"	206.19'
C14	35.00'	21°31'07"	13.14'
C15	35.00'	87°26'56"	53.42'
C16	85.00'	94°37'55"	140.88'
C17	100.00'	45°41'51"	79.76'
C18	58.00'	63°14'28"	60.42'
C19	117.00'	9°21'07"	19.10'
C20	242.00'	17°35'38"	24.38'
C21	260.00'	43°47'15"	152.85'
C22	217.85'	47°16'03"	179.23'
C23	28.13'	100°00'00"	88.37'



REV	DATE	DESCRIPTION	APPROVAL

PROJECT NAME

COMMISSION 945-1350-027-00

HOMEK 946-1350-028-03

PARCEL C PM 3577

PLEASANTON GARBAGE SERVICE, INC. 946-1350-028-02

MANADA 946-4597-008

CHRISMAN 946-1350-015-06

THREELAND LP 846-4611-008

THREELAND LP 846-4011-007

BROZCZYK 946-1350-015-07

ROBERTS 946-4599-002

HBIAD 946-4599-001

BENTLEY 946-4567-009-03

HBIAD 946-4599-004-01

ALEXANDER & ASSOCIATES INC.

SURVEYORS
ENGINEERS
PLANNERS

147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 462-2256

DRAWN BY: SL

DESIGNED BY:

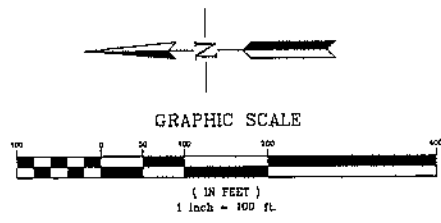
CHECKED BY: DA

SCALE: AS SHOWN

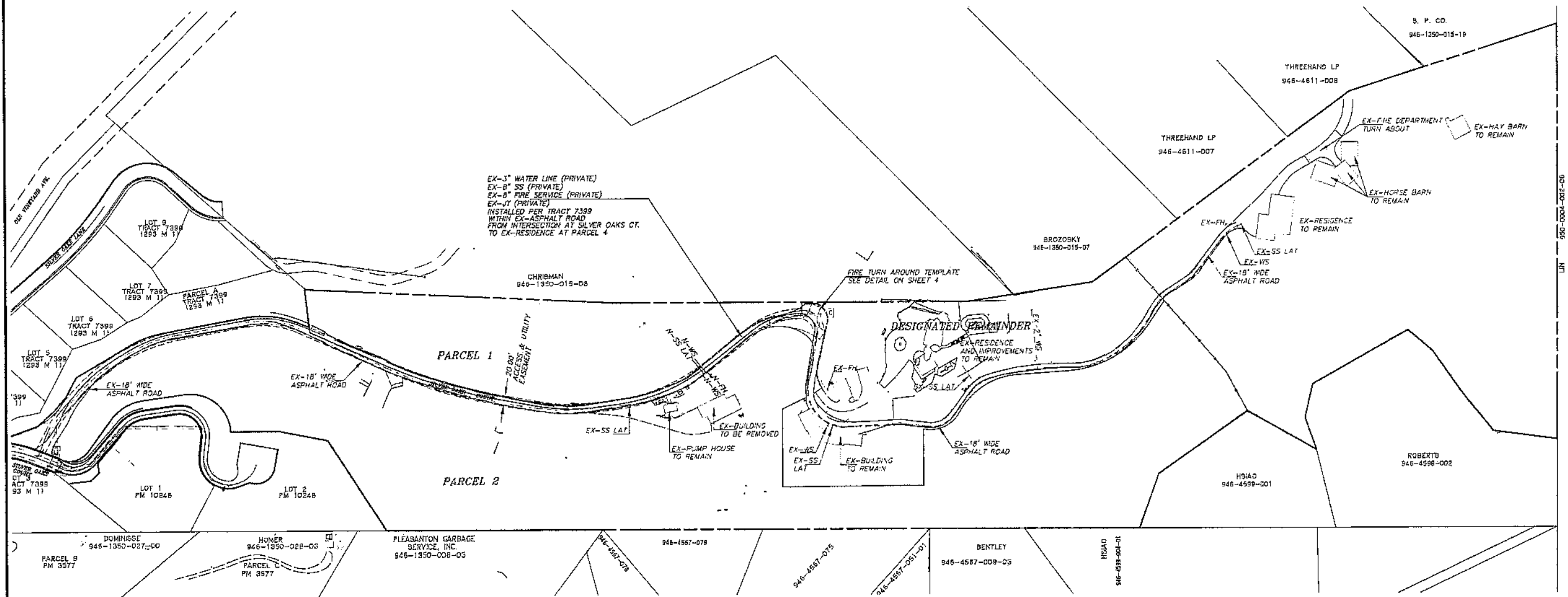
SHEET TITLE

**PLANNED UNIT DEVELOPMENT
SITE PLAN
BERLOGAR PROPERTY
CITY OF PLEASANTON CALIFORNIA**

JOB NO. 15223	SHEET NO. 2
DISK NO. 1	OF 4 SHEETS
FILE NO. 15223	
DATE: FEB 16, 2016	



BASIS OF BEARINGS
PARCEL MAP 8070 (274 PM 86)



REV	DATE	DESCRIPTION	APPROVAL

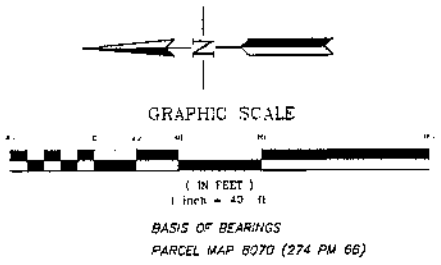
PROJECT NAME

ALEXANDER & ASSOCIATES INC.
SURVEYORS ENGINEERS PLANNERS
147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 462-2255

DRAWN BY: SL
DESIGNED BY: DA
CHECKED BY: DA
SCALE: AS SHOWN

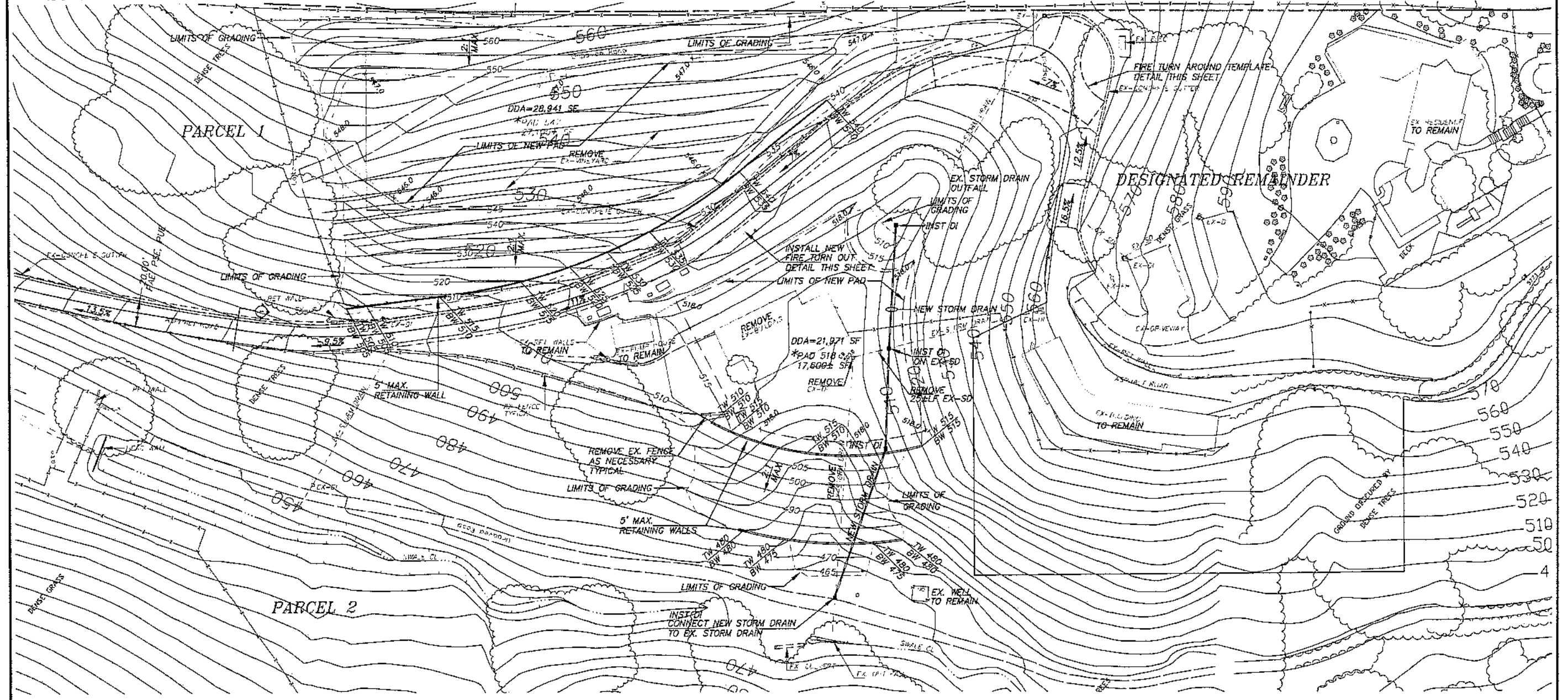
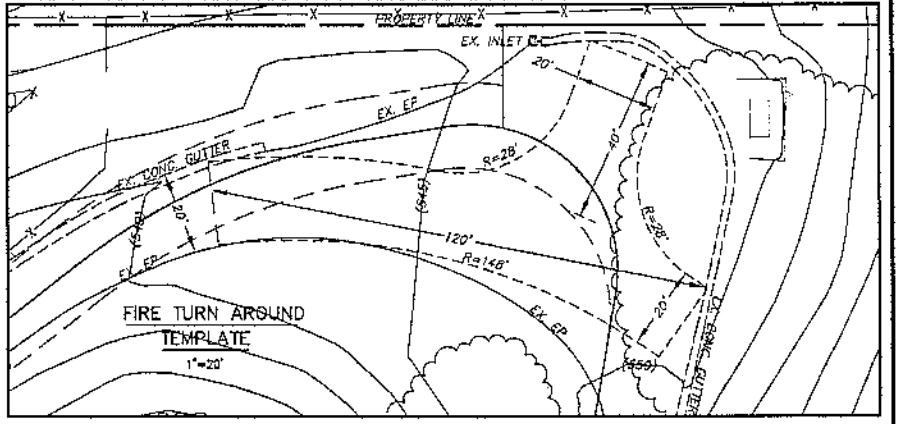
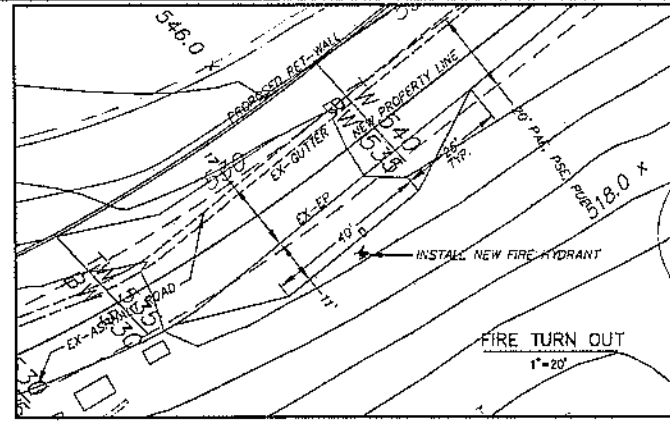
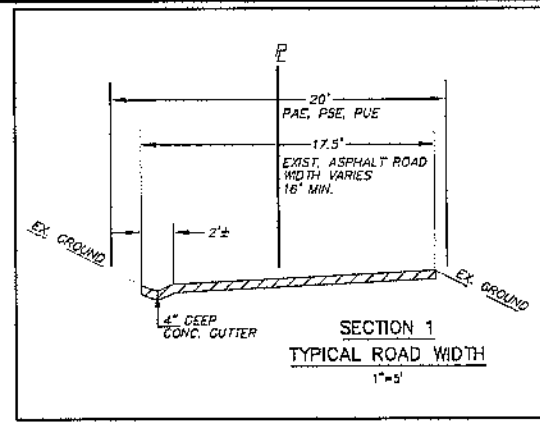
SHEET TITLE
**PLANNED UNIT DEVELOPMENT
UTILITY PLAN
BERLOGAR PROPERTY
CITY OF PLEASANTON CALIFORNIA**

JOB NO.: 15223
DISK NO.:
FILE NO.: 15223
DATE: FEB 16, 2016
SHEET NO.: 3
OF 4 SHEETS



GRADING QUANTITIES
 3,800 CU. YD. CUT
 23,100 CU. YD. IMPORT

*FINISHED PAD ELEVATIONS MAY BE SLIGHTLY LOWER
 BASED UPON THE AVAILABILITY OF FILL MATERIAL
 GENERATED BY THE GRADING FOR PM 10248



NO.	DATE	DESCRIPTION	APPROVAL

PROJECT NAME

ALEXANDER & ASSOCIATES INC.
 SURVEYORS ENGINEERS PLANNERS
 147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 462-2255

DRAWN BY: SL
 DESIGNED BY:
 CHECKED BY: DA
 SCALE: AS SHOWN

SHEET TITLE
PLANNED UNIT DEVELOPMENT GRADING PLAN
BERLOGAR PROPERTY
 CITY OF PLEASANTON CALIFORNIA

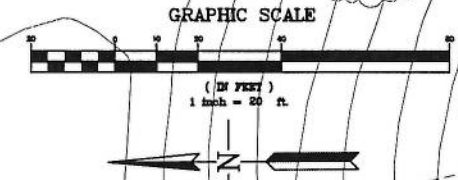
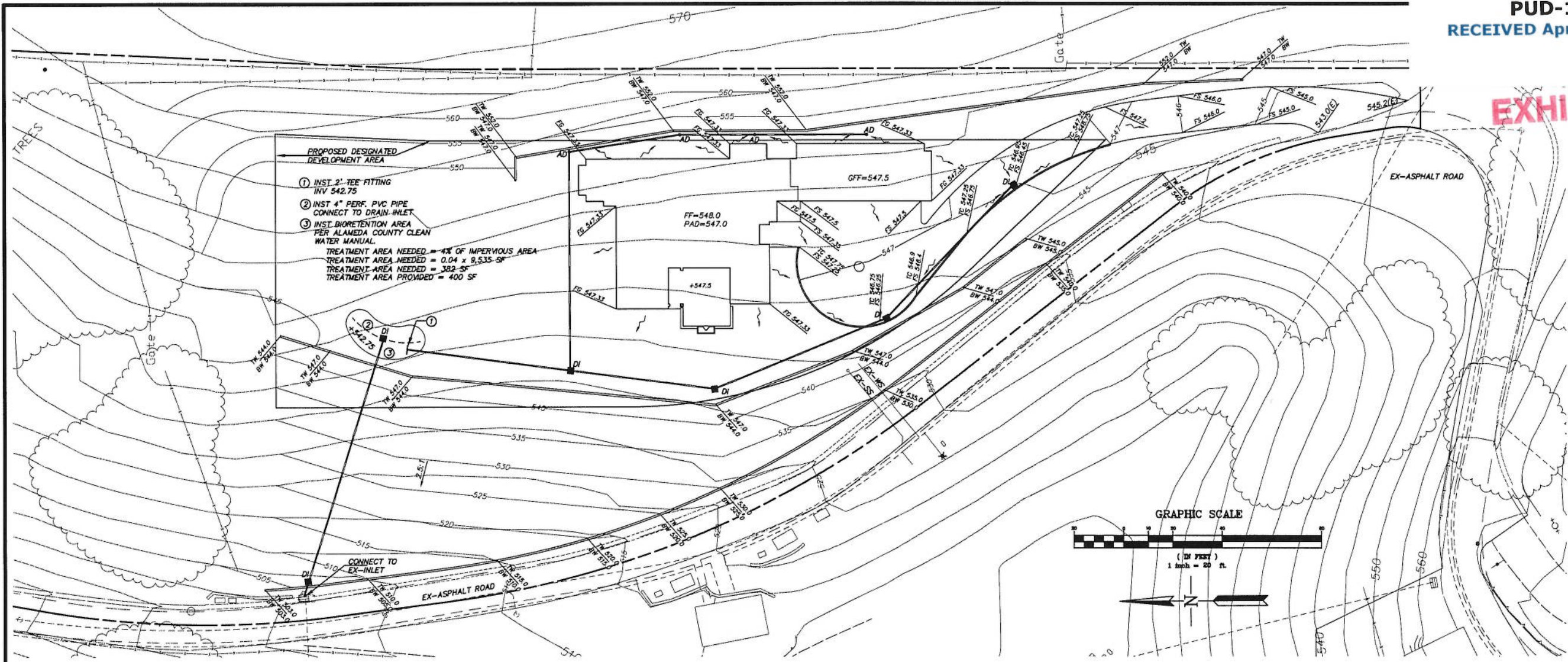
JOB NO.: 15223
 DISK NO.:
 FILE NO.: 15223
 DATE: Mar 7, 2016
 SHEET NO.: 4
 OF 4 SHEETS

**PARCEL 1 SILVER OAKS COURT PLEASANTON, CA
 EXTERIOR COLORS**

ROOFING: Concrete S-Tile	BORAL BARCELONA 900 / BOOSTED BARCELONA CALIFORNIA MISSION BLEND	
STUCCO BODY:	KELLY-MOORE OW256-1 ARIZONA HEAT	
TRIM 1: Eaves & Fascia Rafter Tails & Corbels at Gables Garage Door, Window & Door Trim	KELLY-MOORE KMA72-5 BARNWOOD	
TRIM 2: Columns/Posts Entry Door Trim	ARCASTONE CHAMPAGNE (30) PITTED & HAND-STONED	
SHUTTERS:	KELLY MOORE HLS4230-5 ARTISAN TILE	
METAL ACCENTS:	POWDER COATING SANDCAST BRONZE CS3020	
GUTTERS:	MODERN MASTERS ENGLISH BROWN 525 SHADE	
WINDOWS:	ANDERSEN DARK BRONZE	
ENTRY DOOR:	IRON & GLASS METAL DOOR DESERT COFFEE	

EXHIBIT B

EXHIBIT B



- GRADING NOTES:**
- ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
 - ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
 - ALL DOWNSPOUTS SHALL HAVE A MINIMUM 3" DIAMETER SOLID DRAIN LINES AND DISCHARGE TO SPLASH BLOCKS.
 - ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM 5% SLOPE FOR MINIMUM DISTANCE OF 5 FEET.
 - SURFACE WATER SWALES SHALL HAVE A 1% MINIMUM SLOPE AND BE CONNECTED TO AREA DRAINS.
 - AREA DRAINS SHALL HAVE A MINIMUM 6 INCHES DIAMETER GRATE OPENING.
 - ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
 - ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS, NOT THROUGH THEM. ANY SUBDRAINS PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PIERS AND/OR GRADE BEAMS.
 - WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE PERFORATED LINE SHALL BE BELOW THE INVERT OF THE SOLID DRAIN LINE.
 - ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-FLEXIBLE PVC PIPE, PERFORATED PIPE SHALL BE USED FOR SUBDRAINS ONLY, 6" STORM DRAIN TO BE PVC SDR-35 OR APPROVED EQUAL. (SEE DETAILS)
 - CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
 - EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 15 IF WORK CONTINUES INTO THE RAINY SEASON.
 - THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
 - THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
 - THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPOUTS, AND DRAINAGE SWALES.

The Following (a) and (b) shall be provided to the building inspector before and foundation inspection will be performed. Item (c) shall be provided before the shear and roof inspection. Item (d) shall be provided before a frame inspection will be performed.

a. A Licensed Land Surveyor must verify building setbacks to property lines and also pad elevation(s). This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.

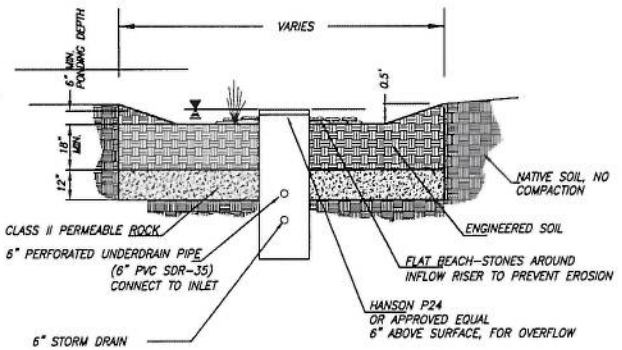
b. When Fill is employed under the building a soils engineer must verify pad compaction. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.

c. A Licensed Land Surveyor must verify finish floor elevations. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of shear and roof inspection.

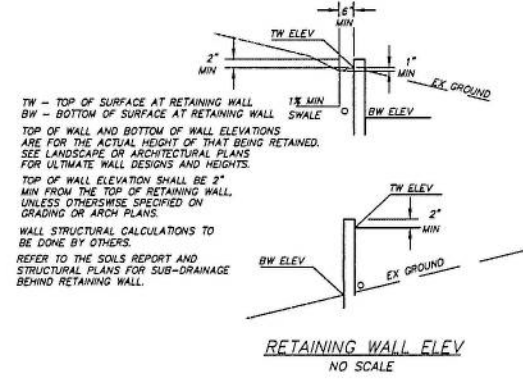
d. A Licensed Land Surveyor must verify the highest elevation of the highest point of any roof ridge of roof projection. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of frame inspection.

BASIS OF BEARINGS
THE BEARINGS SHOWN UPON THIS MAP ARE THE SAME AS SHOWN UPON PARCEL MAP 10248, CITY OF PLEASANTON.

BASIS OF ELEVATIONS
ELEVATIONS SHOWN ON THIS MAP ARE THE SAME AS SHOWN UPON THE IMPROVEMENTS PLANS FOR PM 10248.



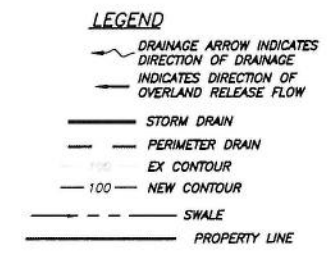
- NOTES:**
- SWALE SHALL BE GRADED TO DRAIN TOWARD OUTLET AT A MINIMUM SLOPE 0.2%
 - PLANTINGS MAY INCLUDE TREES, MINIMUM INFILTRATION RATE 5"/HR
 - ENGINEERED SOIL - USE TOPSOIL BLEND AS SPECIFIED IN THE MOST RECENT ALAMEDA COUNTY C.I. GUIDEBOOK
 - DO NOT CONNECT STORM DRAIN BELOW PIPES TO UNDERDRAIN
 - MINIMUM SLOPE MEASURED FROM TOP OF GRATE OF AREA DRAIN (OR DOWNSPOUT DRAIN) TO TOP OF EMITTER SHALL BE 1% (4" PIPE) OR 0.5% (6" PIPE)
 - MINIMUM INFLOW PIPE SLOPE SHALL BE 1% (4" PIPE) OR 0.5% (6" PIPE)
 - MINIMUM UNDERDRAIN PIPE SLOPE SHALL BE 0.5% (6" PIPE)
 - INSTALL PERFORATED PIPE WITH PERFORATIONS DOWN.
 - NO FILTER FABRIC TO BE USED.
 - INSTALL CAPPED CLEANOUTS AT UNDERDRAIN ENDS.
- BIO-RETENTION DETAIL**
NOT TO SCALE



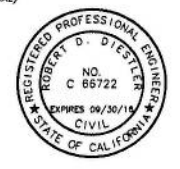
- HAUL ROUTE**
- ACCESS TO THE DEVELOPMENT BY CONSTRUCTION EQUIPMENT, MATERIAL DELIVERIES AND OTHER HEAVY LOADS SHALL BE LIMITED BY THE DEVELOPER TO THE FOLLOWING ROUTE: HWY 580 OR HWY 680 TO HWY 84 TO VINEYARD AVE. TO OLD VINEYARD AVE. TO SILVER OAKS LANE
- WORK HOURS**
- WORK HOURS SHALL BE LIMITED TO: 8:00 AM - 5:00 PM MONDAY THRU FRIDAY. NO CONSTRUCTION SHALL BE ALLOWED ON STATE AND FEDERAL HOLIDAYS OR SATURDAYS OR SUNDAYS.
- EXCESS SOIL**
- EXCESS SOIL FROM THE SITE SHALL BE OFF-HAULED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. NO TEMPORARY STOCKPILING OF DIRT ON THIS SITE SHALL OCCUR WITHOUT SPECIFIC REVIEW AND APPROVAL BY THE PLANNING DIVISION.

TOTAL IMPERVIOUS AREA = 11,205 SQ FT
IMPERVIOUS AREA DRAINING TO BIO-TREATMENT AREA = 9,535 SF

- NOTES:**
- ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, 2011 FIELD LOCATED.
 - GARAGE FLOOR TO SLOPE TOWARDS THE FRONT AT 1% MIN.
 - PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.
 - SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION
 - THIS PLAN IS INTENDED FOR GRADING AND DRAINAGE



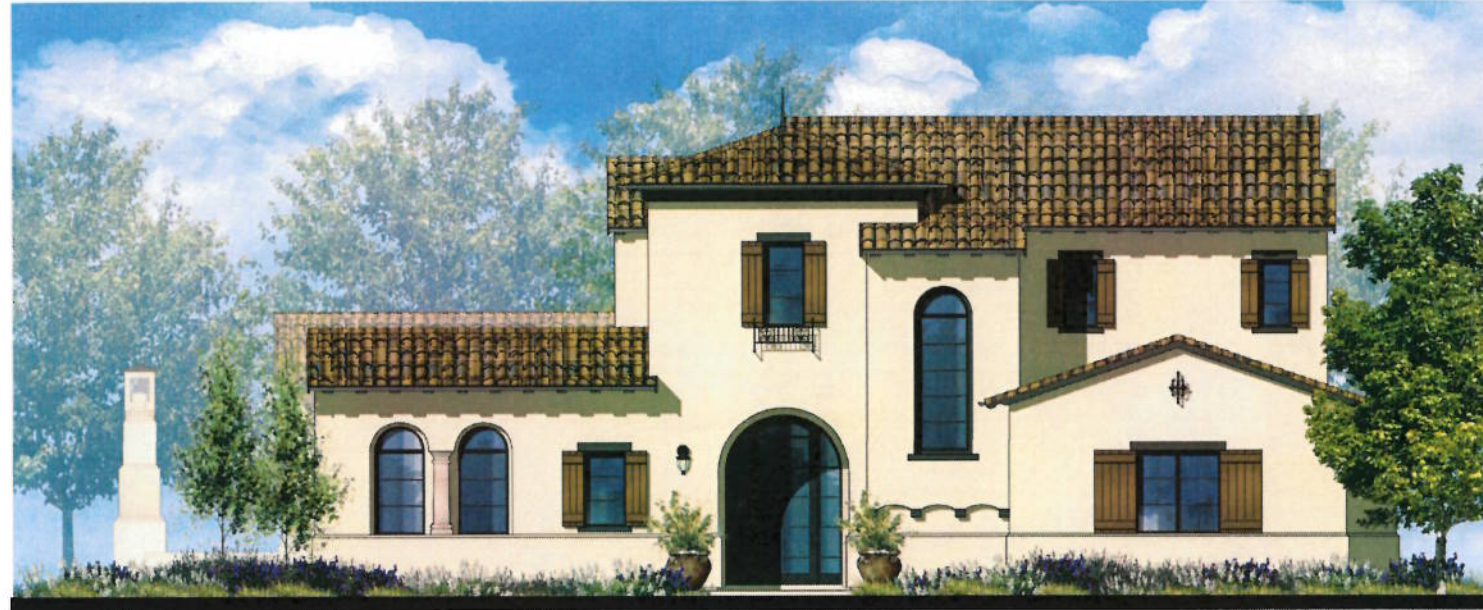
- ABBREVIATIONS**
- AD AREA DRAIN
 - CD CLEAN-OUT
 - DI DRAIN INLET (HANSON P18 OR EQUAL)
 - DS DOWN SPOUT
 - BW BOTTOM OF RETAINING WALL
 - FF FINISHED FLOOR
 - FL FINISHED FLOOR
 - FS FINISHED GRADE
 - FS FINISHED SURFACE
 - TC TOP OF CURB
 - TC TOP OF GRATE
 - HP HIGHPOINT
 - INV INVERT
 - LS LANDSCAPING
 - GF GARAGE FINISHED FLOOR
 - SWI STORM WATER INLET
 - TC TOP OF CURB
 - TC TOP OF GRATE
 - TW TOP OF RETAINING WALL



ALEXANDER & ASSOCIATES INC.
SURVEYORS ENGINEERS PLANNERS
147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 462-2550

PROJECT NAME: PRELIMINARY GRADING AND PLAN
PARCEL 1 - PUD 116
CITY OF PLEASANTON
ALAMEDA COUNTY, CALIFORNIA

DATE: 4-21-2016
SHEET NO.: C1 OF 1 SHEETS



SHEET INDEX

Front Elevation Rendering	A1
First Floor Plan	A2
Second Floor Plan	A3
Roof Plan	A4
Exterior Elevations	A5
Exterior Elevations	A6

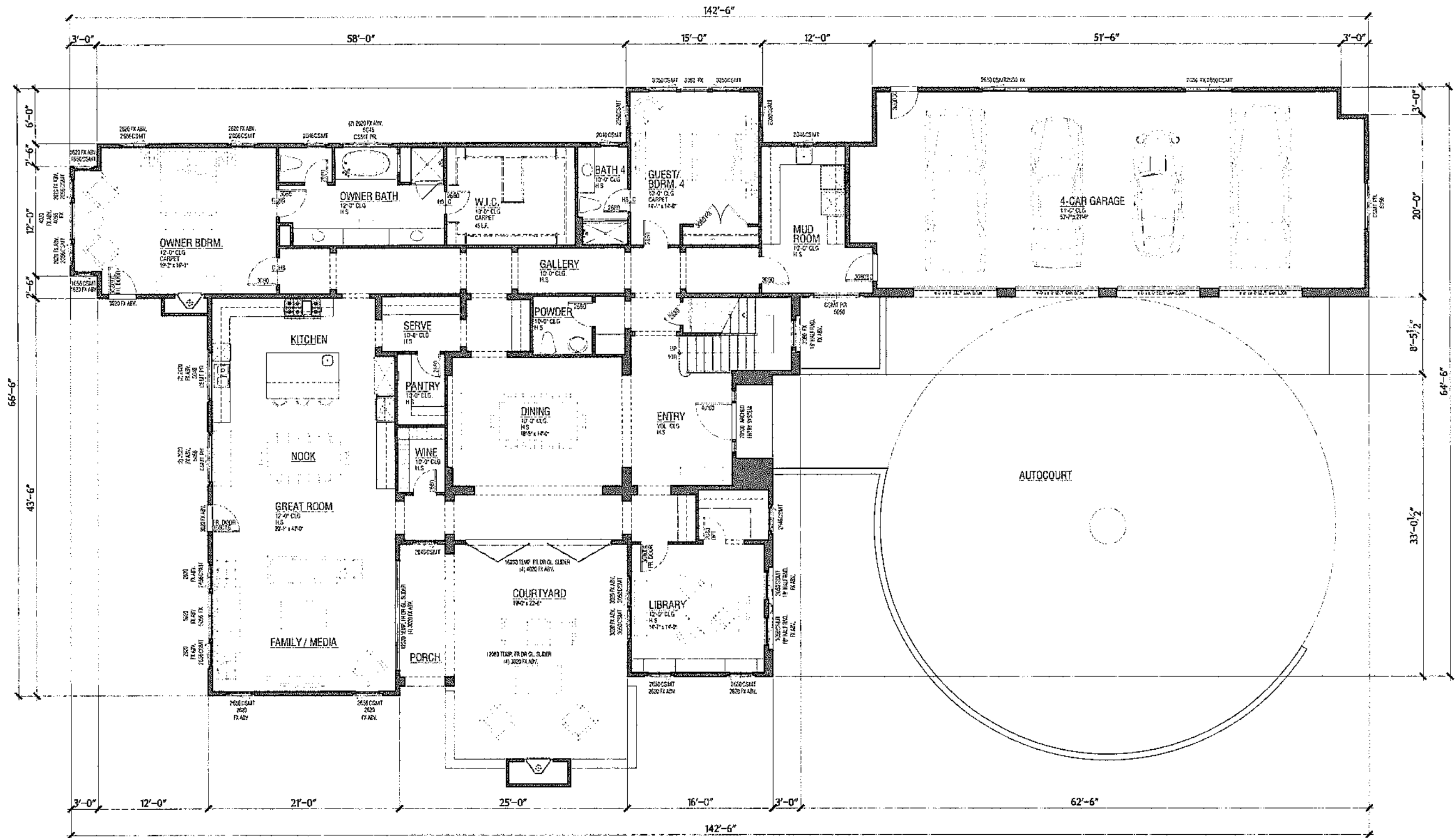
PUD 116 - Parcel 1
 Pleasanton, CA
 Frank Berlogar




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 949 292 2007 www.wheh.com Fax 949 292 1529

March 18, 2016
A1
2016023

2016023 - PUD 116 - Parcel 1 - Pleasanton, CA



Floor Plan

4,907 SF - Living Area

1,270 SF - Garage

PUD 116 - Parcel 1

Pleasanton, CA

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First Floor

3,775 SF



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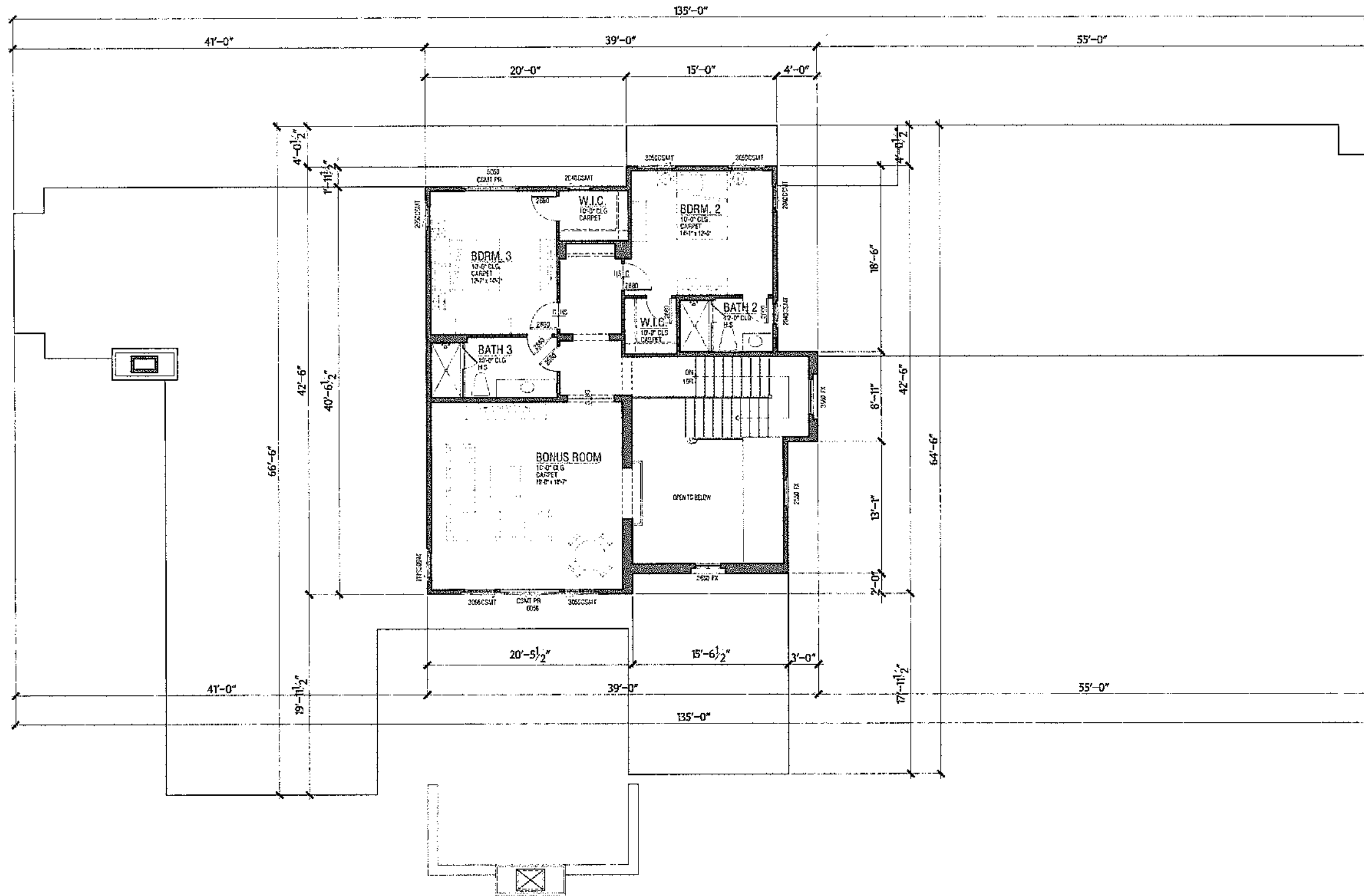

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Second Floor
1,132 SF

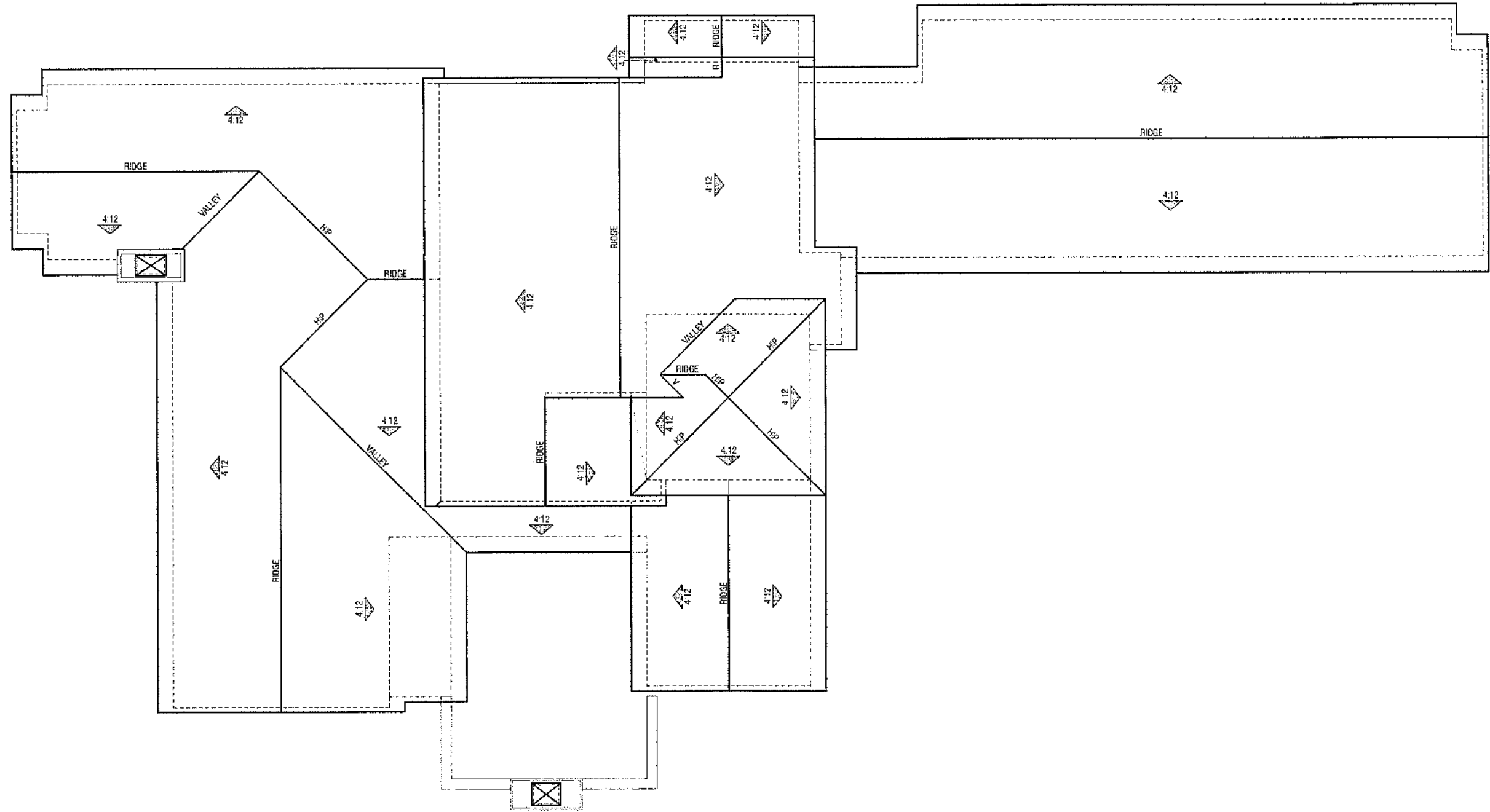
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Roof Plan

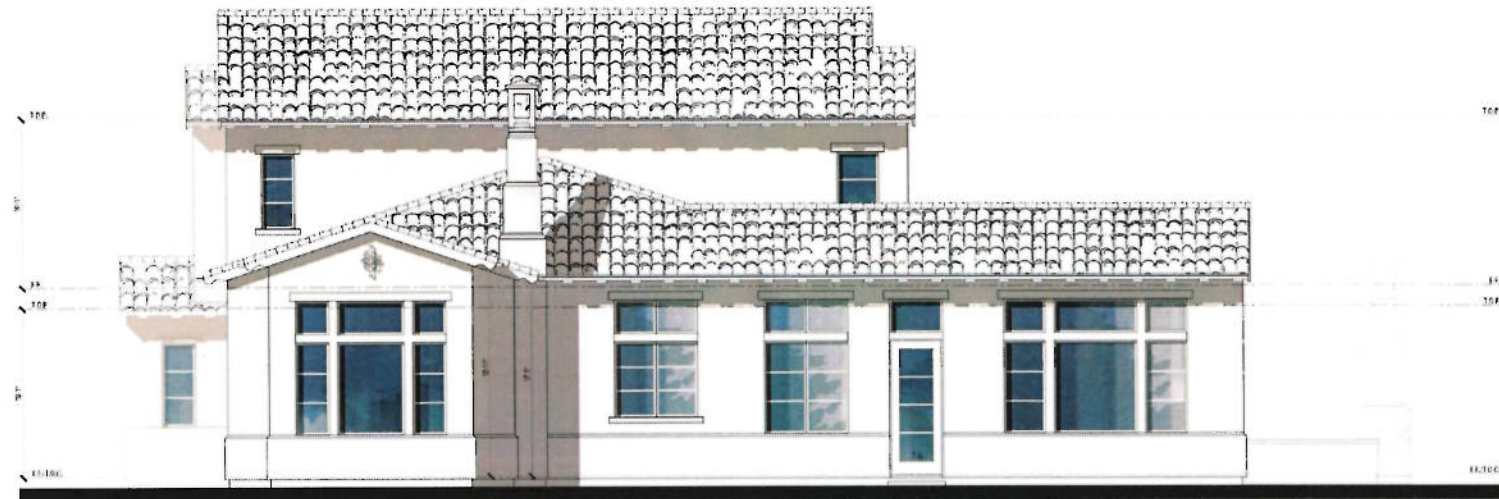
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Rear



Front

Exterior Elevations

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Right



Left

Exterior Elevations

PUD 116 - Parcel 1

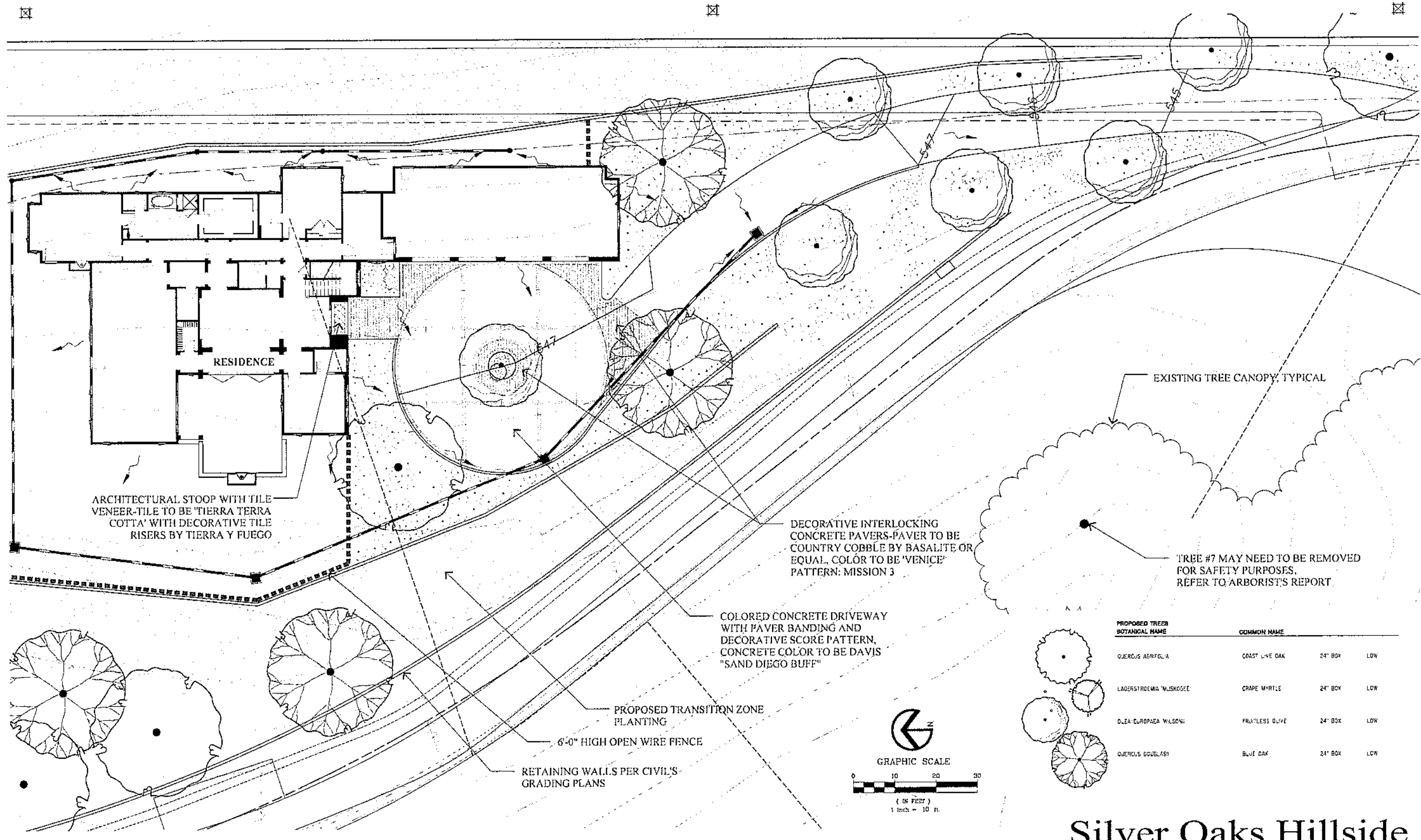
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ARCHITECTURAL STOOP WITH TILE VENEER-TILE TO BE 'TIERRA TERRA COTTA' WITH DECORATIVE TILE RISERS BY TIERRA Y FUEGO

RESIDENCE

DECORATIVE INTERLOCKING CONCRETE PAVERS-PAVER TO BE COUNTRY COBBLE BY BASALITE OR EQUAL, COLOR TO BE 'VENICE' PATTERN: MISSION 3

COLORED CONCRETE DRIVEWAY WITH PAVER BANDING AND DECORATIVE SCORE PATTERN, CONCRETE COLOR TO BE DAVIS 'SAND DIEGO BUFF'

PROPOSED TRANSITION ZONE PLANTING

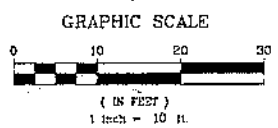
6'-0" HIGH OPEN WIRE FENCE

RETAINING WALLS PER CIVIL'S GRADING PLANS

EXISTING TREE CANOPY, TYPICAL

TREE #7 MAY NEED TO BE REMOVED FOR SAFETY PURPOSES, REFER TO ARBORIST'S REPORT

PROPOSED TREES BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	LOW
LAGERSTROEMIA WILSONII	GRAPE MYRTLE	24" BOX	LOW
OLEA EUROPAEA WILSONII	FRUITLESS OLIVE	24" BOX	LOW
QUERCUS DOUGLASSII	BLUE OAK	24" BOX	LOW



PARCEL 1 SILVER OAKS

Silver Oaks Hillside Parcel 1

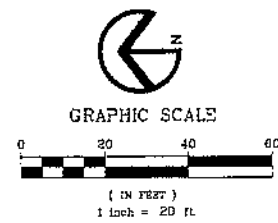
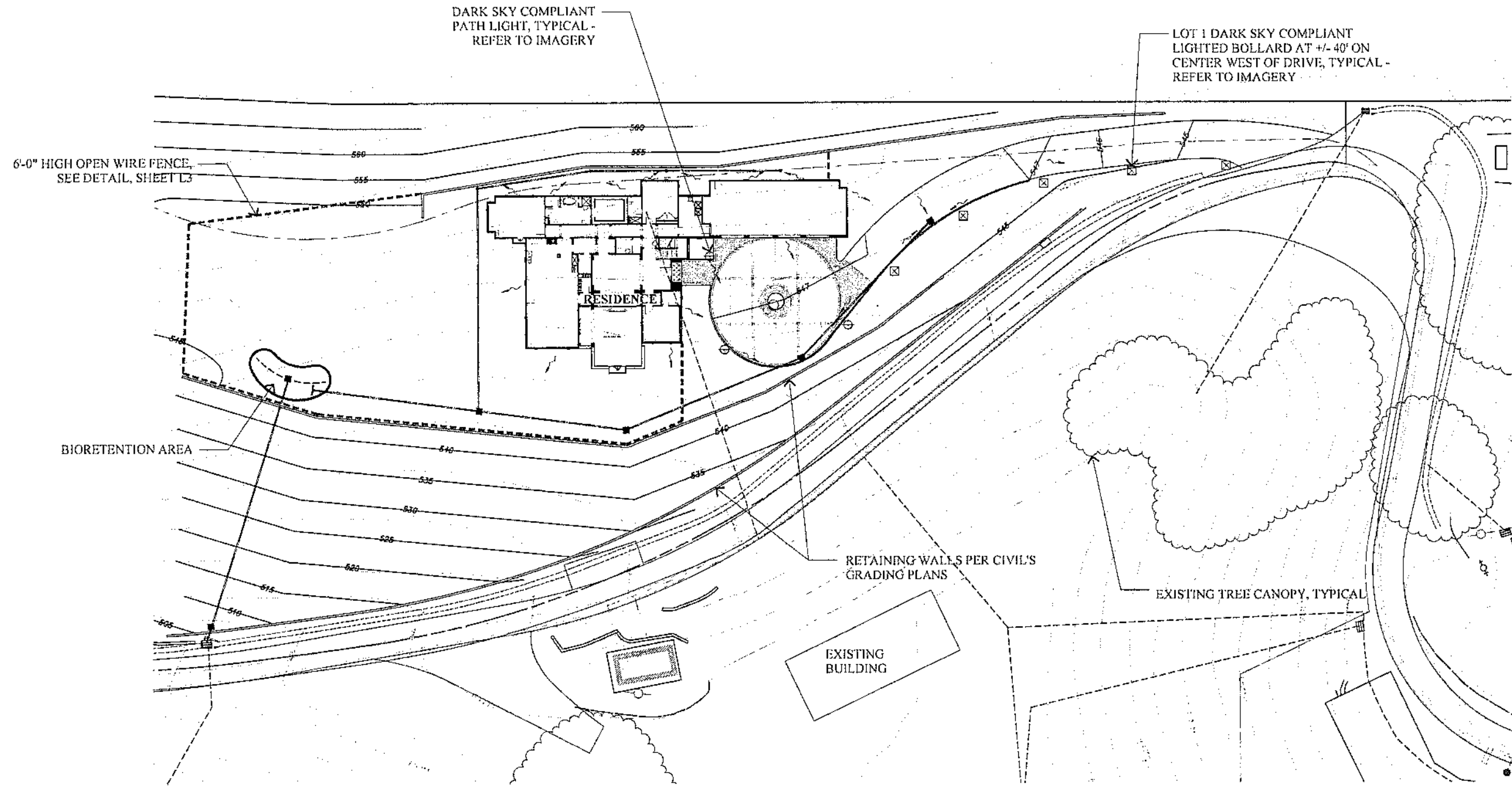
Pleasanton, California

APRIL 22, 2016

L1

Preliminary Landscape Plan

RIPLLEY DESIGN
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 1615 BONANZA STREET
 SUITE 314
 WALNUT CREEK, CA 94596
 TEL: 925.938.7377
 FAX: 925.938.7436



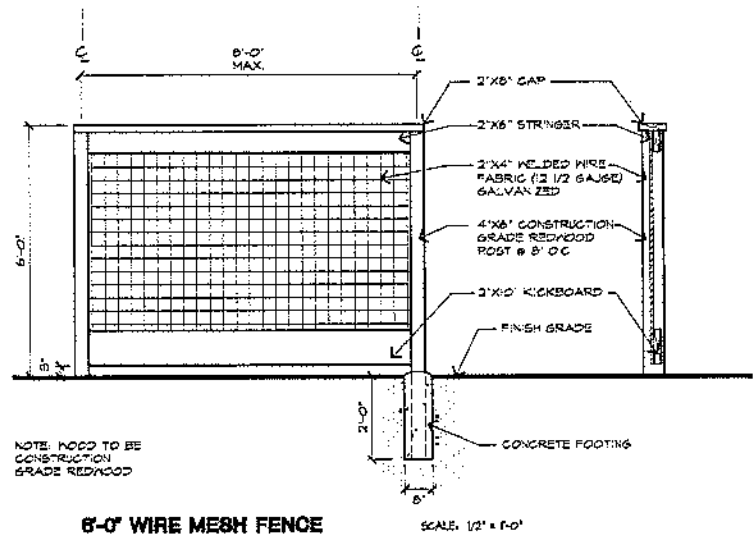
FENCE LEGEND
 ■■■■■ 6'-0" HIGH OPEN WIRE FENCE

Silver Oaks Hillside Parcel 1

PARCEL 1 SILVER OAKS Preliminary Fencing & Lighting Plan

Pleasanton, California
 APRIL 22, 2016 L2

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 FAX: 925.938.7436



NOTE: HOOD TO BE CONSTRUCTION GRADE REDWOOD

6'-0\"/>

EURO LED LIGHTED BOLLARD SPECIFICATIONS

GENERAL:
This bollard is designed to be used as a decorative lighting fixture in residential and commercial applications. It is constructed of high quality materials and is designed to be long lasting and durable.

CONSTRUCTION:
The bollard is constructed of high quality materials and is designed to be long lasting and durable. It features a weather-resistant finish and is designed to be easy to install and maintain.

FINISH:
The bollard is finished with a weather-resistant finish that is designed to be long lasting and durable. It is available in a variety of colors and finishes to match your landscape design.

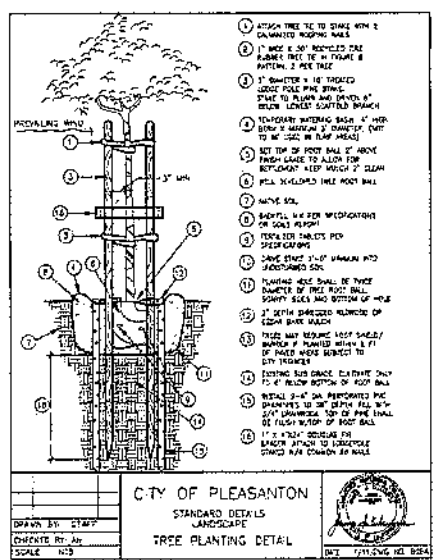
INSTALLATION:
The bollard is designed to be installed in a variety of applications. It can be used as a decorative lighting fixture in residential and commercial applications. It is designed to be easy to install and maintain.

STERNBERG LIGHTING



DRIVEWAY LIGHTED BOLLARD

EURO LED LIGHTED BOLLARD by Sternberg Lighting or equal
Model: E-249 LED (10 ft)
Size: 13\"/>



CITY OF PLEASANTON
STANDARD DETAILS
LANDSCAPE
TREE PLANTING DETAIL

UNIQUE LIGHTING SYSTEMS

LANDER #1
Model: L-10 LED (10 ft)
Size: 6\"/>

FIXTURE ORDERING INFORMATION

DIMENSIONS

STERNBERG LIGHTING



WALKWAY PATH LIGHT

LANDER # PATH LIGHT by Unique Lighting Systems or equal
Model: L-10 LED (10 ft)
Size: 6\"/>

PRELIMINARY SHRUB PLANTING PALETTE

BOTANICAL NAME	COMMON NAME	WATER USE
TRANSITION ZONE PLANTING - 5 GALLON MINIMUM		
ARCTOSTAPHYLOS HOWARD MCMANN	MANZANITA	LOW
CEANOTHUS SPECIES	WILD LILAC	LOW
CISTUS HYBRIDUS	TOURNEFORT	LOW
FREMONTODENDRON CALIFORNICA	FLAMEL BUSH	LOW
GREVILLEA NOBLE	WOOLY GREVILLEA	LOW
HEROMELES ARGUTIFOLIA	TOYON	LOW
HYPERICUM MOSEANUM	CLIP OF GOLD	LOW
JUNIDUS PATENS	GREY RUSH	LOW
LAVATERA MARTINA	TREE MALLOW	LOW
MULLENBERGIA RIGIDA	DEER GRASS	LOW
PHAMMUS CALIFORNICA	COFFEEBERRY	LOW
ROSMARINUS OFFICINALIS	ROSEMARY	LOW
ROSA CALIFORNICA	RAMANAS ROSE	LOW
FOUNDATION PLANTING - 5 GALLON MINIMUM		
FEUOA SELLOWIANA	FINEAPPLE GUAVA	LOW
GREVILLEA NOBLE	WOOLY GREVILLEA	LOW
ILEX C. BURFORDI	BURFORD HOLLY	LOW
JUNIPERUS S. MEDDIA	DOUGLASS JUNCIPER	LOW
LIGUSTRUM J. TEXANUM	JAPANESE PRIVET	LOW
MYRTUS C. COMPACTA	DWARF MYRTLE	LOW
NONNA D. COMPACTA	DWARF HEAVENLY BAMBOO	LOW
OLEA E. LITTLE OLIVE	DWARF OLIVE	LOW
PITTOSPORUM T. VARIEGATA	VAREGATED TOBIIRA	LOW
PODOCARPUS CRACK. OR	FERN PINE	MEDIUM
YUCCA C. COMPACTA	LAUREL PALM	MEDIUM
	COMPACT XYLISMA	LOW
FRONTYARD PLANTING - 5 GALLON MINIMUM		
BUDD. LEA DAVIDI	BUTTERFLY BUSH	LOW
DARER TUMUL COLO	BECKLEY SEDGE	LOW
COLONEMA SUNSET GOLD	GOLDEN BREATH-OF-HEAVEN	MEDIUM
DITES BICOLOR	FORTNIGHT LILY	LOW
DITES RHODOS	FORTNIGHT LILY	LOW
EUCHYMIUS J. MACROPHYLLUS	BOXLEAF EUCHYMIUS	LOW
FESTUCA GAUCIA	BLUE FESCUE	LOW
GERANIUM WOODSON'S BLUE	GERANIUM	MEDIUM
HELIOTROPIS SEMPERVIRENS	BUSY LIZARD	LOW
HEMEROCALLIS HYBRIDS	DAY LILY	MEDIUM
LANTANA MONTEVERDE'S	TRAILING LANTANA	LOW
LAVANDULA A. MUNSTEDI	ENGLISH LAVENDER	LOW
LIPOPE GIGANTEA	GIGANT LILY TURT	MEDIUM
LOROPETALUM CHINENSE	CHINESE FRINGE FLOWER	LOW
LOROPETALUM C. BRAZZLEBERRY	RED FRINGE FLOWER	LOW
NACHINA D. GULF STREAM	GULF STREAM BAMBOO	LOW
REPETA FASSENMI	CA'MINT	LOW
PENSTEMON WARELMI	DWARF FOUNTAIN GRASS	LOW
PENSTEMON HETEROPHYLLUS	PENSTEMON	LOW
PHORMIUM T. MAORI MAIDEN	NEW ZEALAND FLAX	LOW
PITTOSPORUM WHEELERS DWARF	DWARF TOBIIRA	LOW
PRACANTHA SANTA CRUZ	PROSTRATE FRETTHORN	LOW
RHAMPHILEPS J. GALLERINA	INDIA HAWTHORN	LOW
RHAMPHILEPS J. WHITE ENCHANTRESS	ROSEMARY	LOW
ROSMARINUS OFFICINALIS	ROSEMARY	LOW
STACHYS BICANTINA	LAMB EARS	LOW
GROUNDCOVERS - 1 GALLON MINIMUM		
ARCTOSTAPHYLOS D. EMERALD CARPET	BEARBERRY	LOW
BACCHARIS PILLULARIS PIGEON POINT	DWARF COYOTE BRUSH	LOW
MYOPORUM PARVIFOLIUM	MYOPORUM	LOW
SCAEVOLA MAINE CLUSTERS	PAN FLOWER	LOW

WATER BUDGET CALCULATIONS:

LOW WATER USE PLANTING AREA = 5,589 SF
 MEDIUM WATER USE PLANTING AREA = 985 SF
 HIGH WATER USE AREA - TURF = 0 SF
 TOTAL PLANTING AREA = 6,573 SF

ESTIMATED TOTAL WATER USE:

ETw (LOW WATER USE) = 144.2 X 10.62 X (0.3 X 5,589) = 55,828 GAL/YR
 0.70

ETw (MEDIUM WATER USE) = 144.2 X 10.62 X (0.6 X 985) = 23,036 GAL/YR
 0.70

ETw (HIGH WATER USE) = 144.2 X 10.62 X (1.0 X 0) = 0 GAL/YR
 0.70

TOTAL ETw = 88,864 GAL/YR

MAXIMUM APPLIED WATER ALLOWANCE:

MAWA (LOW WATER USE) = 144.2 X 10.62 X (0.55 X 4,766) = 99,089 GAL/YR

IRRIGATION SYSTEM DESIGN NOTES:

- LANDSCAPE AND IRRIGATION SHALL COMPLY WITH CITY'S CURRENT WATER-EFFICIENT LANDSCAPE ORDINANCE.
- PLANTING AREAS SHALL BE GROUPED BY HYDROZONE AND IRRIGATED SEPARATELY.
- HYDROZONE BOUNDARIES WILL BE SHOWN ON IRRIGATION CONSTRUCTION DOCUMENTS.
- ALL SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED USING DRIP.
- ALL SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED USING DRIP.
- IRRIGATION PLAN WILL SHOW LOCATION OF WATER METER, MANUAL SHUT-OFF VALVES, AUTOMATIC CONTROL VALVES, MOISTURE AND RAIN SENSORS, PRESSURE REGULATORS, CONTROLLER, AND BACKFLOW PREVENTION DEVICES.
- CHECK VALVES WILL BE SPECIFIED WHERE LOW HEAD DRAINAGE MAY OCCUR.
- THE IRRIGATION SYSTEM WILL BE EQUIPPED WITH A MANUAL SHUT-OFF VALVE AT THE POINT OF CONNECTION TO THE DOMESTIC WATER SUPPLY, A BACKFLOW PREVENTION DEVICE, AND AUTOMATIC IRRIGATION CONTROLLER THAT UTILIZES EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA TO AUTOMATICALLY ADJUST WATERING SCHEDULES, AND A RAIN SENSOR THAT SUSPENDS IRRIGATION DURING PERIODS OF RAIN.
- THE IRRIGATION SYSTEM WILL BE DESIGNED TO PREVENT WATER RUNOFF BEYOND THE IRRIGATED LANDSCAPE AREAS.
- ALL PLANTING AREAS SHALL BE MULCHED WITH 1\"/>

RIPLEY DESIGN
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
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 WALNUT CREEK, CA 94596
 TEL: 925.938.7377
 FAX: 925.938.7436

PARCEL 1 SILVER OAKS

Preliminary Landscape Details


Silver Oaks Hillside

Parcel 1

Pleasanton, California
 APRIL 22, 2016
 L3

EXHIBIT B



Map Key
 Photo View Location

Page Index

- 1. Site Map
- 2. View 1 Existing
- 3. View 1 w/ Proposed Rendering (28'-4" Residence Height)
- 4. View 1 w/ Proposed Rendering (25'-0" Residence Height)

Visual Analysis
PUD 116 - Parcel 1
 Pleasanton, CA
 Frank Berlogar



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View 1 - Existing

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View 1 - With Proposed Rendering
Residence Height: 28'-4"

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View 1 - With Proposed Rendering
Residence Height: 28'-4"

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View 1 - With Proposed Rendering
Residence Height: 25'-0"

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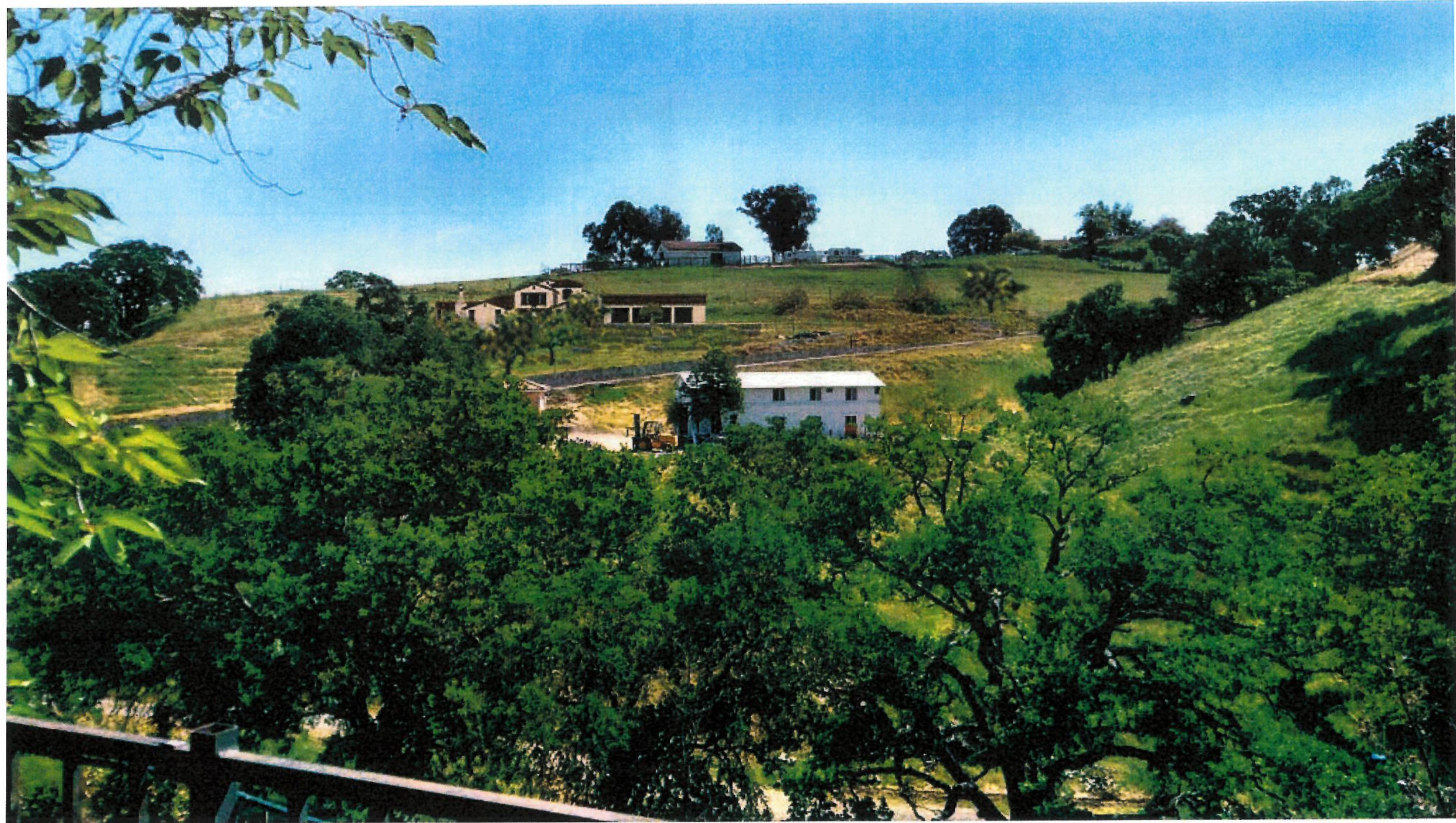


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View 1 - With Proposed Rendering
Residence Height: 25'-0"

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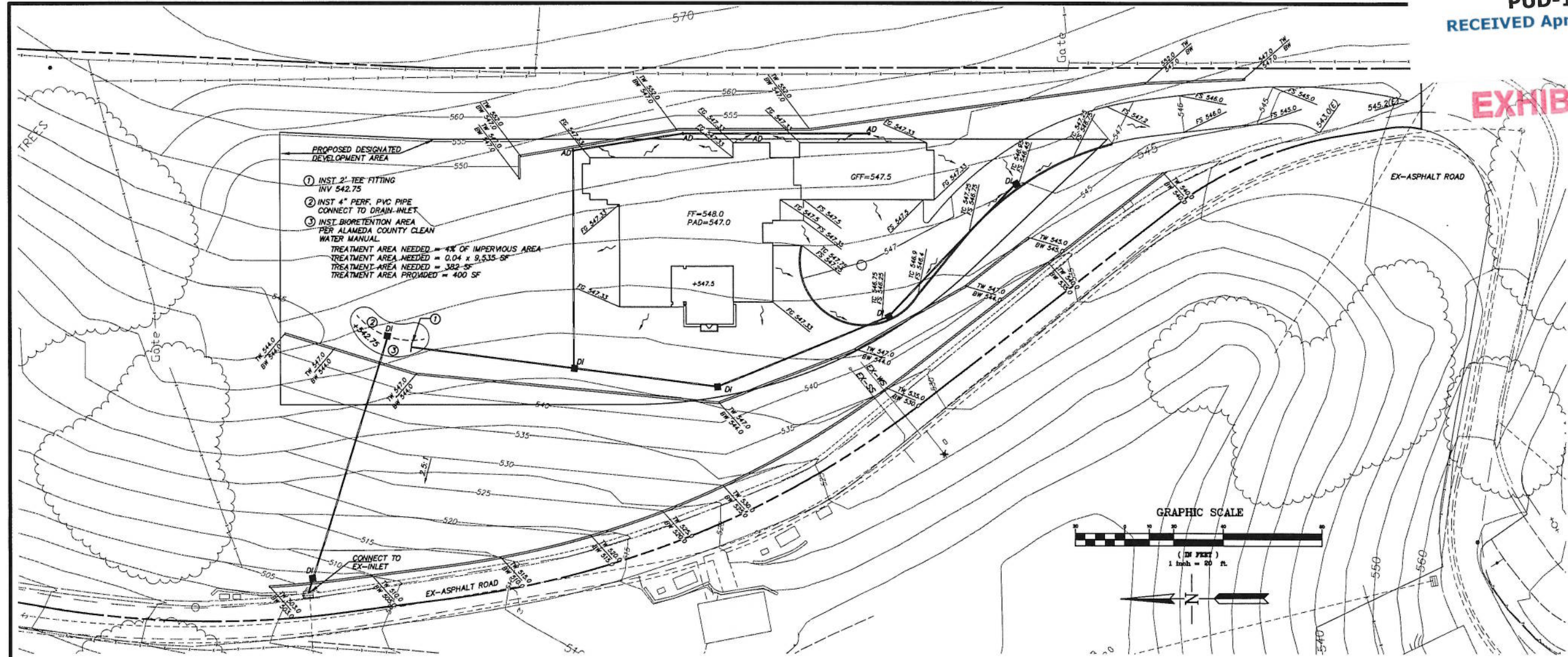
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PARCEL 2 SILVER OAKS COURT PLEASANTON, CA
 EXTERIOR COLORS

ROOFING: Concrete S-Tile	BORAL BARCELONA 900 / BOOSTED BARCELONA SALERNO CLAY	
STUCCO BODY:	KELLY-MOORE KM3973-2 WESTOVER HILLS	
TRIM 1: Eaves & Fascia Rafter Tails & Corbels at Gables Garage Doo , Door & Window Trim	KELLY-MOORE KM5762-3 HIKING BOOTS	
TRIM 2: Columns/Posts Entry Door Trim	ARCUSTONE CHAMPAGNE (30) PITTED & HAND-STONED	
MASONRY: Natural Stone Veneer	SBI BUILDING MATERIALS CASCADE	
METAL ACCENTS:	POWDER COATING SANDCAST BRONZE CS3020	
GUTTERS:	MODERN MASTERS ENGLISH BROWN 525 SHADE	
WINDOWS:	ANDERSEN COCOA BEAN	
ENTRY DOOR:	IRON & GLASS METAL DOOR DESERT COFFEE	

EXHIBIT B

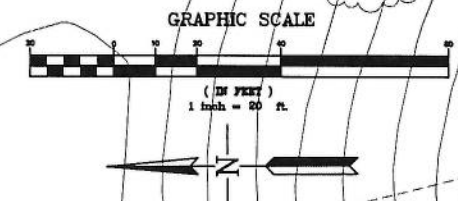
EXHIBIT B



PROPOSED DESIGNATED DEVELOPMENT AREA

- INST 2" TEE FITTING INV 542.75
- INST 4" PERF. PVC PIPE CONNECT TO DRAIN-INLET
- INST BIORETENTION AREA PER ALAMEDA COUNTY CLEAN WATER MANUAL.

TREATMENT AREA NEEDED = 4% OF IMPERVIOUS AREA
TREATMENT AREA NEEDED = 0.04 x 9,535 SF
TREATMENT AREA NEEDED = 382 SF
TREATMENT AREA PROVIDED = 400 SF



GRADING NOTES:

- ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
- ALL DOWNSPOUTS SHALL HAVE A MINIMUM 3" DIAMETER SOLID DRAIN LINES AND DISCHARGE TO SPLASH BLOCKS.
- ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM 2% SLOPE FOR MINIMUM DISTANCE OF 5 FEET.
- SURFACE WATER SWALES SHALL HAVE A 1% MINIMUM SLOPE AND BE CONNECTED TO AREA DRAINS.
- AREA DRAINS SHALL HAVE A MINIMUM 6 INCHES DIAMETER GRATE OPENING.
- ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
- MINIMUM SLOPE SHALL PASS UNDERNEATH THE GRADE BEAMS, NOT THROUGH THEM. ANY SUBDRAINS PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PIERS AND/OR GRADE BEAMS.
- WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
- ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-FLEXIBLE PVC PIPE. PERFORATED PIPE SHALL BE USED FOR SUBDRAINS ONLY. 6" STORM DRAIN TO BE PVC SDR-35 OR APPROVED EQUAL. (SEE DETAILS)
- CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
- EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 15 IF WORK CONTINUES INTO THE RAINY SEASON.
- THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
- THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPOUTS, AND DRAINAGE SWALES.

The Following (a) and (b) shall be provided to the building inspector before and foundation inspection will be performed. Item (c) shall be provided before the shear and roof inspection. Item (d) shall be provided before a frame inspection will be performed.

a. A Licensed Land Surveyor must verify building setbacks to property lines and also pad elevation(s). This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.

b. When Fill is employed under the building a soils engineer must verify pad compaction. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.

c. A Licensed Land Surveyor must verify finish floor elevations. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of shear and roof inspection.

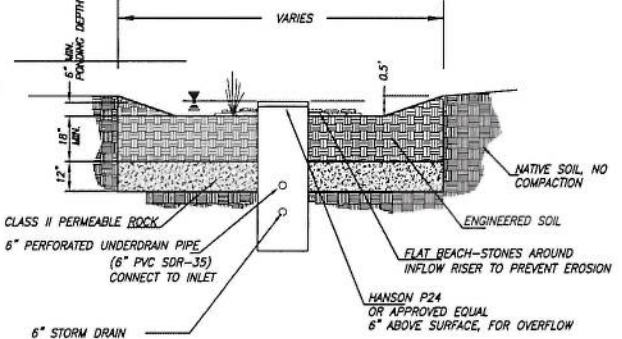
d. A Licensed Land Surveyor must verify the highest elevation of the highest point of any roof ridge of roof projection. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of frame inspection.

BASIS OF BEARINGS

THE BEARINGS SHOWN UPON THIS MAP ARE THE SAME AS SHOWN UPON PARCEL MAP 10248, CITY OF PLEASANTON.

BASIS OF ELEVATIONS

ELEVATIONS SHOWN ON THIS MAP ARE THE SAME AS SHOWN UPON THE IMPROVEMENTS PLANS FOR PM 10248.

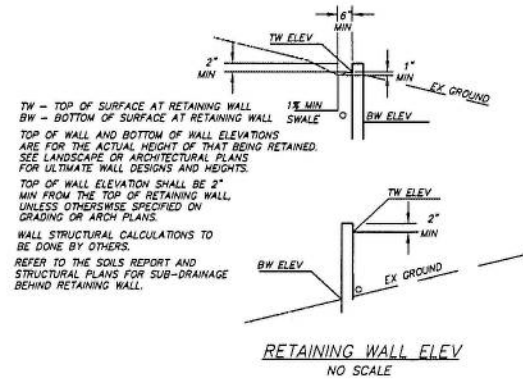


NOTES:

- SWALE SHALL BE GRADED TO DRAIN TOWARD OUTLET AT A MINIMUM SLOPE 0.2%
- PLANTINGS MAY INCLUDE TREES. MINIMUM INFILTRATION RATE 5"/HR
- ENGINEERED SOIL - USE TOPSOIL BLEND AS SPECIFIED IN THE MOST RECENT ALAMEDA COUNTY C.3 GUIDEBOOK
- DO NOT CONNECT STORM DRAIN INFLOW PIPES TO UNDERDRAIN
- MINIMUM SLOPE MEASURED FROM TOP OF GRADE OF AREA DRAIN (OR DOWNSPOUT DRAIN) TO TOP OF EMITTER SHALL BE 1% (4" PIPE) OR 0.5% (6" PIPE)
- MINIMUM INFLOW PIPE SLOPE SHALL BE 1% (4" PIPE) OR 0.5% (6" PIPE)
- MINIMUM UNDERDRAIN PIPE SLOPE SHALL BE 0.5% (6" PIPE)
- INSTALL PERFORATED PIPE WITH PERFORATIONS DOWN.
- NO FILTER FABRIC TO BE USED.
- INSTALL CAPPED CLEANOUTS AT UNDERDRAIN ENDS.

BIO-RETENTION DETAIL

NOT TO SCALE



HAUL ROUTE

- ACCESS TO THE DEVELOPMENT BY CONSTRUCTION EQUIPMENT, MATERIAL DELIVERIES AND OTHER HEAVY LOADS SHALL BE LIMITED BY THE DEVELOPER TO THE FOLLOWING ROUTE: HWY 580 OR HWY 880 TO HWY 54 TO VINEYARD AVE. TO OLD VINEYARD AVE. TO SILVER OAKS LANE

WORK HOURS

- WORK HOURS SHALL BE LIMITED TO: 8:00 AM - 5:00 PM MONDAY THRU FRIDAY. NO CONSTRUCTION SHALL BE ALLOWED ON STATE AND FEDERAL HOLIDAYS OR SATURDAYS OR SUNDAYS.

EXCESS SOIL

- EXCESS SOIL FROM THE SITE SHALL BE OFF-HAULED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. NO TEMPORARY STOCKPILING OF DIRT ON THIS SITE SHALL OCCUR WITHOUT SPECIFIC REVIEW AND APPROVAL BY THE PLANNING DIVISION.

TOTAL IMPERVIOUS AREA = 11,205 SQ FT
IMPERVIOUS AREA DRAINING TO BIO-TREATMENT AREA = 9,535 SF

NOTES:

- ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, NOT FIELD LOCATED.
- GARAGE FLOOR TO SLOPE TOWARDS THE FRONT AT 1% MIN.
- PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.
- SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- THIS PLAN IS INTENDED FOR GRADING AND DRAINAGE

LEGEND

- DRAINAGE ARROW INDICATES DIRECTION OF DRAINAGE
- INDICATES DIRECTION OF OVERLAND RELEASE FLOW
- STORM DRAIN
- PERIMETER DRAIN
- EX CONTOUR
- 100 — NEW CONTOUR
- SWALE
- PROPERTY LINE

ABBREVIATIONS

- AD AREA DRAIN
- CO CLEAN-OUT
- DI DRAIN INLET (HANSON P18 OR EQUAL)
- DS DOWN SPOUT
- BW BOTTOM OF RETAINING WALL
- FF FINISHED FLOOR
- FL FINISHING
- FD FINISHED GRADE
- FLS FINISHED SURFACE
- GR TOP OF GRADE
- HP HIGHPOINT
- INW INVERT
- LS LANDSCAPING
- LF GARAGE FINISHED FLOOR
- SW STORM WATER INLET
- TC TOP OF CURB
- TD TOP OF DRIVE
- TW TOP OF RETAINING WALL



PROJECT NAME: PRELIMINARY GRADING AND PLAN
PARCEL 1 - PUD 116
CITY OF PLEASANTON
ALAMEDA COUNTY, CALIFORNIA

DATE: 4-21-2016
SHEET NO.: C1 OF 1 SHEETS

REGISTERED PROFESSIONAL ENGINEER
ROBERT D. STETLER
NO. C 66722
EXPIRES 09/30/16
CIVIL
STATE OF CALIFORNIA

LEXANDER & ASSOCIATES INC.
SURVEYORS
ENGINEERS
PLANNERS
147 OLD HERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 482-2265



SHEET INDEX

Front Elevation Rendering	A1
First Floor Plan	A2
Second Floor Plan	A3
Roof Plan	A4
Exterior Elevations	A5
Exterior Elevations	A6

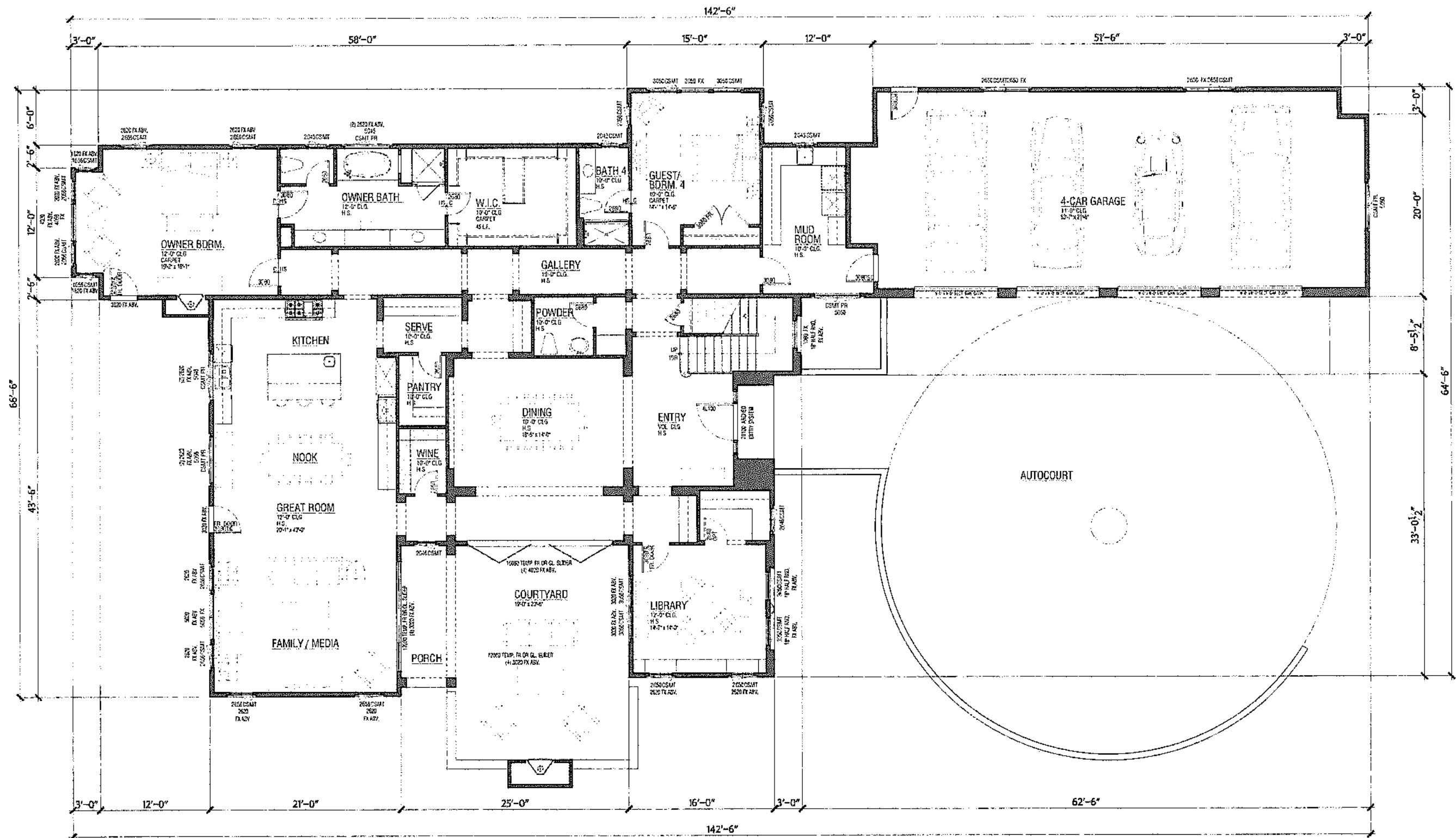
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 Pleasanton, CA
 Frank Berlogar




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 415.443.1100 Fax 415.443.1129
 2850 REDWELL AVENUE, SUITE 203 SANTA ANA, CA 92705-1543
 949.252.5077 www.wheza.com Fax 949.252.1529

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Floor Plan

4,907 SF - Living Area

1,270 SF - Garage

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Pleasanton, CA
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First Floor

3,775 SF

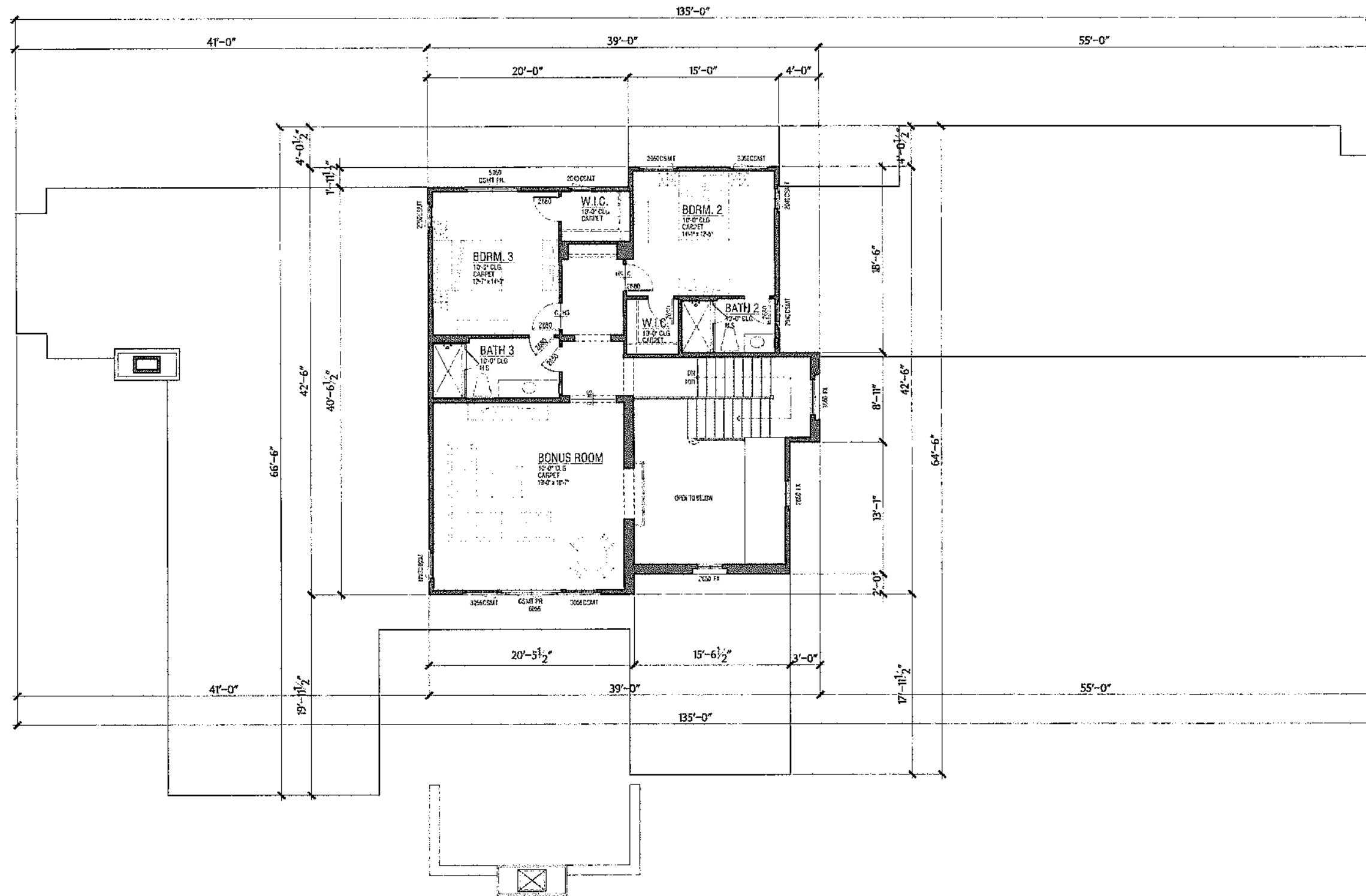


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2000 REDWOOD AVENUE, SUITE 200 SAN CARLOS, CA 94580
415-251-0022 www.williamhezmaharch.com 415-452-1100

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Second Floor
1,132 SF

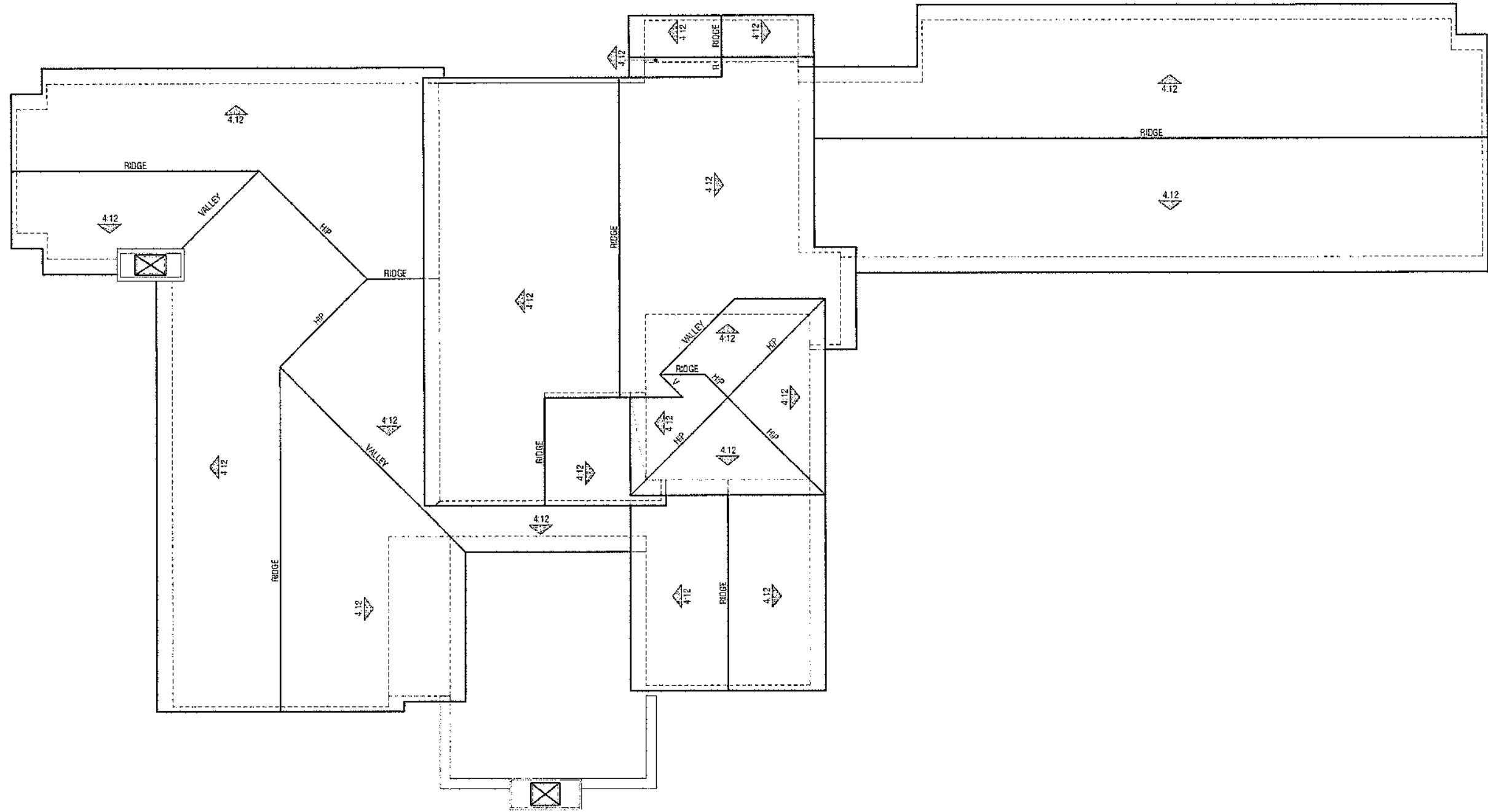
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Roof Plan

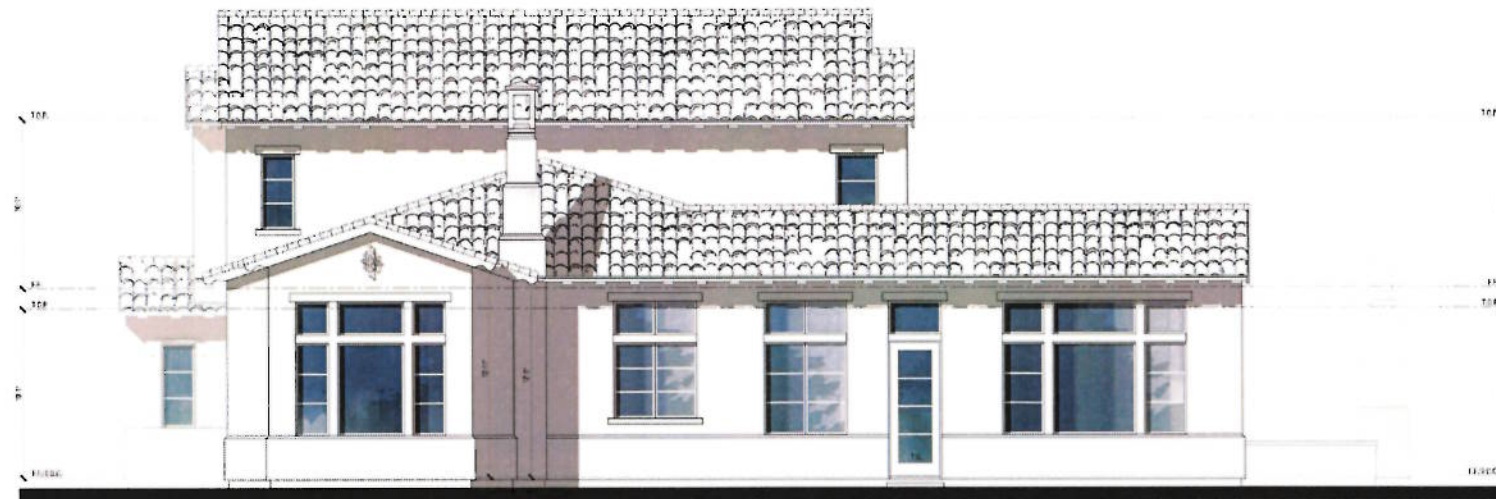
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 415 202 1001 WWW.WHARCHITECTS.COM 415 423 1079

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Rear



Front

Exterior Elevations

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 949-242-0877 www.wheharchitects.com Fax 949-250-1029

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Right



Left

Exterior Elevations

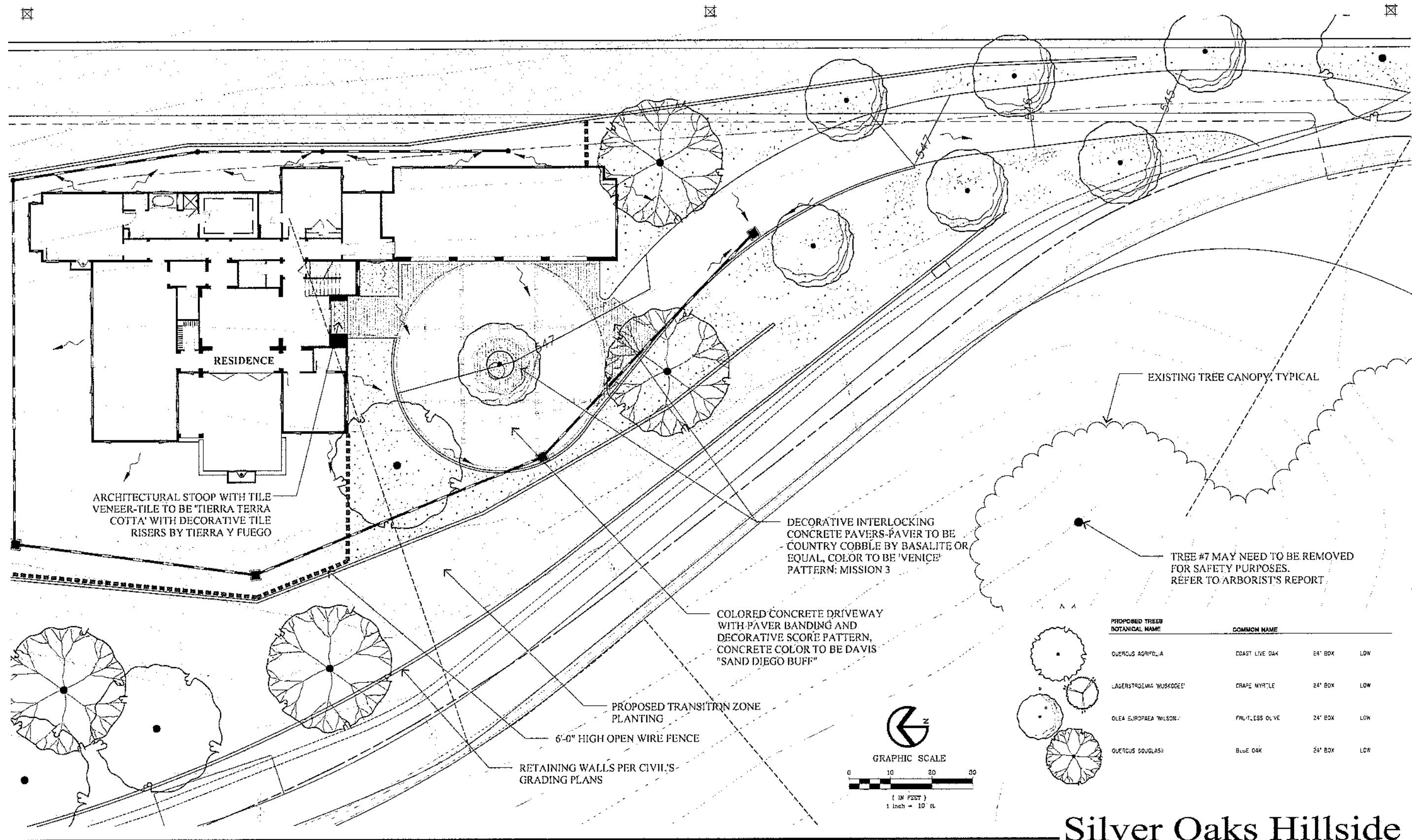
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ARCHITECTURAL STOOP WITH TILE VENEER-TILE TO BE 'TIERRA TERRA COTTA' WITH DECORATIVE TILE RISERS BY TIERRA Y FUEGO

RESIDENCE

DECORATIVE INTERLOCKING CONCRETE PAVERS-PAVER TO BE COUNTRY COBBLE BY BASALITE OR EQUAL, COLOR TO BE 'VENICE' PATTERN; MISSION 3

COLORLED CONCRETE DRIVEWAY WITH PAVER BANDING AND DECORATIVE SCORE PATTERN, CONCRETE COLOR TO BE DAVIS 'SAND DIEGO BUFF'

PROPOSED TRANSITION ZONE PLANTING

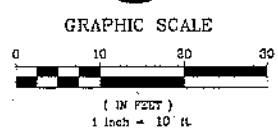
6'-0" HIGH OPEN WIRE FENCE

RETAINING WALLS PER CIVIL'S GRADING PLANS

EXISTING TREE CANOPY, TYPICAL

TREE #7 MAY NEED TO BE REMOVED FOR SAFETY PURPOSES. REFER TO ARBORIST'S REPORT

PROPOSED TREE BOTANICAL NAME	COMMON NAME	HEIGHT	LOW
QUERCUS AGRIFO-LIA	COAST LIVE OAK	24' BOX	LOW
LAGERSTROEMIA MUSKOGEEI	GRAPE MYRTLE	24' BOX	LOW
OLEA EUROPAEA WILSONI	FRUITLESS OLIVE	24' BOX	LOW
QUERCUS DOUGLASSI	BLUE OAK	24' BOX	LOW



PARCEL 1 SILVER OAKS

Preliminary Landscape Plan

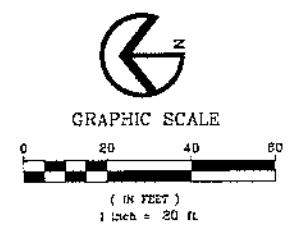
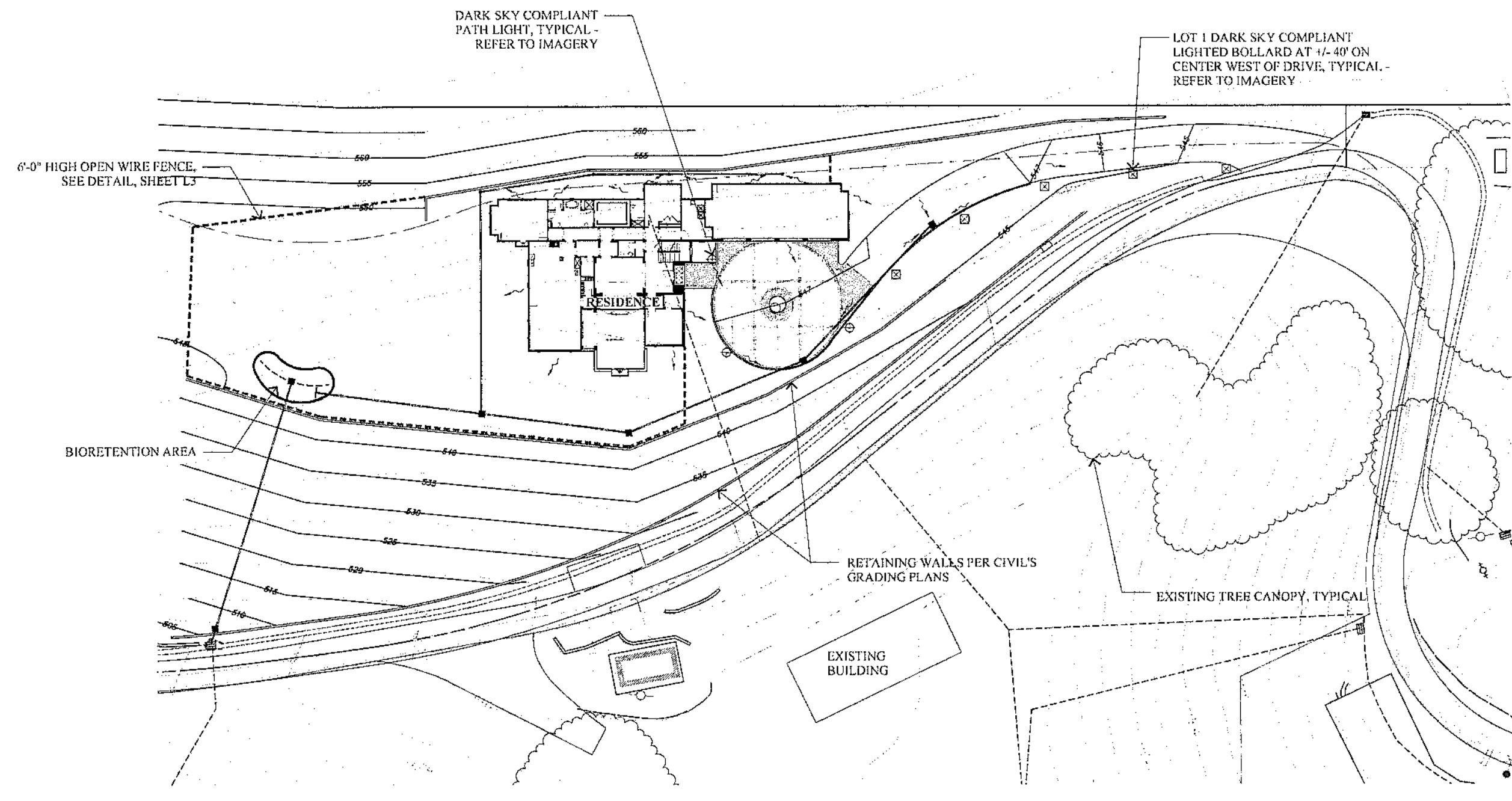
Silver Oaks Hillside
Parcel 1

Pleasanton, California

APRIL 22, 2016

L1

RIPLY DESIGN
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 1615 BONANZA STREET
 SUITE 314
 WALNUT CREEK, CA 94596
 TEL: 925.938.7377
 FAX: 925.938.7436



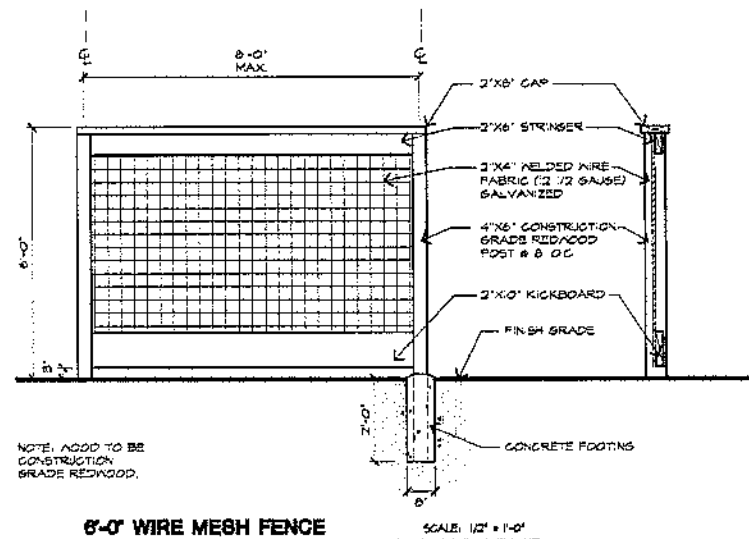
FENCE LEGEND
 ■■■■■ 6'-0" HIGH OPEN WIRE FENCE

Silver Oaks Hillside Parcel 1

PARCEL 1 SILVER OAKS Preliminary Fencing & Lighting Plan

Pleasanton, California
 APRIL 22, 2016 L2

RIPLBY
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 1615 BONANZA STREET
 SUITE 314
 WALNUT CREEK, CA 94596
 TEL: 925.938.7377
 FAX: 925.938.7436



NOTE: ADD TO BE CONSTRUCTION GRADE REDWOOD.

6'-0" WIRE MESH FENCE SCALE: 1/2" = 1'-0"

DRIVEWAY LIGHTED BOLLARD SPECIFICATIONS

GENERAL: This bollard shall be constructed of 2" diameter galvanized steel pipe with a 1/2" wall thickness. The bollard shall be finished with a dark bronze powder coat finish. The bollard shall be 18" high and 4" diameter. The bollard shall be mounted on a 6" x 6" x 12" concrete footing. The bollard shall be spaced at 12' on center.

CONSTRUCTION: The bollard shall be constructed of 2" diameter galvanized steel pipe with a 1/2" wall thickness. The bollard shall be finished with a dark bronze powder coat finish. The bollard shall be 18" high and 4" diameter. The bollard shall be mounted on a 6" x 6" x 12" concrete footing. The bollard shall be spaced at 12' on center.

FINISH: The bollard shall be finished with a dark bronze powder coat finish.

WARRANTY: The manufacturer shall warrant the bollard for a period of 5 years against material and workmanship defects.

INSTALLATION: The bollard shall be installed in accordance with the manufacturer's instructions.

DRIVEWAY LIGHTED BOLLARD BY Sternberg Lighting or equal
 Model: E-259 LED FLU (11w)
 Size: 18" H X 4" DIA
 Color: Dark Bronze Textured
 Dark Sky Compliant: Yes



PRELIMINARY SHRUB PLANTING PALETTE

BOTANICAL NAME	COMMON NAME	WATER USE
TRANSITION ZONE PLANTING - 8 GALLON MINIMUM		
ARCTOSTAPHYLOS HOWARD MCMURRY	MANZANITA	LOW
CEANOTHUS SPECIES	WILD LILAC	LOW
CISTUS HYBRIDUS	ROCKROSE	LOW
FRECHMAYOENDRINA CALIFORNICA	FLAMEL BUSH	LOW
GREVILLEA NOBLE	WOOLY GREVILLEA	LOW
HETEROMELES ARBUTIFOLIA	TOYON	LOW
HYPERICUM MOSEERIANUM	CUP OF GOLD	LOW
JUNCUS PATENS	GREY RUSH	LOW
LAVATERA MARITIMA	TREE MALLOW	LOW
MULLENBERGIA R. RESEK	DEER GRASS	LOW
RHAMNUS CALIFORNICA	COFFEEBERRY	LOW
ROSMARINUS OFFICINALIS	ROSEMARY	LOW
ROSA CALIFORNICA	RAMANAS ROSE	LOW
FOUNDATION PLANTING - 5 GALLON MINIMUM		
FEUJA BELLONIANA	P-NEAPPLE GUYVA	LOW
GREVILLEA NOBLE	WOOLY GREVILLEA	LOW
ILEX C. BURFORDI	BURFORD HOLLY	LOW
JUN PERLS S. MEDORA	COLUMNAR JUNIPER	LOW
LIGUSTRUM J. TEXANUM	JAPANESE PRIVET	LOW
MYRTUS C. COMPACTA	DWARF MYRTLE	LOW
NANDINA D. COMPACTA	DWARF HEAVENLY BAMBOO	LOW
OLEA E. LITTLE OLIVE	DWARF OLIVE	LOW
PITTOSPORUM T. VARIEGATA	VARIEGATED TOBIRA	LOW
PODOCARPUS GRACILIOR	FERM PINE	MEDIUM
YUCCA FILIFERA	LAUREL PALM	MEDIUM
XYLOSMA C. COMPACTA	COMPACT XYLOSMA	LOW
FRONTYARD PLANTING - 8 GALLON MINIMUM		
BUDLEIA DAVIDII	BUTTERFLY BUSH	LOW
CAREX TOMALCOA	BERKELEY SEDGE	LOW
COLONEMA SUNSET GOLD	GOLDEN BREATH-OF-HEAVEN	MEDIUM
DIETES BEGONIA	FORTNIGHT LILY	LOW
DIETES IRIDIODES	BOXLEAF EUNYMIUS	LOW
EUCHROMIS J. MICROPHYLLUS	BLUE FESCUE	LOW
FESTUCA GLAUCA	CERAMUM	MEDIUM
GERANIUM JOHNSON'S BLUE	GERANIUM	MEDIUM
HELIOTRICHUM SEMPERVIRENS	BLUE OAT GRASS	LOW
HEMEROCALLIS HYBRID	DAY-LILY	MEDIUM
LANTANA MONTICENSIS	TRAILING LANTANA	LOW
LAVANDULA A. MUNSTADT	ENGLISH LAVANDER	LOW
L-ROSE GARGATE	GREAT LILY TURK	MEDIUM
LOROPETALUM CHINENSE	CHEESE FRINGE FLOWER	LOW
LOROPETALUM C. RAZZLEBERRY	RED FRINGE FLOWER	LOW
NANDINA D. GULF STREAM	GULF STREAM BAMBOO	LOW
NEPETA FAASSONII	CATMINT	LOW
PERISTEMUM HAMELII	DWARF FOUNTAIN GRASS	LOW
PENSTEMON HETEROPHYLLUS	PENSTEMON	LOW
PHORMIUM T. MAORI MAIDEN	NEW ZEALAND FLAX	LOW
PITTOSPORUM WHEELERS DWARF	DWARF TOBIRA	LOW
PHYRAGANTHA SANTA CRUZ	PROSTRATE PINEAPPLE	LOW
RHAPHIDOLEPS I. BALLERINA	INDIA HAWTHORN	LOW
RHAPHIDOLEPS I. WHITE ENCHANTRESS	ROSEMARY	LOW
ROSMARINUS OFFICINALIS	ROSEMARY	LOW
STACHYS BIZANTINA	LAMBS EARS	LOW
GROUNDCOVERS - 1 GALLON MINIMUM		
ARCTOSTAPHYLOS J. EMERALD CARPET	BEARBERRY	LOW
GALLON # 36" O.C.		
SACCHARIS P. LULARIS 'PIGEON FOOT'	DWARFCOYOTE BRUSH	LOW
GALLON # 48" O.C.		
MYOPORUM PARVIFOLIUM	MYOPORUM	LOW
GALLON # 48" O.C.		
SCAEVOLA MAUNE CLUSTERS	FAN FLOWER	LOW
GALLON # 36" O.C.		

WATER BUDGET CALCULATIONS:

LOW WATER USE PLANTING AREA = 5,588 SF
 MEDIUM WATER USE PLANTING AREA = 985 SF
 HIGH WATER USE AREA - TURF = 0 SF
 TOTAL PLANTING AREA = 6,573 SF

ESTIMATED TOTAL WATER USE:

ET_W (LOW WATER USE) = 144.21 x 10.621 x 10.3 x 5,588 = 63,828 GAL/YR
 0.70

ET_W (MEDIUM WATER USE) = 144.21 x 10.621 x 10.6 x 985 = 23,36 GAL/YR
 0.70

ET_W (HIGH WATER USE) = 144.21 x 10.621 x 1.0 x 0 = 0 GAL/YR
 0.70

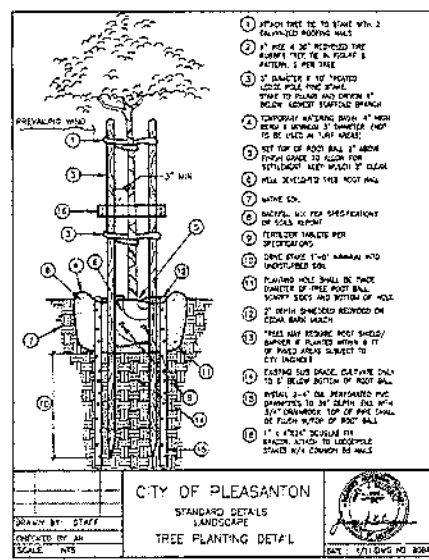
TOTAL ET_W = 87,188 GAL/YR

MAXIMUM APPLIED WATER ALLOWANCE:

MAWA (LOW WATER USE) = 144.21 x 10.621 x 10.55 x 4,745 = 99,069 GAL/YR

IRRIGATION SYSTEM DESIGN NOTES:

- LANDSCAPE AND IRRIGATION SHALL COMPLY WITH CITY'S CURRENT WATER-EFFICIENT LANDSCAPE ORDINANCE.
- PLANTING AREAS SHALL BE GROUPED BY HYDROZONE AND IRRIGATED SEPARATELY.
- HYDROZONE BOUNDARIES WILL BE SHOWN ON IRRIGATION CONSTRUCTION DOCUMENTS.
- ALL TREES WILL BE IRRIGATED USING LOW FLOW BUBBLERS.
- ALL SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED USING DRIP.
- IRRIGATION PLAN WILL SHOW LOCATION OF WATER METER, MANUAL SHUT-OFF VALVES, AUTOMATIC CONTROL VALVES, MOISTURE AND RAIN SENSORS, PRESSURE REGULATORS, CONTROLLER, AND BACKFLOW PREVENTION DEVICES.
- CHECK VALVES WILL BE SPECIFIED WHERE LOW HEAD DRAINAGE MAY OCCUR.
- THE IRRIGATION SYSTEM WILL BE EQUIPPED WITH A MANUAL SHUT-OFF VALVE AT THE POINT OF CONNECTION TO THE DOMESTIC WATER SUPPLY, A BACKFLOW PREVENTION DEVICE, AND AUTOMATIC IRRIGATION CONTROLLER THAT UTILIZES EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA TO AUTOMATICALLY ADJUST WATERING SCHEDULES, AND A RAIN SENSOR THAT SUSPENDS IRRIGATION DURING PERIODS OF RAIN.
- THE IRRIGATION SYSTEM WILL BE DESIGNED TO PREVENT WATER RUNOFF BEYOND THE IRRIGATED LANDSCAPE AREAS.
- ALL PLANTING AREAS SHALL BE MULCHED WITH 1" DIAM. FIR BARK TO A MINIMUM DEPTH OF 3".



UNIQUE LIGHTING SYSTEMS
 LANCER'S PATH LIGHT BY Unique Lighting Systems or equal

FIXTURE ORDERING INFORMATION

SPECIFICATIONS

WALKWAY PATH LIGHT
 LANCER'S PATH LIGHT BY Unique Lighting Systems or equal
 Model: L6-12-L2 LED (12w)
 Size: 6" W X 18" H
 Color: Weathered Brass
 Dark Sky Compliant: Yes



PUD-116
RECEIVED April 21, 2016

EXHIBIT B



Map Key
Photo View Location



Page Index

- 1. Site Map
- 2. View 1 Existing
- 3. View 1 w/ Proposed Rendering

Visual Analysis

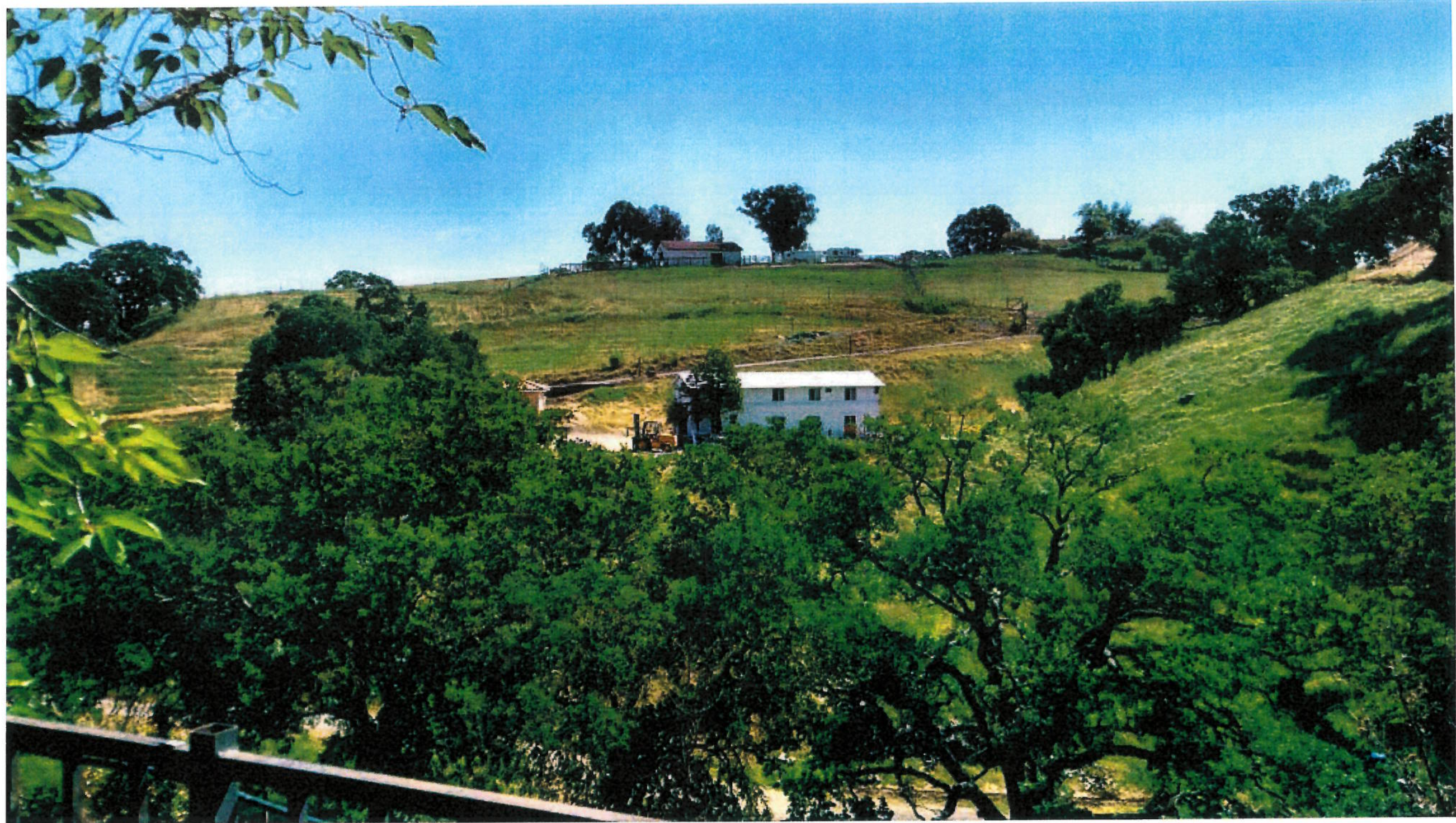
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View 1 - Existing

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View 1 - With Proposed Rendering

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View 1 - With Proposed Rendering

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