

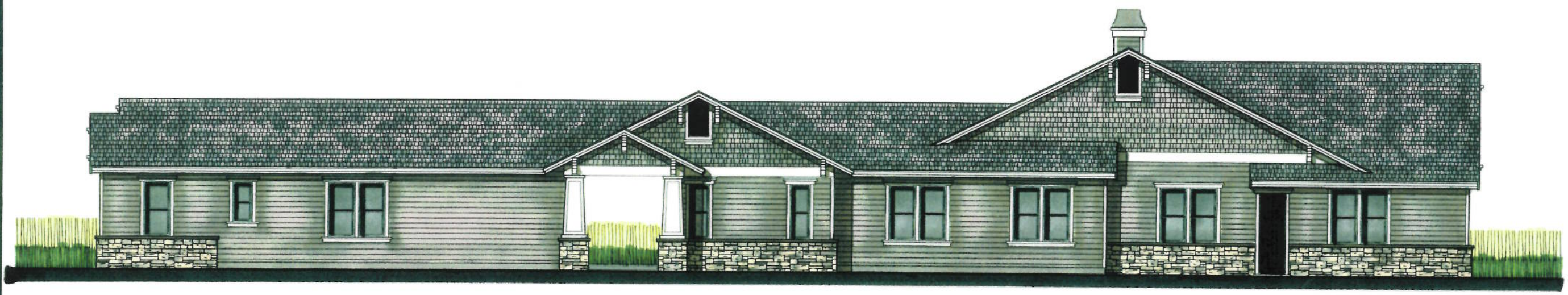
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Gaglardi Residence
 Lot 4 - Parcel Map 8105
 Pleasanton, California

Notes



Front Elevation



Left Side Elevation

PUD-112
RECEIVED March 31, 2016
EXHIBIT B

Rev	Description	Date
Colored Elevations		
Job Number	201522	Sheet
Scale	1/4" = 1'-0"	
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Date	11-20-15	CY 6

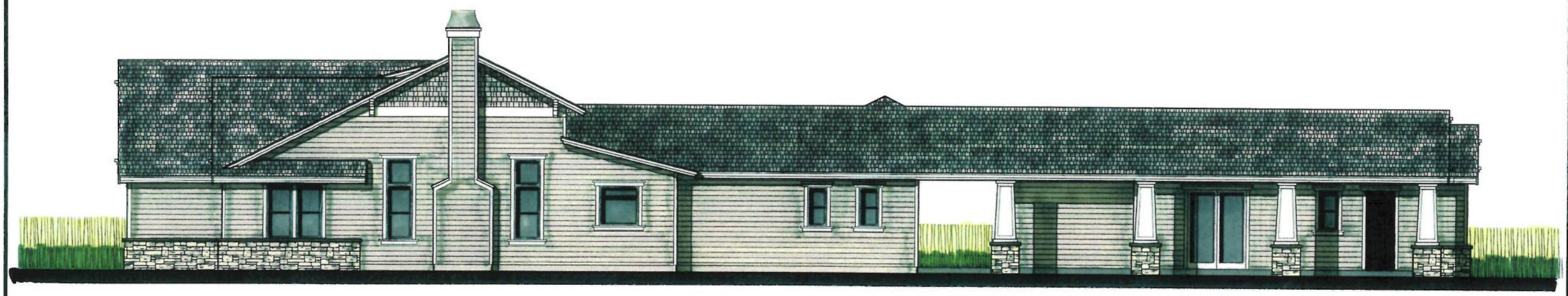
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Gaglardi Residence
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 Pleasanton, California

Notes



Rear Elevation



Right Side Elevation

Rev	Description	Date

Colored Elevations

Job Number: 201522 Sheet
 Scale: 1/4" = 1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 8-20-15 Of 6

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Notes:

This site plan is not a survey. It is provided for building and site work layout only. The contractor shall verify on site of grades, existing improvements, property lines, easements, setbacks, utilities, and structures. Where discrepancies occur, contact the Architect.

Finish grade shall provide positive drainage away from building.

Pad grade under building shall have positive slope to a minimum of one zero drain which shall be piped to street or suitable discharge area.

All roof drainage taken through suitable discharge area.

Where discrepancies between site report and Architect's drawings occur, contact Architect immediately.

A perforated drain set in a gravel trench shall be installed around the entire perimeter of the foundation. The drain shall discharge into the street or approved suitable drainage facility. See soil report for any specific requirements.

Provide expansion and control joints in all exterior concrete slabs. Spacing of joints shall be per industry standard.

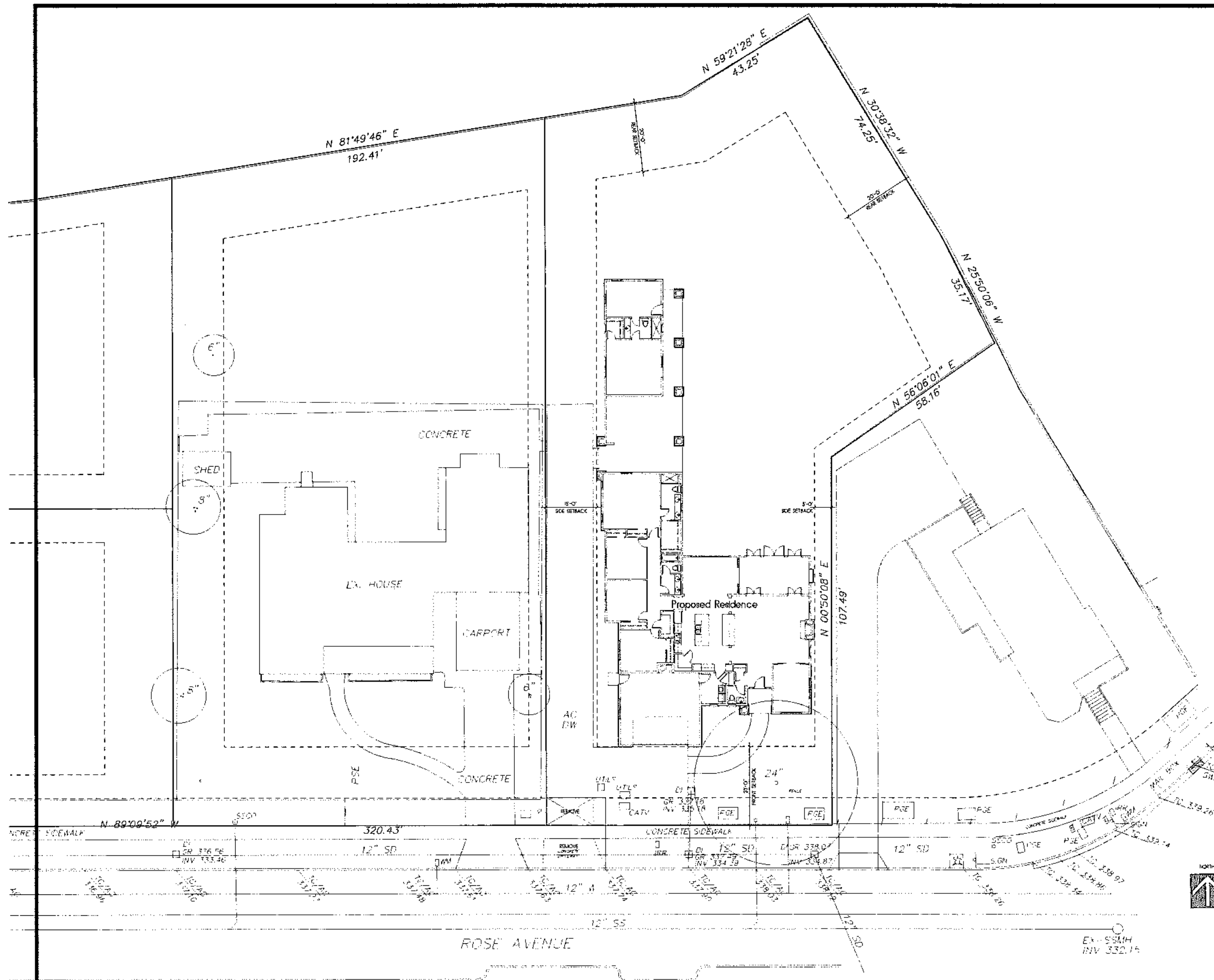
Area drains shall be interconnected and discharged at street or suitable discharge facility.

Prior to construction, the contractor shall employ the soil engineer to test the relative soil density and compaction of the site and verify in writing that the relative soil density and compaction meets or exceeds the requirements specified in the soil report. If the relative soil density and compaction does not meet the specifications stated in the soil report, the contractor shall follow the soil engineer's recommendations for re-compaction.

Irrigation system shall be designed to prevent saturation of soil adjacent to building.

See Landscape drawings for landscape features, pool, fountain, spa, hardscape and garden walls.

See Civil drawings for existing and proposed grading, utilities, fence, pad-and structures, proposed drainage, and erosion control features.



Rev	Description	Date

Site Plan

Job Number: 201522 Sheet: 1
 Scale: 1"=10'-0"
 Drawn: Terry
 Checked: Terry
 Date: 1-29-16 Of: 3

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Gagliardi Residence
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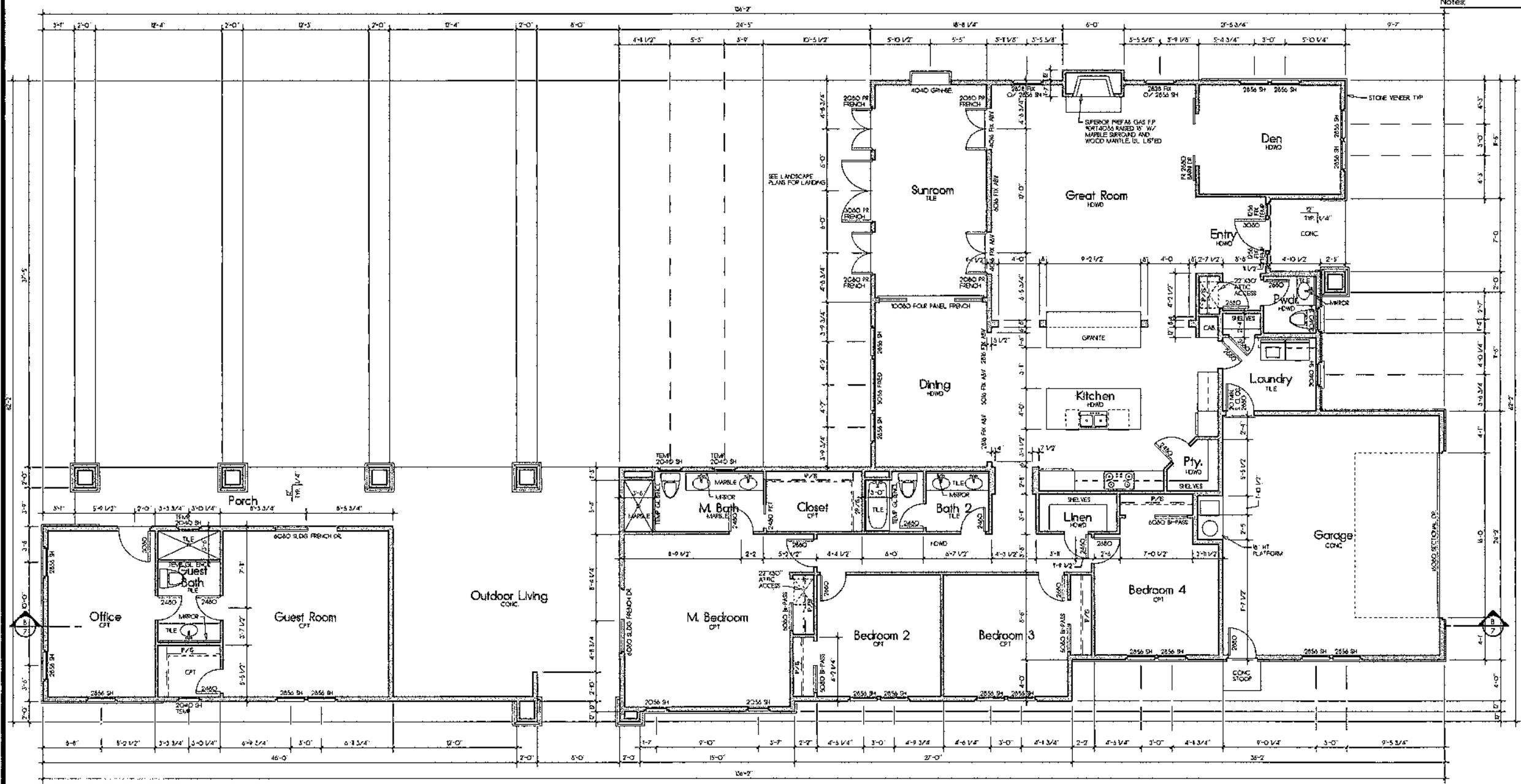
All exterior walls shall be 2x4 studs @ 16" o.c. minimum, or otherwise noted.
 All interior walls shall be 2x4 studs @ 16" o.c. minimum, or otherwise noted.
 Threshold height shall be limited to 7/8" inches residential where the door is an exterior door that is not a component of the required means of egress; the door, other than an exterior storm or screen door, does not swing over the landing or step.
 Use low VOC interior wall and ceiling paints and construction adhesives.
 Use low VOC waterbased wood finishes.
 Use low VOC construction adhesives.
 Use recycled content materials of exterior trim and sheathing.
 Tightly seal the air barrier between the living area and garage.
 Install built-in recycling center into cabinetry.

Provide 5/8" type "X" gyp bd on the garage side of the wall extending to the roof sheathing per CBC.
 Sliding doors and operable windows shall comply with 2013 CBC.
 Walls with an unbraced height in excess of 10 feet shall be 2x6 studs @ 16" o.c.
 Wall covering of shower and tub/shower shall be cement plaster, tile, or approved equal to 72" above drain inlet. Materials other than structural shall be moisture resistant.
 Any cap or cover installed on the fireplace chimney shall comply with the ICC research report and manufacturer listing.
 Furnace ducts penetrating the garage/house occupancy separation shall be a minimum 20 gauge galvanized steel and have no openings into the garage.
 Water closets shall be in a clear space 30" minimum wide and have a minimum 24" clear space in front.

See cover sheet for schedules and general notes.
 All angles other than 90 degrees shall be 45 degrees UNLESS NOTED.

Provide outside combustion air openings directly into the exterior of fireplace to comply with CEC regulation 2-50322.01.5. Fireplace hearth shall be of non-combustible material. Fireplaces shall be provided with tight fitting glass doors. Hearth extensions shall conform to the conditions of the listing and the manufacturer's installation instructions. Fireplace and chimney shall be installed in accordance with their listing and manufacturer instructions as specified in the CBC.
 Light panels in exterior doors, or within a 24" arc of a swinging door shall be laminated security glass which is a minimum of 1/4" polycarbonate security sheets or their equivalent.
 Firestops shall be provided around the chimney in openings of the ceiling and floor levels with non-combustible material per 2013 CBC.
 All posts, beams, and walls supporting the floor/ceiling above the garage shall be protected by one hour construction on the garage side.

Notes:



Rev | Description | Date

Floor Plan
 LIVING ROOM: 208 SQUARE FEET
 SUNROOM: 237 SQUARE FEET
 GUEST ROOM/BATH/OFFICE: 270 SQUARE FEET
 GARAGE: 320 SQUARE FEET
 COVERED PORCHES: 675 SQUARE FEET

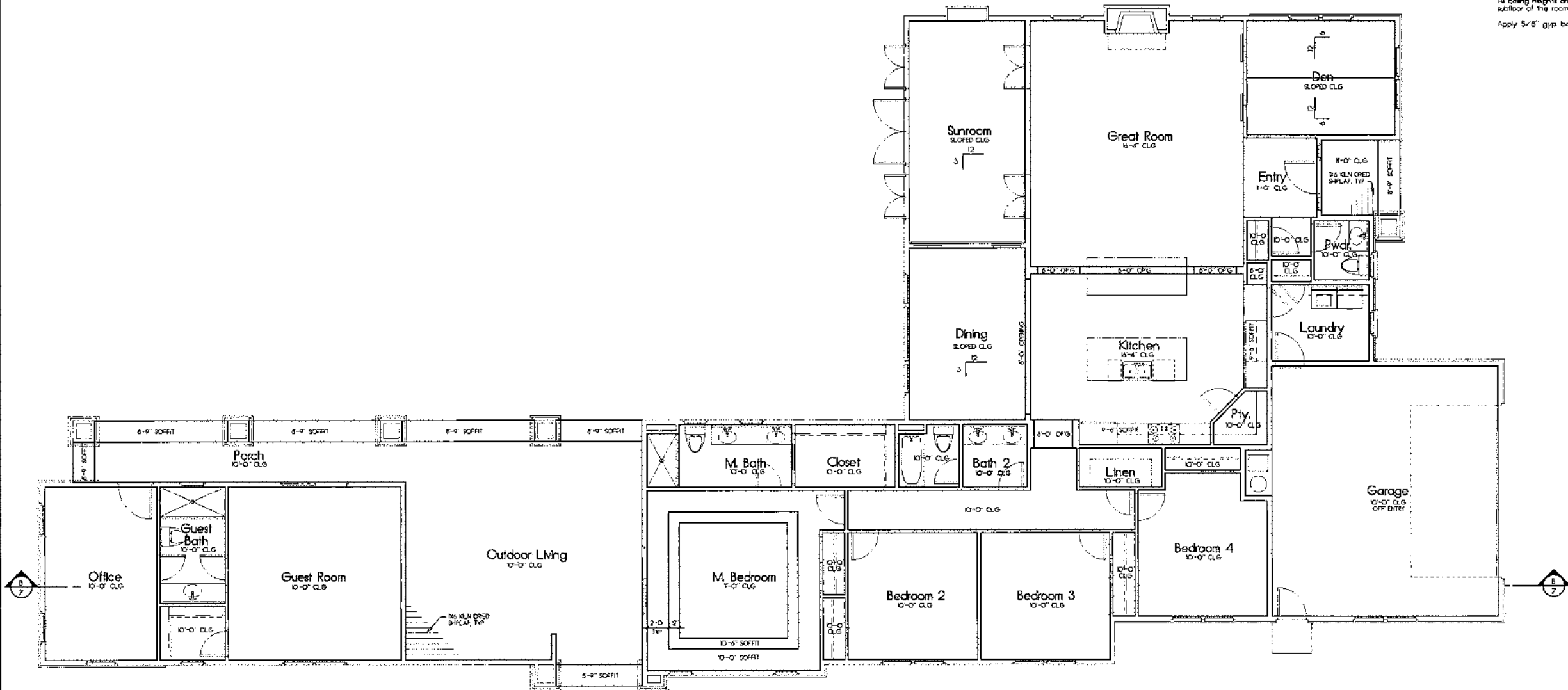
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 Checked: Terry
 Date: 1-29-16 Of 3

2

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Gagliardi Residence
 Lot 4 - Parcel Map 8105
 Pleasanton, California

Notes:
 All angles other than 90 degrees shall be 45 degrees UNLESS NOTED.
 All posts, beams, and walls supporting the floor/ceiling above the garage shall be protected by one hour construction.
 All ceiling heights are measured off the respective subfloor of the room UNLESS NOTED.
 Apply 5/8" gyp bd at all ceilings.



Rev	Description	Date

Reflected Ceiling Plan

Job Number: 201522 Sheet: 3
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 1-29-16 Cl: 8

Gagliardi Residence

Lot 4 - Parcel Map 8105
 Pleasanton, California

Notes:

Roofing shall be Composition Shingle over 3/8" felt over 1/2" OSB sheathing w/ radiant barrier noted per structural engineers specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

All framing shall be Douglas Fir No. 2 or better (UON).

Composition shingles shall be fastened per 2018 CBC.

Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper, or other approved flexible flashing material and shall be formed to follow the contour of the tie and allow sloping of the flue as per 2018 CBC.

Rake heights are designated all adjacent subfloor (UON).

All rakes shall be 12" from wal framing (UON).

All eaves shall be 24" from wal framing (UON).

Plumbing waste stacks and combustion flues shall be placed to penetrate to the rear of the main ridge line.

All beams shall be braced at each end to prevent rotation.

ATTIC VENTILATION	2527 / 150 = 16.85 sq ft
Total area required to be vented	16.65 sq ft
27 Rafter vent	15.55 sq ft
0 Gable end vent	0.00 sq ft
16 O'Hagan vent	1.179 sq ft
Total Area of ventilation	27.34 sq ft
50% LOW REQUIREMENT	15.55 > 8.43 OKAY
50% HIGH REQUIREMENT	1.79 > 8.43 OKAY

ATTIC VENTILATION	2200 / 150 = 14.67 sq ft
Total area required to be vented	14.67 sq ft
16 Rafter vent	10.37 sq ft
0 Gable end vent	0.00 sq ft
16 O'Hagan vent	10.45 sq ft
Total Area of ventilation	20.85 sq ft
50% LOW REQUIREMENT	10.37 > 7.34 OKAY
50% HIGH REQUIREMENT	10.46 > 7.34 OKAY

Rev.	Description	Date

Roof Plan

Job Number	201522	Sheet	
Scale	1/4" = 1'-0"		
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Checked	Terry		
Date	1-29-18	Ct	13

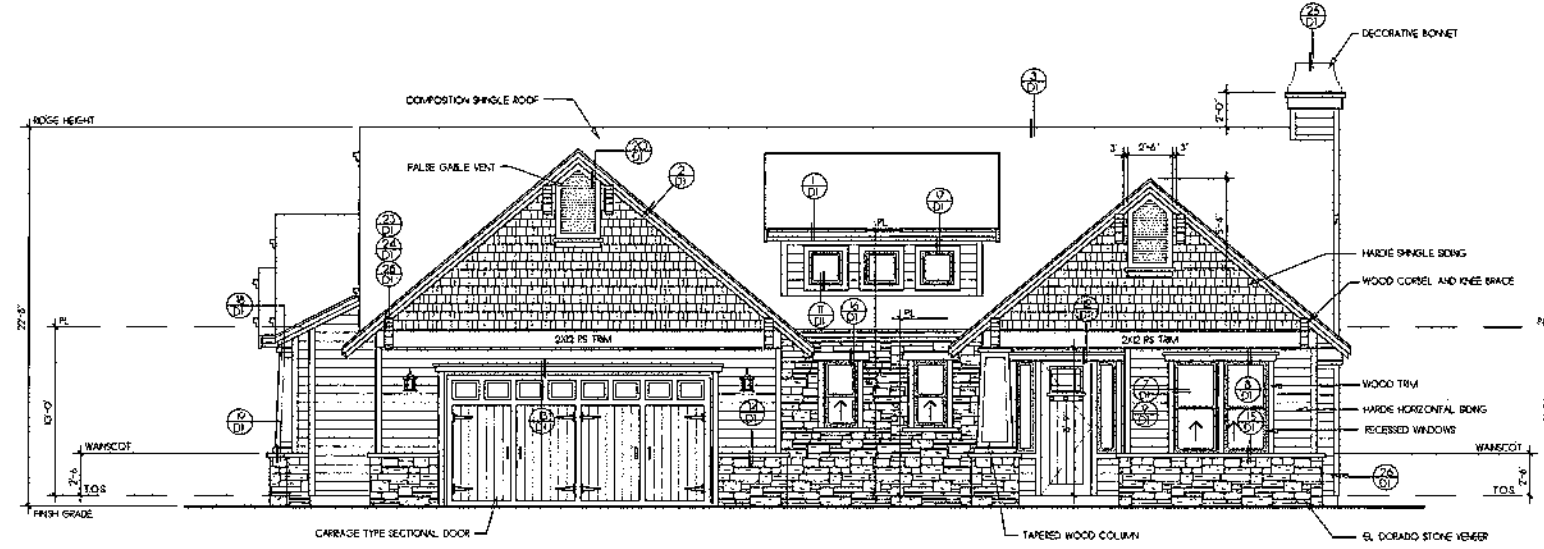
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Gagliardi Residence

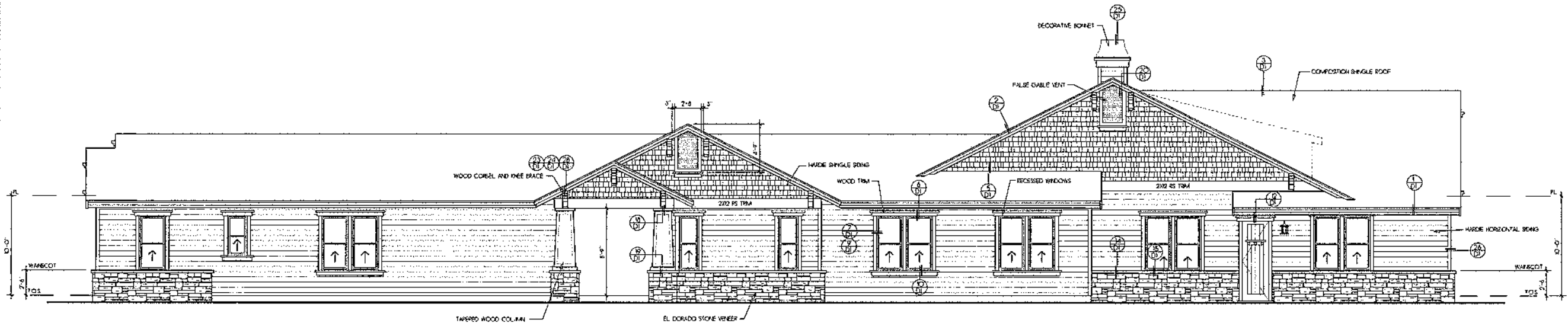
Lot 4 - Parcel Map 8105
 Pleasanton, California

Notes:

- All windows or full floor shall be mounted at 8'-0" above top of subfloor (1/011)
- Provide 15# building paper at all exterior walls with wood siding trim.
- SF - Subfloor
- SubF - Subfloor
- T.O.S. - Top of Slab
- T.O.S.W. - Top of stem wall
- T.O.Ftg - Top of Footing
- Fireplace shall be equipped with GSM terminal cap with spark arrester
- Egress windows shall comply with 2013 CBC with a minimum net clear opening area of 5.7 sq. ft., a minimum net clear opening height of 24 inches, a minimum net clear opening width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.
- Roofing shall be Certainteed Landmark Premium Max Def Georgetown Grey.
- Body shall be Kelly-Moore Winters Park.
- Accent shall be Kelly-Moore Gray Spk.
- Trim shall be Kelly-Moore Swiss Coffee.
- Door and Gable vents shall be Kelly-Moore Carbon.
- Stone shall be El Dorado Vineyard Trial Rough Cut.



Front Elevation
 (South)



Left Side Elevation
 (West)

Rev	Description	Date

Exterior Elevations

Job Number: 201922 Sheet: 5
 Scale: 1/4" = 1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 1-29-16

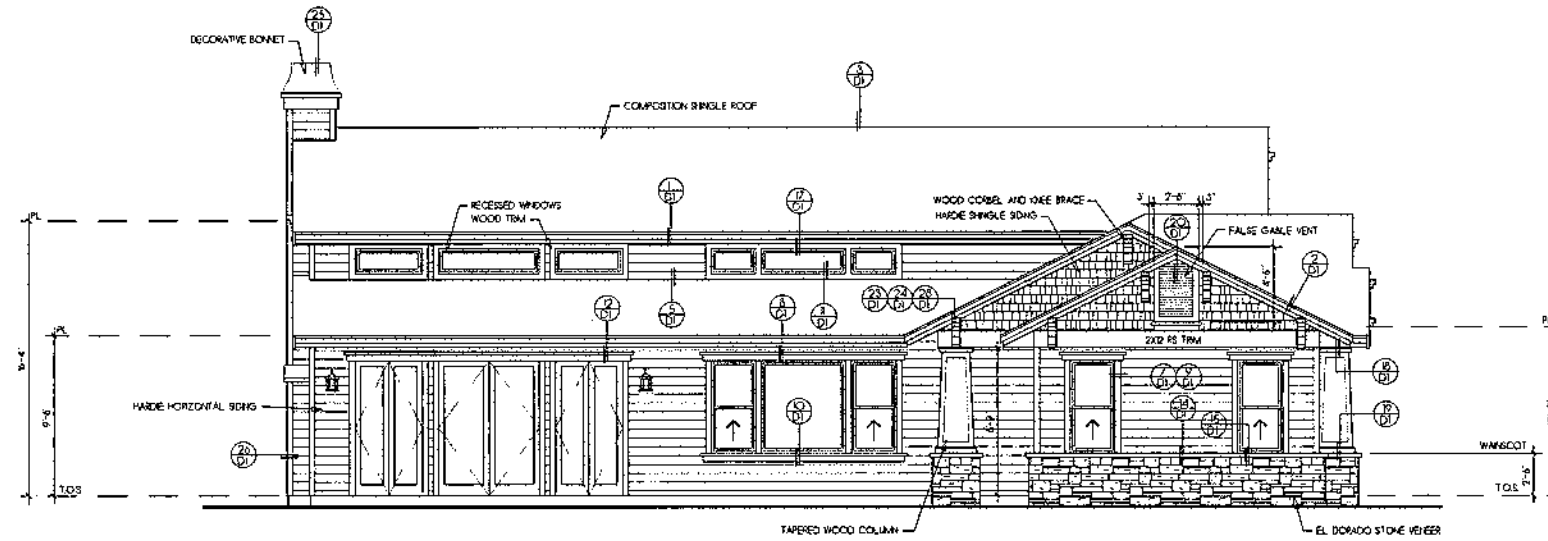
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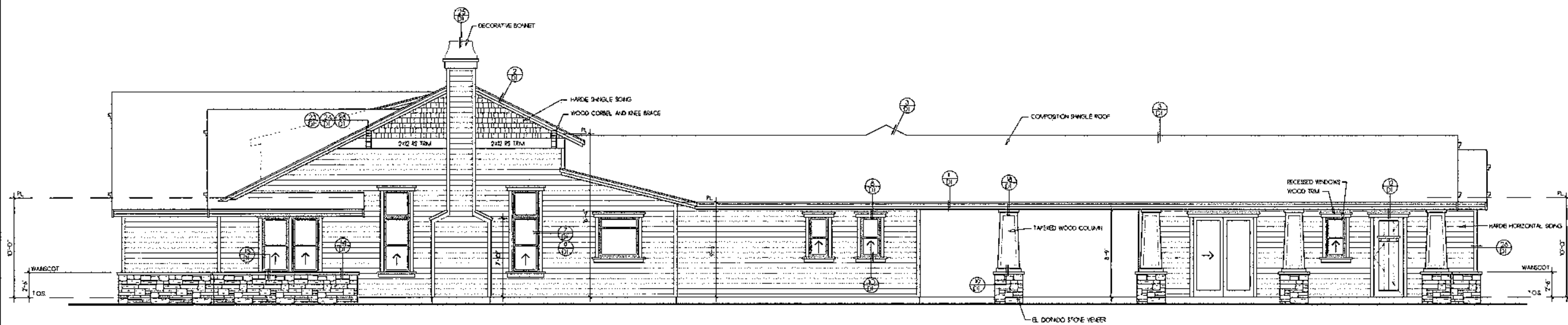
Lot 4 - Parcel Map 8105
 Pleasanton, California

Notes:

- All windows at 1st floor shall be mounted at 5'-0" above top of subfloor (U.O.N.)
- Provide 15# building paper at all exterior walls with wood siding finish.
- SF - Subfloor
- SubR - Subfloor
- TOS - Top of Slab
- TOSW - Top of stem wall
- TO Ftg. - Top of Footing
- Fireplace shall be equipped with GSM terminal cap with spark arrester
- Egress windows shall comply with 2013 CBC with a minimum net clear operable area of 5.7 sq ft, a minimum net clear operable height of 24 inches, a minimum net clear operable width of 20 inches, and a maximum height of 64 inches from the floor to the bottom of the window opening.
- Roofing shall be Certainteed Lorantek Premium Max Del Georgetown Grey
- Body shall be Kelly-Moore Winters Park
- Accent shall be Kelly-Moore Gray Spel
- Trim shall be Kelly-Moore Swiss Coffee
- Door and Gable vents shall be Kelly-Moore Cabon
- Stone shall be B Dorado Vineyard Trail Rough Cut



Rear Elevation
 (North)



Right Side Elevation
 (East)

Rev.	Description	Date

Exterior Elevations

Job Number: 201522 Sheet
 Scale: 1/4" = 1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 1-29-16 Of 13

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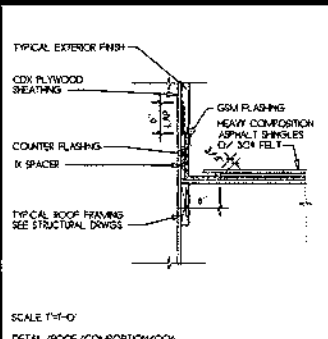
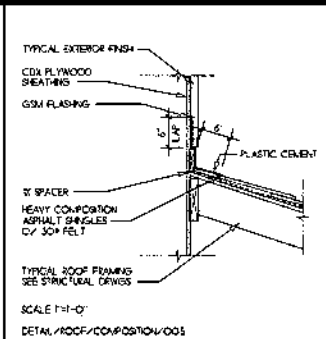
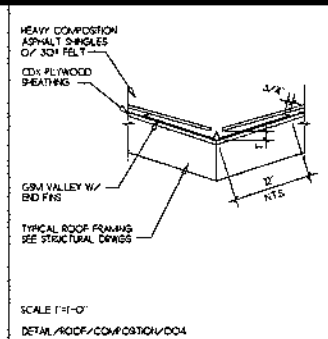
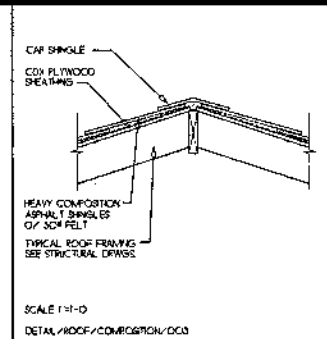
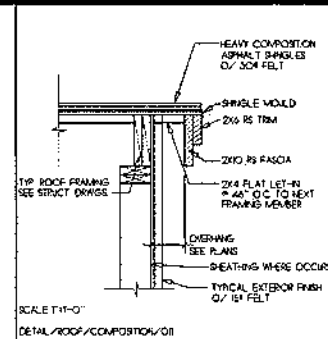
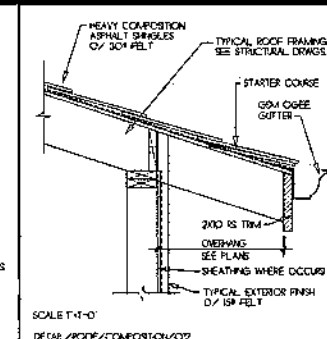
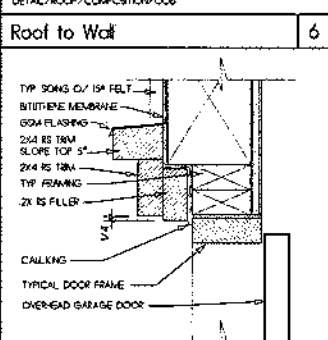
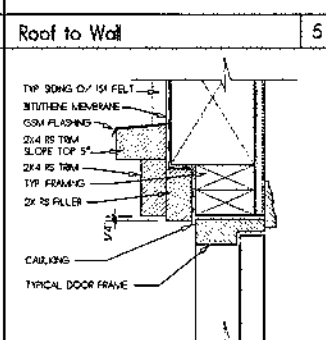
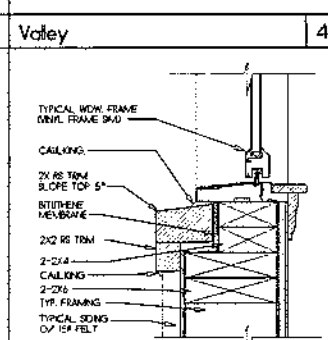
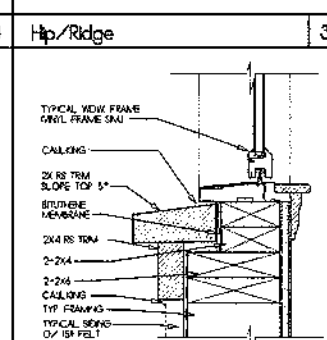
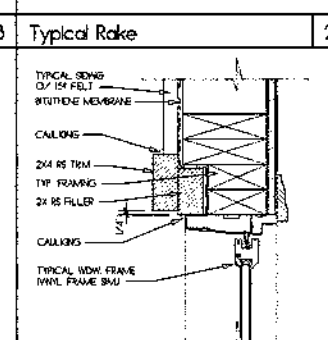
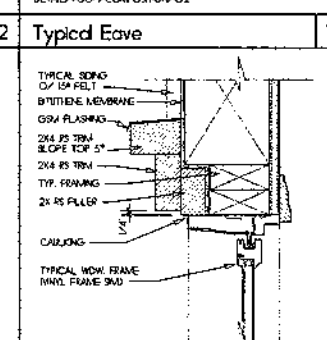
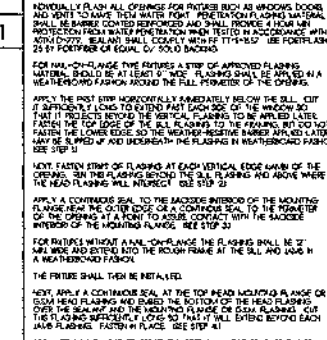
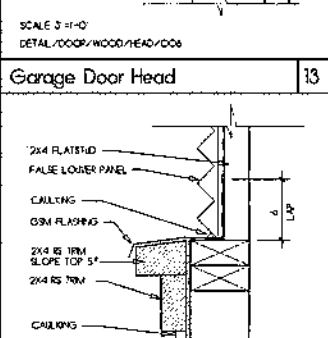
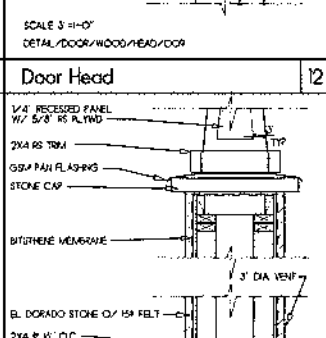
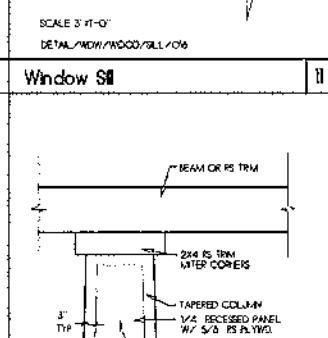
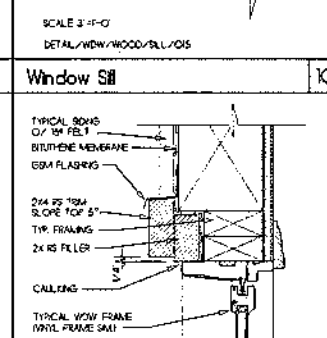
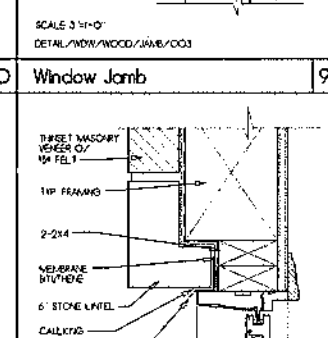
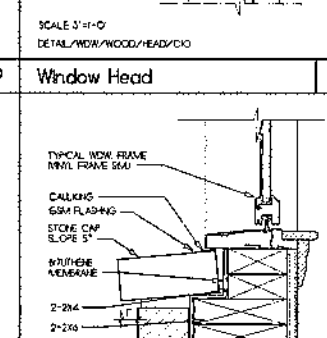
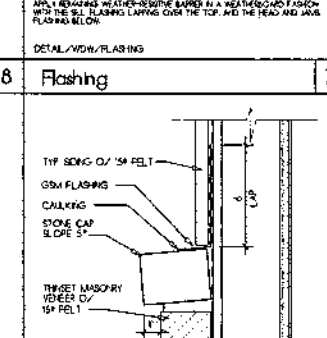
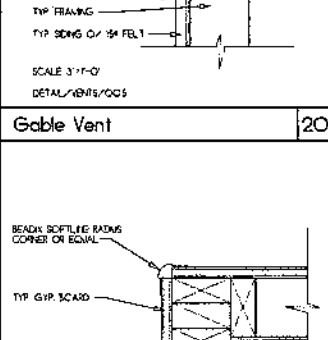
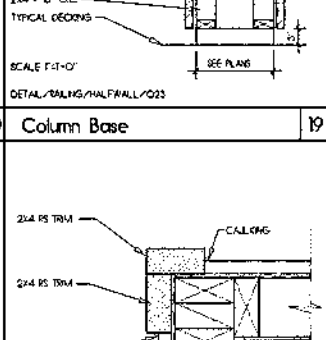
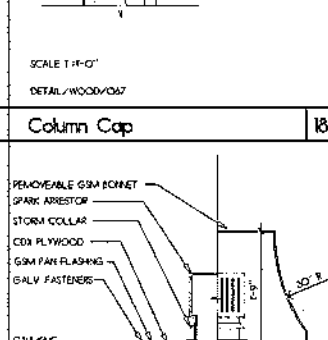
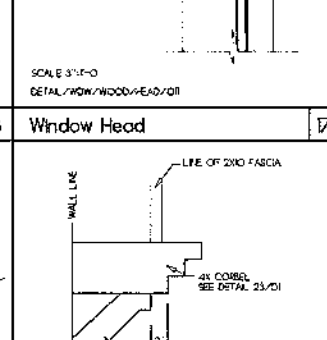
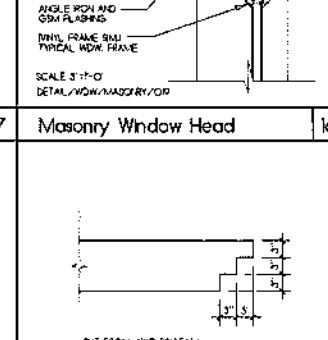
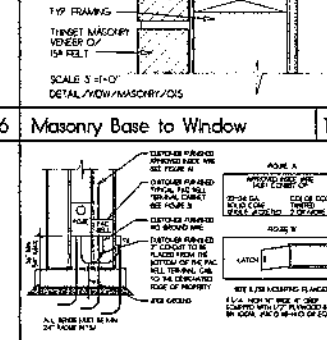
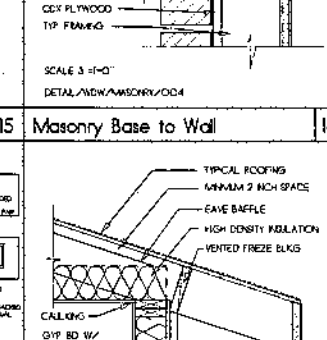
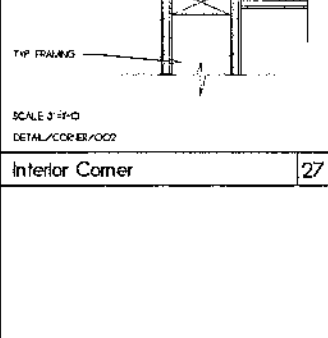
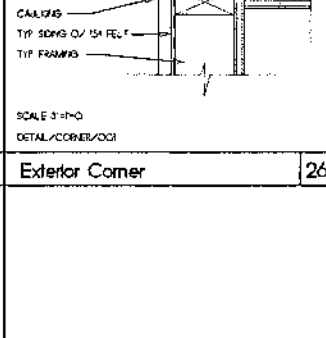
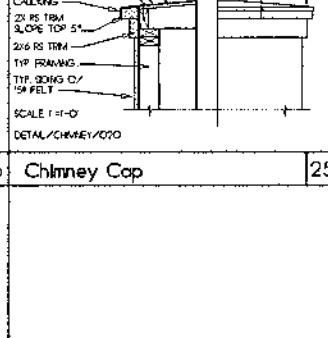
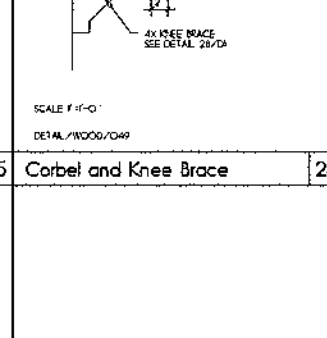
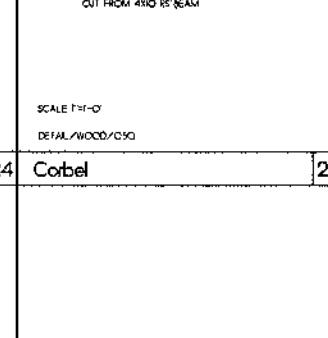
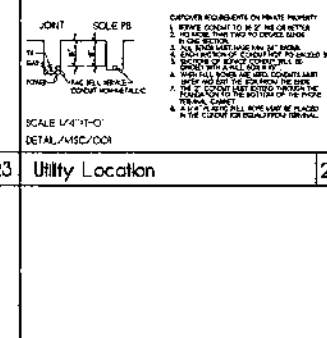
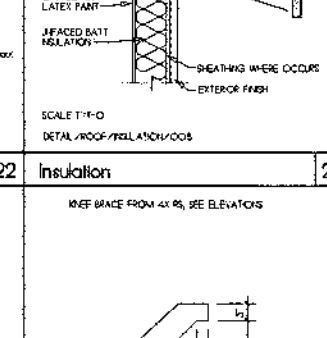






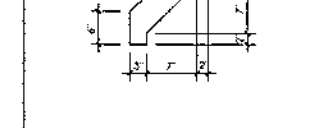
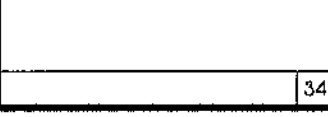
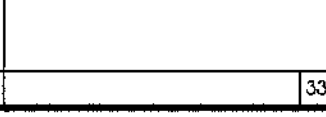
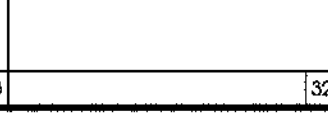
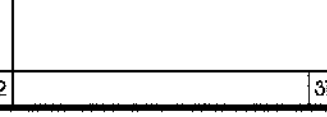
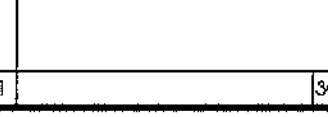

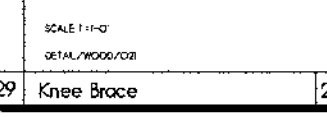
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Gagliardi Residence

Lot 4 - Parcel Map 6105
 Pleasanton, California

Notes:

INDIVIDUAL FLASHING ALL FLASHINGS FOR WINDOWS, DOORS AND ROOF TO WALLS SHALL BE APPLIED AS SHOWN. FLASHINGS SHALL BE APPLIED AS SHOWN AND SHALL BE PROTECTED FROM DAMAGE BY ANY OTHER MATERIALS. FLASHINGS SHALL BE APPLIED AS SHOWN AND SHALL BE PROTECTED FROM DAMAGE BY ANY OTHER MATERIALS. FLASHINGS SHALL BE APPLIED AS SHOWN AND SHALL BE PROTECTED FROM DAMAGE BY ANY OTHER MATERIALS.

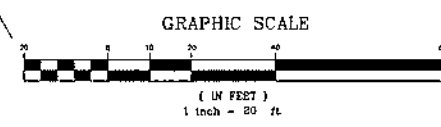
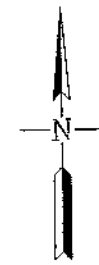
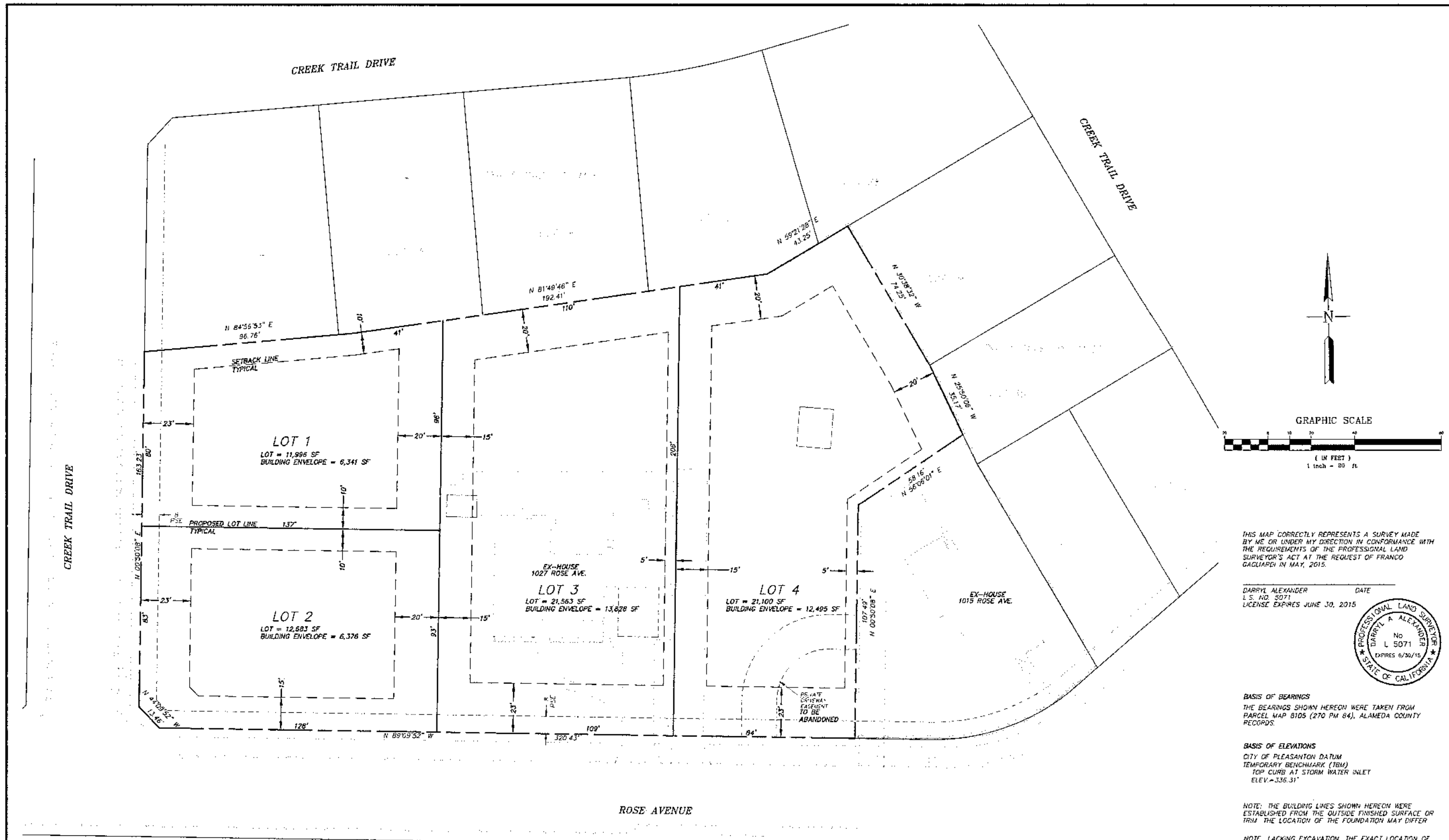
 <p>Roof to Wall 6</p>	 <p>Roof to Wall 5</p>	 <p>Valley 4</p>	 <p>Hip/Ridge 3</p>	 <p>Typical Rake 2</p>	 <p>Typical Eave 1</p>
 <p>Garage Door Head 13</p>	 <p>Door Head 12</p>	 <p>Window Sill 11</p>	 <p>Window Sill 10</p>	 <p>Window Jamb 9</p>	 <p>Window Head 8</p>
 <p>Flashing 7</p>	 <p>Gable Vent 20</p>	 <p>Column Base 19</p>	 <p>Column Cap 18</p>	 <p>Window Head 17</p>	 <p>Masonry Window Head 16</p>
 <p>Masonry Base to Window 15</p>	 <p>Masonry Base to Wall 14</p>	 <p>Interior Corner 27</p>	 <p>Exterior Corner 26</p>	 <p>Chimney Cap 25</p>	 <p>Corbel and Knee Brace 24</p>
 <p>Corbel 23</p>	 <p>Utility Location 22</p>	 <p>Insulation 21</p>	 <p>Knee Brace 28</p>	 <p>Interior Corner 27</p>	 <p>Exterior Corner 26</p>
 <p>Interior Corner 27</p>	 <p>Exterior Corner 26</p>	 <p>Chimney Cap 25</p>	 <p>Corbel and Knee Brace 24</p>	 <p>Corbel 23</p>	 <p>Utility Location 22</p>
 <p>Utility Location 22</p>	 <p>Insulation 21</p>	 <p>Knee Brace 28</p>	 <p>Interior Corner 27</p>	 <p>Exterior Corner 26</p>	 <p>Chimney Cap 25</p>
 <p>Chimney Cap 25</p>	 <p>Corbel and Knee Brace 24</p>	 <p>Corbel 23</p>	 <p>Utility Location 22</p>	 <p>Insulation 21</p>	 <p>Knee Brace 28</p>

Rev Description Date

Architectural Details

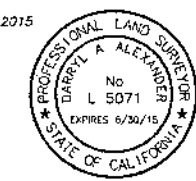
Job Number 201502 Sheet
 Scale As Noted
 Drawn Terry
 Checked Terry
 Date 1-29-16 Of 13

D1



THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT AT THE REQUEST OF FRANCO GAGLIARDI IN MAY, 2015.

DARRYL ALEXANDER DATE
 L.S. NO. 5071
 LICENSE EXPIRES JUNE 30, 2015



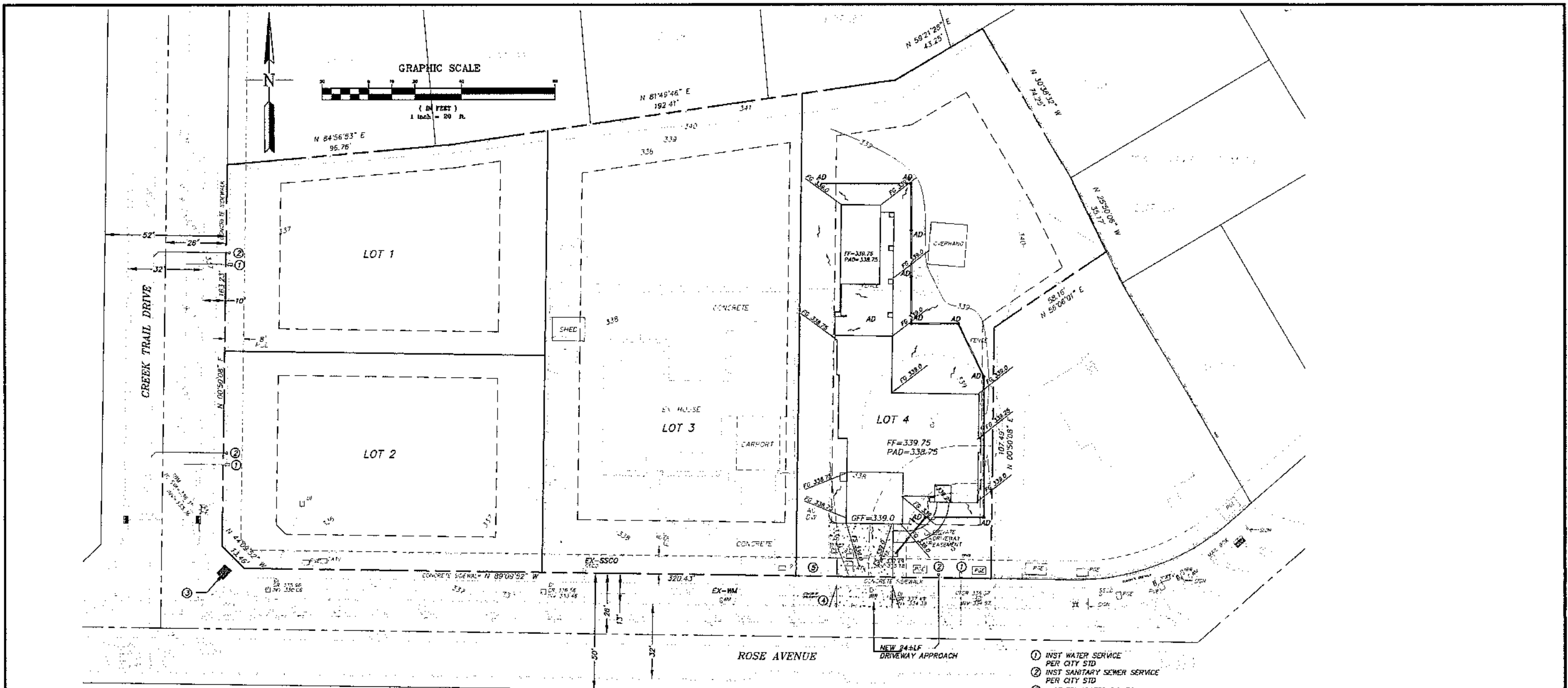
BASIS OF BEARINGS
 THE BEARINGS SHOWN HEREON WERE TAKEN FROM PARCEL MAP 8105 (270 PM 84), ALAMEDA COUNTY RECORDS.

BASIS OF ELEVATIONS
 CITY OF PLEASANTON DATUM
 TEMPORARY BENCHMARK (TBM)
 TOP CURB AT STORM WATER INLET
 ELEV. = 336.31'

NOTE: THE BUILDING LINES SHOWN HEREON WERE ESTABLISHED FROM THE OUTSIDE FINISHED SURFACE OR TBM. THE LOCATION OF THE FOUNDATION MAY DIFFER.

NOTE: LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

PROJECT NAME		SURVEYORS		JOB NO.		SHEET NO.	
PARCEL B PARCEL MAP 8105 (270 PM 84)		ALEXANDER & ASSOCIATES INC.		15104		1	
147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (926) 462-2255		ENGINEERS PLANNERS		DISK NO.		OF 2 SHEETS	
DRAWN BY: SL		CHECKED BY: DA		FILE NO. 15104CAD		DATE FEB. 4, 2016	
DESIGNED BY:		SCALE: AS SHOWN		SHEET TITLE			
				SITE PLAN ROSE AVENUE PLEASANTON, CALIFORNIA			



GRADING NOTES:

1. ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
2. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
3. ALL DOWNSPUTS SHALL HAVE A MINIMUM 3" DIAMETER SOLID DRAIN LINES AND SHALL DRAIN TO FLOW THROUGH PLANTER.
4. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM 2% SLOPE FOR MINIMUM DISTANCE OF 5 FEET.
5. SURFACE WATER SWALES SHALL HAVE A 1% MINIMUM SLOPE AND BE CONNECTED TO AREA DRAINS.
6. AREA DRAINS SHALL HAVE A MINIMUM 8 INCHES DIAMETER GRATE OPENING.
7. ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
8. ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS, NOT THROUGH THEM. ANY SUBDRAINS PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PIERS AND/OR GRADE BEAMS.
9. WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
10. ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-FLEXIBLE PVC PIPE. PERFORATED PIPE SHALL BE USED FOR SUBDRAINS ONLY. 6" STORM DRAIN TO BE PVC SDR-35 OR APPROVED EQUAL. (SEE DETAILS)
11. CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
12. EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 15 IF WORK CONTINUES INTO THE RAINY SEASON.

13. THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
14. THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
15. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPUTS, AND DRAINAGE SWALES.

NOTES:

ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, NDI FIELD LOCATED.

PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.

SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION. THIS PLAN IS INTENDED FOR GRADING AND DRAINAGE.

- ① INST WATER SERVICE PER CITY STD
- ② INST SANITARY SEWER SERVICE PER CITY STD
- ③ INST TRUNCATED DOMES ON EX-ACCESSIBLE RAMP PER CITY STD
- ④ REMOVE EXISTING DRIVEWAY APPROACH
- ⑤ REMOVE 14'x8' EXISTING ASPHALT DRIVEWAY

ABBREVIATIONS

- AD AREA DRAIN (4" OR 6" DIA. 1/2" OR EQUAL)
- CD CLEAN-OUT (4" SOLID SDR 35 PVC PIPE WITH CAP)
- DI DRAIN INLET (HANSON P18 OR EQUAL)
- EW BOTTOM OF RETAINING WALL
- FF FINISHED FLOOR
- FL FLOWLINE
- FM FENCE MARK (BY OTHERS)
- FG FINISHED GRADE
- FS FINISHED SURFACE
- GS TOP OF GRADE
- HP HIGHPOINT
- INV INVERT
- OFF GARAGE FINISHED FLOOR
- SW STORM WATER INLET
- TC TOP OF CURB
- TO GRADE
- TW TOP OF RETAINING WALL
- SS SANITARY SEWER
- WS WATER SERVICE
- WM WATER METER
- WT JOINT TRENCH
- LS LANDSCAPING
- GC GRANITE

LEGEND

- EX CONTOUR
- NEW CONTOUR
- PROPERTY LINE
- STORM DRAIN
- DRAINAGE ARROW INDICATES DIRECTION OF DRAINAGE
- REMOVE EXIST. TREE

REV	DATE	DESCRIPTION	APPROVAL

PROJECT NAME

**PARCEL B
PARCEL MAP 8105
(270 PM 84)**

ALEXANDER & ASSOCIATES INC.
SURVEYORS ENGINEERS PLANNERS
147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 462-2255

DRAWN BY: SL
DESIGNED BY:
CHECKED BY: DA
SCALE: AS SHOWN

SHEET TITLE

**GRADING PLAN
ROSE AVENUE
PLEASANTON, CALIFORNIA**

JOB NO. 15104	SHEET NO. 2
DSK NO.	
FILE NO. 15104CAD	
DATE FEB. 4, 2016	OF 2 SHEETS

LANDSCAPE NOTES:

PRIOR TO THE CLEARING OPERATIONS, THE CONTRACTOR SHOULD MEET WITH THE OWNER'S REPRESENTATIVE TO IDENTIFY TREES TO REMAIN ON THE SITE AND THOSE TO BE REMOVED. NOT TREES SHOULD BE REMOVED WITHOUT PRIOR APPROVAL. WHERE POSSIBLE, EXISTING TREES SHOULD BE RETAINED.

EXISTING SITE FEATURES WHICH ARE TO REMAIN SHOULD BE PROTECTED WITH APPROPRIATE FENCINGS, STAKES, OR FLAGS.

INDIVIDUAL TREES AND SHRUBS WHICH ARE TO REMAIN SHOULD BE PROTECTED WITH THE PLACEMENT OF AN APPROVED BARRIER AT THE DRIFLINE END OF THE TREE.

TREE MOVING OR TRANSPLANTING SHOULD BE DONE BY AN APPROVED ARBORIST OR EXPERIENCED CONTRACTOR.

ALL NOXIOUS WEEDS AND UNWANTED VEGETATION SHOULD BE ERADICATED BY APPROVED METHODS.

ALL CLEARED SITE IMPROVEMENTS, TREES, STUMPS, ROOTS, BRUSH, VEGETATION, AND DEBRIS SHOULD BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, SPECIFICATION, INSTALLATION AND WARRANTY OF ALL IRRIGATION SYSTEMS. THE CONTRACTOR SHALL GUARANTEE ADEQUATE COVERAGE OF ALL AREAS WITHIN THE LANDSCAPE. THE CONTRACTOR SHOULD SUBMIT COMPLETED CONSTRUCTION DOCUMENTS NECESSARY FOR THE CONSTRUCTION OF THE IRRIGATION SYSTEMS TO THE OWNER OR OWNERS REPRESENTATIVE FOR REVIEW PRIOR TO SUBMITTAL FOR PERMITS.

CONTRACTOR SHOULD FURNISH THE OWNER OR OWNERS REPRESENTATIVE WITH ACCURATE, PROPERLY DIMENSIONED, UP-TO-DATE "AS-BUILT" DRAWINGS OF ALL INSTALLATIONS OF THE IRRIGATION SYSTEM.

UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION, THE CONTRACTOR SHOULD PHYSICALLY DEMONSTRATE TO THE OWNER OR OWNERS REPRESENTATIVE HOW TO SET THE CONTROLS, ADJUST SPRINKLER HEADS, AND OPERATE PUMPS AND OTHER EQUIPMENT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPECIFICATION, INSTALLATION AND WARRANTY OF ALL LOW VOLTAGE LIGHTING SYSTEMS. THE CONTRACTOR SHALL GUARANTEE OPTIMUM USAGE BY SPECIFICATION OF PROPER WIRE SIZING, ADEQUATE TRANSFORMER WATTAGE, AND PROPER CONNECTIONS.

PLANTING OPERATIONS SHOULD BE SCHEDULED TO AVOID UNNECESSARY HOLDINGS OF PERSHABLE PLANT MATERIALS AND AS REQUIRED TO SATISFY THE JOB SCHEDULES.

PLANTING SHOULD NOT BE DONE WHEN SOIL IS IN AN EXTREMELY WET OR MUDDY CONDITION.

PLANT MATERIAL SUBSTITUTIONS SHOULD BE OF SIMILAR GROWTH HABIT AND REQUIREMENTS, SIZE, TEXTURE, AND COLOR. SUBSTITUTIONS MUST BE APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.

CONTRACTOR SHOULD BE RESPONSIBLE FOR THE QUALITY OF ALL MATERIALS AND WORKMANSHIP OF A MINIMUM PERIOD OF 90 DAYS FOLLOWING COMPLETION OF INSTALLATION AND FINAL INSPECTION AND ACCEPTANCE.

OWNER SHALL ASSUME RESPONSIBILITY OF MAINTENANCE UPON FINAL INSPECTION AND ACCEPTANCE. CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN OPERATIONAL AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT INSTALLED ON THE SITE ALONG WITH MANUFACTURERS WARRANTIES.

GRADING NOTES:

ALL GRADING OPERATIONS AND PAVING SHALL CONFORM TO THE RECOMMENDATIONS OF THE SOLE ENGINEER AND/OR THE LOCAL JURISDICTIONS ENGINEER AND ARE SUBJECT TO HIS OBSERVATION.

THE CONTRACTOR IS TO BE FAMILIAR WITH THE SOILS REPORT ON RECORD.

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES NOT SHOWN.

ALL ORGANIC MATERIALS, INCLUDING GRASS & WEEDS, SHALL BE STRIPPED PRIOR TO ANY GRADING OPERATION AND REMOVED AWAY FROM AREAS THAT ARE TO RECEIVE STRUCTURES OR ENGINEERED FILL. STRIPPINGS SHALL BE USED FOR LANDSCAPING, MOUNDING, AND/OR BLENDING AND USED AS A FILL IN NON-STRUCTURAL AREAS.

GRADING SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CONTROL OF DUST.

ANY DAMAGE SUCH AS CONSTRUCTION, SETTLING, OR EROSION, CAUSED TO EXISTING GRADES DURING THE GRADING OPERATIONS OR AS A RESULT OF THE GRADING OPERATIONS, SHALL BE REPAIRED AND THE DAMAGED AREAS RETURNED TO THEIR ORIGINAL GRADE AND STATE OF PERMEABILITY.

OBSTRUCTIONS NOTICED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES, NEITHER THE OWNER, MANAGER, LANDSCAPE ARCHITECT NOR ENGINEER ASSUMES RESPONSIBILITY THAT THE OBSTRUCTIONS NOTICED WILL ACTUALLY BE THE OBSTRUCTIONS ENCOUNTERED.

GRADING OPERATIONS SHALL BE CONTROLLED TO PREVENT NUISANCES TO PUBLIC AND PRIVATE OWNERS BY RELOCATING OR REMOVING OBSTRUCTIONS OF NATURAL SUPPORT OF LAND AND STRUCTURES, ENCROACHMENT, NOISE OR VIBRATIONS.

ALL GRADING WORK AND SUBSURFACE DRAINAGE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS BY THE GEOTECHNICAL (SOILS) ENGINEER AND SUBJECT TO APPROVAL BY THE CITY ENGINEER.

CONTRACTOR SHALL BE RESPONSIBLE FOR OVERALL DRAINAGE OF THE SITE AND CONTROL OF SETTLEMENT, EROSION, AND DEBRIS.

CONTRACTOR SHALL AFFECT AND MAINTAIN PRECAUTIONARY MEASURES NECESSARY TO PROTECT THE PROJECT SITE AND ADJACENT WATERCOURSES AND PUBLIC OR PRIVATE PROPERTY FROM DAMAGE DUE TO EROSION, FLOODING, AND DEPOSITION OF MUD OR DEBRIS ORIGINATING FROM THE SITE.

MAXIMUM ONE (1) PERCENT SLOPE AND MAXIMUM THREE (3) PERCENT SLOPE FOR PAVING AREAS, WITH THE EXCEPTION OF DRIVEWAYS OR RAMPS AS NOTICED IN PLANS.

ALL BUILDINGS AND SITE STRUCTURES SHALL BE GRADED AND SLOPED AWAY FROM THE FOUNDATION WITH A MINIMUM SLOPE OF THREE (3) PERCENT.

ALL GRADING SHALL BE PREPARED WITH A SMOOTH, NATURAL APPEARANCE BLENDING INTO THE ADJACENT AREAS. THERE SHOULD BE NO LARGE CLOUDS OF DIRT, ROCKY AREAS, UNNATURAL MOUNDS OR RIDGES AND DEBRIS OR FOREIGN MATERIAL.

GENERAL NOTES:

CONTRACTORS MUST BE ACTIVELY LICENSED BY THE CALIFORNIA CONTRACTORS STATE LICENSED BOARD PRIOR TO ENTERING INTO AN AGREEMENT TO PERFORM WORK AND MAY PERFORM ONLY SUCH WORK AS IS WITHIN THE SCOPE OF SAID LICENSED SPECIALTY.

CONTRACTOR SHALL NOTIFY LSA UNDERGROUND ALERT (800) 277-2800. CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPELINES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR THE COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

IF REQUIRED, THE CONTRACTOR SHALL RELOCATE OR REMOVE EXISTING ACTIVE UTILITIES ONLY AS DIRECTED. THE OWNER SHALL PAY FOR THE RELOCATION OR REMOVAL.

CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER, CONSTRUCTION MANAGER, LANDSCAPE ARCHITECT AND/OR CONSULTING ENGINEER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

IF IT APPEARS THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THE FINAL CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR THE LANDSCAPE ARCHITECT FOR SUCH FURTHER EXPLANATIONS AS MAY BE REQUIRED.

IF THE CONTRACTOR REQUESTS CHANGES OF MATERIALS THAT REQUIRES CHANGES TO THE CONSTRUCTION DRAWINGS AND PROCESSING CHANGES THROUGH APPROPRIATE AGENCIES, HE WILL PAY THE COST OF MODIFYING THE CONSTRUCTION DOCUMENT CHANGES AND COST OF PROCESSING CHANGES THROUGH APPROPRIATE AGENCIES AS NECESSARY.

CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OWNER, CONSTRUCTION MANAGER, LANDSCAPE ARCHITECT, CONSULTING ENGINEER, SUBCONTRACTOR, ARCHITECT, ETC., AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PIPING, CONDUIT, SLEEVES, ETC. SHALL BE IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.

CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE EXECUTION OF THE WORK. THE PERMITS ARE THE PROPERTY OF THE OWNER AND ARE TO REMAIN ON THE SITE AT ALL TIMES.

CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE LAWS, REGULATIONS, CODES, AND ORDINANCES OF THE STATE AND LOCAL AGENCIES. REFER TO COUNTY STANDARD PLANS AND SPECIFICATIONS WHERE APPLICABLE.

CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF ANY EASEMENTS, RIGHTS OF WAY, AND RESTRICTIONS AND WILL FOLLOW ANY RULES AND REGULATIONS REGARDING THE CONSTRUCTION IN AND AROUND SUCH EASEMENTS.

PRIOR TO FINAL INSTALLATION OF ANY CONSTRUCTION ITEM, AN INSPECTION SHALL BE PERFORMED. EACH ITEM SHALL BE INSPECTED AND APPROVED BY THE CONSTRUCTION MANAGER AND/OR OWNER DURING THE FOLLOWING STAGES:
- COMPLETED COMPACTED SUBGRADE
- COMPLETED FORMS WITH STEEL IN PLACE

CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIAL OR PROPERTY ITEM THAT IS DAMAGED DURING CONSTRUCTION.

ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK. THE SURVEY, IF REQUIRED, SHALL BE PAID FOR BY THE OWNER. SURVEY MARKERS THAT ARE DAMAGED, REMOVED, OR DESTROYED BY THE CONTRACTORS OPERATIONS SHALL BE RESTORED IN PROPER POSITION BY A CERTIFIED LAND SURVEYOR AT THE CONTRACTORS EXPENSE.

SEE SPECIFICATIONS AND GUIDELINES FOR CONSTRUCTION REQUIREMENTS, MATERIAL AND EXECUTION.

TOPOGRAPHIC AND SPOT ELEVATIONS ARE INTENDED ONLY TO INDICATE APPROXIMATE ELEVATIONS FOR SITE ELEMENTS. THE CONTRACTOR AND/OR CONSULTING ENGINEER SHALL VERIFY ALL ELEVATIONS AND GRADES IN THE FIELD.

ALL MATERIALS TO BE USED OR SALVAGED SHALL BE STORED IN AN AREA DESIGNATED BY THE OWNER FOR THAT PURPOSE. ALL SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER.

ALL EXISTING STRUCTURES, MATERIALS AND PLANT MATERIAL TO REMAIN WITHIN THE NEW CONSTRUCTION AREA SHALL BE PROPERLY AND ADEQUATELY PROTECTED FROM DAMAGE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION ANY EXISTING ITEM THAT IS DAMAGED OR DISTURBED IN ANY WAY.

ALL MATERIALS AND SUPPLIES ARE TO BE STORED ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND ARE NOT TO INHIBIT AN UNSAFE ENVIRONMENT.

STREETS, SIDEWALKS AND ADJACENT PROPERTY SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION OPERATION AS REQUIRED BY LOCAL CODES AND REGULATIONS AND APPROVED BY THE OWNER.

ALL GRADING AND SUBSURFACE DRAINAGE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL (SOILS) ENGINEER AND SUBJECT TO APPROVAL BY THE CITY ENGINEER.

CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER, CONSTRUCTION MANAGER, LANDSCAPE ARCHITECT, ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, CONSTRUCTION MANAGER, LANDSCAPE ARCHITECT, OR ENGINEER.

CONTRACTOR SHALL BE RESPONSIBLE FOR REASONABLE CLEANLINESS OF THE PROJECT SITE DURING PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, ALL CONSTRUCTION DEBRIS IS TO BE REMOVED OFF THE PROPERTY. THE SITE SHOULD BE INSPECTED WITH THE OWNER FOR FINAL APPROVAL.

IF TESTING OF ANY MATERIAL IS REQUIRED, THESE TESTS SHALL BE MADE BY A QUALIFIED LAB OR PERSON. COSTS TO BE PAID BY THE OWNER UNLESS OTHERWISE AGREED UPON. MATERIALS THAT FAIL TO MEET THE MINIMUM STANDARDS ARE TO BE REMOVED AND REPLACED WITH CORRECT MATERIALS AT THE CONTRACTORS EXPENSE.

A SCHEDULE OF ON-SITE INSPECTIONS SHOULD BE AGREED UPON BETWEEN THE CONTRACTOR AND THE OWNER PRIOR TO COMMENCEMENT OF THE WORK. THE SCHEDULING OF THE BUILDING INSPECTIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. IF NOT SPECIFIED BY THE LANDSCAPE ARCHITECT, THE CONTRACTOR SHALL SUBMIT SAMPLES OF MATERIALS TO THE OWNER AND RECEIVE APPROVAL PRIOR TO INSTALLATION.

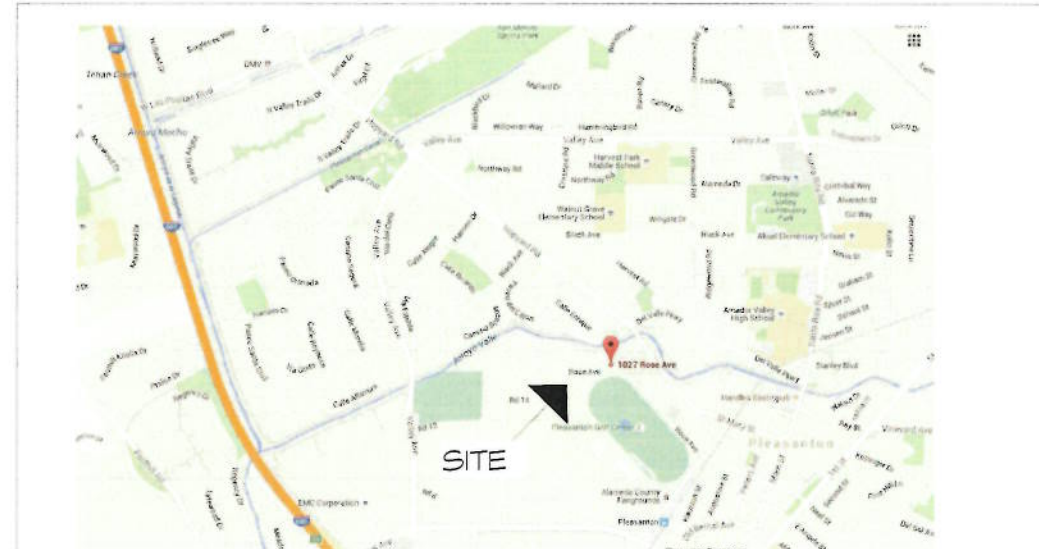
UPON FINAL COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE TO THE OWNER WRITTEN OPERATIONAL AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT INSTALLED ON THE SITE ALONG WITH THE MANUFACTURERS WARRANTIES.

THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS PRIOR TO BIDDING THE JOB. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS SHOWN WHEN IT IS OBVIOUS THAT OBSTRUCTIONS, UTILITIES, LANDSCAPE GRADE DIFFERENCES, OR LANDSCAPE AREA DISCREPANCIES OCCUR ON SITE THAT HAVE NOT BEEN REPRESENTED ON THE DESIGN. SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE DESIGNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

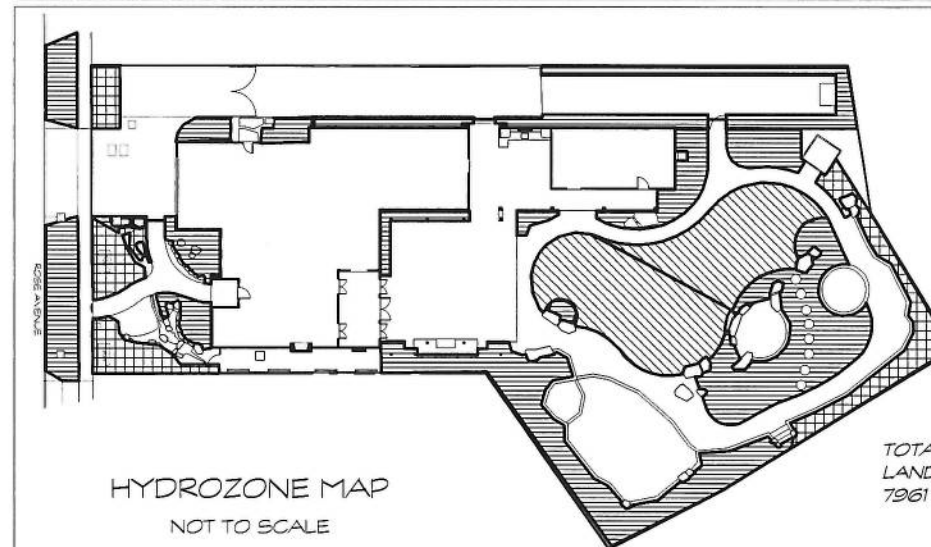
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
BY: _____ DATE: _____
LICENSE NUMBER CA 4777

**LANDSCAPE PLANS PREPARED FOR
FRANCO AND AMANDA GAGLIARDI
1027 ROSE AVENUE
PLEASANTON, CALIFORNIA**



LOCATION MAP



-  HIGH WATER USE
SPRAY
2113 SQUARE FT.
-  MEDIUM WATER USE,
DRIP
4564 SQUARE FT.
-  LOW WATER USE,
DRIP
1128 SQUARE FT.

TOTAL
LANDSCAPE AREA
7961 SQUARE FEET

SHEET INDEX:

- L-0 COVER SHEET
- L-1 HARDSCAPE LAYOUT
- L-2 DIMENSIONING PLAN
- L-3 PLANTING PLAN
- L-4 PLANTING NOTES
- L-5 IRRIGATION PLAN
- L-6 IRRIGATION NOTES AND LEGENDS
- L-7 IRRIGATION DETAILS
- L-8 LIGHTING PLAN
- L-9 DETAILS

Martin Hoffmann
4713 First Street
Suite 205
Pleasanton, Ca
94566
925 462 2190
fax 925 462 2199

Gagliardi Residence
1027 ROSE AVE.
lot 4
parcel map 8105
Pleasanton, Ca.

NOTE:
This plan is diagrammatic in nature. It is meant as a general guide to construction only. It is not fully detailed nor exhaustively specified.
It is the responsibility of the contractor to become familiar with the site prior to starting work. Notify landscape designer promptly with any field discrepancies. It is the responsibility of the contractor and/or owner to verify, select, and resolve all structures, water features, and planting materials.
The contractor and owner are solely responsible for quality control, construction standards and for maintaining compliance with local and county codes on this project.



REV. NO.	REVISION
1	REVISED DRIVEWAY 1/8/16

COVER SHEET

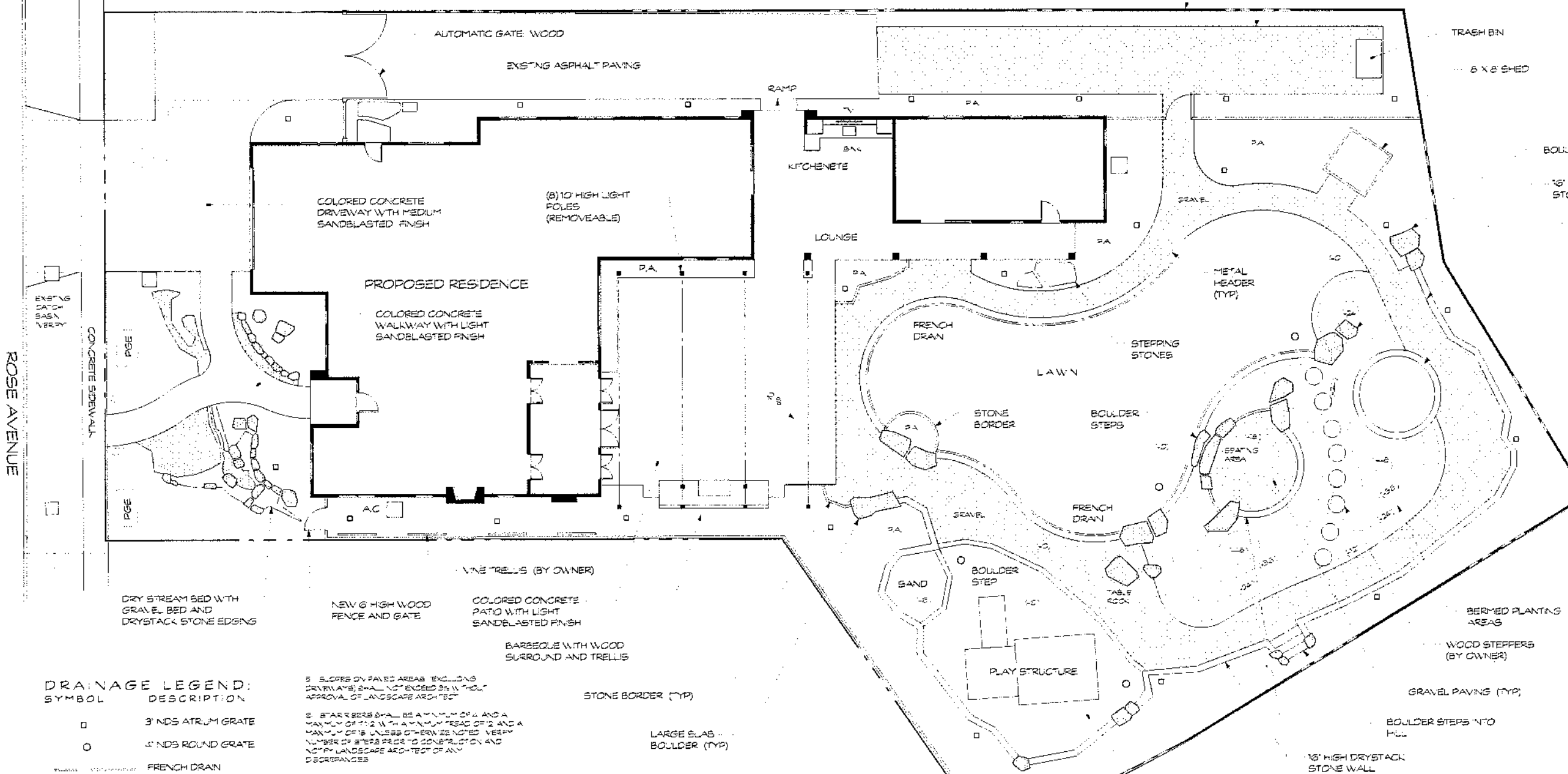
Job No: _____
Drawn: mfh

L-0

NOTE: VERIFY LOCATIONS OF EXISTING UTILITIES. RE-POSITION AS NECESSARY

NEW WOOD FENCING AT PERIMETER
NEW GRAVEL PAVING

NOTE: INSTALL GOPHER NETTING UNDER LAWN AND ON BERMED AREAS. 3" MINIMUM UNDER GRADE



TRASH BIN
6 X 8 SHED
BOULDERS (TYP)
16' HIGH DRYSTACK STONE WALL (TYP)

FLUSH MOUNT IN-GROUND TRAMPOLINE WITH RETAINING WALLS. SPECIFICATIONS BY OTHERS

Martin Hoffmann
4713 First Street
Suite 205
Pleasanton, Ca 94566
925 462 2190
fax 925 462 2193

Gagliardi Residence
1027 ROSE AVE.
lot 4
parcel map 8105
Pleasanton, Ca.

NOTE: This plan is diagrammatic in nature. It is meant as a general guide to construction only. It is not fully detailed nor exhaustively specified. It is the responsibility of the contractor to become familiar with the site prior to starting work. Notify landscape designer promptly with any field discrepancies. It is the responsibility of the contractor and/or owner to verify, select, and resolve all structures, water features, and planting materials. The contractor and owner are solely responsible for quality control, construction standards and for maintaining compliance with local and county codes on this project.



REV. NO.	REVISION
1	REVISED DRIVEWAY (8/16)

HARDSCAPE PLAN

Job No. _____ Date: 10/09/09
Drawn: mh Scale: 1/8" = 1'-0"

DRAINAGE LEGEND:

SYMBOL	DESCRIPTION
□	3" INDS ATRUM GRATE
○	4" INDS ROUND GRATE
—	FRENCH DRAIN

1. SLOPES ON PAVED AREAS (EXCLUDING DRIVEWAYS) SHALL NOT EXCEED 3% WITH APPROVAL OF LANDSCAPE ARCHITECT

2. STAIR STEPS SHALL BE A MINIMUM OF 4" AND A MAXIMUM OF 12" WITH A MAXIMUM TREAD OF 2" AND A MAXIMUM OF 8" RISES OTHERWISE NOTED. VERIFY NUMBER OF STEPS PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES

3. ADJUST GRADES AS NECESSARY TO SMOOTHLY "FIT" EXISTING CONDITIONS

4. LANDSCAPE CONTRACTOR TO PROVIDE A LATERAL DRAIN AS SHOWN. ADDITIONAL DRAINS MAY BE REQUIRED. CONTRACTOR TO VERIFY THESE DRAINS W/O EXISTING PERMETER DRAINAGE

5. DRAINS TO BE A MINIMUM POLYETHYLENE PIPE PROVIDED A MINIMUM 1/2" FALL. DRAINS TO CONNECT ALL DRAINS TO 1" BOLD POLYETHYLENE LATERALS CONNECT DRAIN LATERALS TO EXISTING PERMETER DRAINAGE. VERIFY THAT SYSTEM IS A WORKING ORDER PRIOR TO COMPLETION OF PROJECT

6. ALL PLANTING AREAS THAT HAVE BEEN COMPACTED BY CONSTRUCTION TRAFFIC OR WORK SHALL BE REPEATED FILL AND OR REGRADDED AS REQUIRED PRIOR TO INSTALLATION OF PLANTING AND PLANTING

7. FINISHED GRADE OF PLANTED AREAS SHALL BE A MINIMUM OF 1/2" BELOW EDGE OF PAVEMENT AND A MAXIMUM OF 2" BELOW TOP OF WALL UNLESS OTHERWISE NOTED

8. ALL DRAINS TO BE NEW AND FURNISHED AND INSTALLED BY THE LANDSCAPE CONTRACTOR. ALL DRAIN DRAINS SHALL BE METAL

9. LANDSCAPE CONTRACTOR SHALL BE A NEW COMPLETE DRAINAGE SYSTEM

STONE BORDER (TYP)
LARGE SLAB BOULDER (TYP)

THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS PRIOR TO BIDDING THE JOB. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS SHOWN WHEN IT IS OBVIOUS THAT OBSTRUCTIONS, UTILITIES, LANDSCAPE GRADE DIFFERENCES, OR LANDSCAPE AREA DISCREPANCIES OCCUR ON SITE THAT HAVE NOT BEEN REPRESENTED ON THE DESIGN. SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE DESIGNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION

HARDSCAPE NOTES:

1. CONCRETE ALL CONCRETE TO HAVE #5 REBAR AT 18" ON CENTER BOTH WAYS

2. COMPACTED GRAVEL BASE 4" THICK CONCRETE MAXIMUM USE COBS BLOCKS FOR STEPS

COLORS:
COLORS TO BE L.M. BOORFIELD COLOR #5288 ALL UNLESS SHOWN

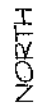
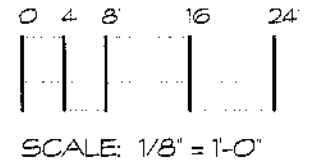
FINISHES:
ALL CONCRETE TO HAVE LIGHT SANDBLASTED FINISH (SCORE AS SHOWN)

- HEADER TO CONSIST OF PERALOG BLACK PROSLIDE
- BOULDERS TO CONSIST OF LARGE SLAB HAND SELECTED TAN GREY WATERWASHED BOULDERS. BOULDERS TO BE SET IN 1/2" BURED CONCRETION. CONFIRM SELECTION WITH OWNER. APPROX 300 LBS AVERAGE BOULDER STEPS TO BE WATERWASH SLABS AVAILABLE AT MORGAN'S MASONRY
- DRYSTACK STONE WALLS TO CONSIST OF TWYNEAKS HEAD SIZE AND LARGER STONE (24" HIGH MAXIMUM) AVAILABLE FROM DECOROCK
- GRAVEL PATHWAY TO BE 2" THICK GOLD DUST FINES WITH STABILIZER SET ON COMPACTED AGGREGATE BASE. PATHWAY BORDER TO BE METAL HEADER. COMPACT WITH 300 LBS ROLLER. ALTERNATE 3/8" MAXIMUM BROWN GRAVEL

GENERAL NOTES:

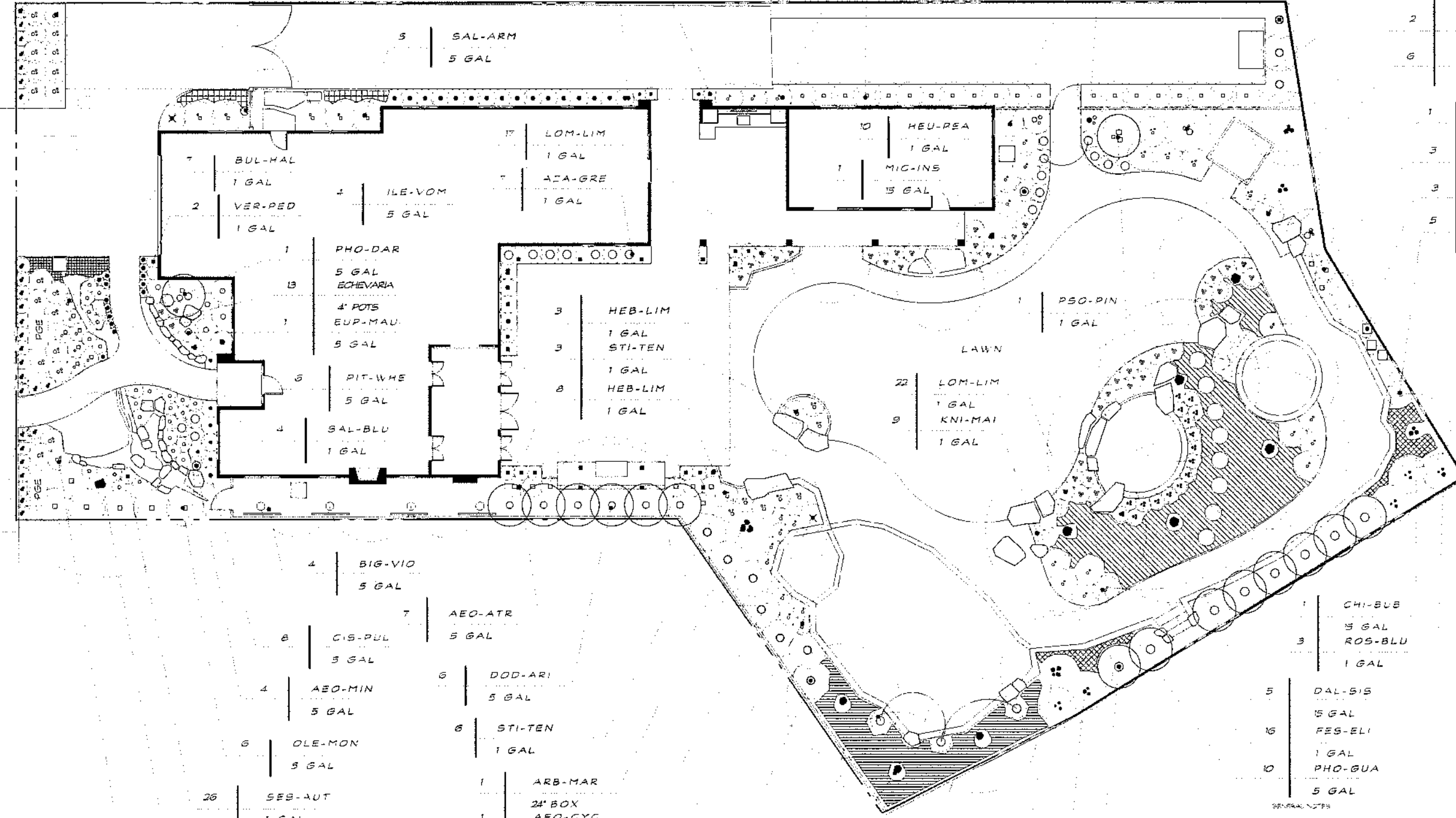
CONTRACTOR MUST BE PROPERLY AND CURRENTLY LICENSED BY THE CALIFORNIA CONTRACTORS STATE LICENSE BOARD PRIOR TO ENTERING INTO AN AGREEMENT TO PERFORM WORK AND MAY PERFORM ONLY SUCH WORK AS IS WITHIN THE SCOPE OF SAID LICENSES, ESPECIALLY

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND STRUCTURED. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY UNRECORDED DAMAGE AND REPLACEMENT OF DEAD UTILITIES BEFORE COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR SHALL NOTIFY SAID AGENCIES AS APPLICABLE PRIOR TO STARTING WORK.



ROSE AVENUE

27	TEU-PRO	1	PED-BRA	4	DIA-KIN	3	POL-VIR	5	DAP-MAR	3	PIT-TEN
	4' POTS		5 GAL		1 GAL		5 GAL		5 GAL		5 GAL
10	STI-TEN	1	ROS-BAN	16	ILE-VOM	20	CAR-TUM	2	SPI-GOL		
	1 GAL		5 GAL		5 GAL		1 GAL		5 GAL		



1	ADE-SER	5 GAL
2	CHI-BUB	15 GAL
6	LEU-WIN	5 GAL
1	ARC-HUR	5 GAL
3	ARC-PAC	5 GAL
3	ERE-BLU	1 GAL
5	ARC-DEN	5 GAL

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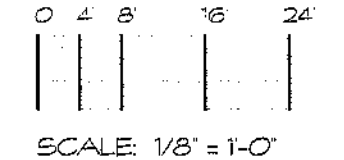
REV. NO.	REVISION
1	REVISED DRIVEWAY WIDTH

PLANTING PLAN

Job No. _____ Date: 11/20/15
 Drawn: mfh Scale: 1/8" = 1'-0"

L-3

GENERAL NOTES:
 CONTRACTOR MUST BE PROPERLY AND CURRENTLY LICENSED BY THE CALIFORNIA CONTRACTORS STATE LICENSE BOARD PRIOR TO ENTERING INTO AN AGREEMENT TO PERFORM WORK AND MAY BE RESPONSIBLE ONLY FOR WORK WITHIN THE SCOPE OF SAID LICENSED SPECIALTY.
 CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE AND REPLACEMENT OF SAID UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR SHALL NOTIFY USA UNDERGROUND ALERT & ADJUSTERS.



NORTH

PLANTING NOTES:

GENERAL NOTATION:

THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS PRIOR TO BEGINNING THE JOB. CONTRACTOR SHALL NOT UNWARRANTILY PROCEED WITH CONSTRUCTION AS SHOWN WHEN IT IS OBVIOUS THAT DEPARTURES FROM THE LANDSCAPE GRADING DIFFERENCES OR LANDSCAPE AREA DIMENSIONS OR SITE CONDITIONS HAVE NOT BEEN REPRESENTED ON THE DESIGN. SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE DESIGNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION. ALL LOCAL CODES AND ORDINANCES SHALL BE OBSERVED. PLANTING SHALL BE AS CALLED A CONFORMANCE WITH ALL APPLICABLE LOCAL CODES AND ORDINANCES BY THE DESIGNER, WORKMAN AND LICENSED LANDSCAPE CONTRACTOR WHO SHALL OBTAIN ALL NECESSARY PERMITS AND PAY ALL REQUIRED FEES. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN TRADES AND SUBCONTRACTORS AS REQUIRED TO COMPLETE LANDSCAPE OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES CAUSED BY OR DURING THE PERFORMANCE OF THE WORK. ALL REPAIRS SHALL BE MADE AT NO COST TO THE OWNER.

SOIL PREPARATION:

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENHANCING AND ALL PLANTING AREAS DRAINAGE. FOR EVERY DRAINAGE AWAY FROM HOUSES OR OTHER STRUCTURES, NO DRAINAGE SPOTS WHICH HOLD STANDING WATER WILL BE ACCEPTED. THE LANDSCAPE CONTRACTOR SHALL INCORPORATE BACKFILL SOIL MIXES IN PLANTING AREAS AS NOTED BELOW. WHERE ROOTING IS NOT POSSIBLE, WORK IS TO BE DONE WITH HAND TOOLS AFTER INSTALLATION OF IRRIGATION SYSTEM. ALL PLANTING AREAS ARE TO BE TOP DRESSED WITH A 2" TOP DRESS AND SUFFICIENTLY DRAINED AWAY FROM EDGES OF TOP OF WALKER CURB, WALL, PLANTER ETC. AND RAISED SMOOTH WITH ALL ROCK AND DEBRIS OVER 1/2" IN DIAMETER REMOVED.

SOIL AMENDMENTS:

THE LANDSCAPE CONTRACTOR SHALL INCORPORATE BY MEANS OF ROOTING MIXES 6 SUBCUBIC YARDS OF TOPSOIL PER 100 SQ. YD. WITH A PH OF 6.5 TO 7.5, AND 1/2 CUBIC YARD OF GRANULAR FERTILIZER (20-10-10) PER 1000 SQUARE FEET OF PLANTING AREA INTO THE TOP 6" OF SOIL FOR ALL PLANTING AREAS EXCEPT AS NOTED BELOW.

PERENNIAL BEDDING AREAS:

PERENNIAL BEDS SHALL BE ENCAVATED AND 6" OR DEPTH NOTED, OF PURE PLANTING MIX (SUCH AS DABLO SOIL) OR 1/2" SHALL BE USED. NO TOP DRESSING SHALL BE UTILIZED FOR CULTIVATED BEDS.

BACKFILL SOIL MIXES:

PLANTING MIX FOR TREES AND SHRUBS TO CONSIST OF 1/3 ORGANIC AMENDMENT AND 2/3 AMENDED TOPSOIL AS NOTED ABOVE.

ACID BACKFILL MIX:

BACKFILL FOR ACID LOVING PLANTS (FOR ALL AZALEAS) SHALL BE 50% AMENDED SOIL, 20% SAND, AND 30% FRESHLY COMPOSTED PEAT. WITH A pH OF 5.5 TO 6.5. AT PLANTING, APPLY 1/2 CUBIC YARD OF RECOMMENDED APPLICATION RATE. PLANTING MIX TO BE MIXED 2 TIMES WITH ROOTBALL AND 2 TIMES DEPTH OF ROOTBALL.

SHRUB PLANTING:

THE SHRUBS SHALL BE SPOTTED AS PER PLAN. NO SUBSTITUTIONS UNLESS AUTHORIZED BY LANDSCAPE DESIGNER OR OWNER. ALL SHRUBS SHALL RECEIVE TURFBIRD 20-10-5 PACKETS AT THE FOLLOWING RATES: 1 TABLET PER 1 GALLON, 2 TABLETS FOR 3 GALLON, AND 4 TABLETS FOR 5 GALLON.

TREE PLANTING:

THE TREES SHALL BE SPOTTED AS PER PLAN. TREES SHALL BE DAILY BE LOCATED A MINIMUM OF 20 FEET FROM ALL CURBS, WALLS, HEADERS, BUILDINGS OR OVERHANGS AND OTHER TREES WITHIN THE PROJECT. TREE BACKFILL SHALL BE THE PLANTING MIX AS NOTED ABOVE. 3/4" TRUNK INDICATES A SINGLE TRUNK AND A 1/2" TRUNK INDICATES 3/4" TRUNKS FROM THE BASE OF TREE. DOUBLE TRUNK ALL STANDARD TRUNK TREES. ALL TREES SHALL RECEIVE TURFBIRD 20-10-5 PACKETS AT THE FOLLOWING RATES: 1 TABLET PER 1 GALLON, 2 TABLETS FOR 3 GALLON, AND 4 TABLETS FOR 5 GALLON AND LARGER. THOROUGHLY WATER ALL TREES IMMEDIATELY FOLLOWING PLANTING.

TOP DRESSING:

TOP DRESSING TO CONSIST OF 2" LAYER MEDIUM FINE BARK CHIPS FOR ALL PLANTING AREAS EXCEPT LAWN AND MEADOW GRASS. APPLY ROYSTAR PRE EMERGENT PRIOR TO TOP DRESS AT 1/2" MANUFACTURER'S RECOMMENDED RATE.

MAINTENANCE:

THE CONTRACTOR SHALL MAINTAIN THE PROJECT FOR 90 DAYS, OR AS APPROVED BY OWNER, FROM COMPLETION AND APPROVAL OF THE PROJECT. DURING THE MAINTENANCE PERIOD, WEEDING, MOWING, AND WATERING SHALL BE PERFORMED AT THE END OF MAINTENANCE PERIOD. ALL AREAS SHALL BE FREE OF WEEDS AND ALL PLANT MATERIAL SHALL BE IN A HEALTHY, THRIVING CONDITION.

SUBSTITUTIONS:

REQUESTS FOR SUBSTITUTIONS OF PLANT MATERIAL TO BE MADE 14 DAYS PRIOR TO PLANTING.

GUARANTEE:

ALL CONSTRUCTION, TREES, SHRUBS AND IRRIGATION BY LANDSCAPE CONTRACTOR AND/OR HIS SUBCONTRACTORS SHALL BE GUARANTEED FOR ONE (1) FULL YEAR AFTER THE BEGINNING OF THE MAINTENANCE PERIOD. THE CONTRACTOR SHALL REPLACE ANY AND ALL LANDSCAPE MATERIALS THAT ARE IN AN UNACCEPTABLE CONDITION FOR THE TIME OF USE AND ANY PLANT MATERIAL THAT ARE NOT IN A VIGOROUS STATE OF GROWTH. THE CONTRACTOR SHALL NOT BE HELD LIABLE FOR LOSS OF PLANT MATERIAL DUE TO VANDALISM, ACCIDENTAL CAUSES OR ACTS OF NEGLECT BY OTHERS THAN THE CONTRACTOR, HIS AGENTS OR EMPLOYEES.

PLANT LEGEND:

SYMBOL	BOTANICAL NAME	COMMON NAME	WATERS
TREES			
PAR DES	Parkinsonia x Desert Museum	Thornless Palo Verde	very low
ACA SHO	Acacia stenophylla	Shoestring Acacia	low
ARB MAR	Arturinus unedo 'Marina' (multi trunk)	Strawberry Tree	low
CH BUB	Chilopsis linearis Bubba	Desert Willow	low
DAL SIS	Dalbergia sissoo	Indian Rosewood	low
MEL LIN	Melaleuca thurifolia	Flax Leaf Paperbark	low
LAU NOB	Laurus nobilis (multi trunk)	Bay Tree	low
QUE ARI	Quercus arizonica	Arizona white oak	very low
ALTERNATE	Quercus suber	Cork Oak	low

SUCCULENTS AND YUCCAS			
AEO CYC	Aeonium 'Cyclops'	no common name	low
AEO MN	Aeonium 'Mint Saucer'	Aeonium	low
AEO ATR	Aeonium atropurpureum	no common name	low
CS GRA	Ceanothus granatensis	Rock Purisane	low
ECH EVARIA	Echiveria 'Pera Von Nimberg'	Echiveria	low
EUP MAU	Euphorbia mauritanica	Pencil Milk Bush	low
PEP BRA	Pedicularis bracteatus	Sipper Plant	low
SED AUT	Sedum x 'Autumn Joy'	Autumn Joy Stonecrop	low

VINES			
ROS BAN	Rosa banksiae 'Lutes'	Lady Bank's Rose	medium
BIG VIO	Bignonia violacea	Lavender Trumpet Vine	medium

SPECIALTY SHRUBS:			
PBO PIN	Psoralea pinnata	Kopi Ad plant	medium
ADE SSR	Adenanthos sericeus	Coastal Woollybush	low
ALTERNATE	Virex Montrose Purple	Chaste Tree	low

SHRUBS:			
ARC DEN	Arctostaphylos densiflora Howard McMinn'	Manzanita Variety	low
ARC DEN	Arctostaphylos densiflora Howard McMinn'	Manzanita Variety	low
ARC PAC	Arctostaphylos 'Pacific Mist'	Manzanita Variety	low
AZA GRE	Azalea southern 'India Green Glow'	Sun Azalea	medium
CHO TER	Chiosya ternata	Mexican Orange	medium
CS PUL	Cistus pulcherrimus 'Sunset'	Rockrose Variety	low
DOD AR	Dodonaea viscosa 'Arizona Green'	Hopsseed Bush	low
DAP LEU	Daphne odorata 'Leucantha'	Daphne	medium
ILE VOM	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	medium
LEU FRU	Leucodaphnophyllum frutescens 'Green Cloud'	Texas Ranger	low
LEU WIN	Leucadendron Winter Red	Canebush Variety	low
MIC INS	Mitchella yanranensis 'Inspiration'	Inspiration Mitchella	medium
OLE MON	Olea europaea 'Montra'	Little Olive Olive	low
PIT WHE	Pittosporum 'obovata' Wheeler's'	Wheeler's Dwarf	low
PIT TEN	Pittosporum tenuifolium 'Kirsti'	Dwarf Tambook	medium
POL MYR	Polypogon myrsinifolia	Sweet Pea Shrub	medium
POL VR	Polypogon virgata	Purple Broom	medium
PHO DAR	Phoridium tenax 'Dark Delight'	Flax	medium
PHO GUA	Phoridium tenax 'Guardian'	Flax	medium

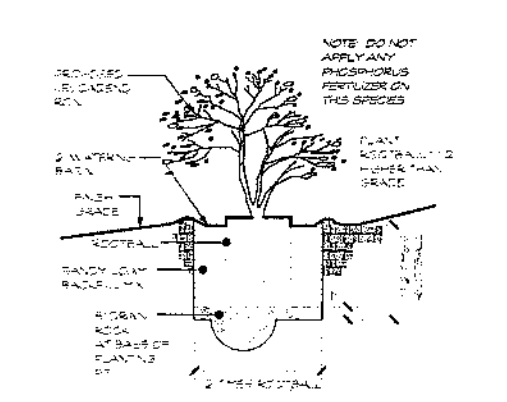
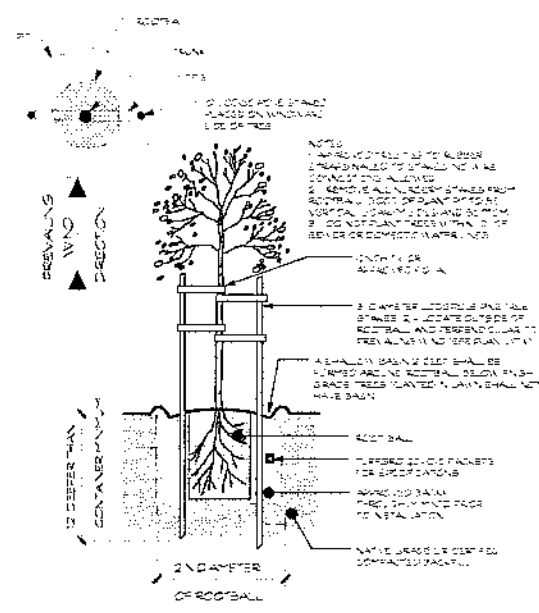
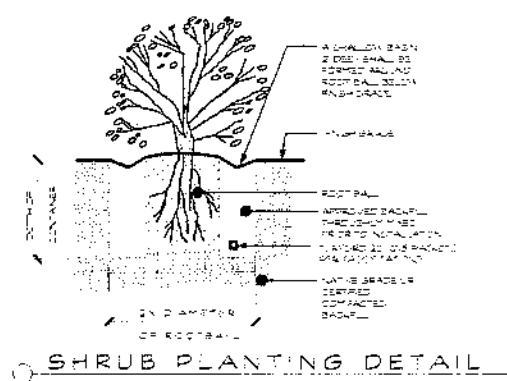
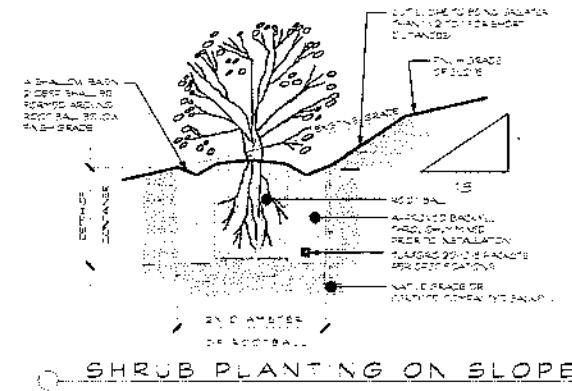
GRASSES AND GRASSLIKE			
CAR TUM	Carex turmezoia	Berkley Sedge	medium
FLX LY	Flax Lily	Flax Lily	low
BABY FLX LY	Baby Flax Lily	Baby Flax Lily	low
BLU FESCUE	Blue Fescue	Blue Fescue	medium
MAR RUSH	Mar Rush	Mar Rush	low
DWARF FOUNTAIN GRASS	Dwarf Fountain Grass	Dwarf Fountain Grass	low
RED FOUNTAIN GRASS	Red Fountain Grass	Red Fountain Grass	low
MEXICAN FEATHER GRASS	Mexican Feather Grass	Mexican Feather Grass	medium
JOHN GREENEES MOOR GRASS	John Greenlee's Moor Grass	John Greenlee's Moor Grass	medium
AUTUMN MOOR GRASS	Autumn Moor Grass	Autumn Moor Grass	medium

PERENNIALS			
ARM MAR	Artemisia maritima splendens	Sea Pink	low
AES CUR	Acaecias curassavica	Blood-flower	medium
BAB FLA	Bab and stricta flast	Bishop flower	low
ALTERNATE	Bidens ferulifolia 'Golden Goddess'	Bidens	medium
BUL HAL	Bulbine frutescens 'Halmark'	Orange Staked Bulbine	low
ALTERNATE	Centranthus ruber	Jupiter's Beard	very low
ERE BLU	Eremophila hygrophana 'Blue Bell'	Blue Bell	low
HEU PEA	Heuchera sanguinea 'Peach Blossom'	Corol Bell	medium
HEBE	Hebe 'Lemon and Lime'	Hebe	medium
KNIPHOFA	Kniphofia uvaria 'Little Maid'	Red Hot Poker Variety	low
LEO LEO	Leptosiphon	Wons Tail	low
ROS BLU	Rosmarinus officinalis 'Blue Spires'	Upright Rosemary	low
SAL ARM	Salvia 'Amstad'	Friendship Sage	medium
SAL BLU	Salvia nemorosa 'Sensation' Blue Sky	Sage Variety	low
TEU PRO	Teucrium prostratum	Germander Variety	low
VER PED	Veronica peduncularis 'Georgia Blue'	Speedwell	medium

* available at Dev: Mountain Wholesale phone: (925) 829 6006

GROUND COVERS:

SYMBOL	BOTANICAL NAME	COMMON NAME	WATERS
(Horizontal lines)	Eriogon karvinskianus at 1/8" o.c.	Santa Barbara Daisy	low (water use)
(Grid)	Iris douglasiana 'Canyon Snow' at 1/8" o.c. Triangular Spacing.	Native Iris (white/yellow)	low (water use)
(Vertical lines)	Ophiopogon japonicus 'Nana' from 1/4" to 1/2" o.c. Linear Spacing.	Mondo Grass	medium (water use)
(Diagonal lines)	Agrostis patens from sod available from Delta Bluegrass	California Native Bluegrass	medium (water use)
(Cross-hatch)	Secum spurium 'John Creech' from 1" gallon at 1/8" o.c.	Stonecrop	low (water use)
(Stippled)	Boerio dwarf fescue sod (dwarf fescue blend)	Lawn	high (water use)



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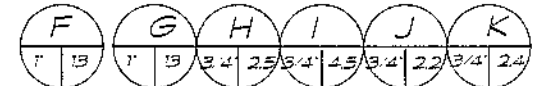
Landscape Architect
MARTIN HOFFMANN
L.A. 4499
STATE OF CALIFORNIA

REV. NO.	REVISION
1	REVISED DRIVEWAY 1/1/16

PLANTING NOTES AND LEGENDS

Job No: _____ Date: 1/20/16
Drawn: mjh

NOTE: INSTALL MAIN LINE AND LATERAL LINES ON PROPERTY, AND IN PLANTER AREAS AS POSSIBLE. DRAWING IS DIAGRAMMATIC.



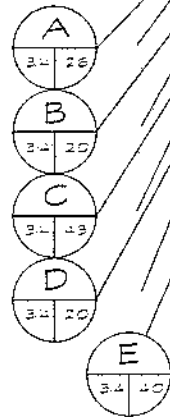
ROSE AVENUE

POINT OF CONNECTION TO WATER SUPPLY:
 INSTALL COMPRESSION TEE ON DOMESTIC WATER LINE AND CONNECT TO NEW 1 1/4" PVC MAINLINE. VERIFY A MINIMUM STATIC WATER PRESSURE OF 55 PSI. IF EXCEEDS 95 PSI, INSTALL PRESSURE REDUCING VALVE (SEE LEGEND). VERIFY A MINIMUM AVAILABLE FLOW OF 5 GPM.

NOTE: INSTALL MAIN LINE AND LATERAL LINES ON PROPERTY, AND IN PLANTER AREAS AS POSSIBLE. DRAWING IS DIAGRAMMATIC.

LOCATION EXTERIOR WALL MOUNT CONTROLLER:

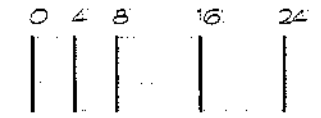
PROVIDE CONNECTION TO 120 VOLT POWER WITHIN R/G/D STEEL CONDUIT AT INTERIOR AND PVC ELECTRICAL CONDUIT IN EXTERIOR FROM SOURCE. ALL ABOVE GRADE CONTROL WIRES SHALL BE CONTAINED WITHIN PVC ELECTRICAL CONDUIT SECURELY FASTENED TO WALL. FINAL CONTROLLER AND WEATHER SENSOR LOCATION TO BE COORDINATED WITH OWNER.



GENERAL NOTES

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CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OBTAINING CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAME. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN RECORDS OF ANY CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE UNDERWRITING AGENT'S AGO 277-2200.



SCALE: 1/8" = 1'-0"

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REV. NO.	REVISION
1	REVISED DRIVEWAY WIDTH

IRRIGATION PLAN

Job No. _____ Date: 11/24/15
 Drawn: _____ Scale: 1/8" = 1'-0"

IRRIGATION LEGEND

RAINBIRD XFS LEGEND:

SYMBOL	NUMBER	DESCRIPTION
⊗	XCZ-075-PRF WITH 200 MESH FILTER	RAINBIRD LOW FLOW PRESSURE REGULATING IN-LINE REMOTE CONTROL ZONE KIT WITH 200 MESH FILTER AND BALL VALVE
●	OPERIND	RAINBIRD DRP OPERATION INDICATOR
⊙	ARV050	RAINBIRD AIR/VACUUM RELIEF VALVE
⊕	END FLUSHING CAP	RAINBIRD MANUAL FLUSH
-----	XFS-03-12-500 WITH COPPER SHIELD	RAINBIRD XFS SUB SURFACE DRPLINE (500 COIL LENGTH)

PIPING LEGEND:

-----	1 1/4" MAINLINE sch. 40 p.v.c. plastic pipe with sch. 40 p.v.c. solvent fittings, 18" cover.
-----	1 1/4" LATERAL LINE
-----	1" LATERAL LINE
-----	3/4" LATERAL LINE
-----	1/2" LATERAL LINE
-----	4" P.V.C. SLEEVE

IRRIGATION LEGEND

IRRIGATION LEGEND:

SYMBOL	NUMBER	DESCRIPTION
⊗	RAINBIRD 100-HV-NPT	RAINBIRD HV SERIES 1" VALVE 1" Remote Control in-Line Valve
⊗	RAINBIRD 075-DV-NPT	RAINBIRD DV SERIES NON FLOW CONTROL MODEL 3/4" Remote Control in-line Valve
⊗	RAINBIRD XCZ-075-PRF	CONTROL ZONE VALVE KIT 3/4" Low Flow Valve Kit with 200 mesh Filter and PR
⊙	RAINBIRD RWS W/ BUBBLER RWS- B-C-1401 W/ 0.25 gpm BUBBLER	RAINBIRD ROOT WATERING SERIES WITH SWING ASSEMBLY
⊙	RAINBIRD 1806 SERIES SAM-PRS With R-VAN R13-18: FULL With R-VAN I724: HALF, QUARTERS	6" POP-UP WITH SWING JOINT SPRAY NOZZLE SPRAY NOZZLE
⊙	ESP - SMTe Smart Control System RZNS - 120V.	RAINBIRD ESP-RZX 8 STATION CONTROLLER EXTERIOR WALL MOUNT
⊙	AUTOMATIC SHUTOFF DEVICE	RAINBIRD ESP-SMTe Weather sensor
⊕	FESCO 825 Y 3/4"	BACKFLOW PREVENTION DEVICE
⊙	600L-11"	WILKINS PRESSURE REDUCING VALVE
⊕	B10	STOCKHOLM GATE VALVE (1/2 size)

IRRIGATION NOTES

IRRIGATION SYSTEM CONSTRUCTION NOTES:
 GENERAL NOTES:
 DO NOT FULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE DESIGN OF THE SYSTEM. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE IRRIGATION DESIGNER IMMEDIATELY. NOTIFY THE LANDSCAPE DESIGNER OF ANY ASPECTS OF LAYOUT WHICH WILL PROVIDE INCOMPLETE COVERAGE OF PLANT MATERIAL AND DO NOT PROCEED WITH WORK UNTIL DESIGNER IS NOTIFIED. IN THE EVENT THAT NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE SITE PRIOR TO CONSTRUCTION.

IT SHALL BE THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES UNLESS OTHERWISE SPECIFIED IN THE PLANS. CITY STANDARD DRAWINGS, SPECIFICATION DETAIL DRAWINGS AND SPECIFICATIONS AS WELL AS THE SOILS REPORT SHALL TAKE PRECEDENCE OVER GENERAL DRAWINGS UNLESS OTHERWISE DIRECTED. THE IRRIGATION DESIGNER ASSUMES NO RESPONSIBILITY BEYOND THE ACCURACY OF THE DESIGN CONTAINED HEREIN.
 DRAWINGS DUE TO THE SCALE OF THE DRAWINGS IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH ARE REQUIRED TO COMPLETE THE JOB. THE PLANS ARE DIAGRAMMATIC IN NATURE AND MEANT AS A GENERAL GUIDE TO CONSTRUCTION. THE IRRIGATION CONTRACTOR SHALL CAREFULLY INSPECT THE STRUCTURAL AND FINISHED CONDITION OF THE FIELD CONDITIONS THAT MAY AFFECT THE WORK PLAN ACCORDINGLY AND PROVIDE ALL FITTINGS REQUIRED TO MEET SUCH FIELD CONDITIONS. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN A MANNER THAT AVOIDS CONFLICTS BETWEEN PLANTING, LIGHTING, AND OTHER LANDSCAPE OR ARCHITECTURAL FEATURES. ALL PIPES, VALVES, ETC. SHOWN WITH IN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE.

NOTES:
 1. SPRINKLER SYSTEM DESIGNED FOR A MINIMUM OF 1/2 GPM @ 55 PSIG STATIC PRESSURE. IRRIGATION CONTRACTOR TO VERIFY A MINIMUM PRESSURE OF 55 PSIG PRIOR TO INSTALLATION.

2. INSTALL BACKFLOW PREVENTION DEVICE APPROXIMATELY WHERE INDICATED AND ACCORDING TO LOCAL CODES IF APPLICABLE. INSTALL LEAD BRASS OR COPPER TYPE K, NPT 1/2" FITTINGS AND JUNCTION WRAP ALL BRASS OR COPPER PARTS AND FITTINGS BELOW FINISH GRADE WITH 10 MIL CORROSION PROTECTION TAPE.

3. ALL EQUIPMENT REQUIRED BUT NOT SPECIFIED ON THE PLAN SHALL BE INSTALLED BY THE IRRIGATION CONTRACTOR TO MEET ALL CODES AND FUNCTIONAL SYSTEM INSTALL ALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND AS INDICATED IN THE PLAN.

4. CONTROLLER LOCATION APPROXIMATE. EXACT LOCATION OF WALL MOUNT OR RECESSED MOUNT CONTROLLER TO BE DETERMINED AT JOBSITE TO VOLT ELECTRICAL SUPPLY BY PROVIDE FOR A WIRETRAIL ONLY ON ANOTHER SECTION OF CONTRACT. IRRIGATION CONTRACTOR TO MAKE FINAL WIRE ELECTRICAL CONNECTION. SEE WATER PROOF CONNECTION FOR DETAIL INSTALLATION.

5. THE PLAN IS DIAGRAMMATIC AND ALL VALVES AND FITTINGS SHOWN IN PAVED SURFACE AREAS ARE FOR LAYOUT PURPOSES ONLY AND SHALL BE LOCATED IN PAVED AREAS AS POSSIBLE.

6. USE PREFER DURING IRRIGATION SUPPLY LINE INSTALLATION PRESERVE TREE SUPPLY LINES AS NECESSARY PRIOR TO BACKFILL.
 7. HOUSE REMOTE CONTROL VALVES IN PLASTIC BOX WITH 2" DOWN 1/2" FLANGE VALVES 12" FROM ADJACENT SIDEWALKS, BUILDINGS, ETC. AT FINISH GRADE. PLACE DRAIN PIPES UNDER VALVES TO A 6" DEPTH WITH A 3" CLEARANCE UNDER VALVE. 1" ENCL. VALVE BOX NUMBER ON 1/2" COIL 3 FEET OF EXCESS WIRE IN VALVE BOX.

8. INSTALL 1 AND 6 FOR LEAD BRASS TRIPLE SWISS REEB ASSEMBLYS CONSISTING OF SCHEDULE 80 NIPPLES AND SCHEDULE 10 FITTINGS. PLACE HEADS 3 INCHES FROM ADJACENT CURBS, SIDEWALKS, ETC. AND SET 1/2" HIGH ABOVE FINISH GRADE. SET FLUSH WITH FINISH GRADE IN LAWN AREAS.

9. ALL PPE UNDER AG PAVEMENT SHALL BE 120# SCHEDULE 40 DR 90E, 24" HIGH COVER WITH BAND BLANKET AROUND 90E AND A MINIMUM OF 2" BAND COVER ON TOP SIDE OF PPE.

10. ALL VALVE CONTROL WIRE SHALL BE AWG # 12E UP TO 600 VOLT TEST CABLE BURIAL. CONNECT WIRE LEADS FEMALE CONNECTORS WITH FEMALE WIRE.

11. ADJUST ALL SPRINKLER HEADS FOR COMPLETE COVERAGE WITH MINIMUM BRAY ON SIDEWALKS ETC. AND PROTECT FLOW CONTROL AT VALVE FOR OPTIMUM OPERATION.

12. THE 120# SCHEDULE 40 DR 90E PRESSURE MAINLINE TO FRONT OF CONTROL.

13. THE IRRIGATION CONTRACTOR SHALL GUARANTEE THE IRRIGATION SYSTEM AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

14. THE IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC FULLY OPERATIONAL AND DEMONSTRATE FULL AND UNIFORM COVERAGE AND BE LIFE READY FOR OPERATION PRIOR TO JOB COMPLETION.

WATER CALCULATIONS MODEL EFFICIENT WATER USE ORDINANCE

WATER EFFICIENT LANDSCAPE WORKSHEET
 SECTION A HYDROZONE INFORMATION TABLE
 Please complete the hydrozone table (s) for each hydrozone
 Use as many hydrozones as necessary to provide the square footage of landscape area per hydrozone

Hydrozone #	Zone or Name	Irrigation Method	Area (Sq. Ft.)	% of Landscape Area
HW	H	D	213	32%
H2	B C S H	D	3440	53%
H3	A D U	D	1008	15%
LW	Total		6661	100%

Flow Calculations
 MAIN A = Epa (0.82) (107 x LA) + (0.3 x SLA)
 = (0.82) (62) (11556) + (0.3 x 0)
 = (0.82) (62) (45827.0) =
 159,624 Gallons

Section B2 Estimated Total Water Use (ETWU)
 The projects Estimated Total Water Use is calculated using the following formula:
 ETWU = Epa (62) (PP x HA) + E x SLA

where:
 ETWU = Estimated total water use per year (gals per year)
 Epa = Reference Evapotranspiration (gals per year)
 PP = Pump Factor from WUCOLS (see Definitions)
 HA = Hydrozone Area (high, medium, and low water use areas), square feet
 SLA = Erosion Landscape Area (square feet)
 C.F. = Conversion Factor (to gals per square foot)
 Irrigation Efficiency (minimum 0.7)

Hydrozone	Pump Factor (PF)	Area (HA) (square feet)	PP x HA (square feet)
2	1.0	4584	4584
3	0.2	1125	225
SLA	0	7803	3951.3

SECTION B WATER BUDGET CALCULATIONS
 Section B1 Maximum Applied Water Allowance (MAWA)
 The projects Maximum Applied Water Allowance shall be calculated using the equation:
 MAWA = Epa (0.62) (107 x LA) + (0.3 x SLA)
 SEASANTON Epa = 48.2
 Maximum Applied Water Allowance (gals per year)
 Reference Evapotranspiration from Appendix A (gals per year)
 ET Adjustment Factor (ETAF)
 Landscape Area (includes Erosion Landscape Area (square feet)
 Conversion Factor (to gals per square foot)
 Fraction of the landscape area certified as Special Landscape Area (square feet)
 the additional ET Adjustment Factor for Special Landscape Area (0.07 x 30)

Maximum Applied Water Allowance = 159,624 gallons per year

Flow Calculations
 = (0.82) (62) (3 x 213) + (0)
 = (0.82) (62) (307.7) + (0)
 = (0.82) (62) (540.9) =
 76,708.5 gals

= (0.82) (62) (4 x 4584) + (0)
 = (0.82) (62) (1825.6) + (0)
 = (0.82) (62) (2572) =
 73,542.5 gals

= (0.82) (62) (2 x 1125) + (0)
 = (0.82) (62) (225) + (0)
 = (0.82) (62) (255) =
 3,103.5 gals

Estimated Total Water Use = 159,461 Gallons gallons per year

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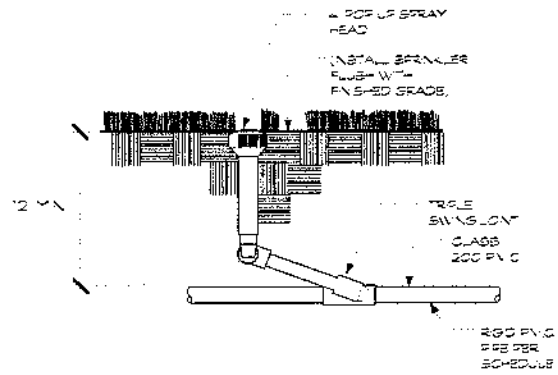


REV. NO.	REVISION
1	REVISED DRIVEWAY LANS

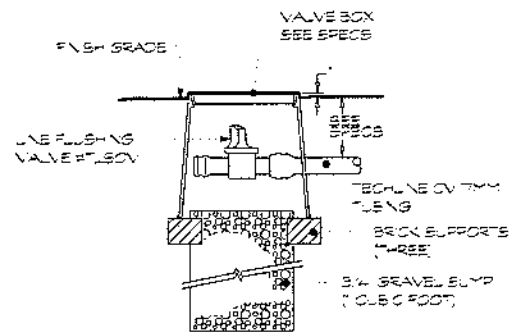
IRRIGATION NOTES

Job No. _____ Date: 10/09/05
 Drawn: mth

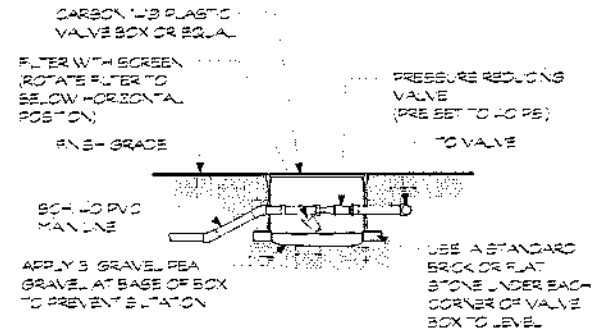
L-6



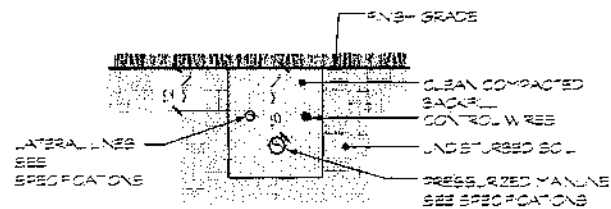
POP UP SPRAY HEAD
NO SCALE



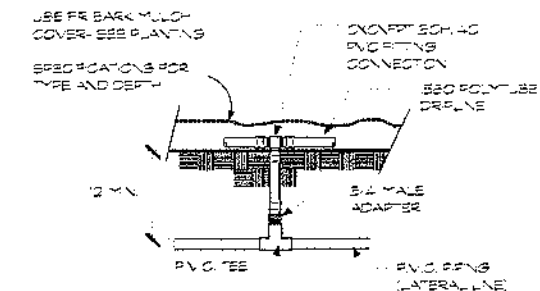
MANUAL LINE FLUSHING VALVE TO SOV
(PLUMBED TO TUBING) NO SCALE



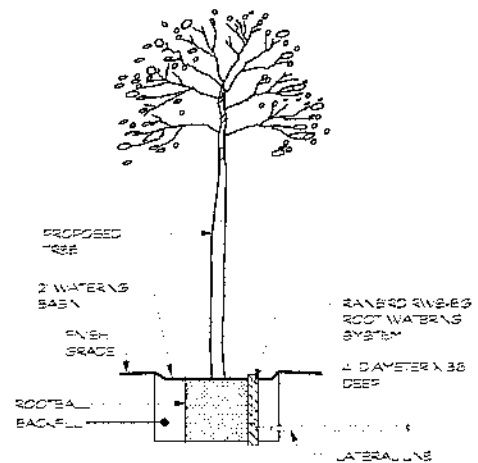
FILTER/PRESSURE
REGULATOR NO SCALE



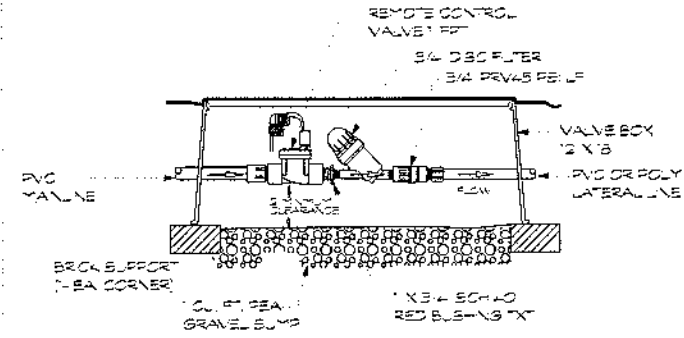
PIPE TRENCHING
NO SCALE



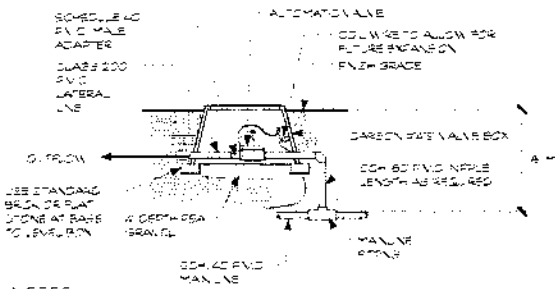
DRIP CONNECTION
PVC TO POLYTUBE ON GRADE



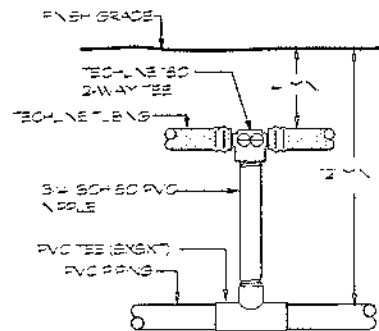
TREE BUBBLER
NO SCALE



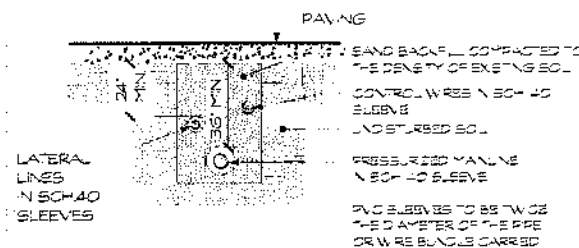
LOW-VOLUME CONTROL SYSTEM
P/N LVCZ-100715 .25 - 4.4 GPM
NO SCALE



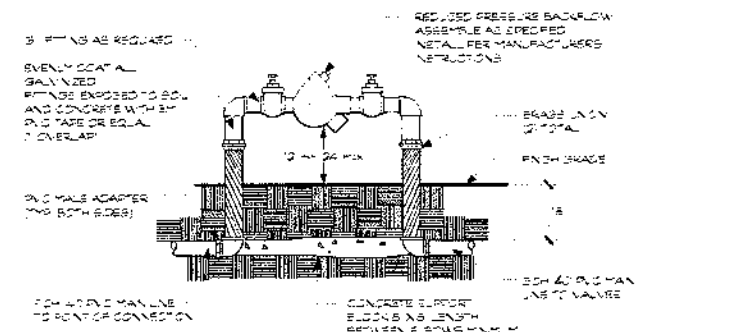
REMOTE CONTROL VALVE DETAIL
NO SCALE



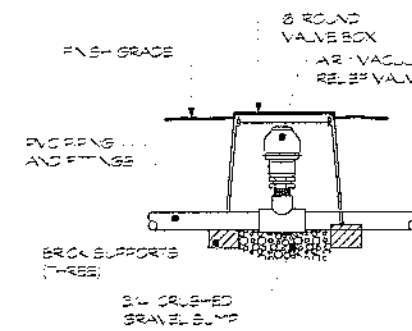
TECHLINE START CONNECTION
(W/PVC RISER) NO SCALE



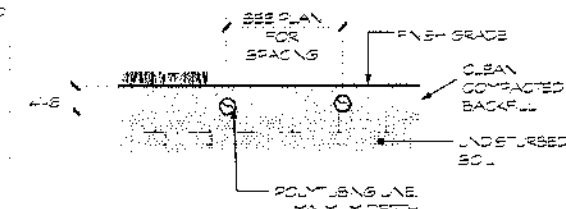
SLEEVING INSTALLATION
NO SCALE



BACKFLOW PREVENTION DEVICE
NO SCALE



GUARDIAN 1 AIR/VACUUM
RELIEF VALVE NO SCALE
(PLUMBED TO PVC)



DRIP LINE
NO SCALE

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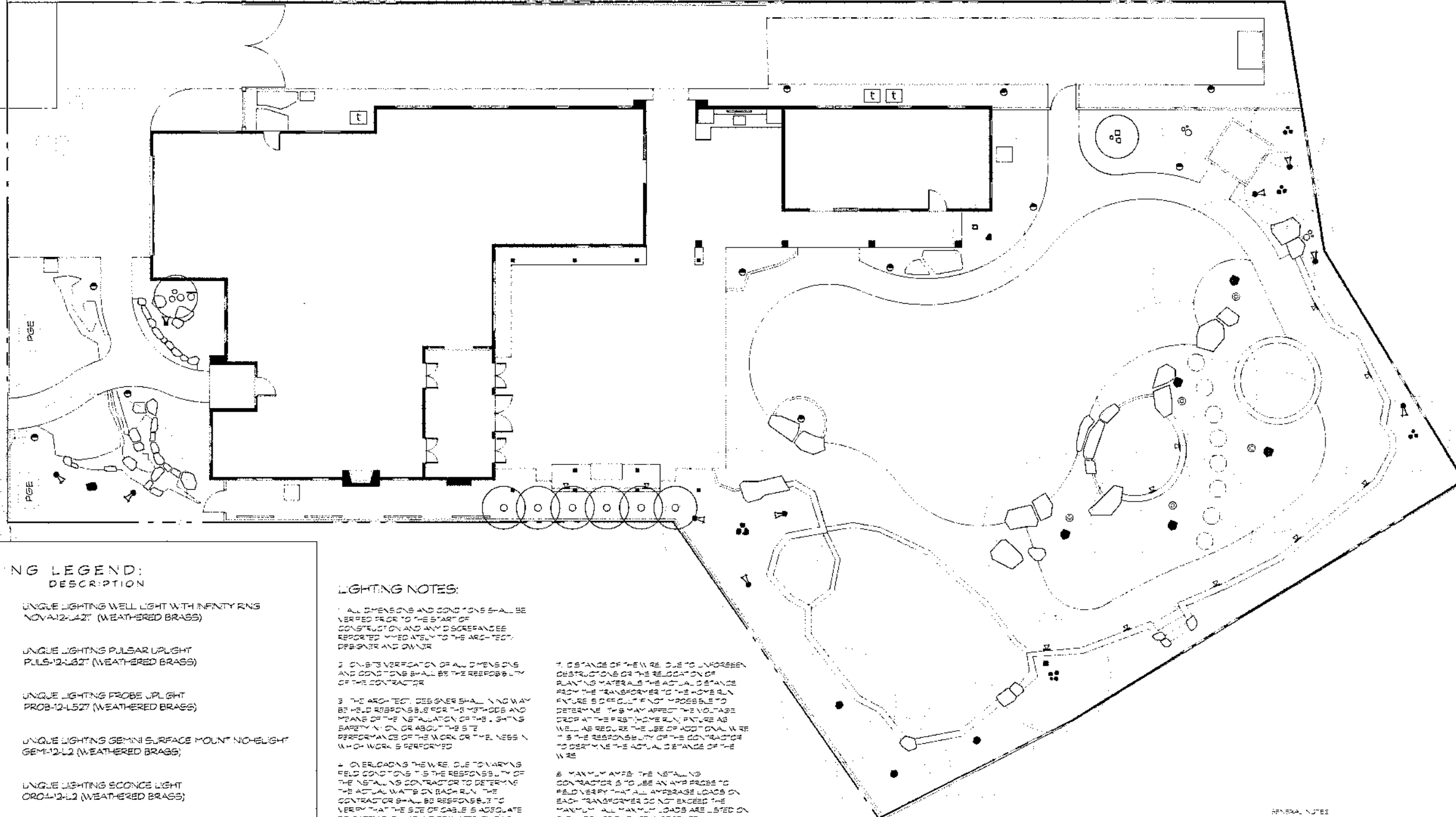


REV. NO. REVISION

IRRIGATION
DETAILS

Job No. Date 11/20/05
Drawn by

ROSE AVENUE



LIGHTING LEGEND:
SYMBOL DESCRIPTION

- UNIQUE LIGHTING WELL LIGHT WITH INFINITY RING NOVA-12-LA27 (WEATHERED BRASS)
- ▲ UNIQUE LIGHTING PULSAR UPLIGHT PULS-12-LB37 (WEATHERED BRASS)
- ▲ UNIQUE LIGHTING PROBE UPLIGHT PROB-12-LB27 (WEATHERED BRASS)
- UNIQUE LIGHTING GEMINI SURFACE MOUNT NICHELIGHT GEM-12-L2 (WEATHERED BRASS)
- UNIQUE LIGHTING SCORCE LIGHT SCOR-12-L2 (WEATHERED BRASS)
- UNIQUE LIGHTING VENUS PATH LIGHT VENU-12-L2 (WEATHERED BRASS)
- UNIQUE LIGHTING STELLAR WALL LIGHT STEL-12-L2 (WEATHERED BRASS)
- ⊙ UNIQUE LIGHTING WELL LIGHT APOL-12-L027 (WEATHERED BRASS)
- UNIQUE LIGHTING UNDER-COUNTER LIGHT VAB8-12-L2 (WEATHERED BRASS)
- UNIQUE LIGHTING TRANSFORMER 500SS-SL- (SIZING BY OTHERS)

LIGHTING NOTES:

1. ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED PRIOR TO THE START OF CONSTRUCTION AND ANY DISCREPANCIES REPORTED IMMEDIATELY TO THE ARCHITECT, DESIGNER AND OWNER.
2. OWNER'S VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE ARCHITECT, DESIGNER SHALL IN NO WAY BE HELD RESPONSIBLE FOR THE METHODS AND MEANS OF THE INSTALLATION OF THE LIGHTING SYSTEM, OR ABOUT THE SITE PERFORMANCE OF THE WORK OR THE RESULTS WHICH WORK IS PERFORMED.
4. OVERLOADING THE WIRE DUE TO VARYING FIELD CONDITIONS IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO DETERMINE THE ACTUAL WATS ON EACH RUN. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT THE SIZE OF CABLE IS ADEQUATE TO CARRY THE AMOUNT OF WATS ON EACH RUN.
5. VOLTAGE CONNECTIONS: THE LINES MULTIMATIC BREAK TRANSFORMERS HAVE MULTIPLE VOLTAGE TAPS. IT IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO FIELD VERIFY ALL REQUIRED VOLTAGE TAPS PRIOR TO LEAVING THE JOB. THE INSTALLING CONTRACTOR IS NOT TO RELY ON THE SUGGESTED VOLTAGE TAPS AS PROVIDED FOR ON THE FOLLOWING PAGES. THE CONTRACTOR IS TO USE A DIGITAL VOLTMETER TO DETERMINE THE ACTUAL VOLTAGE AT THE LAMPS. NOTE THAT MULTIPLE RUNS CAN BE CONNECTED TO THE SAME TAP.
6. PROPER VOLTAGE: THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THE PROPER VOLTAGE TO EACH LAMP. ACCEPTABLE VOLTAGE FOR ALL LAMPS IS BETWEEN 10.8 AND 12 VOLTS. OVERVOLTING OR UNDERVOLTING THE LAMPS MAY SHORTEN THE LIFE SPAN OF THE LAMP.
7. DISTANCE OF THE WIRE DUE TO UNFORESEEN OBSTRUCTIONS OR THE RELOCATION OF PLANTING MATERIALS THE ACTUAL DISTANCE FROM THE TRANSFORMER TO THE HOME RUN FUTURE IS DIFFICULT AND NOT POSSIBLE TO DETERMINE. THIS MAY AFFECT THE VOLTAGE DROP AT THE FIRST HOME RUN FUTURE AS WELL AS REQUIRE THE USE OF ADDITIONAL WIRE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE ACTUAL DISTANCE OF THE WIRE.
8. MAXIMUM AMPERE: THE INSTALLING CONTRACTOR IS TO USE AN AMP PROBE TO FIELD VERIFY THAT ALL AMPERAGE LOADS ON EACH TRANSFORMER DO NOT EXCEED THE MAXIMUM. ALL MAXIMUM LOADS ARE LISTED ON THE LABEL OF EACH TRANSFORMER.
9. HOME RUN WIRE MINIMUM DEPTH: 12" IS LEAD MINIMUM DEPTH OF 6" IS RECOMMENDED.
10. 100 WIRE NOT TO EXCEED 122 WATTS. 1/2" WIRE NOT TO EXCEED 288 WATTS. 3/4" WIRE NOT TO EXCEED 350 WATTS.
11. RUN ALL HOME RUN WIRES TOGETHER WHERE POSSIBLE.
12. INSTALL LIGHT FIXTURES PER PLAN AND ADJUST FOR GLARE REDUCTION. VERIFY THAT FIXTURE IS DIRECTED AT WALLS, PATHS, OR TREES AND NOT ADJACENT PROPERTIES.
13. CONTRACTOR TO INSTALL ALL FIXTURES PER MANUFACTURER'S SPECIFICATIONS AND ALL APP. CALIF. ASSOCIATION CODES.
14. FOR ANY QUESTIONS PLEASE CONTACT UNCLE LIGHTING SYSTEMS AT THEIR TOLL FREE NUMBER 1-800-355-4622.

GENERAL NOTES

CONTRACTOR MUST BE PROPERLY LICENSED BY THE CALIFORNIA CONTRACTORS STATE BOARD. CONTRACTOR MUST ENTER INTO AN AGREEMENT TO PERFORM WORK AND MAY BE REQUIRED TO OBTAIN A LICENSE FROM THE BOARD OF EQUAL OPPORTUNITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH ALL UNDERGROUND UTILITIES, EPSES AND OTHER HAZ. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGES AND REPLACEMENT OF HAZ. UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL INTERFERING AGENCIES AND AGENCIES.

0 4 8 16 24

NORTH

SCALE: 1/8" = 1'-0"

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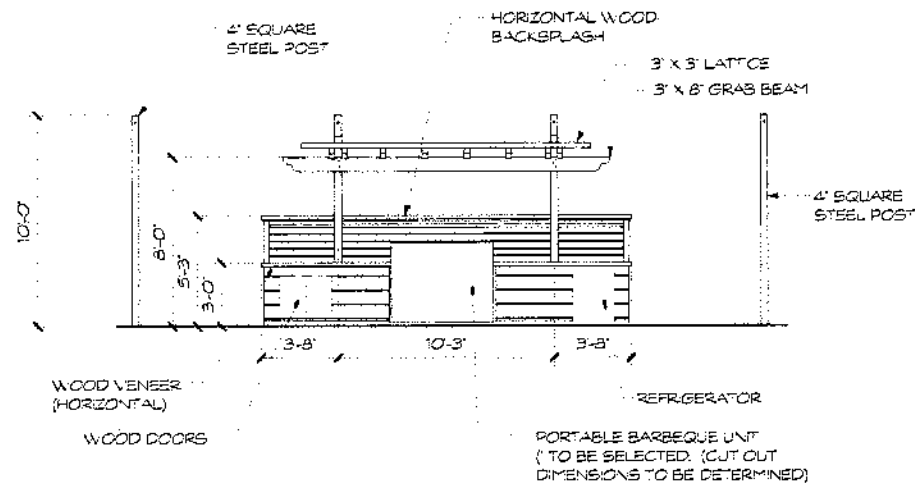


REV. NO.	REVISION
1	REVISED DRIVEWAY LINE

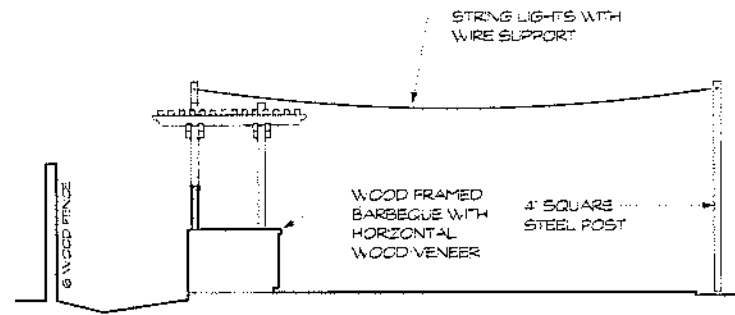
LIGHTING PLAN

Job No. _____ Date: 10/20/11
Drawn: mh Scale: 1/8" = 1'-0"

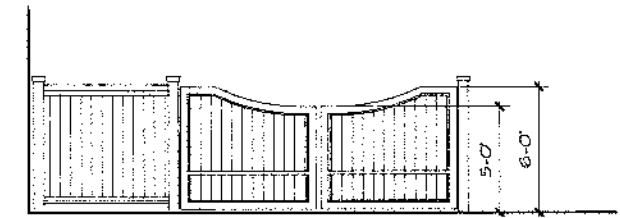
1-8



BBQ/TRELLIS FRONT ELEVATION
SCALE: 1/4" = 1'-0"

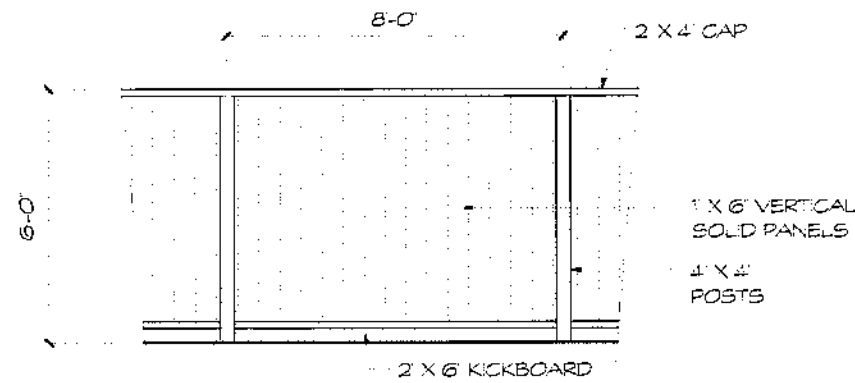


BBQ/TRELLIS SIDE ELEVATION
SCALE: 1/4" = 1'-0"

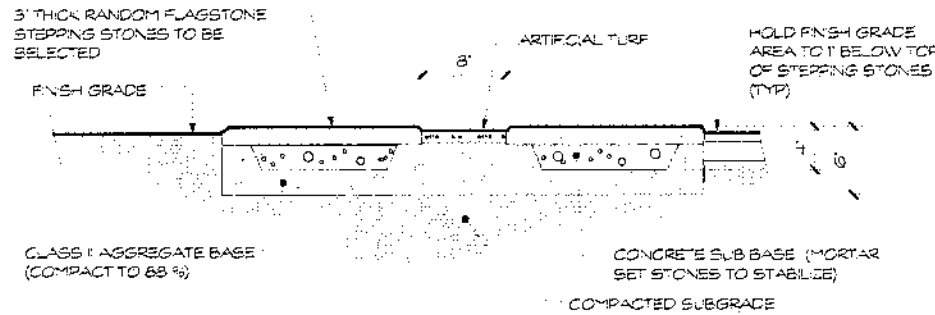


GATE ELEVATION
SCALE: 1/4" = 1'-0"

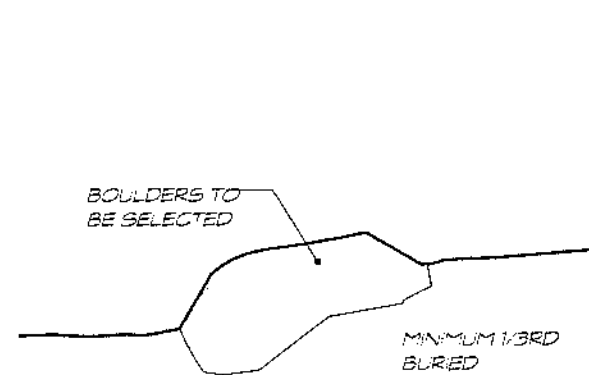
PAINTED WOOD FENCE AND GATE
SHOP DRAWINGS BY OTHERS



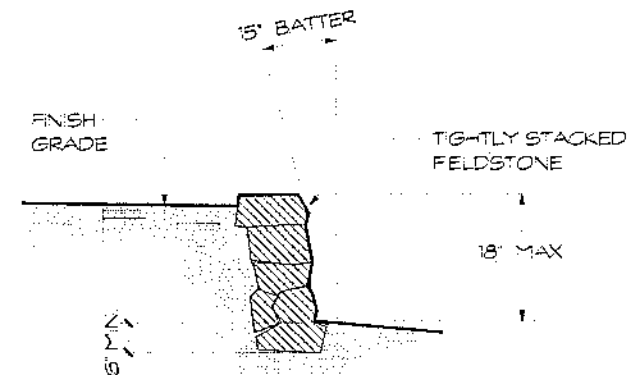
GOOD NEIGHBOR FENCE
1/2" = 1'-0"



FLAGSTONE STEPPING STONES
NOT TO SCALE



BOULDER PLACEMENT
NOT TO SCALE



DRYSTACK STONE WALL
NOT TO SCALE

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REV. NO.	REVISION

DETAILS

Job No: _____
Drawn: *sth*

