

SITE SUMMARY

NUMBER OF NEW UNITS:	14
SITE ACRES	2.11 ACRES
DEVELOPED ACRES (LOTS, PARCEL A AND STREETS)	1.78
GROSS DENSITY (NEW DEVELOPMENT)	
# UNITS / (TOTAL AC - OS-PH&WO-PARCEL A)AC	8.1 DU/AC
14 UNITS / (2.11-0.33-0.06)AC	
PARKING	
ON STREET	8
DRIVEWAYS (2 MINIMUM PER NEW RESIDENCE)	28
GARAGE (2 PER NEW RESIDENCE)	28
TOTAL	64 TOTAL

LAND USE SUMMARY

LAND USE	UNITS	ACRES	% OF SITE
MEDIUM DENSITY RESIDENTIAL (MDR) SINGLE FAMILY DETACHED*	14	1.41	66.8%
OS-PH&WO	-	0.33	15.7%
RIGHT OF WAY (STREETS & SIDEWALKS)	-	0.31	14.7%
PARCEL A	-	0.06	2.8%
	14	2.11	100.0%

NOTE:

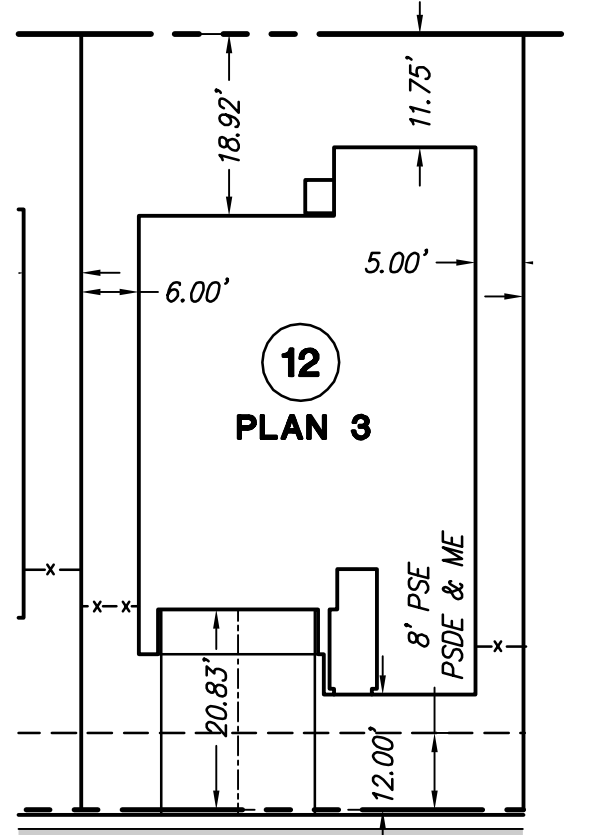
*NET LOT AREAS USED FOR SINGLE FAMILY DETACHED LAND USE CALCULATION. THE REMAINING AREA IS A PART OF THE OS-PH&WO AREA, PROPOSED PRIVATE STREET RIGHT OF WAY AND PARCEL A.

PUD LOT SPECIFICATIONS SUMMARY

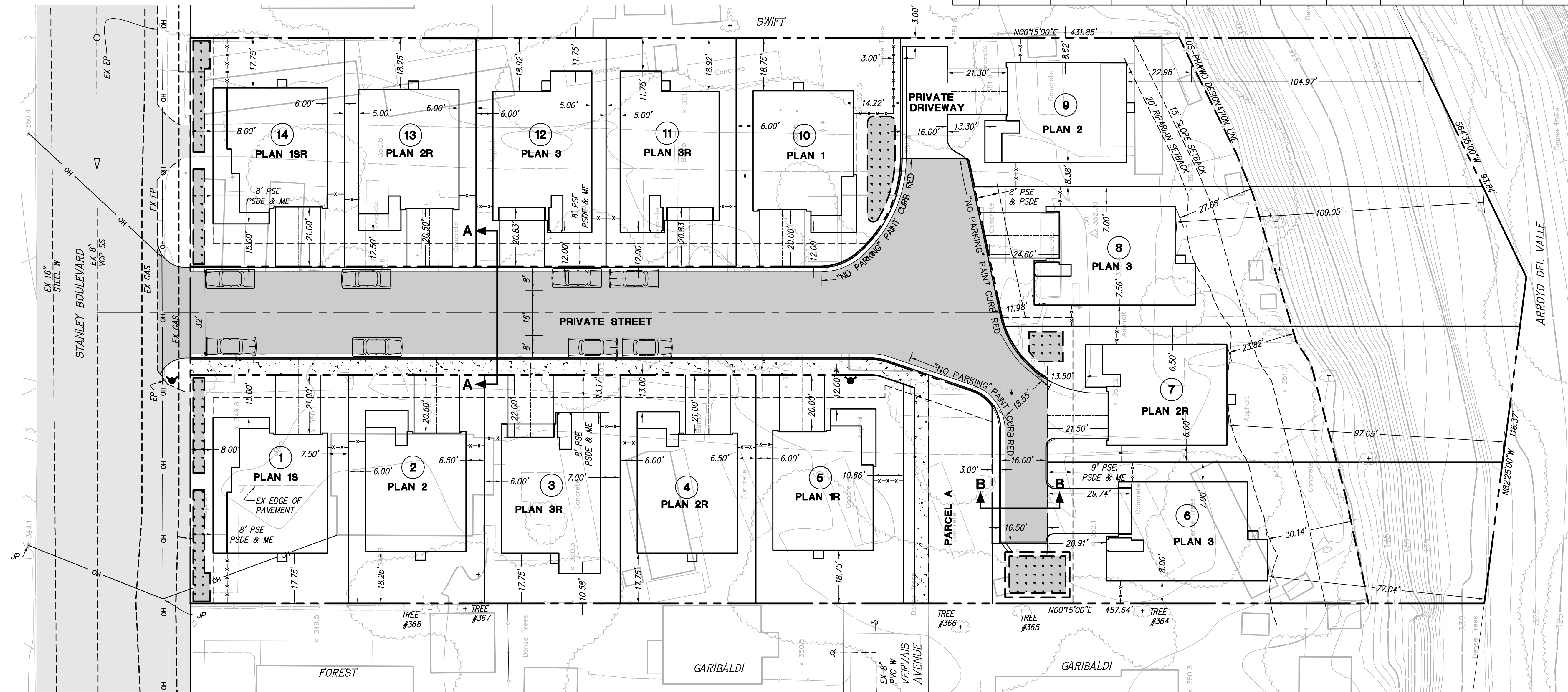
LOT	GROSS LOT SIZE (1)	NET LOT SIZE (2)	HOUSE MODEL (3)	HOUSE MODEL MAX HEIGHT (4)	HOUSE SIZE (5)	FAR (6)	MIN FRONT SETBACK (PORCH/HOUSE/DWY)	MIN REAR SETBACK	MIN SIDE SETBACK
1	4,522	4,522	PLAN 1S	32'	2,182	49%	5'/11'/20'	10'	5'
2	3,876	3,876	PLAN 2 OR 3	32'	2,226-2,624	57 OR 68%	5'/11'/20'	10'	5'
3	3,876	3,876	PLAN 2 OR 3	32'	2,226-2,624	57 OR 68%	5'/11'/20'	10'	5'
4	3,876	3,876	PLAN 2 OR 3	32'	2,226-2,624	57 OR 68%	5'/11'/20'	10'	5'
5	4,197	4,197	PLAN 1	32'	2,261	54%	5'/11'/20'	10'	5'
6	8,330	5,821	PLAN 2 OR 3	32'	2,226-2,624	38 OR 45%	5'/11'/20'	10'	5'
7	8,046	4,750	PLAN 2 OR 3	32'	2,226-2,624	47 OR 55%	5'/11'/20'	10'	5'
8	9,136	4,931	PLAN 2 OR 3	32'	2,226-2,624	45 OR 53%	5'/11'/20'	10'	5'
9	9,898	5,599	PLAN 2 OR 3	32'	2,226-2,624	40 OR 47%	5'/11'/20'	10'	5'
10	4,450	4,450	PLAN 1	32'	2,261	51%	5'/11'/20'	10'	5'
11	3,715	3,715	PLAN 2 OR 3	32'	2,226-2,624	60 OR 71%	5'/11'/20'	10'	5'
12	3,715	3,715	PLAN 2 OR 3	32'	2,226-2,624	60 OR 71%	5'/11'/20'	10'	5'
13	3,755	3,755	PLAN 2 OR 3	32'	2,226-2,624	60 OR 70%	5'/11'/20'	10'	5'
14	4,401	4,401	PLAN 1S	32'	2,182	50%	5'/11'/20'	10'	5'

NOTES:

- GROSS LOT SIZE INCLUDES AREA WITHIN THE OS-PH&WO.
- NET LOT SIZE DOES NOT INCLUDE AREAS WITHIN THE OS-PH&WO.
- PLOTTING MIX SHOWN IS PRELIMINARY ONLY. SPECIFIC PLAN TYPE PER LOT TO BE DETERMINED BY APPLICANT.
- FOR SPECIFIC BUILDING HEIGHTS, SEE ARCHITECTURAL PLANS.
- PRELIMINARY SQUARE FOOTAGES ARE APPROXIMATE.
- FAR IS CALCULATED USING NET LOT AREA.



TYPICAL LOT WITH SETBACKS
NOT TO SCALE

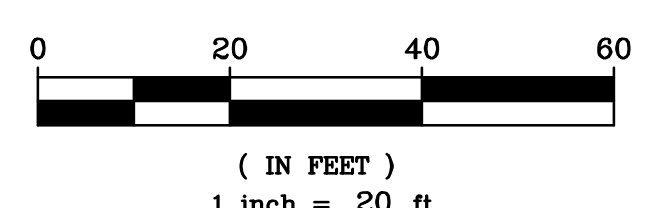
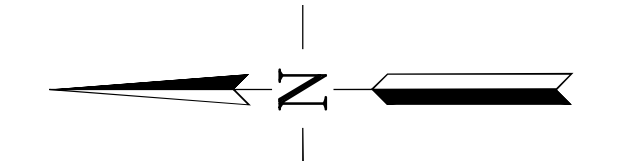


ACCESSORY STRUCTURES

LOTS	MINIMUM SETBACK (SEE NOTES BELOW)
1-5, 10-14	5' TO SIDE PL 5' TO REAR PL CLASS I, UNENCLOSED TRELLIS, ARBOR, AND SHEDS 7' > HEIGHT
6-9	5' TO SIDE PL MAXIMUM 10' PROJECTION FROM REAR BLDG WALL AND NO ENCROACHMENT WITHIN 15' SLOPE SETBACK LINE
1-14	CLASS II, POOLS NOT ALLOWED AND POSSIBLE HOT TUBS PER CLASS I REGULATIONS CLASS I, HABITABLE STRUCTURE NOT ALLOWED

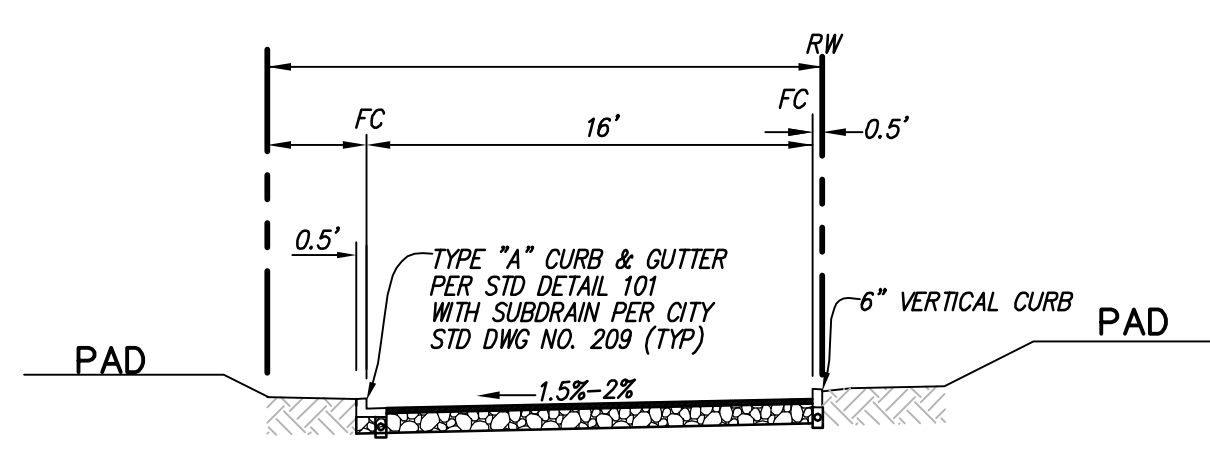
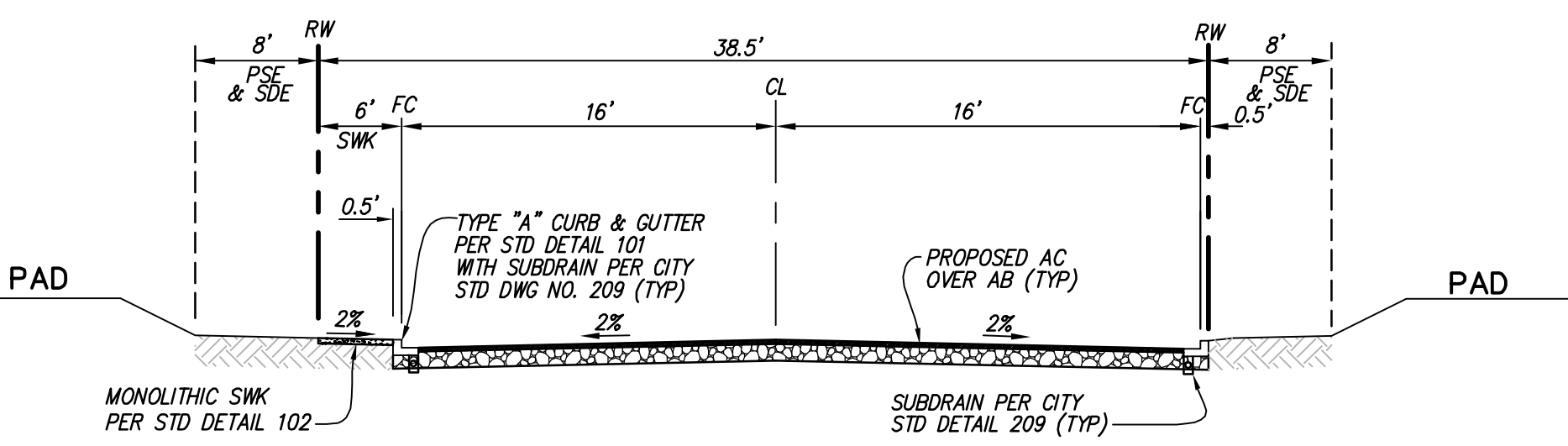
NOTES:

- FRONT, SIDE, REAR YARD SETBACKS DO NOT INCLUDE MINOR ARCHITECTURAL PROJECTIONS PER CITY OF PLEASANTON ZONING ORDINANCE.



**ALTERNATE
SITE DEVELOPMENT PLAN
WAGNER PROPERTY**

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



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