

RECEIVED

MAR 27 2012

CITY OF PLEASANTON
COMMUNITY DEVELOPMENT

Project Narrative

To whom it may concern:

Ref: 6010 Alisal Street, Pleasanton Ca.

We are submitting an application for a PUD, minor subdivision and approval for annexation. The property is located at 6010 Alisal St. in the Happy Valley area. The 10-acre site has an existing 4,000 sq. ft. home with a two car garage and a detached 1190 sqft garage. These are located on the upper east portion of the 10 acre site. A sport court (55'x120'), paver stone walks, patio and landscape areas are located on the lower portion of the property and will be incorporated into part of the new development.

We propose to subdivide the property into two lots, one of approximately a 3-1/2 acre for the existing home and detached garage (primarily the east upper portion) and the second a 6-1/2 acre site where the proposed new home, secondary home and detached garages are to be built (primarily the lower west portions). No development work is proposed on the 3-1/2 acre site other than to connect existing home to city sewer and water once annexation is approved.

The Happy Valley Specific plan was carefully reviewed and its recommendations are incorporated into the design and layout of this project. A preliminary application was submitted (Prev-749) and a report received dated 3-3-2009. These comments were also taken into consideration in finalizing the project design. The new 6 1/2 acre site will be developed with a main home of approximately 4000 sqft, a secondary home of approximately 1200 sqft, a 500 sqft. pool house and three detached garages.

The main house is a single story semi-rural ranch style design; it sits back over 250' from Alisal Street. The exiting sport court sits behind the detached garage and home. The set back from Alisal gives a wide open un-crowded look. Keeping with the specific plan goals and objectives of a semi-rural character the home has a wide wrap around front porch, rock veneer and board and batten siding. Adjacent to the main home sitting 25 feet back from the front is a 864 sqft detached garage connected by a covered walkway.

The secondary living units with its detached garage sits behind the main home and sport court over 500' from Alisal and most likely not visible from Alisal. Near the secondary living unit is a 440 sqft detached garage.

The third detached 960 sqft garage is in the rear of the property over a 1/8 of a mile and not visible from Alisal. Although not visible from Alisal, all the structures incorporate the same design features as the main home.

The project was designed to protect and take advantage of the shade from the large heritage oak trees. No tree removal is required for this project. The existing and proposed landscape will continue to be irrigated with the existing on site wells.

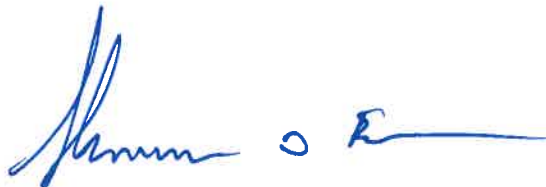


EXHIBIT B

REVISIONS	DATE

Design Tech Associates
Professional design services
1487 Blvd Blvd
957 492 3888 SAC 928 423 2828

OWNER:
Sherman & Cheryl Balch

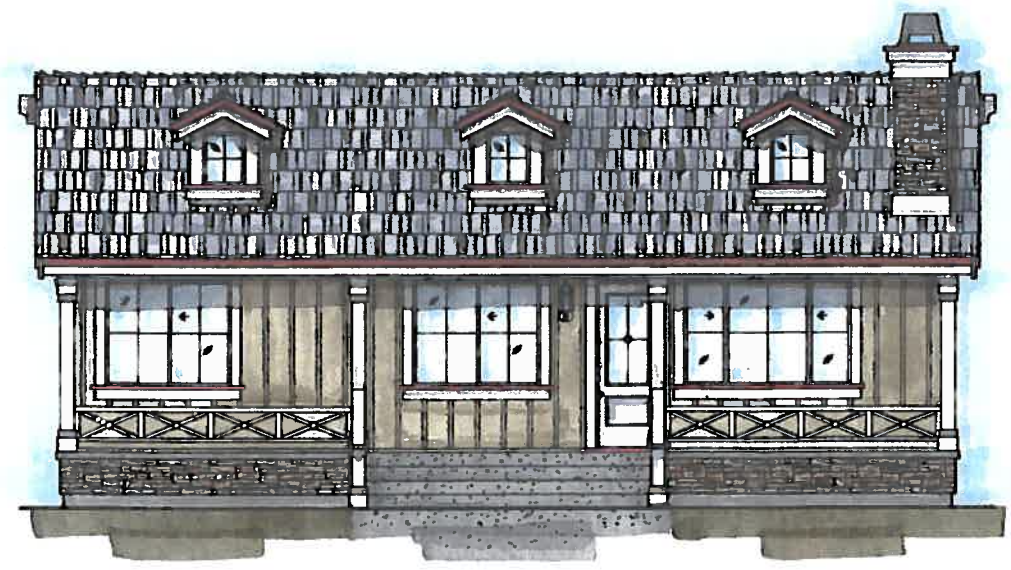
PROJECT LOCATION:
**Sherman & Cheryl Balch
6010 Alisal Street
Pleasanton, CA. 94566**

DRAWING TITLE:
Balch Rendering

DRAWN	JGC
CHECKED	GMUN
DATE	
SCALE	
JOB NO.	Balch
SHEET	1
OF SHEETS	



MAIN RESIDENCE



IN-LAW RESIDENCE

**MATERIAL BOARD
BALCH RESIDENCE**

6010 Alisal Street
Pleasanton, Ca.

PAINT COLORS:

- BODY:** Early-Maine Paint Wood-Mann LRV 20 -197
- ACCENT:** "A" Early-Maine Paint Sherwin-LEVI 4 #108
- "B" Early-Maine Paint Dulux-LEVI # 44286-2
- TRIM:** Early-Maine Paint Sherwin-Briggs LRV 20 #214

ROOFING:

- COMPOSITION:** Fossilized Shale TL
- SHAKE:** "Weathered Wood"

EXTERIOR FINISH:

- BODY:** Cement/brick veneer
Fiber Cement Siding
Cable-Krete Concrete Form
with 1/2" wood batt over
(See "Paint Color Study" for notes)
- SIDE ACCENT:** Blended Stone veneer
SPW "Stone Veneer" Minimum Ledger
20% "Backband" - Stone Ledger
- MUTERS & ARCHITECTURAL VENTIL:** Early-Maine Paint (See "Paint Color" Annex "A" for notes)
- GUTTERS & DOWNSPOUTS:** G.S.M. (see notes) (See "Paint Color" Annex "A" for notes)

DRIVEWAY:

- Concrete laid or Dimple Channel
Min 8" under "Cable-Krete" & steel
Reinforcing "Fiberglass Fabric, Green Glass"
(See landscape/landscape plan)

RETAINING WALLS:

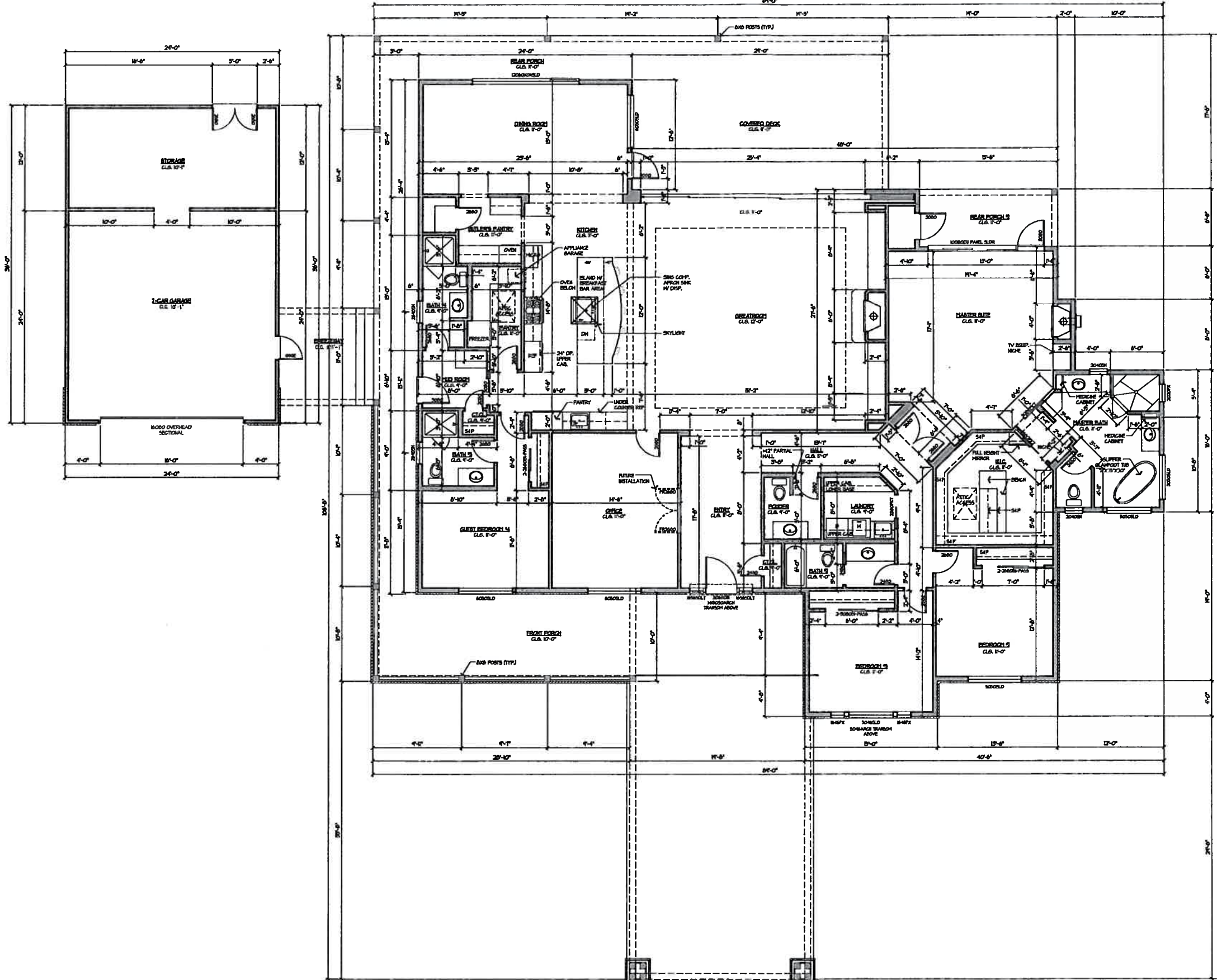
- Light Gray C.M.U. retaining walls and pillars (1:1 slope)
(See landscape/landscape plan)

WINDOWS & DOORS:

- WINDOWS & PATIO DOORS:** Poly, reinforced wood or "light white" Chl-reinforced vinyl
- ENTRY DOORS:** Wood or composite Lustr-Dura w/ 30% Lites
- 2 Threshold, Sealed or painted
- GARAGE DOORS:** Canvas Style steel insulated overhead automatic
or wood veneer Roll-Up (Steps to change)

PUD-88/P12-0577
RECEIVED
MAR 27 2012
CITY OF PLEASANTON
PLANNING DIVISION

EXHIBIT B



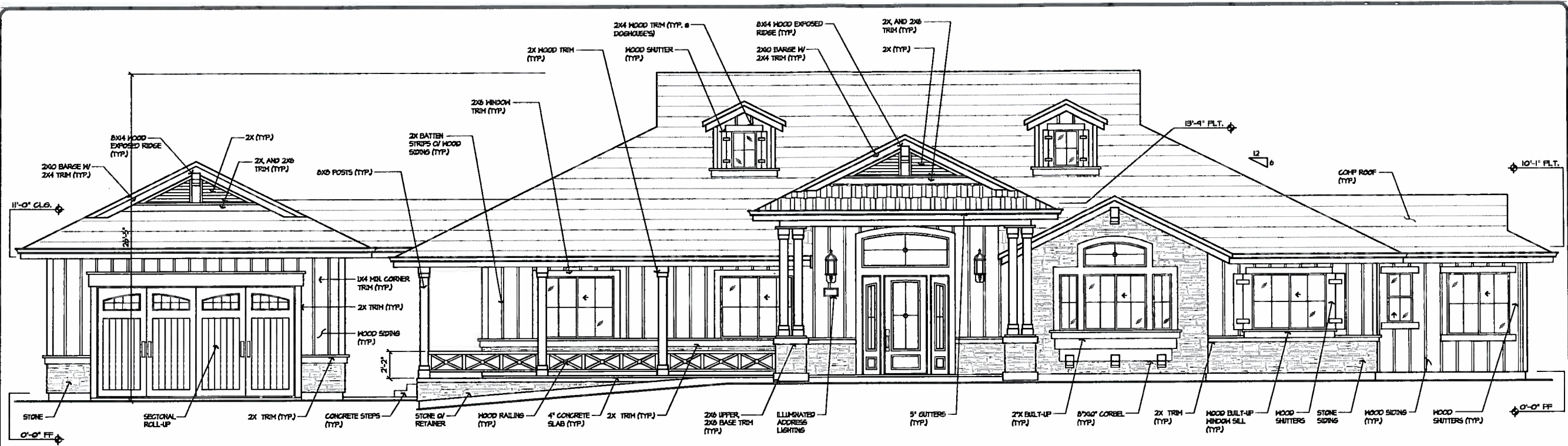
REVISIONS	DATE

Design+Tech Associates
 Professional Design Services
 14157 South Beach Blvd.
 925 483 9188 FAX 925 483 9399

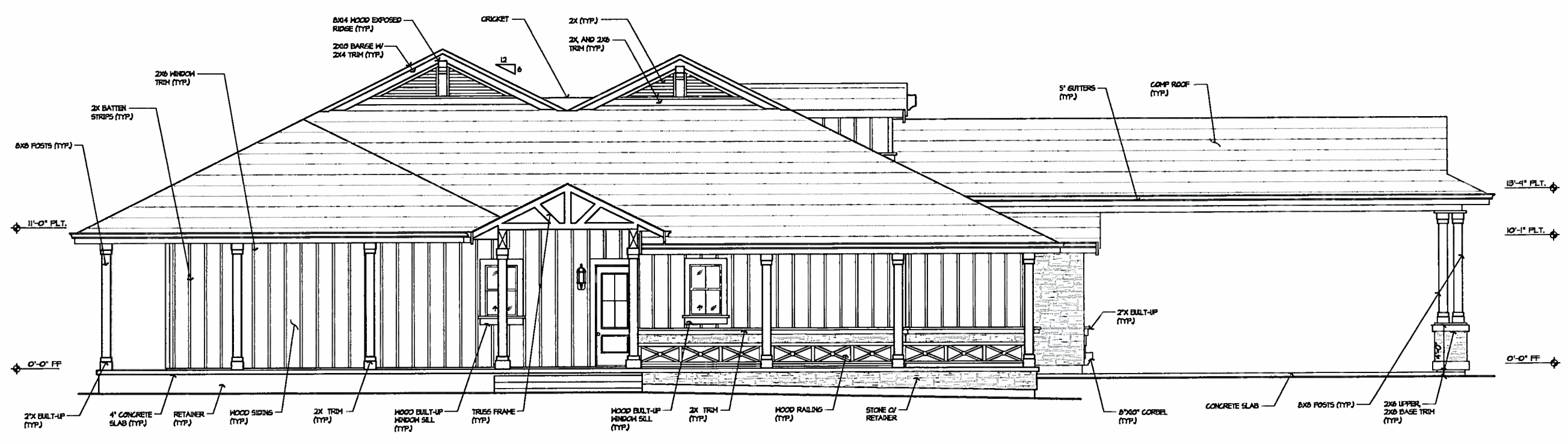
OWNER:
Sherman & Cheryl Balch
 PROJECT LOCATION:
Sherman & Cheryl Balch
 6010 Allsol Street
 Pleasanton, CA. 94556

DRAWING TITLE:
Floor Plan
Main House

DRAWN	JGG
CHECKED	GLM/NN
DATE	
SCALE	
JOB NO.	Balch
SHEET	
A1	
OF	SHEETS



FRONT ELEVATION 1/4" = 1'-0"



LEFT SIDE ELEVATION 1/4" = 1'-0"

REVISIONS	DATE

Design Tech Associates, Inc.
 Professional design services
 1857 Sand Street
 925 489 9950 FAX 925 489 9950

OWNER:
Sherman & Cheryl Balch

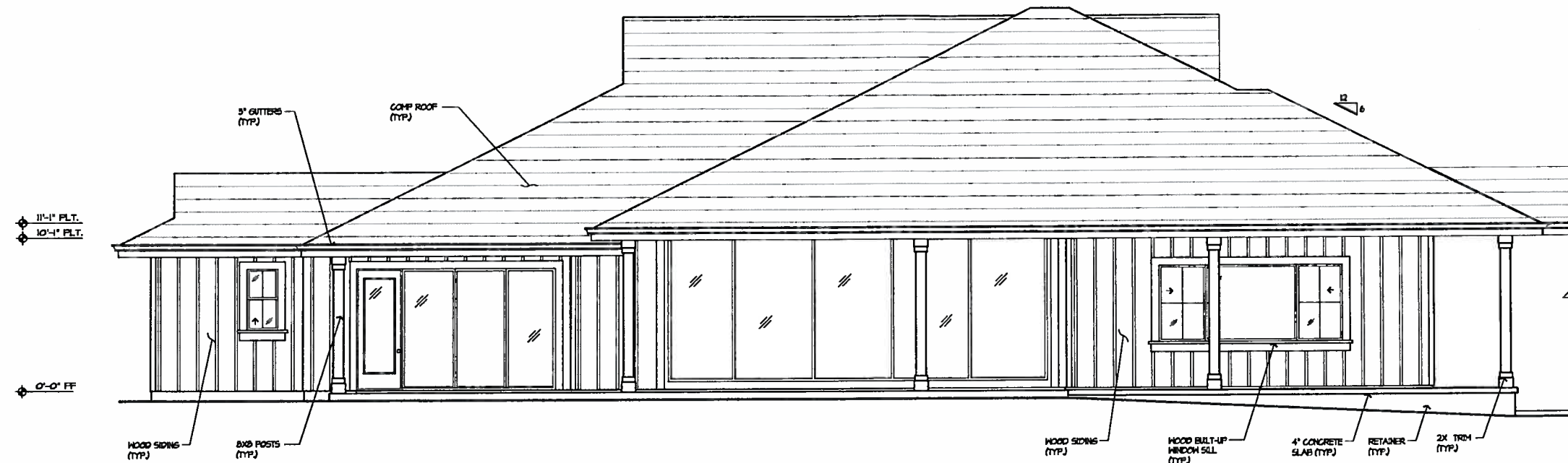
PROJECT LOCATION:
Sherman & Cheryl Balch
 6010 Aliso Street
 Pleasanton, CA. 94566

DRAWING TITLE:
Elevations
Main House

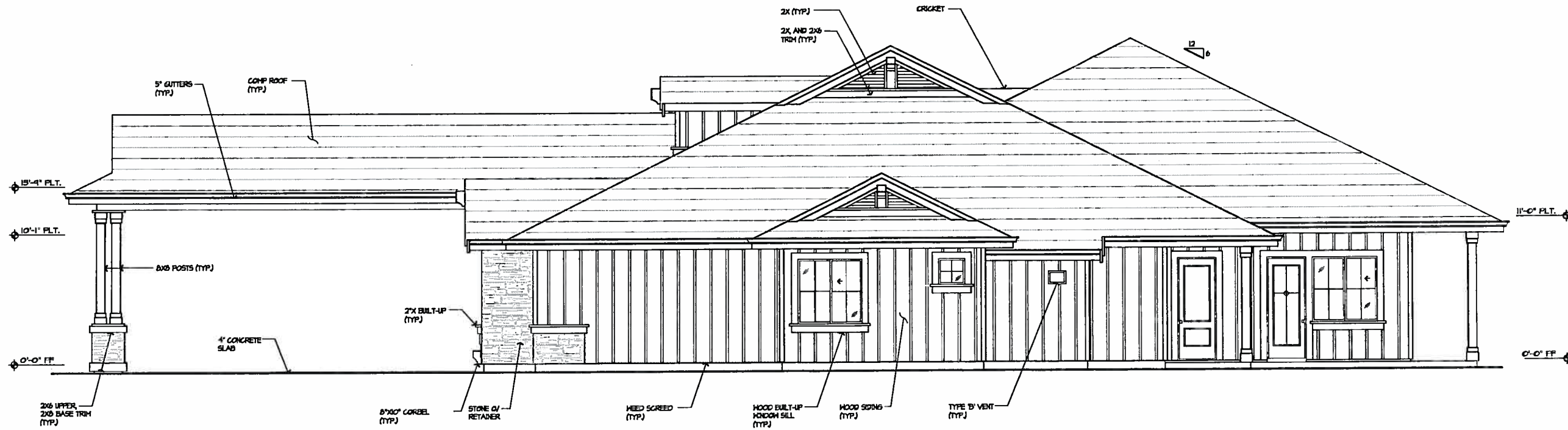
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CHECKED	DATE
SCALE	JOB NO.
SHEET	SHEET

A2

07 SHEETS



REAR ELEVATION 1/4" = 1'-0"



RIGHT SIDE ELEVATION 1/4" = 1'-0"

REVISIONS	DATE

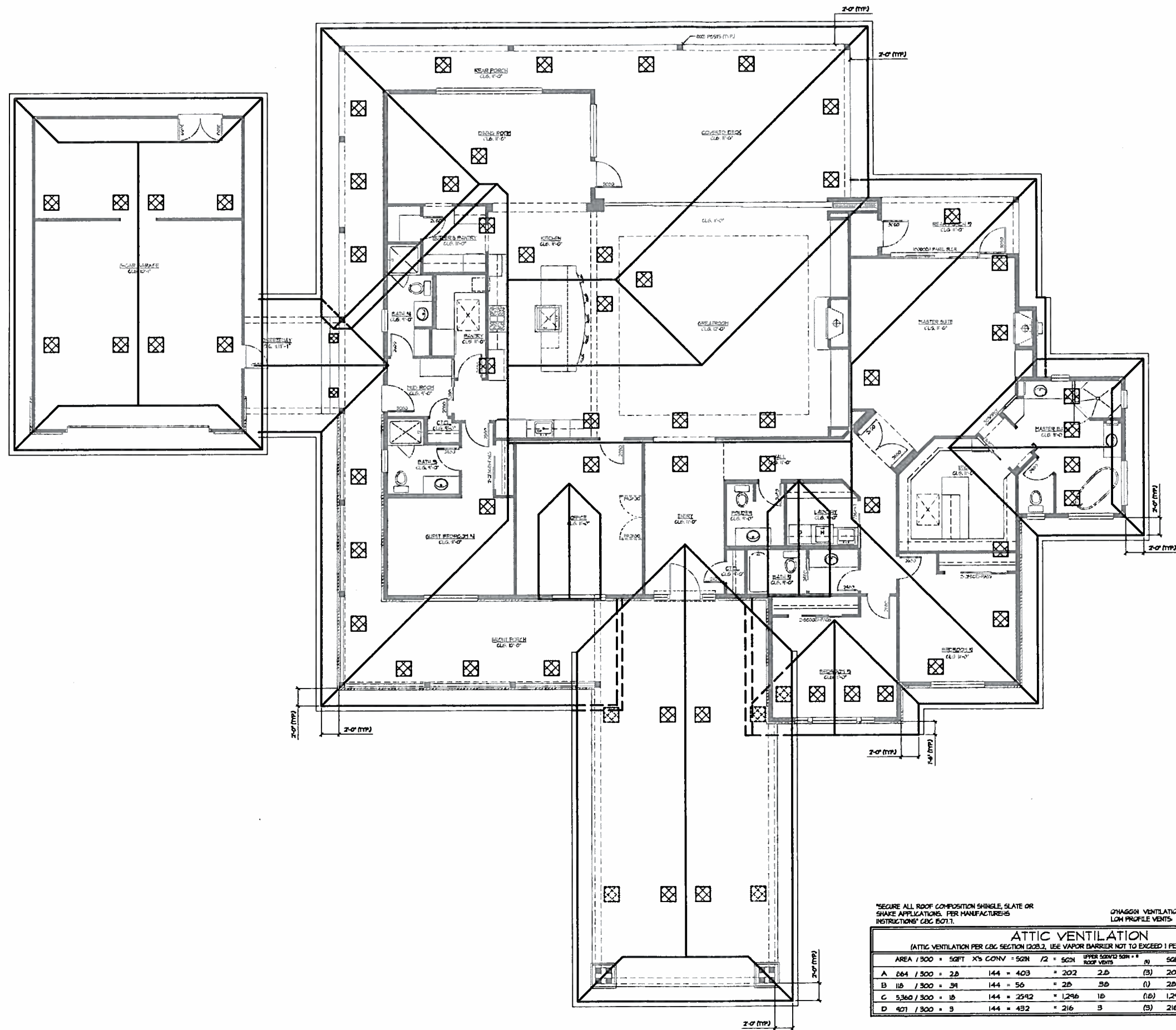
Design+Tech Associates
Professional design services
1857 Blvd. #100
Sherman, CA 94550
925 443 3338 FAX 925 443 3339

OWNER:
Sherman & Cheryl Balch

PROJECT LOCATION:
Sherman & Cheryl Balch
6010 Allisol Street
Pleasanton, CA, 94566

DRAWING TITLE:
Elevations
Main House

DRAWN	JGG
CHECKED	GMUNN
DATE	
SCALE	
JOB NO.	Balch
SHEET	
A3	
OF	SHEETS



*SECURE ALL ROOF COMPOSITION SHINGLE SLATE OR SHAKE APPLICATIONS PER MANUFACTURER'S INSTRUCTIONS' CBC 507.1.

ONPASSION VENTILATION SYSTEMS
LOW PROFILE VENTS 12 SQIN NET FREE

ATTIC VENTILATION							
(ATTIC VENTILATION PER CBC SECTION 508.2, USE VAPOR BARRIER NOT TO EXCEED 1 PER ON THE WARM AIR SIDE)							
AREA	/ 300	= SQFT	X'S CONV	= SQIN	/ 2	= SQIN	UPPER SQIN/12 SQIN * * ROOF VENTS
A	284	/ 300	= 2.8	144	= 403	= 202	2.8 (3) 202 2.8 (3)
B	118	/ 300	= .39	144	= 56	= 28	3.0 (1) 28 3.0 (1)
C	5360	/ 300	= 18	144	= 2592	= 1296	1.0 (1.0) 1296 1.0 (1.0)
D	401	/ 300	= 1.3	144	= 432	= 216	3 (3) 216 3 (3)

REVISIONS	DATE

Design Tech Associates
Professional design services

1157 Sand Street
DES 443 3338 FAX 925 712 3338
Licenses: No. D7350

OWNER:
Sherman & Cheryl Balch

PROJECT LOCATION:
Sherman & Cheryl Balch
6010 Allison Street
Pleasanton, CA. 94566

DRAWING TITLE:
Floor w/ Roof Plan
Main House

DRAWN
JOB
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DATE
SCALE
JOB NO.
Balch
SHEET
A4
OF SHEETS

REVISIONS	DATE

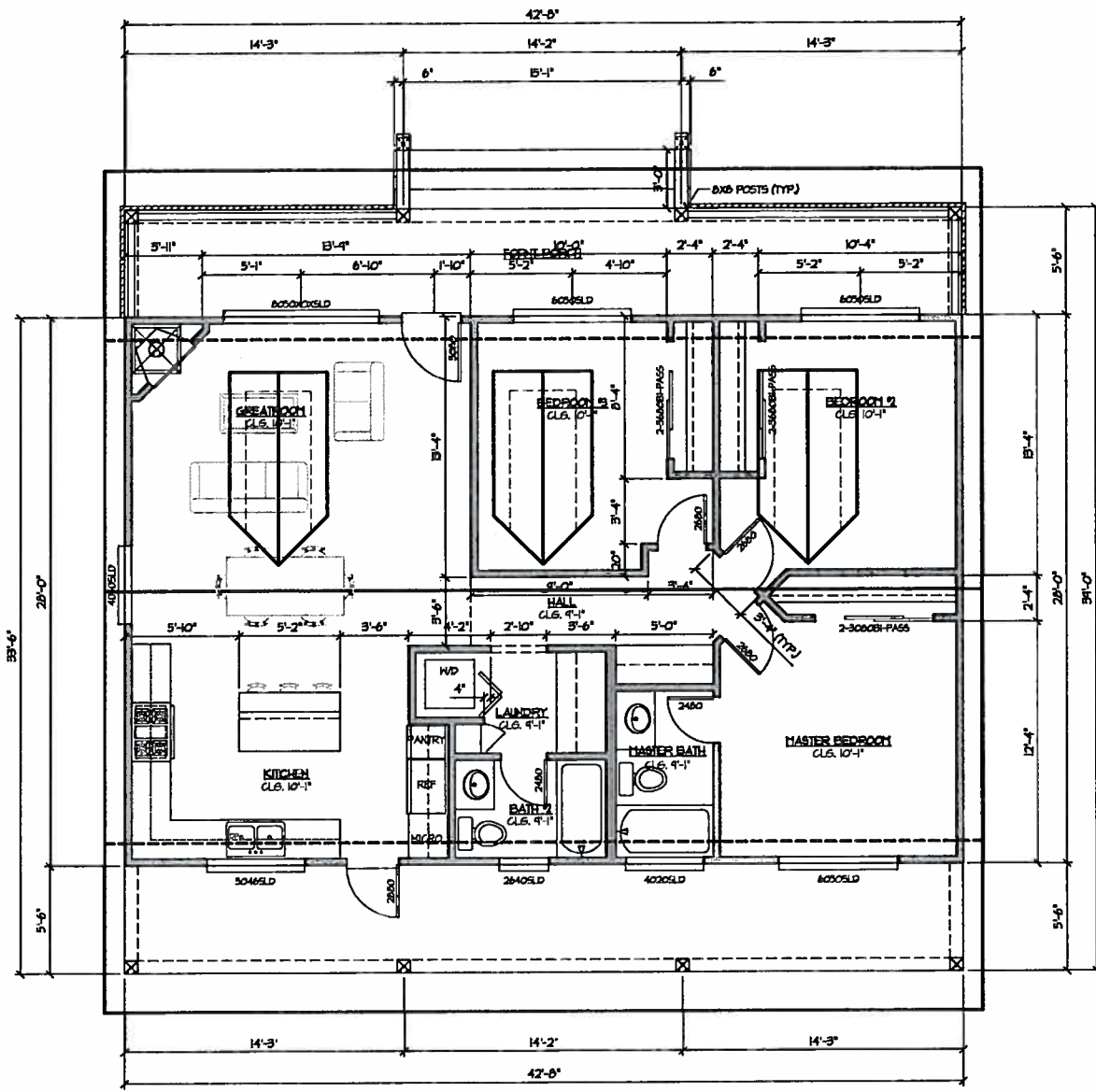
Design+Tech Associates
Professional design services
1877 Sand Street
Pleasanton, CA 94566
925 425 3330 FAX 925 425 3330

OWNER:
Sherman & Cheryl Balch

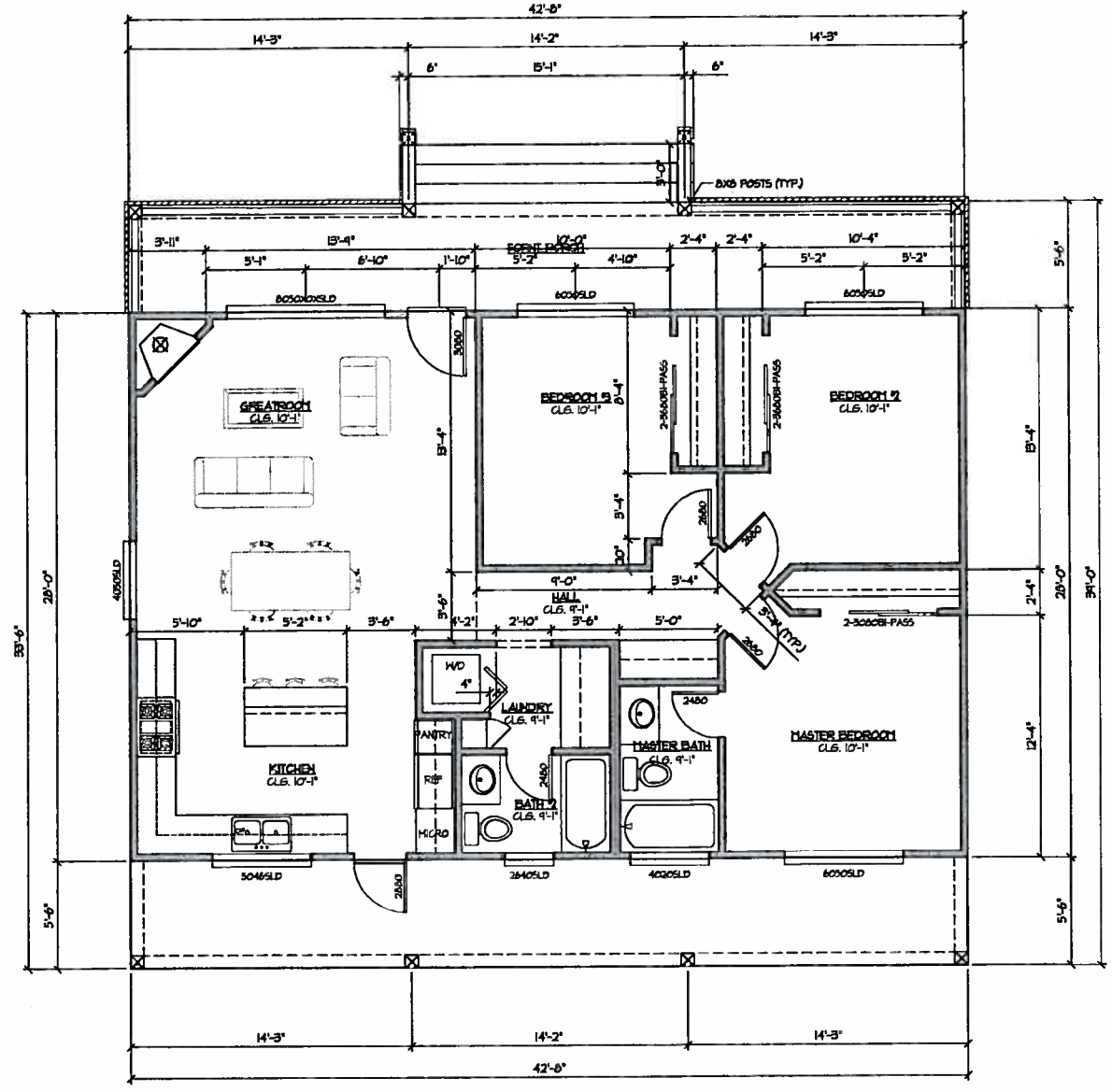
PROJECT LOCATION:
Sherman & Cheryl Balch
6010 Aliso Street
Pleasanton, CA 94566

DRAWING TITLE:
Floor Plan w/ Roof
Floor Plan w/ Roof
In-Law Unit

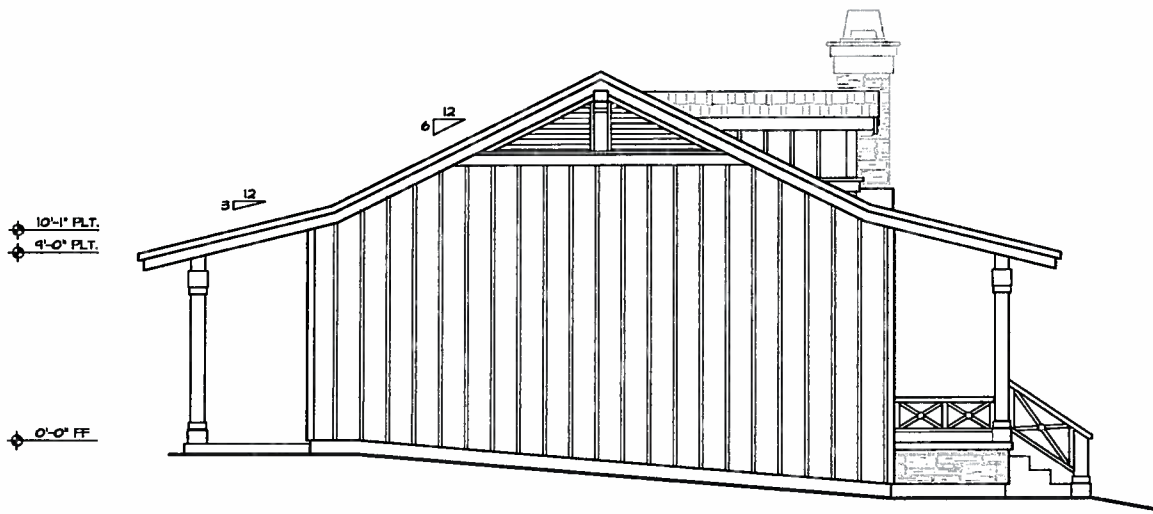
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OLMURN
DATE
SCALE
JOB NO.
Balch
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A1
OF SHEETS



FLOOR PLAN (IN-LAW W/ ROOF) 1/4" = 1'-0"



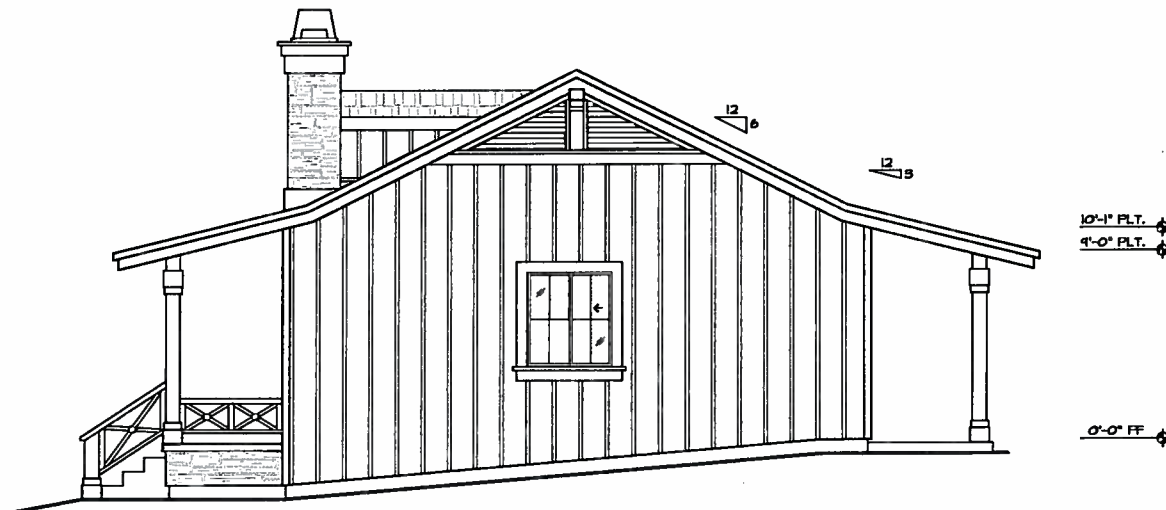
FLOOR PLAN (IN-LAW) 1/4" = 1'-0"



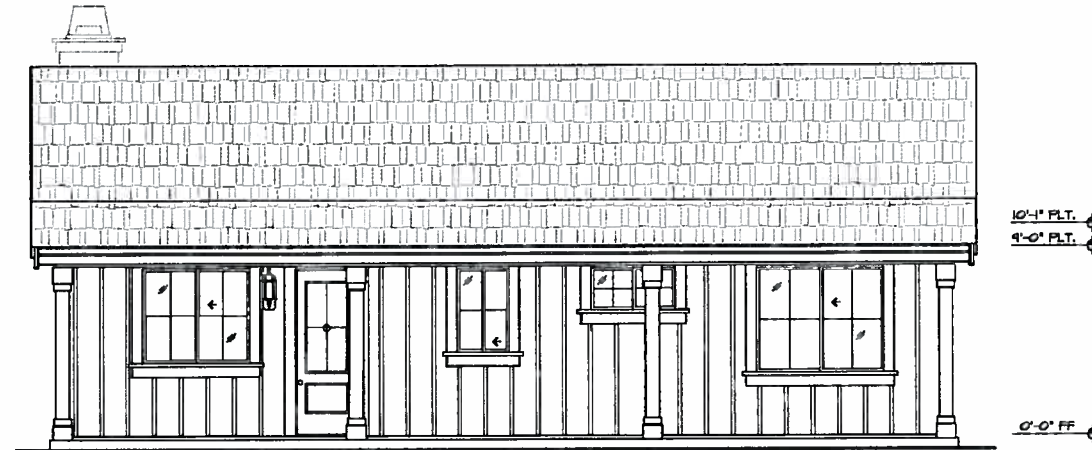
LEFT SIDE ELEVATION 1/4" = 1'-0"



FRONT SIDE ELEVATION 1/4" = 1'-0"



RIGHT SIDE ELEVATION 1/4" = 1'-0"



REAR SIDE ELEVATION 1/4" = 1'-0"

REVISIONS	DATE

Design Tech Associates
Professional design services
1837 Sand Street
925 442 3336 FAX 925 442 3333
Shirley, Va. 24150

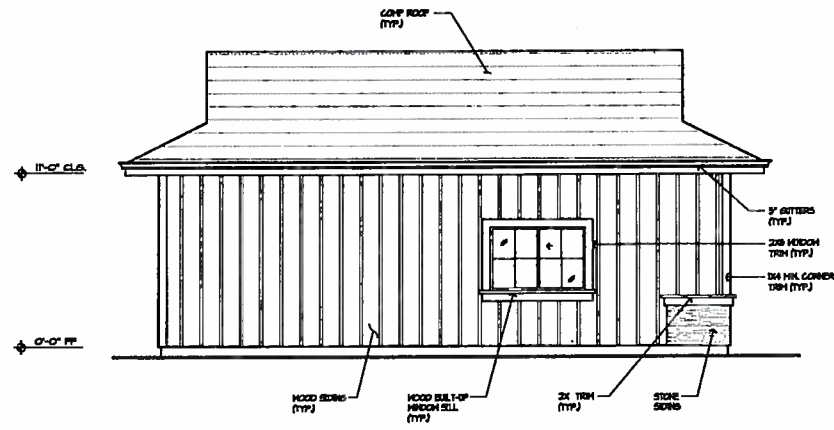
OWNER:
Sherman & Cheryl Balch

PROJECT LOCATION:
Sherman & Cheryl Balch
6010 Allisot Street
Pleasanton, CA. 94566

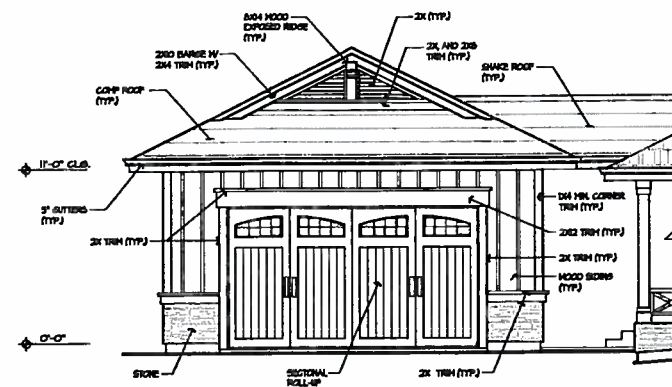
DRAWING TITLE:
Elevations Plan
In-Law Unit

DRAWN
JGG
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DATE
SCALE
JOB NO.
Balch
SHEET

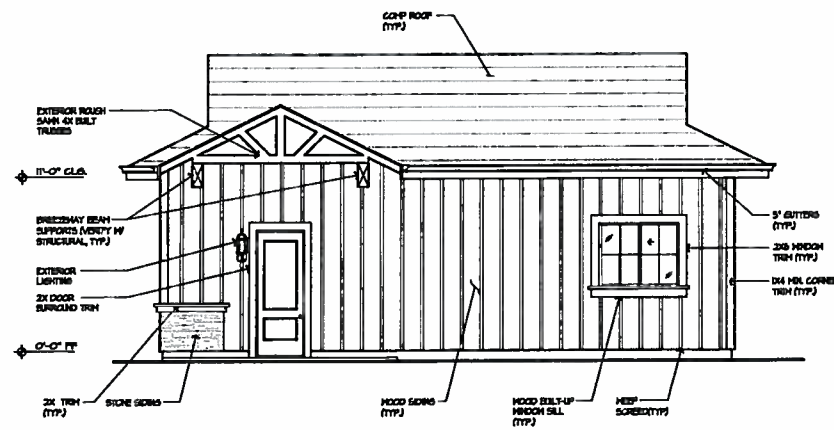
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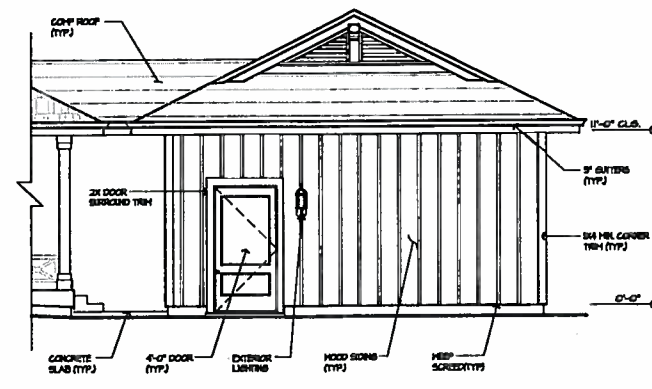
LEFT ELEVATION 1/4" = 1'-0"



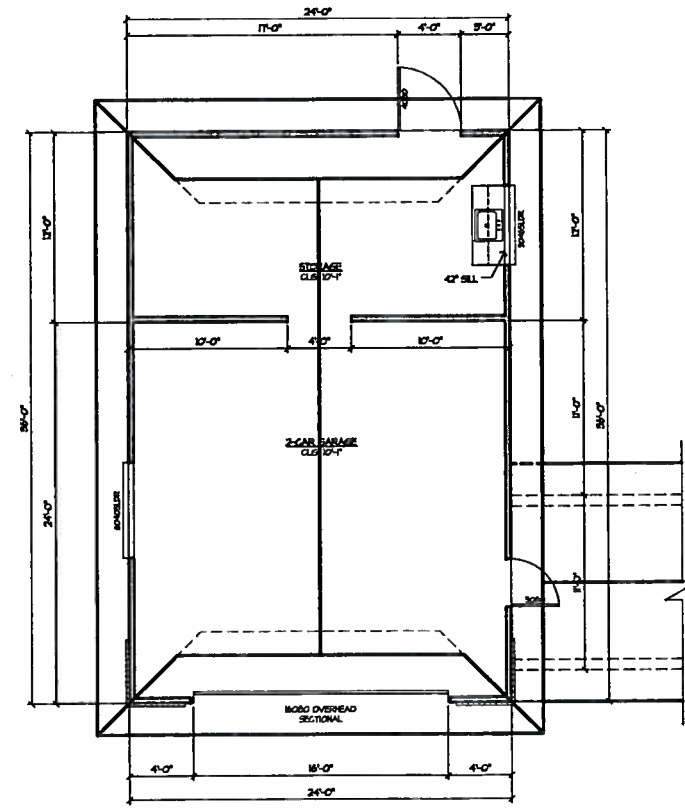
FRONT ELEVATION (2-CAR GARAGE) 1/4" = 1'-0"



RIGHT SIDE ELEVATION 1/4" = 1'-0"



REAR SIDE ELEVATION 1/4" = 1'-0"



FLOOR PLAN (MAIN REAR ATTACHED GARAGE) 1/4" = 1'-0"

REVISIONS	DATE

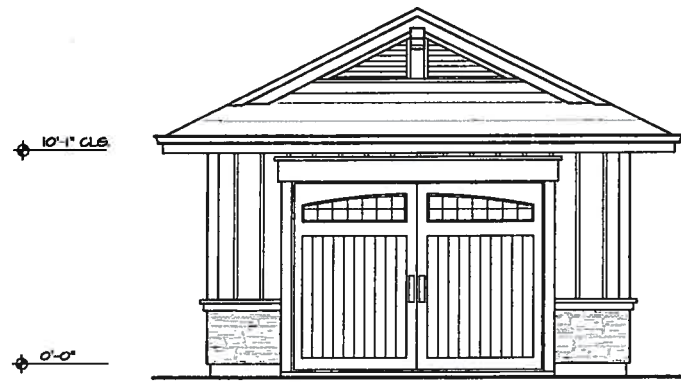
Design Tech Associates
Professional design services
1437 Sand Street
Pleasanton, CA 94550
925 485 3328 FAX 925 485 3329

OWNER:
Sherman & Cheryl Balch

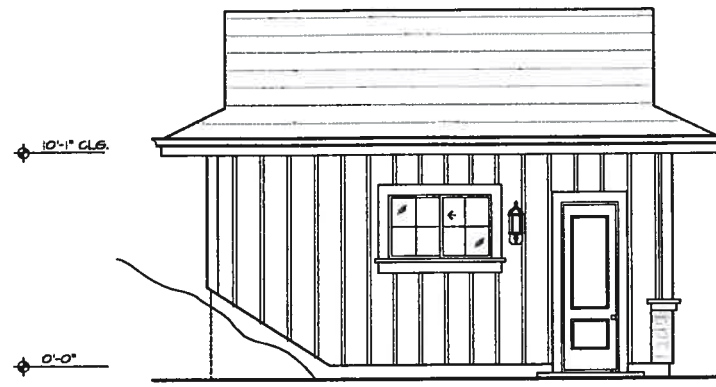
PROJECT LOCATION:
Sherman & Cheryl Balch
6010 Allison Street
Pleasanton, CA, 94566

DRAWING TITLE:
Main House Attached Garage

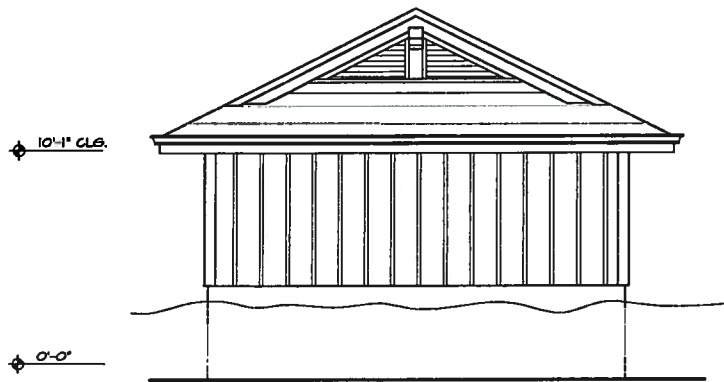
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SCALE	
JOB NO.	Balch
SHEET	



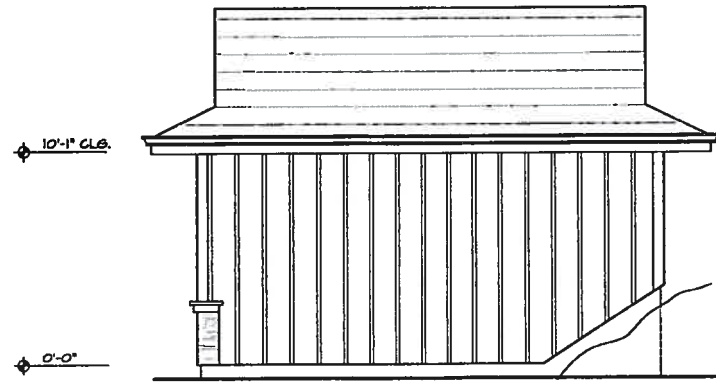
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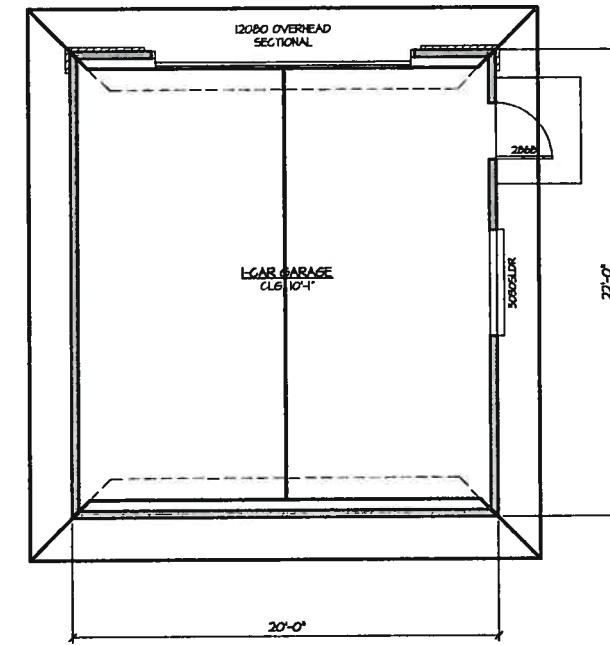
LEFT SIDE ELEVATION 1/4" = 1'-0"



REAR SIDE ELEVATION 1/4" = 1'-0"



RIGHT SIDE ELEVATION 1/4" = 1'-0"



FLOOR PLAN (IN-LAW UNIT GARAGE) 1/4" = 1'-0"

REVISIONS	DATE

Design+Tech Associates
Professional design services
1757 Sand Wood
Daly City, CA 94015
415 754 8888 FAX 415 754 3330

OWNER:
Sherman & Cheryl Balch

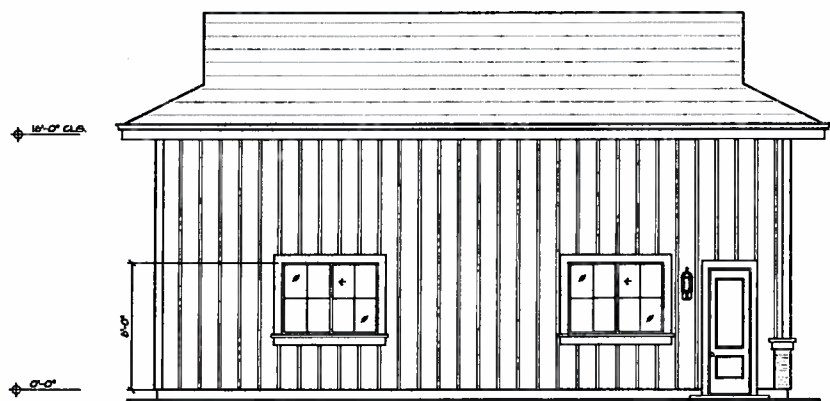
PROJECT LOCATION:
Sherman & Cheryl Balch
6010 Allsol Street
Pleasanton, CA. 94566

DRAWING TITLE:
In Law Unit Garage
Floor, Elevations Plan

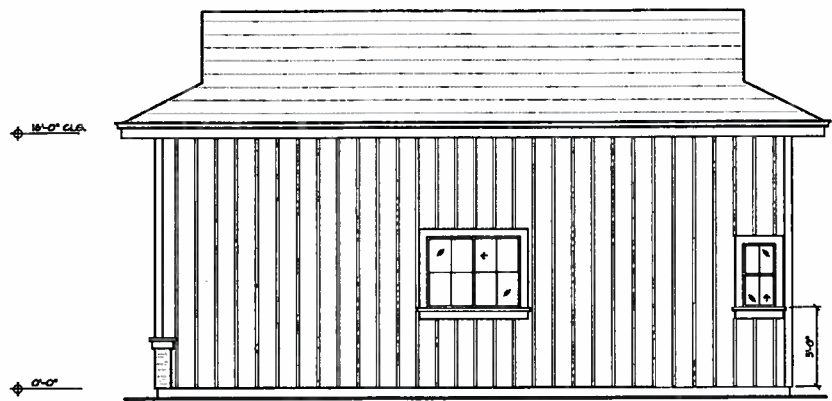
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JOB NO.
Balch
SHEET

G2

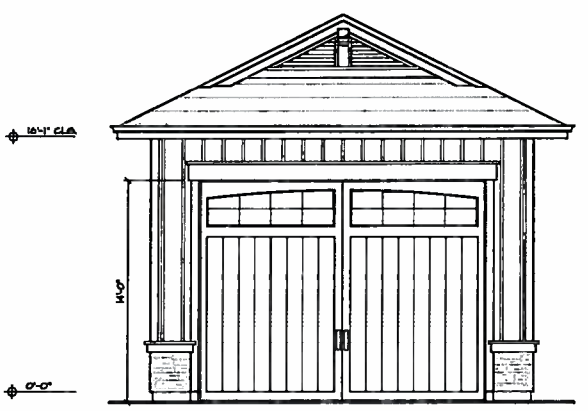
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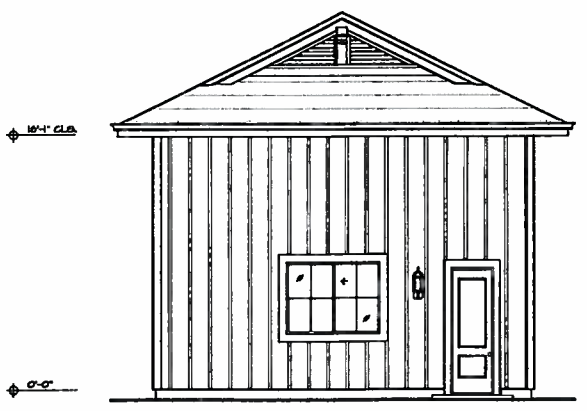
FRONT SIDE ELEVATION 1/4" = 1'-0"



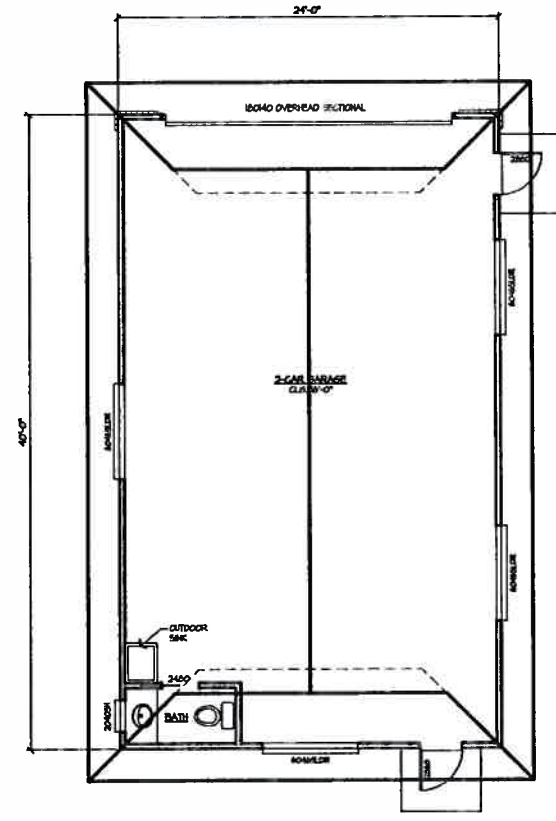
REAR SIDE ELEVATION 1/4" = 1'-0"



RIGHT SIDE ELEVATION 1/4" = 1'-0"



LEFT SIDE ELEVATION 1/4" = 1'-0"



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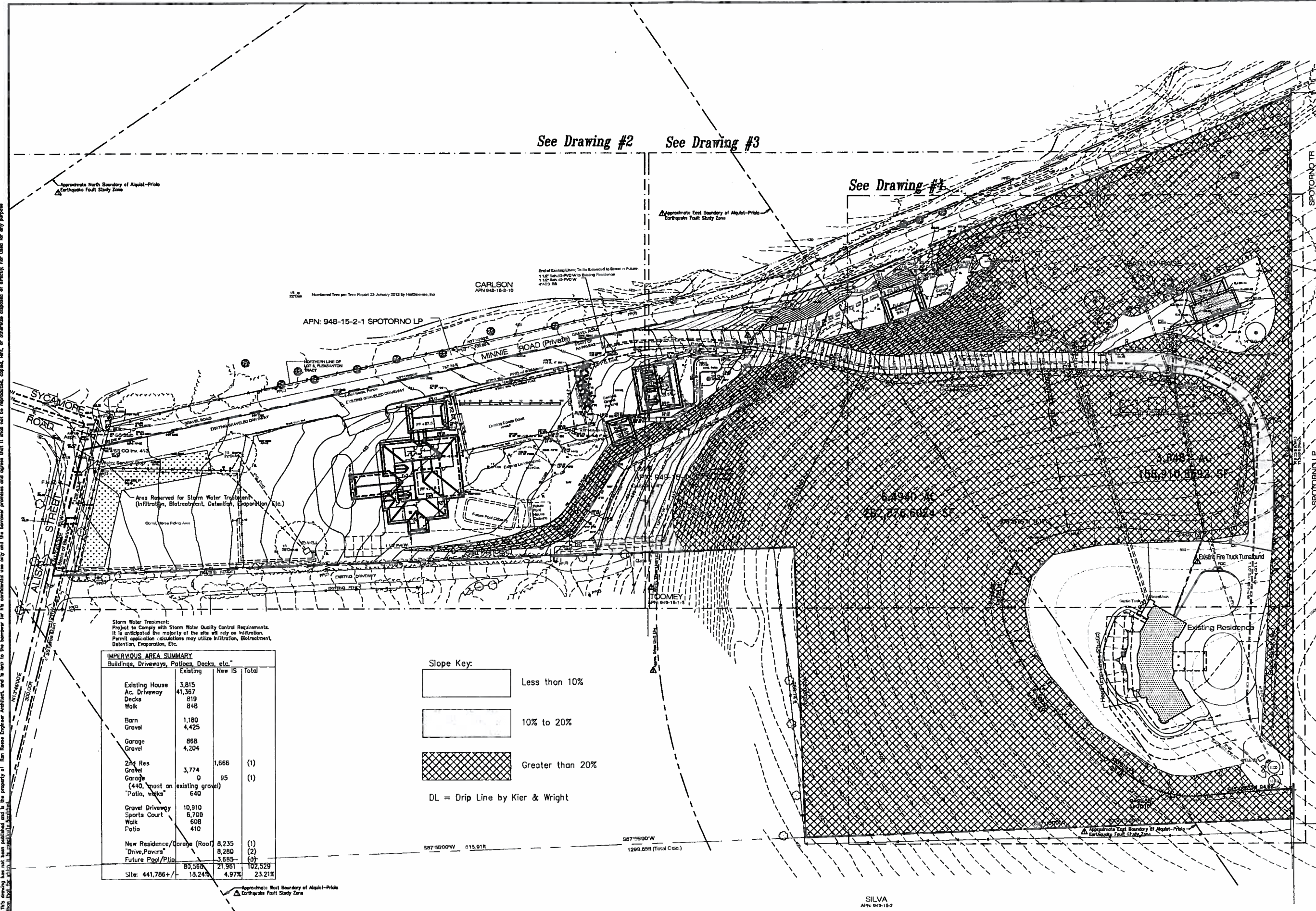
Design+Tech Associates
 Professional design services
 1857 S. Red Wood
 DES 925 3338 FAX 925 3339
 License No. 216550

OWNER:
Sherman & Cheryl Balch
 PROJECT LOCATION:
Sherman & Cheryl Balch
 6010 Aliso Street
 Pleasanton, CA. 94566

DRAWING TITLE:
(2-Car Garage)
Elevations, Floor Plans

DRAWN	JOB
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DATE	
SCALE	
JOB NO.	Balch
SHEET	
G3	
OF	SHEETS

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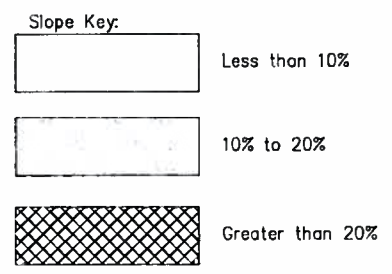
See Drawing #2

See Drawing #3

See Drawing #4

Storm Water Treatment:
Project to Comply with Storm Water Quality Control Requirements.
It is anticipated the majority of the site will rely on infiltration.
Permit application considerations may utilize Infiltration, Bioretention,
Detention, Evaporation, Etc.

IMPERVIOUS AREA SUMMARY			
Buildings, Driveways, Patios, Decks, etc.			
	Existing	New IS	Total
Existing House	3,815		
Ac. Driveway	41,367		
Decks	819		
Walk	848		
Barn	1,180		
Gravel	4,425		
Garage	868		
Gravel	4,204		
2nd Res		1,666	(1)
Gravel	3,774		
Garage	0	95	(1)
(440' most on existing gravel)			
"Patio, decks"	640		
Gravel Driveway	10,910		
Sports Court	6,700		
Walk	608		
Patio	410		
New Residence/Garage (Roof)	8,235		(1)
Drive/Pavers	8,280		(2)
Future Pool/Patio	3,685		(3)
	80,566	21,961	102,529
Site: 441,786 +/-	18.24%	4.97%	23.21%



REVISIONS	BY
Plan Ck.	RR
18 May 2012	



Ron Reese
Engineer-Architect
Office: 20200 Heather Ave., 310/429-8400
Hayward, California 94541 Fax: 310/429-8968
Residence: 2201 W. Main Lane, 927/234-2774
Longwood, California 94040

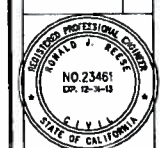
Sherman D. & Cheryl Balch Residence
6010 Alisal Street, Pleasanton, Ca. 94566
A.P.N. 949-15-1-2

Date: 4 Feb. 2012
Scale: 1"=40'-0"
Drawn: Reese
Job: 508 Res.
Sheet: 1
of 1
Sheets

Urban Boundary, Alquist Zone Added

Approximate North Boundary of Alquist-Priolo Earthquake Fault Study Zone

REVISIONS	BY
Plan Ck. 18 May 2012	RR



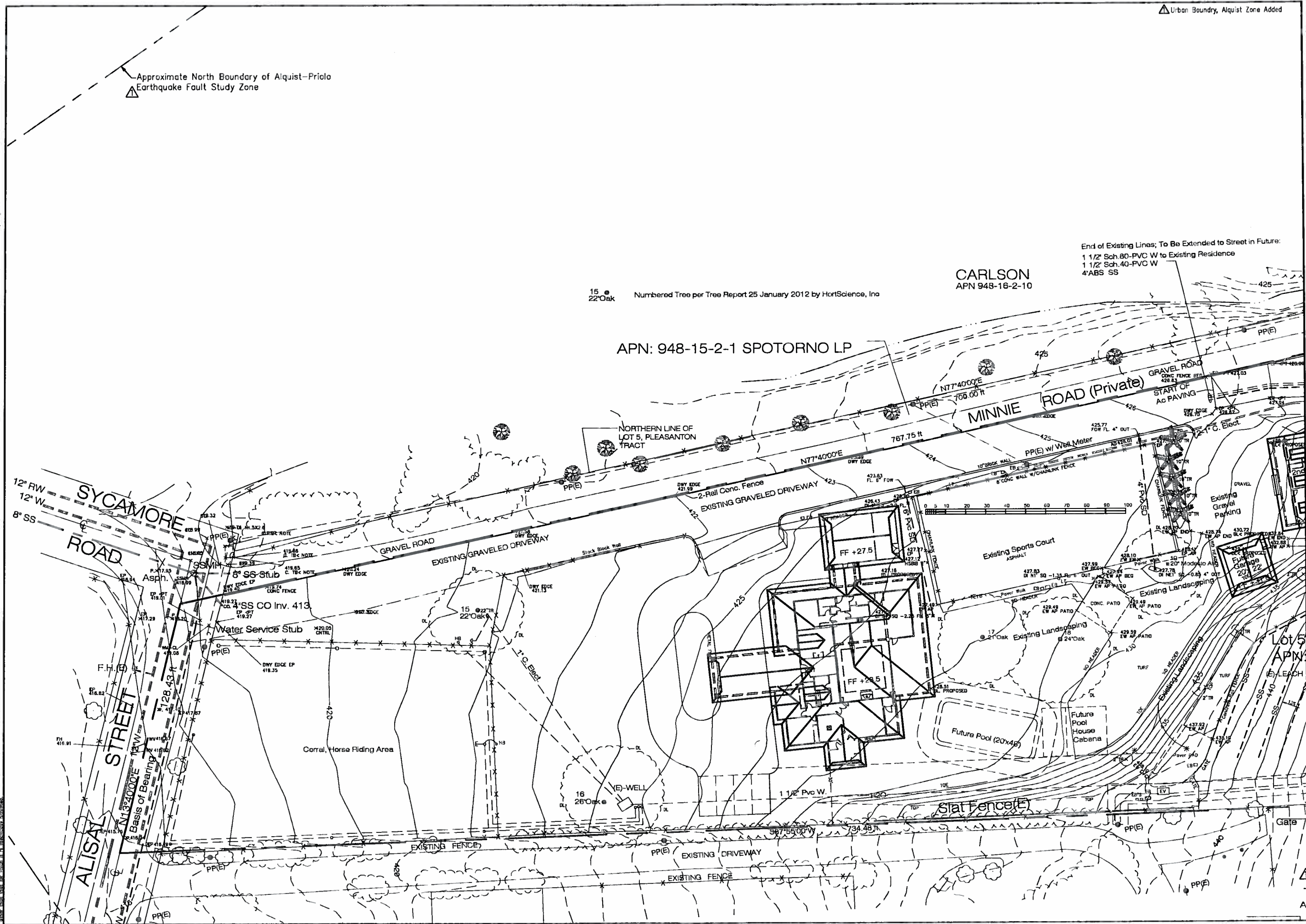
Ron Reese
 Engineer-Architect
 Office: 30960 Northwood Avenue
 Hayward, California 94544
 Residence: 3330 Main Lane
 Lafayette, California 94590
 Tel: 510/425-4600
 Fax: 510/425-4606
 Cell: 925/284-2774

End of Existing Lines; To Be Extended to Street in Future:
 1 1/2" Sch. 80-PVC W to Existing Residence
 1 1/2" Sch. 40-PVC W
 4" ABS SS

15 ● 22"Oak Numbered Tree per Tree Report 25 January 2012 by HortScience, Inc

CARLSON
 APN 948-16-2-10

APN: 948-15-2-1 SPOTORNO LP



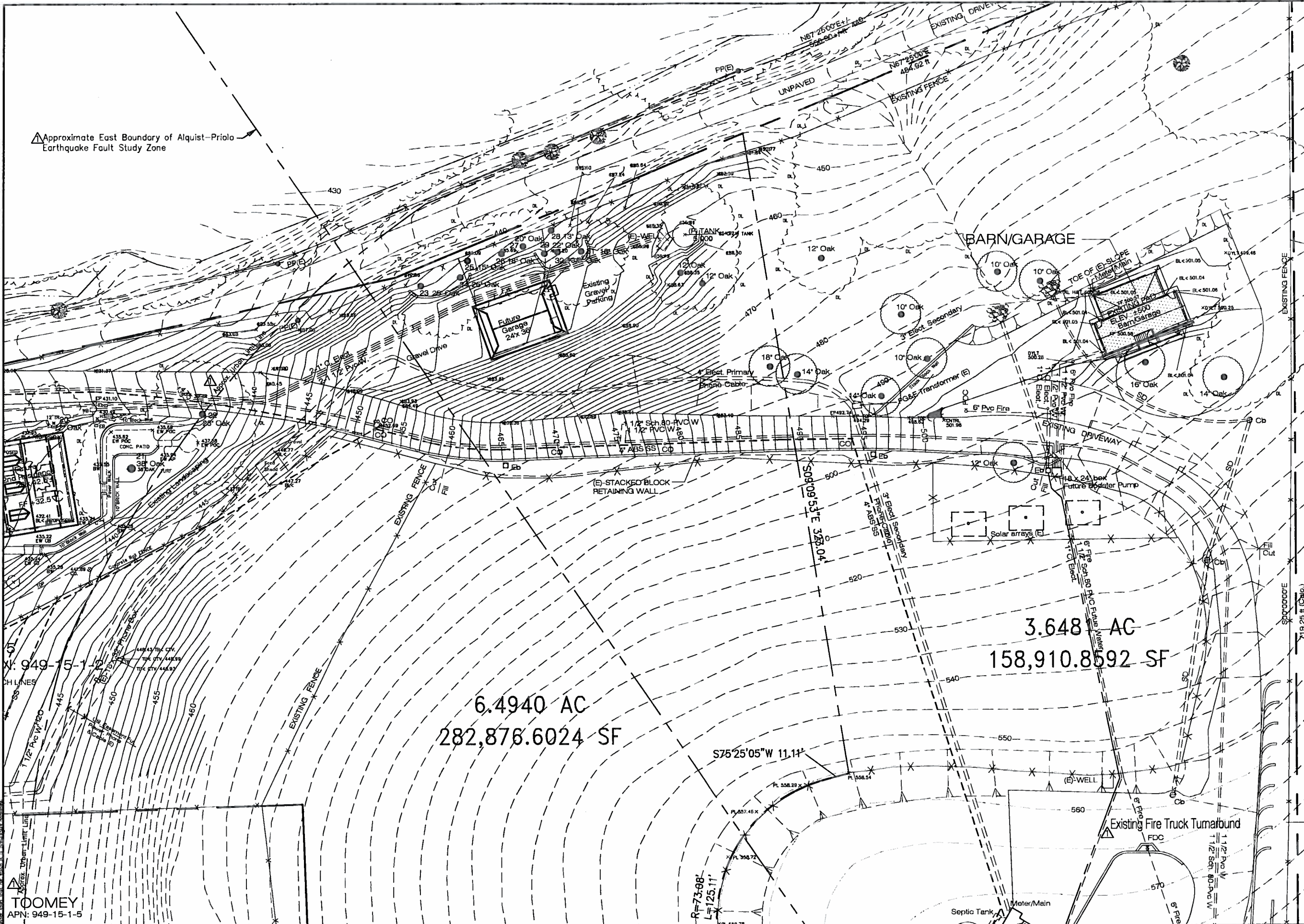
Sherman D. & Cheryl Balch Residence
 6010 Alisal Street, Pleasanton, Ca. 94566
 A.P.N. 949-15-1-2

Date: 4 Feb. 2012
Scale: 1"=20'-0"
Drawn: Reese
Job: SOB Res.
Sheet 2 of 2 Sheets

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△ Approximate East Boundary of Alquist-Priolo Earthquake Fault Study Zone

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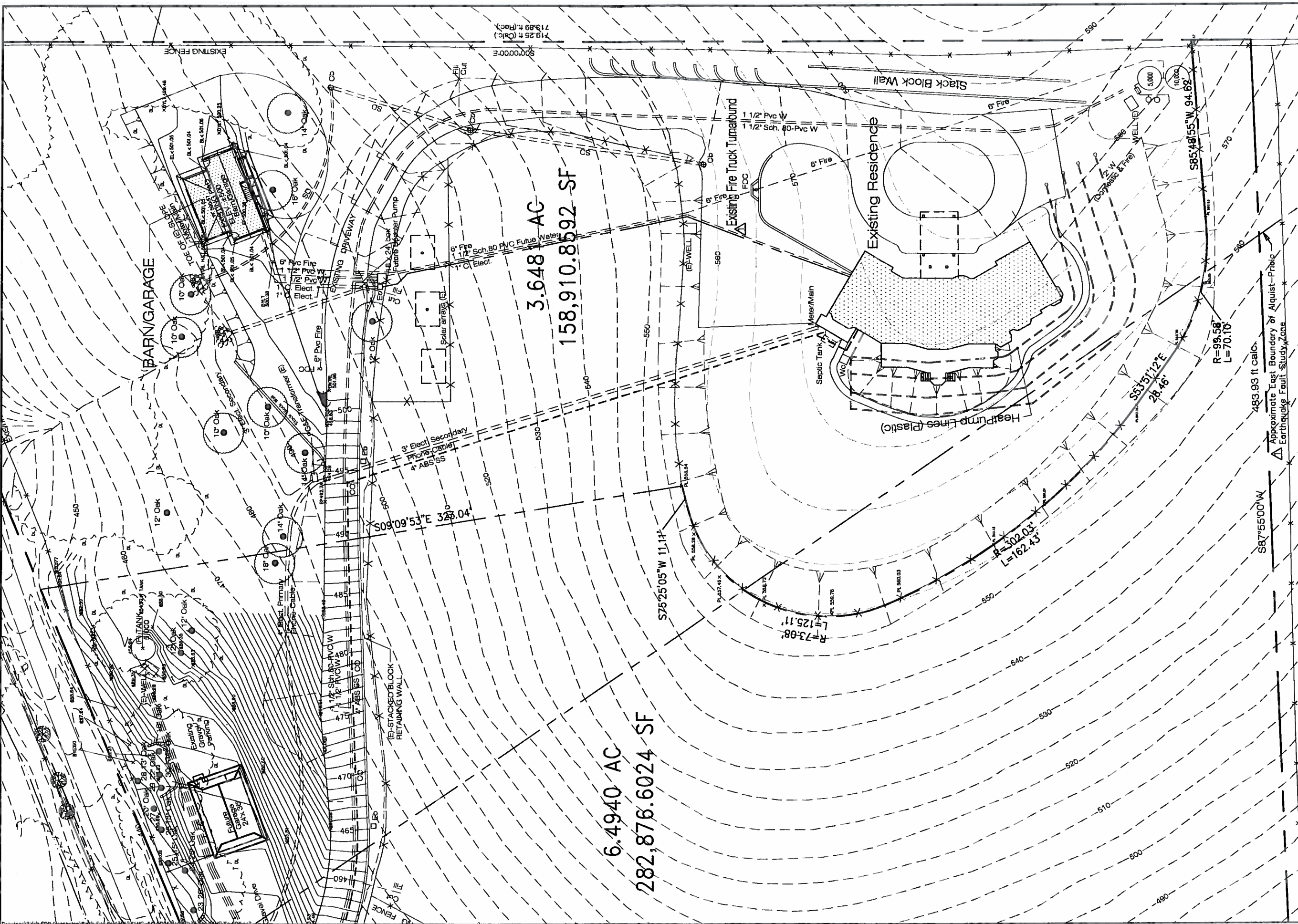
6.4940 AC
282,876.6024 SF

3.6481 AC
158,910.8592 SF

TOOMEY
APN: 949-15-1-5

REVISIONS		BY
△	Plan Ck.	RR
18 May 2012		
Ron Reese Engineer-Architect Office: 3000 Redwood Avenue Redwood, California 94064 Residence: 3300 Main Lane Lafayette, California 94509		
Sherman D. & Cheryl Balch Residence 6010 Alisal Street, Pleasanton, Ca. 94566 A.P.N. 949-15-1-2		
Date: 4 Feb. 2012		
Scale: 1"=20'-0"		
Drawn: Reese		
Job: S08 Res.		
Sheet	△	
3	of Sheets	

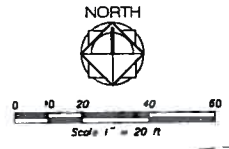
NOTE: This drawing has not been published and is the property of Ron Reese Engineer/Architect, and is loaned to the borrower for the confidential use only and the borrower promises and agrees that it shall not be reproduced, copied, lent, or otherwise disposed of directly, nor used for any purpose other than that for which it is intended.



<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td>1</td> <td>Plan Ck.</td> <td>18 May 2012</td> <td>RR</td> </tr> </table>		NO.	DESCRIPTION	DATE	BY	1	Plan Ck.	18 May 2012	RR
NO.	DESCRIPTION	DATE	BY						
1	Plan Ck.	18 May 2012	RR						
<p>Professional Seal</p> <p>RON REESE ENGINEER-ARCHITECT No. 23461 State of California Office: 32000 Redwood Ave., Hayward, California 94544 Telephone: 510/439-9400 Fax: 510/439-9565 Residence: 3300 Redwood Lane, Ukiah, California 94503 Telephone: 709/294-0774</p>									
<p>Project Information</p> <p>Sherman D. & Cheryl Balch Residence B 6010 Alisal Street, Pleasanton, Ca. 94566 A.P.N. 949-15-1-2</p>									
<p>Date: Feb. 2012 Scale: 1"=20'-0" Drawn: Reese Job: SOB Res. Sheet: 4 of 4</p>									

LEGEND

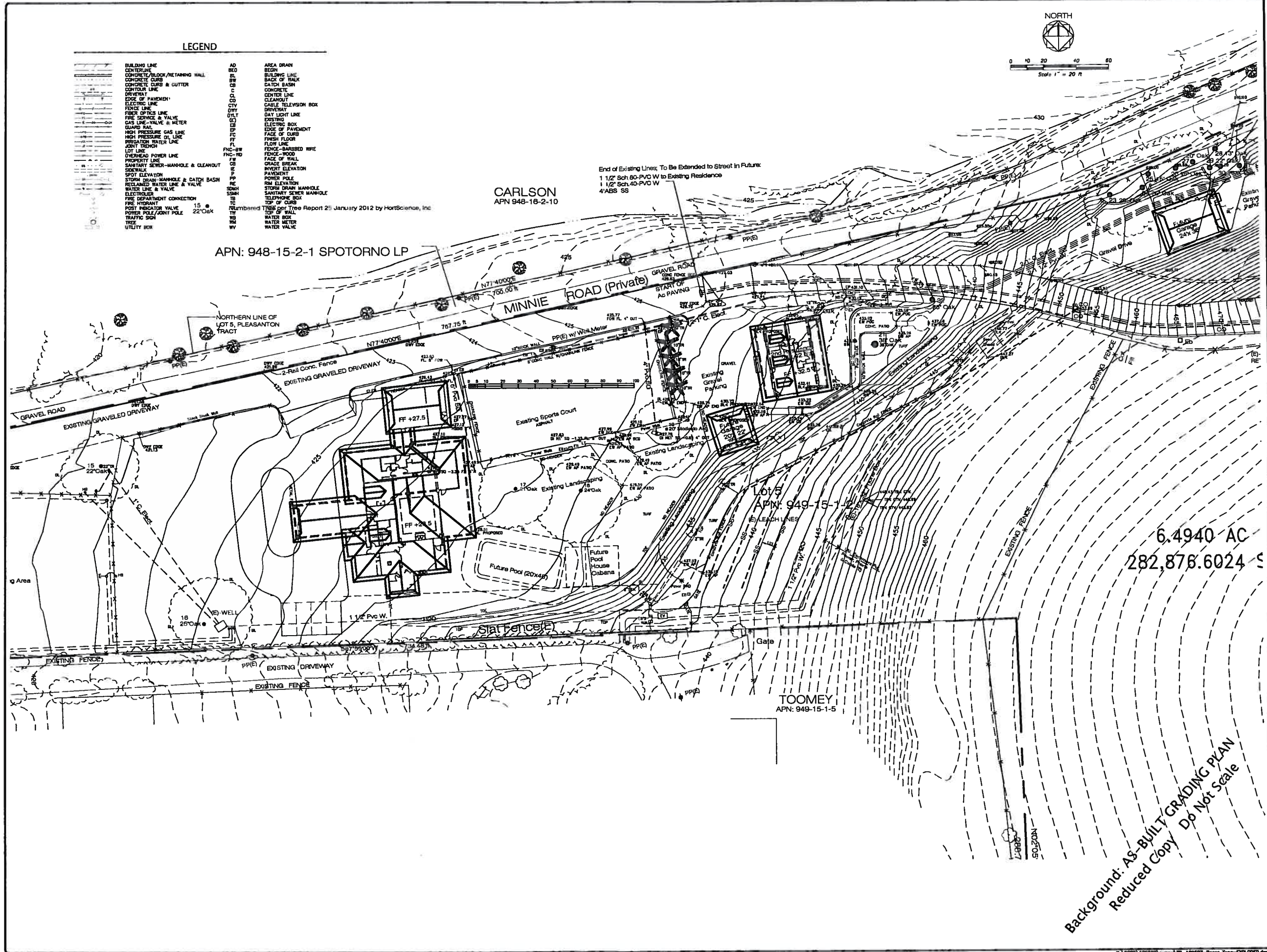
BUILDING LINE	AD	AREA DRAIN
CENTERLINE	BD	BEAM
CONCRETE/BLOCK/RETAINING WALL	BL	BUILDING LINE
CONCRETE CURB	BR	BACK OF WALK
CONCRETE CURB & GUTTER	CB	CATCH BASIN
CONTOUR LINE	C	CONCRETE
DRIVEWAY	CL	CENTER LINE
EDGE OF PAVEMENT	CD	CLEANOUT
ELECTRIC LINE	CTV	CABLE TELEVISION BOX
FENCE LINE	DWY	DRIVEWAY
FIBER OPTICS LINE	DYLT	DAY LIGHT LINE
GAS LINE-VALVE & METER	EB	ELECTRIC BOX
GUARD RAIL	EP	EDGE OF PAVEMENT
HIGH PRESSURE GAS LINE	FE	FACE OF CURB
HIGH PRESSURE OIL LINE	FF	FRESH FLOOR
IRRIGATION WATER LINE	FL	FLOW LINE
JOINT TRENCH	FNC-BW	FENCE-BARRIRED WIRE
LOT LINE	FNC-WD	FENCE-WOOD
OVERHEAD POWER LINE	GE	GRADE BREAK
PROPERTY LINE	IE	INVERT ELEVATION
SANITARY SEWER-MANHOLE & CLEANOUT	P	PAVEMENT
SIDEWALK	PP	POWER POLE
SPOT ELEVATION	RM	RM ELEVATION
STORM DRAIN-MANHOLE & CATCH BASIN	SDMH	STORM DRAIN MANHOLE
RECLAIMED WATER LINE & VALVE	SSMH	SANITARY SEWER MANHOLE
WATER LINE & VALVE	TB	TELEPHONE BOX
ELECTRIFIER	TR	TRENCH
FIRE DEPARTMENT CONNECTION	TRM	TREES (see Tree Report 25 January 2012 by HortScience, Inc)
FIRE HYDRANT	15	TOP OF CURB
POST INDICATOR VALVE	22	TOP OF WALL
POWER POLE/JOINT POLE	22	WATER BOX
TRAFFIC SIGN	TR	WATER METER
TREE	TR	WATER VALVE
UTILITY BOX	UV	



CARLSON
APN 948-16-2-10

APN: 948-15-2-1 SPOTORNO LP

End of Existing Lines: To Be Extended to Street in Future:
1 1/2" Sch 80-PVC W to Existing Residence
1 1/2" Sch 40-PVC W
4" ABS SS



6.4940 AC
282,876.6024 S

Background: AS-BUILT GRADING PLAN
Reduced Copy Do Not Scale

DATE	JULY, 2009
SCALE	1"=20'
SURVEYOR	KJM
JOB NO.	AD9507
SHEET	C1
OF	SHEETS

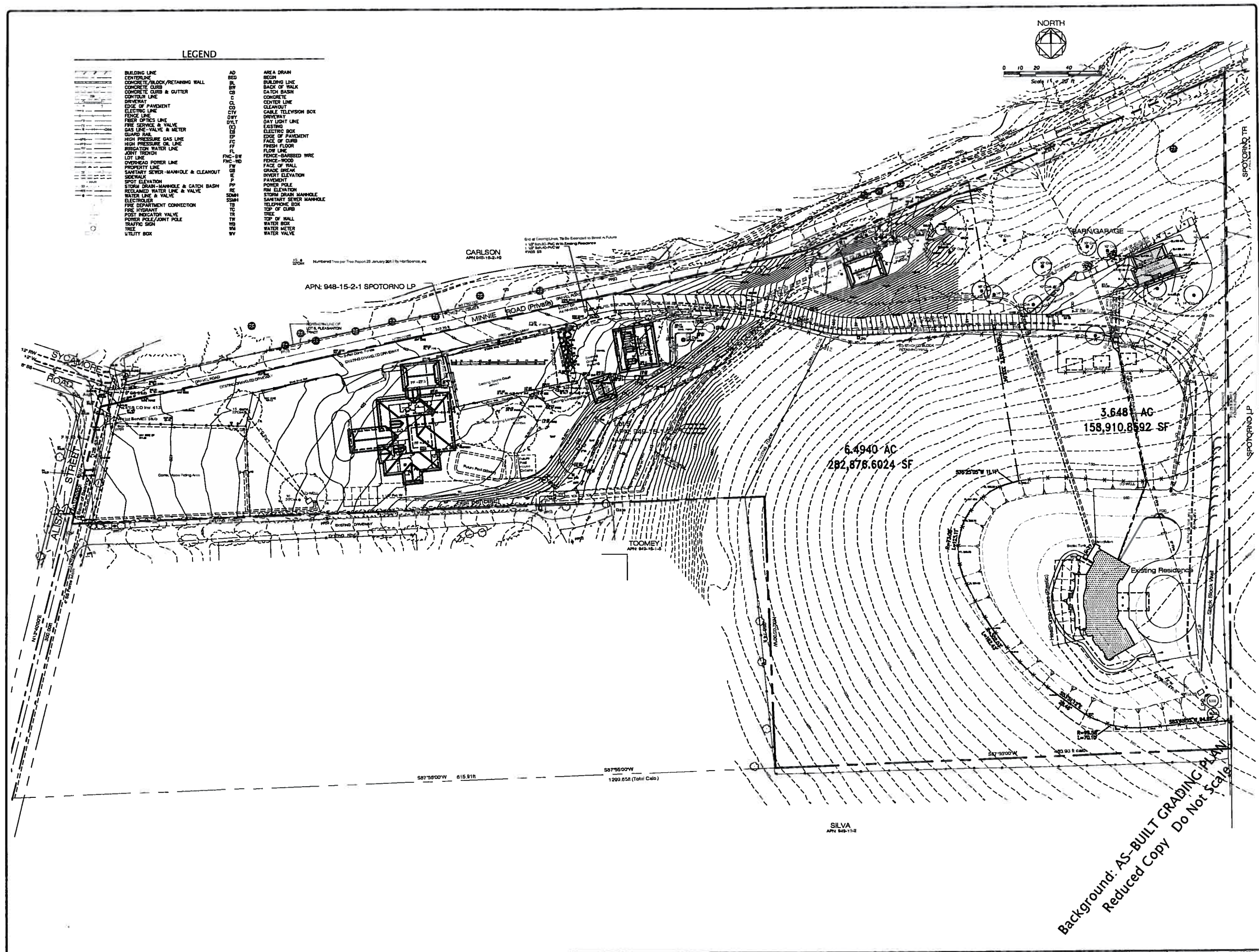
AS-BUILT GRADING PLAN
OF
6010 ALUSAL STREET
FOR
GRADING PERMIT NO. C07-800012

PLEASANTON, CALIFORNIA

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
1100 ALUSAL STREET
PLEASANTON, CALIFORNIA 94566
Phone: (925) 242-4655
Fax: (925) 242-4655

LEGEND

BUILDING LINE	AD	AREA DRAIN
CENTERLINE	BE	BEGM
CONCRETE BLOCK/RETAINING WALL	BL	BUILDING LINE
CONCRETE CURB	BF	BACK OF YALK
CONCRETE CURB & CUTTER	CB	CATCH BASIN
CONTOUR LINE	C	CONCRETE
DRIVEWAY	CD	CENTER LINE
EDGE OF PAVEMENT	CE	CLEANOUT
ELECTRIC LINE	CE	CABLE TELEVISION BOX
FENCE LINE	CF	DRIVEWAY
FRESH DITCHES LINE	CF	DAY LIGHT LINE
FIRE SERVICE & VALVE	CF	EASTING
GAS LINE-VALVE & METER	CF	ELECTRIC BOX
GUARD RAIL	CF	EDGE OF PAVEMENT
HIGH PRESSURE GAS LINE	CF	FACE OF CURB
HIGH PRESSURE OIL LINE	CF	FRESH FLOOR
IRRIGATION WATER LINE	CF	FLOW LINE
JOINT TRENCH	CF	FENCE-BARBED WIRE
LOT LINE	FNC-BW	FENCE-WOOD
OVERHEAD POWER LINE	FNC-ND	FACE OF WALL
PROPERTY LINE	FW	GRADE BREAK
SANITARY SEWER-MANHOLE & CLEANOUT	GE	INVERT ELEVATION
SEWER	GE	PAVEMENT
SPOT ELEVATION	P	POWER POLE
STORM DRAIN-MANHOLE & CATCH BASIN	PP	RM ELEVATION
RECLAIMED WATER LINE & VALVE	RE	STORM DRAIN MANHOLE
WATER LINE & VALVE	SDMH	SANITARY SEWER MANHOLE
ELECTRIC	SDMH	
FIRE DEPARTMENT CONNECTION	TD	
FIRE HYDRANT	TC	
POST INDICATOR VALVE	TR	
POWER POLE/JOINT POLE	TR	
TRAFFIC SIGN	WB	
TREE	WW	
UTILITY BOX	WV	



NO.	DATE	BY	REVISION

KIER & WRIGHT
 CIVIL ENGINEERS & SURVEYORS, INC.
 7231 Quince Orchard Rd.
 Gaithersburg, California 94456
 Phone: (301) 278-8553
 Fax: (301) 278-8553



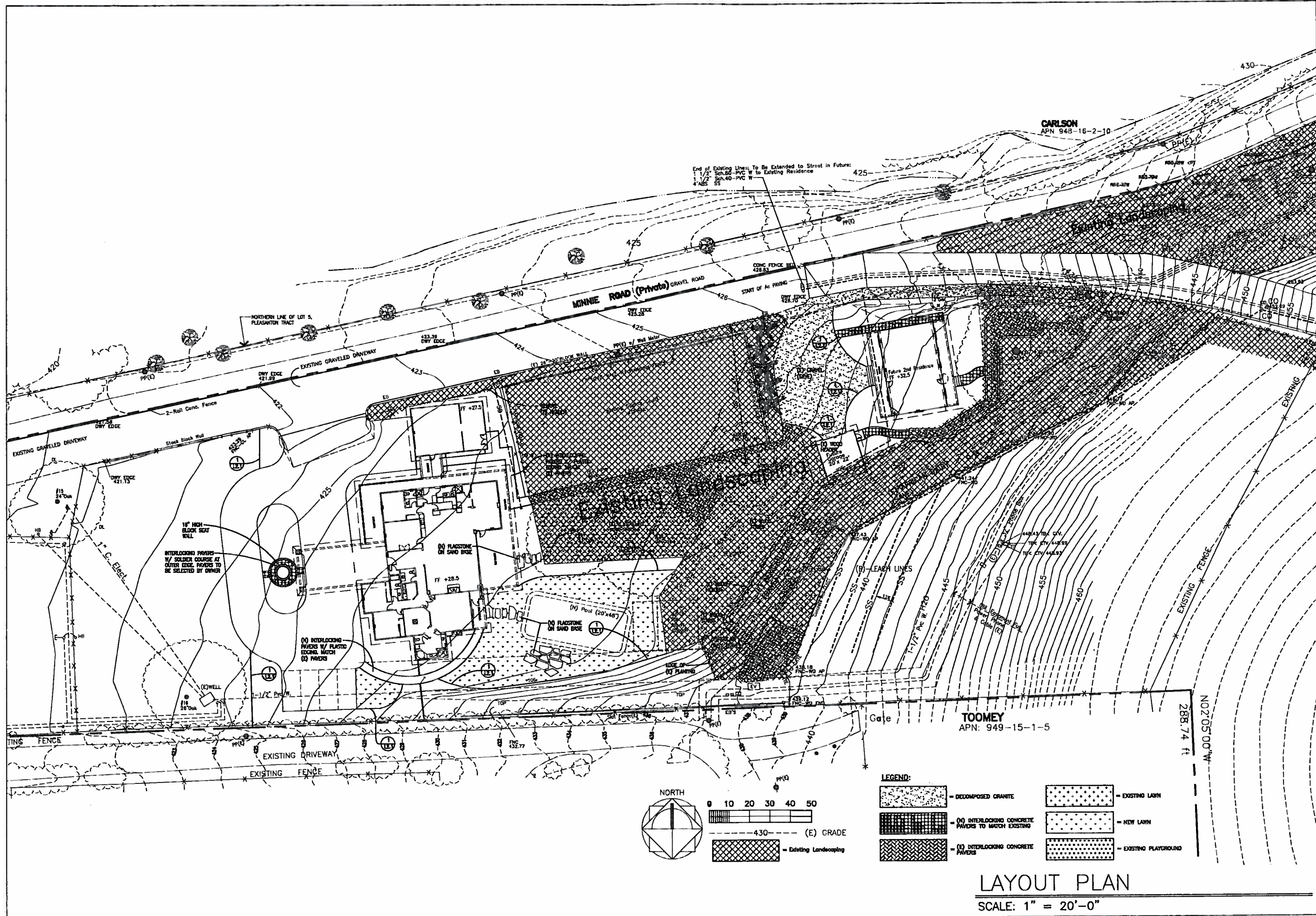
CALIFORNIA

AS-BUILT GRADING PLAN
 OF
 6010 ALISAL STREET
 FOR
 GRADING PERMIT No. G07-800012

PLEASANTON, CALIFORNIA

DATE	JULY, 2009
SCALE	1"=20'
SURVEYOR	KJM
JOB NO.	A09507
SHEET	C2
OF	1 SHEETS

Background: AS-BUILT GRADING PLAN
 Reduced Copy Do Not Scale



REVISIONS	BY
	<p style="font-size: 8px; margin: 0;">KIRK MORTON REGISTERED PROFESSIONAL ENGINEER STATE OF CALIFORNIA No. 4110 Exp. 12/31/14</p>
<p style="font-size: 24px; margin: 0;">LAYOUT PLAN</p>	<p style="font-size: 12px; margin: 0;">THE BALCH RESIDENCE 610 ALSAL STREET PLEASANTON, CA 94566</p>
Date: 2/28/12	
Scale: 1" = 20'-0"	
Drawn: KM	
Job:	
Sheet: L-1	
Of Sheets	

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.*	SIZE	H2O USE
BET JAC	BETULA JACQUELIMONTI	BIRCH	3	24 box	MOD
MAG SAM	MAGNOLIA SAMUALI SUMMER	SAMUALI SUMMER MAGNOLIA	0	24 box	MOD
OLE ESH	OLEA EUROPEA 'SIAM HILL' (MULTI TRUNK)	MULTI-TRUNK FRUITLESS OLIVE	0	24 box	VLW
PIR KAW	PIRUS KAWAKAWA	EVERGREEN PEAR	2	24 box	MOD
SCH MOL	SCHNUS MOLLIS	CALIFORNIA PEPPER TREE	3	24 box	LOW
SEM SEM	SEMOIDA SEMPERVIRENS	COAST REDWOOD	8	24 box	MOD
TUC GLD	YUCCA GLORIOSA	SPANISH BAZZAR	0	24 box	LOW

*PLANT QUANTITIES ARE APPROXIMATE. SEE PLAN FOR ACTUAL COUNTS

GROUND COVER KEY

- (A) ANTENNARIA CORDELLA - "RED APPLE" CUTTINGS FROM FLATS @ 12" CTRS. H2O USE: LOW
- (B) ALUCA REPTANS - "JUNGLE BRONZE" ROOTED CUTTINGS FROM FLATS @ 8" CTRS. H2O USE: MOD
- (C) ARCTOSTAPHYLOS 'EMERALD CARPET' 1 GALLON POTS @ 30" CTRS. H2O USE: LOW
- (D) OSTEOSPERMUM FRUTICOSUM - TRAILING AFRICAN DAISY CUTTINGS FROM FLATS @ 24" CTRS. H2O USE: LOW
- (E) (N) PACIFIC SOO - MEDALLION PLUS 36% CORDONADO TALL FESCUE 36% MATADOR TALL FESCUE 18% SILVERSTAR TALL FESCUE 10.0% SERENO KENTUCKY BLUEGRASS H2O USE: MOD
- (F) ANNUAL COLOR - PER SEASON/PER EXPOSURE 4" POTS @ 8" CTRS. H2O USE: HIGH
- (G) GAZANIA - MITSUNA YELLOW ROOTED CUTTINGS FROM FLATS @ 8" CTRS. H2O USE: LOW
- (H) (E) LAWN

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.*	SIZE	H2O USE
AGA PP	AGAPANTHUS 'PETER PAN'	DWARF LILY OF THE LILIE	17	1gal	LOW
ARS UC	ARISTOLIA UNEDA 'COMPACTA'	DWARF STRAWBERRY SHRUB	6	5gal	LOW
ARC HM	ARCTOSTAPHYLOS 'HURON MCMINN'	HURON MCMINN MANZANITA	20	5gal	LOW
BUX KOR	BUXUS KOREANA	KOREAN BOXWOOD	20	5gal	MOD
CHA HUM	CHAMEROPS HUMULIS	MEDITERRANEAN FAN PALM	5	5gal	LOW
EUR VTS	EURTOPIS VIRIDIS 'TREE STD.'	GREEN LEAF EURTOPIS (TREE STD.)	1	5gal	LOW
EUR VR	EURTOPIS VIRIDIS	GREEN LEAF EURTOPIS	7	5gal	LOW
GRE CAP	GREVILIA CAFFRA (ON NURSERY TRELLIS)	LAVENDER STARFLOWER	0	5gal	MOD
LAV ANG	LAVANDULA ANGUSTIFOLIA	LAVENDER	5	1gal	LOW
LIS TEX	LIGULSTRUM TEXANUM	TEXAS PRYET	83	5gal	MOD
MAH LOW	MAHONIA LINDARIFOLIA	CHINESE HOLLY GRAPPE	2	5gal	MOD
MOR BIG	MORAEA BIGLOWII	YELLOW FORTNIGHT LILY	8	5gal	LOW
NAM OS	NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO	10	5gal	LOW
PHO TY	PHORMIUM TENAX 'TOM THUMB'	DWARF VAREGATED NEW ZEALAND FLAX	14	5gal	LOW
PHO WY	PHORMIUM HYBRID 'YELLOW WAVE'	YELLOW WAVE NEW ZEALAND FLAX	12	5gal	LOW
PIN MUG	PINUS MUGO MUGO	MUGHO PINE	7	5gal	LOW
PIT TY	PITIOSPORUM TOBIANA 'VAREGATA'	VAREGATED MOCK ORANGE	9	5gal	LOW
POB HEH	POTODAPHNE 'YENRELI'	LONG-LEAVED YELLOW-WOOD	9	5gal	MOD
ROS CAR	ROSE CARPET	CARPET ROSE	24	2gal	LOW
TRJ DAN	THUJA ORIENTALIS 'AUREA NANA'	DWARF GOLDEN ARBORVITAE	18	5gal	MOD

*PLANT QUANTITIES ARE APPROXIMATE. SEE PLAN FOR ACTUAL COUNTS

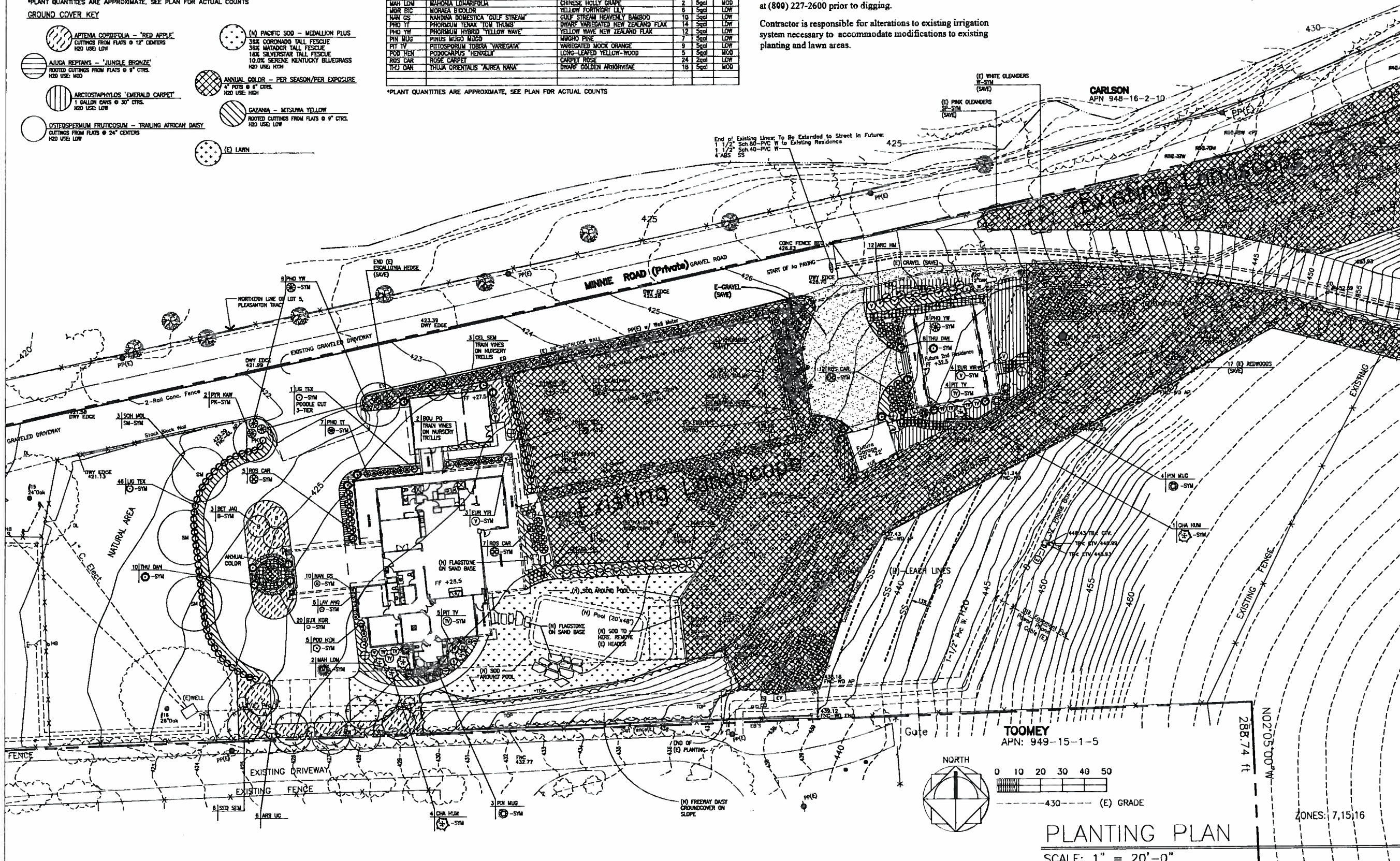
ABBR.	BOTANICAL NAME	COMMON NAME	QTY.*	SIZE	H2O USE
BOU PQ	BOUGAINVILLEA 'MONETH'	PURPLE QUEEN BOUGAINVILLEA	2	5gal	MOD
DIS BUC	DISTICHTIS BUCINATORIA	BLOOD RED TRUMPET VINE	0	5gal	MOD
ERI DEF	ERIOBOTRYA DEPLENZA (ON NURSERY TRELLIS)	BRONZE LOGANET	0	5gal	MOD
GEL SEM	GELSEMIUM SEMPERVIRENS	CHINESE JESSAMINE	3	5gal	MOD
WIS SM	WISTERIA CHINENSIS (ON NURSERY TRELLIS)	2 PURPLE @ CORNERS	0	5gal	MOD

Contractor is responsible for notifying Underground Service Alert at (800) 227-2600 prior to digging.

Contractor is responsible for alterations to existing irrigation system necessary to accommodate modifications to existing planting and lawn areas.

PALM TREE PLANTING SPECIFICATIONS

1. PLANTING HOLES SHOULD BE 50% LARGER THAN THE ROOT BALL SIZE.
2. RECOMMENDED BACKFILL IS 100% WASHED RIVER SAND.
3. FIRM TAMPING OF SAND AFTER WATERING BACKFILL IS RECOMMENDED. PALM ROOT BALL TOP SHOULD BE ABOVE THE ESTABLISHED GRADE OF SURROUNDING SOIL.
4. LEAVE PALM FRONDS TIED IF SHIPPED FROM THE FIELD, FOR 45-60 DAYS. DO NOT TRIM THE FRONDS FOR 30 DAYS AFTER UNTYING THEM.
5. FEED WITH A LIGHT APPLICATION OF SLOW RELEASE FERTILIZER APPLIED IN A BAND AROUND ROOT BALL. AS NEW GROWTH APPEARS, FERTILIZE WITH A REGULAR FEEDING PROGRAM (3 TIMES A YEAR).



REVISIONS	BY

PLANTING PLAN

THE BALCH RESIDENCE
610 ALisal STREET
PLEASANTON, CA 94566

Date: 2/28/12
Scale: 1" = 20'-0"
Drawn: KM
Job:
Sheet: **L-2**
Of: 2 Sheets

KIRK MORTON
LANDSCAPE ARCHITECT
37337 ACES BLVD.
PLEASANTON, CA 94566
PH: (916) 792-9183
FAX: (916) 792-9184

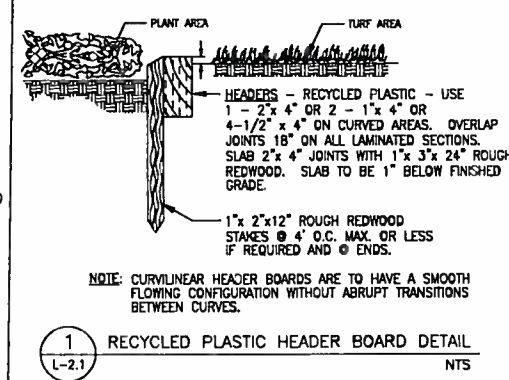
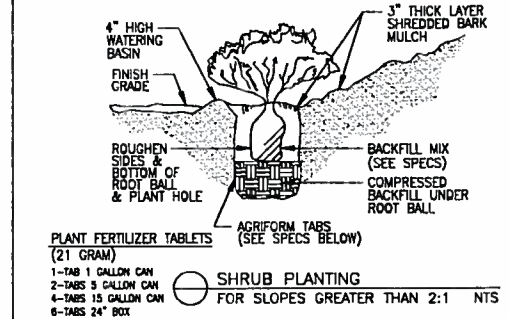
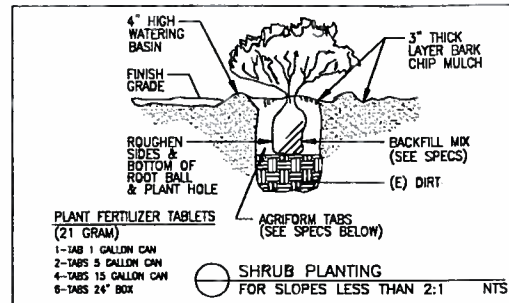
KIRK MORTON
No. 4110
No. 00/00/13
STATE OF CALIFORNIA
LANDSCAPE ARCHITECT

GENERAL NOTES - 90 DAY MAINTENANCE

- 1) TOPSOIL TO BE SCARIFIED TO A DEPTH OF 8" (INCHES).
- 2) INCORPORATE SOIL AMENDMENTS (COMPOST) THOROUGHLY INTO TOPSOIL (MIN. 8" DEEP.) RECYCLED COMPOST 3"-5" DEEP : 9 CU. YDS. MIN. PER 1,000 SQ. FT.
- 3) RAKE, BREAK UP CLODS AND FINE GRADE TO PROVIDE UNIFORM SMOOTHNESS AND POSITIVE SURFACE DRAINAGE. FINISHED GRADE 1" BELOW TOP-OF-CURB, PAVE, ETC.
- 4) TREE AND SHRUB PITS: 12" WIDER AND 6" DEEPER THAN ROOT BALL. BACKFILL: 70% NATIVE SOIL MIXED WITH 30% SOIL AMENDMENT MIX. SOIL AMENDMENT MIX PER SPECIFICATION. SEE NOTE #2 ABOVE.
- 5) DOUBLE STAKE TREES: 2 - 3" x 10' LONG TREATED LODGEPOLE PINE TREE STAKES (2-PER-TREE). SECURE WITH RUBBER TREE TIES (4 PER TREE.) SECURE TO STAKE WITH GALVANIZED SCREWS TO PREVENT SLIPPAGE. USE STRAIGHT GROWTH TREE TIES 20" LENGTH OR APPROVED EQUAL. (SEE DETAIL SH.L-2.1)
- 6) FORM WATER BASINS AROUND TREES AND SHRUBS (SEE DETAIL SH.L-2.1.)
- 7) PLACE A 3" LAYER OF SHREDDED (WALK-ON) BARK MULCH ON ALL NON-SODDED PLANTING AREAS. "GORILLA HAIR", PAINTED, OR DYED BARK IS NOT ACCEPTABLE. THE SOIL IN ALL PLANTING AREAS SHALL BE AMENDED WITH A 2" LAYER OF APPROVED COMPOST.
- 8) MAINTENANCE 90 DAYS AFTER FINAL ACCEPTANCE BY OWNER/REPRESENTATIVE.
- 9) PLANT AND PLANTING GUARANTEE: GROUNDCOVER: ONE (1) YEAR. SHRUBS: ONE (1) YEAR. TREES: ONE (1) YEAR.
- 10) ALL PLANTED AREAS SHALL BE KEPT WEED-FREE DURING 90 DAY MAINTENANCE PERIOD.
- 11) ALL ANNUAL COLOR FLOWER BEDS SHALL HAVE THE TOP 8" (INCHES) OF SOIL REMOVED AND REPLACED WITH 50% SANDY LOAM MIX & 50% NATIVE SOIL, ROTOTILLED TOGETHER.
- 12) ALL ANNUAL COLOR AREAS SHALL BE REPLACED EVERY 90-100 DAYS.
- 13) HDR - DENOTES HEADER BOARD (SEE DETAIL SH.L-2.1.)
- 14) VISQUEEN, SHEET PLASTIC AND OTHER NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH.
- 15) NO PLANT SUBSTITUTIONS ALLOWED UNLESS AUTHORIZED BY LANDSCAPE DESIGNER.
- 16) ALIGN TREES WITH PAINTED PARKING STRIPES WHERE APPLICABLE.
- 17) LANDSCAPE CONTRACTOR TO NOTIFY LANDSCAPE DESIGNER ONE (1) WEEK PRIOR TO COMPLETION IN ORDER TO SCHEDULE LANDSCAPE AND IRRIGATION INSPECTION.
- 18) APPLY PRE-EMERGENT WEED KILLER PRIOR TO INSTALLATION OF PRO-CHIP RECYCLED MULCH IN ALL SHRUB AREAS. INSTALL IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND MANUFACTURERS INSTRUCTIONS.
- 19) ALL LAWN AREAS SHALL HAVE ROCKS 2" OR GREATER IN DIAMETER REMOVED.
- 20) ALL LAWN AREAS SHALL BE MOWED ONCE A WEEK DURING 90 DAY MAINTENANCE PERIOD.
- 21) ALL TREES PLANTED IN LAWN AREAS SHALL HAVE AN 18" DIAMETER AREA FREE OF LAWN AROUND TREE TRUNK.
- 22) ALL PODOCARPUS SHRUBS SHALL BE SINGLE STAKED WITH 1 - 2" LODGEPOLE PINE STAKE & 2 - RUBBER TREE TIES (SEE TREE STAKING DETAIL.)
- 23) (E) - DENOTES EXISTING.
- 24) (N) - DENOTES NEW.
- 25) (TYP) - DENOTES TYPICAL.
- 26) (D.S.) - DENOTES DIRECTION SIGN.

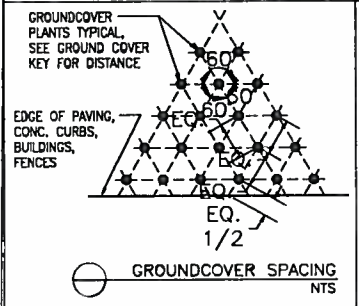
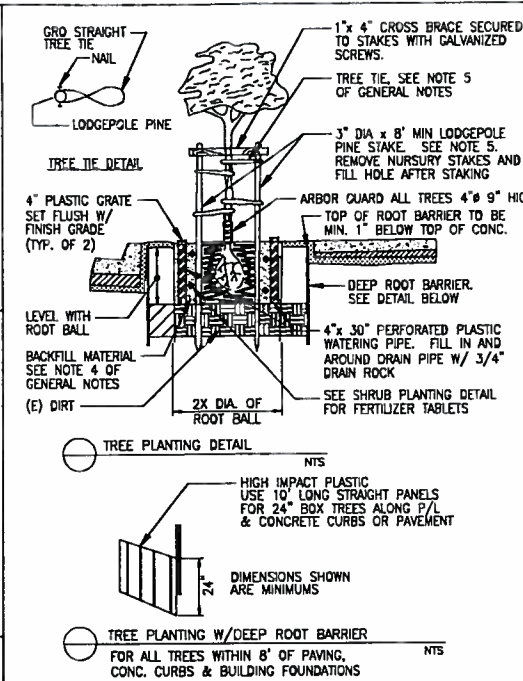
GENERAL LANDSCAPE MAINTENANCE

- 1) ALL LANDSCAPE AREAS SHALL BE KEPT WEED FREE BY EITHER HAND PULLING OR A COMBINATION OF POST EMERGENT & PRE EMERGENT HERBICIDES. POST EMERGENT - ROUND UP, PRE-EMERGENT - CHIPCO RONSTAR/SURFLAN, OR APPROVED EQUAL.
- 2) ALL LAWN AREAS SHALL BE MOWED ONCE A WEEK DURING GROWING SEASON.
- 3) FERTILIZING SHALL BE DONE AS FOLLOWS:
ALL PLANTING AREAS ONCE PER YEAR.
ALL LAWN AREAS TWICE PER YEAR.
- 4) AERATING AND DETHATCHING AS NECESSARY TO PROVIDE OPTIMUM GROWING ENVIRONMENT. MOW ALL LAWNS AT A MINIMUM 2" HEIGHT.
- 5) REPLACE ALL ANNUAL COLOR AREAS EVERY 90-120 DAYS AS NECESSARY. 4" POTS @ 6" ON-CENTER.
- 6) PRUNE ALL DECIDUOUS TREES AND SHRUBS DURING DORMANT SEASON. PRUNE AND THIN ALL EVERGREEN TREES AND SHRUBS DURING GROWING SEASON.
- 7) PRUNING AND THINNING OF TREES SHALL BE DONE BY CUTTING SELECTIVE BRANCHES AND NOT TOPPING OR SHEARING THE TREE.
- 8) KEEP GROUNDCOVER 6" AWAY FROM ALL SHRUBS AND TREE TRUNKS BY HAND PULLING OR APPLICATION OF ROUND-UP.
- 9) ALL HERBICIDES SHALL BE MIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND GUIDELINES.
- 10) ALL HERBICIDES SHALL BE APPLIED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
- 11) FERTILIZE IN FALL AND SPRING WITH A BALANCED FERTILIZER, SUCH AS 16-16-16 IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- 12) ALL TREES IN LAWN AREA SHALL HAVE AN 18" DIA. AREA FREE OF LAWN AROUND TREE TRUNKS. SPRAY POST EMERGENT HERBICIDE OR HAND PULL.



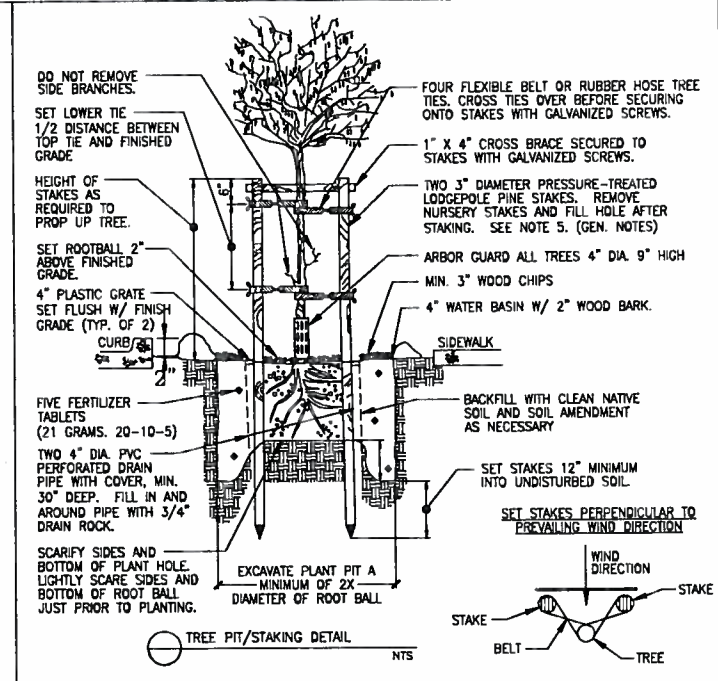
NOTES:

1. "ROOT CONTROL BARRIER, TYPICAL" WHERE TREE PLANTING IS WITHIN 8' OF PAVEMENT, CURB, OR BUILDING FOUNDATION.
2. INCORPORATE SOIL AMENDMENTS (COMPOST) THOROUGHLY INTO TOPSOIL (MIN. 8" DEEP.) RECYCLED COMPOST 3"-5" DEEP: 9 CU. YDS. MIN. PER 1,000 SQ. FT.
3. PLACE A 3" LAYER OF SHREDDED (WALK-ON) BARK MULCH ON ALL NON-SODDED PLANTING AREAS. "GORILLA HAIR", PAINTED, OR DYED BARK IS NOT ACCEPTABLE.
4. LANDSCAPING AND IRRIGATION PLANS SHALL COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE.



NOTES:

1. A COMPLETE AUTOMATIC SPRINKLER SYSTEM WITH AN AUTOMATIC ON/OFF MECHANISM SHALL BE INSTALLED AND MAINTAINED WITHIN ALL LANDSCAPE AREAS.
2. THIS SYSTEM SHALL UTILIZE A REDUCE PRESSURE BACKFLOW PREVENTER.
3. LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY, WEED-FREE CONDITION AT ALL TIMES. THE OWNER'S REPRESENTATIVE SHALL INSPECT THE LANDSCAPING ON A MONTHLY BASIS AND ANY DEAD OR DYING PLANTS (PLANTS THAT EXHIBIT OVER 30% DIE-BACK) SHALL BE REPLACED WITHIN TEN DAYS OF THE INSPECTION. TREES SHALL NOT BE SEVERELY PRUNED, TOPPED, OR POLLARDED. ANY TREES THAT ARE PRUNED IN THIS MANNER SHALL BE REPLACED WITH A TREE SPECIES SELECTED BY, AND SIZE DETERMINED BY THE CITY LANDSCAPE ARCHITECT, WITHIN THE TIME FRAME ESTABLISHED BY THE CITY AND PURSUANT TO MUNICIPAL CODE.



REVISIONS	BY

PLANTING DETAILS

THE BALCH RESIDENCE
610 ALISA STREET
PLEASANTON, CA 94566

Date: 2/28/12
Scale: NO SCALE
Drawn: KM
Sheet: L-2.1

PLANTING DETAILS
NOT TO SCALE