

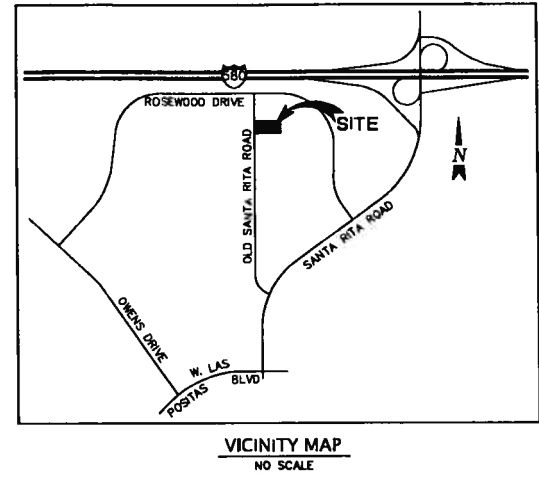
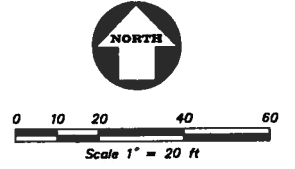
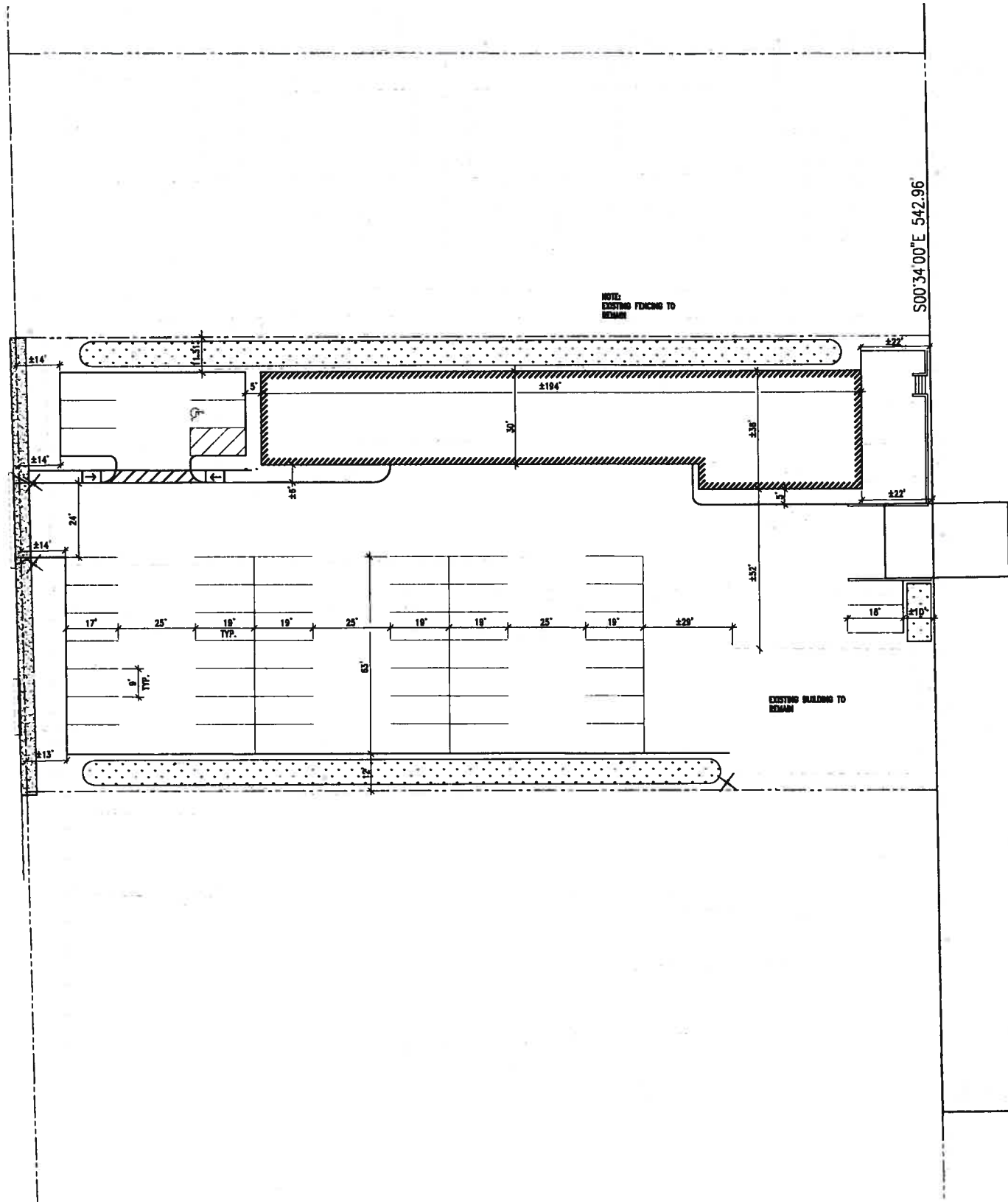
Written Narrative

Project: 3932 Old Santa Rita Road

Hendricks Auto Group

The proposed project consists of the demolition of an existing wooden structure and existing impervious surfacing on a 1 acre site in Pleasanton. An existing metal building will continue to operate as a storage building for the BMW dealership. Access between the sites is provided by a concrete ramp previously constructed. This site is situated on Old Santa Rita Road immediately behind the East Bay BMW site at 4350 Rosewood Drive. The proposed building will be utilized for preparing new vehicles for sale at the BMW dealership. No "outside" services will be performed at the site. The proposed development consists of a 6260 square foot building that will provide cleaning bays, offices, break rooms, bathrooms, etc. Parking for employees will be provided at the BMW dealership. No "customers" are anticipated at this site, this is an internal operation for BMW. Presently deliveries are made on an average of one transport truck per day, with an average of 8-9 cars per transport. The cars will continue to be dropped off at 3830 Old Santa Rita Road where they are stored until they are needed. There is a proposed concrete ramp and stairs that will connect this site with the retail operation. The stairs will accommodate pedestrian traffic and the ramp is designed for vehicles but also is sloped to meet ADA requirements. Only minor hand tools are anticipated to be used and the hours of operation will mirror that of the retail service department. A new sidewalk and contiguous landscaping is proposed on the Old Santa Rita Road frontage. A new fence and recessed gate is also proposed. Evergreen trees will be planted along the northerly property line.

OLD SANTA RITA ROAD



PROJECT DATA

CLIENT: HENRICK AUTOMOTIVE GROUP
4350 ROSEWOOD DRIVE
PLEASANTON, CA
ATTN: MR. RON TYE

SITE DATA

SIZE: 43,273 SF / 0.99 AC
ZONING: PUD-CS
EXISTING IMPERVIOUS AREA 35,918 SF
REMOVED/REPLACED I.S. 25,390 SF
NEW IMPERVIOUS SURFACE 9810 SF
TOTAL IMPERVIOUS SURFACE 35,200 SF

BUILDING DATA

EXISTING: 5350 SF
DEMOLISHED: 2950 SF
PROPOSED: 6260 SF
TOTAL: 8660 SF
FAR: 8660 SF / 43,273 SF = 0.20

BUILDING DATA

STALLS: 48
HANDICAP: 1

PUD-89
EXHIBIT B
Received July 3, 2012

PROGRESS SET

NO.	REVISION	BY	NO.	REVISION

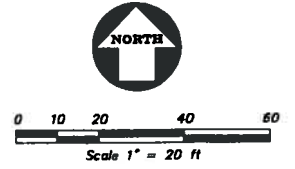
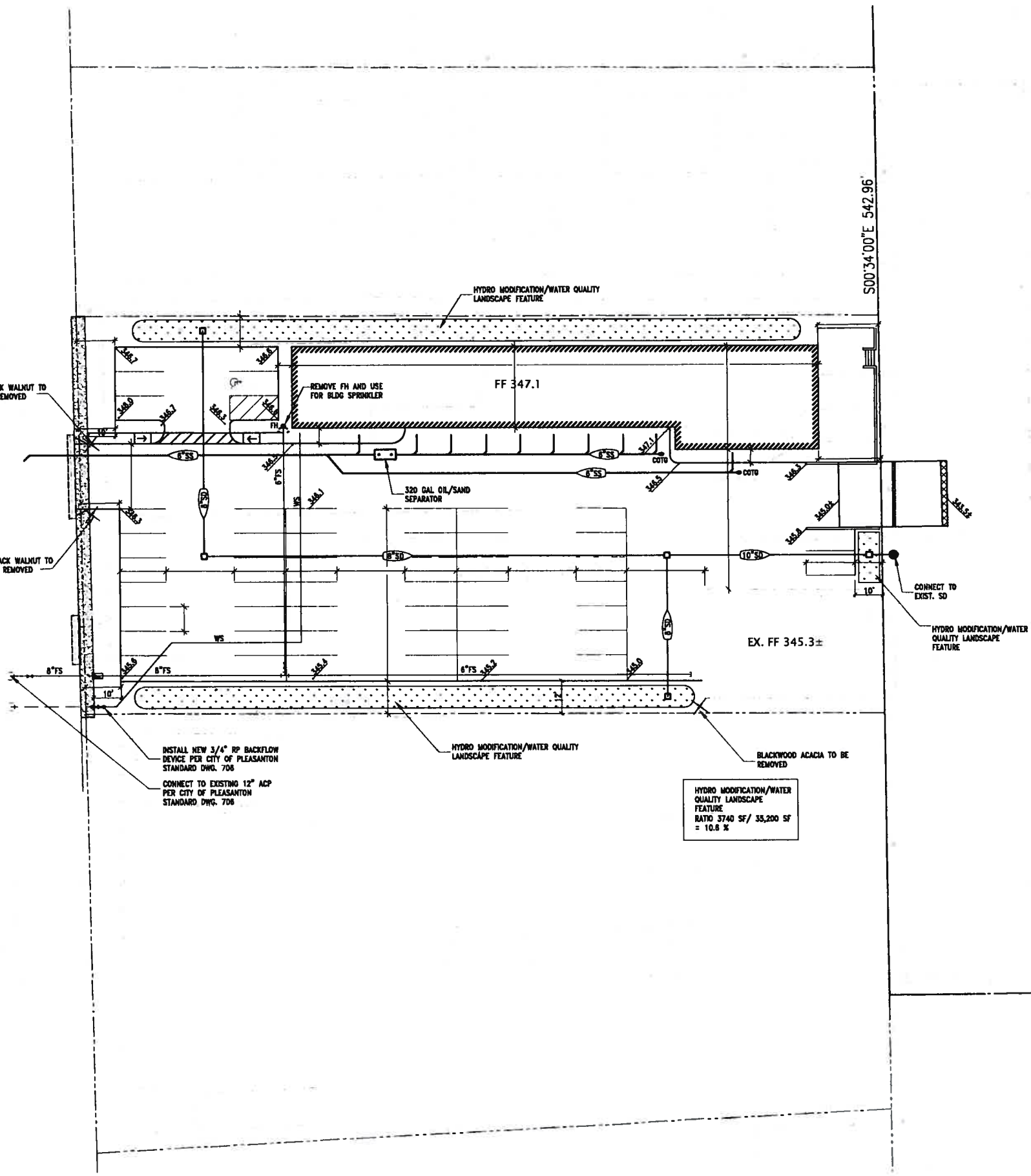
KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
Fax (925) 245-8796

SITE PLAN
OF
3932 OLD SANTA RITA ROAD
FOR
EMH&T

CALIFORNIA
PLEASANTON

DATE	11/15/11
SCALE	1" = 20'
DESIGNER	BDH
JOB NO.	A11632
SHEET	C1
OF	2 SHEETS

OLD SANTA RITA ROAD



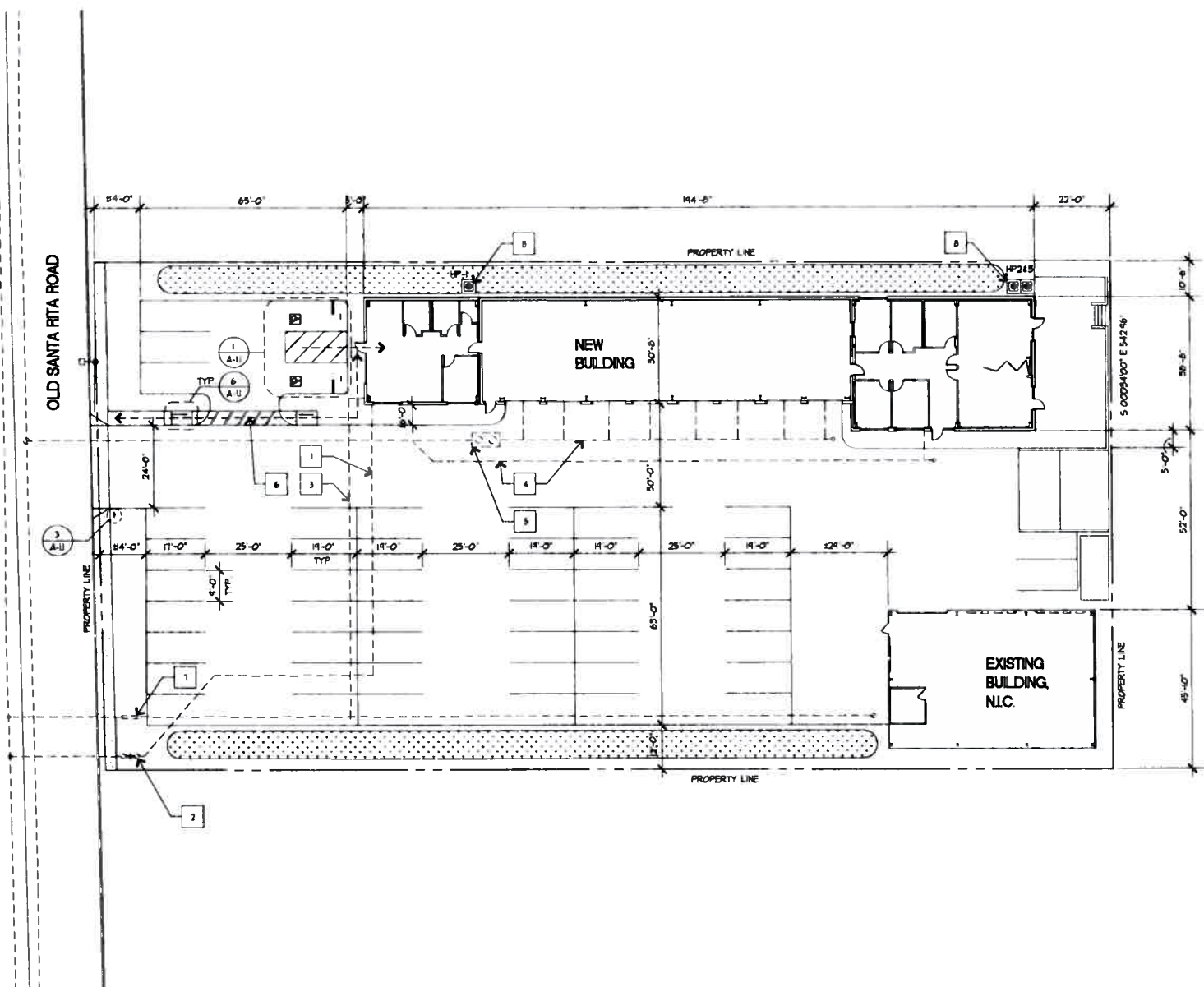
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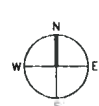
DATE	11/15/11
SCALE	1" = 20'
DESIGNER	BOH
JOB NO.	A11632
SHEET	C2
OF	2 SHEETS

NO.	BY	REVISION

<p>KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. 2850 Collier Canyon Road Livermore, California 94551 Phone (925) 245-8788 Fax (925) 245-8796</p>	<p>CALIFORNIA</p>
<p>PRELIMINARY GRADING & UTILITY PLAN OF 3932 OLD SANTA RITA ROAD FOR EMH&T</p>	<p>PLEASANTON</p>



NOTE
REFER TO CIVIL DRAWINGS FOR
ADDITIONAL INFORMATION



SCALE
1" = 20'-0"

1

SITE PLAN

- 1 WATER LINE AND BUILDING POINT OF CONNECTION, SEE CIVIL DRAWING
- 2 BACKFLOW DEVICE, SEE CIVIL DRAWING
- 3 WATER LINE FOR FIRE SPRINKLER SYSTEM, SEE CIVIL DRAWING
- 4 SEWER LINE, SEE CIVIL DRAWING
- 5 OIL/SAND SEPARATOR, SEE CIVIL DRAWING
- 6 ACCESSIBLE PATH OF TRAVEL TO PUBLIC RIGHT OF WAY
- 7 DOUBLE DETECTOR CHECK VALVE
- 8 CONDENSING UNIT ON 6" CONCRETE CURB, SEE MECHANICAL DRAWINGS

KEYNOTES



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EBB BUILDING
3932 OLD SANTA RITA RD
PLEASANTON, CA

SITE PLAN

REVISION

DATE APRIL 8, 2012

JOB NO. 12230
SHEET

A-10
OF SHEETS

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1. NO HAZARDOUS MATERIALS SHALL BE STORED AND/OR USED WITHIN THE BUILDING, WHICH WILL EXCEED THE QUANTITIES LISTED IN CBC TABLE 507.10 AND 507.102.
2. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 605.5.
3. THE MEANS OF EGRESS SHALL BE ILLUMINATED WITH AT LEAST ONE FOOT CANDLE AT THE FLOOR LEVEL.
4. PROVIDE TWO SOURCES OF POWER FOR MEANS OF EGRESS ILLUMINATION INCLUDING EXIT SIGNS IN BUILDINGS WITH AN OCCUPANT LOAD OF OVER 100.
5. APPROVAL OF THESE PLANS BY THE BUILDING DEPARTMENT DOES NOT INCLUDE APPROVAL FOR ANY TYPE OF FIRE SPRINKLER OR FIRE ALARM SYSTEM THAT MAY BE SHOWN OR REQUIRED. SEPARATE APPROVALS FOR ANY FIRE SPRINKLER OR ALARM SYSTEMS MUST BE OBTAINED. MODIFIED FIRE SPRINKLER PLANS AND FIRE LIFE SAFETY PLANS SHALL BE SUBMITTED FOR REVIEW APPROVAL AND PERMIT ISSUANCE.
6. T-BAR CEILING NOT ALLOWED TO SUPPORT INSULATION.
7. NO FRAMING OR T-BAR APPROVALS WILL BE GRANTED WITHOUT THE FIRE DEPARTMENT APPROVAL FOR THE FIRE SPRINKLERS.

GENERAL NOTES 2



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PLEASANTON, CA

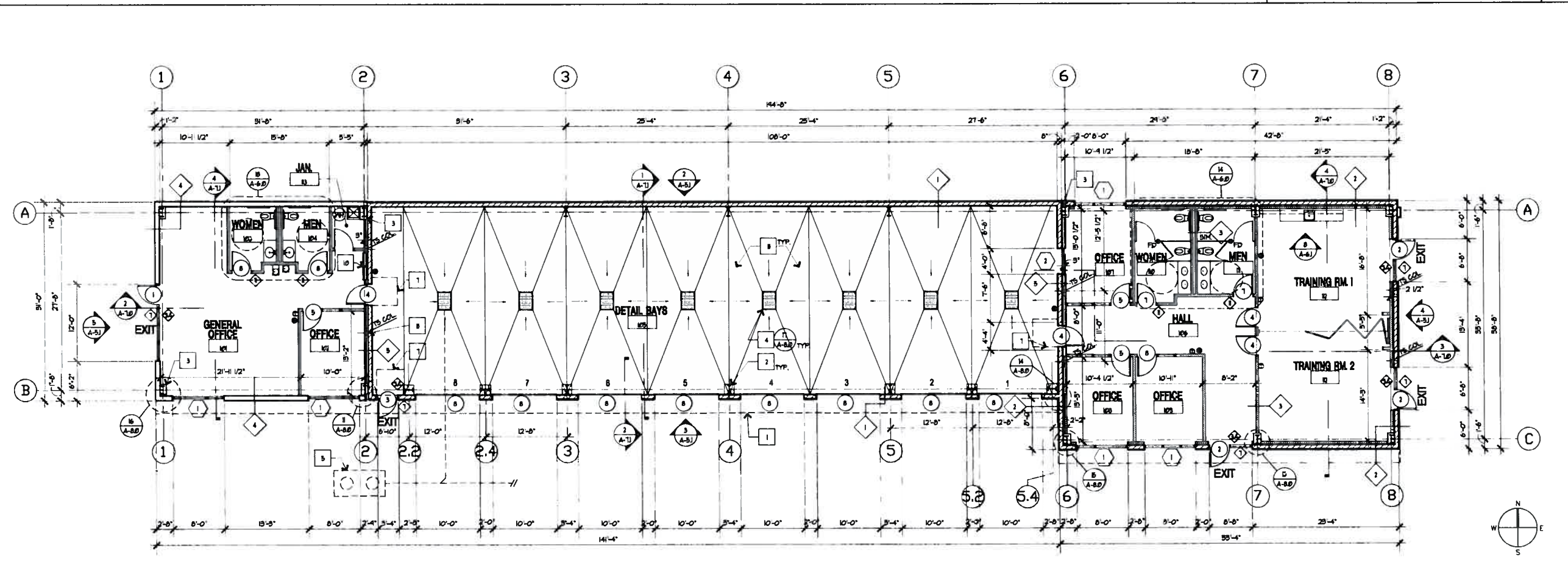
FLOOR PLAN

REVISION

DATE APRIL 8, 2012

JOB NO. 12230
SHEET:

A-2.11
OF SHEETS



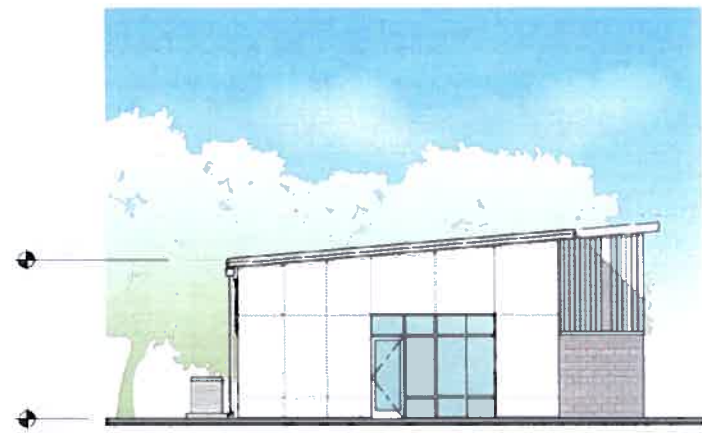
FLOOR PLAN SCALE 1/8" = 1'-0" 1

- | | |
|----|--|
| 1 | ROOF OVERHANGS ABOVE - SEE ROOF PLAN AND EXTERIOR ELEVATIONS |
| 2 | STRUCTURAL STEEL COLUMN - SEE STRUCTURAL DRAWINGS |
| 3 | METAL STUDS FURRING AT STEEL COLUMN - SEE DETAILS |
| 4 | TRENCH DRAIN CONNECT TO SAND AND OIL CLARIFIER, SEE PLUMBING |
| 5 | UNDERGROUND SAND AND OIL CLARIFIER, SEE PLUMBING AND SITE PLAN |
| 6 | SLOPE FLOOR TO TRENCH DRAINS 2% MIN. TYP. |
| 7 | DOOR LANDINGS, LEVEL AREA OF DOOR SPRING NOT TO EXCEED 2% GRADIENT, SURFACE SHALL BE SLIP-RESISTANT. |
| 8 | STEEL TUBE COLUMNS, TYP FOR (b), SEE STRUCTURAL DRAWINGS |
| 9 | MECHANICAL AIR HANDLING EQUIPMENT - SEE MECHANICAL DRAWINGS |
| 10 | ELECTRICAL PANELS, SEE ELECTRICAL |

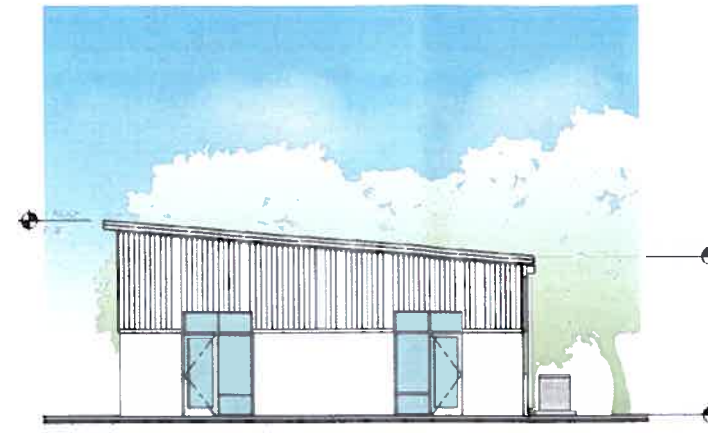
KEYNOTES

- | | |
|--|--|
| | PLUMBING PARTITION WALL WITH 6YP ED. ON OUTSIDE FACING SURFACE ONLY, SEE A.D. FOR WALL TYPE. |
| | INTERIOR PARTITION WALL, SEE A.D. FOR WALL TYPE. |
| | EXTERIOR WALL, SEE A.D. FOR WALL TYPE. |
| | METAL FURRING OVER CONCRETE MASONRY WALL, SEE SHEET A.D. FOR WALL TYPE. |
| | METAL STUD WALL OVER CONCRETE MASONRY WALL, SEE SHEET A.D. FOR WALL TYPE. |
| | CONCRETE MASONRY WALL, SEE SHEET A.D. FOR WALL TYPE. |
| | WALL TYPE, SEE SHEET A.D. |
| | DOOR/STOREFRONT TYPE, SEE SHEET A.1 |
| | THERMOSTAT, SEE MECHANICAL DRAWINGS |
| | SURFACE MOUNTED FIRE EXTINGUISHER PER 2010 CFC LOCATION PER FIRE INSPECTOR. |

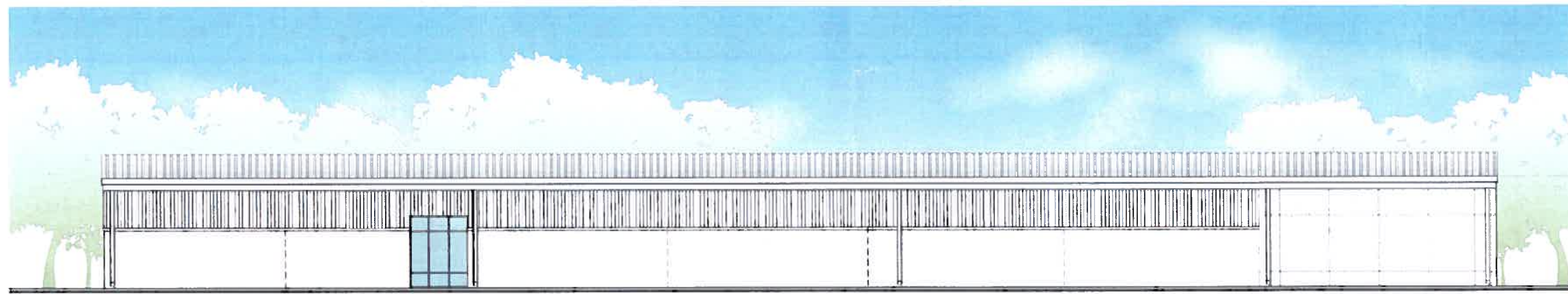
LEGENDS



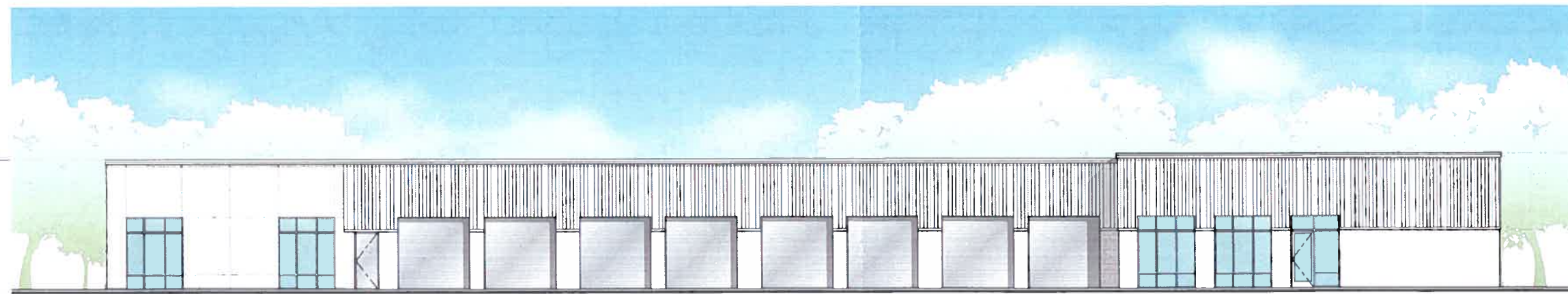
WEST FACING EXTERIOR ELEVATION



EAST FACING EXTERIOR ELEVATION



NORTH FACING EXTERIOR ELEVATION



SOUTH FACING EXTERIOR ELEVATION



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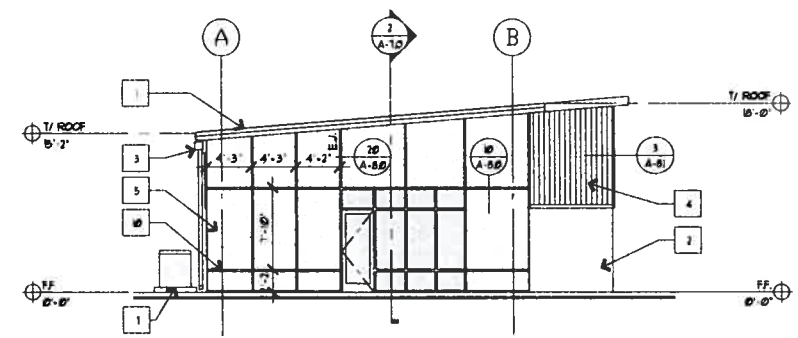
EBB BUILDING
3932 OLD SANTARITA RD
PLEASANTON, CA

EXTERIOR
ELEVATIONS

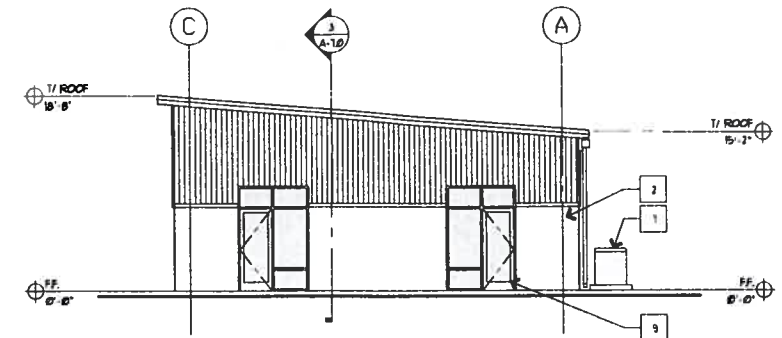
AUGUST 17, 2012

A-3.0

- | | |
|---|---|
| 1 METAL ROOF, SLOPE 1:12 | MASONRY WALL, COLOR PER OWNER'S SELECTION |
| 2 MASONRY WALL | METAL WALL PANEL, COLOR PER OWNER'S SELECTION |
| 3 METAL GUTTER AND LEADER, PAINT TO MATCH ROOF PANEL COLOR | METAL ROOF PANEL, COLOR PER OWNER'S SELECTION |
| 4 METAL WALL PANEL | EPDM, COLOR PER OWNER'S SELECTION |
| 5 EXTERIOR INSULATED FINISH 5" STE1 | 1" INSULATED HIGH PERFORMANCE GLAZING, PPG SOLARBAN 60 CENTER GLAZED, U-0.25 AND 845C-0.38, COLOR PER OWNER'S SELECTION |
| 6 WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL | |
| 7 CONDENSING UNIT ON 6" CONCRETE CURB, SEE MECHANICAL | |
| 8 STOREFRONT SYSTEM, SEE STOREFRONT DETAIL 5, COLOR PER OWNER'S SELECTION | |
| 9 DOOR, SEE SHEET DOOR SCHEDULE, COLOR PER OWNER'S SELECTION | |
| 10 REVEAL JOINT ALIGN WITH STOREFRONT MULLION | |

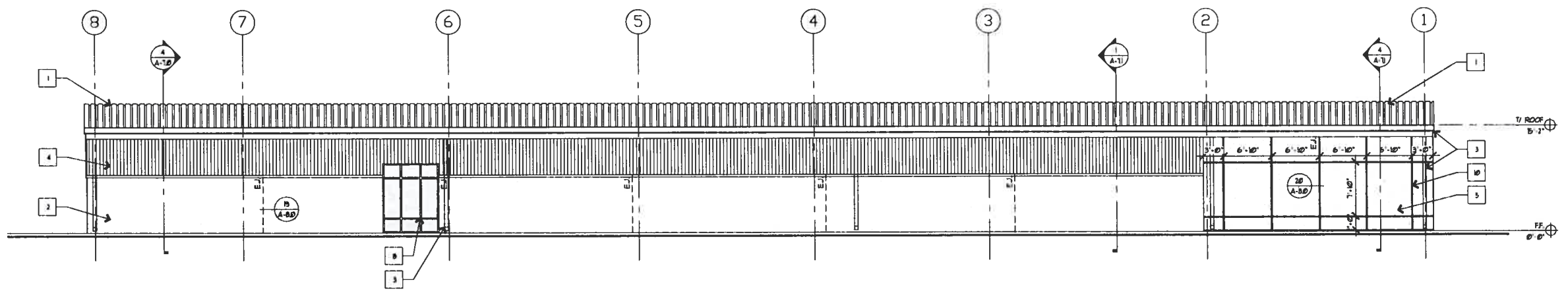


WEST FACING EXTERIOR ELEVATION SCALE: 1/8"=1'-0" 5

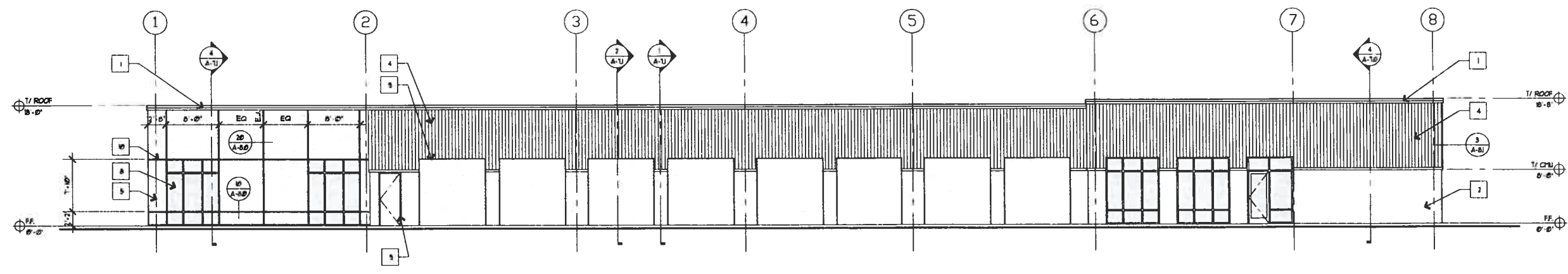


EAST FACING EXTERIOR ELEVATION SCALE: 1/8"=1'-0" 4

KEYNOTES / COLOR LEGENDS 1



NORTH FACING EXTERIOR ELEVATION SCALE: 1/8"=1'-0" 2



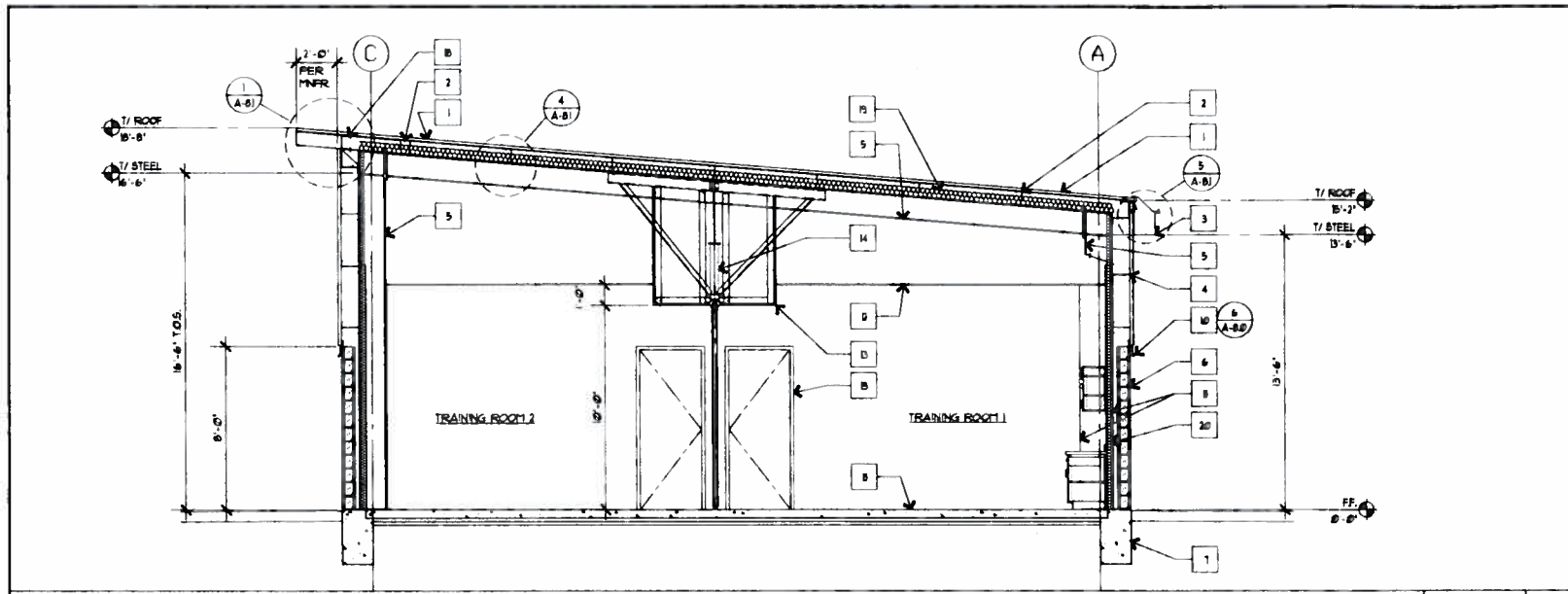
SOUTH FACING EXTERIOR ELEVATION SCALE: 1/8"=1'-0" 3

REVISION:

DATE APRIL 8, 2012

JOB NO. 12230
SHEET

A-7.0
OF SHEETS



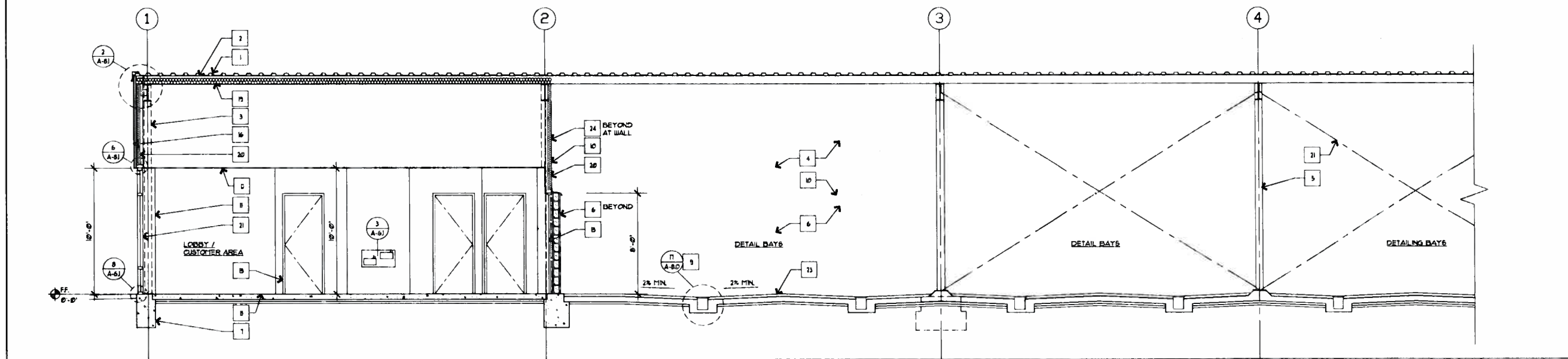
- | | |
|--|--|
| 1 METAL ROOF, SLOPE 1:2 | 23 SLOPE FLOOR TO TRENCH DRAIN MIN. 2% TYP. SEE STRUCTURAL |
| 2 Z-PURLINS | 24 TUBE STEEL COL., SEE STRUCTURAL |
| 3 METAL GUTTER | 25 OPERABLE PARTITION PANELS |
| 4 METAL SIDING OVER SIDEWALL GIRTS | |
| 5 STEEL COL. / FRAME. SEE STRUCTURAL | |
| 6 MASONRY WALL | |
| 7 CONCRETE FOOTING. SEE STRUCTURAL | |
| 8 CONCRETE SLAB. SEE STRUCTURAL | |
| 9 TRENCH DRAIN. SEE PLUMBING | |
| 10 GALV. METAL FLASHING | |
| 11 PARTITION WALL / COLUMN PURLIN. SEE FLOOR PLAN FOR WALL TYPE | |
| 12 SUSPENDED CEILING SYSTEM. SEE REFLECTED CEILING PLAN | |
| 13 METAL FRAMED SOFFIT | |
| 14 TRACK SYSTEM MOUNTING SUPPORT FOR OPERABLE PARTITION PANELS | |
| 15 DOOR. SEE DOOR SCHEDULE | |
| 16 EPS OVER METAL STUDS WALL FRAMING. SEE FLOOR PLAN FOR WALL TYPE | |
| 17 INTERIOR WINDOW. SEE WINDOW SCHEDULE | |
| 18 METAL ROOF CANOPY OVERHANG PANEL PER MNFR. | |

BUILDING SECTION

SCALE: 1/4"=1'-0"

KEYNOTES

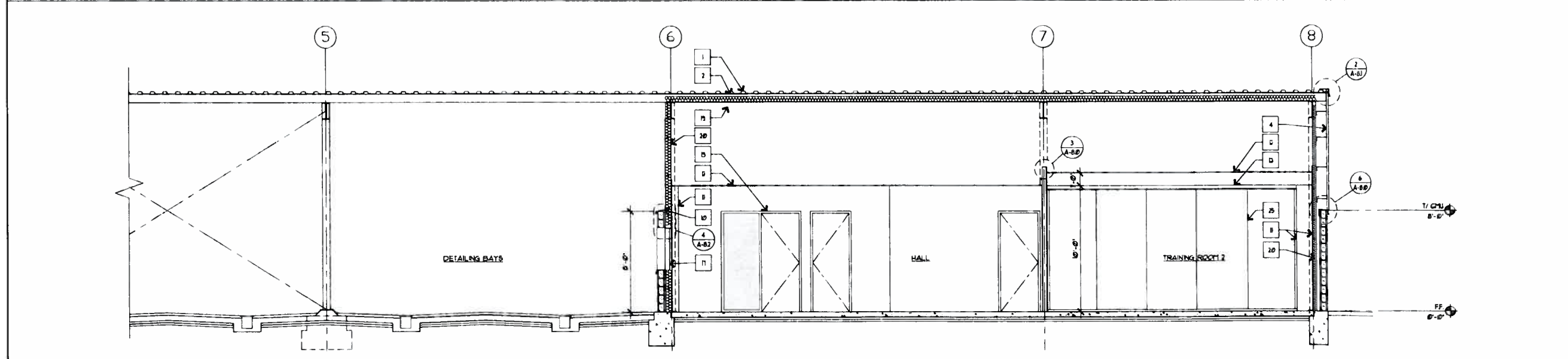
4 1



BUILDING SECTION

SCALE: 1/4"=1'-0"

2

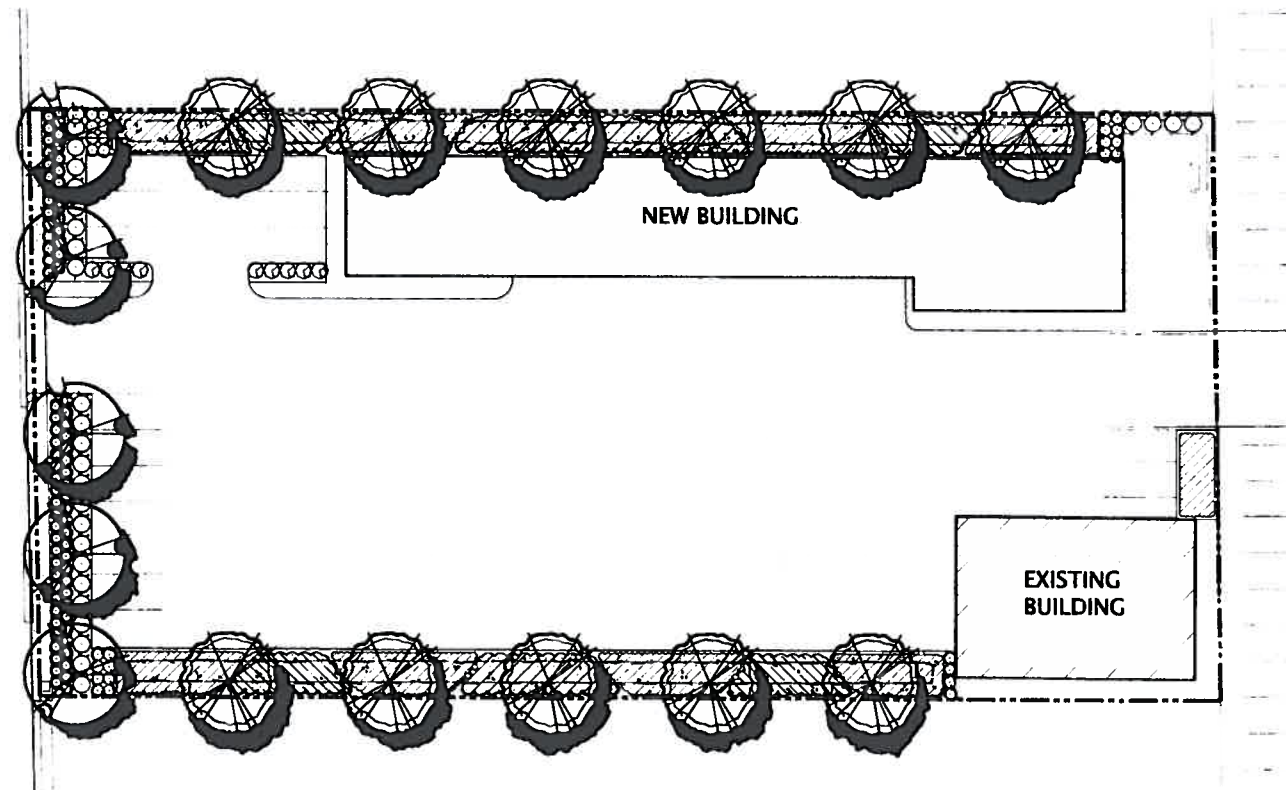


BUILDING SECTION

SCALE: 1/4"=1'-0"

3

OLD SANTA RITA ROAD

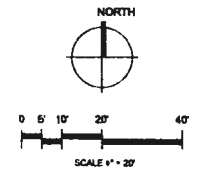


PRELIMINARY PLANT LEGEND

Symbol	Name	Size / Spacing
Tree:		
	Platanus x acerifolia 'Yarwood' / Yarwood London Plane Tree	24" box / 30'-0" o.c.
	Acer rubrum 'Red Sunset' / Red Sunset Maple	24" box / 40'-0" o.c.
Shrubs:		
	Callistemon citrinus 'Little John' / Dwarf Bottlebrush	5 gal. / 3'-6" o.c.
	Rhamnus californica 'Mound San Bruno' / Dwarf Coffeeberry	5 gal. / 5'-0" o.c.
Perennials:		
	Dietsa bicolor / Yellow Flowering Fortnight Lily	5 gal. / 3'-0"
	Dietsa vegata 'Varigated' / Varigated Fortnight Lily	5 gal. / 4'-0" o.c.
Bioswale planting:		
	Dianella revoluta 'Little Rev' / Little Rev Dianella	1 gal. / 2'-0" o.c.
	Juncus patens 'Elk Blue' / Elk Blue California Rush	1 gal. / 2'-6" o.c.
	Lomandra longifolia 'Breeze' / Breeze Lomandra	1 gal. / 3'-0" o.c.
	Sporobolus airoides / Alkali Sacaton	1 gal. / 2'-0" o.c.

Site Irrigation:

The site irrigation shall comply with the California Water Efficiency Landscape Ordinance AB 1881 and/or compliance to stricter local standards, if required. The irrigation system shall be a high efficiency, low flow, low gallonage system using the latest technologies in sprinkler, bubbler, in-line drip emitter and ET Controller (with rain-sensing override) equipment to conserve water, minimize evaporation, runoff and overspray. Hydrozoning shall be implemented to match water application closely with grouped plant watering requirements as an effective strategy to further conserve water usage.



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