

CITY COUNCIL OF THE CITY OF PLEASANTON

ALAMEDA COUNTY, CALIFORNIA

ORDINANCE NO. 1685

**AN ORDINANCE APPROVING THE APPLICATION  
OF PROVIDIAN BANCORP FOR A MAJOR  
MODIFICATION TO AN APPROVED PLANNED UNIT  
DEVELOPMENT, AS FILED UNDER CASE  
PUD-80-16-7M**

WHEREAS, Providian Bancorp has applied for a Planned Unit Development major modification and development plan approval to allow the construction of two (2) new, two-story office buildings totaling approximately 100,000 square feet of building floor area located on an approximately 11.15 acre site located at the southwest corner of Franklin Drive and Johnson Drive; and

WHEREAS, the proposal also includes the abandonment of the section of Morse Drive located between Franklin Drive and Johnson Drive; and

WHEREAS, zoning for the property is PUD (Planned Unit Development) - I/C-O (Industrial/ Commercial and Office) District; and

WHEREAS, the proposed project is covered by the negative declaration approved under PUD-80-16-3M; therefore no additional environmental document was prepared for this application; and

WHEREAS, Council received the Planning Commission's recommendation for approval of the proposed major modification and development plan approval; and

WHEREAS, a duly noticed public hearing was held on May 21, 1996; and

WHEREAS, the City Council finds that the proposed development plan modification is appropriate for the site and is consistent with the General Plan policies of the City; and

WHEREAS, the City Council finds that the section of Morse Drive located between Franklin Drive and Johnson Drive is no longer needed to provide vehicular and pedestrian access to the site and to other sites located in the business park.

THE CITY COUNCIL OF THE CITY OF PLEASANTON DOES HEREBY ORDAIN  
AS FOLLOWS:

Ordinance No. 1685

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**Section 1:** Approves Case PUD-80-16-7M, the application of Providian Bancorp for a Planned Unit Development major modification to allow the construction of two (2) new, two-story office buildings totaling approximately 100,000 square feet of building floor area located on an approximately 11.15 acre site located at the southwest corner of Franklin Drive and Johnson Drive, subject to the conditions on Exhibit "B", attached hereto and incorporated herein by this reference.

**Section 2:** Approves the abandonment of the section of Morse Drive located between Franklin Drive and Johnson Drive.


**Section 3:** A summary of this ordinance shall be published once within fifteen (15) days after its adoption in "The Valley Times," a newspaper of general circulation published in the City of Pleasanton, and the complete ordinance shall be posted for fifteen (15) days in the City Clerk's office within fifteen (15) days after its adoption.

**Section 4:** This ordinance shall be effective thirty (30) days after the date of its final passage and adoption.

INTRODUCED at a regular meeting of the City Council of the City of Pleasanton on May 21, 1996.

ADOPTED at a regular meeting of the City Council of the City of Pleasanton on June 4, 1996 by the following vote:

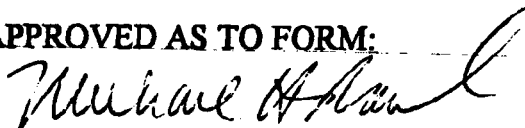
AYES: Councilmembers - Dennis, Michelotti, Mohr, Pico, and Mayor Tarver  
NOES: None  
ABSENT: None  
ABSTAIN: None

  
BEN C. TARVER, MAYOR

ATTEST:

  
Peggy L. Ezidro, City Clerk

APPROVED AS TO FORM:

  
Michael H. Roush, City Attorney

**ORDINANCE NO. 1685**

**PUD-80-16-7M**

**PUD Major Modification/Conditions of Approval**

May 21, 1996

1. This PUD major modification will lapse within two (2) years from the date of approval unless a building permit is issued and construction has commenced and is diligently pursued toward completion or an extension has been approved by the City.
2. All conditions of Case PUD-80-16-3M and Case PUD-80-16-4M shall remain in full force and effect except as follows:
  - a. The permitted uses for Area "F" of PUD-80-16-3M is changed from office/ industrial uses located in two, single-story buildings totaling 77,200 sq. ft., to surface parking for the adjacent complex.
  - b. PUD-80-16-6D (Resolution No. 90-140) for a two-building, 58,770 sq. ft. office/ industrial project on Area "F" is superseded by this PUD Development Plan.
  - c. The section of Morse Drive located between Franklin Drive and Johnson Drive is deleted as a public street.

**EXHIBIT   B**

CLIENT



PROJECT

**PLEASANTON  
CAMPUS**  
**PROVIDIAN  
CAMPUS  
EXPANSION**

PLEASANTON, CA

SHEET NAME

**SCHEMATIC  
SITE PLAN**

REVISIONS

DATE APRIL 9, 1996

CONTACT SDMACTI

JOB NUMBER 7638.1

SHEET NO.

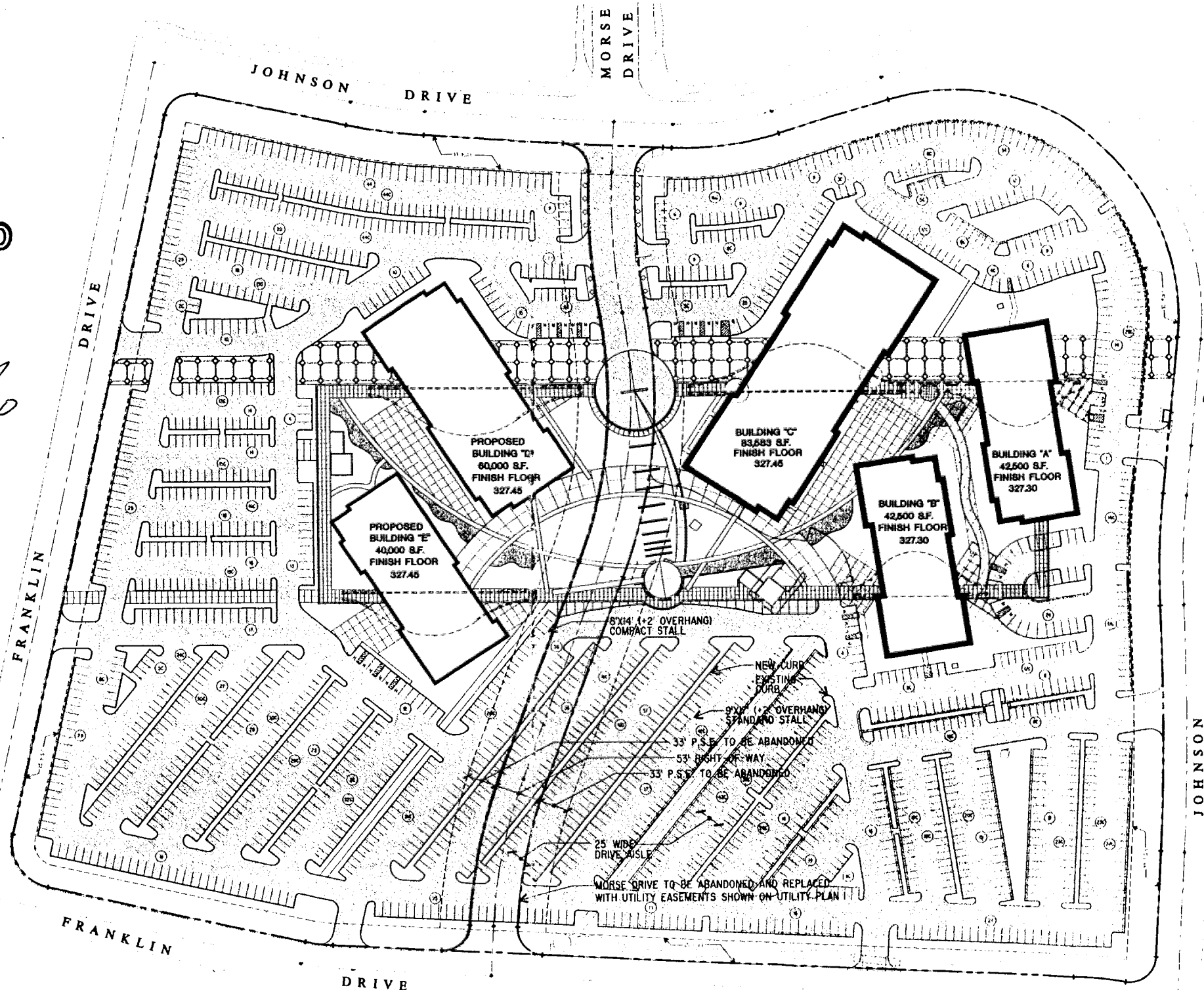
**A1.1**

OF SHEET

EXHIBIT A  
**RECEIVED**

MAY 02 1996  
CITY OF PLEASANTON  
PLANNING DEPT.

PUD-80-16-7M  
PUD-80-16-11D



**SCHEMATIC SITE PLAN**

**SITE DATA**

TOTAL LANDSCAPE:	419,617 S.F.
TOTAL BUILDING FOOTPRINT:	134,292 S.F.
TOTAL A.C. PAVING AREA:	585,621 S.F.
TOTAL AREA:	1,139,530 S.F.

	EXISTING	PROPOSED	TOTAL
LAND AREA	13.85 AC	12.31 AC	26.16 ACRES OR 1,139,530 SF
BUILDING	188,583 SF	100,000 SF	288,583 SF
LAND TO BUILDING RATIO			23.67%
<b>PARKING</b>			
STANDARD	386	483	849 (48% OF TOTAL)
COMPACT	526	416	942 (52% OF TOTAL)*
ACCESSIBLE	19	11	30 (2% OF TOTAL)*
TOTAL	931	890	1821 1072 REQ'D

\* NOTE: OF THE 949 PARKING SPACES THAT THE OWNER HAS PROVIDED IN ADDITION TO THE REQUIRED 1072 PARKING SPACES, THE OWNER HAS SELECTED TO MAKE A GREATER PERCENTAGE FOR COMPACT CARS. THE HIGH NUMBER OF ACCESSIBLE SPACES IS BASED ON THE TOTAL NUMBER OF PARKING SPACES PROVIDED.

