

H:\job_drive\3747_Trener Drive, Pleasanton ODS\3747 Trener Drive, Pleasanton ODS\3747 Trener Drive, Pleasanton ODS_10/22/2020 10:23 AM Owner

SURVEYOR'S NOTE:

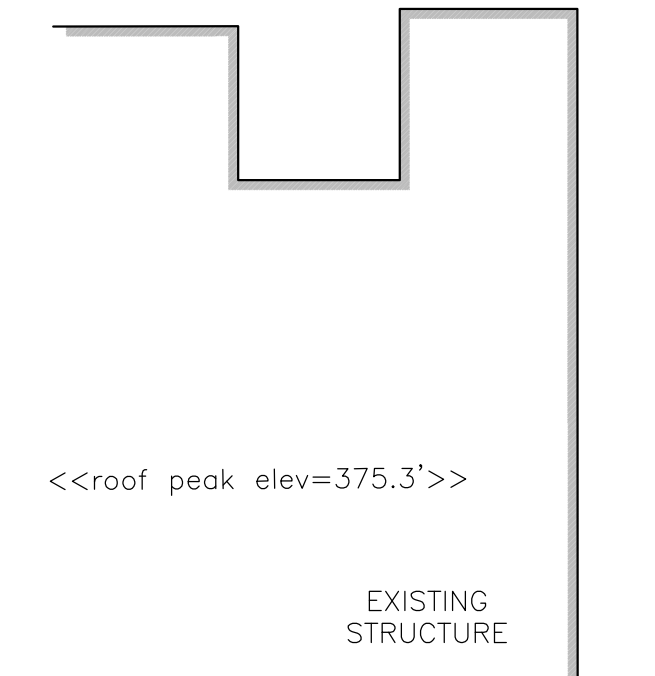
- 1. DATE OF SURVEY: SEPTEMBER 28, 2020
- 2. UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY
- 3. MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.
- 4. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- 5. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- 6. PROPERTY CORNERS WERE NOT SET IN CONJUNCTION WITH THIS SURVEY.
- 7. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST
- 8. DIMENSIONS FROM STRUCTURES TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES

BENCHMARK

HS3525 BRASS DISK MONUMENT
 1.4 MILES NORTHEAST ALONG THE SOUTHERN PACIFIC COMPANY RAILROAD FROM THE CROSSING OF NEAL STREET AT PLEASANTON, 7 1/2 RAILS EAST OF THE CROSSING OF AN ENTRANCE ROAD TO THE H.J. KAISER COMPANY, AT WOODEN BRIDGE 42.27, IN THE TOP OF THE SOUTH END OF THE EAST CONCRETE ABUTMENT, 5.7 FEET SOUTH OF THE SOUTH RAIL, AND ABOUT 2 FEET LOWER THAN THE TRACK. ELEVATION IS TAKEN AS 369.8'

40' WIDE PRIVATE R/W AND UTILITIES (REEL 894 IMAGE 146) 8460 O.R. 459 AM88295

SCALE: 1"=20'
 0 20 40 60 FEET



ZOLLINGER APN 946-4625-43

- ### LEGEND
- CLIENT BOUNDARY
 - PROPERTY LINE
 - RIGHT OF WAY LINE
 - EASEMENT LINE
 - FACE OF BUILDING LINE
 - WOODEN FENCE
 - GAS METER
 - WATER METER
 - LANDSCAPE LIGHT
 - SANITARY SEWER CLEANOUT
 - SANITARY SEWER MANHOLE
 - STORMDRAIN MANHOLE
 - WATER VALVE
 - ELECTRIC TIE IN
 - GAS VALVE
 - TREE AS NOTED
 - FOUND MONUMENT - NOTED
 - FOUND MONUMENT - NOTED
 - SPOT ELEVATION

BASIS OF BEARINGS

THE FOUND MONUMENTS MARKING THE CENTER LINE OF MARTIN AVENUE AS SAID STREET IS SHOWN ON THE PARCEL MAP 2547 FILED AS BOOK 105 OF PARCEL MAPS AT PAGE 15 RECORDS OF ALAMEDA COUNTY.

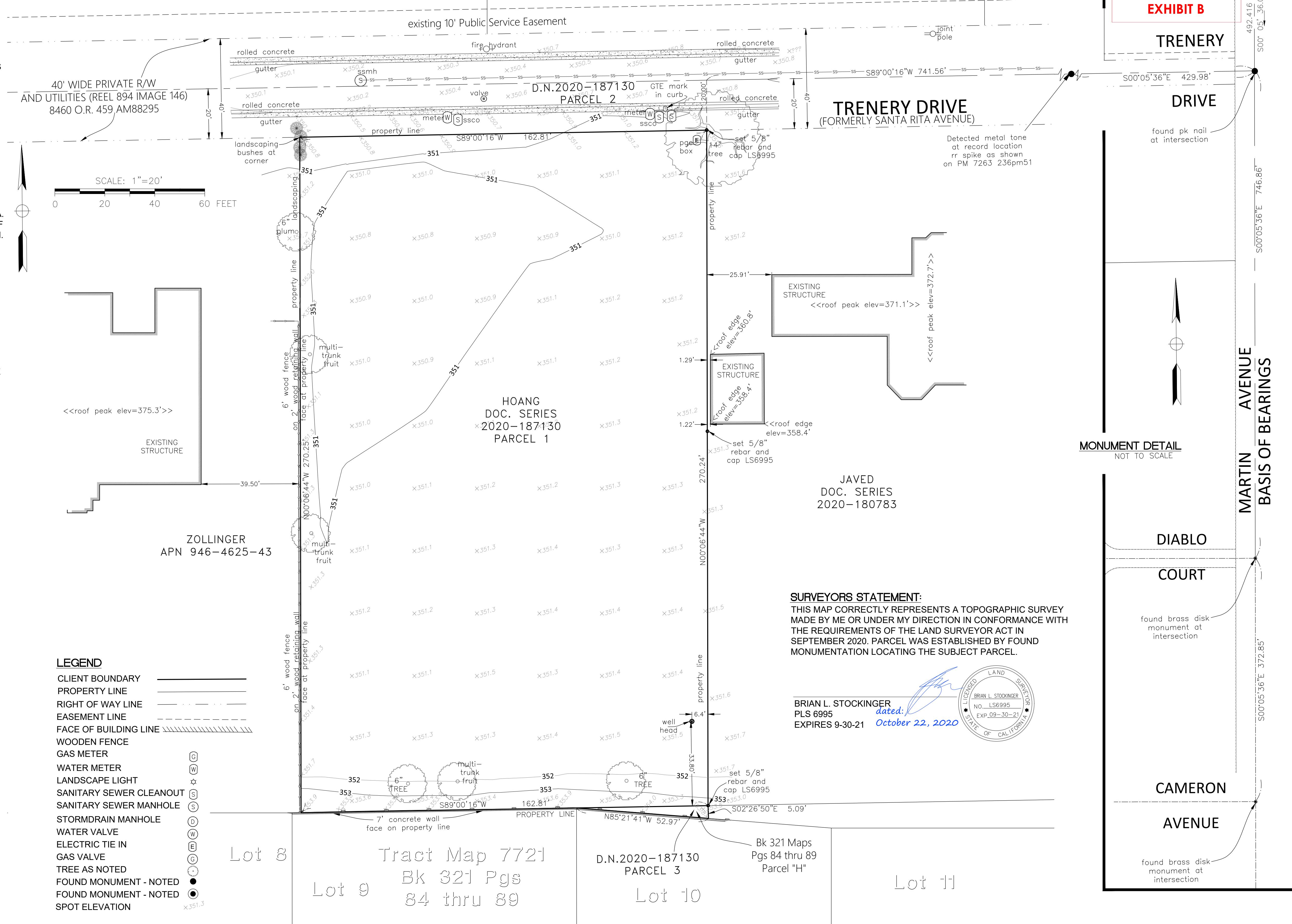
BEARING TAKEN AS N00°05'36"W

Lot 3

Lot 2

Parcel Map 236 PM 51

Lot 1



SURVEYORS STATEMENT:

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR ACT IN SEPTEMBER 2020. PARCEL WAS ESTABLISHED BY FOUND MONUMENTATION LOCATING THE SUBJECT PARCEL.

BRIAN L. STOCKINGER
 PLS 6995
 EXPIRES 9-30-21
 dated: *October 22, 2020*



RECEIVED

12/9/22

PUD-144

CITY OF PLEASANTON
 PLANNING DIVISION
 EXHIBIT B

TRENER DRIVE

DRIVE

found pk nail at intersection

Detected metal tone at record location rr spike as shown on PM 7263 236pm51

EXISTING STRUCTURE <<roof peak elev=371.1'>>

EXISTING STRUCTURE <<roof edge elev=358.4'>>

MONUMENT DETAIL NOT TO SCALE

DIABLO COURT

COURT

found brass disk monument at intersection

CAMERON AVENUE

found brass disk monument at intersection

Lot 8

Lot 9

Tract Map 7721
 Bk 321 Pgs 84 thru 89

D.N. 2020-187130
 PARCEL 3

Lot 11

Bk 321 Maps Pgs 84 thru 89 Parcel "H"

BLS SURVEYING & MAPPING

BRIAN L. STOCKINGER PLS 6995
 BOX 24 (1531 GRANDVIEW AVE.), MARTINEZ, CA 94553
 (925)451-1644(C) (925)228-4949(H)
 goodsurvey6995@pacbell.net

TOPOGRAPHICAL BOUNDARY SURVEY

3747 TRENER DRIVE (PRIVATE STREET)

ALAMEDA COUNTY, CALIFORNIA

NO.	DATE	BY	SCALE
1	10/21	BLS	1" = 20'

NO.	DATE	BY	SCALE
1	10/21	BLS	1" = 20'

NO.	DATE	BY	SCALE
1	10/21	BLS	1" = 20'

DATE: 10/21

SHEET NO. 1

OF 1 SHEETS

JOB NO. 3747 TRENER DRIVE

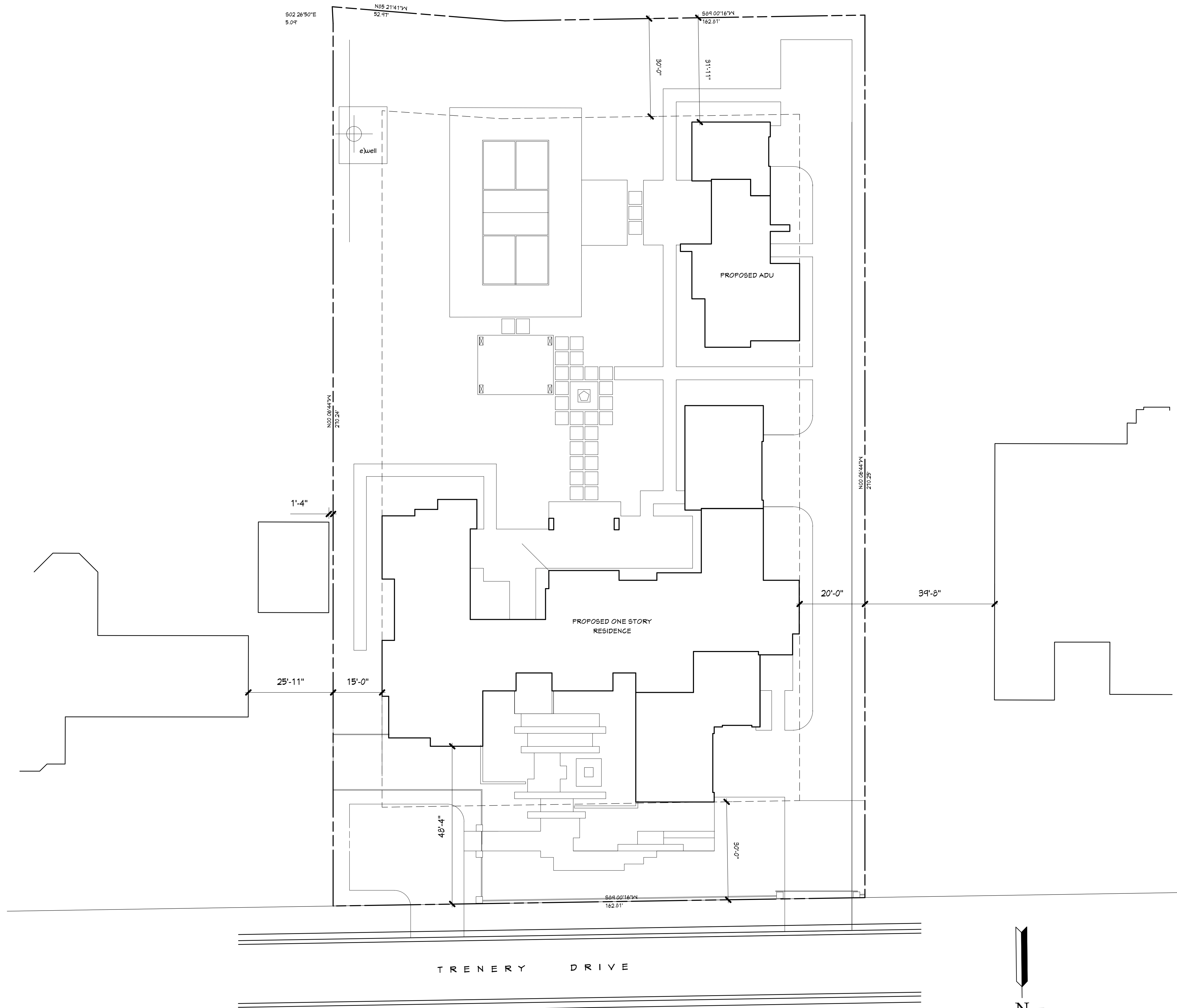
CAD FILE: 3747 TRENER DRIVE.DWG



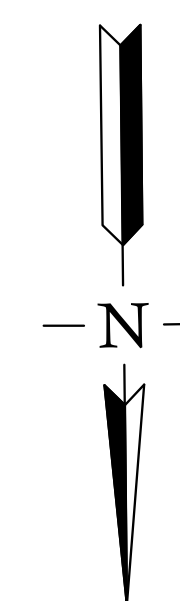
CUSTOM HOME FOR:
MAGGIE HOANG
3147 TRENERY DRIVE
PLEASANTON, CALIFORNIA

SITE DATA

APN	946-4514-5
LOT SIZE	44133 sf
MAIN HOUSE AREA	5067 sf
MAIN HOUSE GARAGE	1967 sf
TOTAL	7034 sf
ADU AREA	1000 sf
ADU GARAGE AREA	457 sf
TOTAL	1457 sf
HARDSCAPE	
PICKLEBALL COURT	2597 sf
DRIVEWAY	6570 sf
WALKS/PATIOS	6425 sf
TOTAL	14,336 sf
IMPERVIOUS SURFACE	
7034 + 1656 + 14336 =	23,026 sf
IMPERV. SURFACE %	
23,026 / 44133 =	52%
FAR	
6266 / 44133 =	14%



SITE PLAN
1/16" = 1'-0"

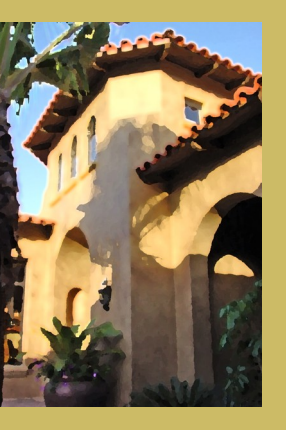


SITE PLAN		
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REVISION	BY	Date 8/6/21
		Scale noted
		Drawn MEL
		Job HOANG
		Sheet
		A1

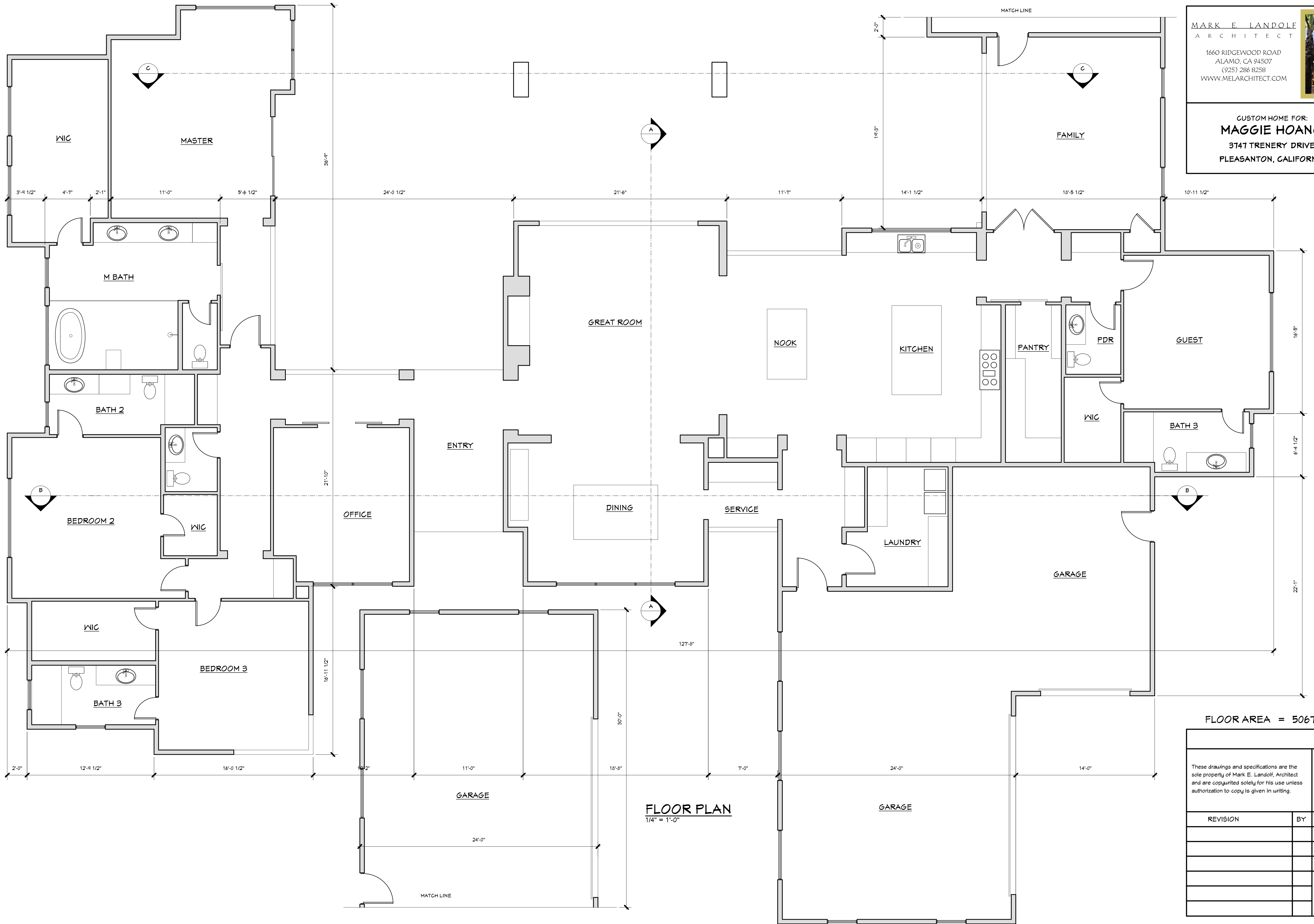


MARK E. LANDOLF
ARCHITECT

1660 RIDGEWOOD ROAD
ALAMO, CA 94507
(925) 286 8258
WWW.MELARCHITECT.COM



CUSTOM HOME FOR:
MAGGIE HOANG
3747 TRENERY DRIVE
PLEASANTON, CALIFORNIA



FLOOR AREA = 5067 sf

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REVISION	BY	Date	
		8/6/21	
		Scale	noted
		Drawn	MEL
		Job	HOANG
		Sheet	A2

FLOOR PLAN
1/4" = 1'-0"

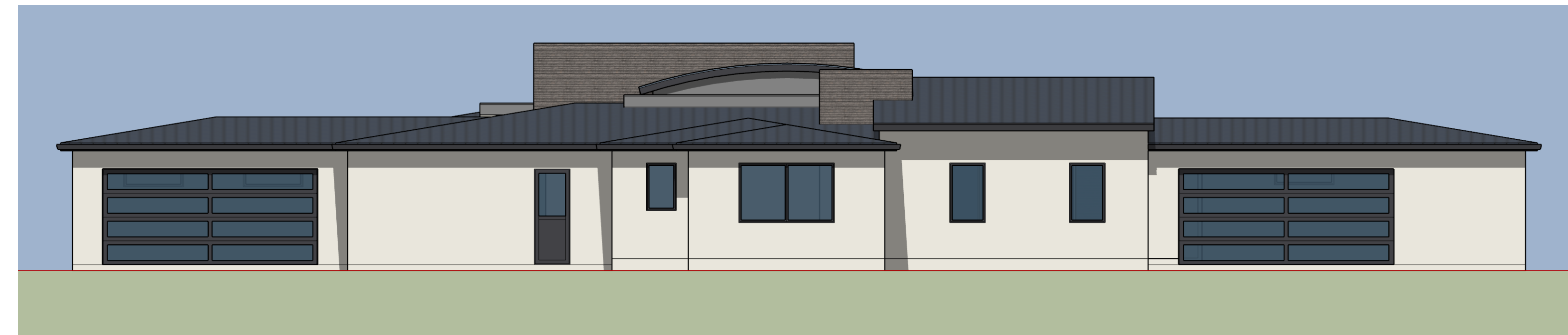
MARK E. LANDOLF
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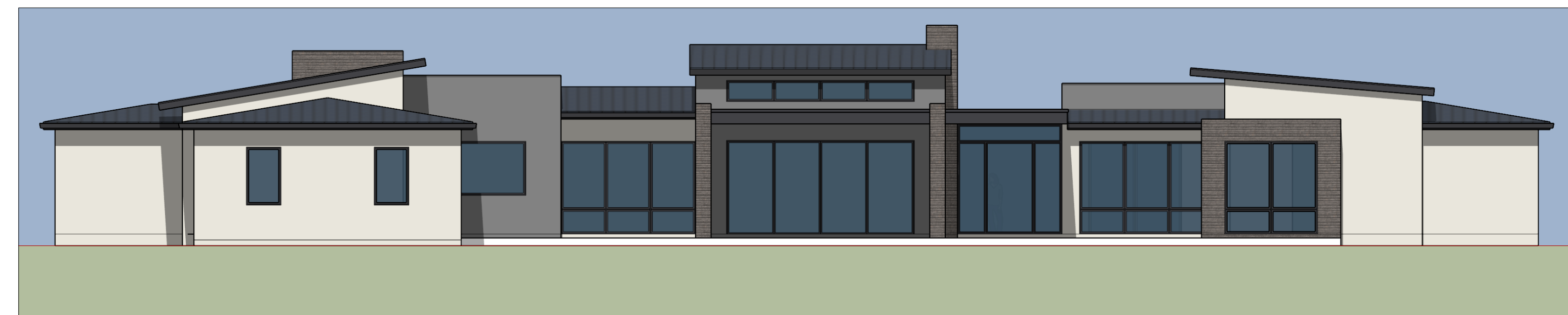
CUSTOM HOME FOR:
MAGGIE HOANG
 3147 TRENERY DRIVE
 PLEASANTON, CALIFORNIA



FRONT ELEVATION
 1/4" = 1'-0"



RIGHT ELEVATION
 1/4" = 1'-0"



REAR ELEVATION
 1/4" = 1'-0"

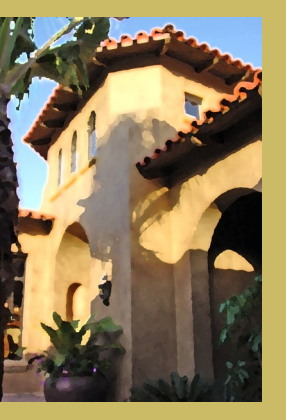


LEFT ELEVATION
 1/4" = 1'-0"

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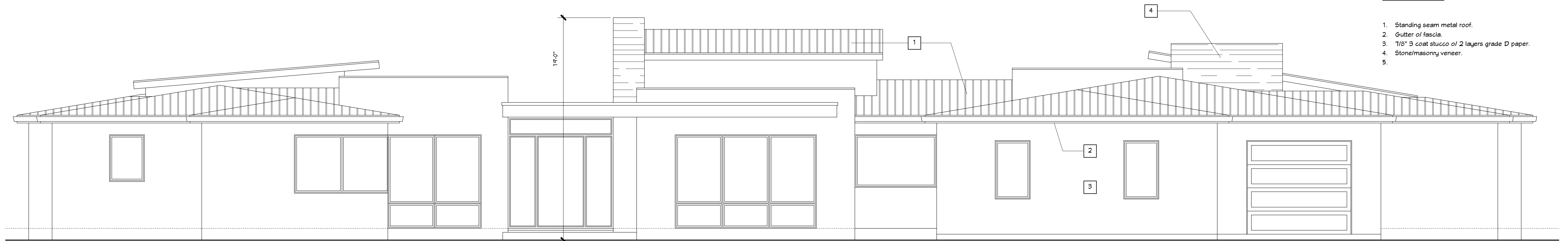
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		8/6/21
		Scale noted
		Drawn MEL
		Job HOANG
		Sheet
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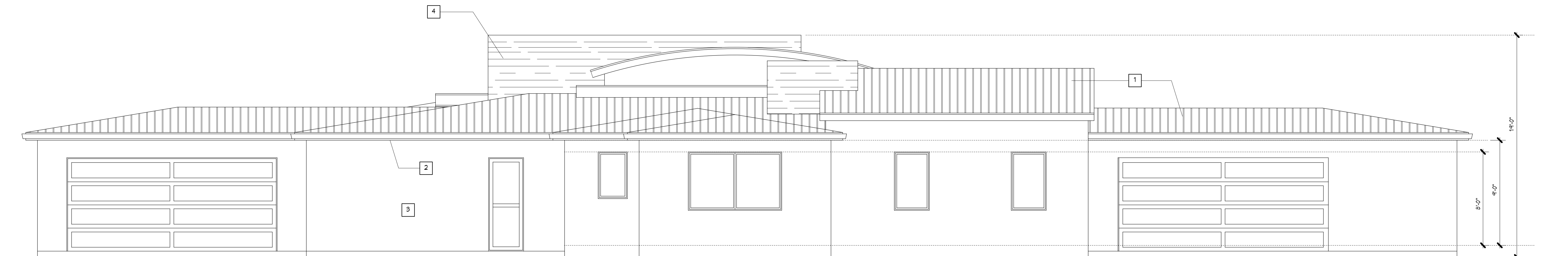
CUSTOM HOME FOR:
MAGGIE HOANG
3147 TRENERY DRIVE
PLEASANTON, CALIFORNIA

ELEVATION NOTES:

1. Standing seam metal roof.
2. Gutter of fascia.
3. 7/8" 3 coat stucco of 2 layers grade D paper.
4. Stone/masonry veneer.



FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

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REVISION	BY	
		Scale noted
		Drawn MEL
		Job HOANG
		Sheet
		A3



CUSTOM HOME FOR:
MAGGIE HOANG
3147 TRENERY DRIVE
PLEASANTON, CALIFORNIA

ELEVATION NOTES

1. Standing seam metal roof.
2. Gutter or fascia.
3. 1/8" 3 coat stucco or 2 layers grade D paper.
4. Stone/masonry veneer.
- 5.

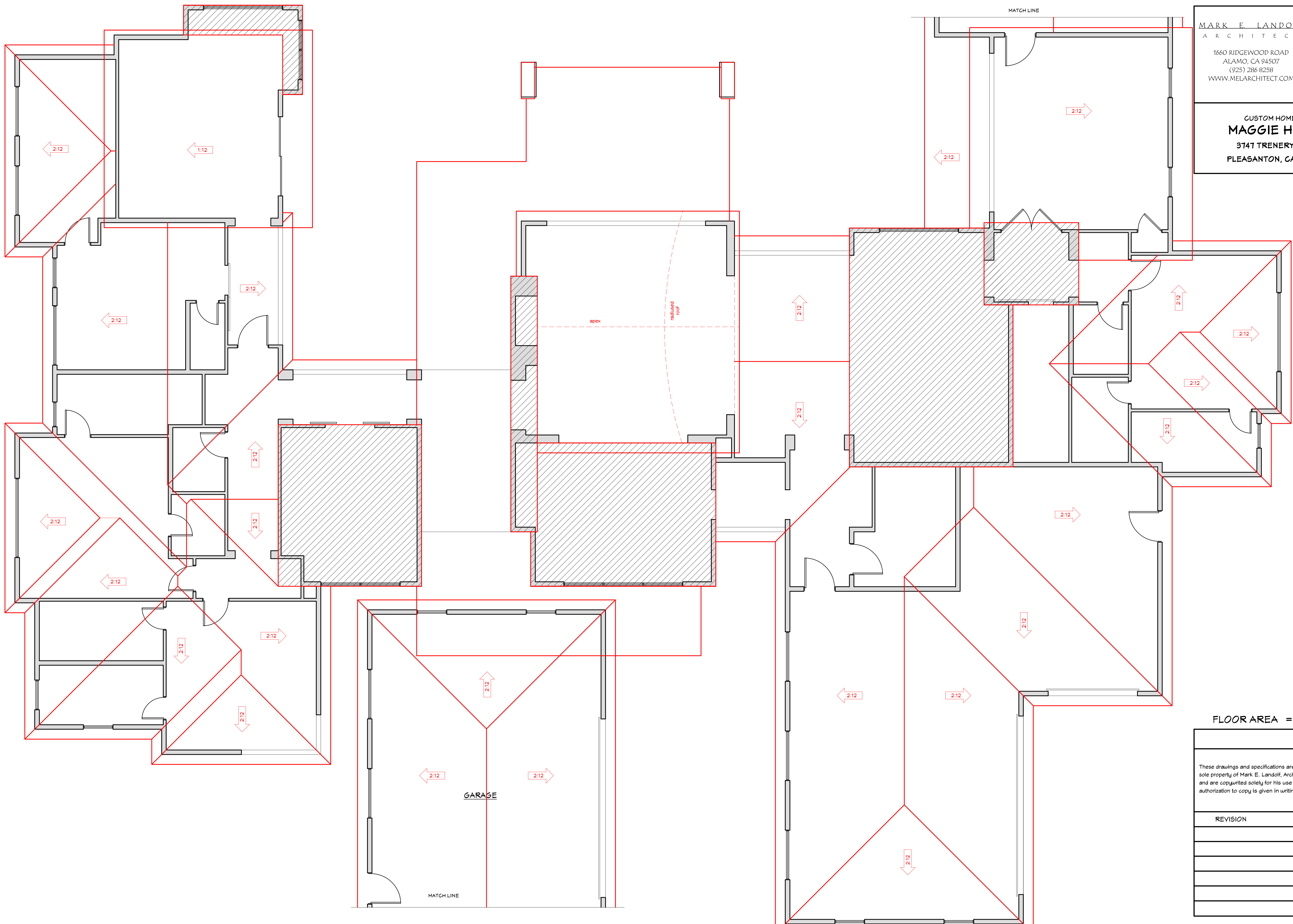


REAR ELEVATION
1/4" = 1'-0"



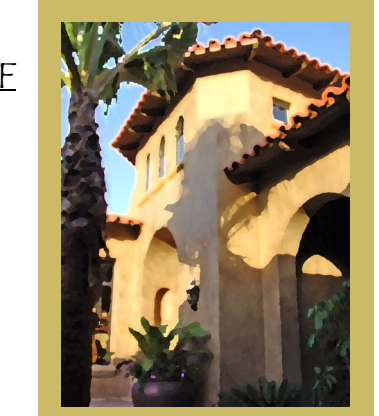
LEFT ELEVATION
1/4" = 1'-0"

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		Scale noted
		Drawn MEL
		Job HOANG
		Sheet
		A4



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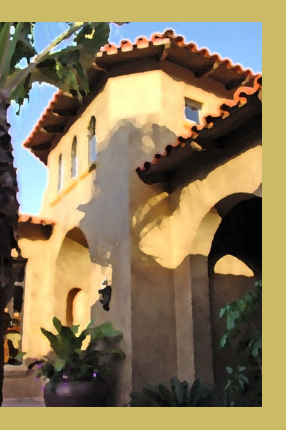
CUSTOM HOME FOR:
MAGGIE HOANG
3147 TRENERY DRIVE
PLEASANTON, CALIFORNIA

FLOOR AREA = 5067 sf

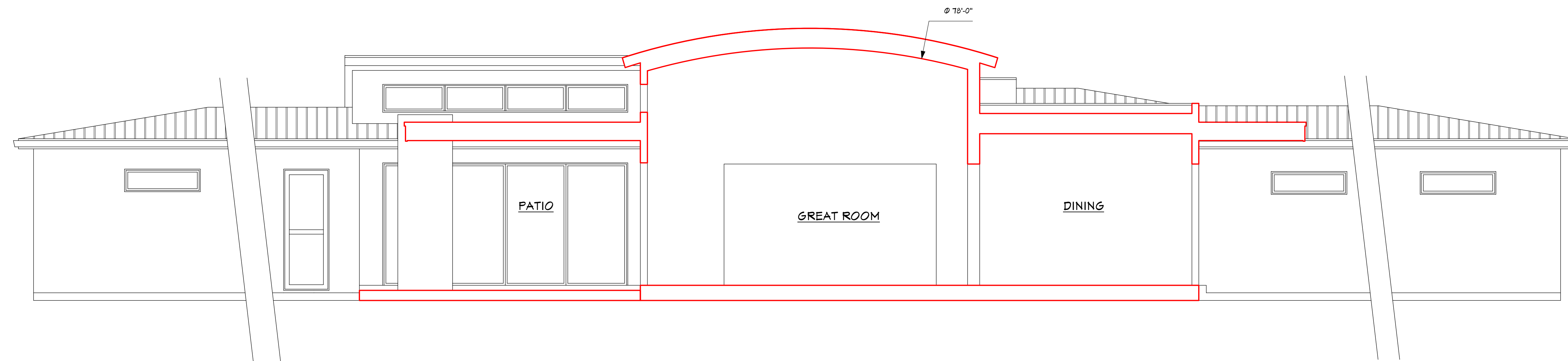
<p>These drawings and specifications are the sole property of Mark E. Landolf, Architect and are copyrighted solely for his use unless authorization to copy is given in writing.</p>		
REVISION	BY	
		Scale noted
		Drawn MEL
		Job HOANG
		Sheet
		A5

MARK E. LANDOLF
ARCHITECT

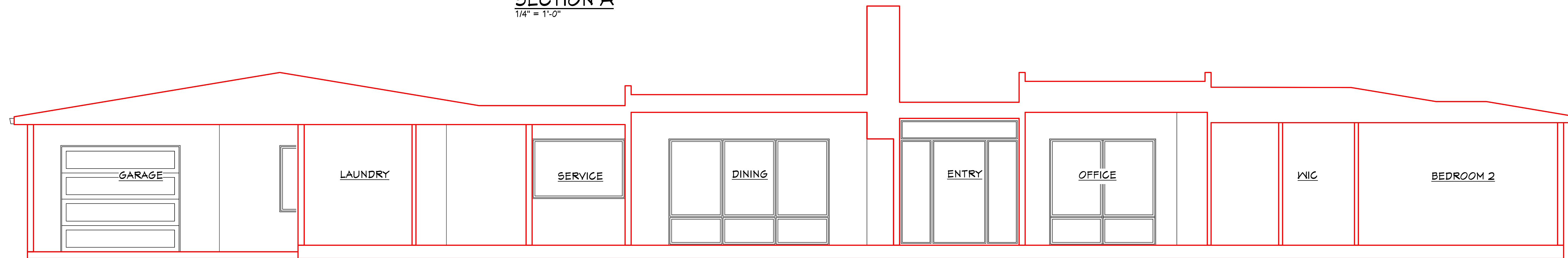
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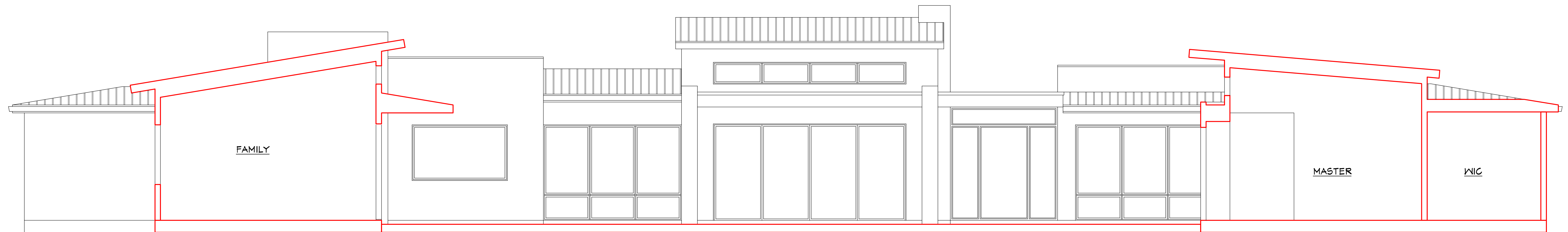
CUSTOM HOME FOR:
MAGGIE HOANG
3147 TRENERY DRIVE
PLEASANTON, CALIFORNIA



SECTION A
1/4" = 1'-0"



SECTION B
1/4" = 1'-0"



SECTION C
1/4" = 1'-0"

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REVISION	BY	Date
		8/6/21
		Scale noted
		Drawn MEL
		Job HOANG
		Sheet
		A6

SYM.	QTY	MODEL NAME	PART NO.	VOLT.	MAX. WATT.	LAMP	FINISH
A	6	UNIQUE - COMET	COM-12-L427	12	6 W. FLEX	FLEX MR16, 5 W. LED	WB

PLANT INCLUDED: ALL LIGHTS TO HAVE APPROPRIATE SHIELDS

SCALE: 1"=8'-0"

④		BL
③	11/03/21	BL
②	6/23/21	BL
①	6/3/21	BL
	REVISIONS	BY

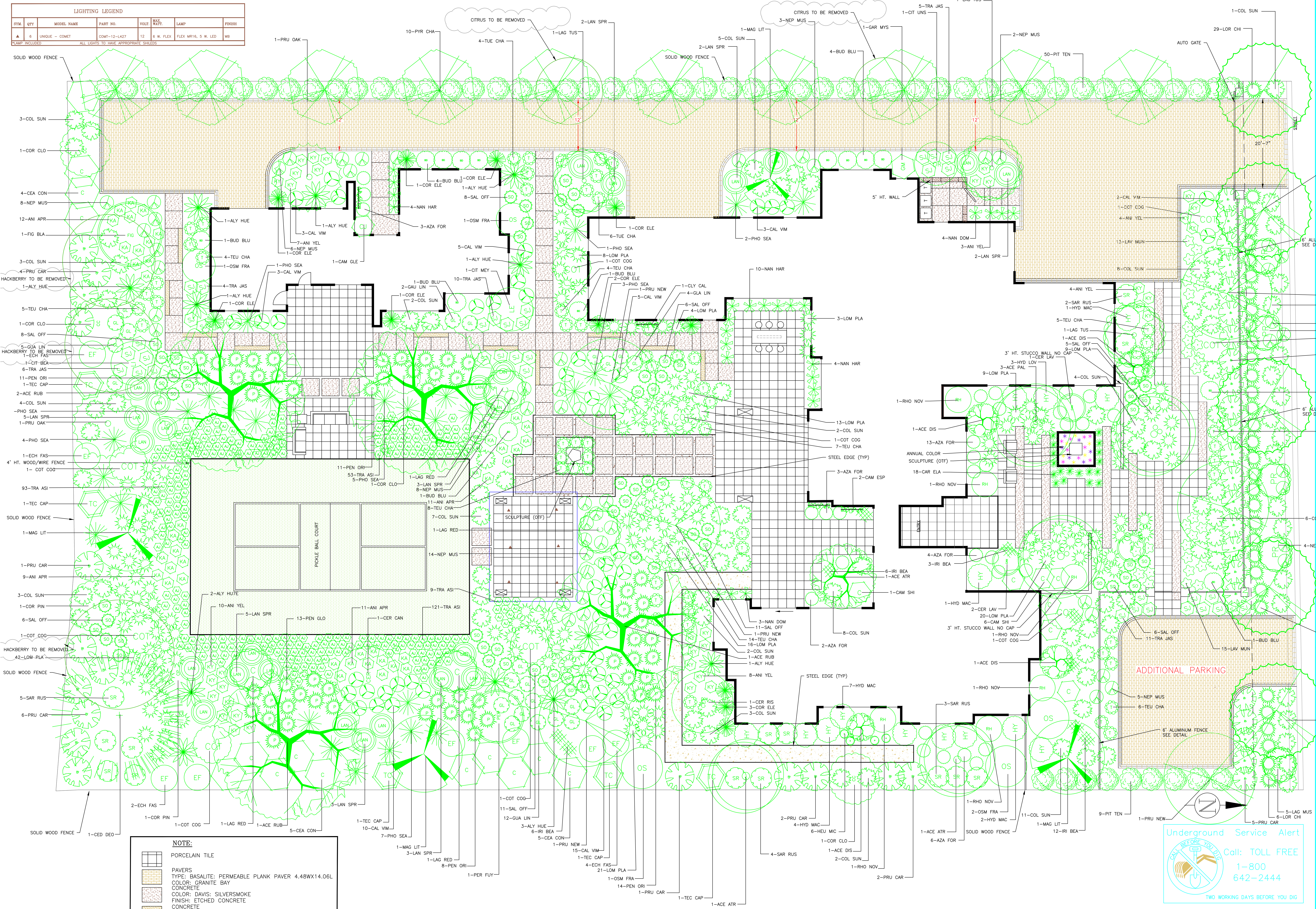
DATE: 4/20/21

PLANTING PLAN

HELPING HAND LANDSCAPE DESIGN, INC.
 1228 QUARRY LANE, SUITE E, PLEASANTON, CA 94566
 (925) 846-2933 HHLD3@AOL.COM

THE RESIDENCE OF
 LY & MAGGIE HOANG
 3747 TRENEY DR
 PLEASANTON, CA

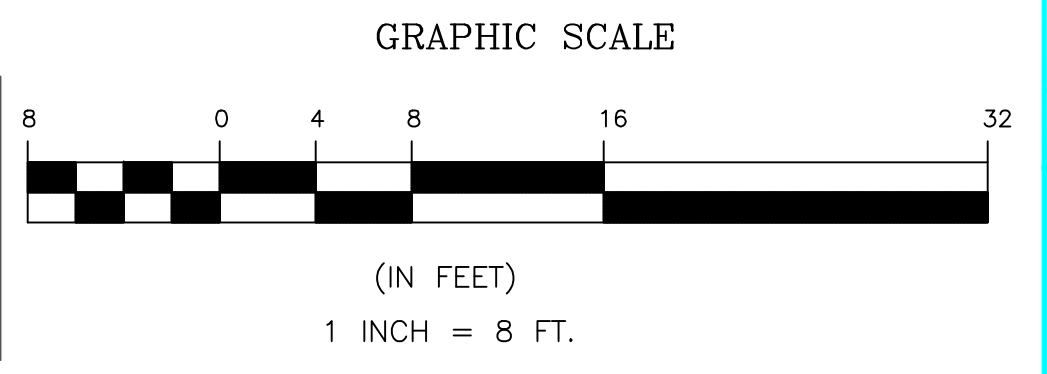
SHEET NO:
L-1
OF 4 SHEETS



NOTE:

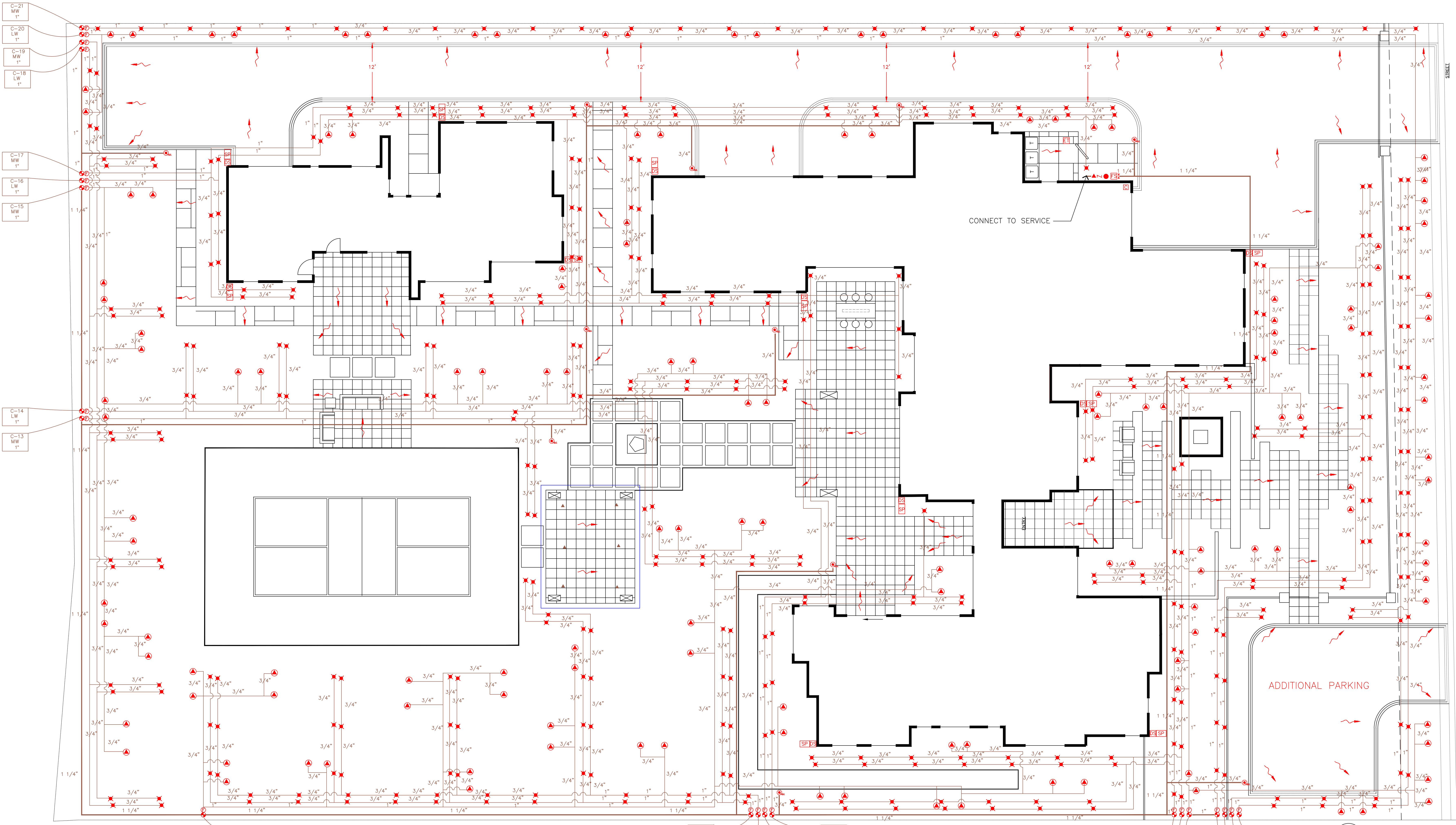
	PORCELAIN TILE
	PAVERS TYPE: BASALT; PERMEABLE PLANK PAVER 4.48X14.06L COLOR: GRANITE BAY CONCRETE
	COLOR: DAVIS; SILVERSMOKE FINISH: ETCHED CONCRETE
	COLOR: DAVIS; LIGHT GRAY FINISH: ETCHED CONCRETE
	QUARTER MINUS COLOR: BLUE/GREY
	HAND PICKED MEXICAN PEBBLE COLOR: BLUE/GREY
	WALLS: CMU BLOCK W/ STUCCO FASCIA

DESIGNED BY: ROBERT LUEHRS
 HELPING HAND LANDSCAPE DESIGN
 Signature: *Robert Luehrs*
 DATE: 11/03/21



SYM.	QTY.	MODEL NAME	PART NO.	VOLT.	MAX. WATT.	LAMP	FINISH
▲	6	UNIQUE - COMET	COMT-12-L427	12	6 W. FLEX	FLEX MR16, 5 W. LED	WB

CLAMP INCLUDED ALL LIGHTS TO HAVE APPROPRIATE SHIELDS



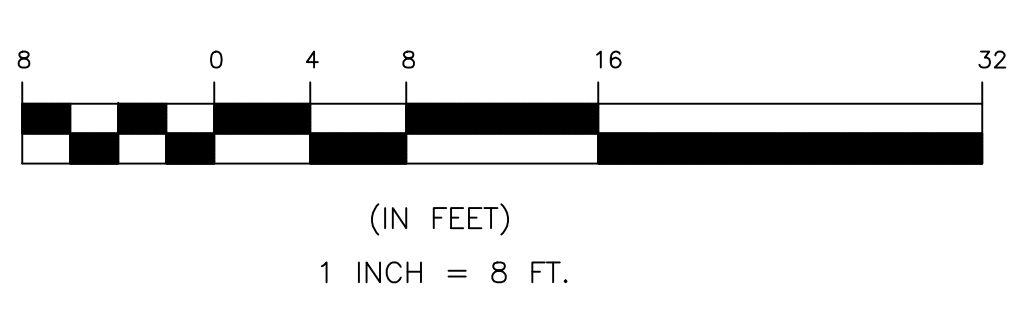
SYMBOL	DESCRIPTION
▲	DRIP BUBBLER: TORO DRIP BUBBLERS DB-04-PC
□	CONTROLLER: TORO EVOLUTION-EVO-4ID W/EDOD-12 EXPAN. MODULE
○	TORO-ET SENSOR - EVO-WS
⊗	REMOTE CONTROL VALVE: IRRITROL 700-1
⊕	BACKFLOW ASSEMBLY: FEBCO 825Y
⊖	AMIAI FILTER / SENNINGER PRESSURE REGULATOR
⊙	QUICK COUPLER: 3/4" RAINBIRD 33DRC
⊚	DRIP STUB-UP FOR CONNECTION TO POLY PIPE
—	MAIN LINE - P.V.C. SCH 40
—	LATERAL LINE - P.V.C. CLASS 200 (CLASS 315 FOR 1/2")
—	WATER FLO

SYMBOL	DESCRIPTION
---	4" PERFORATED DRAIN PIPE AT THE BASE OF ALL RETAINING WALLS
—	OLD CASTLE PRECAST 2" TURF TEK CHANNEL GRATE
—	DEDICATED 1" WATER METER
—	BADGER #55 SUB WATER METER
—	1" NIBCO T113-IRR BRASS GATE VALVE
—	MASTER VALVE SUPERIOR 3300150
—	FLOW SENSOR HFS-FCT-100
—	AUTOMATIC RAIN SHUTOFF:
—	PRESSURE REGULATOR: WATTS 25AUB
—	SPLASH PLATE
—	DOWN SPOUTS

DRAINAGE NOTES:

1. ALL DIRECT ROOF RUNOFF TO DISPERSE INTO VEGETATED AREA
2. ALL DIRECT ROOF SIDEWALKS, WALKWAYS AND/OR PATIOS TO DISPERSE INTO VEGETATED AREA
3. THE DRIVEWAY WILL BE USING PERMEABLE PAVERS.

DESIGNED BY: ROBERT LUEHRS
 HELPING HAND LANDSCAPE DESIGN
 Signature: *Robert Luehrs*
 DATE: 11/03/21



Underground Service Alert

Call: TOLL FREE 1-800-642-2444

TWO WORKING DAYS BEFORE YOU DIG

SCALE: 1"=8'-0"

④	BL
③	11/03/21 BL
②	6/23/21 BL
①	6/3/21 BL
REVISIONS	BY

DATE: 4/20/21

IRRIGATION PLAN

HELPING HAND LANDSCAPE DESIGN, INC.
 1228 QUARRY LANE, SUITE E, PLEASANTON, CA 94566
 (925) 846-2933
 HHLD3@AOL.COM

THE RESIDENCE OF
LY & MAGGIE HOANG
 3747 TRENEY DR
 PLEASANTON, CA

LY & MAGGIE HOANG

HYDROZONE SUMMARY		
*Hydrozone Description	Total Sq. Ft.	% of Landscape
Cool Season Turf (CST)	0	0.0%
Warm Season Turf (WST)	0	0.0%
High Water Use Plants (HW)	0	0.0%
Bioretention Plants (BR)	0	0.0%
Medium Water Use Plants (MW)	9,024	41.6%
Low Water Use Plants (LW)	12,672	58.4%
Very Low Water Use Plants (VLW)	0	0.0%
Water Feature	0	0.0%
Special Landscape Area (SLA)	0	0.0%
TOTAL	21,696	100.0%

**Irrigation Method	Total Sq. Ft.	% of Landscape
Rotor (FC-R, PC-R)	0	0.0%
Multi-Stream Rotator (MR)	0	0.0%
Spray (S)	0	0.0%
Bubbler (B)	1,835	8.5%
Drip (D)	0	0.0%
In-Line Drip (DL)	19,861	91.5%
Micro Spray (MS)	0	0.0%
Other (O)	0	0.0%
TOTAL	21,696	100.0%

CITY OF PLEASANTON
LANDSCAPE WATER USE STATEMENT

PROJECT NAME: LY & MAGGIE HOANG
PROJECT ADDRESS: 3747 TRENERY DR
PLEASANTON, CA
PREPARED BY: JANET S. LUIERIS, CID, CLIA #43274
BROOKWATER INC., IRRIGATION CONSULTANTS
480 SAINT JOHN STREET, SUITE 220
PLEASANTON, CA 94586
925-855-0417
925-855-0357 (FAX)
janet@brookwater.com (e-mail)

I have complied with the criteria of the Water Efficient Landscape Ordinance and applied them accordingly for the efficient use of water in the irrigation design plan.

Signed: *Janet Luiers*

PART ONE MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

MAWA = Eto x .62 x [(ETAFx HA) + ((1-ETAF) x SLA)]

YEARLY Eto	46.2
CONVERSION FACTOR	0.62
ETAF	0.55
TOTAL IRRIGATED LANDSCAPE AREA (HA)	21,096 SQUARE FEET
SPECIAL LANDSCAPE AREA (SLA)	0 SQUARE FEET
LANDSCAPE WATER ALLOWANCE	341,803 GALLONS PER YEAR
TOTAL ACRE FEET	1.05 ACRE FEET

PART TWO ESTIMATED TOTAL WATER USE (ETWU)

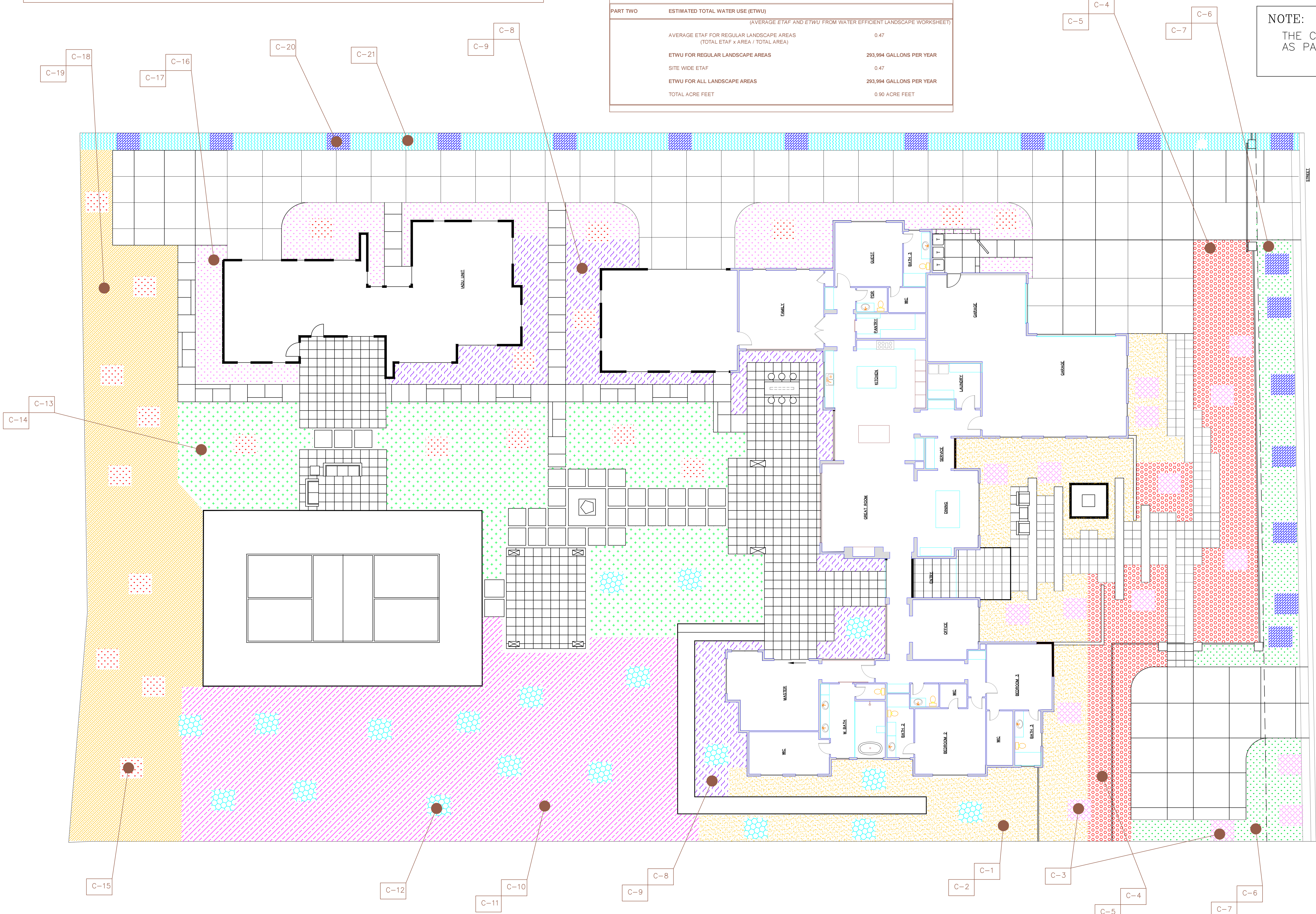
(AVERAGE ETAF AND ETWU FROM WATER EFFICIENT LANDSCAPE WORKSHEET)

AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS (TOTAL ETAF x AREA / TOTAL AREA)	0.47
ETWU FOR REGULAR LANDSCAPE AREAS	293,994 GALLONS PER YEAR
SITE WIDE ETAF	0.47
ETWU FOR ALL LANDSCAPE AREAS	293,994 GALLONS PER YEAR
TOTAL ACRE FEET	0.90 ACRE FEET

LY & MAGGIE HOANG
WATER EFFICIENT LANDSCAPE WORKSHEET

Reference Evapotranspiration (Eto) 46.2

ZONE NO	PLANT TYPE	HYDROZONE* (PLANT WATER USE)	PLANT FACTOR (PF)	IRRIGATION METHOD**	IRRIGATION EFFICIENCY (IE)	ETAF (PFIE)	HYDROZONE AREA (HA) (Sq. Ft)	ETAF x HA	ESTIMATED TOTAL WATER USE (ETWU)	% LANDSCAPE AREA
REGULAR LANDSCAPE AREA										
C-1	SHRUB	LW	0.30	DL	0.81	0.37	1,095	394	11,298	4.9%
C-2	SHRUB	MW	0.50	DL	0.81	0.62	1,298	795	22,774	5.1%
C-3	TREE	MW	0.50	B	0.81	0.62	402	248	7,108	1.9%
C-4	SHRUB	LW	0.30	DL	0.81	0.37	1,540	570	16,338	7.1%
C-5	SHRUB	MW	0.50	DL	0.81	0.62	409	252	7,232	1.9%
C-6	SHRUB	LW	0.30	DL	0.81	0.37	656	243	6,959	3.0%
C-7	SHRUB	MW	0.50	DL	0.81	0.62	483	298	8,540	2.2%
C-8	SHRUB	LW	0.30	DL	0.81	0.37	154	57	1,634	0.7%
C-9	SHRUB	MW	0.50	DL	0.81	0.62	1,443	891	25,514	8.7%
C-10	SHRUB	LW	0.30	DL	0.81	0.37	3,280	1,207	34,585	15.0%
C-11	SHRUB	MW	0.50	DL	0.81	0.62	992	612	17,540	4.6%
C-12	TREE	MW	0.50	B	0.81	0.62	478	295	8,452	2.2%
C-13	SHRUB	LW	0.30	DL	0.81	0.37	2,310	856	24,507	10.6%
C-14	SHRUB	MW	0.50	DL	0.81	0.62	763	471	13,491	3.5%
C-15	TREE	MW	0.50	B	0.81	0.62	528	326	9,336	2.4%
C-16	SHRUB	LW	0.30	DL	0.81	0.37	1,017	377	10,789	4.7%
C-17	SHRUB	MW	0.50	DL	0.81	0.62	420	259	7,426	1.9%
C-18	SHRUB	LW	0.30	DL	0.81	0.37	2,670	989	28,326	12.3%
C-19	SHRUB	MW	0.50	DL	0.81	0.62	522	322	9,230	2.4%
C-20	TREE	MW	0.50	B	0.81	0.62	427	264	7,550	2.0%
C-21	SHRUB	MW	0.50	DL	0.81	0.62	859	536	15,365	4.0%
TOTALS (REGULAR LANDSCAPE AREAS)							21,696	10,294	293,994	100.0%



NOTE:
THE CONTRACTOR SHALL SUBMIT A SOIL ANALYSIS REPORT AS PART OF THE 'CERTIFICATE OF COMPLETION.'

JANET S. LUIERIS
Certified Irrigation Designer
CID
006435

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Underground Service Alert
Call: TOLL FREE
1-800-642-2444
TWO WORKING DAYS BEFORE YOU DIG

GRAPHIC SCALE
0 4 8 16 32
(IN FEET)
1 INCH = 8 FT.

SCALE: 1"=8'-0"

4	BL
3	BL
2	6/23/21
1	6/3/21
REVISIONS	BY

DATE: 4/20/21

HYDROZONE PLAN

HELPING HAND
LANDSCAPE DESIGN, INC.
1228 QUARRY LANE, SUITE E, PLEASANTON, CA 94566
(925) 846-2933 HHLDD3@AOL.COM

THE RESIDENCE OF
LY & MAGGIE HOANG
3747 TRENERY DR
PLEASANTON, CA

SHEET NO:
L-4
OF 4 SHEETS