

**Architects**

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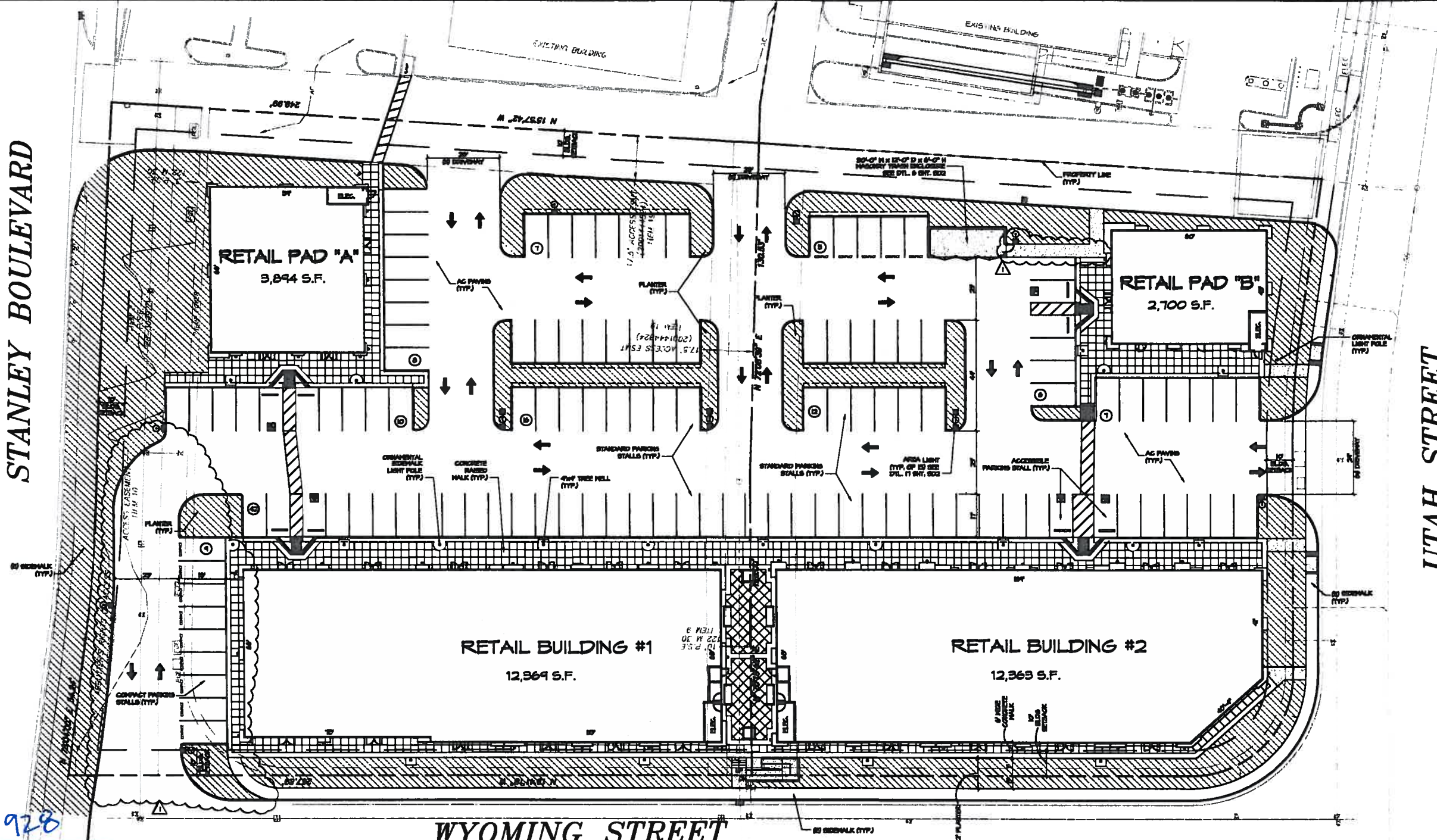
STANLEY CENTER  
 RETAIL SHOPPING CENTER  
 STANLEY BOULEVARD & WYOMING STREET  
 PLEASANTON, CALIFORNIA

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STANLEY BOULEVARD

UTAH STREET

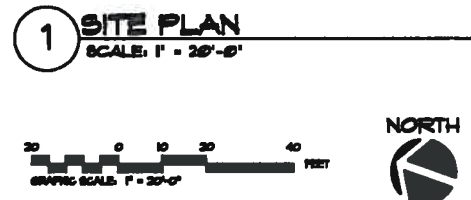
WYOMING STREET



PDR-928  
 RECEIVED

DEC 07 2010  
 CITY OF PLEASANTON  
 PLANNING DIVISION

EXHIBIT B



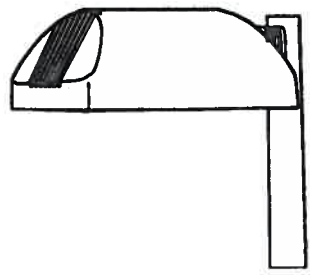
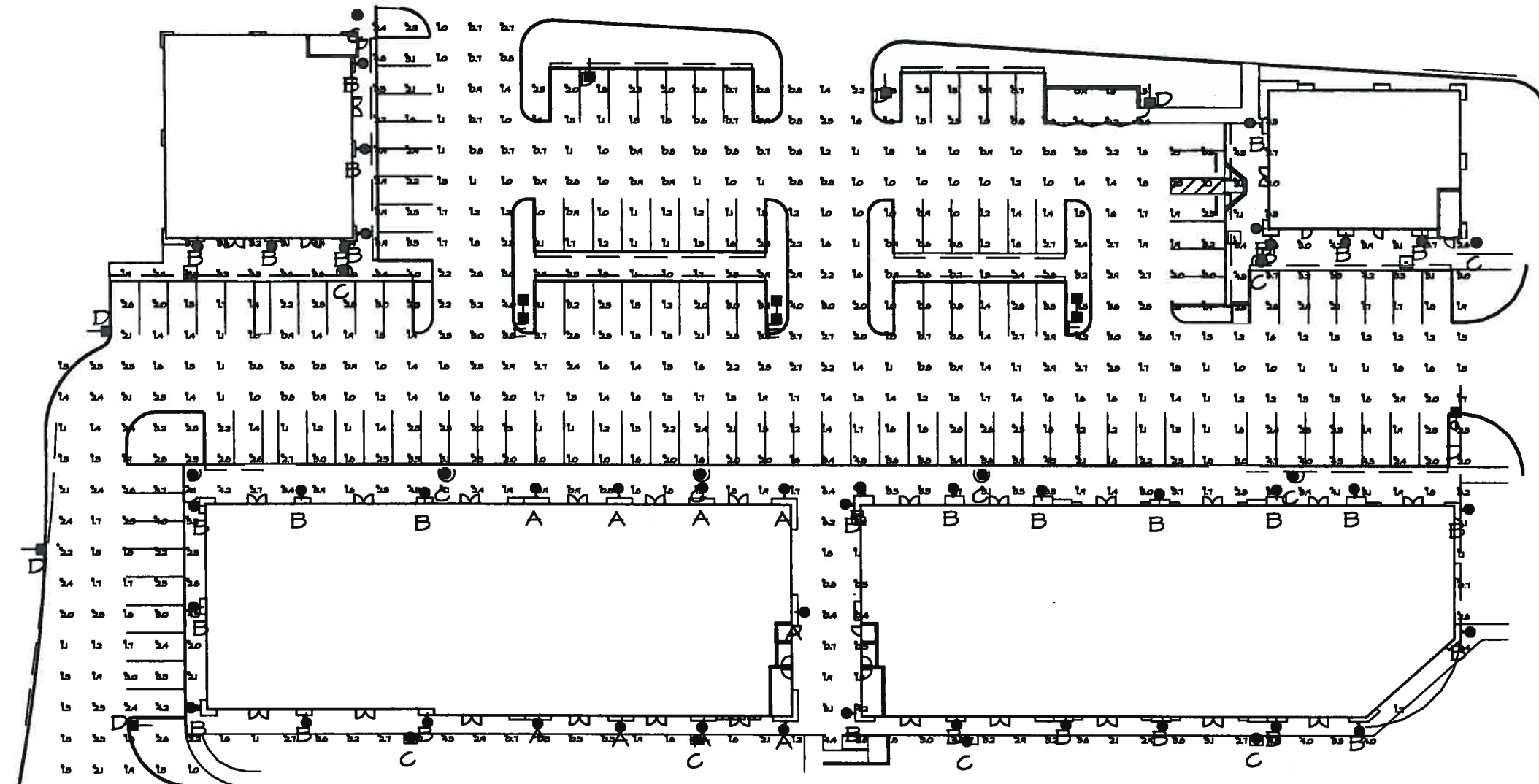
VICINITY MAP	SITE INFORMATION	SITE PLAN LEGEND	DRAWING INDEX
	<p>APN 446-0243-001 &amp; 002                      JURISDICTION: CITY OF PLEASANTON                      ZONING: PD-C                      REZONING:                      ADJACENT TO STREETS: 10 FEET                      REAR: 10 FEET                      SIDE: 0 FEET                      BARNS: REQUIREMENTS:                      1 SPACE PER 500 S.F. 500 S.F. / 500 = 105                      PARKING REQUIRED: 105 SPACES                      PARKING PROVIDED: 103 SPACES                      STANDARD PARKING STALLS (TYP): 103                      COMPACT PARKING STALLS (TYP): 14                      ACCESSIBLE PARKING STALLS (TYP): 2                      VAN ACCESSIBLE PARKING STALLS (TYP): 2                      SIDE COVERAGES:                      SITE: 88,941 S.F. (0.008)                      BUILDINGS: 25,127 S.F. (0.269)                      LANDSCAPING: 17,126 S.F. (0.182)                      IMPERVIOUS AREA: 81,877 S.F. (0.791)</p>	<p><b>NEW LANDSCAPING</b></p> <p><b>NEW CONCRETE PAVING</b></p> <p>4 FT. WIDE (MIN) ACCESSIBLE ROUTE OF TRAVEL. SHALL NOT EXCEED 5% SLOPE IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE</p> <p>EXISTING TO REMAIN</p>	<p>SD1 SITE PLAN                      SD1-L SITE LIGHTING PLAN                      SD2 SITE DETAILS                      G-1 PRELIMINARY GRADING &amp; DRAINAGE PLAN                      L-1 CONCEPTUAL LANDSCAPE PLAN                      A21 BUILDING #1- BUILDING ELEVATIONS                      A22 BUILDING #2- BUILDING ELEVATIONS                      A23 RETAIL PAD 'A' &amp; 'B'- BUILDING ELEVATIONS                      A24 BUILDING #1- COLORED BUILDING ELEVATIONS                      A25 BUILDING #2- COLORED BUILDING ELEVATIONS                      A26 RETAIL PAD 'A' &amp; 'B'- COLORED BUILDING ELEVATIONS</p>
<p><b>PROJECT TEAM</b></p> <p><b>ARCHITECT</b>                      M I ARCHITECTS, INC.                      2860 GAMBO DIABLO, SUITE 100                      WALNUT CREEK, CA 94591                      TEL: 925 297-1174                      FAX: 925 449-2941                      CELL: 925 878-4875                      MR. NUTANNA BIRNBAUM, ARCHITECT</p> <p><b>DEVELOPER</b>                      STANLEY CENTER, LLC                      P.O. BOX 1004                      SAN JOSE, CA 95071                      TEL: (408) 64-0443                      FAX: -                      CELL: -                      MR. MICHAEL ANSMAN</p>			<p>NO. DATE DESCRIPTION                      1 12-07-10 SD1 SITE PLAN                      2 12-07-10 SD1-L SITE LIGHTING PLAN                      3 12-07-10 SD2 SITE DETAILS                      4 12-07-10 G-1 PRELIMINARY GRADING &amp; DRAINAGE PLAN                      5 12-07-10 L-1 CONCEPTUAL LANDSCAPE PLAN</p>

NO. DATE DESCRIPTION  
 1 12-07-10 SD1 SITE PLAN  
 2 12-07-10 SD1-L SITE LIGHTING PLAN  
 3 12-07-10 SD2 SITE DETAILS  
 4 12-07-10 G-1 PRELIMINARY GRADING & DRAINAGE PLAN  
 5 12-07-10 L-1 CONCEPTUAL LANDSCAPE PLAN

PROJECT # 06-205  
 DRAWN BY: [ ] CHECKED: MR  
 SCALE: AS NOTED DATE: 12-07-10

SD1

STANLEY BOULEVARD



CHALLENGER

UTAH STREET

WYOMING STREET

**Title 24 Site Lighting**  
Lighting Zone 3

RETAIL SITE  
7  
PLEASANTON, CA  
92911  
12/8/2008

	Power Allowance				
	Area (ft <sup>2</sup> )	(w/TC)	Ref. Table	Allowed Wattage	Written LNF/Load
Total Area	63,228.00				

General Site Illumination

	Buildings	0.00		
Drive	0.00	0.15	147-A	0.00
Walkways	0.00	0.17	147-A	0.00
Parking Area Hardscape	63228.00	0.15	147-A	9,483.90
<b>*Total - General Site Illumination</b>				<b>9,483.90</b>
				<b>9,344.00</b>

This calculation of outdoor power allowance is only an estimate. This information is provided as a courtesy and only includes wattage estimates for LED industrial products for the purpose of obtaining a Certificate of Compliance. The engineer and architect must determine applicability of this estimate to any existing or future field conditions.

**1 SITE LIGHTING PLAN**  
SCALE: 1" = 20'-0"



Estimated Area Summary

Label	Area	Max	Min	Avg/Min	Max/Min
PARKING AREA SURROUND	176	4.0	0.6	3.0	5.0

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lenses	LLP	Description	Total Watts
1	8	B	SINGLE	8000	G.C.D	8000-PT-10-PHP	64
2	4	A	SINGLE	1300	G.C.D	1300-PT-10-PHP	52
3	1	C	SINGLE	1400	G.C.D	1400-PT-10-PHP	112
4	1	D	SINGLE	1300	G.C.D	1300-PT-10-PHP	104
5	1	E	DRIP	8000	G.C.D	8000-PT-10-PHP	64

Rev.	Date	By

**LEI INDUSTRIES**  
LIGHTING PROPOSAL FOR  
RETAIL CENTER  
PLEASANTON, CA  
DRAWN BY: LO-82811  
DATE: 12-8-08



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STANLEY CENTER  
RETAIL SHOPPING CENTER  
STANLEY BOULEVARD & WYOMING STREET  
PLEASANTON, CALIFORNIA

PROJECT #: 08-205  
DRAWN: LEI CHECKED: MB  
SCALE: AS NOTED DATE: 12-8-08

**SD1-L**

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and architect must determine applicability of the layout to existing or future field conditions.



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**SICE**  
STEVAN NAKASHIMA  
CONSULTING CIVIL ENGINEER  
1430 HOLLY AVENUE  
LOS ALTOS, CA 94024  
PHONE (650)884-8219  
FAX (650)884-8229  
(SIGNED) S.N.

SEAL	DATE	DESCRIPTION

PRELIMINARY GRADING &  
DRAINAGE PLAN  
PROJECT # 08-205/0882  
DRAWN BY SHH CHECKED BY SHH  
AS SHOWN DATE 12-12-08

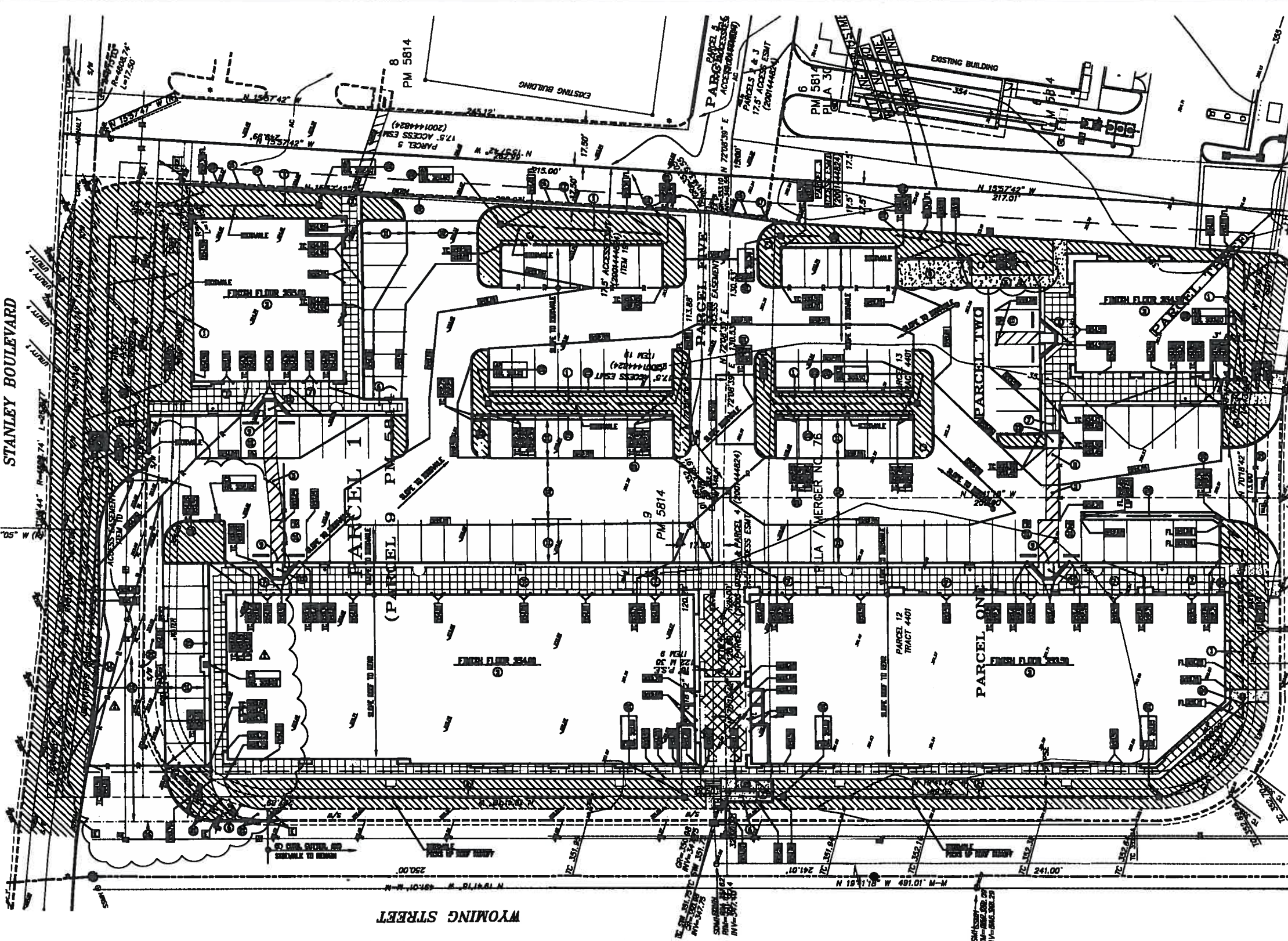
PROPOSED	EXISTING	PROPERTY LINE
---	---	PROPERTY LINE
---	---	SPOT ELEVATION
---	---	SWITCH CONTOUR
---	---	TOP OF CURB
---	---	EDGE OF PAVEMENT
---	---	FLOW LINE
---	---	SWITCH VALLEY
---	---	SWITCH RIDGE
---	---	SWITCH EXISTING GROUND
---	---	A.C. PAVING
---	---	CONCRETE
---	---	CURB
---	---	STORM DRAIN
---	---	BOUNDARY BEWER
---	---	WATER
---	---	OPEN DRAIN
---	---	CLEANSOUT TO GROUND
---	---	STORM MANHOLE
---	---	SEWER MANHOLE
---	---	GPS
---	---	TELEPHONE
---	---	ELECTRICAL
---	---	CLEANSOUT TO FLOOR
---	---	TOP OF WALL

**KEY NOTES**

- GO SIDEWALK - SEE LANDSCAPE PLANS FOR DETAIL.
- NOT USED.
- PROVIDE 4" CONCRETE SLAB - SEE STRUCTURAL FOR REINFORCING OVER 2" SAND, 6" MIN. SLOPE OVER 4" DRAIN RIGID.
- PROVIDE 6" CONCRETE SLAB W/VELOCITIES/ST/ OR 60 AT 18" OC, OVER 2" CL. 2 AGGREGATE BASE.
- PROVIDE NEW ACCESSIBLE PATH WITH MAXIMUM 2% CROSS - SLOPE AND SLOPE IN THE DIRECTION OF TRAVEL OF LESS THAN 2%.
- PROVIDE NEW CONCRETE WALK WITH MAXIMUM 2% CROSS - SLOPE AND SLOPE IN THE DIRECTION OF TRAVEL LESS THAN 2%.
- PROVIDE CONCRETE WALK/LANDINGS WITH MAXIMUM 2% SLOPE IN ANY DIRECTION.
- PROVIDE 4" AC LANDING WITH MAXIMUM 2% SLOPE IN ANY DIRECTION.
- PROVIDE FLUSH CURB.
- PROVIDE NEW AC PAVING WITH MAXIMUM SLOPE IN ALL DIRECTIONS OF 2% AT ALL ACCESSIBLE PARKING SPACES. VERIFY LOCATION WITH ARCHITECTURAL DRAWINGS.
- PROVIDE 2 1/2" AC OVER 6" CL. 2 AGGREGATE BASE.
- PROVIDE 3" AC OVER 10 1/2" CL. 2 AGGREGATE BASE.
- PROVIDE CONCRETE CURB RAMP WITH MAXIMUM 2% SLOPE AND WITH SLOPE GREATER THAN 2%.
- PROVIDE MAXIMUM 2% SLOPE.
- PROVIDE CONCRETE DRIVE APRON PER CITY STANDARD.
- SAWCUT 60 AC PAVING AND REMOVE.
- PROVIDE NEW CONCRETE CURB 6" ABOVE 60 AC. SEE STA. PATCH DETAIL 3/C/L.
- PROVIDE 6" CURB CUT TO SIDEWALK.
- RAISE 60 ELEVATION TO 60 FINISH GRADE AND PROVIDE NEW SOLID COVER.
- PROVIDE 60 OR 60 GRADE 3" ABOVE FLOW LINE OF SWALE.
- REMOVE 60 CURB, BUTTER, AND SIDEWALK.
- REMOVE 60 BERM.
- PROVIDE 1'-6" WIDE CONCRETE GUTTER WITH CURB ON EACH SIDE.
- PROVIDE 16 LF OF PVC 36" OR 36" S.D. UNDER WALK.
- PROVIDE CONCRETE CURB AND GUTTER.
- PROVIDE CONCRETE GUTTER.
- PROVIDE CONCRETE RAMP.

**GENERAL NOTE**

- REFER TO THE GEOTECHNICAL REPORT BY GEOTECHNICAL ENGINEERS, INC. PROJECT NO. 08-001 DATED JULY 20, 2008 FOR THE REQUIREMENTS FOR SITE CLEARING, GRADING, EXCAVATION, COMPACTED, AND FILL MATERIAL. RECOMMENDATIONS AS OUTLINED IN THE REPORT SHALL BECOME REQUIREMENTS FOR THIS DEVELOPMENT.
- STENCIL ALL CATCH BASINS "NO DUMPING, DRAINS TO BAY" USING APPROVED STORMWATER LOGO.
- ALL EXISTING CURB, GUTTER, AND SIDEWALK ALONG THE ENTIRE FRONTAGE OF THE SITE SHALL BE REPAIRED OR RECONSTRUCTED, AS DIRECTED BY THE CITY'S PUBLIC WORKS INSPECTOR TO CONFORM TO CITY STANDARDS, PRIOR TO RECEIVING AN OCCUPANCY PERMIT FOR THE NEW BUILDING.



**PRELIMINARY GRADING AND DRAINAGE PLAN**



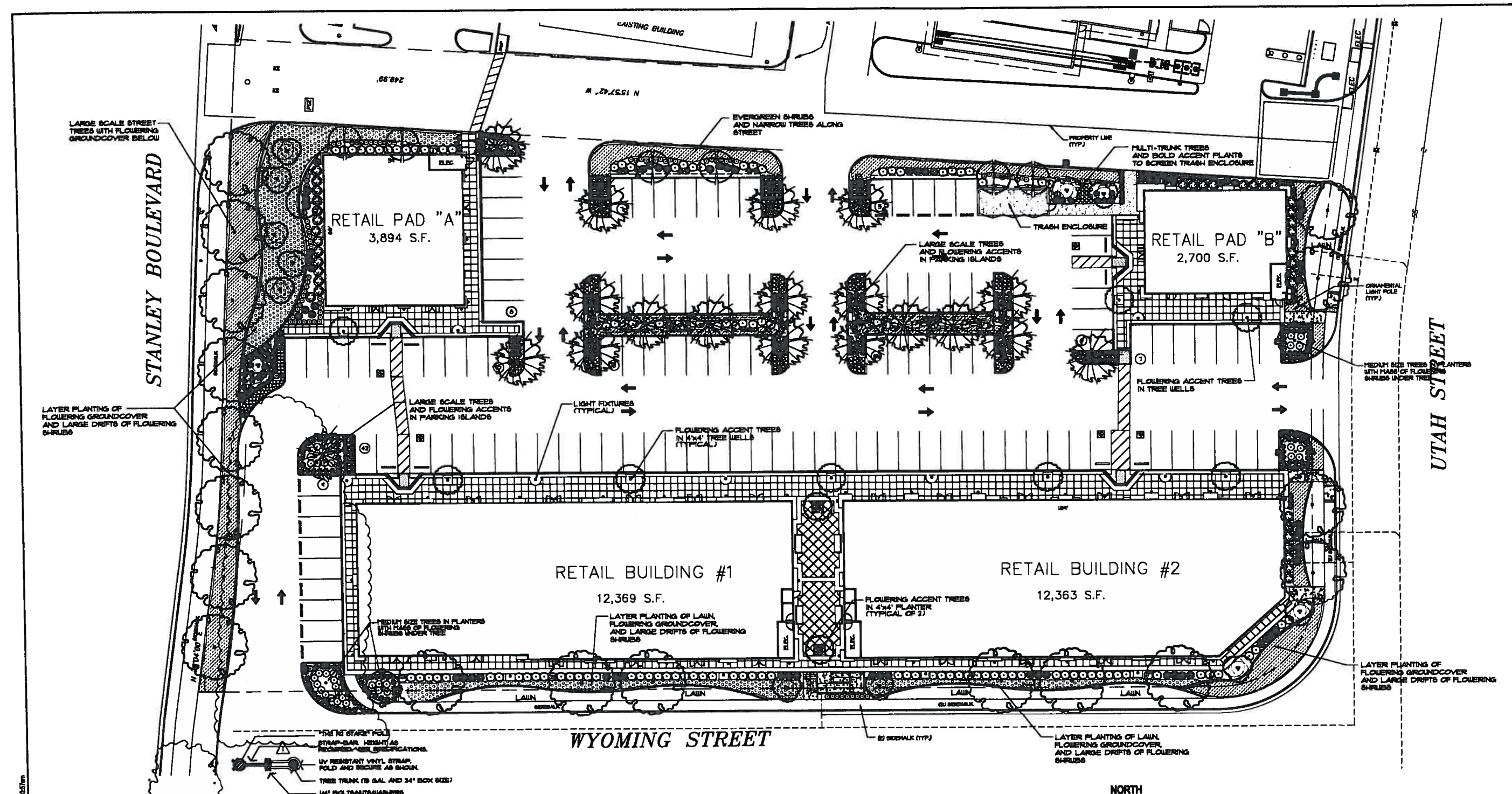
SCALE: 1" = 20'-0"



STEVAN N. NAKASHIMA, CONSULTING CIVIL ENGINEER 12/12/2008 1:01 AM 08823484

STANLEY BOULEVARD

WYOMING STREET



**CONCEPTUAL LANDSCAPE PLAN**



CONCEPTUAL LANDSCAPE PLAN IS PRELIMINARY AND SUBJECT TO CHANGES PER THE LOCAL GOVERNMENT REVIEW PROCESS. DO NOT USE THESE PLANS FOR CONSTRUCTION.

**GENERAL LANDSCAPE NOTES**

ALL LANDSCAPE AREA SHALL BE WATERED WITH A BURIED, AUTOMATICALLY CONTROLLED IRRIGATION SYSTEM. LOW VOLUME MFR NOZZLES AND DRIP WILL BE USED WHERE APPROPRIATE FOR WATER CONSERVATION.

ALL LANDSCAPE AREAS SHALL BE COVERED WITH A 2" LAYER OF BARK MULCH TOP DRESSING.

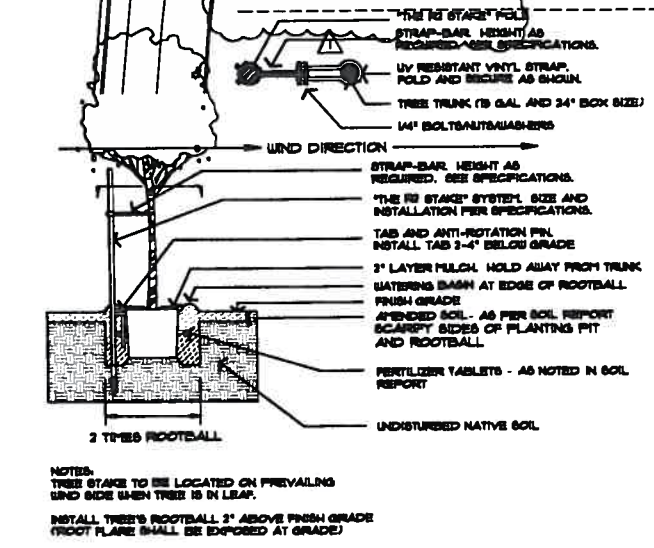
ALL TREES SHALL BE INSTALLED AT A MINIMUM OF 15 GAL. SIZE. ALL SHRUBS SHALL BE INSTALLED AT A 5 GAL. SIZE, EXCEPT ACCENT AND GROUNDCOVER SHRUBS.

**CONCEPTUAL PLANT LIST**

SYMBOL	SIZE	BOTANICAL NAME	CULTIVAR NAME
	B GAL	LAGERSTROEMIA H. 'TUSCARORA'	MULTI-TRUNK GRAPE MYRTLE
	B GAL	LAGERSTROEMIA H. 'TUNKEEGEE'	STANDARD GRAPE MYRTLE
	B GAL	PISTACIA CHINENSIS	CHINESE PISTACHE
	B GAL	PLATANUS XACERPOLIA	LONDON PLANE TREE
	B GAL	PYRUS CALLERYANA	FLOWERING PEAR
	B GAL	PRUNUS CERASIFERA	FLOWERING PLUM

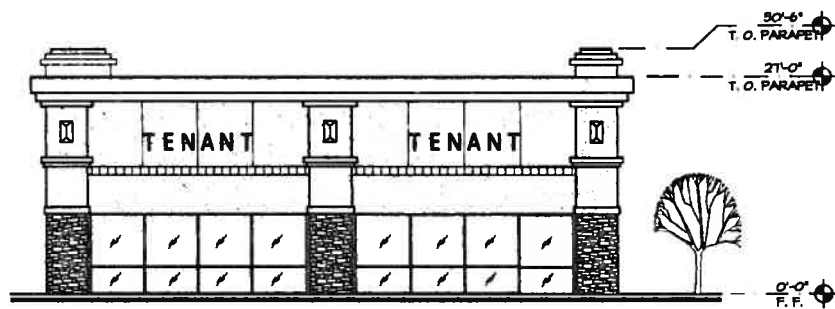
**TREE PLANTING AND STAKING DETAIL**

CONTACT J. R. PARTNERS = (888) 333-3678 FOR TREE STAKES

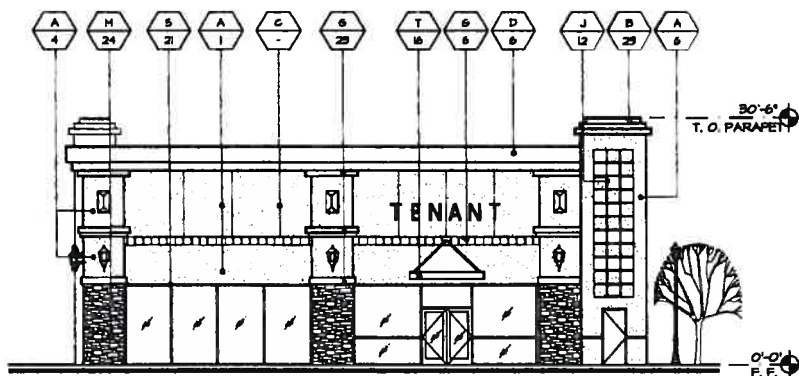




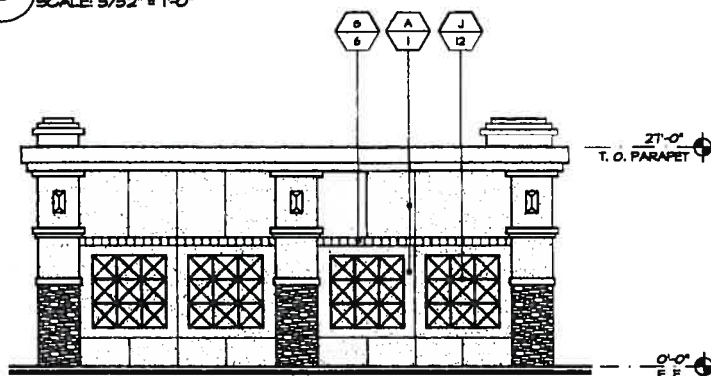




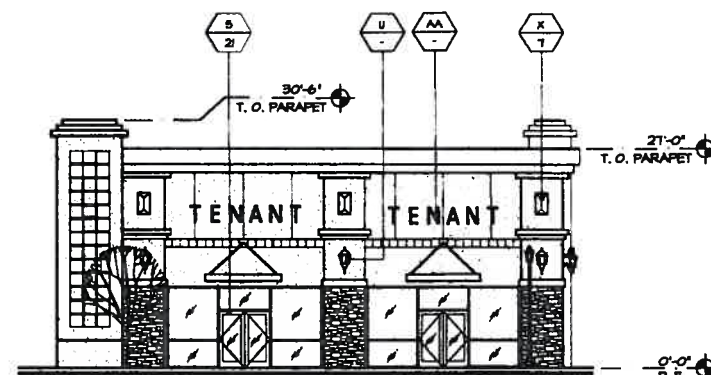
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SCALE: 3/32" = 1'-0"



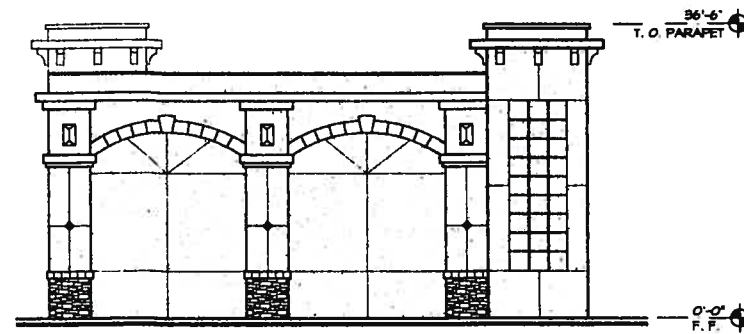
**B RETAIL PAD "A" S. ELEVATION**  
SCALE: 3/32" = 1'-0"



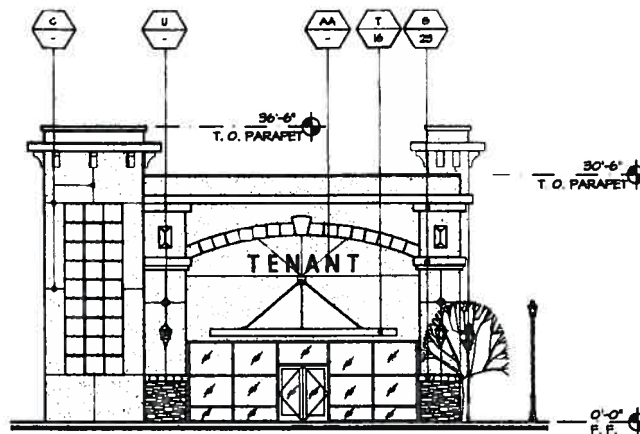
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SCALE: 3/32" = 1'-0"



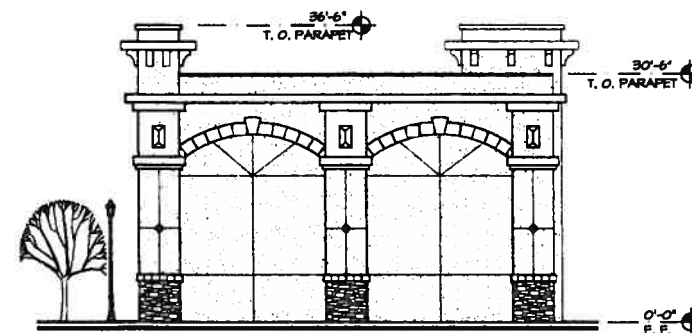
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SCALE: 3/32" = 1'-0"



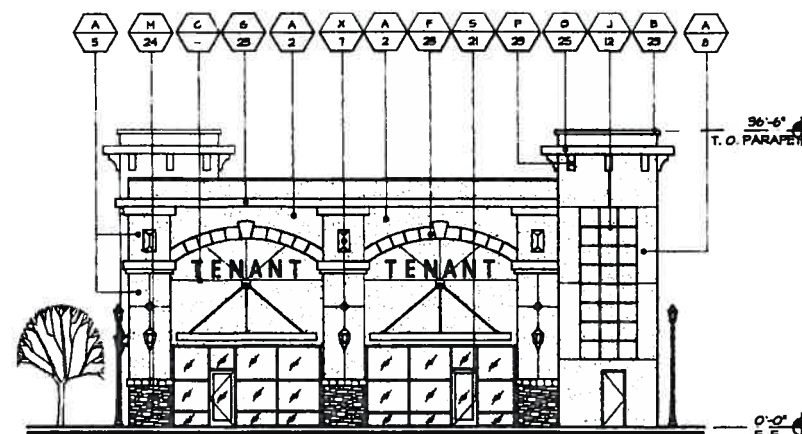
**E RETAIL PAD "B" E. ELEVATION**  
SCALE: 3/32" = 1'-0"



**F RETAIL PAD "B" N. ELEVATION**  
SCALE: 3/32" = 1'-0"



**G RETAIL PAD "B" S. ELEVATION**  
SCALE: 3/32" = 1'-0"



**H RETAIL PAD "B" W. ELEVATION**  
SCALE: 3/32" = 1'-0"

MATERIALS	FINISHES
A SMOOTH FINISH CEMENT PLASTER	1 LA HABRA X-11 "MAH PEACH"
B SMOOTH FINISH CEMENT PLASTER CORNICE	2 LA HABRA X-12 "ADOBE"
C CEMENT PLASTER CONTROL JOINT	3 LA HABRA X-13 "EGG SHELL"
D E.J.P.S. CORNICE (PAINTED)	4 LA HABRA X-046 "SOUTHERN MOSS"
E E.J.P.S. FRIEZE (PAINTED)	5 LA HABRA X-26 "PURE MORTAR"
F E.J.P.S. MOLDING	6 LA HABRA X-218 "TRABUCO"
G E.J.P.S. BAND	7 ICI # 515 "BANKER ROOF"
H 1" ALUMINUM REVEAL	8 ICI # 562 "COFFERBRIGHT"
I 2" 90 STEEL TUBE TERRILLIS	9 ICI # 520 "COPPER"
J 3" 90 STEEL TUBE TERRILLIS	10 ICI # 264 "DEEP RISSET"
K STEEL TUBE TERRILLIS	11 ICI # 412 "FORTRESS STONE"
L STONE VENEER	12 ICI # 1025 "BANKER HILL"
M BRICK VENEER	13 ICI # 411 "SAN VALLEY"
N WOOD FINISH CORNICE	14 ICI # 304 "CLAY POT"
O WOOD CORBEL	15 ICI # 46 "GREY FACADE"
P E.J.P.S. CORBEL	16 ICI # 525 "HERON GREY"
Q E.J.P.S. PLASTER	17 ICI # 1626 "ARMOR GREY"
R ALUMINUM STOREFRONT	18 ICI # 1406 "BLACKBERRY PARCH"
S METAL ANCHOR & CABLE SUPPORT	19 ICI # 308 "BROWN LEATHER"
T EXTERIOR WALL SCANCE	20 ICI # 121 "CLASSIC BURGUNDY"
U METAL ROOFING	21 VISTAMALL STUNCOZ "STONE WHITE"
V TILE FINISH	22 H.C. MADDOX "OLD TOWN RED"
W SCULPTSTONE MEDALLION	23 LA HABRA X-50 "CRYSTAL WHITE"
X SCULPTSTONE FRIEZE (PAINTED)	24 EL DORADO STONE RUSTIC LEDGE "SOLIDIA"
Y H.I. DOOR & FRAME (PAINTED)	25 ICI # 1064 "WHITE PINS"
AA TENANT SIGN (TYP) SEE DET. 16 SHY. 502	



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NO.	DATE	DESCRIPTION

PROJECT #: 06-205  
DRAWN: HA CHECKED: M  
SCALE: AS NOTED DATE: 12/25/06

**A2.3**

S:\1-Projects\06-205 Stanley Center\Draw\Planning\06-205-06g Elevating modified by mthoan 1 of Dec 14, 2006 - 11:45am





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**A** RETAIL BUILDING #1 EAST ELEVATION  
SCALE: 3/32" = 1'-0"



**C** RETAIL BUILDING #1 SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"



**D** RETAIL BUILDING #1 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"

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- ISSUED FOR PLAN CHECK
- ISSUED FOR PERMITS

NO.	DATE	DESCRIPTION

BUILDING #1  
ELEVATIONS

PROJECT # 06 205

DRAWN: HA CHECKED: MII

SCALE: AS NOTED DATE: 00/00/00

A2.1

SHEET OF



**A** RETAIL BUILDING #2 EAST ELEVATION  
SCALE: 3/32" = 1'-0"



**C** RETAIL BUILDING #2 SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"



**D** RETAIL BUILDING #2 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"

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ISSUED FOR CONSTRUCTION	
ISSUED FOR PLAN CHECK	
ISSUED FOR PLANNING	
NO	DATE DESCRIPTION
△	
△	
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△	
BUILDING # 2 ELEVATIONS	
PROJECT #	06-205
DRAWN BY	HA
CHECKED BY	MI
SCALE	AS NOTED
DATE	00/00/00

S:\Projects\06\_205 Stanley Center\Drawings\Exterior\06\_205\_Bldg\_Ext\_elevs.mxd by mthano on Dec 07, 2006 8:00am



**A** RETAIL PAD "A" N. ELEVATION  
SCALE: 3/32" = 1'-0"



**B** RETAIL PAD "A" S. ELEVATION  
SCALE: 3/32" = 1'-0"



**D** RETAIL PAD "A" W. ELEVATION  
SCALE: 3/32" = 1'-0"



**F** RETAIL PAD "B" N. ELEVATION  
SCALE: 3/32" = 1'-0"



**G** RETAIL PAD "B" S. ELEVATION  
SCALE: 3/32" = 1'-0"



**H** RETAIL PAD "B" W. ELEVATION  
SCALE: 3/32" = 1'-0"

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ISSUED FOR PLANNING		
NO.	DATE	DESCRIPTION
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RETAIL PAD "A" & "B" ELEVATIONS		
PROJECT #: 06-205		
DRAWN: HA	CHECKED: MII	
SCALE: AS NOTED DATE: 00000000		