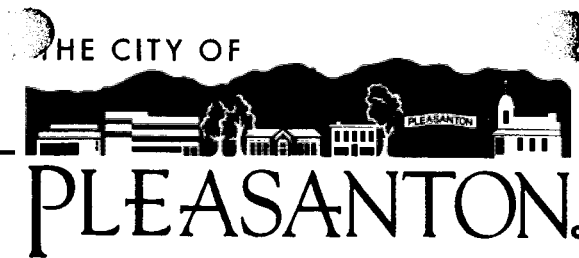


EXHIBIT A
Discussion Questions

1. Would the Planning Commission support the demolition of the house at 205 Neal Street?
2. Does the Planning Commission find the historic evaluation, prepared by the applicant, acceptable?
3. Would it be appropriate to reduce the setbacks and separation requirements for the subject site?
4. Should tandem parking in the front yard setback be allowed?
5. Is the building design appropriate for the site?
6. Is the attached garage located at the front of the house appropriate for the site?



April 28, 2009

Mr. David Cunningham
2463 Pomino Way
Pleasanton, CA 94566

Dear Mr. Cunningham:

RE: Case PREV-751, Preliminary Review for 205/215 Neal Street

Thank you for your submittal to the City of Pleasanton for your preliminary review application to demolish the dwelling unit at 205 Neal Street and construct a new 1,200 sq. ft., two-story second unit. City staff has reviewed this proposal and has generated the following comments:

Site Information

General Plan Land Use: Medium Density Residential

Downtown Specific Plan Land Use: Medium Density Residential

Zoning: R-1-6,500 (One-Family Residential) District.

Prior Applications

PMS-21 – Minor Subdivision (Parcel Map 8223) was approved on June 5, 2003 to subdivide the existing lot into two lots: 221 Neal Street (Lot A) was listed as 9,337 sq. ft. and 215 Neal Street (Lot B) was listed as 11,074 sq. ft.

PV-103 – Variance application submitted to allow a tandem space to be used for the required uncovered parking space for the existing single-family home at 215 Neal Street. The application was withdrawn on July 21, 2004, as the applicant submitted a revised plan that met the parking requirement without the need for a tandem space.

PV-148 – Variance was approved June 8, 2006 to allow the rear yard of 215 Neal St. to be 80 ft. deep, where a 100-ft. minimum is required. The depth of the lot was reduced as a result of the Lot Line Adjustment. Lot Line Adjustment (PLLA-84) was the related case.

P. O. Box 520, Pleasanton, CA 94566-0802

200 Old Bernal Avenue

Planning & Community Development
(925) 931-5600
Fax: 931-5483

Building Inspection
(925) 931-5300
Fax: 931-5478

Utility Billing
(925) 931-5425
Fax: 931-5485

Business License
(925) 931-5440
Fax: 931-5485

PLLA-84 – Lot Line Adjustment was approved August 30, 2006, transferring 1,646 sq. ft. from 221 to 215 Neal Street by adjusting the common side property line. 215 Neal St. was reduced to 9,428 sq. ft. and 221 Neal St. was increased to 10,983 sq. ft.

Comments on the Current Proposal

1. Site Development Standards – The proposed second unit does not comply with the following Municipal Code requirements:
 - Height and Stories: Second units are limited to one-story and 15-ft. in height (measured from the lowest grade adjacent to the structure to the tallest part of the structure).
 - Front yard setback: A 23-foot minimum front yard setback is required.
 - Separation: Accessory structures exceeding 15 ft. in height need to be separated at least 20 ft. from any structure exceeding 15 ft. in height. Accessory structures exceeding 15 ft. in height need to be separated at least 17 ft. from any structure less than 15 ft. in height. Based on the height and location of the existing 215 Neal house shown on the elevation, the second unit would not meet the separation requirement. In addition, the second unit might not meet the separation requirement from the existing shed on the property and the home and detached garage on the adjacent 4512 Second St. property.

Staff would not support variances for any of the above deficiencies.

Please note that the two dwellings which exist on this property are pre-existing non-conforming in the sense that there were two pre-existing units on one lot zoned R-1-6,500. Therefore, neither house is subject to the Zoning Ordinance provisions for second units (i.e., one has to be owner-occupied) and new construction would need to follow the site development standards of the R-1-6,500 District for a main dwelling unit:

- Height: 30-foot maximum, measured from the average grade that the building intersects to the mean height between the roof ridge and its corresponding eave.
- Setbacks: Front = 23-foot minimum; Rear = 20-foot minimum (see exceptions below*); Sides = 5-foot minimum on one side/12-foot minimum total combined side yards.

*Section 18.84.090.E permits one-story portions of a new home to be setback to within 15 feet of the rear property line provided there remains a single unobstructed open space area of 1,560 sq. ft. in the side or rear yards which has a minimum dimension of not less than 15 feet.

*Section 18.84.090.E permits one-story additions to be setback to within 15 feet of the rear property line provided there remains a single unobstructed open space area of 1,040 sq. ft. in the side or rear yards which has a minimum dimension of not less than 15 feet.

- Separation: At the time of initial construction, a main structure exceeding 15 feet in height shall be separated at least 20 feet from another main structure exceeding 15 feet in height; however, if only one of the main structures exceeds 15 feet in height, then a 17-foot minimum separation is required. One- and two-story additions can be built with the same separation as the existing dwelling.
 - Floor Area Ratio (FAR): 40% maximum, measured by adding the total area of the homes and accessory buildings on a lot, excluding garage areas used for required off-street parking, divided by the lot area.
2. Demolition – The Downtown Specific Plan (DTSP) has a policy that states: Require the completion of the State of California Department of Parks and Recreation Survey Form-523 to develop and document a statement of historic significance prior to the issuance of demolition permits for any historic resource older than 50 years. Evaluate these properties using the State of California criteria for the California Register of Historic Resources. The DTSP also has the following policy: Prohibit the demolition of any building found to be historically significant with regard to the California Register criteria unless such building is determined by the Chief Building Official to be unsafe or dangerous, and if no other reasonable means of rehabilitation or relocation can be achieved. The Downtown Design Guidelines indicate that demolition of buildings over 50 years of age is generally discouraged and that remodeling is encouraged over replacement.

The house at 215 Neal Street was built in 1890 and is listed in the Downtown Specific Plan Environmental Impact Report as an historic resource. The structure is also listed as an historic structure in the Draft General Plan. In 2003, the City hired Architectural Resource Group (ARG) to complete Department of Parks and Recreation (DPR) survey forms for several Downtown properties, including 215 Neal Street. The DPR survey (attached) indicates that the house at 215 Neal Street has a high level of integrity and has an even greater level of significance since it was associated with one of Pleasanton's early families. No mention was made of the smaller house at 205 Neal Street. Therefore, a historic evaluation/DPR form for the smaller house would need to be conducted if you wish to pursue the demolition of the smaller house. The historic evaluation/DPR form would need to be conducted by a consulting firm specializing in historic evaluation and/or preservation. In general, staff finds the smaller house to be quaint and adds to the Downtown character. Therefore, staff recommends that the smaller house be retained (even if it is determined not to be historic) and be added onto versus demolition.

3. Design (comments based on the front elevation) – The design should be revised to better follow an architectural style found Downtown. Staff recommends that you follow the architectural style of the house at 215 Neal St. and incorporate a front porch into the design. Any proposed garages should be detached and located behind the dwelling.
4. Parking – A single-family dwelling is normally required to provide two off-street parking spaces, one which is covered (i.e., in a garage or carport). Tandem parking is not allowed. It appears that there are two uncovered tandem spaces along the west side of the smaller house. This existing, non-conforming condition may remain as long as these spaces are not removed or altered.

5. A tree report prepared by a certified arborist acceptable to the City (please see attached list) will be required with the formal application. The report must specify the precise location, size, and species of the existing trees on the site, including any trees off the property with driplines that overhang into the proposed construction. The report must determine the health and value of the existing trees, the effects of the proposed development on the trees, and recommendations for any special precautions necessary for their preservation. Any trees that are proposed to be removed or pruned must be clearly indicated in the report and on the site plan.
6. Building and Safety Division Comment – The eave would need to be set back at least four feet from the side property line for a non-sprinklered building.
7. On future submittals, please submit a complete site plan showing the entire property with all property lines, existing structures, existing curb cut and driveway (and any proposed modifications), and existing trees. Provide a table indicating the lot area and the area of the two dwellings plus any accessory buildings (e.g., sheds).
8. Pleasanton Heritage Association – Staff will forward the application to the Pleasanton Heritage Association (PHA) for their comments once you submit revised plans responding to the above comments. The PHA mentioned at a recent meeting that they were aware of your proposal and would not support the demolition of the small house.
9. Adjacent Neighbors – If you haven't done so already, we recommend that you speak with your neighbors to discuss the project and attempt to address any concerns that they may have.

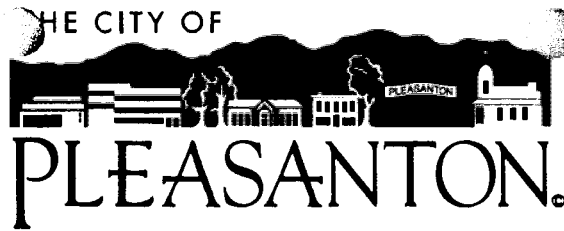
If you have any questions regarding the aforementioned or would like to schedule a meeting with me to discuss this letter, please do not hesitate to contact me at 925-931-5608.

Sincerely,



Steve Otto
Associate Planner

Cc: Charles Huff, A.I.A.



July 7, 2010

Via US Mail

Charles Huff A.I.A.
4441 Railroad Avenue, Suite B
Pleasanton, CA 94566

Re: PREV-781 / 205 Neal Street

Request to demolish the dwelling unit located at 205 Neal Street and construct a new 1,753 square-foot two-story unit.

Dear Mr. Huff:

Thank you for your preliminary review application regarding the above referenced project. Staff has reviewed your revisions from the previous preliminary review comments given under Case No. PREV-751 and is providing you with the following comments:

Comments on the Current Proposal

1. Demolition – The Downtown Specific Plan (DTSP) has a policy that states: Require the completion of the State of California Department of Parks and Recreation Survey Form-523 to develop and document a statement of historic significance prior to the issuance of demolition permits for any historic resource older than 50 years. Evaluate these properties using the State of California criteria for the California Register of Historic Resources. The DTSP also has the following policy: Prohibit the demolition of any building found to be historically significant with regard to the California Register criteria unless such building is determined by the Chief Building Official to be unsafe or dangerous, and if no other reasonable means of rehabilitation or relocation can be achieved. The Downtown Design Guidelines indicate that demolition of buildings over 50 years of age is generally discouraged and that remodeling is encouraged over replacement.

The house at 215 Neal Street was built in 1890 and is listed in the Downtown Specific Plan Environmental Impact Report as an historic resource. The structure is also listed as an historic structure in the General Plan. In 2003, the City hired Architectural Resource Group (ARG) to complete Department of Parks and Recreation (DPR) survey forms for several Downtown properties, including 215 Neal Street. The DPR survey indicates that the house at 215 Neal Street has a high level of integrity and has an even greater level of significance since it was associated with one of Pleasanton's early families. No mention was made of the smaller house at 205 Neal Street. Therefore, a historic evaluation/DPR form

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200 Old Bernal Ave. (925) 931-5600 Fax: 931-5483	200 Old Bernal Ave. (925) 931-5300 Fax: 931-5478	200 Old Bernal Ave. (925) 931-5650 Fax: 931-5479	200 Old Bernal Ave. (925) 931-5650 Fax: 931-5479	157 Main Street (925) 931-5680 Fax: 931-5484

for the smaller house would need to be conducted if you wish to pursue the demolition of the smaller house. The historic evaluation/DPR form would need to be prepared by a consulting firm specializing in historic evaluation and/or preservation. In general, staff finds the smaller house adds character to the Downtown residential area. Therefore, staff recommends that the smaller house be retained (even if it is determined not to be historic) and remodeled rather than demolished.

2. As discussed in the comment letter for Case No. PREV-751, new construction, including additions, would need to follow the site development standards of the R-1-6,500 District. Based on the revisions submitted on the current application, staff notes the following:

- **Setbacks:** The front yard setback is required to be 23-feet minimum. It does not appear that PMC sections 18.84.080 A. or B. could be used to allow a front yard setback less than 23-feet.
- **Separation:** At the time of initial construction, a main structure exceeding 15-feet in height shall be separated at least 20-feet from another main structure exceeding 15-feet in height; however, if only one of the main structures exceeds 15-feet in height, then a 17-foot minimum separation is required. One- and two-story additions can be built with the same separation as the existing dwelling. The plans indicate a 12-foot separation between the proposed project and the house at 215 Neal Street. A minimum of 17-feet of separation is required between the two structures. Furthermore, the separation to the rear of the house at 215 Neal Street scales at approximately 9-feet between the proposed second-story to the existing and approximately 7-feet 6-inches between the one-story of the existing house, which does not meet the separation requirements.
- **Lot Area:** In 2006, a Lot Line Adjustment (Case No. PLLA-84) was approved for the transfer of 1,646 square-feet from 221 to 215 Neal Street by adjusting the shared property line. This reduced the site area for 215 Neal Street from 11,074 square-feet to 9,428 square-feet. The lot information on the plans submitted for this application (Case No. PREV-781) indicates that lot size is 9,340 square-feet. Future plan submittals are required to reflect the accurate square-footage for the lot, 9,428 square-feet.
- **Floor Area Ratio (FAR):** 40% maximum, measured by adding the total area of the homes and accessory buildings on a lot, excluding garage areas used for required off-street parking, divided by the lot area. The

data table does not reflect the accurate FAR. The "New Total Area" is indicated as being 3,521 square-feet when it should be 3,531 square-feet (the Area of Existing House, 1,778 square-feet, plus the Area of New House, 1,753 square-feet, equals 3,531 square-feet). With a lot size of 9,428 square-feet and a "New Total Area" of 3,351 square-feet, the proposed FAR would be 37.45%. However, the plans indicate an accessory building that will remain on-site. Please be aware that this needs to be included in the FAR calculation and, therefore, square-footage and dimensions of the accessory structure are required on future plans.

3. Design – Staff encourages the property owner to retain the existing house and add onto it instead of demolishing and constructing a new home. Additions to the house should match the architectural style and detailing of the existing (smaller) house. Additions will be required to following the development standards of the R-1-6,500 zoning district (as noted in No. 2 above). If the property owner continues to pursue the construction of a new home without staffs support, then the new house should better match the architectural style, massing, detailing, etc. found in the older homes Downtown. Staff recommends that you follow the architectural style of the house at 215 Neal Street. In addition to this, future plans will be required to have consistent information. The north elevation and the Neal Street view elevation should reflect the same style of wood carriage garage door. Furthermore, per the Downtown Design Guidelines, garages should be detached and located behind dwellings.
4. Parking – Tandem parking is not allowed. However, there are currently two uncovered tandem spaces along the west side of the smaller house. This existing, non-conforming condition could remain as long as these spaces were not removed or altered. The current proposal has altered the tandem spaces and included a substandard attached garage on the front elevation.
5. A tree report prepared by a certified arborist acceptable to the City (please see attached list) will be required with the formal application. The report must specify the precise location, size, and species of the existing trees on the site, including any trees off the property with driplines that overhang into the proposed construction. The report must determine the health and value of the existing trees, the effects of the proposed development on the trees, and recommendations for any special precautions necessary for their preservation. Any trees that are proposed to be removed or pruned must be clearly indicated in the report and on the site plan.
6. Building and Safety Division Comment – It does not appear that the head clearance for the staircase meets Building Code requirements.

Applicant: Charles Huff
Project Address: 205 Neal Street
Application: PREV-781
July 7, 2010

7. Pleasanton Heritage Association – On May 11, 2010, staff forwarded this application to the Pleasanton Heritage Association (PHA) for their comments. Staff has not received their comments and, therefore, PHA comments will be provided to you under separate correspondence once received. Please note that the PHA previously mentioned to staff that they would not support the demolition of the small house.
8. Adjacent Neighbors – If you haven't done so already, we recommend that you speak with your neighbors to discuss the project and attempt to address any concerns that they may have.

If you have any questions, please do not hesitate to contact me at (925) 931 – 5613 or via e-mail at namos@ci.pleasanton.ca.us.

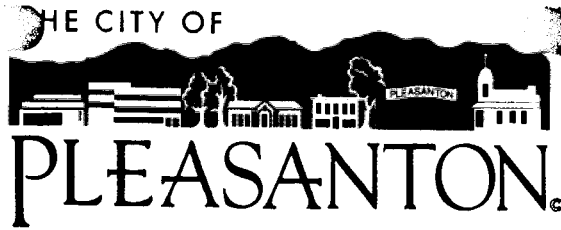
Sincerely,



Natalie Amos
Associate Planner

Enclosure: City Accepted Arborist List
Zoning Development Standards

Cc: Dave and Fran Cunningham, 205 Neal Street, Pleasanton, CA 94566
Pleasanton Heritage Association



September 21, 2010

Will-Call and U.S. Mail

Charles Huff A.I.A.
4441 Railroad Avenue, Suite B
Pleasanton, CA 94566

Re: PREV-781 / 205 Neal Street (Second Comment Letter)

Request to demolish the dwelling unit located at 205 Neal Street and construct a new 1,817 square-foot two-story unit.

Dear Mr. Huff:

Staff has reviewed your revisions from the previous preliminary review comments, given under staff's correspondence dated July 7, 2010, and is providing you with the comments listed below. Please note that staff's comments are in addition to the July 7, 2010 comments pertaining to demolition, site development standards, design, parking, etc. For your convenience, enclosed is the July 7, 2010 comment letter (excluding enclosures) for your reference.

Comments on the Revised Proposal

1. As discussed in the July 7, 2010 comment letter, new construction, including additions, would need to follow the site development standards of the R-1-6.500 District. Based on the revisions submitted on the current application, staff notes the following:
 - **Setbacks:** Pleasanton Municipal Code Section 18.84.120 C. (Projections into yards) requires a 12-foot minimum front yard setback for steps. As proposed, the steps encroach into the 12-foot setback and should be reconfigured in order to meet the setback requirement. Furthermore, Section 18.84.120 D. (Projections into yards) requires the unroofed balcony, above the front porch, to be setback 15-feet from the front property line (23-feet minus an 8-foot encroachment equals 15-feet).
 - **Separation:** At the time of initial construction, a main structure exceeding 15-feet in height shall be separated at least 20-feet from another main structure exceeding 15-feet in height; however, if only one of the main structures exceeds 15-feet in height, then a 17-foot minimum separation is required. One- and two-story additions can be built with the same separation as the existing dwelling. The plans indicate a 12-foot separation between the dining room wall of the proposed house and the existing house at 215 Neal Street. A minimum of 17-feet of separation is required between the two structures. Furthermore, the separation to the

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rear of the house at 215 Neal Street scales at approximately 7-feet from 205 Neal Street, which does not meet the separation requirements. Future plans should include measurements taken from the closest wall(s) of the proposed house, which, as proposed, are the kitchen and "gathering" room walls.

- **Lot Area:** The lot information on the revised plans is not consistent. Specifically, the data table indicates the lot size as 9,340 square-feet and 9,428 square-feet. Future plans shall reflect the accurate square-footage for the lot, 9,428 square-feet, based on City records.
 - **Floor Area Ratio (FAR):** 40% maximum is allowed, measured by adding the total area of the homes and accessory buildings on a lot, excluding garage areas used for required off-street parking, divided by the lot area. The data table does not reflect the accurate FAR. With a lot size of 9,428 square-feet and a "New Total Area" of 3,595 square-feet, the proposed FAR would be 38.13% and not 37.7%. However, this FAR calculation does not include the accessory structure for 215 Neal Street. Please be aware that square-footages of all sheds that are to remain on site need to be included in the FAR calculation and, therefore, square-footage and dimensions of the accessory structure(s) are required on future plans.
3. **Submittal Plans – Please note the following for future submittals:**
- Reduced and full size plans shall be consistent and show complete information on both sets of plans. This shall include, but is not limited to, plan notes, setbacks, tables/charts, site and floor plans, etc.
 - The site plan shows a rectangular area/space located on the west side of the front porch. This space is not shown on the floor plans or elevation drawings and appears to be located in front of the garage entry. Please remove this area/space from the plans or indicate what this area/space is on the site plan, floor plan and elevation drawings.
 - **Elevations – Please address the following in regards to the elevation drawings:**
 - i. The east elevation does not reflect the proposed windows in the gathering area on the first floor plan.
 - ii. The west elevation is not consistent with the garage floor plan. Specifically, the floor plan indicates an external door and not a
-

window, whereas the west elevation indicates a window. Please revise either the elevation or the floor plan for consistency.

- iii. The south elevation is not consistent with the first floor plan and west elevation. Specifically, the floor plan indicates an external door in the gathering area and not a window as reflected in the elevation. Also, the proposed window in the stair landing area is shown at the same height as the gathering area windows, which scales at approximately 2-feet from finished grade. However, there are 9 steps to the stair landing which would be more than 2-feet from ground level. Furthermore, the roof eave above the landing window scales at approximately 13-feet (finished grade to ridge) and the west elevation scales the roof eave at approximately 17-feet (finished grade to ridge). Please revise the south elevation to reflect the external door for the gathering area and the accurate height of the window in the stair landing and roof eave.
4. Demolition – Future submittals, whether preliminary or formal, shall include a proposed demolition plan.
5. Pleasanton Heritage Association (PHA) – Enclosed for your reference and consideration, is the comment letter from the PHA regarding the revised plans.

Historic Evaluation

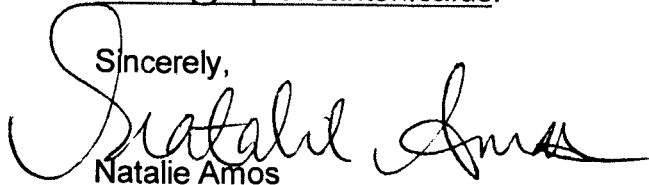
6. Completion of the State of California Department of Parks and Recreation Survey Form-523 shall be submitted with a formal application. The form shall be prepared by an architectural historian who has previously prepared such evaluations for the City or by someone who has demonstrated to the satisfaction of the Director of Community Development that they meet the qualifications stated in the Secretary of the Interior's and the State Office of Historic Preservation's professional qualification standards.

Should a formal application be submitted, the items noted in this letter and the July 7, 2010 comment letter should be addressed. For your convenience, enclosed is the informational brochure, submittal checklist and application form for Design Review.

Applicant: Charles Huff
Project Address: 205 Neal Street
Application: PREV-781 (Second Comment Letter)
September 21, 2010

If you have any questions, please do not hesitate to contact me at (925) 931 – 5613 / namos@ci.pleasanton.ca.us.

Sincerely,



Natalie Amos
Associate Planner

Enclosure: July 7, 2010 Comment Letter
PHA Comment Letter
Design Review Informational Brochure
Design Review Submittal Checklist
Application for Development Review

Cc: Dave and Fran Cunningham, 205 Neal Street, Pleasanton, CA 94566
Pleasanton Heritage Association

EVALUATION FOR HISTORIC SIGNIFICANCE

The following assessment considers the subject property for historic significance and integrity based on the specific evaluation criteria for listing of the National Register of Historic Places (NRHP), the California Register of Historic Resources (CRHR), and the Downtown Historic Resources List. Each of the 3 resources inventory's evaluation criteria asks more specific, increasingly local questions of concern. A resource that does not qualify for listing based on the National Criteria may still demonstrate significant integrity for California or Pacific Grove listing.

National Register of Historic Places Sec. 60.4 Criteria for Evaluation

The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and object that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:

- (a) that are associated with events that have made a significant contribution to the broad patterns of our history;

No, the site is not associated with events significant to the broad pattern of our history.

- (b) that are associated with the lives of persons significant in our past;

No, the site is not associated with the lives of persons significant to our past.

- (c) that embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack distinction;

No, this property does not possess individual distinction as a type, period or methods of construction, nor does it represent the work of a master or possess high artistic values. It does not represent a significant and distinguishable entity.

- (d) that have yielded, or may be likely to yield, information important in prehistory or history.

PRE-781
RECEIVED

MAR 09 2011

**CITY OF PLEASANTON
PLANNING DIVISION**

4441 Railroad Ave. Suite B
Pleasanton, CA 94566
925-462-9226
Fax 925-462-8444

No, the property has not and is not likely to yield information important to prehistory or history.

The California Environmental Quality Act (CEQA), PRC Sec. 21084.1

CEQA requires all properties fifty years of age or older to be reviewed for potential historic significance. Criteria for significance in PRC Sec. 5024.1 (a) asks;

1. Did any event of importance to the region, state, or nation occur on the property?

No such event is associated with this house.

2. Did anyone of great importance to the region, state or nation occupy the property during the productive period of their lives?

No evidence could be found of such a person occupying this property.

3. Does the building represent an important architectural type, period or method of construction, or is it a good example of a noted architect or master-builder?

No, while this particular building is typical and common to its period in Pleasanton, and represents a general architectural style, the building is not exemplary of an important architectural type. Neither is the method of construction important or unique though it is in a general way, reflective of the technology of the time. It is not the work of a noted architect or master-builder.

4. Is the property likely to yield information significant to the understanding of the areas history?

No, the individual property is unlikely to yield information significant to the understanding of the area's history. It is representative of what was typical when it was built.

The Subject Property is not listed in any of the following inventories of historic significance:

California Register of Historic Places
National Register of Historic Places

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Pleasanton, CA 94566
925-462-9226
Fax 925-462-8444

PREV-781, CUNNINGHAM

City of Pleasanton

GIS

Department

205 NEAL ST

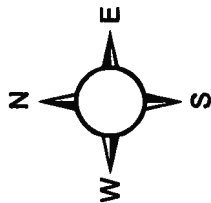
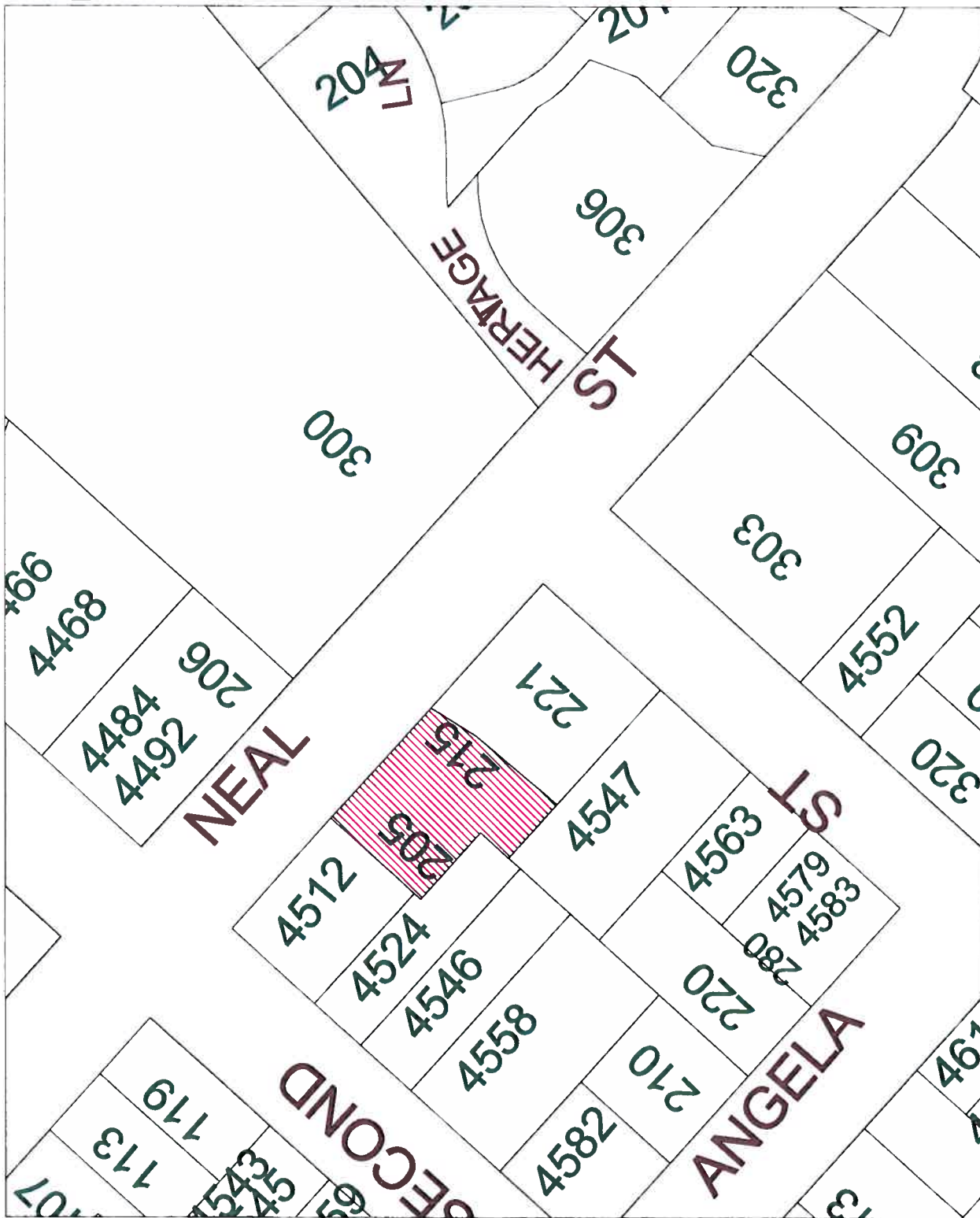


EXHIBIT E

Printed 3/30/2011



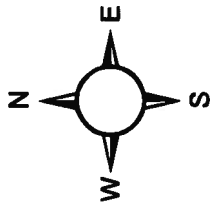
PREV-781, CUNNINGHAM

City of Pleasanton

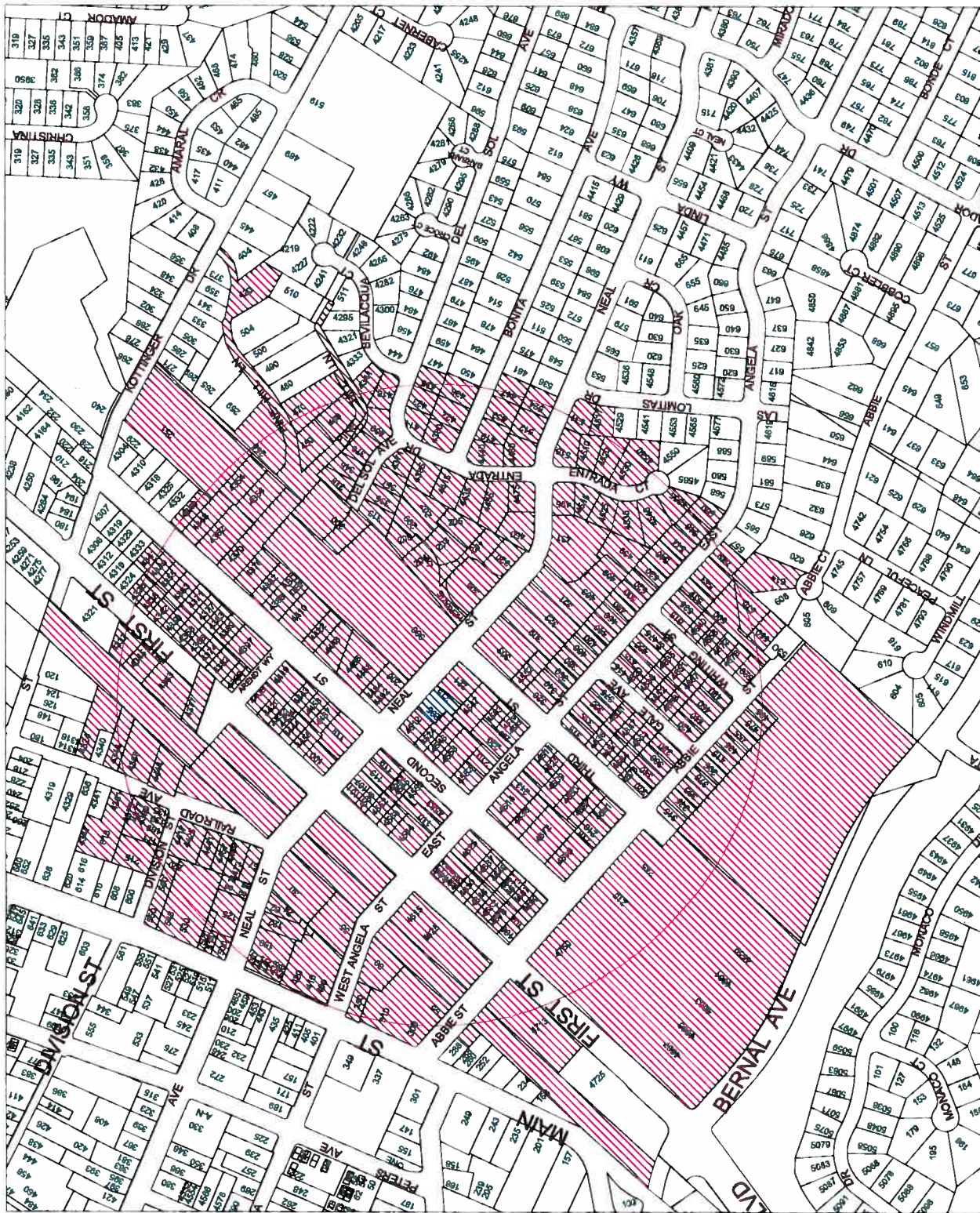
GIS

Department

205 NEAL ST



Printed 3/30/2011



Natalie Amos

From:
Sent: Tuesday, April 05, 2011 2:00 PM
To: Maria Hoey; Natalie Amos
Subject: PREV-781, Cunningham Property

Dear Planning Commissioners,

We object to the plans proposed by Mr. and Mrs. Cunningham to demolish the cottage at 205 Neal Street. We also object to placing an 1862 foot home on this very small area. We object to tandem parking, which leads to even more street parking. There are already two variances on this property, and to subject the neighborhood to even more unsuitable construction would be just WRONG.

Three neighbors have come to us, asking us to explain to them about these plans. Two comments have been, "We guess no one cares any more about this area", two have been, "What a shame", and another said, "What a mess!". We are also beginning to wonder; it feels like this neighborhood is constantly under seige. We have lived in our home at _____ for 36 years, and have never had a problem with a homeowner until the past few years. We are so sorry that this strife has occurred, but we must get serious about preserving Pleasanton's Historic District. Also, we are disturbed that Charles Huff, who labels himself as Pleasanton's historian, is involved with this plan.

Please drive over and take a look at this property. We find it amazing that a property owner and an architect would even propose this plan.

Sincerely,

Bonnie and Fred Krichbaum

Click [here](#) to report this email as spam.

Natalie Amos

From: Abrott, Arnie
Sent: Tuesday, April 05, 2011 12:27 PM
To: Natalie Amos
Cc: Abrott, Arnie
Subject: PREV-781

Hello Natalie,

I am one of the owners at [redacted] and am responding to the PREV-781 from the Cunninghams. I'll take a look at the documents when they are available later this week. We have a fence in common that needs to be replaced. Dave and I have talked about that so I'll be interested in what they plan to do with the fencing around the property when they build the new home. My main questions will be about the size and placement of the home, and what will be done with the existing landscaping (especially a large tree that is on the border of our properties). Will the plans be available for comment when the agenda is released? Otherwise, can I get any other information or plans from you via email?

Thank you,

Arnie Abrott

Click [here](#) to report this email as spam.

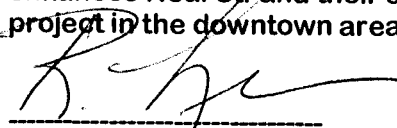
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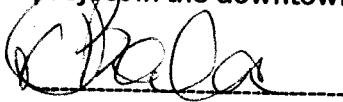
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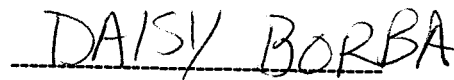
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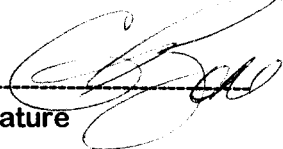
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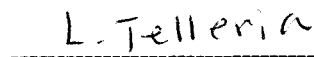
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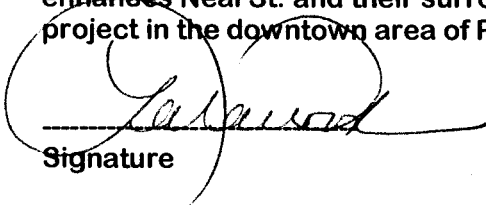
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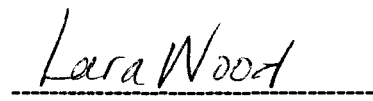
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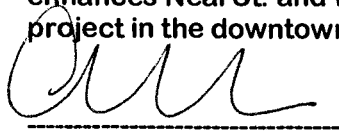
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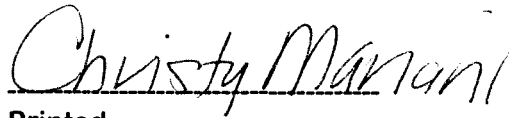
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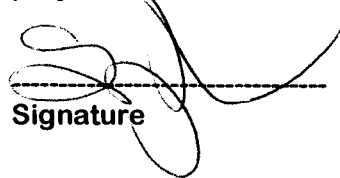
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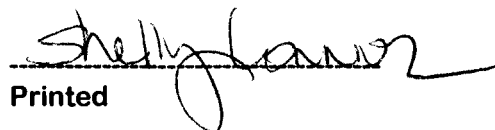
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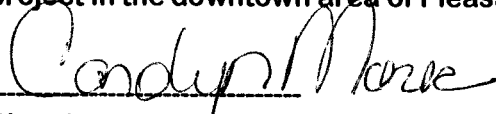
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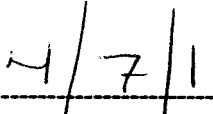
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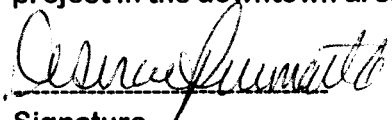
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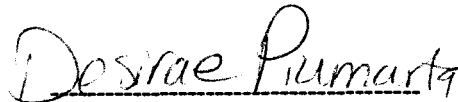
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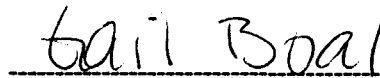
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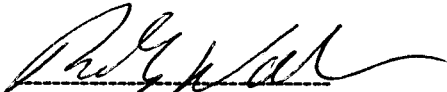
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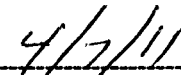
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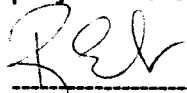
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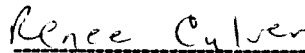
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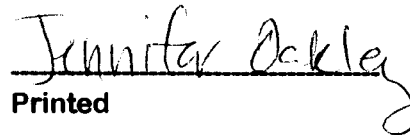
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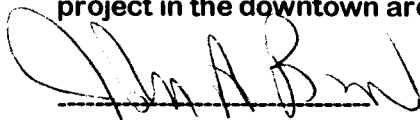
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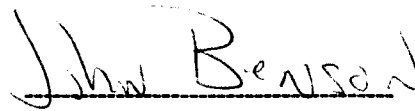
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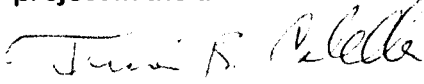
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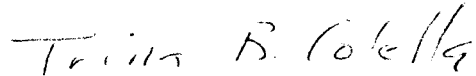
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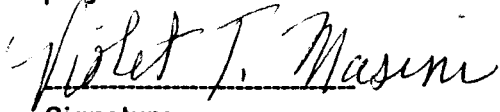
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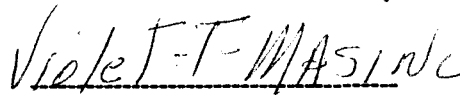
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We fully support Fran and Dave Cunningham in their pursuit of creating a home that truly enhances Neal St. and their surrounding neighbors. We welcome seeing the completed project in the downtown area of Pleasanton.



Signature



Printed

Note: I will meet you at the lot if you wish. Thank You Dave Cunningham


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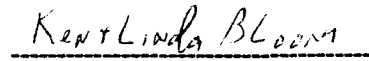
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LINDA ZAISS
Printed

RPM 

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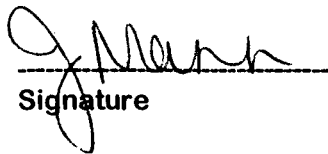
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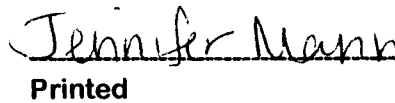
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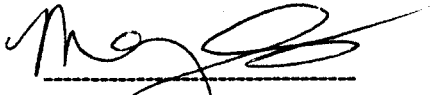
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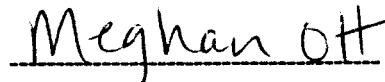
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Dave Cunningham

From: Robert ShApiro
Sent: Wednesday, April 06, 2011 12:06 PM
To:
Subject: Concurrence

Joyce Shapiro and Robert Shapiro support your proposed plan for your Neal street home

Sent from my iPad

**To: Natalie Amos
From: Dave & Fran Cunningham
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Signature

Printed

Brian Cullen

From: "Danielle Manyisha"
To:
Sent: Wednesday, April 06, 2011 11:35 AM
Attach: Scan_3.pdf
Subject: Proposed remodel of 205 Neal

Hi fellow agents, I have included the front and rear elevations of our proposed project for your review along with a letter below for signature if you support this proposal. I think it is extremely important that real estate agents are involved in this process. It is my firm belief that downtown Pleasanton is a jewel that all families treasure not just the ones that live or work downtown and we all should be involved in proposals like this.

To all:

If you agree please either print out and sign or email you concurrence back to me (Dave Cunningham)

Thank you for taking your time regarding my project.

To: Natalie Amos

From: Dave & Fran Cunningham

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A47B36A7DA2C431...
Brian Cullen
DocuSigned By: Brian Cullen

Signature

4/6/2011

Printed

Dave Cunningham

From: Sherrill Cody
Sent: Wednesday, April 06, 2011 12:43 PM
To:
Subject: Neal Street



A horizontal banner for Sherrill Cody, a real estate professional. On the left is a black and white portrait of a smiling woman. The background features a landscape with mountains and a field. The name 'Sherrill Cody' is written in a large, stylized script across the top. The phone number '925.321.3296' is in the top right. At the bottom left, it lists 'REALTOR® ASP, CNE, e-Pro, SRES Lic# 01480559'. At the bottom right, it shows the website 'www.HomesBySherrillCody.com'.

Sherrill Cody

925.321.3296

REALTOR® ASP, CNE, e-Pro, SRES
Lic# 01480559

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Sherrill Cody

Signature

Printed

Sincerely,
Sherrill



*5994 W. Las Positas Blvd. #101 • Pleasanton CA 94588
2300 First Street • Livermore, CA 94550
Fax# 925.315.8470*

Donna Zarrillo

From: [redacted] of Danielle Manyisha
Sent: Wednesday, April 06, 2011 11:36 AM
To: [redacted]
Subject: Proposed remodel of 205 Neal
Attachments: Scan_3.pdf

Hi fellow agents, I have included the front and rear elevations of our proposed project for your review along with a letter below for signature if you support this proposal. I think it is extremely important that real estate agents are involved in this process. It is my firm belief that downtown Pleasanton is a jewel that all families treasure not just the ones that live or work downtown and we all should be involved in proposals like this.

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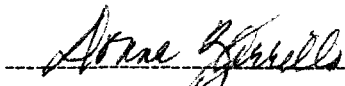
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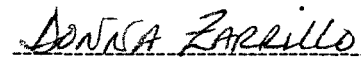
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Signature *4-6-2011*


Printed

Dave Cunningham

From: Brett Junell
Sent: Wednesday, April 06, 2011 8:00 PM
To: 'Dave Cunningham'
Subject: FW: Proposed remodel of 205 Neal
Attachments: Scan_3.pdf

I fully support this proposed project.

Brett Junell
Pleasanton Resident.

To: Natalie Amos
From: Dave & Fran Cunningham
Re: Proposed remodel of 205 Neal St. Pleasanton

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Signature

Printed

Dave Cunningham

From: Annette E. (Lawson) Khaliq
Sent: Wednesday, April 06, 2011 8:33 PM
To:
Subject: 205 Neal

Hi Dave,

I totally agree with you moving forward with your 205 Neal Project & keeping downtown Pleasanton unique the way we love it!

Thank you,

Annette E. (Lawson) Khaliq
Keller Williams Tri-Valley Realty
(925) 628-0280
AnnetteKhaliq@KVV.com



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PHA Pleasanton Heritage Association



Heritage Residence Photos Used with Permission

August 27, 2010

To: Natalie Amos
From: Linda Garbarino, PHA President
Re: Proposed Demolition/New Construction at 205 Neal St.

PHA still has many concerns about this proposal and agrees with the staff response. The Downtown Specific Plan (DTSP) speaks to many policies not consistent with the current proposal.

PHA is opposed to the demolition of **any** more vintage homes in the DTSP area. The different architectural styles and varying sizes of homes downtown, of which this existing turn of the century cottage is a good example, add character to the Downtown Historic District. Many, such as this one, also provide low-income rental housing. All older homes make this area special, not just the larger Victorians and bungalows. **Retaining one or two walls, as is proposed in the plan, does not preserve the existing structure. . We recommend that an historic evaluation be conducted for the dwelling before the plans are developed any further.**

A two-story, 1753 sq. ft. house is too large for the smaller portion of the lot. A two-story (25 foot high) dwelling would create too much mass and bulk for a home so close to neighboring structures— creating a look that is inconsistent with the neighborhood. The DTSP states on p.67 that **“New building design, including the design of replacement buildings for buildings older than 50 years which are approved for demolition, should draw upon ...details of height, floor area, bulk, massing, and setbacks... and should not represent a significant departure from the existing neighborhood character.”** The proposed new structure **would** represent a significant departure from the neighborhood character as it does not match the style, massing or detailing of homes found in our Historic District.

PHA also agrees with the staff report that all due diligence be followed regarding preservation of the heritage trees on the subject lot and all adjacent lots.

PHA opposes this plan as proposed.

The Pleasanton Heritage Association is a citizen's advisory group to the city. The final authority for the approval of any proposed structure rests, solely, with the city of Pleasanton.



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PHA Pleasanton Heritage Association



Heritage Residence Photos Used with Permission

July 14, 2010

To: Natalie Amos

From: Bonnie Krichbaum, PHA President

Re: Proposed Demolition/New Construction at 205 Neal St.

PHA has many concerns about this proposal and agrees with the staff response. The Downtown Specific Plan (DTSP) speaks to many policies concerning the Pleasanton Historic District. The current plan for 205 Neal St. is not consistent with these policies.

PHA is opposed to the demolition of homes in the Pleasanton Historic District. The different architectural styles and varying sizes of homes downtown, of which this existing turn of the century cottage is a good example, add character to the Historic residential area. Many, such as this one, also provide low-income rental housing.

PHA agrees with the staff report regarding setbacks, separation from existing structures and preservation of heritage trees on the subject lot and all adjacent lots.

A two story, 1753 sq. ft. house is too large for the smaller portion of the lot. A two story dwelling would create too much mass and bulk. This is one lot, in an R-6500 neighborhood, even though it has two addresses. There is another 1700+ square foot house on this property already, which was granted a variance in June, 2008, to allow an 80 foot backyard, where a 100 foot minimum is required. This seems to indicate that this lot actually doesn't even have adequate space for the dwellings that are there now. The DTSP states on p.67 that "New building design, including the design of replacement buildings for buildings older than 50 years which are approved for demolition, should draw upon ...details of height, floor area, bulk, massing, and setbacks... and should not represent a significant departure from the existing neighborhood character."

PHA opposes this plan as proposed.

Sincerely,

Bonnie Krichbaum

President, PHA

RECEIVED

JUL 19 2010

CITY OF PLEASANTON
PLANNING DIVISION