



Terry J. Townsend

• Architect •

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Tel: 925-484-5438

Roham Residence

6089 Sycamore Terrace
Pleasanton, California

Notes:



EXHIBIT B

PDR 963

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MAY 19 2011

CITY OF PLEASANTON
PLANNING DIVISION

Rev	Description	Date

Colored Front Elevation

Job Number:	20108	Sheet:	C
Scale:	1/4"=1'-0"		
Drawn:	Terry		
Checked:	Terry		
Date:	4-25-11	Of	15



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Notes:

This site plan is not a survey. It is provided for building and site work layout only. The contractor shall verify on site all grades, existing improvements, property lines, easements, setbacks, utilities, and structures. Where discrepancies occur, contact the Architect.

Finish grade shall provide positive drainage away from building.

Pad grade under building shall have positive slope to a minimum of one area drain which shall be piped to street or suitable discharge area.

All roof drainage taken through suitable discharge area.

Where discrepancies between soils report and Architect's drawings occur, contact Architect immediately.

A perforated drain set in a gravel trench shall be installed around the entire perimeter of the foundation. The drain shall discharge into the street or approved suitable drainage facility. See soils report for any specific requirements.

Provide expansion and control joints in all exterior concrete slabs. Spacing of joints shall be per industry standard.

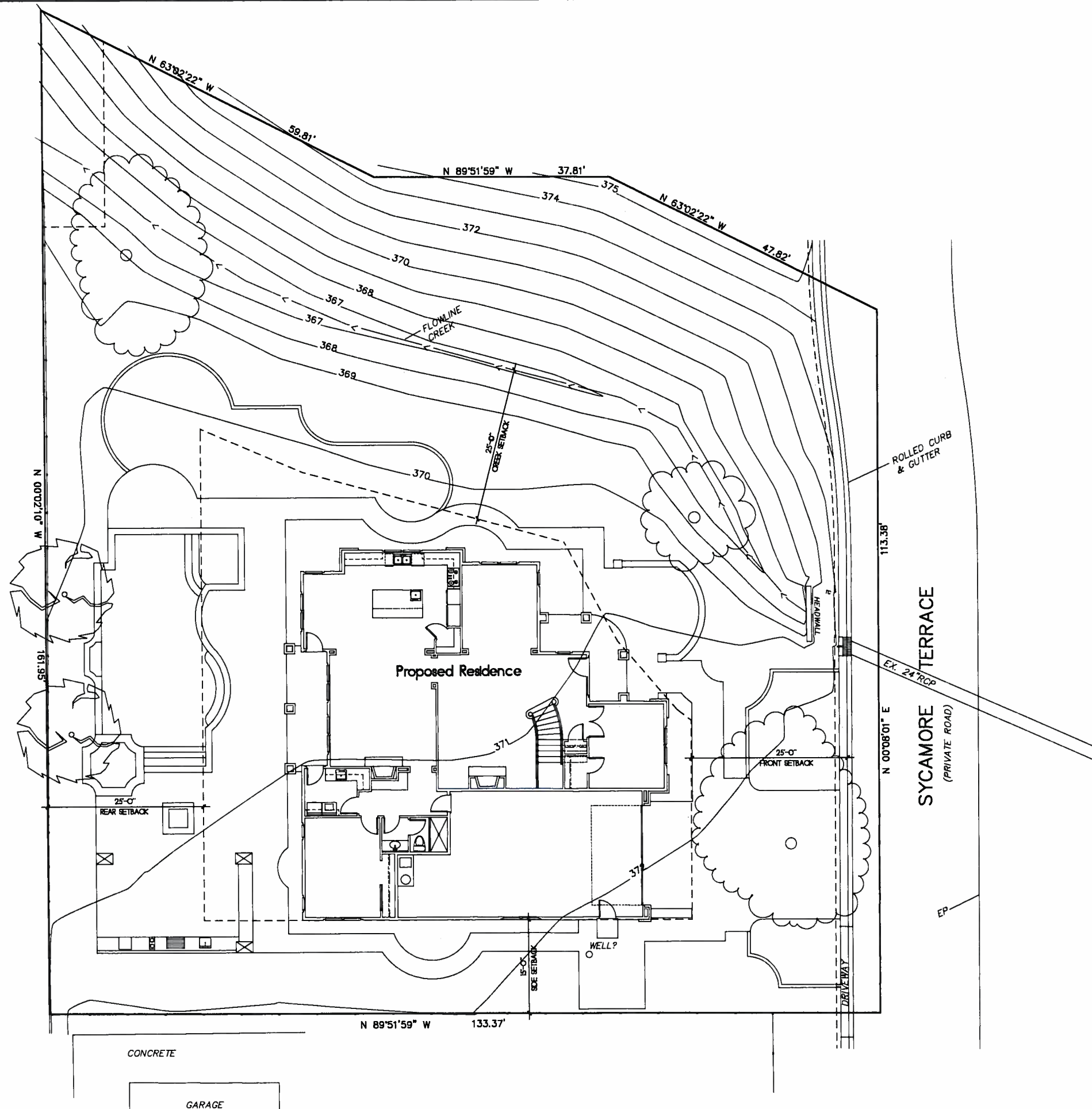
Area drains shall be interconnected and discharged at street or suitable discharge facility.

Prior to construction, the contractor shall employ the soils engineer to test the relative soil density and compaction of the site and verify in writing that the relative soil density and compaction meets or exceeds the requirements specified in the soils report. If the relative soil density and compaction does not meet the specifications stated in the soils report, the contractor shall follow the soils engineer's recommendations for re-compaction.

Irrigation system shall be designed to prevent saturation of soil adjacent to building.

See Landscape drawings for landscape features, pools, fountains, spas, hardscape and garden walls.

See CIVL drawings for existing and proposed grading, utilities, trees, additional structures, proposed drainage, and erosion control measures.



Rev	Description	Date
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Site Plan

Job Number: 201008 Sheet: 1
 Scale: 1/8"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 4-25-11 Of 15



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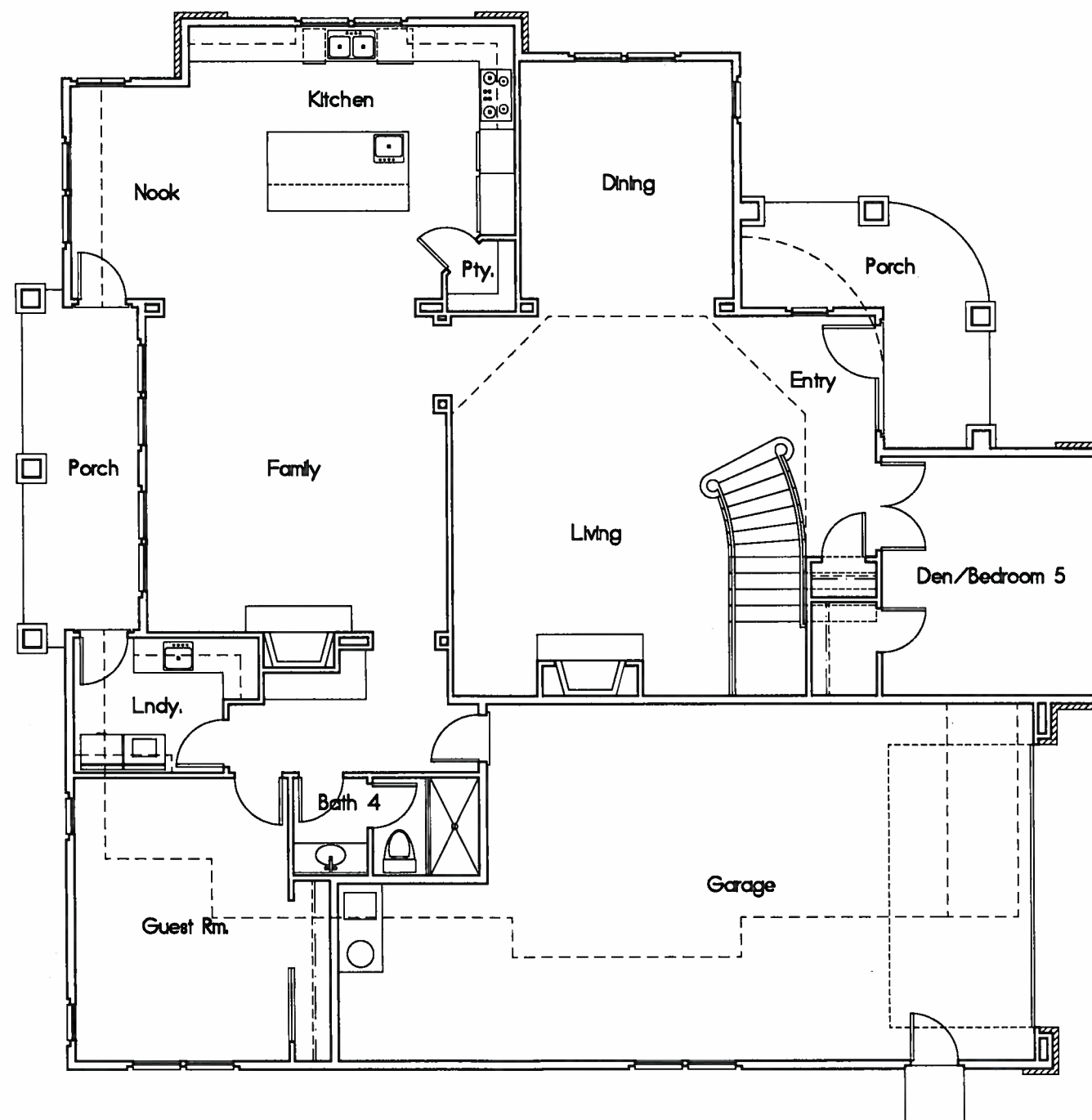
• Architect •

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Notes:



Rev	Description	Date

First Floor Plan

2132 SQUARE FEET
GARAGE 746 SQUARE FEET
PORCHES 220 SQUARE FEET

Job Number: 20108 Sheet: 2
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 4-25-11 Of 15



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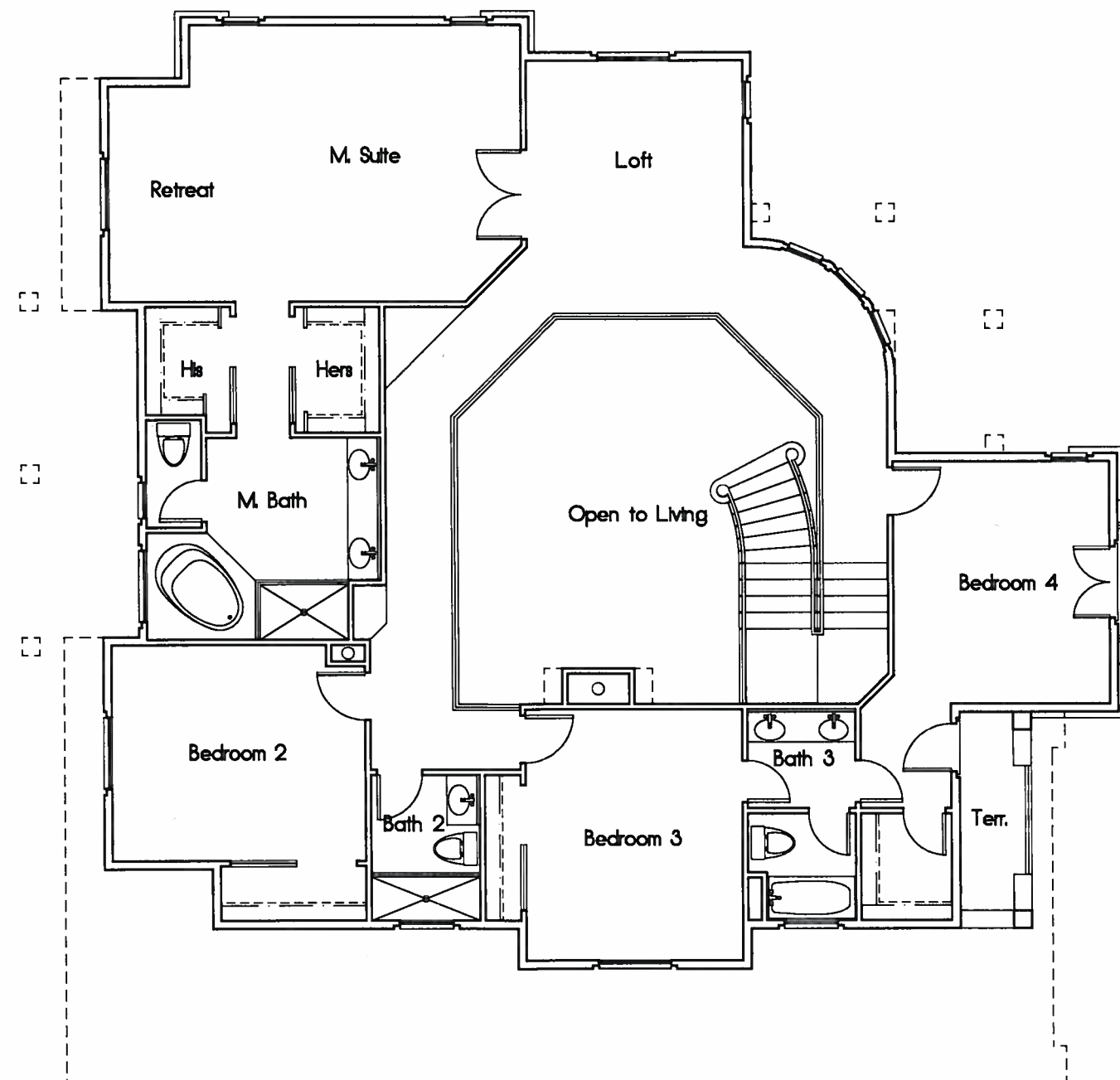
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Notes:



Rev	Description	Date
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Second Floor Plan

1895 SQUARE FEET
TERRACE 46 SQUARE FEET

Job Number: 201108 Sheet: 3
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
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Notes:

Roofing shall be Flat Concrete Tile over 3/8" felt over 1/2" OSB sheathing w/ radiant barrier nated per structural engineer's specifications.

Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

ATTIC VENTILATION : XXXX / 150 = XXXXX sq. ft.

Total area required to be vented : XXXXX sq. ft.

XXX Rafter vent _____ XXXXX sq. ft.

XXX Gable end vent _____ XXXXX sq. ft.

XXX O'Hagin vent _____ XXXXX sq. ft.

Total Area of ventilation : _____ XXXXX sq. ft.

50% LOW REQUIREMENT: XXX > XXX OKAY

50% HGH REQUIREMENT: XXX > XXX OKAY

All framing shall be Douglas Fir No. 2 or better (U.O.N.)

Concrete roof tiles shall be fastened per 2010 CBC.

Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper, or other approved flexible flashing material and shall be formed to follow the contours of the tile and allow seating of the tiles as per 2010 CBC.

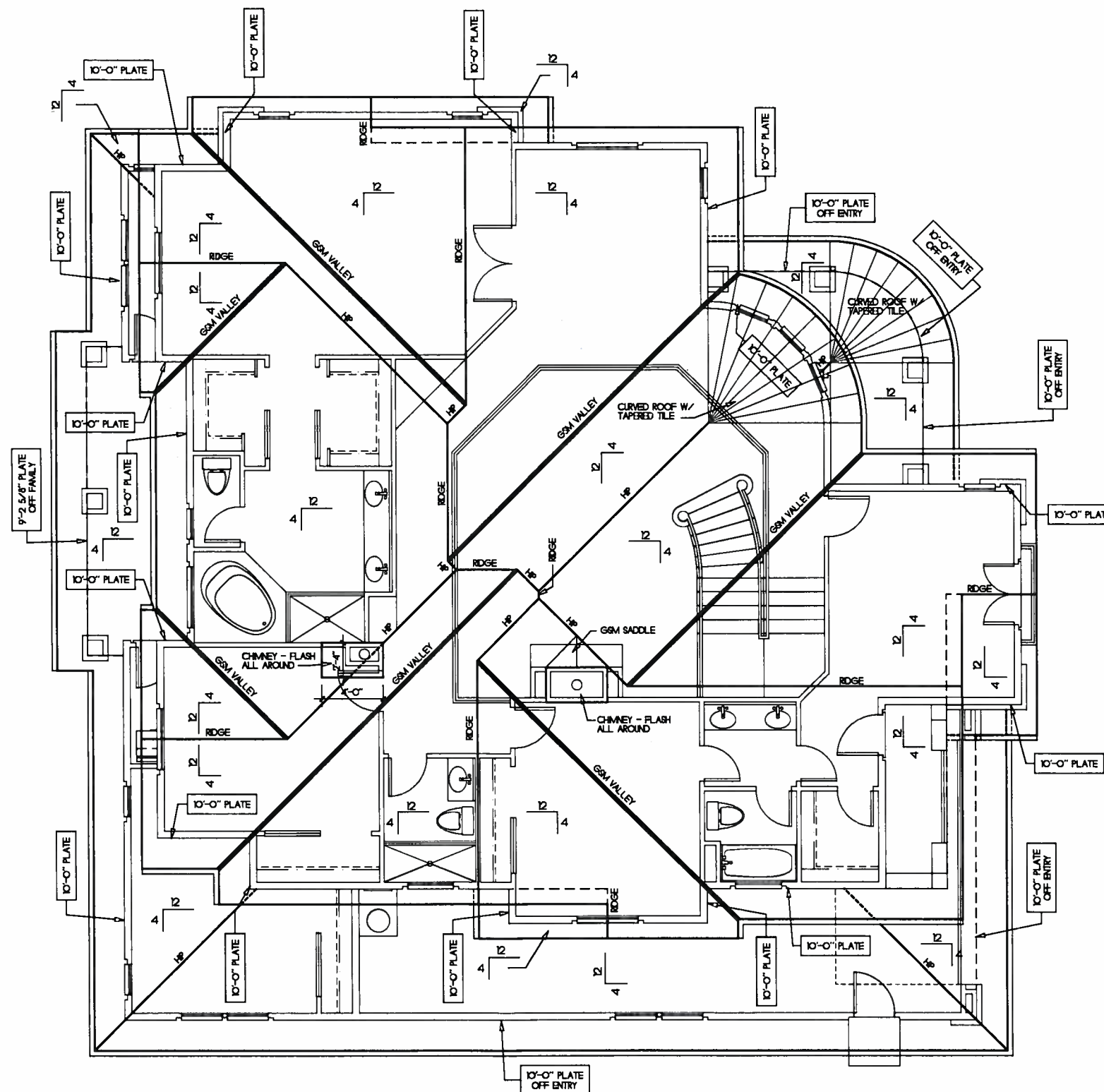
Plate heights are designated off adjacent subfloor (U.O.N.).

All rakes shall be 12" from wall framing (U.O.N.).

All eaves shall be 24" from wall framing (U.O.N.).

Plumbing waste stacks and combustion flues shall be placed to penetrate to the rear of the main ridge line.

All beams shall be braced at each end to prevent rotation.



Rev	Description	Date

Roof Plan

Job Number: 20106 Sheet: 6
 Scale: 1/4"=1'-0"
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 Checked: Terry
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Notes:

All windows at first floor shall be mounted at 6'-0" above top of subfloor (U.O.N.)

All windows at second floor shall be mounted at 6'-0" above top of subfloor (U.O.N.)

Provide two layers grade "D" paper at all exterior walls with stucco over wood based sheathing.

A weep screed shall be provided at the foundation plate on all exterior studwalls covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building, per 2010 CBC.

S.F. : Subfloor

Subfr : Subfloor

T.O.S. : Top of Slab

T.O.S.W. : Top of stem wall

T.O. Fig. : Top of Footing

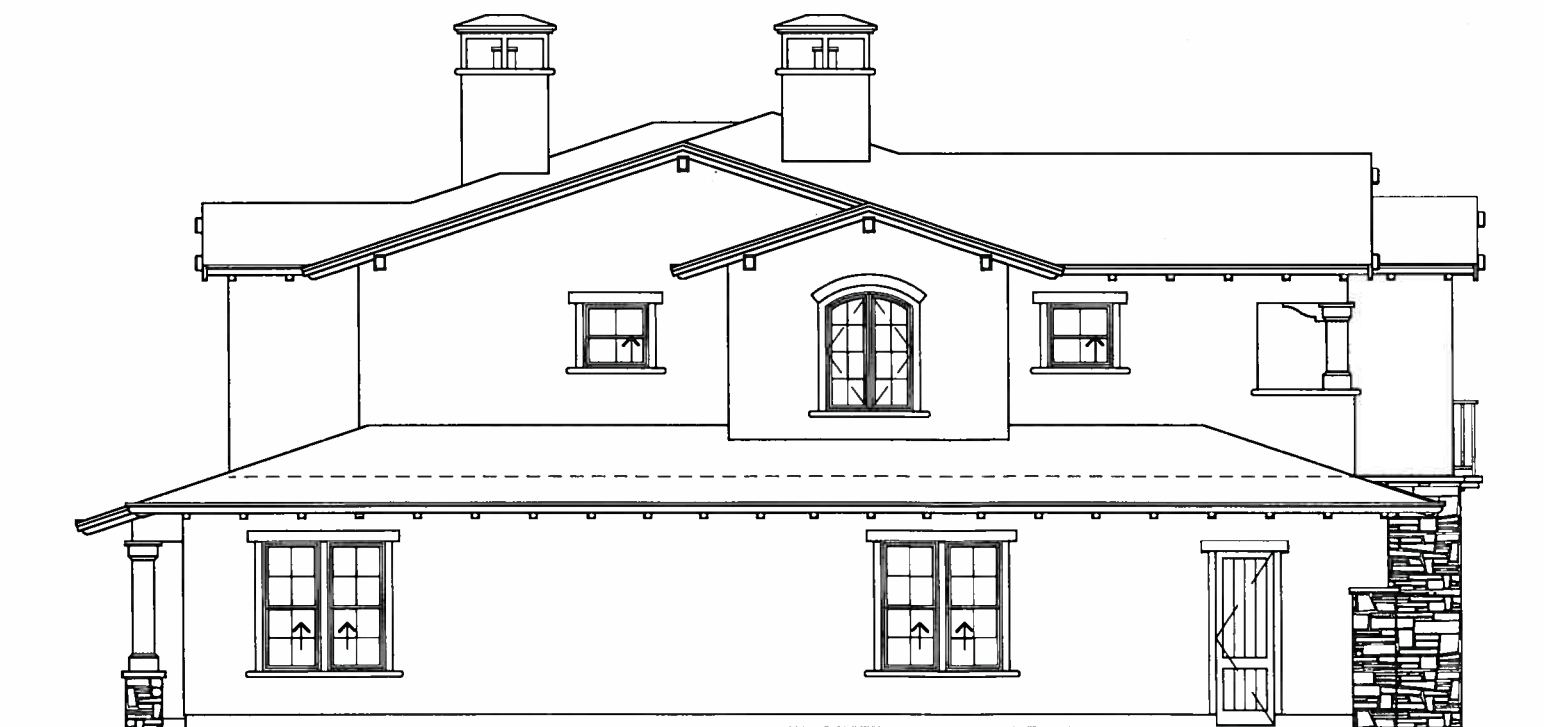
Fireplace shall be equipped with GSM terminal cap with spark arrester.

Each emergency escape and rescue opening shall comply with CRC Section R310 as follows:

- A. The minimum net clear opening is 57 square feet (15 square feet for grade floor opening) per CRC Section R310.11
- B. The minimum net clear opening height shall be 24 inches per CRC Section R310.12
- C. The net clear opening width shall be 20 inches per CRC Section R310.13
- D. The maximum sill height shall be not more than 44 inches above the floor.



East Elevation
 (Front)



South Elevation
 (Left)

Rev	Description	Date

Exterior Elevations

Job Number: 20108 Sheet: 7
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
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Notes:

All windows at first floor shall be mounted at 8'-0" above top of subfloor (U.O.N).

All windows at second floor shall be mounted at 8'-0" above top of subfloor (U.O.N).

Provide two layers grade "D" paper at all exterior walls with stucco over wood based sheathing.

A weep screed shall be provided at the foundation plate on all exterior studwalls covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building, per 2010 CBC.

SF. : Subfloor

Subfr : Subfloor

T.O.S. : Top of Slab

T.O.S.W. : Top of stem wall

T.O. Ftg. : Top of Footing

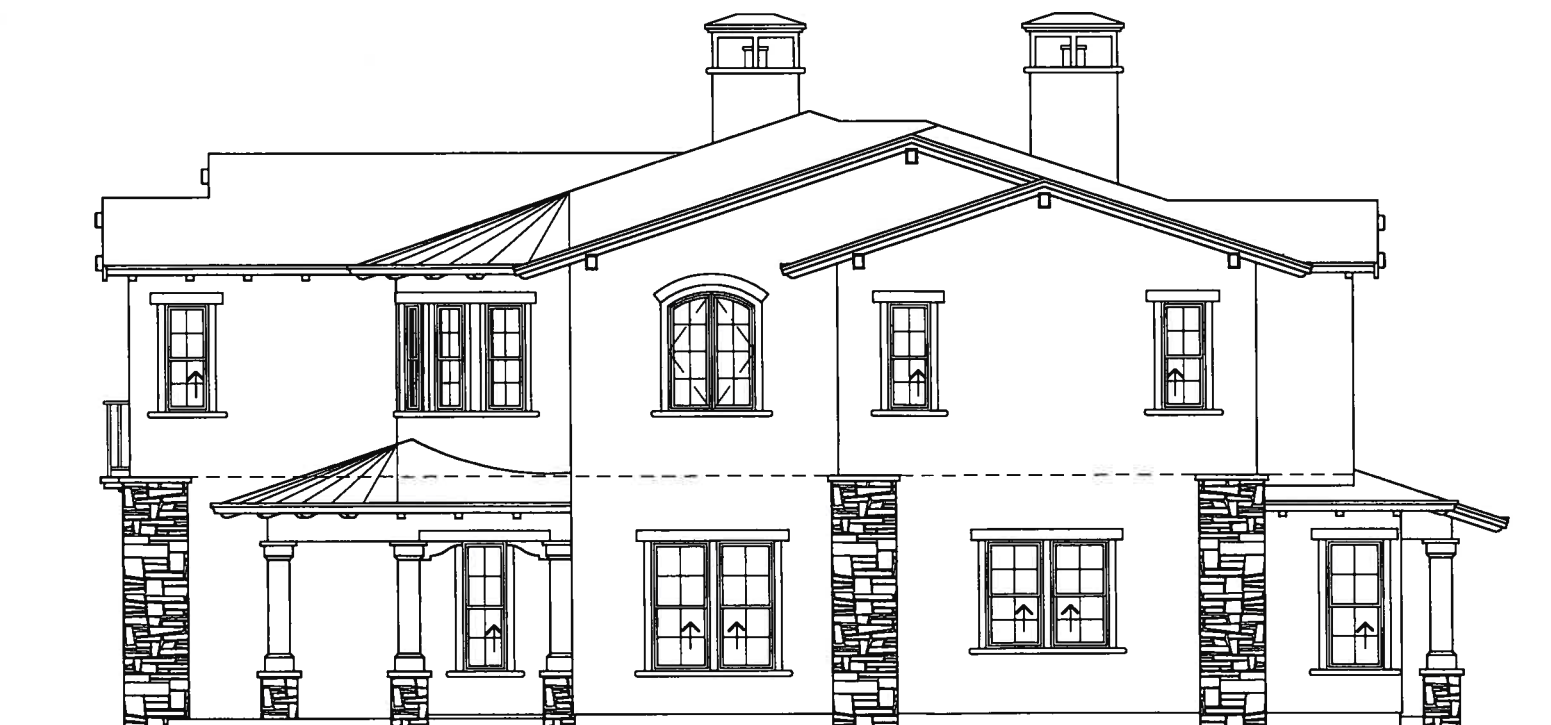
Fireplace shall be equipped with GSM terminal cap with spark arrester.

Each emergency escape and rescue opening shall comply with CRC Section R310 as follows:

- A. The minimum net clear opening is 5.7 square feet (15 square feet for grade floor opening) per CRC Section R310.11
- B. The minimum net clear opening height shall be 24 inches per CRC Section R310.12
- C. The net clear opening width shall be 20 inches per CRC Section R310.13
- D. The maximum sill height shall be not more than 44 inches above the floor.



West Elevation
 (Rear)

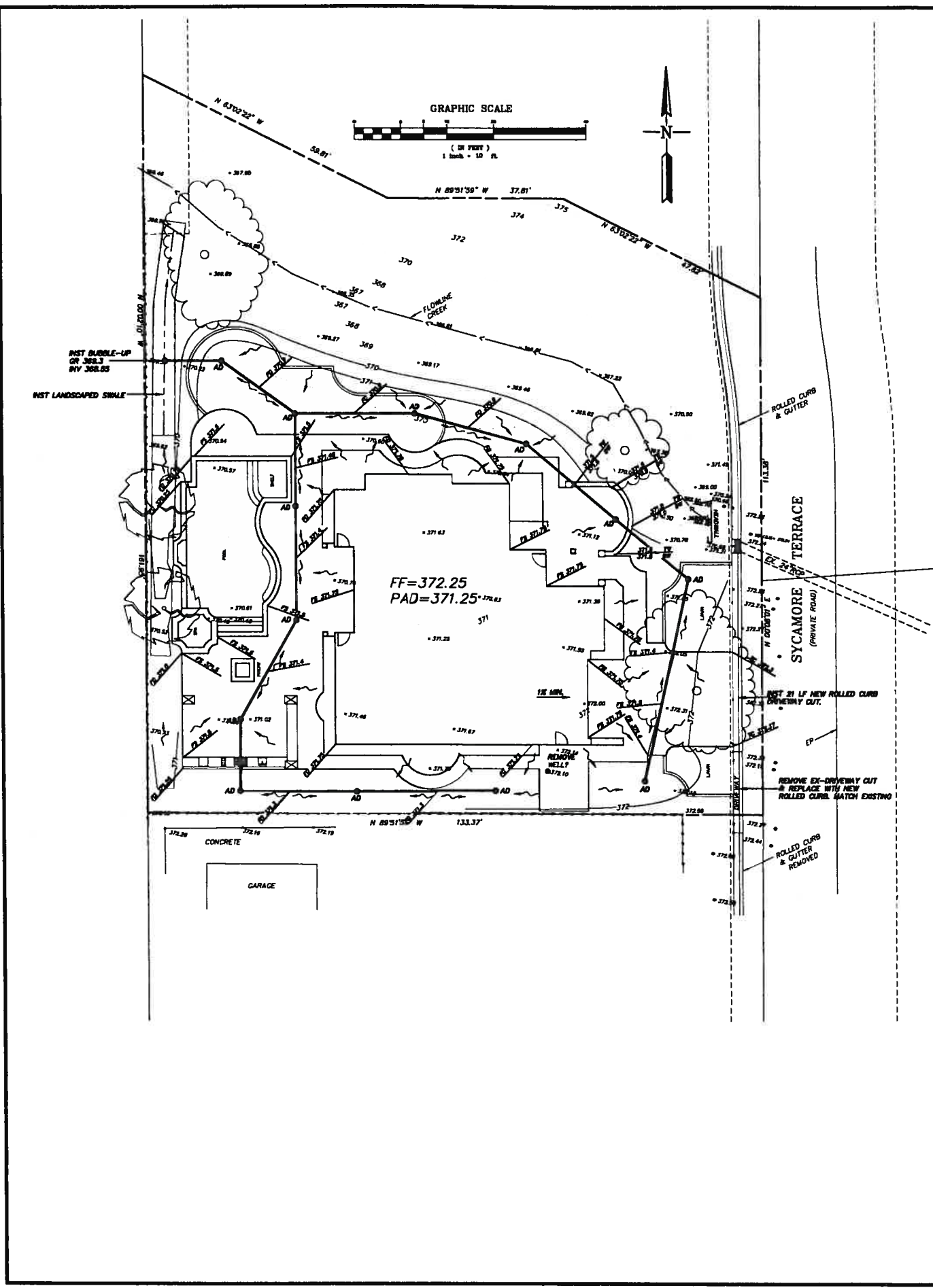


North Elevation
 (Right)

Rev	Description	Date
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Exterior Elevations

Job Number: 20108 Sheet: 8
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 4-25-11 Of 15



The following (a) and (b) shall be provided to the building inspector before and foundation inspection will be performed. Item (c) shall be provided before the shear and roof inspection. Item (d) shall be provided before a frame inspection will be performed.

a. A Licensed Land Surveyor must verify building setbacks to property lines and site pad elevation(s). This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.

b. When FR is employed under the building a soils engineer must verify pad compaction. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.

c. A Licensed Land Surveyor must verify finish floor elevations. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of shear and roof inspection.

d. A Licensed Land Surveyor must verify the highest elevation of the highest point of any roof ridge or roof projection. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of frame inspection.

- GRADING NOTES:**
1. ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
 2. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
 3. ALL DOWNSPUTS SHALL HAVE A MINIMUM 2" DIAMETER SOLID DRAIN LINES AND SHALL DISCHARGE TO OPEN ELEVATION.
 4. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM SLOPE FOR MINIMUM DISTANCE OF 5 FEET.
 5. SURFACE WATER DRAINAGE SHALL HAVE A 1% MINIMUM SLOPE AND BE CONNECTED TO AREA DRAIN.
 6. AREA DRAINAGE SHALL HAVE A MINIMUM 8" DIAMETER OPEN DRAINAGE.
 7. ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
 8. ALL DRAIN LINES SHALL HAVE UNDERNEATH THE GRADE BENCH, NOT THROUGH BENCH, ANY SLEEVINGS PLACED UNDER THE STRUCTURE SHALL BE LOCKED TO MEET PIERS AND/OR GRADE BENCH.
 9. WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE DRAIN OF THE SOLID DRAIN SHALL BE HELD BELOW THE BENCH OF THE PERFORATED LINE TO OPEN ELEVATION.
 10. ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-FLEXIBLE PVC PIPE, PERFORATED PIPE SHALL BE USED FOR SLEEVINGS ONLY. 1" DRAIN DRAIN TO BE PVC 80-35 OR APPROVED EQUAL. (SEE DETAILS)
 11. CLEARANCES FOR PERFORATED DRAIN SHALL BE SPACED 75" MAX O.C.
 12. EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY REGISTERED 18" OF SOIL CONTROLS AND THE DRAIN SECTION.
 13. THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
 14. THE CONTRACTOR SHALL MAINTAIN THE USE OF AN UNBLENDED GRANULAR CONTROLLED THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE SLOPE CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL BE CAUSED AS A VIOLATION OF WORK LEVEL COMPLIANCE IS VIOLATED.
 15. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERFORATED DRAIN, CONCRETE, AND DRAINAGE DRAINAGE.

BASIS OF BEARINGS
THE BEARINGS SHOWN UPON THIS MAP ARE THE SAME AS SHOWN UPON PARCEL MAP #725, CITY OF PLEASANTON, CALIFORNIA

BASIS OF ELEVATIONS
ELEVATIONS SHOWN ON THIS MAP ARE THE SAME AS SHOWN UPON PARCEL MAP #725.

AREA NOTES
1. ACCESS TO THE DEVELOPMENT BY CONSTRUCTION EQUIPMENT, MATERIALS, AND OTHER TRUCK TRAFFIC SHALL BE LIMITED BY THE DEVELOPER TO THE FOLLOWING ROUTE: SUNDL BLVD, SYCAMORE ROAD, SYCAMORE TERRACE

WORK HOURS
1. WORK HOURS SHALL BE LIMITED TO:
8:00 AM - 5:00 PM MONDAY THRU FRIDAY

NOTES:
ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, BEST FIELD LOCATED.
IMPERMEABLE AREA = 6,970

- SEE ARCHITECT'S PLAN FOR MORE INFORMATION REGARDING THE FLOOR PLAN.
- SEE LANDSCAPE PLAN FOR FURTHER DETAIL. PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.
- GARAGE FLOOR TO SLOPE TOWARDS THE FRONT AT 1% MIN.
- SEE ARCHITECT'S PLAN FOR DRIVEWAY PAVING MATERIALS.

- LEGEND**
- - - - - DRAINAGE ARROW INDICATES DIRECTION OF DRAINAGE
 - - - - - STORM DRAIN
 - - - - - PERIMETER DRAIN
 - - - - - EX CONTOUR
 - - - - - 100 - - - - NEW CONTOUR
 - - - - - STABLE
 - - - - - PROPERTY LINE

- ABBREVIATIONS**
- AD AREA DRAIN
 - BO BOTTOM OF RETURNING WALL
 - CO CLEAN-OUT
 - DI DRAIN INLET (PASSION P18 OR EQUAL)
 - DR DRAIN
 - FF FINISHED FLOOR
 - FL FINISHED FLOOR
 - FR FINISHED ROOF
 - FS FINISHED SURFACE
 - GA GARAGE
 - GR GRANITE
 - HW HARDWOOD
 - IM IMPERMEABLE
 - OFF OFF
 - OF CHANGE FINISHED FLOOR
 - SW STORM WATER INLET
 - TC TOP OF CURB
 - TD TOP OF DRIVE
 - TR TOP OF RETURNING WALL

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JUL 18 2011
CITY OF PLEASANTON
PLANNING DIVISION



ALEXANDER & ASSOCIATES INC.
147 OLD FEDERAL AVE. SUITE 10, PLEASANTON, CALIFORNIA 94566-2005

GRADING AND DRAINAGE PLAN

PROJECT NAME: **ROHAM RESIDENCE LOT 2 PARCEL MAP 8795 CITY OF PLEASANTON, CALIFORNIA**

SHEET TITLE: **GRADING AND DRAINAGE PLAN**

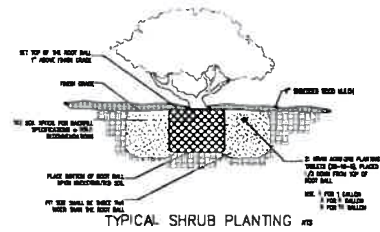
DATE: 7-18-11

SCALE: 1"=10'

NO: 11048

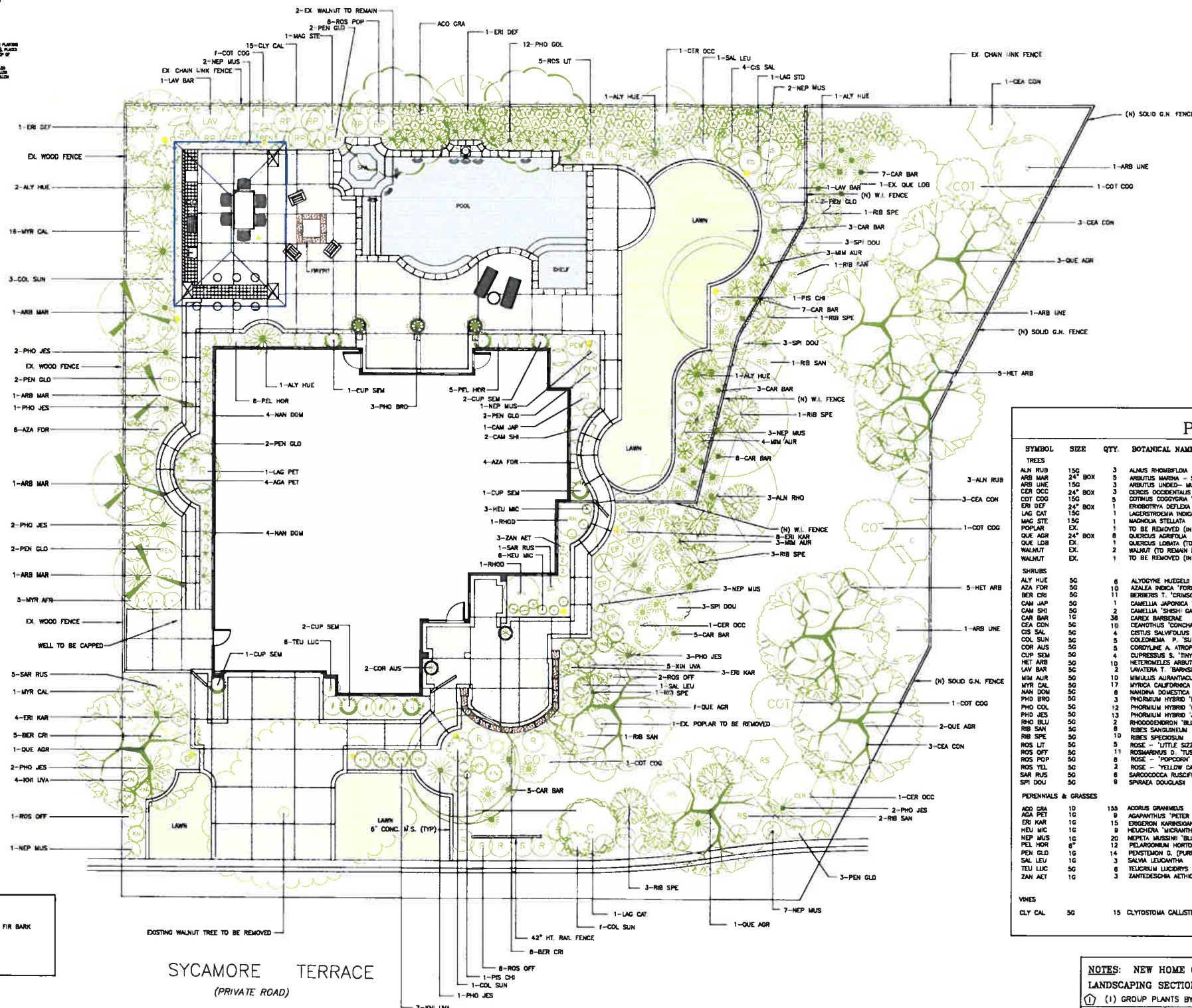
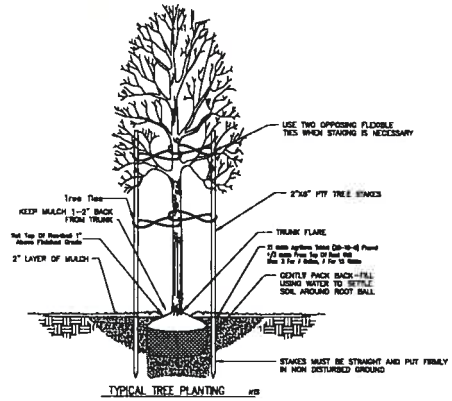
OR

REV: **C1**



LIGHTING LEGEND						
SYM.	QTY	DESCRIPTION	MODEL NO.	VOLT.	WATT.	FOOTBR.
▲	5	UNIQUE CDW/ (DOWN LIGHT)	875 20 WB	12	20	ASTRO-BR/ 1/8" BRASS
●	11	UNIQUE MERCURY4 (DOWN LIGHT)	850 70 WB	12	20	ASTRO-BR/WT W BRASS

ALL LIGHTING TO HAVE APPROPRIATE SHIELDS



PLANT LEGEND					
SYMBOL	SIZE	QTY.	BOTANICAL NAME	COMMON NAME	WATER NEEDS
TREES					
▲	15G	3	ALNUS RHOMBIFLUA	WHITE ALDER	OCCASIONAL/INFREQUENT
▲	24" BOX	5	ARBUTUS UNDO- MULTI	STRAWBERRY TREE	OCCASIONAL/INFREQUENT
▲	15G	3	CERIS OCCIDENTALIS	SMOKE TREE	OCCASIONAL/INFREQUENT
▲	24" BOX	5	COTYLIUS COQUINII	WESTERN REDBUD	OCCASIONAL/INFREQUENT
▲	15G	3	ERIOBOTRYA DEFLEXA - MULTI	BRONZE LOOZIAT	MODERATE/OCCASIONAL
▲	24" BOX	5	LIGULARIA INDIANA 'CATWALK'	STAR MAGNOLIA	MODERATE
▲	15G	3	MAGNOLIA STELLATA	STAR MAGNOLIA	MODERATE
▲	EX	1	POPULAR	TO BE REMOVED (IN CREEK)	OCCASIONAL/INFREQUENT
▲	24" BOX	5	QUERCUS AGROFILIA	COAST LINE OAK	OCCASIONAL/INFREQUENT
▲	EX	1	QUERCUS LOBATA (TO REMAIN)	VALLEY OAK	OCCASIONAL/INFREQUENT
▲	EX	2	WALNUT (TO REMAIN IN REAR YARD)	WALNUT	OCCASIONAL/INFREQUENT
▲	EX	1	WALNUT (TO BE REMOVED IN DRIVEWAY)	WALNUT	OCCASIONAL/INFREQUENT
SHRUBS					
▲	5G	8	ALYDIONE HUSSELI	BLUE HIBISCUS	MODERATE/OCCASIONAL
▲	5G	10	AZALEA INDIANA 'FORMOSA'	NCH	OCCASIONAL/INFREQUENT
▲	5G	11	Berberis T. 'CRIMSON PYRAM'	DWARF RED-LEAF JAPANESE BARBERY	OCCASIONAL/INFREQUENT
▲	5G	1	CAMELLIA JAPONICA 'OLEN 40'	NCH	OCCASIONAL/INFREQUENT
▲	5G	2	CAMELLIA 'SHERIDAN'	NCH	OCCASIONAL/INFREQUENT
▲	5G	38	CAREX BARBERAE	SANTA BARBARA SEDGE	INFREQUENT
▲	5G	10	CEANTHOUS 'CORONA'	WILD LILAC	INFREQUENT
▲	5G	4	COTYLIUS SALICIFOLIA PROSTRATUS	SKOGLAF ROCKROSE	OCCASIONAL/INFREQUENT
▲	5G	5	COLEONEMA P. 'SUNSET GOLD'	PINK BREATH OF HEAVEN	MODERATE
▲	5G	5	CONDYLIUM A. 'ATROPURPUREA'	BRONZE CYCCEMA	MODERATE
▲	5G	4	CUPRESSUS S. 'TINY TOWERS'	ITALIAN CYPRESS	INFREQUENT
▲	5G	10	DIKORNELES ARBUTIFOLIA	TOYON	OCCASIONAL/INFREQUENT
▲	5G	5	LAUREL 'T. BARNESLEY'	TREE MALLOW	MODERATE/OCCASIONAL
▲	5G	10	WIKULUS ALBERTIANUS	STICKY MONKEY FLOWER	OCCASIONAL/INFREQUENT
▲	5G	17	MYRTICA CALIFORNICA	PACIFIC WAX MYRTLE	MODERATE/OCCASIONAL
▲	5G	8	WANDERA DOMESTICA 'COMPACTA'	HEAVENLY BAMBOO	OCCASIONAL/INFREQUENT
▲	5G	3	PHORUM HYBRID 'BRONZE SWORD'	NEW ZEALAND FLAX	MODERATE
▲	5G	12	PHORUM HYBRID 'GOLDEN SWORD'	NEW ZEALAND FLAX	MODERATE
▲	5G	13	PHORUM HYBRID 'JESTER'	NEW ZEALAND FLAX	MODERATE
▲	5G	2	RHOISODENDRON 'BLUE PETER'	NCH	INFREQUENT
▲	5G	8	RIBES SANDWICHIANUM	FLOWERING CURRANT (WHITE)	OCCASIONAL/INFREQUENT
▲	5G	10	RIBES SPECIOSUM	FUCHSIA-FLOWERING GOOSEBERRY	OCCASIONAL/INFREQUENT
▲	5G	5	ROSE - 'LITTLE SIZZLER'	ROSE - RED	MODERATE/OCCASIONAL
▲	5G	11	ROSMARINUS D. 'TUSCAN BLUE'	ROSEMARY	INFREQUENT
▲	5G	8	ROSE - 'POP-CORNY'	ROSE - WHITE	MODERATE/OCCASIONAL
▲	5G	2	ROSE - 'YELLOW CARPET ROSE'	ROSE - YELLOW	MODERATE/OCCASIONAL
▲	5G	6	SARCOCOCCA RUSCIFOLIA	SWEET BOX	MODERATE/OCCASIONAL
▲	5G	9	SPIRAEA DOUGLASS	WESTERN SPIRAEA	MODERATE
PERENNIALS & GRASSES					
▲	10	150	ACORUS ORNAMENTALIS	JAPANESE SWEET FLAG	OCCASIONAL/INFREQUENT
▲	10	9	AGAPANTHUS 'PETER PAN'	LILY-OF-THE-NILE	OCCASIONAL/INFREQUENT
▲	10	15	ERIGONUM HARRISIANUS	SANTA BARBARA DASTY	OCCASIONAL/INFREQUENT
▲	10	9	HEUCHERA 'MICRANTHA'	PALACE PURPLE	MODERATE/OCCASIONAL
▲	10	20	HEPTA MURSINI 'BLUE WONDER'	CATYUNT	MODERATE/OCCASIONAL
▲	10	12	HELIOPSYCHE HORTORUM (RED)	GARDEN GERANIUM	MODERATE/OCCASIONAL
▲	10	14	PENSTEMON Q. (PURPLE, WHITE, PINK, RED, LAVENDER)	GARDEN PENSTEMON	MODERATE/OCCASIONAL
▲	10	3	SALVA LEUCANTHA	MEDICAN BUSH SAGE	OCCASIONAL
▲	10	8	TEUCRIUM LUCIDUM 'PROSTRATUM'	GERMANICEL	OCCASIONAL
▲	10	3	ZANTHOSCHIA AETHIOPICA	COMMON CALLA	OCCASIONAL/OCCASIONAL
VINES					
▲	5G	15	CLYSTODIA CALLISTEIOIDES	WISLET TRUMPET VINE	OCCASIONAL

NOTES:

ALL PLANTED AREAS TO BE COVERED WITH 2" OF NITROFIED FIR BARK

CONCRETE COLOR: BRICKFORM # 1080 - ADORSE BUFT

CONCRETE BORDERS FINISH: LIGHT BRUSH

CONCRETE INTERIOR: SALT FINISH

LANDSCAPE NOTES:

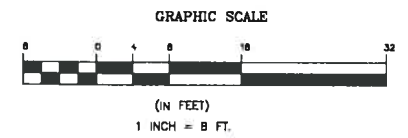
1. CONTRACTOR SHALL VERIFY PLANT COUNT FOR BIDDING PURPOSES.
2. ROOT BARRIERS SHALL BE PROVIDED FOR ALL NEW TREES WITHIN 5' OF HARDSCAPE AND REACHING AT LEAST 5' BEYOND THE TREE TRUNK IN BOTH DIRECTIONS ON ALL SIDES OF THE TREE WHERE IT IS CLOSER THAN 5' FROM ALL CURBS, WALL, STRUCTURES AND FLATWORK IF POSSIBLE.
3. ALL PLANTING AREAS SHALL RECEIVE 2" MIN. OF NITROFIED MULCH COVER AS A GROUND COVER.
4. CONTRACTOR SHALL GUARANTEE PLANT MATERIAL FOR SIX MONTHS AFTER INSTALLATION AND REPLACE ANY DISEASED OR DAMAGED MATERIAL DURING THAT SIX MONTH PERIOD.

TREES AND SHRUBS:

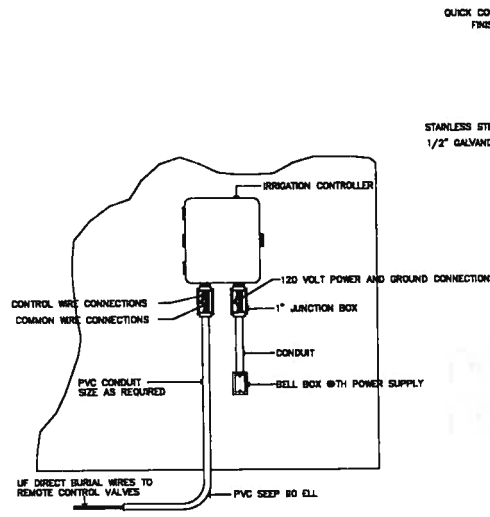
EXCAVATE PLANTING HOLES TWICE AS WIDE AS THE ROOTBALL DIAMETER. SOIL IMMEDIATELY BELOW THE ROOT BALL TO BE LEFT UNDISTURBED TO PROVIDE SUPPORT, BUT THE SIDES AND THE BOTTOM AROUND THE SIDE SHOULD BE CULTIVATED TO IMPROVE POROSITY.

THE ROOTBALL SHOULD BE SLIGHTLY ABOVE THE FINAL GRADE.

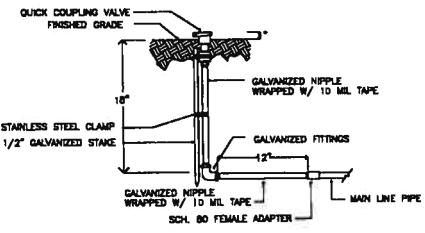
THE TOP 12" OF BACKFILL MAY CONSIST OF THE ABOVE AMENDED SOIL STABILIZED ORGANIC AMENDMENT OR USE 4 PARTS OF SITE SOIL BLENDED WITH 1 PART NITROGEN STABILIZED ORGANIC AMENDMENT.



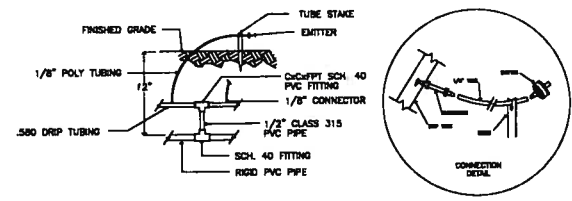
NOTES: NEW HOME GREEN POINTS	TOTAL
(1) GROUP PLANTS BY WATER NEEDS (HYDROZONING)	2
(2) MULCH ALL PLANTING BEDS TO 2 INCHES (PER THE WATER ORDINANCE)	2
(3) CONSTRUCT RESURGE-EFFICIENT LANDSCAPES	
(3-A) NO INVASIVE SPECIES LISTED BY THE CAL-IPC ARE PLANTED	1
(3-B) NO PLANT SPECIES WILL REQUIRE SHEARING	1
(4) MINIMIZE TURF IN LANDSCAPE INSTALLED BY BUILDER	
(4-A) TURF SHALL NOT BE INSTALLED ON SLOPES EXCEEDING 10% AND NO OVERHEAD SPRINKLERS IN AREAS LESS THAN 8 FEET WIDE	2
(4-A) TURF IS SMALL PERCENTAGE OF LANDSCAPE AREA	
(2 POINTS FOR LESS THAN 25% , 4 POINTS FOR LESS THAN 10%	4
(5) PLANT SHADE TREES	1
(6) INSTALL HIGH-EFFICIENCY IRRIGATION SYSTEMS	
(6-A) SYSTEM USES ONLY LOW-FLOW DRIP, BUBBLERS, SPINKLERS	2
(6-B) IRRIGATION USES A SMART (WEATHER-BASED) CONTROLLER	3
(7) INCORPORATE TWO INCHES OF COMPOST IN THE TOP 6 TO 12 INCHES OF SOIL	3
(8) (13) REDUCE LIGHT POLLUTION BY SHIELDING FIXTURES AND DIRECTING LIGHT DOWNWARD.	1



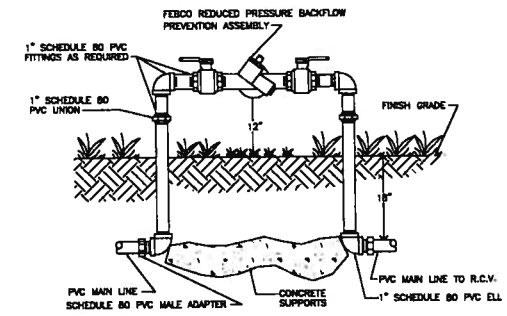
WALL MOUNT AUTOMATIC CONTROLLER
NOT TO SCALE



QUICK COUPLING VALVE
NOT TO SCALE



RISER TO DRIP TUBING DETAIL
NOT TO SCALE



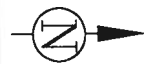
REDUCED PRESSURE BACKFLOW ASSEMBLY
NOT TO SCALE

L-2

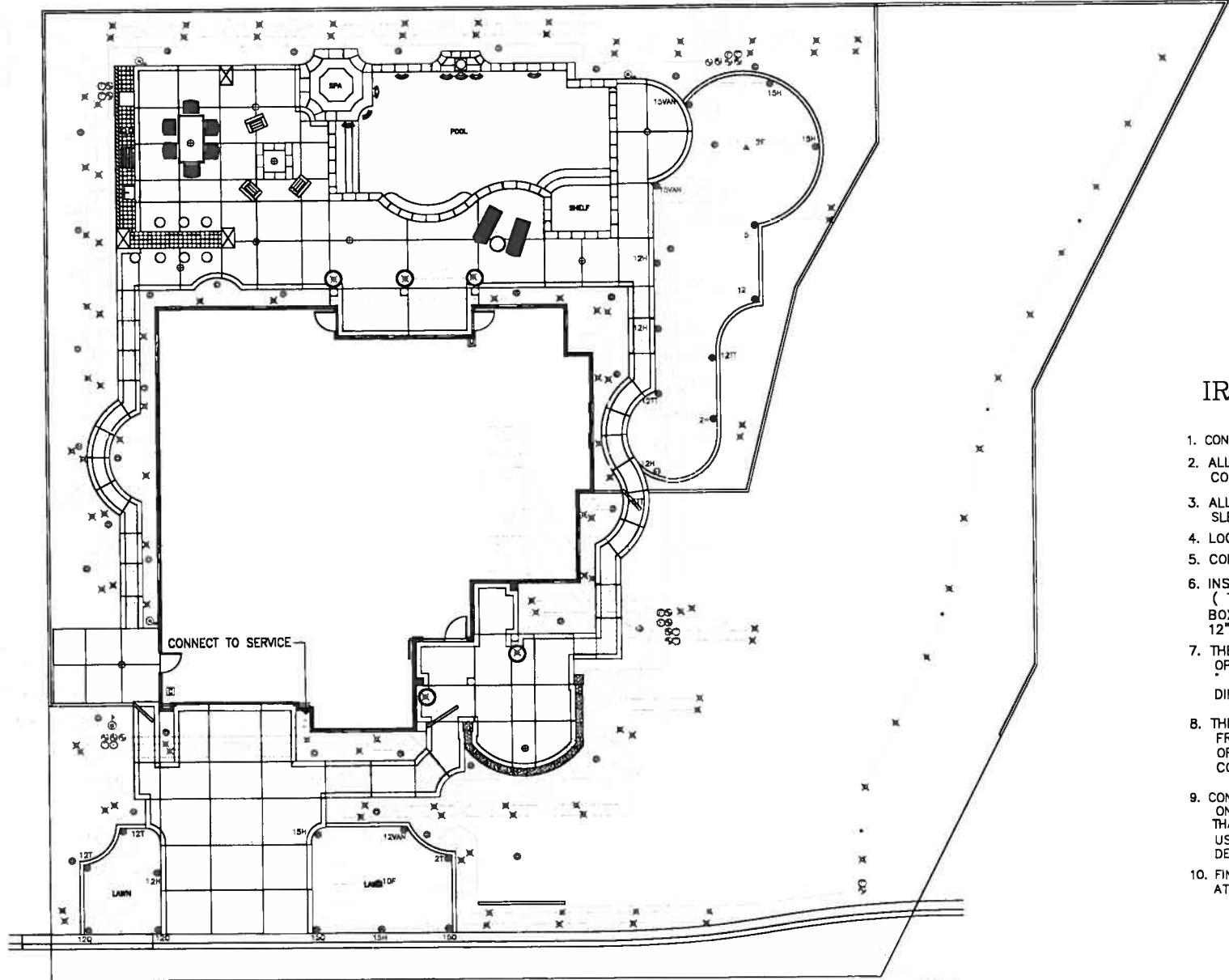
IRRIGATION PLAN

HELPING HAND LANDSCAPE DESIGN, INC.

10111 HURON AVE. #11
ANN ARBOR, MI 48106-1111
734.769.1111
www.helpinghandlandscapedesign.com

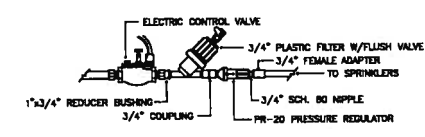


L-2

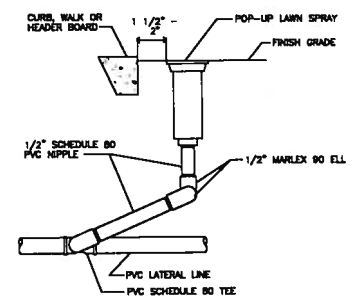


IRRIGATION NOTES:

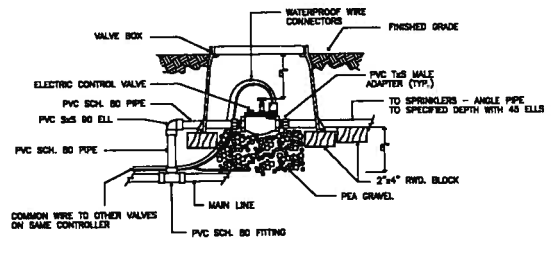
1. CONTRACTOR TO OBTAIN ALL PERMITS PRIOR TO STARTING WORK.
2. ALL WORK SHALL COMPLY WITH THE LATEST UNIFORM PLUMBING CODE AS WELL AS LOCAL ORDINANCES.
3. ALL IRRIGATION LINES UNDER CONCRETE TO BE INSTALLED IN PVC SLEEVE @ 15" DEPTH MIN.
4. LOCATE ALL RCV'S & HB'S IN PLANTING AREAS. (TYP.)
5. COMPACT ALL LINES AND TRENCHES UNDER PAVING 95 % MIN.
6. INSTALL REMOTE CONTROL VALVE IN AMETEX 12" BOX OR EQUAL (TWO VALVES PER BOX MAX.) & MARKED " IRRIGATION " .. BOXES IN GROUND COVER AREAS WHENEVER POSSIBLE AND A MIN. 12" FROM PAVING OR CURBS.
7. THE CONTRACTOR SHALL PROVIDE OWNER WITH A COMPLETELY OPERATING SYSTEM AND CLEAN SET OF MARKED PRINTS AS " AS-BUILT " DRAWINGS. REFERENCE ALL TRENCHES WITH DIMENSIONS TO NEAREST BUILDING OR PAVING.
8. THE CONTRACTOR SHALL WARRANT THAT THE SYSTEM WILL BE FREE FROM DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR. ALL REPAIRS NECESSARY SHALL BE MADE AT NO COST TO THE OWNER.
9. CONTRACTOR SHALL INSTALL TWO DRIP LINES IN EACH AREA. ONE DRIP LINE FOR DROUGHT TOLERANT PLANTS & ONE FOR PLANTS THAT REQUIRE MORE FREQUENT WATERING. USE THE APPROPRIATE GALLONAGE & NUMBER OF EMITTERS DEPENDING ON THE PLANTS REQUIREMENTS.
10. FINISHED GRADES ALONG THE FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AT LEAST 5 FEET FROM THE FOUNDATION.



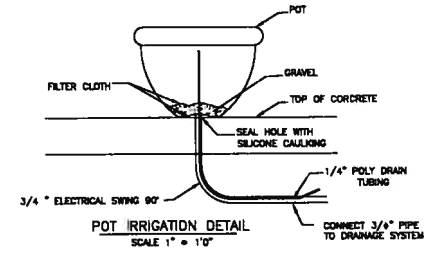
DRIP VALVE ASSEMBLY
NOT TO SCALE



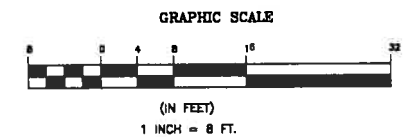
POP-UP SPRAY HEAD
NOT TO SCALE



ELECTRIC CONTROL VALVE
NOT TO SCALE



POT IRRIGATION DETAIL
SCALE 1" = 1'0"



IRRIGATION LEGEND	
SYMBOL	DESCRIPTION
●	RAINBIRD 1804-SAM-PRS POP-UP (ARC & RADIUS NOTED)
○	RAINBIRD 1806-SAM-PRS POP-UP (ARC & RADIUS NOTED)
□	CONTROLLER: TORO INTELLI-SENSE-TIS-24-00
◇	REMOTE CONTRL VALVE: WEATHERMATIC 21024E-10
○	BACKFLOW ASSEMBLY: FEBCD B25Y
○	AMIAD FILTER / PRESSURE REGULATOR
○	QUICK COUPLER: 3/4" RAINBIRD 330RC
○	DRIP STUB-UP FOR CONNECTION TO POLY PIPE
○	MAIN LINE - P.V.C. SCH 40
○	LATERAL LINE - P.V.C. CLASS 200 (CLASS 315 FDR 1/2")
○	6" DRAIN BASIN WITH GRATE
○	3" DRAIN GRATE
○	IN-LINE CHECK VALVE
○	1" NBCD T113-IRR BRASS GATE VALVE
○	AUTOMATIC RAIN SHUTOFF: RAINBIRD RAIN CHECK

SCALE: 1"=8'-0"

4	BL
3	BL
2	BL
1	BL
REVISIONS	BY

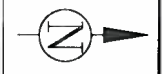
DATE: 5/16/11

SHEET NO:
L-3
OF 4 SHEETS

WATER CALCULATIONS
HYDROZONES

**HELPING HAND
LANDSCAPE DESIGN, INC.**
1228 QUARRY LANE, SUITE E, PLEASANTON, CA 94566
(925)846-2933

THE RESIDENCE OF
SAM ROHAM
6059 SYCAMORE TERRACE
PLEASANTON, CALIFORNIA



SHEET NO:
L-3
OF 4 SHEETS

CITY OF PLEASANTON
LANDSCAPE WATER USE STATEMENT

DATE: MAY 10, 2011
PROJECT NAME: ROHAM RESIDENCE
PROJECT ADDRESS: 6059 SYCAMORE TERRACE
PREPARED BY: JANE T. LUEHR (CID #008435)
BROOKWATER IRRIGATION CONSULTANTS
FIVE CROW CANYON COURT, SUITE 200
SAN RAMON, CA 94583
925-855-0417
925-855-0157 (FAX)
jane@brockwater.com (e-mail)
jane@brockwater.com (e-mail)

PART ONE **MAXIMUM APPLIED WATER ALLOWANCE**

MAWA = $E_t \times (I_2 \times (7 \times I_1A) + (3 \times SLA))$

YEARLY E_t : 47.2
CONVERSION FACTOR: 0.62
ET ADJUSTMENT FACTOR: 0.7
TOTAL IRRIGATED LANDSCAPE AREA (I₁A): 8,305 SQUARE FEET
SPECIAL LANDSCAPE AREA (SLA): 0 SQUARE FEET
LANDSCAPE WATER ALLOWANCE: 170,126 GALLONS PER YEAR
TOTAL ACRE FEET: 0.52 ACRE FEET

CALCULATIONS: 47.2 x 0.62 x 0.7 x 8,305 + 0.3 x 0 = 170,126.264

PART TWO **ESTIMATED TOTAL WATER USE FROM HYDROZONE TABLE**

*ETWU = $E_t \times 0.62 \times (PF \times HA) + IE \times SLA$

AVERAGE IRRIGATION EFFICIENCY: 0.86 (PWR / WWR)

PLANT TYPE	PLANT FACTOR	AREA (SQ FT)	PF x HA
Cool Season Turf (CST)	0.8	1,125	900
Medium Water Use Plants (MW)	0.5	1,843	922
Low Water Use Plants (LW)	0.3	5,337	1,601
SUB-TOTAL			3,423
Special Landscape Area (SLA)	1.00	0	0

ESTIMATED TOTAL WATER USE: 116,052 GALLONS PER YEAR

CALCULATIONS: 47.2 x 0.62 x 3,423 / 0.86 + 0 = 116,052.1275

TOTAL ACRE FEET: 0.38 ACRE FEET
PERCENT OF ET₀: 48%

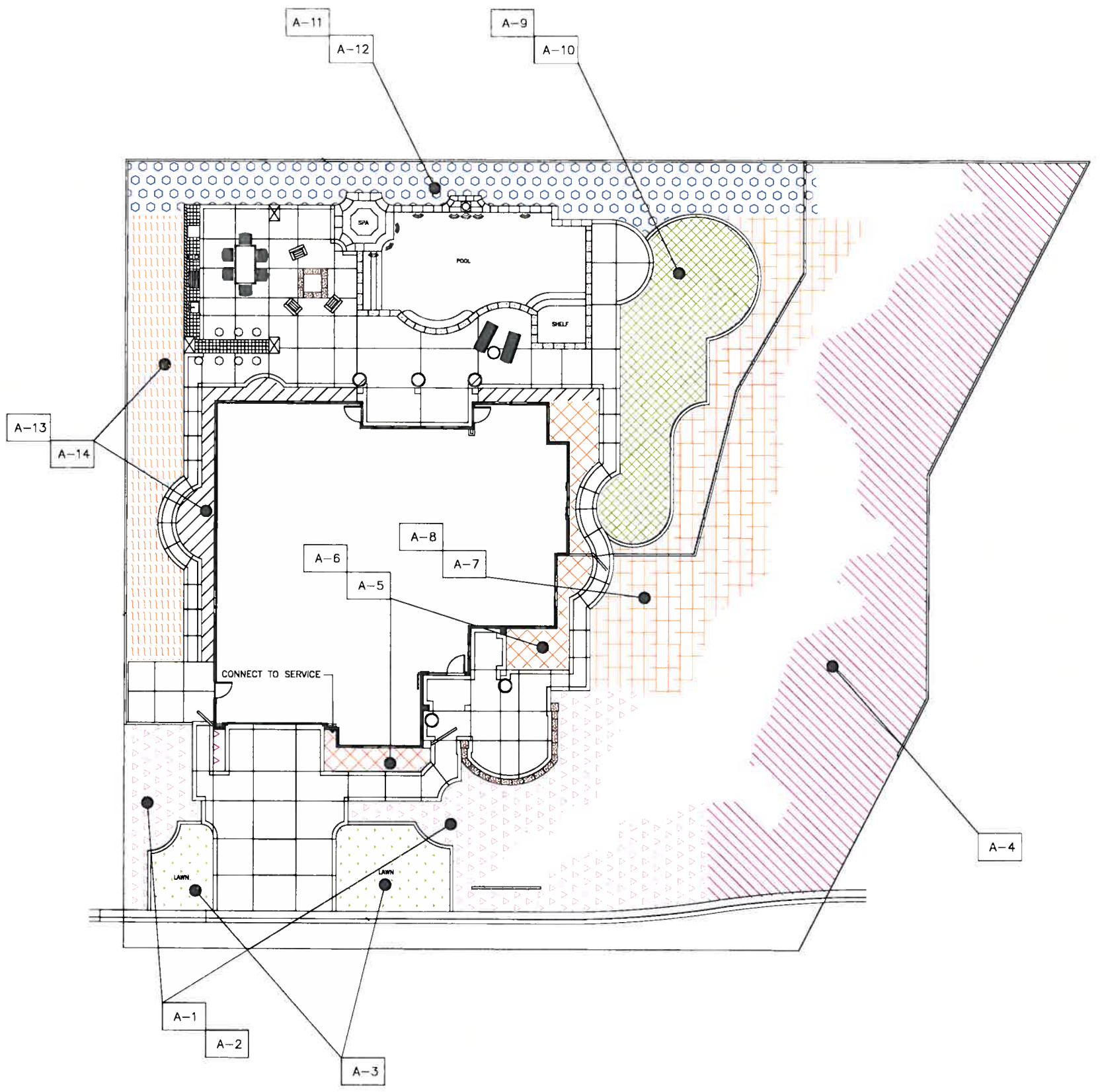
HYDROZONE TABLE

VALVE NO.	PLANT TYPE	HYDROZONE* (PLANT WATER USE)	PLANT FACTOR (PF)	IRRIGATION METHOD**	IRRIGATION EFFICIENCY (E)	HYDROZONE AREA (HA) (Sq Ft)	PF x HA	% LANDSCAPE AREA
A-1	SHRUB	LW	0.30	D	0.90	907	273	10.9%
A-2	SHRUB	MW	0.50	D	0.90	206	103	3.4%
A-3	TURF	CST	0.80	S	0.70	360	312	4.7%
A-4	SHRUB	LW	0.30	D	0.90	2,389	717	28.8%
A-5	SHRUB	LW	0.30	D	0.90	1,030	309	12.4%
A-6	SHRUB	MW	0.50	D	0.90	362	181	4.4%
A-7	SHRUB	LW	0.30	D	0.90	113	34	1.4%
A-8	SHRUB	MW	0.50	D	0.90	170	85	2.0%
A-9	TURF	CST	0.80	S	0.70	441	353	5.3%
A-10	TURF	CST	0.80	S	0.70	294	236	3.5%
A-11	SHRUB	LW	0.30	D	0.90	260	78	3.1%
A-12	SHRUB	MW	0.50	D	0.90	760	380	9.2%
A-13	SHRUB	LW	0.30	D	0.90	638	192	7.7%
A-14	SHRUB	MW	0.50	D	0.90	265	133	3.2%
TOTALS					0.86 Average E	8,305	3,428	100.0%

HYDROZONE TABLE SUMMARY

Hydrozone Description	Total Sq. Ft.	% of Landscape
Cool Season Turf (CST)	1,125	13.5%
Warm Season Turf (WST)	0	0.0%
High Water Use Plants (HW)	0	0.0%
Medium Water Use Plants (MW)	1,843	22.2%
Low Water Use Plants (LW)	5,337	64.3%
Very Low Water Use Plants (VLW)	0	0.0%
Special Landscape Area (SLA)	0	0.0%
TOTAL	8,305	100.0%

**Irrigation Method	Total Sq. Ft.	% of Landscape
Rotor (R)	0	0.0%
Multi-Stream Rotor (MR)	0	0.0%
Spray (S)	1,125	13.5%
Bubbler (B)	0	0.0%
Drip (D)	7,180	86.5%
In-Line Drip (DL)	0	0.0%
Micro Spray (MS)	0	0.0%
Other (O)	0	0.0%



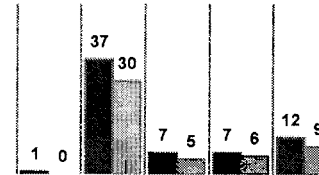
HYDROZONE CHART

GreenPoint Rated Checklist: Single Family



GreenPoint RATED
A PROGRAM OF BUILD IT GREEN

Total Points Targeted: **64**



PDR 963
RECEIVED
 MAY 15 2011
 CITY OF PLEASANTON
 PLANNING DIVISION

The GreenPoint Rated checklist tracks green features incorporated into the home. **A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.** GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Energy (30), Indoor Air Quality/Health (5), Resources (6), and Water (9); and meet the prerequisites A.2.a, H10a., J.2., N.1, and Q0.

This checklist accommodates the verification of mandatory CALGreen measures but does not signify compliance unless accepted by enforcing agency. All CALGreen measures within the checklist must be selected as "Yes" or "n/a" for compliance with GreenPoint Rated. Build It Green is not a code enforcement agency.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated

Single Family New Home 4.2 / 2008 Title 24

Roham Residence		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
A. SITE		Possible Points						
	1. Protect Topsoil and Minimize Disruption of Existing Plants & Trees							
TBD	a. Protect Topsoil and Reuse after Construction	0	1				1	
TBD	b. Limit and Delineate Construction Footprint for Maximum Protection	0					1	
	2. Divert/Recycle Job Site Construction Waste (Including Green Waste and Existing Structures)							
Yes	a. Required: Divert 50% (by weight) of All Construction and Demolition Waste (Recycling or Reuse) (CALGreen Code)	Y				R		
TBD	b. Divert 100% of Asphalt and Concrete and 65% (by weight) of Remaining Materials	0				2		
TBD	c. Divert 100% of Asphalt and Concrete and 80% (by weight) of Remaining Materials	0				2		
	3. Use Recycled Content Aggregate (Minimum 25%)							
TBD	a. Walkway and Driveway Base	0				1		
TBD	b. Roadway Base	0				1		
TBD	4. Cool Site: Reduce Heat Island Effect On Site	0	1					
	5. Construction Environmental Quality Management Plan, Duct Sealing, and Pre-Occupancy Flush-Out [*This credit is a requirement associated with J4: EPA IAPI]							
Yes	a. Duct openings and other related air distribution component openings shall be covered during construction. (CALGreen code if applicable)	1			1			
TBD	b. Full environmental quality management plan and pre-occupancy flush out is conducted (Prerequisite is A5a)	0			1			
Total Points Available in Site = 12		1						
B. FOUNDATION		Possible Points						
TBD	1. Replace Portland Cement in Concrete with Recycled Fly Ash and/or Slag (Minimum 20%)	0				2		
TBD	2. Use Frost-Protected Shallow Foundation in Cold Areas (CEC Climate Zone 16)	0				2		
TBD	3. Use Radon Resistant Construction [*This credit is a requirement associated with J4: EPA IAPI]	0			2			
TBD	4. Install a Foundation Drainage System [*This credit is a requirement associated with J4: EPA IAPI]	0				2		

Roham Residence

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	5. Moisture Controlled Crawlspace [*This credit is a requirement associated with J4: EPA IAP]	0			2			
TBD	6. Design and Build Structural Pest Controls							
TBD	a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections	0				1		
TBD	b. All Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation	0				1		
Total Points Available in Foundation = 12		0						
C. LANDSCAPE			Possible Points					
0%	Enter in the % of landscape area. (Projects with less than 15% of the total site area (i.e. total lot size) as landscape area are capped at 6 points for the following measures: C1 through C7 and C9 through C11.							
TBD	1. Group Plants by Water Needs (Hydrozoning)	0					2	
TBD	2. Mulch All Planting Beds to the Greater of 3 Inches or Local Water Ordinance Requirement	0					2	
3. Construct Resource-Efficient Landscapes								
TBD	a. No Invasive Species Listed by Cal-IPC Are Planted	0					1	
TBD	b. No Plant Species Will Require Shearing	0			1			
TBD	c. 75% of Plants Are Drought Tolerant, California Natives or Mediterranean Species or Other Appropriate Species	0					3	
4. Minimize Turf in Landscape Installed by Builder								
TBD	a. Turf Shall Not Be Installed on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less than 8 Feet Wide	0					2	
TBD	b. Turf is Small Percentage of Landscaped Area (2 Points for ≤25%, 4 Points for ≤10%)	0					4	
Yes	5. Plant Shade Trees	3	1	1			1	
6. Install High-Efficiency Irrigation Systems								
TBD	a. System Uses Only Low-Flow Drip, Bubblers, or Sprinklers	0					2	
Yes	b. System Has Smart (Weather-Based) Controller (CALGreen code if applicable)	3					3	
TBD	7. Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil	0					3	
8. Rain Water Harvesting System								
TBD	a. Cistern(s) is Less Than 750 Gallons	0					1	
TBD	b. Cistern(s) is 750 to 2,500 Gallons	0					1	
TBD	c. Cistern(s) is Greater Than 2,500 Gallons	0					1	
TBD	9. Irrigation System Uses Recycled Wastewater	0					1	
TBD	10. Submetering for Landscape Irrigation	0					1	
11. Design Landscape to Meet Water Budget								
TBD	a. Install Irrigation System That Will Be Operated at ≤70% Reference ET (Prerequisites for Credit are C1. and C2.)	0					1	
TBD	b. Install Irrigation System That Will Be Operated at ≤50% Reference ET (Prerequisites for Credit are C1, C2, and C6a or C6b.)	0					1	
TBD	12. Use Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content E) Finger-Jointed or F) Local	0				1		
TBD	13. Reduce Light Pollution by Shielding Fixtures and Directing Light Downward	0	1					
Total Points Available in Landscape = 35		6						
D. STRUCTURAL FRAME & BUILDING ENVELOPE			Possible Points					
1. Apply Optimal Value Engineering								
TBD	a. Place Joists, Rafters and Studs at 24-Inch On Center	0				3		
Yes	b. Door and Window Headers are Sized for Load	1				1		
TBD	c. Use Only Cripple Studs Required for Load	0				1		
2. Construction Material Efficiencies								
TBD	a. Wall and Floor Assemblies (Excluding Solid Wall Assemblies) are Delivered Panelized from Supplier (Minimum of 80% Square Feet)	0				2		
TBD	b. Modular Components Are Delivered Assembled to the Project (Minimum 25%)	0				6		

Roham Residence

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
3. Use Engineered Lumber								
TBD	a. Engineered Beams and Headers	0				1		
TBD	b. Wood I-Joists or Web Trusses for Floors	0				1		
TBD	c. Engineered Lumber for Roof Rafters	0				1		
TBD	d. Engineered or Finger-Jointed Studs for Vertical Applications	0				1		
Yes	e. Oriented Strand Board for Subfloor	1				1		
Yes	f. Oriented Strand Board for Wall and Roof Sheathing	1				1		
TBD	4. Insulated Headers	0		1				
5. Use FSC-Certified Wood								
TBD	a. Dimensional Lumber, Studs and Timber (Minimum 40%)	0				6		
TBD	b. Panel Products (Minimum 40%)	0				3		
6. Use Solid Wall Systems (Includes SIPS, ICFs, & Any Non-Stick Frame Assembly)								
TBD	a. Floors	0				2		
TBD	b. Walls	0				2		
TBD	c. Roofs	0				1		
TBD	7. Energy Heels on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)	0		1				
8. Install Overhangs and Gutters								
TBD	a. Minimum 16-Inch Overhangs and Gutters	0				1		
TBD	b. Minimum 24-Inch Overhangs and Gutters	0		1				
9. Reduce Pollution Entering the Home from the Garage [*This credit is a requirement associated with J4: EPA IAP]								
TBD	a. Install Garage Exhaust Fan OR Build a Detached Garage	0			1			
TBD	b. Tightly Seal the Air Barrier between Garage and Living Area (Performance Test Required)	0			1			
Total Points Available in Structural Frame and Building Envelope = 39		3						
E. EXTERIOR			Possible Points					
TBD	1. Use Environmentally Preferable Decking	0				2		
TBD	2. Flashing Installation Techniques Specified and Third-Party Verified [*This credit is a requirement associated with J4: EPA IAP]	0				1		
TBD	3. Install a Rain Screen Wall System	0				2		
Yes	4. Use Durable and Non-Combustible Siding Materials	1				1		
Yes	5. Use Durable and Fire Resistant Roofing Materials or Assembly	2				2		
Total Points Available in Exterior = 8		3						
F. INSULATION			Possible Points					
1. Install Insulation with 75% Recycled Content								
No	a. Walls	0				1		
No	b. Ceilings	0				1		
TBD	c. Floors	0				1		
Total Points Available in Insulation = 3		0						
G. PLUMBING			Possible Points					
1. Distribute Domestic Hot Water Efficiently (Max. 5 points, G1a. is a Prerequisite for G1b-e)								
TBD	a. Insulate All Hot Water Pipes [*This credit is a requirement associated with J4: EPA IAP]	0		1			1	
TBD	b. Use Engineered Parallel Plumbing	0					1	
TBD	c. Use Engineered Parallel Plumbing with Demand Controlled Circulation Loop(s)	0					1	
TBD	d. Use Traditional Trunk, Branch and Twig Plumbing with Demand Controlled Circulation Loop(s)	0		1			2	
TBD	e. Use Central Core Plumbing	0		1		1	1	
2. Water Efficient Fixtures								
Yes	a. High Efficiency Showerheads ≤2.0 Gallons Per Minute (gpm) at 80 psi. (Multiple showerheads shall not exceed maximum flow rates) (CALGreen code if applicable)	3					3	

Roham Residence

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
Yes	b. High Efficiency Bathroom Faucets ≤ 1.5 gpm at 60psi (CALGreen code)	1					1	
Yes	c. High Efficiency Kitchen and Utility Faucets ≤1.8 gpm (CALGreen code if applicable)	1					1	
Yes	3. Install Only High Efficiency Toilets (Dual-Flush or ≤1.28 Gallons Per Flush (gpf)) (CALGreen code if applicable)	2					2	
Total Points Available in Plumbing = 12		7						
H. HEATING, VENTILATION & AIR CONDITIONING			Possible Points					
1. Properly Design HVAC System and Perform Diagnostic Testing								
Yes	a. Design and Install HVAC System to ACCA Manual J, D, and S Recommendations (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP1]	4		4				
TBD	b. Test Total Supply Air Flow Rates [*This credit is a requirement associated with J4: EPA IAP1]	0		1				
TBD	c. Third Party Testing of Mechanical Ventilation Rates for IAQ (meet ASHRAE 62.2)	0		1				
2. Install Sealed Combustion Units [*This credit is a requirement associated with J4: EPA IAP1]								
TBD	a. Furnaces	0			2			
TBD	b. Water Heaters	0			2			
No	3. Install High Performing Zoned Hydronic Radiant Heating	0		1	1			
TBD	4. Install High Efficiency Air Conditioning with Environmentally Preferable Refrigerants	0	1					
5. Design and Install Effective Ductwork								
TBD	a. Install HVAC Unit and Ductwork within Conditioned Space	0		1				
TBD	b. Use Duct Mastic on All Duct Joints and Seams [*This credit is a requirement associated with J4: EPA IAP1]	0		1				
TBD	c. Pressure Relieve the Ductwork System [*This credit is a requirement associated with J4: EPA IAP1]	0		1				
No	6. Install High Efficiency HVAC Filter (MERV 6+) [*This credit is a requirement associated with J4: EPA IAP1]	0			1			
TBD	7. No Fireplace OR Install Sealed Gas Fireplace(s) with Efficiency Rating >60% using CSA Standards [*This credit is a requirement associated with J4: EPA IAP1]	0			1			
Yes	8. Install ENERGY STAR Bathroom Fans on Timer or Humidistat (CALGreen code if applicable)	1			1			
9. Install Mechanical Ventilation System for Cooling (Max. 4 Points)								
TBD	a. Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & All Bedrooms	0		1				
Yes	b. Install Whole House Fan (Credit Not Available if H9c Chosen) (CALGreen code if applicable)	1		1				
TBD	c. Automatically Controlled Integrated System with Variable Speed Control	0		3				
10. Advanced Mechanical Ventilation for IAQ								
Yes	a. Required: Compliance with ASHRAE 62.2 Mechanical Ventilation Standards (as adopted in Title 24 Part 6) [*This credit is a requirement associated with J4: EPA IAP1]	Y			R			
TBD	b. Advanced Ventilation Practices (Continuous Operation, Sone Limit, Minimum Efficiency, Minimum Ventilation Rate, Homeowner Instructions)	0			1			
TBD	c. Outdoor Air Ducted to Bedroom and Living Areas of Home	0			2			
No	11. Install Carbon Monoxide Alarm(s) (or No Combustion Appliances in Living Space and No Attached Garage) [*This credit is a requirement associated with J4: EPA IAP1]	0			1			
Total Points Available in Heating, Ventilation and Air Conditioning = 27		6						
I. RENEWABLE ENERGY			Possible Points					
TBD	1. Pre-Plumb for Solar Water Heating	0				1		
Yes	2. Install Wiring Conduit for Future Photovoltaic Installation & Provide 200 ft ² of South-Facing Roof	1				1		
0.0%	3. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind) <i>Enter % total energy consumption offset. 1 point per 4% offset</i>	0		25				
Total Available Points in Renewable Energy = 27		1						
J. BUILDING PERFORMANCE			Possible Points					

Roham Residence

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Building Envelope Diagnostic Evaluations								
TBD	a. Verify Quality of Insulation Installation & Thermal Bypass Checklist before Drywall [*This credit is a requirement associated with J4: EPA IAP]	0		1				
TBD	b. House Passes Blower Door Test [*This credit is a requirement associated with J4: EPA IAP]	0		1				
TBD	c. Blower Door Results are Max 2.5 ACH ₅₀ for Unbalanced Systems (Supply or Exhaust) or Max 1.0 ACH ₅₀ for Balanced Systems (Total Points for J1h and J1c)	0		1				
TBD	d. House Passes Combustion Safety Backdraft Test	0			1			
15%	2. Required: Building Performance Exceeds Title 24 (Minimum 15%) (Enter the Percent Better Than Title 24. Points for Every 1% Better Than Title 24)	30		≥30				
TBD	3. Design and Build Near Zero Energy Homes (Enter number of points, minimum of 2 and maximum of 6 points)	0		6				
TBD	4. Obtain EPA Indoor airPlus Certification (Total 42 points, not including Title 24 performance, read comment)	0			2			
TBD	5. Title 24 Prepared and Signed by a CABEC Certified Energy Plans Examiner (CEPE)	0		1				
6. Participation in Utility Program with Third Party Plan Review								
TBD	a. Energy Efficiency Program [*This credit is a requirement associated with J4: EPA IAP]	0		1				
TBD	b. Renewable Energy Program with Min. 30% Better Than Title 24 (High Performing Home)	0		1				
Total Available Points in Building Performance = 45+		30						
K. FINISHES			Possible Points					
TBD	1. Design Entryways to Reduce Tracked-In Contaminants	0			1			
2. Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)								
Yes	a. Low-VOC Interior Wall/Ceiling Paints (CALGreen code if applicable) (<50 Grams Per Liter (gpl) VOCs Regardless of Sheen) [*This credit is a requirement associated with J4: EPA IAP]	1			1			
TBD	b. Zero-VOC: Interior Wall/Ceiling Paints (<5 gpl VOCs Regardless of Sheen)	0			2			
Yes	3. Use Low-VOC Coatings that Meet SCAQMD Rule 1113 (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	2			2			
Yes	4. Use Low-VOC Caulks, Construction Adhesives and Sealants that Meet SCAQMD Rule 1168 (CALGreen code if applicable)	2			2			
TBD	5. Use Recycled-Content Paint	0				1		
6. Use Environmentally Preferable Materials for Interior Finish A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content or E) Finger-Jointed F) Local								
TBD	a. Cabinets (50% Minimum)	0				3		
TBD	b. Interior Trim (50% Minimum)	0				2		
TBD	c. Shelving (50% Minimum)	0				2		
TBD	d. Doors (50% Minimum)	0				2		
TBD	e. Countertops (50% Minimum)	0				2		
Yes	7. Reduce Formaldehyde in Interior Finish – Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	Y			0			
8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory Compliance Dates								
TBD	a. Doors (90% Minimum)	0			1			
TBD	b. Cabinets & Countertops (90% Minimum)	0			2			
TBD	c. Interior Trim and Shelving (90% Minimum)	0			1			
TBD	9. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb	0			3			
Total Available Points in Finishes = 27		5						
L. FLOORING			Possible Points					

Roham Residence

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	1. Use Environmentally Preferable Flooring (Minimum 15% Floor Area) A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable, D) Recycled-Content, E) Exposed Concrete, F) Local. Flooring Adhesives Must Meet SCAQMD Rule 1168 for VOCs.	0				4		
TBD	2. Thermal Mass Floors (Minimum 50%)	0		1				
TBD	3. Low Emitting Flooring (Section 01350, CRI Green Label Plus, Floorscore [*This credit is a requirement associated with J4: EPA IAP]	0			3			
Yes	4. All carpet and 50% of Resilient Flooring is low emitting. (CALGreen code if applicable)	Y						
Total Available Points in Flooring = 8		0						
M. APPLIANCES AND LIGHTING			Possible Points					
TBD	1. Install ENERGY STAR Dishwasher (Must Meet Current Specifications)	0		1			1	
	2. Install ENERGY STAR Clothes Washer							
TBD	a. Meets ENERGY STAR and CEE Tier 2 Requirements (Modified Energy Factor 2.0, Water Factor 6.0 or less)	0		1			2	
TBD	b. Meets ENERGY STAR and CEE Tier 3 Requirements (Modified Energy Factor 2.2, Water Factor 4.5 or less)	0					2	
	3. Install ENERGY STAR Refrigerator							
TBD	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity	0		1				
TBD	b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity	0		1				
	4. Install Built-In Recycling Center or Composting Center							
TBD	a. Built-In Recycling Center	0				1		
TBD	b. Built-In Composting Center	0				1		
	5. Install High-Efficacy Lighting and Design Lighting System							
TBD	a. Install High-Efficacy Lighting	0		1				
TBD	b. Install a Lighting System to IESNA Footcandle Standards or Hire Lighting Consultant	0		1				
Total Available Points in Appliances and Lighting = 13		0						
N. OTHER			Possible Points					
Yes	1. Required: Incorporate GreenPoint Rated Checklist in Blueprints [*This credit is a requirement associated with J4: EPA IAP]	Y				R		
TBD	2. Pre-Construction Kick-Off Meeting with Rater and Subs	0	1					
TBD	3. Homebuilder's Management Staff are Certified Green Building Professionals	0	1					
	4. Develop Homeowner Education							
Yes	a. Develop Homeowner Manual of Green Features/Benefits (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	2		1			1	
TBD	b. Conduct Educational Walkthroughs (Prerequisite is N4a) [*This credit is a requirement associated with J4: EPA IAP]	0			1			
TBD	5. Install a Home System Monitor OR Participate in a Time-of-Use Pricing Program	0		1				
Total Available Points in Other = 6		2						
O. COMMUNITY DESIGN & PLANNING			Possible Points					
	1. Develop Infill Sites							
TBD	a. Project is an Urban Infill Development	0	1			1		
TBD	b. Home(s)/Development is Located within 1/2 Mile of a Major Transit Stop	0	2					
TBD	2. Build on Designated Brownfield Site	0	3					
	3. Cluster Homes & Keep Size In Check							
TBD	a. Cluster Homes for Land Preservation	0	1			1		
TBD	b. Conserve Resources by Increasing Density (10 Units per Acre or Greater)	0	2			2		
	c. Home Size Efficiency	0				9		
	i. Enter Average Unit Square Footage							
	ii. Enter Average Number of Bedrooms/Unit							
	4. Design for Walking & Bicycling							

Roham Residence

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes	
	a. Site Has Pedestrian Access Within 1/2 Mile of Community Services: TIER 1: Enter Number of Services Within 1/2 Mile 1) Day Care 2) Community Center 3) Public Park 4) Drug Store 5) Restaurant 6) School 7) Library 8) Farmer's Market 9) After School Programs 10) Convenience Store Where Meat & Produce are Sold								
	TIER 2: Enter Number of Services Within 1/2 Mile 1) Bank 2) Place of Worship 3) Laundry/Cleaners 4) Hardware 5) Theater/Entertainment 6) Fitness/Gym 7) Post Office 8) Senior Care Facility 9) Medical/Dental 10) Hair Care 11) Commercial Office or Major Employer 12) Full Scale Supermarket								
	i. 5 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	0	1						
	ii. 10 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	0	1						
TBD	b. Development is Connected with A Dedicated Pedestrian Pathway to Places of Recreational Interest Within 1/4 mile	0	1						
TBD	c. Install Traffic Calming Strategies (Minimum of Two): - Designated Bicycle Lanes are Present on Roadways; - Ten-Foot Vehicle Travel Lanes; - Street Crossings Closest to Site are Located Less Than 300 Feet Apart; - Streets Have Rumble Strips, Bulbouts, Raised Crosswalks or Refuge Islands	0	2						
	5. Design for Safety & Social Gathering								
TBD	a. All Home Front Entrances Have Views from the Inside to Outside Callers	0	1						
TBD	b. All Home Front Entrances Can be Seen from the Street and/or from Other Front Doors	0	1						
TBD	c. Orient Porches (min. 100sf) to Streets and Public Spaces	0	1						
TBD	d. Development Includes a Social Gathering Space	0	1						
	6. Design for Diverse Households (6a. is a Prerequisite for 6b. and 6c.)								
TBD	a. All Homes Have At Least One Zero-Step Entrance	0	1						
TBD	b. All Main Floor Interior Doors & Passageways Have a Minimum 32-Inch Clear Passage Space	0	1						
TBD	c. Locate Half-Bath on the Ground Floor	0	1						
TBD	d. Provide Full-Function Independent Rental Unit	0	1						
	Total Achievable Points in Community Design & Planning = 35	0							
P. INNOVATION			Possible Points						
	A. Site								
	1. Stormwater Control: Prescriptive Path (Maximum of 3 Points, Mutually Exclusive with PA2.)								
TBD	a. Use Permeable Paving for 25% of Driveways, Patios and Walkways	0	1						
TBD	b. Install Bio-Retention and Filtration Features	0	2						
TBD	c. Route Downspout Through Permeable Landscape	0	1						
TBD	d. Use Non-Leaching Roofing Materials	0	1						
TBD	e. Include Smart Street/Driveway Design	0	1						
TBD	2. Stormwater Control: Performance Path (Mutually Exclusive with PA1): Perform Soil Percolation Test and Capture and Treat 85% of Total Annual Runoff	0	3						
	C. Landscape								
TBD	1. Meet Local Landscape Program Requirement	0					2		
	D. Structural Frame & Building Envelope								
	1. Design, Build and Maintain Structural Pest and Rot Controls								
TBD	a. Locate All Wood (Siding, Trim, Structure) At Least 12" Above Soil	0				1			
TBD	b. All Wood Framing 3 Feet from the Foundation is Treated with Borates (or Use Factory-Impregnated Materials) OR Walls are Not Made of Wood	0				1			
TBD	2. Use Moisture Resistant Materials in Wet Areas: Kitchen, Bathrooms, Utility Rooms, and Basements [*This credit is a requirement associated with J4, EPA IAP]	0			1	1			
	E. Exterior								
TBD	1. Vegetated Roof (Minimum 25%)	0	2	2					
	G. Plumbing								

Roham Residence

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	1. Greywater Pre-Plumbing (Includes Washing Machine at Minimum)	0					1	
TBD	2. Greywater System Operational (Includes Washing Machine at Minimum)	0					2	
TBD	3. Innovative Wastewater Technology (Constructed Wetland, Sand Filter, Aerobic System)	0					1	
TBD	4. Composting or Waterless Toilet	0					2	
TBD	5. Install Drain Water Heat-Recovery System	0		1				
TBD	6. Install a Hot Water Desuperheater	0		2				
H. Heating, Ventilation, and Air Conditioning								
TBD	1. Humidity Control Systems (Only in California Humid/Marine Climate Zones 1,3,5,6,7) *This credit is a requirement associated with J4: EPA IAPI	0			1			
TBD	2. Design HVAC System to Manual T for Register Design	0		1				
K. Finishes								
TBD	1. Materials Meet SMARt Criteria (Select the number of points, up to 5 points)	0				5		
N. Other								
TBD	1. Detailed Durability Plan and Third-Party Verification of Plan Implementation	0				2		
TBD	2. Educational Signage of Project's Green Features							
TBD	a. Promotion of Green Building Practices	0	1					
TBD	b. Installed Green Building Educational Signage	0	1					
3. Innovation: List innovative measures that meet green building objectives. Enter in the number of points in each category for a maximum of 4 points for the measure in the blue cells. Points achieved column will be automatically fill in based on the sum of the points in each category. Points and measures will be evaluated by Build It Green.								
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
Total Achievable Points in Innovation = 33+		0						
Q. CALIFORNIA CALGreen CODE			Possible Points					
Yes	Home meets all applicable CAL Green measures listed in above Sections A - P of the GreenPoint Rated checklist.	Y	R					
<p>The following measures are mandatory in the CALGreen code and do not earn points in the GreenPoint Rated Checklist, but have been included in the Checklist for the convenience of jurisdictions.</p> <p>The GreenPoint Rater is not a code enforcement official. The measures in this section may be verified by the GreenPoint Rater at their own discretion and/or discretion of the building official.</p>								
TBD	1. CALGreen 4.106.2 Storm water management during construction.	N						
TBD	2. CALGreen 4.106.3 Design for surface water drainage away from buildings.	N						
TBD	3. CALGreen 4.303.1 As an alternative to prescriptive compliance, a 20% reduction in baseline water use shall be demonstrated through calculation	N						
TBD	4. CALGreen 4.406.1 Joints and openings. Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected	N						
TBD	5. CALGreen 4.503.1 Gas fireplace shall be a direct-vent sealed-combustion type. Woodstove or pellet stove shall comply with US EPA Phase II emission limits	N						
TBD	6. CALGreen 4.505.2 Vapor retarder and capillary break is installed at slab on grade foundations.	N						
TBD	7. CALGreen 4.505.3 19% moisture content of building framing materials	N						
TBD	8. CALGreen 702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.	N						
Total Achievable Points in California Green Code = 0		0						

Summary							
Total Available Points in Specific Categories			35	96+	44	110	56
Minimum Points Required in Specific Categories		50	0	30	5	6	9
Total Points Achieved		64	1	37	7	7	12

Roham Residence

Points
Achieved

Community

Energy

IAQ/Health

Resources

Water

Notes

Project has met all recommended minimum requirements

- Total Project Score of At Least 50 Points
- Required measures:
 - A3a: 50% waste diversion by weight
 - H10a: Compliance with ASHRAE 62.2 Mechanical Ventilation Standards
 - J2: 15% above Title 24
 - N1: Incorporate GreenPoint Rated Checklist into blueprints
- Minimum points in specific categories:
 - Energy (30 points)
 - IAQ/Health (5 points)
 - Resources (6 points)
 - Water (9 points)

ROHAM RESIDENCE

ROOF _____

EAGLE 4897



STONE _____

EL DORADO SARATOGA RUSTIC LEDGE



POST/DOOR/WINDOW _____

BEHR ECC 25-1



STUCCO BODY _____

BEHR ECC 18-1



EAVE/RAKE _____

BEHR ECC 25-2



RECEIVED

MAY 18 2011

**CITY OF PLEASANTON
PLANNING DIVISION**

**PDR 963
EXHIBIT B**