

GreenPoint Rated Existing Home Checklist



Build It Green
Smart Solutions From The Ground Up

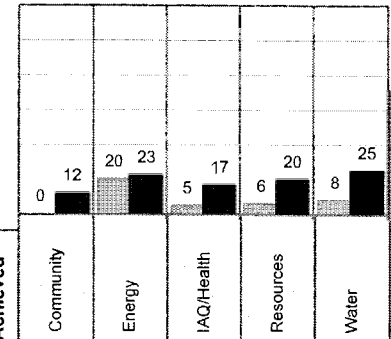
A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green. GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

This checklist is used to track projects seeking a Whole House or Elements Label using the GreenPoint Rated Existing Home Rating System. The minimum requirements for each label are listed in the project summary at the end of this checklist. Selected measures can be awarded points allocated by the percentage of presence of the measure in the home. The measure or practice must be found in at least 10% of the home to earn points.

Column A is a dropdown menu with the options of "Yes", "No", or "TBD" or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the yellow "points achieved" column.

Enter Label: **Whole House**

Points Achieved: **97**



| CareMeridian Pleasanton | | Points Achieved | Possible Points | | | | |
|--|---|-----------------|------------------------|--|---|-----|---|
| AA. COMMUNITY | | | Possible Points | | | | |
| Yes | 1. Home Is Located within 1/2 Mile of a Major Transit Stop | 2 | 2 | | | | |
| | 2. Compact Development & House Size | | | | | | |
| | a. Density of 10 Units per Acre or Greater (Enter units/acre) | | 2 | | | 2 | |
| Yes | b. Home Size Efficiency (5 points is average, points awarded based on home size) | 5 | | | | 1-9 | |
| | 3. Pedestrian and Bicycle Access/ Alternative Transportation | | | | | | |
| | a. Site has Pedestrian Access Within 1/2 Mile of neighborhood services: | | | | | | |
| | TIER 1: 1) Day Care 2) Community Center 3) Public Park | | | | | | |
| | 4) Drug Store 5) Restaurant 6) School | | | | | | |
| | 7) Library 8) Farmer's Market 9) After School Programs | | | | | | |
| | 10) Convenience Store Where Meat & Produce are Sold | | | | | | |
| | TIER 2: 1) Bank 2) Place of Worship 3) Laundry/Cleaners | | | | | | |
| | 4) Hardware 5) Theater/Entertainment 6) Fitness/Gym | | | | | | |
| | 7) Post Office 8) Senior Care Facility 9) Medical/Dental | | | | | | |
| | 10) Hair Care 11) Commercial Office of Major Employer 12) Full Supermarket | | | | | | |
| No | 5 Services Listed Above (Tier 2 Services count as 1/2 Service Value) | | 1 | | | | |
| No | 10 Services Listed Above (Tier 2 Services count as 1/2 Service Value) | | 1 | | | | |
| No | b. Access to A Dedicated Pedestrian Pathway to Places of Recreational Interest within 1/2 Mile | | 1 | | | | |
| TBD | c. At Least Two of the Following Traffic-Calming Strategies Installed within 1/4 mile: | | 1 | | | | |
| | Designated Bicycle Lanes are Present on Roadways; | | | | | | |
| | Ten-Foot Vehicle Travel Lanes; | | | | | | |
| | Street Crossings Closest to Site are Located Less Than 300 Feet Apart; | | | | | | |
| | Streets Have Rumble Strips, Bulbouts, Raised Crosswalks or Refuge Islands | | | | | | |
| | 4. Safety & Social Gathering | | | | | | |
| Yes | a. Front Entrance Has Views from the Inside to Outside Callers | 1 | 1 | | | | |
| Yes | b. Front Entrance Can be Seen from the Street and/or from Other Front Doors | 1 | 1 | | | | |
| Yes | c. Porch (min. 100sf) Oriented to Streets and Public Spaces | 1 | 1 | | | | |
| | 5. Diverse Households | | | | | | |
| Yes | a. Home Has at Least One Zero-Step Entrance (prerequisite for 5b. And 5c.) | 1 | 1 | | | | |
| Yes | b. All Main Floor Interior Doors & Passageways Have a Min. 32-Inch Clear Passage Space | 1 | 1 | | | | |
| Yes | c. Home includes at Least a Half-Bath on the Ground Floor with Blocking for Grab Bars | 1 | 1 | | | | |
| No | d. Lot Includes Full-Function Independent Rental Unit | | 1 | | | | |
| Total Points Available in Community = 62 | | 13 | | | | | |
| A. SITE | | | Possible Points | | | | |
| Yes | 1. Protect Existing Topsoil from Erosion and Reuse after Construction | 2 | 1 | | | | 1 |
| | 2. Divert Construction and Demolition Waste | | | | | | |
| Yes | a. Divert All Cardboard, Concrete, Asphalt and Metals (Required for both Whole House and Elements, if Applicable) | | Y | | | R | |
| TBD | b. Divert 25% C&D Waste Excluding All Cardboard, Concrete, Asphalt and Metals | | | | | 2 | |
| TBD | 3. Construction IAQ Management Plan | | | | 2 | | |
| Total Points Available in Site = 6 | | 2 | | | | | |
| B. FOUNDATION | | | Possible Points | | | | |
| | 1. Replace Portland Cement In Concrete with Recycled Flyash or Slag | | | | | | |
| TBD | a. Minimum 20% Flyash and/or Slag Content | | | | | 1 | |
| TBD | b. Minimum 30% Flyash and/or Slag Content | | | | | 1 | |

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P11-0458

CareMeridian Pleasanton

| CareMeridian Pleasanton | | Points Achieved | Community | Energy | IAQ/Health | Resources | Water |
|---|---|-----------------|------------------------|--------|------------|-----------|-------|
| Yes | 2. Moisture Source Verification and Correction (Required for Whole House) | Y | | | R | R | |
| | 3. Retrofit Crawl Space to Control Moisture | | | | 2 | | |
| TBD | a. Control Ground Moisture with Vapor Barrier | | | | | 2 | |
| TBD | b. Foundation Drainage System | | | | | | |
| Yes | 4. Pest Inspection and Correction | 1 | | | | 1 | |
| | 5. Design and Build Structural Pest Controls | | | | | | |
| TBD | a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections by Metal or Plastic Fasteners/Dividers | | | | | 1 | |
| TBD | b. All New Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation | | | | | 1 | |
| TBD | 6. Radon Testing and Correction or Radon Resistant Construction | | | | 1 | | |
| Total Points Available in Foundation = 10 | | 1 | | | | | |
| C. LANDSCAPE | | | Possible Points | | | | |
| No | Is the landscape area <15% of the total site area? (only 3 points available in this section for projects with <15% landscape area) | | | | | | |
| | 1. Resource-Efficient Landscapes | | | | | | |
| Yes | a. No Invasive Species Listed by Cal-IPC Are Planted | 1 | | | | | 1 |
| Yes | b. No Plant Species Require Shearing | 1 | | | | 1 | |
| TBD | c. 50% of Plants Are California Natives or Mediterranean Climate Species | | | | | | 3 |
| No | 2. Fire-Safe Landscaping Techniques | | 1 | | | | |
| | 3. Minimal Turf Areas | | | | | | |
| No | a. Turf Not Installed on Slopes Exceeding 10% or in Areas Less than 8 Feet Wide | | | | | | 2 |
| Yes | b. Turf is <25% of Landscaped Area | 2 | | | | | 2 |
| Yes | c. Turf is <10% of Landscaped Area or eliminated | 2 | | | | | 2 |
| Yes | 4. Shade Trees Planted | 3 | 1 | 1 | | | 1 |
| Yes | 5. Plants Grouped by Water Needs (Hydrozoning) | 2 | | | | | 2 |
| | 6. High-Efficiency Irrigation Systems Installed | | | | | | |
| Yes | a. System Uses Only Low-Flow Drip, Bubblers, or Low-flow Sprinklers | 2 | | | | | 2 |
| Yes | b. System Has Smart Controllers | 3 | | | | | 3 |
| TBD | 7. Compost and Recycle Garden Trimmings on Site | | | | | | 1 |
| ≥90% | 8. Mulch in All Planting Beds to the Greater of 2 Inches or Local Water Ordinance Requirement | 2 | | | | | 2 |
| TBD | 9. Use Environmentally Preferable Materials for Non-Plant Landscape Elements and Fencing | | | | | 1 | |
| Yes | 10. Light Pollution Reduced by Shielding Fixtures and Directing Light Downward | 1 | 1 | | | | |
| | 11. Rain Water Harvesting System (1 point for ≤ 350 gallons, 2 points for > 350 gallons) | | | | | | |
| Yes | a. Cistern(s) is Less Than 750 Gallons | 1 | | | | | 1 |
| Yes | b. Cistern(s) is 750 to 2,500 Gallons | 1 | | | | | 1 |
| Yes | c. Cistern(s) is Greater Than 2,500 Gallons | 1 | | | | | 1 |
| Yes | 12. Soil Amended with Compost | 2 | | | | 1 | 1 |
| Total Points Available in Landscape = 32 | | 24 | | | | | |

CareMeridian Pleasanton

| CareMeridian Pleasanton | | Points Achieved | Community | Energy | IAQ/Health | Resources | Water |
|---|--|-----------------|------------------------|--------|------------|-----------|-------|
| D. STRUCTURAL FRAME & BUILDING ENVELOPE | | | Possible Points | | | | |
| 50% | 1. Optimal Value Engineering | 0.5 | | | | 1 | |
| TBD | a. Place Rafters & Studs at 24-Inch On Center Framing | | | | | 1 | |
| TBD | b. Size Door & Window Headers for Load | | | | | 1 | |
| | c. Use Only Jack & Cripple Studs Required for Load | | | | | 1 | |
| No | 2. Use Engineered Lumber | | | | | 1 | |
| No | a. Engineered Beams & Headers | | | | | 1 | |
| No | b. Insulated Headers | | | 1 | | | |
| No | c. Engineered Lumber for Floors | | | | | 1 | |
| No | d. Engineered Lumber for Roof Rafters | | | | | 1 | |
| No | e. Engineered or Finger-Jointed Studs for Vertical Applications | | | | | 1 | |
| No | f. Oriented Strand Board for Subfloor | | | | | 1 | |
| ≥90% | g. Oriented Strand Board Wall and Roof Sheathing | 1 | | | | 1 | |
| No | 3. FSC Certified Wood | | | | | 4 | |
| No | a. Dimensional Lumber, Studs, and Timber | | | | | 4 | |
| | b. Panel Products | | | | | 2 | |
| ≥90% | 4. Solid Wall Systems (Includes SIPs, ICFs, & Any Non-Stick Frame Assembly) | 4 | | 2 | | 2 | |
| TBD | a. Floors | | | 2 | | 2 | |
| TBD | b. Walls | | | 2 | | 2 | |
| TBD | c. Roofs | | | 2 | | 2 | |
| Yes | 5. Reduce Pollution Entering the Home from the Garage | 1 | | | 1 | | |
| No | a. Tightly Seal the Air Barrier between Garage and Living Area | | | | 1 | | |
| No | b. Install Garage Exhaust Fan OR Have a Detached Garage | | | | 1 | | |
| No | 6. Energy Heels on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall) | | | 1 | | | |
| 50% | 7. Overhangs and Gutters | 0.5 | | | | 1 | |
| No | a. Minimum 16-Inch Overhangs and Gutters | | | | | 1 | |
| | b. Minimum 24-Inch Overhangs and Gutters | | | 1 | | | |
| Yes | 8. Retrofit/ Upgrade Structure for Lateral Load Reinforcement for Wind or Selsmic | 1 | | | | 1 | |
| Yes | a. Partial Lateral Load Reinforcement Upgrades/ Retrofits | | | | | 1 | |
| Yes | b. Lateral Load Reinforcement Upgrades/ Retrofits for Entire home | 2 | | | | 2 | |
| Yes | 9. Sound Exterior Assemblies (Required for Whole House) | Y | | | | R | |
| Total Points Available in Structural Frame & Building Envelope = 36 | | 10 | | | | | |
| E. EXTERIOR FINISH | | | Possible Points | | | | |
| No | 1. Recycled-Content (No Virgin Plastic) or FSC-Certified Wood Decking | | | | | 2 | |
| No | 2. Rain Screen Wall System Installed | | | | | 2 | |
| ≥90% | 3. Durable & Noncombustible Cladding Materials | 1 | | | | 1 | |
| ≥90% | 4. Durable & Fire-Resistant Roofing Materials or Assembly | 2 | | | | 2 | |
| Total Points Available in Exterior Finish = 7 | | 3 | | | | | |
| F. INSULATION | | | Possible Points | | | | |
| TBD | 1. Install Insulation with 30% Post-Consumer Recycled Content | | | | | 1 | |
| TBD | a. Walls and Floors | | | | | 1 | |
| | b. Ceilings | | | | | 1 | |
| ≥90% | 2. Install Insulation that is Low-Emitting (Certified CA Residential Section 01350) | 1 | | | 1 | | |
| ≥90% | a. Walls and Floors | | | | 1 | | |
| ≥90% | b. Ceilings | 1 | | | 1 | | |
| ≥90% | 3. Inspect Quality of Insulation Installation before Applying Drywall | 1 | | 1 | | | |
| Total Points Available in Insulation = 5 | | 3 | | | | | |

CareMeridian Pleasanton

| CareMeridian Pleasanton | | Points Achieved | Community | Energy | IAQ/Health | Resources | Water |
|--|--|-----------------|------------------------|--------|------------|-----------|-------|
| G. PLUMBING | | | Possible Points | | | | |
| 1. Distribute Domestic Hot Water Efficiently | | | | | | | |
| ≥50% | a. Insulate All Accessible Hot Water Pipes (prerequisite for 1b. and 1c.) | 2 | | 1 | | | 1 |
| No | b. Locate Water Heater Within 12' Of All Water Fixtures, as measured in plan | | | 1 | | | 1 |
| Yes | c. Install On-Demand Circulation Control Pump | 2 | | 1 | | | 1 |
| No | 2. High-Efficiency Toilets (Dual-Flush or ≤ 1.28 gpf) | | | | | | 2 |
| 3. Water Efficient Fixtures | | | | | | | |
| Yes | a. All Fixtures Meet Federal Energy Policy Act (Toilets: 1.6 gpf, Sinks: 2.2 gpm, Showers: 2.5 gpm) (Required For Whole House) | Y | | | | | R |
| No | b. High-Efficiency Showerheads Use ≤ 2.0 gpm at 80 psi | | | | | | 3 |
| ≥90% | c. Bathroom Faucets Use ≤ 1.5 gpm | 2 | | 1 | | | 1 |
| Yes | 4. Plumbing Survey (No Plumbing Leaks) (Required for Whole House and Elements) | Y | | | | | R |
| Total Points Available in Plumbing = 13 | | 6 | | | | | |
| H. HEATING, VENTILATION & AIR CONDITIONING | | | Possible Points | | | | |
| 1. General HVAC Equipment Verification and Correction | | | | | | | |
| Yes | a. Visual Survey of Installation of HVAC Equipment (Required for Whole House and Elements) | Y | | R | | | |
| Yes | b. Conduct Diagnostic Testing to Evaluate System | 2 | | 2 | | | |
| Yes | c. Conduct Flow Hood Test and Assess Delivery of Air | 1 | | 1 | | | |
| Yes | d. Air Conditioning Compressor Operates Properly and Refrigerant Charge is Optimal | 1 | | 1 | | | |
| Yes | 2. Design and Install HVAC System to ACCA Manuals J, D and S | 4 | | 4 | | | |
| 3. Sealed Combustion Units | | | | | | | |
| Yes | a. Furnaces | 2 | | | 2 | | |
| TBD | b. Water heaters | | | | 2 | | |
| No | 4. Zoned, Hydronic Radiant Heating | | | 1 | 1 | | |
| Yes | 5. High Efficiency Air Conditioning Air conditioning with Environmentally Responsible Refrigerants | 1 | 1 | | | | |
| 6. Effective Ductwork Installation | | | | | | | |
| No | a. New Ductwork and HVAC unit Installed Within Conditioned Space | | | 1 | | | |
| Yes | b. Duct Mastic Used on All Ducts, Joints and Seams | 1 | | 1 | | | |
| TBD | c. Ductwork System is Pressure Relieved | | | 1 | | | |
| Yes | 7. High Efficiency HVAC Filter (MERV 6+) | 1 | | | 1 | | |
| Yes | 8. No Fireplace OR Sealed Gas Fireplaces with Efficiency Rating ≥60% using CSA Standards | 1 | | | 1 | | |
| 9. Effective Exhaust Systems Installed in Bathrooms and Kitchens | | | | | | | |
| ≥90% | a. ENERGY STAR Bathroom Fans Vented to the Outside | 1 | | | 1 | | |
| TBD | b. All Bathroom Fans are on Timer or Humidistat | | | | 1 | | |
| Yes | c. Kitchen Range Hood Vented to the Outside | 1 | | | 1 | | |
| 10. Mechanical Ventilation System for Cooling Installed | | | | | | | |
| TBD | a. ENERGY STAR Ceiling Fans & Light Kits in Living Areas & Bedrooms | | | 1 | | | |
| TBD | b. Whole House Fan | | | 1 | | | |
| 11. Mechanical Ventilation for Fresh Air Installed | | | | | | | |
| Yes | a. Compliance with ASHRAE 62.2 Mechanical Ventilation Standards (as adopted in Title 24 Part 6) | 1 | | | 1 | | |
| TBD | b. Advanced Ventilation Practices (Continuous Operation, Some Limit, Minimum Efficiency, Minimum Ventilation Rate, Homeowner Instructions) | | | | 1 | | |
| Yes | c. Outdoor Air Ducted to Bedroom and Living Areas of Home | 2 | | 1 | 1 | | |
| 12. Carbon Monoxide | | | | | | | |
| Yes | a. Carbon Monoxide Testing and Correction (Required for Whole House) | Y | | | R | | |
| Yes | b. Carbon Monoxide Alarm(s) Installed | 1 | | | 1 | | |
| Yes | 13. Combustion Safety Backdraft Test (Required for Whole House and Elements) | Y | | | R | | |
| Total Points Available in Heating, Ventilation and Air Conditioning = 30 | | 20 | | | | | |
| I. RENEWABLE ENERGY | | | Possible Points | | | | |
| 1. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind) | | | | | | | |
| Enter % total energy consumption offset, 1 point per 4% offset | | | | 25 | | | |
| Total Points Available in Renewable Energy = 25 | | | | | | | |

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| CareMeridian Pleasanton | | Points Achieved | Community | Energy | IAQ/Health | Resources | Water |
|--|---|------------------------|-----------|--------|------------|-----------|-------|
| J. BUILDING PERFORMANCE | | Possible Points | | | | | |
| TBD | 1. Energy Survey and Education (Required for Elements or Meet J3) | N | | R | | | |
| 2. Energy Upgrades (Available for Elements Rating Only, Mutually Exclusive with J3. 2 point minimum and 6 point maximum credit required) | | | | | | | |
| TIER 1: Practices in Tier 1 Are Worth Full Value (1 point) | | | | | | | |
| TBD | a) Attic Insulation up to or Exceeding Current Code | | | 1 | | | |
| TBD | b) Crawl Space Insulation up to or Exceeding Current Code | | | 1 | | | |
| TBD | c) Wall Insulation up to or Exceeding Current Code | | | 1 | | | |
| TBD | d) High Efficiency Furnace (90% AFUE Minimum) | | | 1 | | | |
| TBD | e) Seal Ducts and Duct Leakage is <15% | | | 1 | | | |
| TBD | f) 14 SEER, 11.5 EER Air Conditioning Unit (in climate zones 2,4,8-15) | | | 1 | | | |
| TBD | g) House Passes Blower Door Test With ≤0.5 ACH or a 50% Improvement | | | 1 | | | |
| TIER 2: Practices in Tier 2 Are Worth Half Value (0.5 points) | | | | | | | |
| TBD | h) High Efficiency Water Heater ≥.62EF | | | 0.5 | | | |
| TBD | i) Radiant Barrier in Attic | | | 0.5 | | | |
| TBD | j) Windows Upgraded to Current Code Requirements, Which are Typically Dual Pane | | | 0.5 | | | |
| TBD | k) Duct insulation to Code | | | 0.5 | | | |
| TBD | l) Programmable Thermostat | | | 0.5 | | | |
| TBD | m) 14 SEER, 11.5 EER Air Conditioning unit (in climate zones 1,3,5,6,7,16) | | | 0.5 | | | |
| 3. Meet Energy Budget for Home Based on Year (Based GreenPoint Rated Index, Includes Blower Door Test) (Required for Whole House, Available for Elements) | | | | 10+ | | | |
| TBD | 4. Design and Build Zero Energy Homes | | | 5 | | | |
| TBD | 5. Comprehensive Utility Bill Analysis | | | 1 | | | |
| Total Points Available in Building Performance = 16+ | | | | | | | |
| K. FINISHES | | Possible Points | | | | | |
| Yes | 1. Entryways Designed to Reduce Tracked in Contaminants | 1 | | | 1 | | |
| 2. Low/No-VOC Paint | | | | | | | |
| TBD | a. Low-VOC Interior Wall/Ceiling Paints (<50 gpl VOCs regardless of sheen) | | | | 1 | | |
| TBD | b. Zero-VOC: Interior Wall/Ceiling Paints (<5 gpl VOCs (flat)) | | | | 2 | | |
| TBD | 3. Coatings Meet SCAQMD Rule 1113 for Low VOCs | | | | 2 | | |
| TBD | 4. Low-VOC Caulks & Construction Adhesives (Meet SCAQMD Rule 1168) | | | | 2 | | |
| TBD | 5. Recycled-Content Paint | | | | | 1 | |
| 6. Environmentally Preferable Materials for Interior Finish: A) FSC Certified Wood B) Reclaimed Materials C) Rapidly Renewable D) Recycled-Content E) Finger-Jointed or F) Local | | | | | | | |
| TBD | a. Cabinets | | | | | 1 | |
| TBD | b. Interior Trim | | | | | 1 | |
| TBD | c. Shelving | | | | | 1 | |
| TBD | d. Doors | | | | | 1 | |
| TBD | e. Countertops | | | | | 1 | |
| Yes | 7. For Newly Installed Products, Reduce Formaldehyde in Interior Finish – Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (Required for Whole Building & Elements) (EPA IAP) | Y | | | R | | |
| 8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory Compliance Dates | | | | | | | |
| ≥90% | a. Doors | 1 | | | 1 | | |
| ≥90% | b. Cabinets and Countertops | 2 | | | 2 | | |
| ≥90% | c. Interior Trim and Shelving | 1 | | | 1 | | |
| TBD | 9. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb | | | | 3 | | |
| Total Points Available in Finishes = 21 | | 5 | | | | | |
| L. FLOORING | | Possible Points | | | | | |
| TBD | 1. Environmentally Preferable Flooring: A) FSC-Certified Wood B) Reclaimed or Refinished C) Rapidly Renewable D) Recycled-Content, E) Exposed Concrete F) Local Flooring Adhesives Must Have <70 gpl VOCs and sealer must meet SCAQMD Rule 1113. | | | | | 4 | |
| 50% | 2. Thermal Mass Floors | 0.5 | | 1 | | | |
| TBD | 3. Flooring Meets CA Section 01350 or CRI Green Label Plus Requirements | | | | 2 | | |
| Total Points Available in Flooring = 7 | | 0.5 | | | | | |

CareMeridian Pleasanton

| CareMeridian Pleasanton | | Points Achieved | Community | Energy | IAQ/Health | Resources | Water |
|---|---|-----------------|------------------------|--------|------------|-----------|-------|
| M. APPLIANCES AND LIGHTING | | | Possible Points | | | | |
| Yes | 1. ENERGY STAR Dishwasher (Must Meet Current Specifications) (Mutually Exclusive with J3) | 2 | | 1 | | | 1 |
| TBD | 2. ENERGY STAR Clothes Washing Machine with Water Factor of 6 or Less | | | 1 | | | 2 |
| TBD | a. Meets CEE Tier 2 Requirements (Modified Energy Factor 2.0, Water Factor 6.0) | | | | | | 2 |
| TBD | b. Meets CEE Tier 3 Requirements (Modified Energy Factor 2.2, Water Factor 4.5) | | | | | | 2 |
| Yes | 3. ENERGY STAR Refrigerator Installed | 1 | | 1 | | | |
| TBD | a. ENERGY STAR Qualified & < 25 cu.ft.Capacity (Mutually Exclusive with J3) | | | 1 | | | |
| TBD | b. ENERGY STAR Qualified & < 20 cu.ft.Capacity (Mutually Exclusive with J3) | | | | | | |
| TBD | 4. Built-In Recycling & Composting Center | | | | | 2 | |
| TBD | a. Built-In Recycling Center | | | | | 1 | |
| TBD | b. Built-In Composting Center | | | | | | |
| Yes | 5. Electrical Survey (Required for Whole House) | Y | | | | R | |
| Yes | 6. Verification of Entire Electrical System | 2 | | | | 2 | |
| ≥90% | 7. Energy Efficient Lighting | 1 | | 1 | | | |
| TBD | 8.Low- Mercury Lamps (Linear and Compact Fluorescent) | | | | | 1 | |
| TBD | 9. Lighting Controls Installed | | | 1 | | | |
| Total Points Available in Appliances and Lighting = 13+ | | 6 | | | | | |
| N. OTHER | | | Possible Points | | | | |
| Yes | 1. Incorporate GreenPoint Checklist In Blueprints Or Distribute Checklist (Required for Whole House and Elements) | Y | | R | | | |
| Yes | 2. Develop Homeowner Manual of Green Features/Benefits | 2 | | 1 | | | 1 |
| TBD | 3. Hazardous Waste Testing | | | | 1 | | |
| TBD | a. Lead Testing Interior, Exterior and Soil | | | | 1 | | |
| TBD | b. Asbestos Testing and Remediation | | | | 1 | | |
| TBD | 4. Gas Shut Off Valve (motion/ non-motion) | | | | 1 | 1 | |
| Total Points Available in Other = 6 | | 2 | | | | | |
| P. INNOVATIONS | | | Possible Points | | | | |
| AA. Community: No Innovation Measures At This Time | | | | | | | |
| A. Site | | | | | | | |
| TBD | 1. Cool Site | | 1 | | | | |
| B. Foundation: No Innovation Measures At This Time | | | | | | | |
| C. Landscaping | | | | | | | |
| TBD | 1. Irrigation System Uses Recycled Wastewater | | | | | | 1 |
| D. Structural Frame and Building Envelope | | | | | | | |
| TBD | 1. Design, Build and Maintain Structural Pest and Rot Controls | | | | | 1 | |
| TBD | a. Locate All Wood (Siding, Trim, Structure) At Least 12 Inches Above Soil | | | | | | |
| TBD | b. All Wood Framing 3 Feet from the Foundation is Treated with Borates (or Use Factory-Impregnated Materials) OR Walls are Not Made of Wood | | | | 1 | | |
| TBD | 2. Use Moisture Resistant Materials and Practices in Wet Areas of Kitchen, Bathrooms, Utility Rooms, and Basements | | | | 1 | | |
| TBD | 3. Use FSC-Certified Engineered Lumber | | | | | | |
| TBD | a. Engineered Beams and Headers | | | | | 1 | |
| TBD | b. Insulated Engineered Headers | | | | | 1 | |
| TBD | c. Wood I-Joists or Web Trusses for Floors | | | | | 1 | |
| TBD | d. Wood I-Joists for Roof Rafters | | | | | 1 | |
| TBD | e. Engineered or Finger-Jointed Studs for Vertical Applications | | | | | 1 | |
| TBD | f. Roof Trusses | | | | | 1 | |
| E. Exterior Finish | | | | | | | |
| TBD | 1. Green Roofs (25% or Roof Area Minimum) | | 2 | 2 | | | |

CareMeridian Pleasanton

| | | Points Achieved | Community | Energy | IAQ/Health | Resources | Water |
|--|--|-----------------|-------------|-------------|-------------|-------------|-------------|
| F. Insulation: No Innovation Measures At This Time | | | | | | | |
| G. Plumbing | | | | | | | |
| TBD | 1. Graywater Pre-Plumbing (Includes Clothes Washer at Minimum) | | | | | | 1 |
| TBD | 2. Graywater System Operational (Includes Clothes Washer at Minimum) | | | | | | 2 |
| TBD | 3. Innovative Wastewater Technology (Constructed Wetland, Sand Filter, Aerobic System) | | | | | | 1 |
| TBD | 4. Composting or Waterless Toilet | | | | | | 1 |
| TBD | 5. Install Drain Water Heat-Recovery System | | | 1 | | | |
| H. Heating, Ventilation and Air Conditioning (HVAC) | | | | | | | |
| TBD | 1. Humidity Control Systems (Only in California Humid/Marine Climate Zones 1,3,5,6,7) | | | | 1 | | |
| I. Renewable Energy: No Innovation Measures At This Time | | | | | | | |
| J. Building Performance | | | | | | | |
| Yes | 1. Test Total Supply Air Flow Rates | 1 | | 1 | | | |
| TBD | 2. Energy Budget Analysis (J3) Completed By CEPE | | | 1 | | | |
| K. Finishes: No Innovation Measures At This Time. | | | | | | | |
| L. Flooring: No Innovation Measures At This Time. | | | | | | | |
| M. Appliances: No Innovation Measures At This Time. | | | | | | | |
| N. Other | | | | | | | |
| TBD | 1. Homebuilder's Management Staff Are Certified Green Building Professionals | | 1 | | | | |
| TBD | 2. Comprehensive Owner's Manual and Homeowner Education Walkthroughs | | 1 | | | | |
| 3. Additional Innovations: List innovative measures that meet green building objectives. Points will be assessed by Build It Green and the GreenPoint Rater. | | | | | | | |
| TBD | a. Describe Innovation Here and Enter Possible Points in Columns L-P | | | | | | |
| TBD | b. Describe Innovation Here and Enter Possible Points In Columns L-P | | | | | | |
| TBD | c. Describe Innovation Here and Enter Possible Points in Columns L-P | | | | | | |
| TBD | d. Describe Innovation Here and Enter Possible Points in Columns L-P | | | | | | |
| TBD | e. Describe Innovation Here and Enter Possible Points in Columns L-P | | | | | | |
| TBD | f. Describe Innovation Here and Enter Possible Points in Columns L-P | | | | | | |
| TBD | g. Describe Innovation Here and Enter Possible Points in Columns L-P | | | | | | |
| TBD | h. Describe Innovation Here and Enter Possible Points in Columns L-P | | | | | | |
| Total Points Available in Innovation = 26+ | | 1 | | | | | |
| Summary | | | | | | | |
| Total Available Points | | 224+ | 25 | 83 | 46 | 76 | 47 |
| Minimum Points Required (Whole House) | | 50 | | 20 | 5 | 6 | 8 |
| Minimum Points Required (Elements) | | 25 | | 8 | 2 | 2 | 4 |
| Total Points Achieved | | 97 | 12.0 | 22.5 | 17.0 | 20.0 | 25.0 |

P11-0458

RECEIVED

JUL 26 2011

CITY OF PLEASANTON
PLANNING DIVISION



June 23, 2011

R. G. Panich Construction, Inc.
859 Washington Street
Red Bluff, CA 96080-2704

Subject: **Tree Report**
446 Sycamore Road, Pleasanton

Dear Mr. Panich:

You are planning to add an addition at the existing residence at 446 Sycamore Road. The City of Pleasanton requires an Arbonist Report as part of the project submittals. HortScience, Inc. was asked to visit the site, inspect the trees, and assess the potential impacts of the proposed construction. This letter responds to that request.

Description of Trees

I visited the site on June 14, 2011. Seventeen (17) trees were surveyed on the site. Descriptions of trees are provided in the **Tree Assessment Form** and locations are shown on the **Tree Assessment Map** (see attachments)

Existing conditions at the site included two buildings; one on the west side and one on the east side of the property. A driveway and concrete pad were located in the southwest corner of the site, connecting to Sycamore Road. The concrete pad extended north along the west side of the property. The majority of the trees were planted around a bermed landscaped area along the Sycamore Road frontage.

The following are brief descriptions of the trees:

- Trees #170 - 173 were young coast redwoods (*Sequoia sempervirens*) planted close together in the middle of the site (photo 1). The trees had been limbed to 6' and were all in good condition. Diameters ranged from 7 - 17".
- Trees #174 - 176 were California black walnuts (*Juglans hindsii*) were growing in a narrow planting strip between the concrete pad and the western property line. The trees ranged from 8 - 12" in diameter and were in poor to fair condition. Tree #174 was one-sided and had been topped at 12'; tree #175 had a stem removed at 3' and leaned to the north; and tree #176 bowed to the south.



Photo 1 Coast redwoods #170-173 were centrally located on the site and were all in good condition.

- Trees #177, 181 and 182 were honey locusts (*Gleditsia triacanthos*) located south of the western structure. Condition ranged from fair to good. The trees had been planted in close proximity to one another, producing two trees with full crowns (#177 and 181). The middle tree in the row (#182) was crowded with a narrow crown.
- Trees #178, 179, 180 and 183 were young Chinese pistache (*Pistacia chinensis*), located around the bermed landscape area, adjacent to Sycamore Road and Sycamore Terrace. The trees were all in good condition, with variable structures.
- Trees #184-186 were African fern pines (*Podocarpus gracillior*), which formed a screen along the east side of the existing house. They had been planted close to the structure, causing them to lean east. Condition ranged from fair to good.

None of the surveyed trees met the City of Pleasanton criteria for a Heritage tree, per City of Pleasanton Tree Preservation Ordinance, Chapter 17.16 (18" in diameter and larger, or 35 in height or greater).

Evaluation of plans

Appropriate tree retention develops a practical match between the location and intensity of construction activities and the quality and health of trees. The **Tree Assessment** was the reference point for tree condition and quality. Potential impacts from construction were evaluated using the Improvement Plan provided by R. G. Panich Construction, Inc. dated June 2011. The plan proposed the following improvements:

- The western building and concrete pad will be demolished, to allow for construction of eight (8) new parking spaces.
- The existing driveway will be relocated to the east by a couple of feet and new curbs will be poured along the western property line and along the eastern edge of the new driveway, adjacent to tree #183.
- The new drive will extend around the site, hugging the northern property boundary, and connecting to Sycamore Terrace.
- An addition will be constructed in the center of the site connecting to the eastern building.
- Bioswales will be constructed in the north east and south east corners of the site, connecting to an existing drain inlet along Sycamore Road.
- Hardscape includes a patio and concrete walkways between the structures and between the addition and the sidewalk on Sycamore Road.

The proposed construction will require the removal of 12 trees, including six (6) impacted by the addition (#170-173, 177 and 182), three (3) impacted by the new concrete pad (#174-176), and three (3) by the drain line along the eastern property line (#184-186).

Five (5) trees can be preserved, provided design recommendations included in the **Tree Preservation Guidelines** (following page). The location of the proposed drain lines adjacent to trees 178, 180 and 181 will need to be adjusted slightly to minimize root loss and grading for the bioswale within 8' of tree #181 will need to be minimized. Similarly, the new curb west of tree #183 should be poured in the same location as the old curb, or as close as possible, to minimize root loss. The proposed recommendations for trees are provided in Table 1, following page.

Trees to be preserved will require pruning to allow clearance for construction equipment.

**Table 1. Recommendations for Action
 446 Sycamore Road, Pleasanton**

| Tree No. | Common Name | Trunk Diameter | Heritage? | Recommendation for Action |
|----------|---------------------|----------------|-----------|--|
| 170 | Coast redwood | 17 | No | Remove; within new addition. |
| 171 | Coast redwood | 9 | No | Remove; within new addition. |
| 172 | Coast redwood | 7 | No | Remove; within new addition. |
| 173 | Coast redwood | 7 | No | Remove; within new addition. |
| 174 | Calif. black walnut | 12 | No | Remove; impacted by new pad |
| 175 | Calif. black walnut | 8 | No | Remove; impacted by new pad |
| 176 | Calif. black walnut | 8 | No | Remove; impacted by new pad |
| 177 | Honey locust | 9 | No | Remove; within new addition |
| 178 | Chinese pistache | 8 | No | Preserve ; adjust drain line to provide a minimum of 5' from tree. |
| 179 | Chinese pistache | 8 | No | Preserve ; raise canopy |
| 180 | Chinese pistache | 7 | No | Preserve ; adjust drain line to provide a minimum of 5' from tree. |
| 181 | Honey locust | 12 | No | Preserve ; adjust drain line and bioswale to provide a minimum of 8' from tree. |
| 182 | Honey locust | 10 | No | Remove; within 5' of addition. |
| 183 | Chinese pistache | 6 | No | Preserve , pour new curb section west of tree in same location as old. |
| 184 | African fern pine | 6 | No | Remove; impacted by drain line |
| 185 | African fern pine | 6 | No | Remove; impacted by drain line |
| 186 | African fern pine | 6 | No | Remove; impacted by drain line |

Appraisal of value

As part of their development application requirements, the City of Pleasanton requires the value of all the trees be established.

In appraising the value of the two trees, I employed the standard methods found in *Guide for Plant Appraisal*, 9th edition (published in 2000 by the International Society of Arboriculture, Savoy IL). In addition, I referred to *Species Classification and Group Assignment* (2004), a publication of the Western Chapter of the International Society of Arboriculture. These two documents outline the methods employed in tree appraisal.

The value of landscape trees is based upon four factors: size, species, condition and location. Size is measured as trunk diameter, normally 54" above grade. The species factor considers the adaptability and appropriateness of the plant in the East Bay area. The *Species Classification and Group Assignment* lists recommended species ratings. Condition reflects the health and structural integrity of the individual tree and reflects the condition as documented during my June site visit. The location factor considers the site, placement and contribution of the tree in its surrounding landscape. In this case, the trees are growing in a desirable residential area of downtown Pleasanton.

Based upon the factors listed above, I appraised the value of the trees to be preserved at \$ 8,250 and of the tree to be removed at \$12,950. Tables 2 and 3, following page, provide the appraised value of the trees to be preserved and removed.

**Table 2: Appraised value of trees to be preserved
446 Sycamore Road, Pleasanton**

| Tree No. | Species | Trunk diameter (in.) | Appraised value (\$) |
|-----------------|------------------|---------------------------------|---------------------------------|
| 178 | Chinese pistache | 8 | 1,650 |
| 179 | Chinese pistache | 8 | 3,150 |
| 180 | Chinese pistache | 7 | 4,950 |
| 181 | Honey locust | 12 | 9,100 |
| 183 | Chinese pistache | 6 | 2,450 |
| Total | | | \$8,250 |

**Table 3: Appraised value of trees to be removed
446 Sycamore Road, Pleasanton**

| Tree No. | Species | Trunk diameter (in.) | Appraised value (\$) |
|-----------------|---------------------|---------------------------------|---------------------------------|
| 170 | Coast redwood | 17 | 3,550 |
| 171 | Coast redwood | 9 | 1,050 |
| 172 | Coast redwood | 7 | 650 |
| 173 | Coast redwood | 7 | 700 |
| 174 | Calif. black walnut | 12 | 800 |
| 175 | Calif. black walnut | 8 | 1,550 |
| 176 | Calif. black walnut | 8 | 400 |
| 177 | Honey locust | 9 | 1,000 |
| 182 | Honey locust | 10 | 1,900 |
| 184 | African fern pine | 6 | 500 |
| 185 | African fern pine | 6 | 350 |
| 186 | African fern pine | 6 | 500 |
| Total | | | \$12,950 |

Tree Preservation Guidelines

The following recommendations will help reduce impacts to trees from development and maintain and improve their health and vitality through the clearing, grading and construction phases.

Design recommendations

1. The Consulting Arborist shall review all project plans with regard to tree impact and necessary protection measures.
2. Evaluate the possibility of designing the drain line adjacent to trees #178 and 180 to provide a minimum of 5' between the trees and the edge of the trench.
3. Evaluate the possibility of designing the drain line adjacent to tree #181 to provide a minimum of 8' between the tree and the edge of the trench.
4. Evaluate the possibility of designing the bioswale adjacent to trees #181 to minimize the grading within 8' of the tree. Ideally, the grade change within 8' would not exceed 12" in depth.

5. Evaluate the possibility of designing the curb west of tree #183 to be placed in the same location as the existing curb. The goal is to minimize root loss associated with excavation for the new curb footing.
6. A **TREE PROTECTION ZONE** shall be established around each tree to be preserved. No grading, excavation, construction or storage of materials shall occur within that zone. The **TREE PROTECTION ZONES (TPZ)** shall be established as follows:
 - For tree #178 the **TPZ** shall be established at 5' to the northwest and at the dripline in all other directions.
 - For tree #179 the **TPZ** shall be established at the dripline in all directions.
 - For tree #180 the **TPZ** shall be established at 5' to the north and at the dripline in all other directions.
 - For tree #181 the **TPZ** shall be established at 8' to the north, 3' to the northwest and at the dripline in all other directions.
 - For tree #183 the **TPZ** shall be established at 5' to the north, at the existing curb to the west and at the dripline in all other directions.
 - For tree #178 the **TPZ** shall be established at 5' to the northwest and at the dripline in all other directions.
7. **Tree Preservation Notes**, prepared by the Consulting Arborist, should be included on all plans.
8. Any herbicides placed under paving materials must be safe for use around trees and labeled for that use.
9. Irrigation systems must be designed so that minimal trenching will occur within the **TREE PROTECTION ZONE**.

Pre-construction treatments and recommendations

1. Adequate irrigation prior to, during and following construction will help promote tree health, resiliency to construction impacts and root growth. Irrigation can be applied by placing concentric rings of soaker hoses around the base of the tree and leaving the water running for 8 to 10 hours (ideally overnight). Irrigate every two weeks prior to, during and following construction, until winter rains begin (typically in November).
2. Fence all trees to be preserved to completely enclose the **TREE PROTECTION ZONE** prior to demolition, grubbing or grading. Fences shall be 6 ft. chain link or equivalent as approved by the City. Fences are to remain until all grading and construction is completed.
3. Prune the trees to provide demolition and construction clearances. Pruning should focus on clearance and avoid removal of live material. All pruning shall be completed by a Certified Arborist or Tree Worker and adhere to the latest edition of the ANSI Z133 and A300 standards as well as the *Best Management Practices -- Tree Pruning* published by the International Society of Arboriculture.

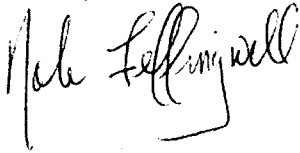
Recommendations for tree protection during construction

1. No grading, construction, demolition or other work shall occur within the **TREE PROTECTION ZONE**. Any modifications must be approved and monitored by the Consulting Arborist.

2. Any root pruning required for construction purposes shall receive the prior approval of, and be supervised by, the Consulting Arborist.
3. If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Consulting Arborist so that appropriate treatments can be applied.
4. No excess soil, chemicals, debris, equipment or other materials shall be dumped or stored within the **TREE PROTECTION ZONE**.
5. Any additional tree pruning needed for clearance during construction must be performed by a Certified Arborist and not by construction personnel.

If you have any questions regarding my observations or recommendations, please feel free to contact me.

Sincerely,



John Leffingwell
Board Certified Master Arborist #WE 3966B
Registered Consulting Arborist #442

Attached: **Tree Assessment Form**

 Tree Assessment Map

Tree Assessment

R. G. Panich Construction, Inc.
 446 Sycamore Road
 Pleasanton, CA
 June 2011



| TREE No. | SPECIES | SIZE DIAMETER (in inches) | CONDITION 1=POOR 5=EXCELLENT | SUITABILITY FOR PRESERVATION | COMMENTS |
|----------|---------------------|---------------------------|------------------------------|------------------------------|---|
| 170 | Coast redwood | 17 | 5 | Good | Good form and structure; dominant tree. |
| 171 | Coast redwood | 9 | 5 | Good | Good young tree; limbed to 6'. |
| 172 | Coast redwood | 7 | 5 | Good | Good young tree; limbed to 6'. |
| 173 | Coast redwood | 7 | 5 | Good | Good young tree; limbed to 6'. |
| 174 | Calif. black walnut | 12 | 3 | Fair | Crowded; one sided north; topped @ 12'. |
| 175 | Calif. black walnut | 8 | 3 | Poor | Crowded; leans north; stem removed @ 3'. |
| 176 | Calif. black walnut | 8 | 3 | Poor | Crowded; crown bowed south. |
| 177 | Honey locust | 9 | 4 | Fair | Good form; girdling roots; bark split; trunk wound on north side. |
| 178 | Chinese pistache | 8 | 5 | Good | Good young tree. |
| 179 | Chinese pistache | 8 | 4 | Good | Good young tree; epicormics shoots at base. |
| 180 | Chinese pistache | 7 | 4 | Good | Multiple attachments at 6'; wide attachments. |
| 181 | Honey locust | 12 | 4 | Good | Good form; full crown; branch wound on east side. |
| 182 | Honey locust | 10 | 5 | Good | Upright form; crowded; narrow crown. |
| 183 | Chinese pistache | 6 | 4 | Fair | Codominant attachments at 6'; crowded & one sided to southwest. |
| 184 | African fern pine | 6 | 4 | Fair | Codominant attachments at base. |
| 185 | African fern pine | 6 | 3 | Fair | Codominant attachments at base. |
| 186 | African fern pine | 6 | 4 | Fair | Slight lean east. |

Tree Assessment Map

446 Sycamore Road
Pleasanton, CA

Prepared for:
RG Panich Construction, Inc.
Red Bluff, CA

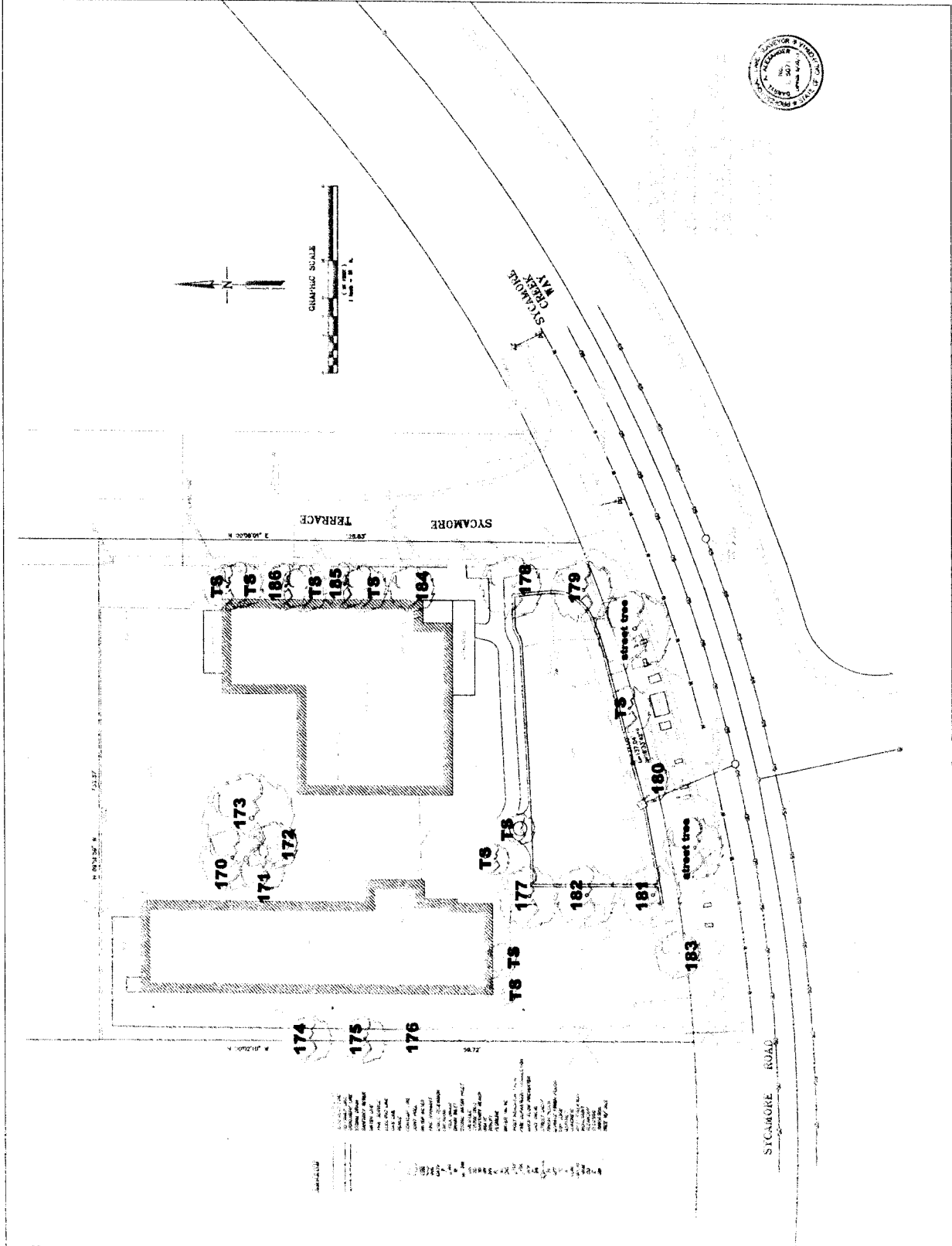
June 2011

No Scale

Notes:
Base map provided by:
Alexander & Associates
Pleasanton, CA
Numbered tree locations
are approximate.

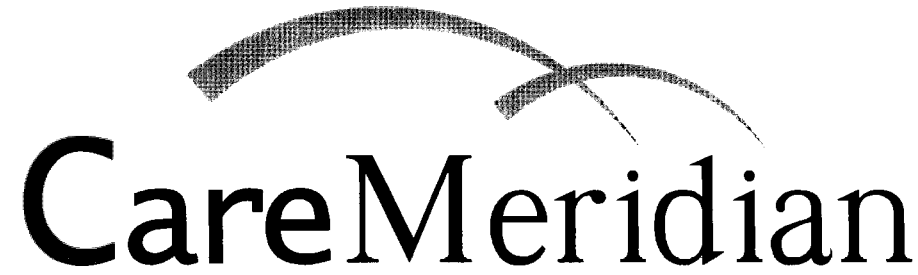


2150 Rheem Drive, Suite A
Pleasanton, CA 94588
Phone 925.464.0211
Fax 925.464.0206
www.hortscience.com



Design Review Submittal Addition/Modification Plans

SUBMITTED BY:



446 Sycamore Road
Pleasanton, California 94566

A.P.N. 948-17-21
PARCEL 1 PM 8735

| REVISIONS | |
|-----------|-----------|
| Δ | 7/23/2011 |
| | |
| | |
| | |
| | |



Proposed Addition Plans
 446 Sycamore Road
 Pleasanton, California 94566

P11-0458

RECEIVED

OCT 12 2011

CITY OF PLEASANTON
PLANNING DIVISION

EXHIBIT B

| GENERAL NOTES | |
|---|---|
| <p>1. APPLICABLE CODES:</p> <p>PLEASANTON MUNICIPAL CODE</p> <p>&</p> <p>TITLE 24 C.B.C.: 2010 ED. TITLE 24 C.E.C.: 2010 ED. TITLE 24 C.M.C.: 2010 ED. TITLE 24 C.F.C.: 2010 ED. TITLE 24 C.P.C.: 2010 ED.</p> <p>&</p> <p>CALIFORNIA ENERGY COMMISSION RESIDENTIAL 2010 BUILDING ENERGY EFFICIENCY STANDARDS</p> | <p>4. DIMENSIONS:</p> <p>A. CONTRACTOR TO VERIFY OVERALL BUILDING LAYOUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.</p> <p>B. UNLESS OTHERWISE INDICATED, DIMENSIONS SHOWN ARE TO FACE OF CONCRETE AND FACE OF STUD LINES.</p> <p>C. CONTRACTOR TO VERIFY ALL BUILDING DIMENSIONS SHOWN ON THE DRAWINGS PRIOR TO CONSTRUCTION OF EACH BUILDING AREA.</p> |
| <p>2. REFERENCE DISCREPANCIES AND OMISSIONS: THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS OTHERWISE SHOWN OR NOTED. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. IN THE EVENT OF OMISSIONS, THEIR CONSTRUCTION SHALL BE SIMILAR TO CONDITIONS SHOWN AND DETAILED.</p> | <p>5. INSTALL ALL BUILDING UTILITIES PER THE DIRECTION OF UTILITY COMPANIES AND THEIR STANDARDS AS WELL AS THE REQUIREMENTS OF THE CITY OF PLEASANTON.</p> |
| <p>3. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CALIFORNIA ELECTRICAL CODE, UNIFORM PLUMBING CODE, UNIFORM MECHANICAL CODE, AND ALL LOCAL CODES AND ORDINANCES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</p> | <p>6. ALL SITE BOUNDARY INFORMATION IS BASED UPON SITE SURVEY PERFORMED BY ALEXANDER & ASSOCIATES INC.</p> <p>7. A TYPE N.F.P.A. 13R AUTOMATIC FIRE SPRINKLER SYSTEM THRU-OUT SHALL BE REVIEWED AND APPROVED BY THE FIRE DEPT. UNDER SEPARATE PERMIT.</p> <p>8. AN APPROVED MANUEL AND AUTOMATIC FIRE ALARM SYSTEM PER C.F.C. IS REQUIRED FOR THIS BUILDING. PROVIDE FIRE ALARM SYSTEM DRAWINGS FOR REVIEW AND APPROVAL BY THE FIRE DEPARTMENT UNDER SEPARATE PERMIT.</p> |

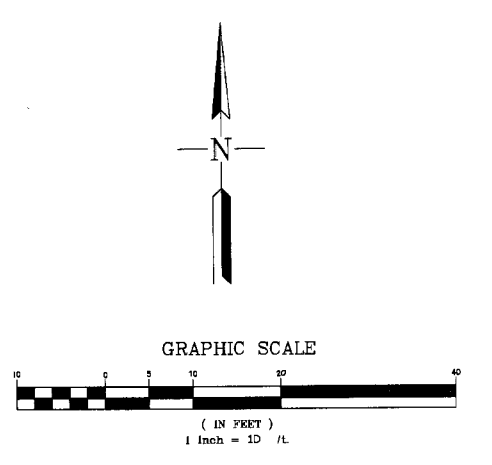
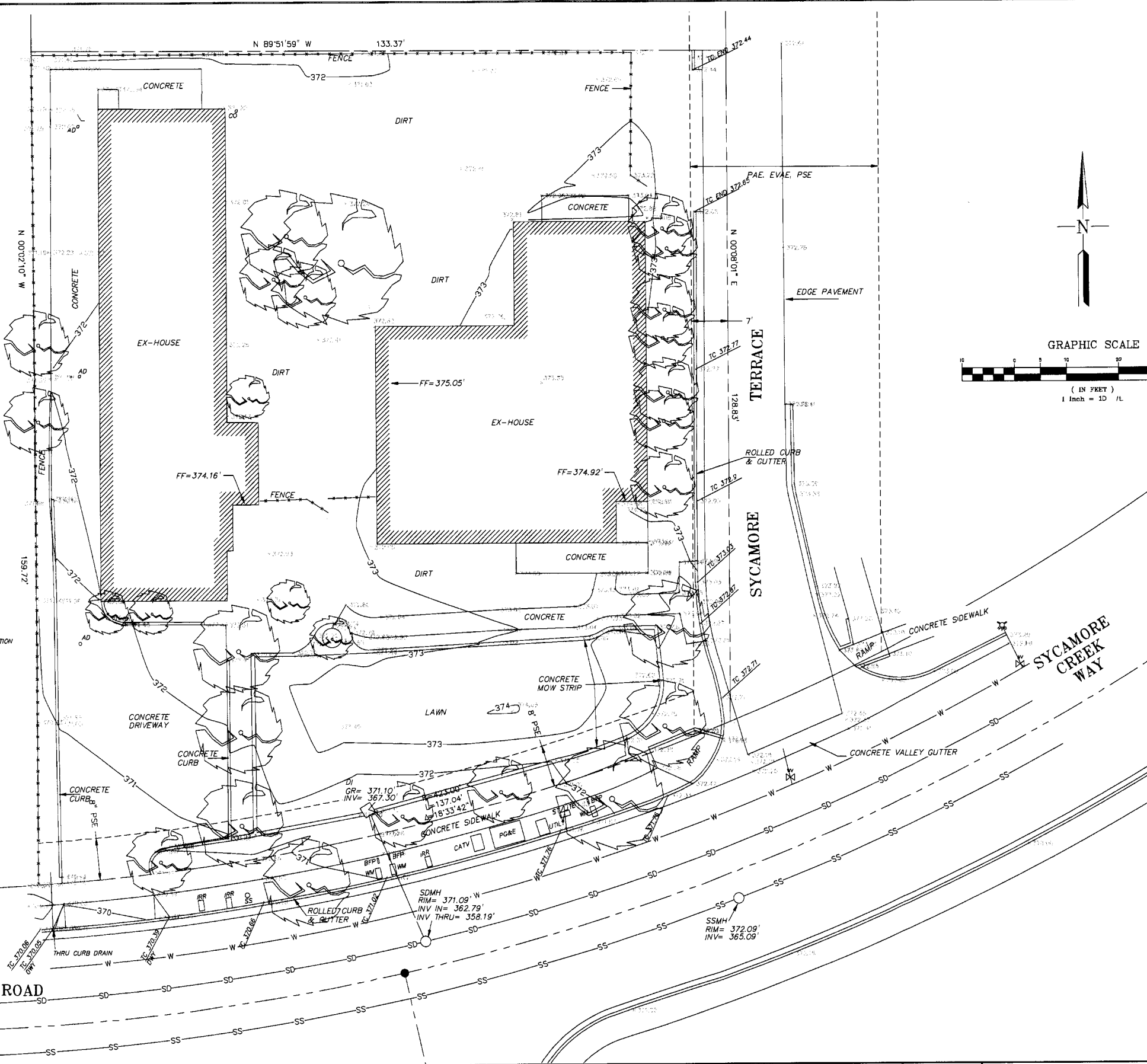
| DRAWING INDEX | |
|---------------|-----------------------------------|
| COVER | COVER PAGE & GENERAL NOTES |
| | |
| Topo | TOPOGRAPHIC SURVEY |
| Site | SITE PLAN |
| C1 | PRELIMINARY GRADING PLAN |
| L1 | HARDSCAPE LAYOUT |
| L2 | DIMENSIONING PLAN |
| L3 | PLANTING PLAN |
| L4 | PLANTING NOTES & LEDGEND |
| L5 | LIGHTING PLAN |
| A1 | EXISTING/PROPOSED FLOOR AREA PLAN |
| A2 | PROPOSED EXTERIOR ELEVATIONS |

| PROJECT DATA | |
|---|-------------------|
| PROPOSED NEW FLOOR AREA: | 2,184 SQ. FT. |
| PROPOSED NEW GARAGE AREA: | 555 SQ.FT. |
| TOTAL PROPOSED NEW CONSTRUCTION: | 2,739 SQ. FT. |
| | |
| EXISTING FLOOR AREA: | 2,628 SQ. FT. |
| PROPOSED NEW FLOOR AREA: | 2,184 SQ. FT. |
| TOTAL FLOOR AREA SUBJECT TO PUD-42 MAX. OF 5,000 SQ. FT.: | 4,812 SQ. FT. |
| | |
| EXISTING CONSTRUCTION TYPE: | V-B |
| PROPOSED NEW CONSTRUCTION TYPE: | V-A |
| EXISTING OCCUPANCY TYPE: | R 3.1 |
| PROPOSED OCCUPANCY TYPE: | R 2.1 |
| | |
| TOTAL SITE AREA: | 19,676 SQ. FT. |
| LANDSCAPED AREA: | 7,233 SQ. FT. 37% |
| PAVED AREA: | 7,076 SQ. FT. 36% |
| BUILDING AREA: | 5,367 SQ. FT. 27% |

| | |
|--------------|--------------------|
| DRAWN | Matthew W. Bessert |
| FILE NAME | Addition Plans |
| CHECKED | RGP |
| DATE | June 2011 |
| SCALE | 1/4" = 1'-0" |
| JOB NO. | |
| SHEET | |
| Cover | |
| OF 8 SHEETS | |

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- ADJONER LINE
- MONUMENT LINE
- SD --- STORM DRAIN
- SS --- SANITARY SEWER
- W --- WATER LINE
- FS --- FIRE SERVICE
- E --- ELECTRIC LINE
- G --- GAS LINE
- FENCE
- CONTOUR LINE
- JOINT POLE
- WATER METER
- FIRE HYDRANT
- CATV
- UNK/DWN
- AD --- AREA DRAIN
- DI --- DRAIN INLET
- SW --- STORM WATER INLET
- MH --- MANHOLE
- SD --- STORM DRAIN
- SS --- SANITARY SEWER
- GR --- GRATE
- INV --- INVERT
- FL --- FLOWLINE
- W --- WATER VALVE
- PIV --- POST INDICATOR VALVE
- FDC --- FIRE DEPARTMENT CONNECTION
- BFP --- BACK FLOW PREVENTER
- G --- GAS VALVE
- SL --- STREET LIGHT
- FF --- FINISH FLOOR
- GFF --- GARAGE FINISH FLOOR
- TC --- TOP CURB
- AC --- ASPHALT
- CONC --- CONCRETE
- +98.75 --- SPOT ELEVATION
- MON --- MONUMENT
- CO --- CLEANOUT
- E --- ELECTRIC
- IRR --- IRRIGATION
- T --- TREE W/ SIZE

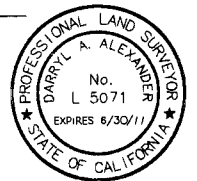


BASIS OF BEARINGS
 THE BEARINGS SHOWN HEREON WERE BASED ON
 PARCEL MAP 8735, CITY OF PLEASANTON,
 ALAMEDA COUNTY RECORDS.

BASIS OF ELEVATIONS
 THE ELEVATIONS SHOWN HEREON WERE BASED ON
 THE IMPROVEMENT PLANS FOR PARCEL MAP 8735.

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR
 UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS
 OF THE PROFESSIONAL LAND SURVEYOR'S ACT AT THE REQUEST
 OF RON PANICH IN JUNE OF 2011.

DARRYL ALEXANDER DATE
 L.S. NO. 5071
 LICENSE EXPIRES JUNE 30, 2011



| REV | DATE | DESCRIPTION | APPROVAL |
|-----|------|-------------|----------|
| | | | |
| | | | |

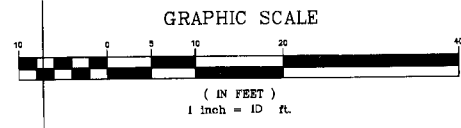
PROJECT NAME

ALEXANDER & ASSOCIATES INC.
 SURVEYORS ENGINEERS PLANNERS
 147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 462-2255

DRAWN BY: SL
 DESIGNED BY:
 CHECKED BY: DA
 SCALE: AS SHOWN

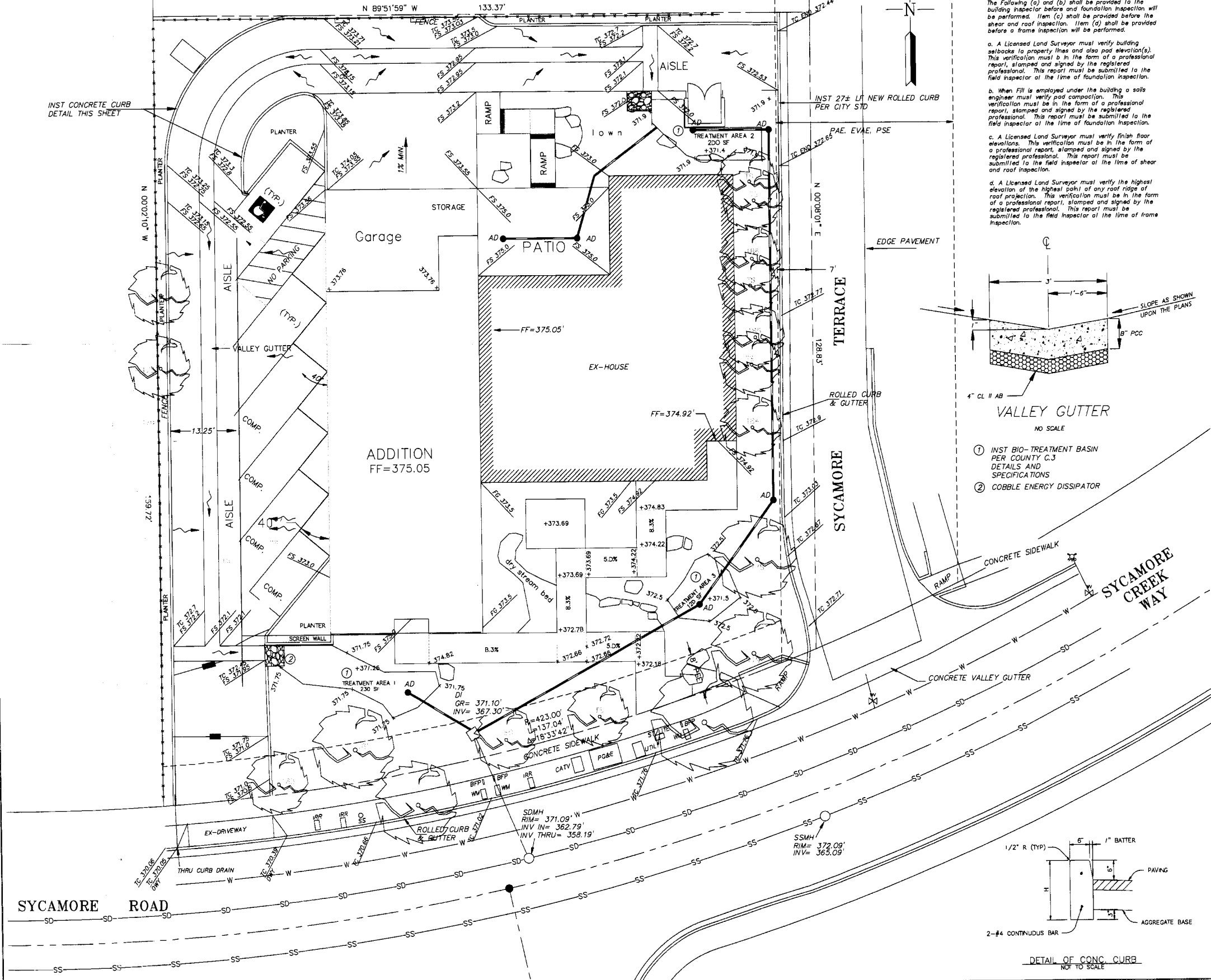
SHEET TITLE
**TOPOGRAPHIC SURVEY
 PARCEL 1 PM 8735
 CITY OF PLEASANTON, CALIFORNIA**

| | |
|--------------------|--------------|
| JOB NO.: 11101 | SHEET NO.: 1 |
| DISK NO.: | |
| FILE NO.: 11101CAD | |
| DATE: JUNE 2011 | OF 1 SHEETS |



BIO-TREATMENT CALCULATIONS

| DRAINAGE MANAGEMENT AREA (DMA) IMPERVIOUS AREA (S.F.) | TREATMENT AREA REQUIRED (IMP) (4% OF IMPERVIOUS AREA) | TREATMENT AREA PROVIDED (IMP) |
|---|---|-------------------------------|
| DMA 1 5443(S.F.) | 218(S.F.) | 230(S.F.) |
| DMA 2 4565(S.F.) | 183(S.F.) | 200(S.F.) |
| DMA 3 2634(S.F.) | 106(S.F.) | 120(S.F.) |



The Following (a) and (b) shall be provided to the building inspector before and foundation inspection will be performed. Item (c) shall be provided before the shear and roof inspection. Item (d) shall be provided before a frame inspection will be performed.

a. A Licensed Land Surveyor must verify building setbacks to property lines and also pad elevation(s). This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector of the time of foundation inspection.

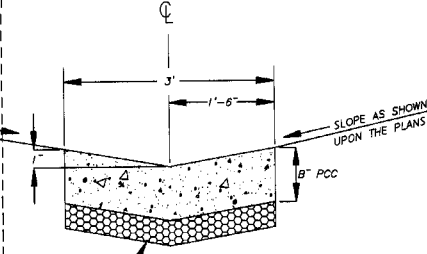
b. When Fill is employed under the building a soils engineer must verify pad compaction. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector of the time of foundation inspection.

c. A Licensed Land Surveyor must verify finish floor elevations. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector of the time of shear and roof inspection.

d. A Licensed Land Surveyor must verify the highest elevation of the highest part of any roof ridge at roof projection. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector of the time of frame inspection.

GRADING NOTES:

- ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
- ALL DOWNSPOUTS SHALL HAVE A MINIMUM 3" DIAMETER SOLID DRAIN LINES AND SHALL DISCHARGE TO SPLASH BLOCKS.
- ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM 5% SLOPE FOR MINIMUM DISTANCE OF 5 FEET.
- SURFACE WATER SWALES SHALL HAVE A 1% MINIMUM SLOPE AND BE CONVEYED TO AREA DRAINS.
- AREA DRAINS SHALL HAVE A MINIMUM 6 INCHES DIAMETER GRATE OPENING.
- ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
- ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS, NOT THROUGH THEM ANY SUBDRAINS PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PIERS AND/OR GRADE BEAMS.
- WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
- ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-FLEXIBLE PVC PIPE, PERFORATED PIPE SHALL BE USED FOR SUBDRAINS ONLY. 8" STORM DRAIN TO BE PVC-SDR-35 DR APPROVED EQUAL. (SEE DETAILS).
- CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
- EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 15 IF WORK CONTINUES INTO THE RAINY SEASON.
- THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
- THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPOUTS, AND DRAINAGE SWALES.



- VALLEY GUTTER**
NO SCALE
- 1 INST BIO-TREATMENT BASIN PER COUNTY C.3 DETAILS AND SPECIFICATIONS
 - 2 COBBLE ENERGY DISSIPATOR

BASIS OF BEARINGS

THE BEARINGS SHOWN UPON THIS MAP ARE THE SAME AS SHOWN UPON "PARCEL MAP B735, CITY OF PLEASANTON, CALIFORNIA"

BASIS OF ELEVATIONS

ELEVATIONS SHOWN ON THIS MAP ARE THE SAME AS SHOWN UPON PARCEL MAP B735.

NOTES:

ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, NOT FIELD LOCATED.

- SEE ARCHITECT'S PLAN FOR MORE INFORMATION REGARDING THE FLOOR PLAN.
- SEE LANDSCAPE PLAN FOR FURTHER DETAIL.
- PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.
- GARAGE FLOOR TO SLOPE TOWARDS THE FRONT AT 1% MIN.

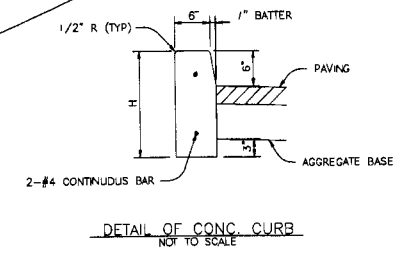
* SEE ARCHITECT'S PLAN FOR DRIVEWAY PAVING MATERIALS.

LEGEND

- DRAINAGE ARROW INDICATES DIRECTION OF DRAINAGE
- STORM DRAIN
- PERIMETER DRAIN
- 100 EX CONTOUR
- 100 NEW CONTOUR
- SWALE
- PROPERTY LINE

ABBREVIATIONS

- AD AREA DRAIN
- BW BOTTOM OF RETAINING WALL
- CD CLEAN-OUT
- DI DRAIN INLET (HANSON P18 DR EQUAL)
- DS DOWN SPOUT
- FF FINISHED FLOOR
- FL FLOWLINE
- FG FINISHED GRADE
- FS FINISHED SURFACE
- GR TOP OF GRADE
- HP HIGHPOINT
- INV INVERT
- OFF GARAGE FINISHED FLOOR
- SW STORM WATER INLET
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF RETAINING WALL



REVISIONS

| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
| | | | |

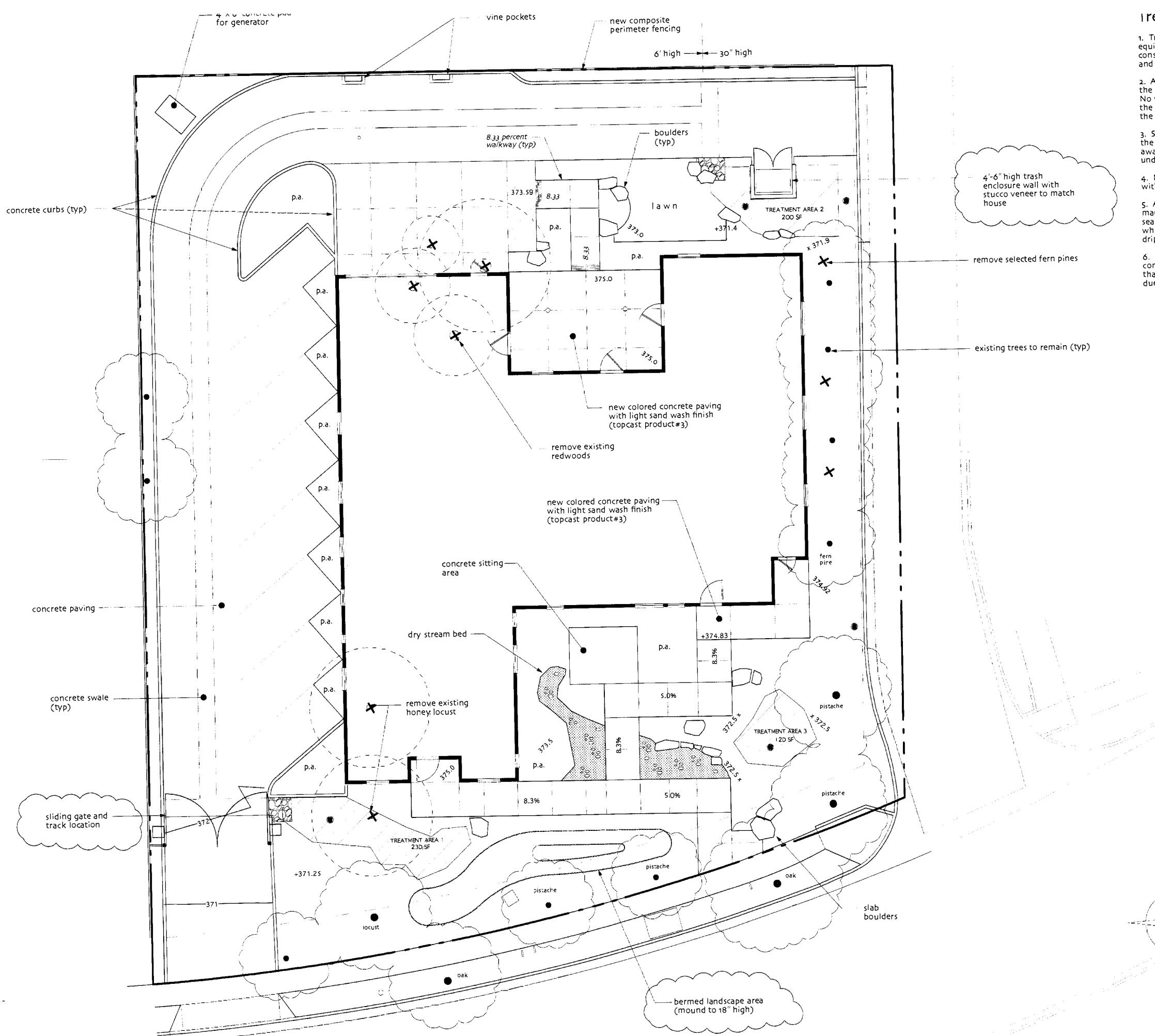
PROJECT NAME
PRELIMINARY GRADING PLAN
LOT 1 PARCEL MAP 8735
CITY OF PLEASANTON
ALAMEDA COUNTY, CALIFORNIA

DESIGNED BY: RD
CHECKED BY: DA
SCALE: 1" = 10'

JOB NO.: 11101
DISK NO.: P-L003
FILE NO.: 11101CAD
DATE: 7-11-11

SHEET NO.: C1
OF 1 SHEETS

ALEXANDER & ASSOCIATES INC.
SURVEYORS
ENGINEERS
PLANNERS
147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 462-2255



Tree PROTECTION NOTES

1. Tree branches that will interfere with construction equipment shall be properly pruned prior to beginning construction. Pruning shall be as approved by the City and shall comply with City approved practices.
2. A protective fence shall be placed at the dripline of the existing trees during the entire construction period. No work shall occur within the dripline except under the direct supervision of a certified arborist approved by the City.
3. Soil compaction and grading shall be avoided under the dripline of the trees. Maintain a positive drainage away from tree trunk. Irrigation should be avoided under native oak trees.
4. No storage of materials or equipment shall occur within 25 feet of the dripline of the trees.
5. All roots 1" or larger that must be severed shall be cut manually to produce a clean cut and treated with a tree sealant. Boring, rather than trenching, shall be required where it is unavoidable for piping to cross through the dripline of a tree.
6. Contractor shall be responsible for providing comparable replacement trees for any existing trees that are found by the City to be irreparably damaged due to construction activity.

- sheet index:
- L-1 hardscape layout
 - L-2 dimensioning plan
 - L-3 planting plan
 - L-4 planting notes
 - L-5 lighting plan

Martin Hoffmann
 4713 First Street
 Suite 205
 Pleasanton, Ca
 94566
 925 462 2190
 fax 925 462 2199

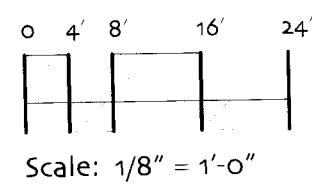
CareMeridian
 446 Sycamore Road
 Pleasanton, Ca.

NOTE:
 This plan is diagrammatic in nature. It is meant as a general guide to construction only. It is not fully detailed nor exhaustively specified. It is the responsibility of the contractor to become familiar with the site prior to starting work. Notify landscape designer promptly with any field discrepancies. It is the responsibility of the contractor and/or owner to verify, select, and resolve all structures, water features, and planting materials. The contractor and owner are solely responsible for quality control, construction standards and for maintaining compliance with local and county codes on this project.



GENERAL NOTES
 CONTRACTORS MUST BE PROPERLY AND CURRENTLY LICENSED BY THE CALIFORNIA CONTRACTORS STATE LICENSED BOARD PRIOR TO ENTERING INTO AN AGREEMENT TO PERFORM WORK AND MAY PERFORM ONLY SUCH WORK AS IS WITHIN THE SCOPE OF SAID LICENSED SPECIALTY.
 CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR SHALL NOTIFY JSA UNDERGROUND ALERT @ (800) 277-1600.

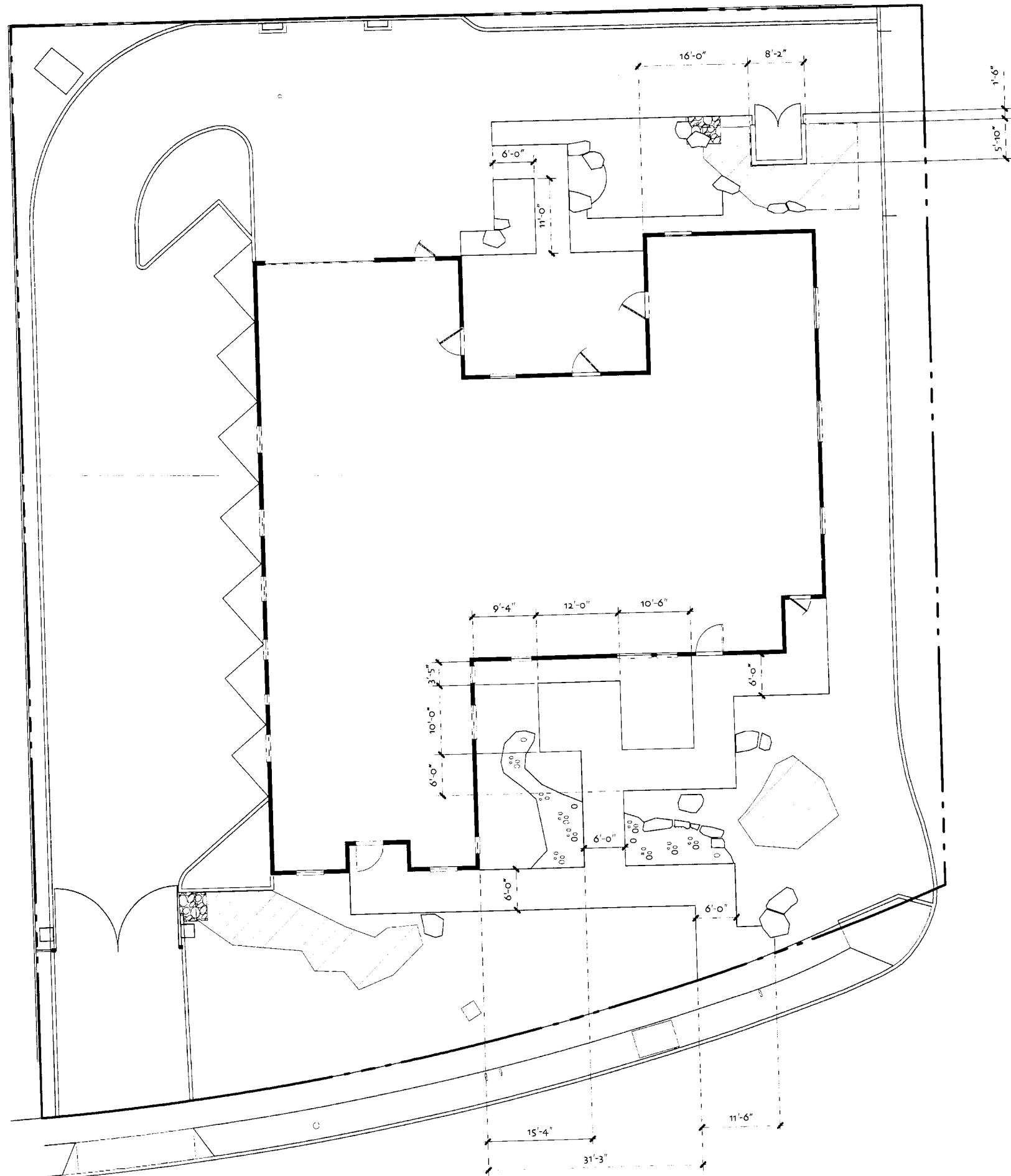
| REV. NO. | REVISION |
|----------|-------------------------------------|
| 1 | added berm, changed trash and gates |
| 2 | added planting at parking 10/15/11 |



hardscape layout

Job No: _____ Date: _____
 Drawn: mfh 1/Scale: 1/8" = 1'-0"

L-1




Martin Hoffmann
 4713 First Street
 Suite 205
 Pleasanton, Ca
 94566
 925 462 2190
 fax 925 462 2199

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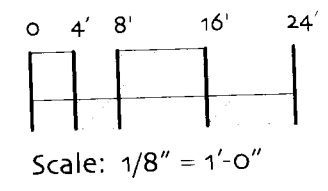
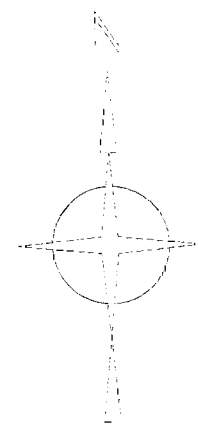


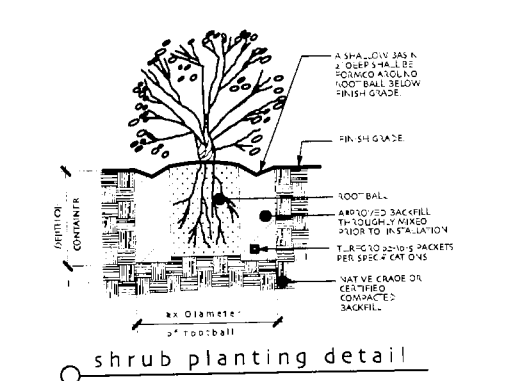
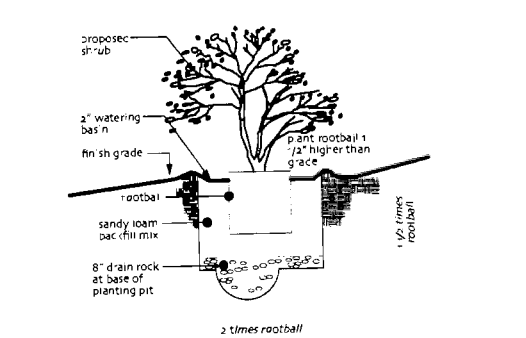
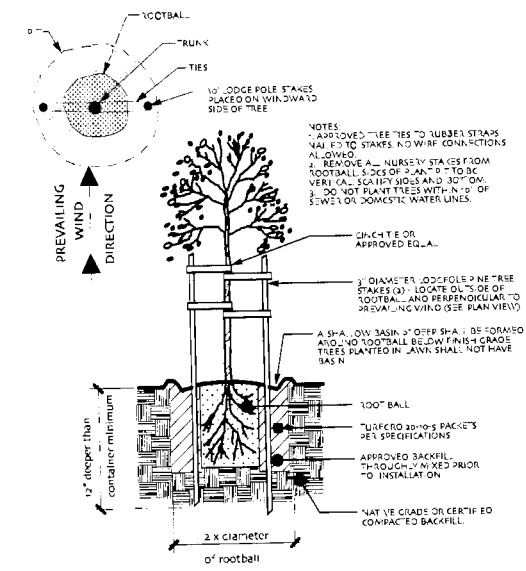
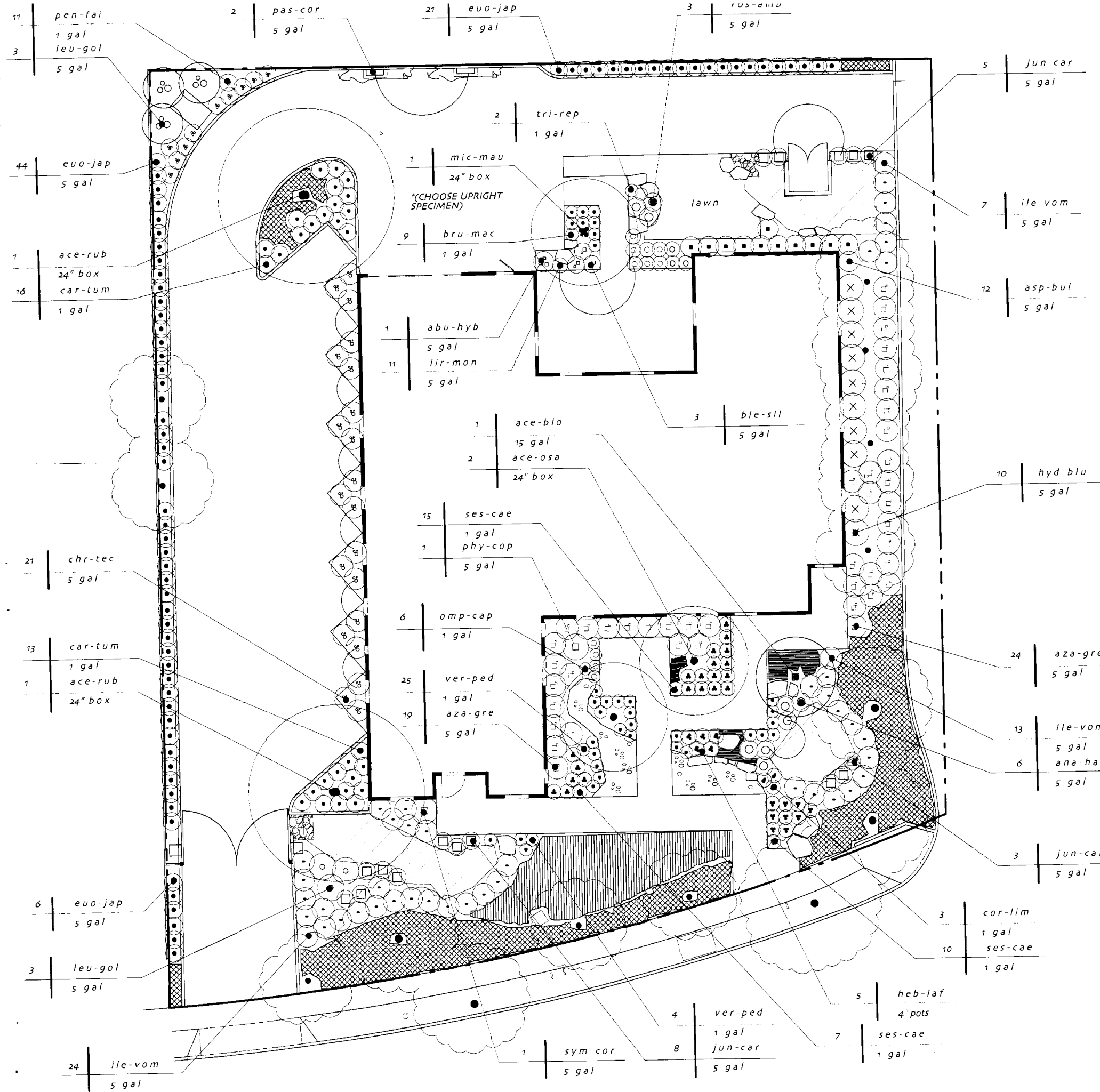
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 CONTRACTOR SHALL NOTIFY USA UNDERGROUND ALERT @ (800) 277-2600.

| REV. NO. | REVISION |
|----------|-------------------------------------|
| 1 | added berm, changed trash and gates |
| 2 | added planting at parking lot/turn |

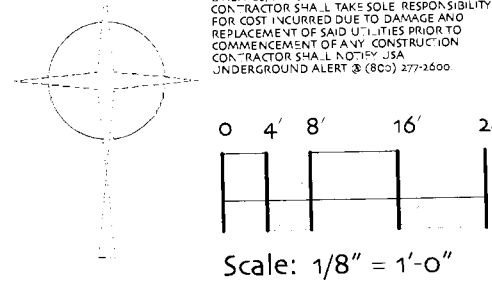
dimensioning plan

Job No: _____ Date: _____
 Drawn: mfh Scale: 1/8" = 1'-0"





GENERAL NOTES
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Martin Hoffmann
 4713 First Street
 Suite 205
 Pleasanton, Ca 94566
 925 462 2190
 fax 925 462 2199

CareMeridian
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 Pleasanton, Ca.

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 The contractor and owner are solely responsible for quality control, construction standards and for maintaining compliance with local and county codes on this project.

MARTIN HOFFMANN
 LICENSED LANDSCAPE ARCHITECT
 LA 4787
 JAN 1992-04
 STATE OF CALIFORNIA

| REV. NO. | REVISION |
|----------|-------------------------------------|
| 1 | added berm, changed trash and gates |
| 2 | added planting at parking 10/17/11 |

planting plan

Job No: _____ Date: _____
 Drawn: mfm Scale: 1/8" = 1'-0"

L-3

Planting Notes:

General Notation:

The Landscape Contractor shall inspect the site and be familiar with all existing site conditions prior to bidding the job. Contractor shall not willfully proceed with construction as shown when it is obvious that obstructions, utilities, landscape grade differences, or landscape area discrepancies occur on site that have not been represented on the design. Such conditions shall immediately be brought to the attention of the landscape designer. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification. All local codes and ordinances shall be observed. Planting shall be installed in conformance with all applicable local codes and ordinances by experienced workmen and a licensed Landscape Contractor who shall obtain all necessary permits and pay all required fees. Contractor shall be responsible for coordination between trades and subcontractors as required to complete landscape operations. The Contractor shall be responsible for any damage to existing facilities caused by or during the performance of his/her work. All repairs shall be made at no cost to the Owner.

Soil Preparation:

The Landscape Contractor shall be responsible for finish grading and all planting area drainage. Positive drainage away from house (246 min) shall be maintained. No low spots which hold standing water will be accepted. The Landscape Contractor shall incorporate backfill soil mixes in planting areas as noted below. Where rototilling is not possible, work in amendment with hand tools. After installation of irrigation system, all planting areas are to be fine graded to within 2 inches and slightly mounded away from edges of top header, curb, walk, planter, etc., and raked smooth with all rock and debris over 1 inch in diameter removed.

Soil Amendments:

The Landscape Contractor shall incorporate, by means of rototilling, 6 cubic yards of Nitrofed soil conditioner (with a PH of 6.5 to 7.5) and 15 lbs. of granular fertilizer (12-12-12) per 1,000 square feet of planting area into the top 6" of soil for all planting areas except as noted below:

PERENNIAL Bedding Areas:

Perennial beds shall be excavated and 6" (or depth noted) of pure planting mix (such as Diablo Soils' Diablo Mix) shall be used. No top dressing shall be utilized for cultivated beds.

Backfill Soil Mixes:

Planting pit mix for trees and shrubs to consist of 1/3 organic amendment and 2/3 amended topsoil as noted above.

Acid Backfill Mix:

Back fill for acid loving plants (for all Azaleas) shall be 30% amended soil, 20% sand, and 50% pre-moistened peat with 49'er Brand Acid Food at manufacturer's recommended application rate. Planting pits to be minimum 2 times width of rootball and 2 times depth of rootball.

Shrub Planting:

The shrubs shall be spotted as per plan. No substitutions unless authorized by landscape designer or owner. All shrubs shall receive **Turfpro 20-10-5 packets** at the following ratios: (1) tablet per 1 gallon, (2) tablets for 5 gallon, and (4) tablets for 15 gallon.

Tree Planting:

The trees shall be spotted as per plan. Trees shall typically be located a minimum of four (4') feet from all curbs, walks, headers, buildings, or overhangs, and other trees within the project. Tree backfill shall be the "Pit Planting Mix" as noted above. Std. Trunk indicates a single trunk, and a multi-trunk indicates (3) trunks from the base of tree. Double stake all standard trunk trees. All trees shall receive **Turfpro 20-10-5 packets** at the following ratios: (4) tablet per 15 gallon, (5) tablets for 24" box, and (6) tablets for 36" box and larger. Thoroughly water all trees immediately following planting.

Top Dressing:

Top dressing to consist of 2" layer medium fir bark chips for all planting areas except lawn and meadow grass. Apply 'Ronstar' pre emergent prior to top dress at manufacturer's recommended rate.

Sodded Lawn:

Sod shall be as specified on drawings and installed as per supplier's specifications. Remove from all turf areas all stones (1/2" and larger), concrete, mortar debris, asphalt, rubbish, debris, and any materials harmful to plant life. Remove and/or spray to eradicate noxious weed growth and roots. Thoroughly mix and pulverize the following mix of materials (lightly compacted measurements) to a minimum depth of 6" while in a moist, friable condition: 3" of topsoil 6 cubic yards Nitrogen Stabilized soil amendment per 1000 sq. ft. 15 lbs. (16-16-B) fertilizer per 1000 square feet

Lawn Maintenance:

Protect and maintain each area by watering, mowing, resodding, rolling, or reseeding as necessary for a minimum of 60 days after turf installation or to the end of the 90 day maintenance period. Establish a thick, weed free, uniform stand of turf. Apply weed killer at manufacturer's specified rate if necessary.

Maintenance:

The Contractor shall maintain the project for 90 days (or as approved by owner) upon completion and approval of the project. During the entire maintenance period, watering, cultivating, weeding, repair of stakes and ties, and spraying for insects and diseases shall be performed. At the end of maintenance period, all areas shall be free of weeds and all plant material shall be in a healthy, thriving condition.

Substitutions:

Requests for substitutions of plant material to be made (5) days prior to planting.

Guarantee:

All construction, trees, shrubs, and irrigation by Landscape Contractor and/or his subcontractors shall be guaranteed for one (1) full year after the beginning of the maintenance period. The Contractor shall replace any and all landscape materials that are in an unacceptable condition for the time of use, and any plant material that are not in a vigorous state of growth. The Contractor shall not be held liable for loss of plant material due to vandalism, accidental causes, or acts of neglect by others than the Contractor, his agents, or employees.

Planting Legend:

| SYMBOL | BOTANICAL NAME | COMMON NAME | wucols |
|---------|---|-----------------------|--------|
| TREES: | | | |
| ACE BLO | Acer palmatum 'Bloodgood' | Japanese Maple | medium |
| ACE OSA | Acer palmatum 'Osakazuki' | Japanese Maple | medium |
| COT GOL | Cotinus coggygria 'Golden Spirit' | Smoke Tree Variety | low |
| GIN BIL | Ginkgo biloba | Ginkgo Tree | medium |
| PAR MAU | Michelia maudiae | Michelia | medium |
| MAR PER | Parrotia persica | Persian Ironwood | medium |
| FERNS: | | | |
| BLE SIL | Blechnum 'Silver Lady' | Fern | medium |
| ASP BUL | Asplenium bulbifolium | Mother Fern | medium |
| VINES: | | | |
| PAS COR | Passiflora 'Coral Glow' | Passion Vine | medium |
| ROSES: | | | |
| ROS AMB | Rosa 'Amber' flower carpet rose | Ground cover Rose | medium |
| SHRUBS: | | | |
| ABU APR | Abutilon hybridum 'Apricot' | Flowering Maple | high |
| AZA HAR | Azalea southern Indica 'Green Glow' | Sun Azalea | medium |
| EJO JAP | Euonymus japonica 'GreenSpire' | Greenspire Euonymous | low |
| EJO MIC | Euonymus microphylla | Boxleaf Euonymous | low |
| HEB FAV | Hebe 'La Favorite' | Hebe | medium |
| HYD BLU | Hydrangea macrophylla 'Bluebird' | Hydrangea Variety | high |
| ILE YOM | Ilex vomitoria 'Nana' | Dwarf Yaupon Holly | high |
| LEU GOL | Leucadendron 'Goldstrike' | Conebush Variety | low |
| PHY COP | Physocarpus opulifolius 'Mandia' 'Coppertina' | Ninebark Variety | medium |
| SYM KOR | Symphoricarpos x doorenbosii 'Kordes' | Amethyst™ Coral Berry | medium |

GRASSES AND GRASSLIKE:



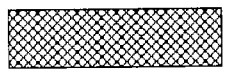
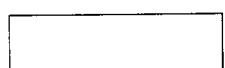
| | | | |
|---------|---|--------------------------|--------|
| ANA HAR | Anigozanthos 80% Harmony' 20% Orange Cross' | Kangaroo Paw | medium |
| CHR TEC | Chondropetalum tectorum | Grass Variety | medium |
| CAR TUM | Carex tumulicola | Berkeley Sedge | medium |
| JUN CAR | Juncus effusus 'Carman's Japanese' | Rush | medium |
| PEN FAI | Pennisetum 'Fairy Tails' | Evergreen Fountain Grass | low |
| SES CAE | Seslaria caerulea | Blue Moor Grass | medium |

PERENNIALS:

| | | | |
|---------|--------------------------------------|----------------------|--------|
| BRU MAC | Brunnera macrophylla | Siberian Bugloss | high |
| COR LIM | Coreopsis 'Limerock Dream' | Coreopsis Variety | low |
| EUP DEA | euphorbia amygdaloides dean's hybrid | Mediterranean Spurge | low |
| LIR MON | Liriope gigantea 'Monroe White' | Toadflax | medium |
| OMP CAP | Omphalodes cappadocica | Forget me not | medium |
| TRI REP | Trifolium repens 'Dark Dancer' | Dark Dancer Shamrock | medium |
| VER PED | Veronica peduncularis 'Georgia Blue' | Speedwell | medium |

* available at Devil Mountain Wholesale phone (925) 829 6006

GROUND COVERS:

| | | | |
|---|---|--------|----------------------------------|
|  | Campanula 'Birch Hybrid' from 4" pots at 16" o.c. | medium | Bellflower |
|  | Carex pansa and Festuca mairei from plugs at 18" o.c. Triangular Spacing. | medium | meadow grasses as 'no mow' grass |
|  | Teucrium chamaedrys 'prostratum' from 4" pots at 24" o.c. Triangular Spacing. | low | Germander Variety |
|  | Bolero dwarf fescue sod (dwarf fescue blend) | high | LAWN |

PRIOR TO THE CLEANING OPERATIONS, THE CONTRACTOR SHOULD MEET WITH THE OWNER'S REPRESENTATIVE TO DESIGNATE ALL TREES AND SHRUBS TO REMAIN ON THE SITE AND THOSE TO BE REMOVED. NOT TREES SHOULD BE REMOVED WITHOUT PRIOR APPROVAL. WHERE POSSIBLE, EXISTING TREES SHOULD BE RETAINED.

EXISTING SITE FEATURES WHICH ARE TO REMAIN SHOULD BE PROTECTED WITH APPROPRIATE FENCING, STAKING, OR FLAGS.

INDIVIDUAL TREES AND SHRUBS, WHICH ARE TO REMAIN, SHOULD BE PROTECTED WITH THE PLACEMENT OF AN APPROVED BARRIER AT THE DRIP LINE END OF THE TREE.

TREE MOVING OR TRANSPLANTING SHOULD BE DONE BY AN APPROVED ARBORIST OR EXPERIENCED CONTRACTOR.

ALL NOXIOUS WEEDS AND UNWANTED VEGETATION SHOULD BE ERADICATED BY APPROVED METHODS.

ALL CLEARED SITE IMPROVEMENTS, TREES, STUMPS, ROOTS, BRUSH, VEGETATION, AND DEBRIS SHOULD BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, SPECIFICATION, INSTALLATION AND WARRANTY OF ALL IRRIGATION SYSTEMS. THE CONTRACTOR SHALL GUARANTEE ADEQUATE COVERAGE OF ALL AREAS WITHIN THE LANDSCAPE. THE CONTRACTOR SHOULD SUBMIT COMPLETED CONSTRUCTION DOCUMENTS NECESSARY FOR THE CONSTRUCTION OF THE IRRIGATION SYSTEMS TO THE OWNER OR OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO SUBMITAL FOR PERMITS.

CONTRACTOR SHOULD FURNISH THE OWNER OR OWNER'S REPRESENTATIVE WITH ACCURATE, PROPERLY DIMENSIONED, UP-TO-DATE "AS-BUILT" DRAWINGS OF ALL INSTALLATIONS OF THE IRRIGATION SYSTEM.

UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION, THE CONTRACTOR SHOULD PHYSICALLY DEMONSTRATE TO THE OWNER OR OWNER'S REPRESENTATIVE HOW TO SET TIME CONTROLS, ADJUST SPRINKLER HEADS, AND OPERATE PUMPS AND OTHER EQUIPMENT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPECIFICATION, INSTALLATION AND WARRANTY OF ALL LOW VOLTAGE LIGHTING SYSTEMS. THE CONTRACTOR SHALL GUARANTEE OPTIMUM USAGE BY SPECIFICATION OF PROPER WIRE SIZING, ADEQUATE TRANSFORMER WATTAGE, AND PROPER CONNECTIONS.

PLANTING OPERATIONS SHOULD BE SCHEDULED TO AVOID UNNECESSARY HOLDING OF PERISHABLE PLANT MATERIALS AND AS REQUIRED TO SATISFY THE JOB SCHEDULES.

PLANTING SHOULD NOT BE DONE WHEN SOIL IS IN AN EXTREMELY WET OR MUDDY CONDITION.

PLANT MATERIAL SUBSTITUTIONS SHOULD BE OF SIMILAR GROWTH HABIT AND REQUIREMENTS, SIZE, TEXTURE, AND COLOR. SUBSTITUTIONS MUST BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.

CONTRACTOR SHOULD BE RESPONSIBLE FOR THE QUALITY OF ALL MATERIALS AND WORKMANSHIP OF A MINIMUM PERIOD OF 90 DAYS FOLLOWING COMPLETION OF INSTALLATION AND FINAL INSPECTION AND ACCEPTANCE.

OWNER SHALL ASSUME RESPONSIBILITY OF MAINTENANCE UPON FINAL INSPECTION AND ACCEPTANCE. CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN OPERATIONAL AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT INSTALLED ON THE SITE, ALONG WITH MANUFACTURER'S WARRANTIES.

GRADING NOTES:

ALL GRADING OPERATIONS AND PAVING SHALL CONFORM TO THE RECOMMENDATIONS OF THE SOILS ENGINEER AND/OR THE LOCAL JURISDICTION'S ENGINEER AND ARE SUBJECT TO HIS OBSERVATION.

THE CONTRACTOR IS TO BE FAMILIAR WITH THE SOILS REPORT ON RECORD.

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES NOT SHOWN.

ALL ORGANIC MATERIALS, INCLUDING GRASS & WEEDS, SHALL BE STRIPPED PRIOR TO ANY GRADING OPERATION AND REMOVED AWAY FROM AREAS THAT ARE TO RECEIVE STRUCTURES OR ENGINEERED FILL. STRIPPING SHALL BE USED FOR LANDSCAPING, MOUNDING, AND/OR BLENDING AND USED AS A FILL IN NON-STRUCTURAL AREAS.

GRADING SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CONTROL OF DUST.

ANY DAMAGE, SUCH AS COMPACTION, RUTTING, SETTLEMENT OR EROSION, CAUSED TO EXISTING GRADES DURING THE GRADING OPERATIONS OR AS A RESULT OF THE GRADING OPERATIONS, SHALL BE REPAIRED AND THE DAMAGED AREAS RETURNED TO THEIR ORIGINAL GRADE AND STATE OF PERMEABILITY.

OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER, MANAGER, LANDSCAPE ARCHITECT NOR ENGINEER ASSUMES RESPONSIBILITY THAT THE OBSTRUCTIONS INDICATED WILL ACTUALLY BE THE OBSTRUCTIONS ENCOUNTERED.

GRADING OPERATIONS SHALL BE CONTROLLED TO PREVENT NUISANCES TO PUBLIC AND PRIVATE OWNERSHIP BECAUSE OF DUST, DRAINAGE, REMOVAL OF NATURAL SUPPORT OF LAND AND STRUCTURES, ENCROACHMENT, NOISE OR VIBRATIONS.

ALL GRADING WORK AND SUBSURFACE DRAINAGE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS BY THE GEOTECHNICAL (SOILS) ENGINEER AND SUBJECT TO APPROVAL BY THE CITY ENGINEER.

CONTRACTOR SHALL BE RESPONSIBLE FOR OVERALL DRAINAGE OF THE SITE AND CONTROL OF SILTATION, EROSION, AND DEBRIS.

CONTRACTOR SHALL EFFECT AND MAINTAIN PRECAUTIONARY MEASURES NECESSARY TO PROTECT THE PROJECT SITE AND ADJACENT WATERCOURSES AND PUBLIC OR PRIVATE PROPERTY FROM DAMAGE DUE TO EROSION, FLOODING, AND DEPOSITION OF MUD OR DEBRIS ORIGINATING FROM THE SITE.

MINIMUM ONE (1) PERCENT SLOPE AND MAXIMUM THREE (3) PERCENT SLOPE FOR PAVING AREAS, WITH THE EXCEPTION OF DRIVEWAYS OR RAMPS AS INDICATED IN PLANS. ALL BUILDINGS AND SITE STRUCTURES SHALL BE GRADED AND SLOPED AWAY FROM THE FOUNDATION WITH A MINIMUM SLOPE OF THREE (3) PERCENT.

ALL GRADING SHALL BE PREPARED WITH A SMOOTH, NATURAL APPEARANCE, BLENDING INTO THE ADJACENT AREAS. THERE SHOULD BE NO LARGE CLOUDS OF DIRT, ROCKY AREAS, UNNATURAL MOUNDS OR RIDGES AND DEBRIS OR FOREIGN MATERIAL.

GENERAL NOTES:

CONTRACTORS MUST BE ACTIVELY LICENSED BY THE CALIFORNIA CONTRACTORS STATE LICENSED BOARD PRIOR TO ENTERING INTO AN AGREEMENT TO PERFORM WORK AND MAY PERFORM ONLY SUCH WORK AS IS WITHIN THE SCOPE OF SAID LICENSED SPECIALTY.

CONTRACTOR SHALL NOTIFY USA UNDERGROUND ALERT @ (800) 277-2500. CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPELINES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR THE COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

IF REQUIRED, THE CONTRACTOR SHALL RELOCATE OR REMOVE EXISTING ACTIVE UTILITIES ONLY AS DIRECTED. THE OWNER SHALL PAY FOR THE RELOCATION OR REMOVAL.

CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER, CONSTRUCTION MANAGER, LANDSCAPE ARCHITECT AND/OR CONSULTING ENGINEER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

IF IT APPEARS THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THE FINAL CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR THE LANDSCAPE ARCHITECT FOR SUCH FURTHER EXPLANATIONS AS MAY BE REQUIRED.

IF THE CONTRACTOR REQUESTS CHANGES OF MATERIALS THAT REQUIRE CHANGES TO THE CONSTRUCTION DRAWINGS AND PROCESSING CHANGES THROUGH APPROPRIATE AGENCIES, HE WILL PAY THE COST OF MODIFYING THE CONSTRUCTION DOCUMENTS CHANGES AND COST OF PROCESSING CHANGES THROUGH APPROPRIATE AGENCIES AS NECESSARY.

CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OWNER, CONSTRUCTION MANAGER, LANDSCAPE ARCHITECT, CONSULTING ENGINEER, SUBCONTRACTOR, ARCHITECT, ETC., AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PIPING, CONDUIT, SLEEVES, ETC., SHALL BE IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.

CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE EXECUTION OF THE WORK. THE PERMITS ARE THE PROPERTY OF THE OWNER AND ARE TO REMAIN ON THE SITE AT ALL TIMES.

CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE LAWS, REGULATIONS, CODES, AND ORDINANCES OF THE STATE AND LOCAL AGENCIES. REFER TO COUNTY STANDARD PLANS AND SPECIFICATIONS WHERE APPLICABLE.

CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF ANY EASEMENTS, RIGHTS OF WAY, AND RESTRICTIONS AND WILL FOLLOW ANY RULES AND REGULATIONS REGARDING THE CONSTRUCTION IN AND AROUND SUCH EASEMENTS.

PRIOR TO FINAL INSTALLATION OF ANY CONSTRUCTION ITEM, AN INSPECTION SHALL BE PERFORMED. EACH ITEM SHALL BE INSPECTED AND APPROVED BY THE CONSTRUCTION MANAGER AND/OR OWNER DURING THE FOLLOWING STAGES:

• COMPLETED COMPACTED SUBGRADE

• COMPLETED FORMS WITH STEEL IN PLACE

CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIAL OR PROPERTY ITEM THAT IS DAMAGED DURING CONSTRUCTION.

ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK. THE SURVEY, IF REQUIRED, SHALL BE PAID FOR BY THE OWNER. SURVEY MARKERS THAT ARE DAMAGED, REMOVED OR DESTROYED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED IN PROPER POSITION BY A CERTIFIED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

SEE SPECIFICATIONS AND GUIDELINES FOR CONSTRUCTION REQUIREMENTS, MATERIAL AND EXECUTION.

TOPOGRAPHIC AND SPOT ELEVATIONS ARE INTENDED ONLY TO INDICATE APPROXIMATE ELEVATIONS FOR SITE ELEMENTS. THE CONTRACTOR AND/OR CONSULTING ENGINEER SHALL VERIFY ALL ELEVATIONS AND GRADES IN THE FIELD.

ALL MATERIALS TO BE USED OR SALVAGED SHALL BE STORED IN AN AREA DESIGNATED BY THE OWNER FOR THAT PURPOSE. ALL SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER.

ALL EXISTING STRUCTURES, MATERIALS AND PLANT MATERIAL TO REMAIN WITHIN THE NEW CONSTRUCTION AREA SHALL BE PROPERLY AND ADEQUATELY PROTECTED FROM DAMAGE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION ANY EXISTING ITEM THAT IS DAMAGED OR DISTURBED IN ANY WAY.

ALL MATERIALS AND SUPPLIES ARE TO BE STORED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND ARE NOT TO INCUR AN UNSAFE ENVIRONMENT.

STREETS, SIDEWALKS AND ADJACENT PROPERTY SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION OPERATION AS REQUIRED BY LOCAL CODES AND REGULATIONS AND APPROVED BY THE OWNER.

ALL CRADING AND SUBSURFACE DRAINAGE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL (SOILS) ENGINEER AND SUBJECT TO APPROVAL BY THE CITY ENGINEER.

CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER, CONSTRUCTION MANAGER, LANDSCAPE ARCHITECT, ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, CONSTRUCTION MANAGER, LANDSCAPE ARCHITECT, OR ENGINEER.

CONTRACTOR SHALL BE RESPONSIBLE FOR REASONABLE CLEANLINESS OF THE PROJECT SITE DURING PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, ALL CONSTRUCTION DEBRIS IS TO BE REMOVED OFF THE PROPERTY. THE SITE SHOULD BE INSPECTED WITH THE OWNER FOR FINAL APPROVAL.

IF TESTING OF ANY MATERIAL IS REQUIRED, THESE TESTS SHALL BE MADE BY A QUALIFIED LAB OR PERSON. COSTS TO BE PAID BY THE OWNER UNLESS OTHERWISE AGREED UPON. MATERIALS THAT FAIL TO MEET THE MINIMUM STANDARDS ARE TO BE REMOVED AND REPLACED WITH CORRECT MATERIALS AT THE CONTRACTOR'S EXPENSE.

A SCHEDULE OF ON-SITE INSPECTIONS SHOULD BE AGREED UPON BETWEEN THE CONTRACTOR AND THE OWNER PRIOR TO COMMENCEMENT OF THE WORK. THE SCHEDULING OF THE BUILDING INSPECTIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. IF NOT SPECIFIED BY THE LANDSCAPE ARCHITECT, THE CONTRACTOR SHALL SUBMIT SAMPLES OF MATERIALS TO THE OWNER AND RECEIVE APPROVAL PRIOR TO INSTALLATION.

UPON FINAL COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE TO THE OWNER WRITTEN OPERATIONS AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT INSTALLED ON THE SITE ALONG WITH THE MANUFACTURER'S WARRANTIES.

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Martin Hoffmann
4713 First Street
Suite 205
Pleasanton, Ca
94566
925 462 2190
fax 925 462 2199

CareMeridian
446 Sycamore Road
Pleasanton, Ca.

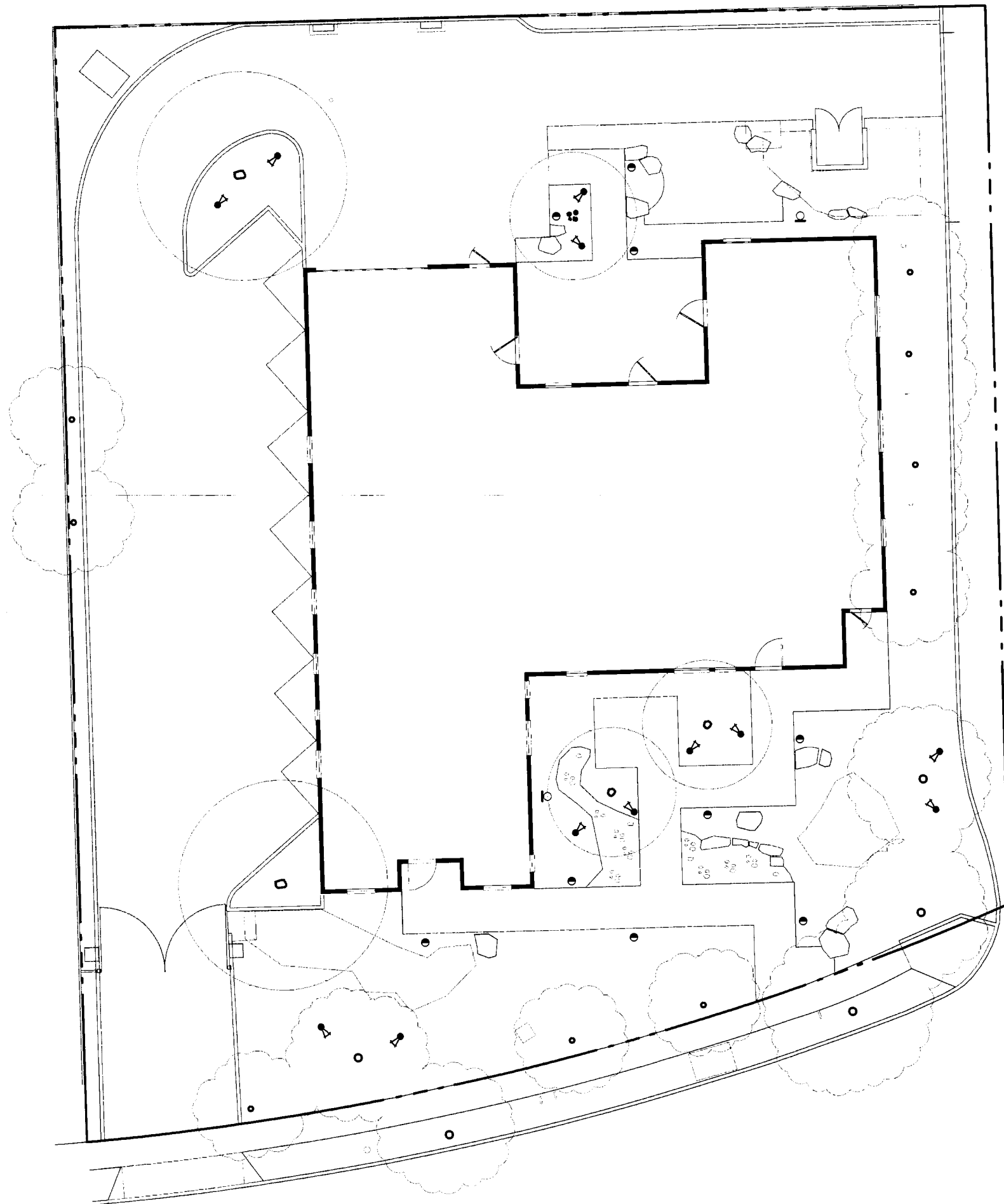
NOTE:
This plan is diagrammatic in nature. It is meant as a general guide to construction only. It is not fully detailed nor exhaustively specified.
It is the responsibility of the contractor to become familiar with the site prior to starting work. Notify landscape designer promptly with any field discrepancies. It is the responsibility of the contractor and/or owner to verify, select, and resolve all structures, water features, and planting materials.
The contractor and owner are solely responsible for quality control, construction standards and for maintaining compliance with local and county codes on this project.



| REV. NO. | REVISION |
|----------|-------------------------------------|
| 1 | added berm, changed trash and gates |
| 2 | added planting at parking 10/17/11 |

**planting notes
and legends**

Job No: _____ Date: _____
Drawn: mfh



Lighting Legend:
symbol Description

- Vista Pathlight 12v. (LED)
2165-CSN-LB5ND-W (copper)
- ▲ Vista 3003-BSO-M-NF-W (LED)
(TREES) 12v.
- Vista GR-2104-BSO-LB5ND-W (OLD
BRASS) (LED) (WALLS) 12v.
- ⊞ MT-300 TRANSFORMER (DTC-200
ASTRONOMICAL TIMER)

Lighting Notes:

1. All dimensions and conditions shall be verified prior to the start of construction and any discrepancies reported immediately to the Architect/Designer and owner.
2. On-site verification of all dimensions and conditions shall be the responsibility of the contractor.
3. The Architect/Designer shall in no way be held responsible for the methods and means of the installation of the lighting, safety in/ on, or about the site, performance of the work or timeliness in which work is performed.
4. **OVERLOADING THE WIRE:** Due to varying field conditions it is the responsibility of the installing contractor to determine the actual watts on each run. The contractor shall be responsible to verify that the size of cable is adequate to carry the amount of watts on each run.
5. **VOLTAGE CONNECTIONS:** The Unique Multi-Matic series transformers have multiple voltage taps. It is the responsibility of the installing contractor to field verify all required voltage taps prior to leaving the job. The installing contractor is not to rely on the suggested voltage taps as provided for on the following pages. The contractor is to use a digital voltmeter to determine the actual voltages at the lamps. **NOTE THAT MULTIPLE RUNS CAN BE CONNECTED TO THE SAME TAP.**
6. **PROPER VOLTAGE:** The installing contractor shall be responsible for insuring the proper voltage to each lamp. Acceptable voltage for all lamps is between 10.8 and 12 volts. Over volting or under volting the lamps may shorten the life span of the lamp.
7. **DISTANCE OF THE WIRE:** Due to unforeseen obstructions or the relocation of planting materials the actual distance from the transformer to the home run fixture is difficult if not impossible to determine. This may affect the voltage drop at the first (home run) fixture as well as require the use of additional wire. It is the responsibility of the contractor to determine the actual distance of the wire.
8. **MAXIMUM AMPS:** The installing contractor is to use an amp probe to field verify that all amperage loads on each transformer do not exceed the maximum. All maximum loads are listed on the label of each transformer.
9. Home run wire minimum depth 12" - 25' lead minimum depth of 6" is recommended.
10. 12-2 wire not to exceed 192 watts. 10-2 wire not to exceed 288 watts. 8-2 wire not to exceed 300 watts.
11. Run all home run wires together where possible.
12. Install light fixtures per plan and adjust for glare reduction. Verify that fixture is directed at walls, paths, or trees and not adjacent properties.
13. Contractor to install all fixtures per manufacturer's specifications and all applicable agency codes.
14. **FOR ANY QUESTIONS PLEASE CONTACT UNIQUE LIGHTING SYSTEMS AT THEIR TOLL FREE NUMBER 1-800-955-4831.**

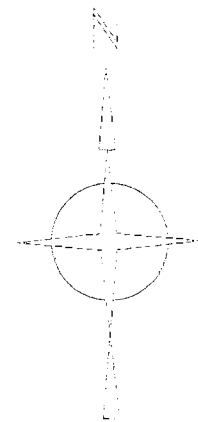
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Scale: 1/8" = 1'-0"

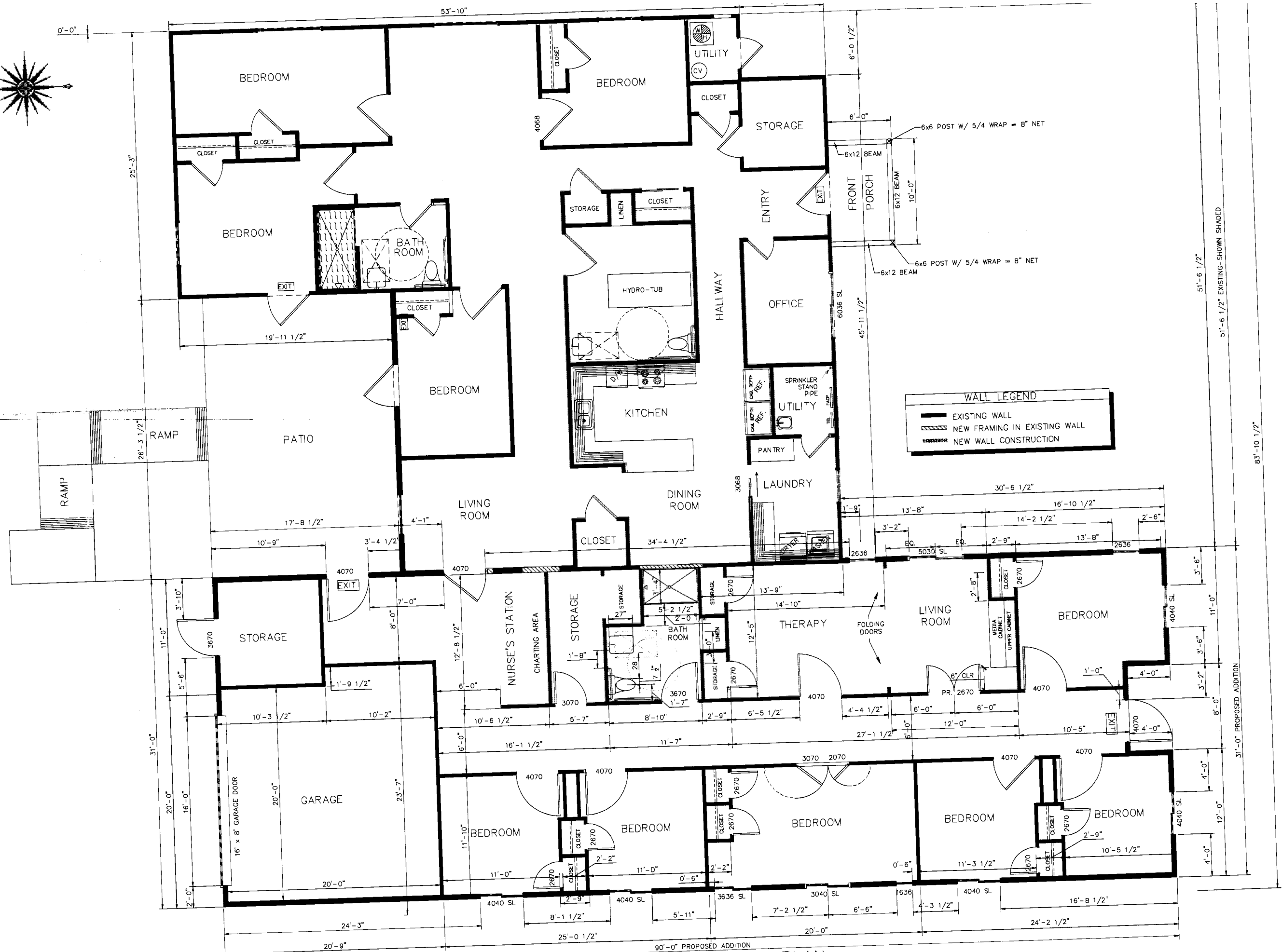
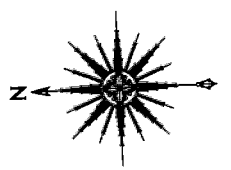
| REV. NO. | REVISION |
|----------|-------------------------------------|
| 1 | added berm, changed trash and gates |
| 2 | added planting at parking 10/15/11 |

lighting plan

Job No: _____ Date: _____
 Drawn: mfh Scale: 1/8" = 1'-0"
 L-5

Proposed Addition Plans
446 Sycamore Road
Pleasanton, California 94566

| | |
|-------------|--------------------|
| DRAWN | Matthew W. Bassett |
| FILE NAME | Addition Plans |
| CHECKED | RGP |
| DATE | June 2011 |
| SCALE | 1/4" = 1'-0" |
| JOB NO. | |
| SHEET | A1 |
| OF 8 SHEETS | |



EXISTING/PROPOSED FLOOR AREA PLAN
SCALE: 1/4" = 1'-0"

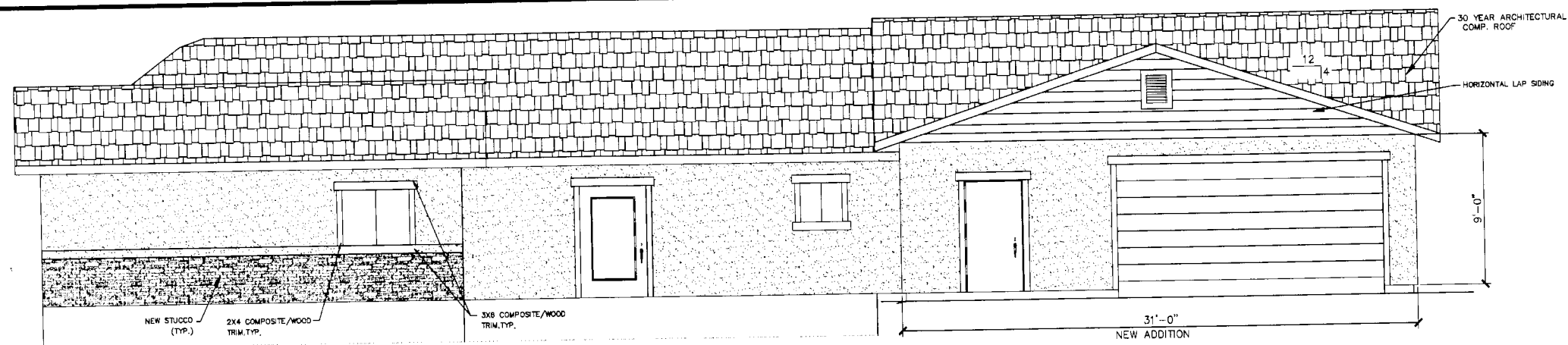
REVISIONS

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| 7/23/2011 | |
| 8/30/2011 | |

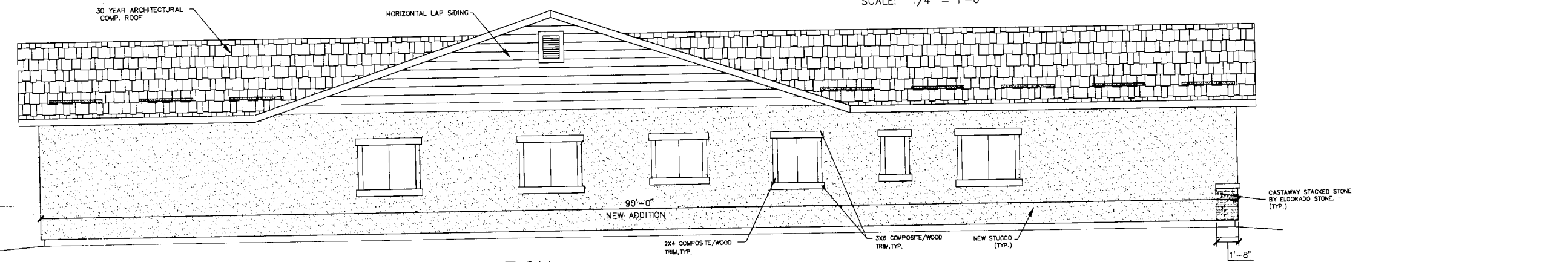


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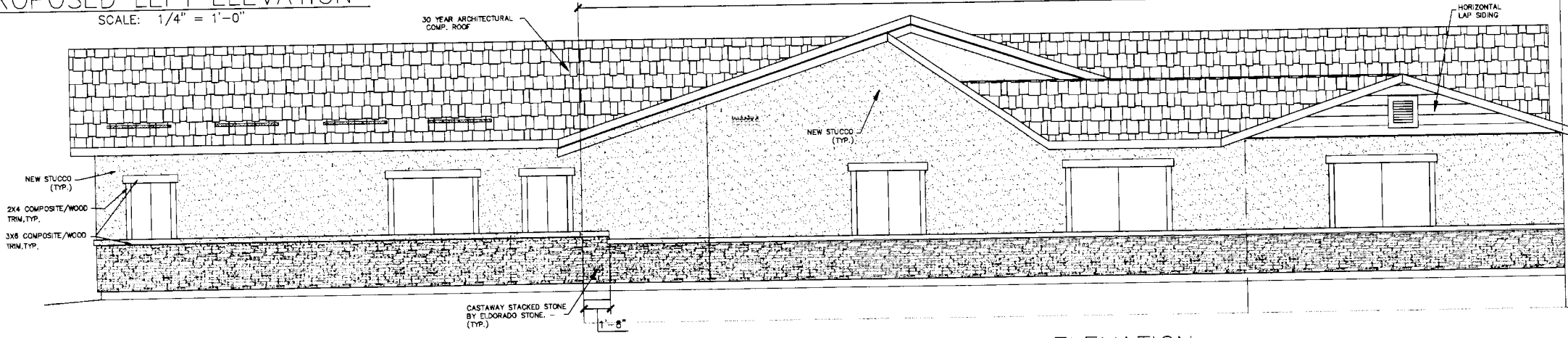
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|-------------|--------------------|
| DRAWN | Matthew W. Bessert |
| FILE NAME | Addition Plans |
| CHECKED | RCP |
| DATE | June 2011 |
| SCALE | 1/4" = 1'-0" |
| JOB NO. | |
| SHEET | A2 |
| OF 8 SHEETS | |



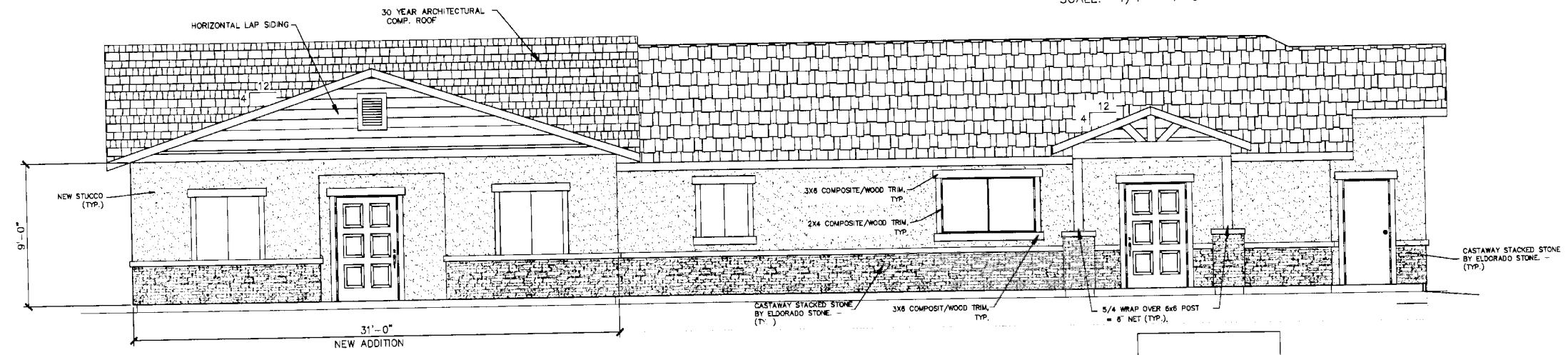
PROPOSED REAR ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
 SCALE: 1/4" = 1'-0"