

MERCEDES-BENZ OF PLEASANTON

5885 OWENS DRIVE
PLEASANTON, CALIFORNIA

WARE MALCOMB
Leading Design for Commercial Real Estate

Architecture
Interior
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Civil Engineering
5000 executive parkway ste. 200
Pleasanton, California 94588
TEL: 925-944-9421

ABBREVIATIONS

A	And	F.A.	Fire Alarm	PRCST	Pre-coat
Z	Angle	F.B.	Flot Bar	PL	Plate
Ø	Circle	F.D.	Floor Drain	P.LAM	Plastic Laminate
∅	Centerline	FDN	Foundation	PLAS	Plaster
∅	Diameter or Round	F.E.C.	Fire Extinguisher	PLYWD	Plywood
#	Pound or Number	F.H.C.	Fire Hose Cabinet	PR	Paint
(E)	Existing	FL	Floor	PT	Point
		FLSH	Flashing	P.T.O.	Paper Towel Dispenser
ACDUS	Acoustical	FLUOR	Fluorescent	P.T.O/R	Combination Paper Towel
AD	Area Drain	F.O.C.	Face of Concrete	PTH	Partition
ADJ	Adjustable	F.O.F.	Face of Finish	P.T.R.	Paper Towel Receptacle
AGGR	Aggregate	F.O.M.	Face of Mullion	P.J.	Panel Joint
AL	Aluminum	F.O.S.	Face of Stud	Q.T.	Quarry Tile
APPROX.	Approximate	F.P.F.	Finish	R	Riser
ARCH.	Architectural	F.S.	Full Size	RAO	Road
ASB	Asbestos	FT	Foot or Feet	RED	Redwood
ASPH.	Asphalt	FTL	Footing	REF	Reference
		FURR	Furring	RGTR	Refrigerator
BD	Board	FUT	FUTURE	REIN	Reinforced
BTM	Bottom			RES	Resilient
BLDG	Building			RESL	Room
BLC	Block	GA	Gauge	RM	Rough Opening
BKG	Blocking	CALY	Colorized	R.O.	Rough Opening
BM	Beam	G.B.	Grab Bar	RWD	Redwood
B.C.C.	Bottom of Concrete	GND	Ground	R.W.L.	Robt. Water Leader
B.O.M.	Bottom of Mullion	GR	Grade	S	South
B.O.P.	Bottom of Panel	GR	Grade	SAF	Self Adhered Flashing
B.O.R.	Bottom of Recess	GR	Grade	H.C.	Hot Dow Core
BOT	Bottom	H.B.	Hose Bibb	S.C.D.	Self Cover Dispenser
CAB.	Cabinet	H.C.	Hot Dow Core	SCHED.	Schedule
C.B.	Catch Basin	HEND	Hardware	S.D.	Soap Dispenser
CDL	Ceramic	HME	Hardware	SECT.	Section
CER.	Ceramic	H.M.	Hot Mount Metal	SH	Sheet
C.I.	Cast Iron	HORL	Horizontal	SHR	Shower
C.C.	Cast Iron	HR	Hour	SHT	Sheet
CLC	Cliff	HGT	Height	SIM	Similar
CLG	Cladding	I.D.	Inside Diameter (Dim.)	S.M.D.	Sanitary Napkin Disp.
CLD	Clasp	INSUL	Insulation	S.N.R.	Sanitary Napkin Recept.
CLR	Clear	INT.	Interior	SPEC.	Specification
C.D.	Cased Opening	Jan.	Janitor	SQ.	Square
COL.	Column	JOINT	Joint	S.S.T.	Stainless Steel
C.O.M.	Center of Mullion	KIT	Kitchen	S.S.	Service Sls
CONC.	Concrete	K.O.	Knock Out	STA.	Station
CONSTR.	Construction	LAB.	Laboratory	STD.	Standard
CONT.	Continuous	LAM	Laminates	STL	Steel
C.O.R.	Center of Recess	LAV	Lavatory	STDR.	Storage
CSBR.	Center	LCKR	Locker	STR.	Structural
CTSK.	Countersunk	LGT	Light	SUSP	Suspended
CTR.	Center	MAX.	Maximum	SYE	Symmetrical
CTRL.	Center	M.C.	Mechanical	T&G	T & G
		MEDL	Mechanical	TEL	Telephone
DBL	Double	MEMB.	Membrane	TER	Terrazzo
DEPT.	Department	MET	Metal	T & G	Tongue and Groove
D.F.	Drinking Fountain	MFR.	Manufacturer	THK.	Thick
DET.	Detail	M.H.	Manhole	T.O.C.	Top of Concrete
DIAM.	Diameter	MIL	Mill	T.O.P.	Top of Panel
DIM.	Dimension	MIR.	Mirror	T.O.R.	Top of Recess
DISP.	Dispenser	MISC.	Miscellaneous	T.O.M.	Top of Mullion
DN	Down	M.O.	Masonry Opening	T.O.W.	Top of Wall
D.D.	Door Opening	MTO	Mounted	T.P.	Top of Pavement
DR	Door	MUL	Mullion	T.P.D.	Towel Paper Dispenser
DWR.	Drawer	N.	North	T.V.	Television
D.S.	Downspout	N.C.	Not in Contract	TYP.	Typical
D.SP.	Dry Standpipe	N.D.	Not Dimensioned	UNF.	Unfinished
DWG	Drawing	NOM	Nominal	UNL	Unless Otherwise Noted
		N.T.S.	Not To Scale	URT	Unreinforced
E	East	O.A.	Overall	VERT	Vertical
EA	Each	ONS	On Site	VEST	Vestibule
E.L.	Elevation	O.C.	On Center	W	West
ELEC.	Electrical	O.D.	Outside Diameter (Dim.)	W/	With
ELEV.	Elevation	OFF	Office	W.C.	Water Closet
EMER.	Emergency	OPN.	Opening	W	Without
ENCL.	Enclosure	OPP.	Opposite	WPM	Waterproofing Membrane
E.P.	Electrical Panelboard			WRB	Weather Resistant Barrier
EQ.	Equal			WGT	Weight
EQUIP.	Equipment				
E.W.C.	Electric Water Cooler				
EXIST.	Existing				
EXPOSED	Exposed				
EXP.	Expansion				
EXT.	Exterior				

PROJECT TEAM

OWNER



MERCEDES-BENZ OF PLEASANTON
5885 OWENS DRIVE
PLEASANTON, CALIFORNIA 94588
JOCK
PH: (925) 447-XXXX
FAX: (925) 447-XXXX

ARCHITECT

WARE MALCOMB
5000 EXECUTIVE PARKWAY, SUITE 200
SAN RAMON, CA 94583
JIM TERRY
PH: (925) 244-9820
FAX: (925) 244-9821
E: jerry@waremalcomb.com

OWNER'S CONSULTANTS

CAMBRIDGE CM, INC.
345 S CALIFORNIA AVE. NO. 3
PALO ALTO, CA 94306
DAVE BELL
PH: (650) 543-3033
E: dbell@cmr.to

ARCHITECT'S CONSULTANTS

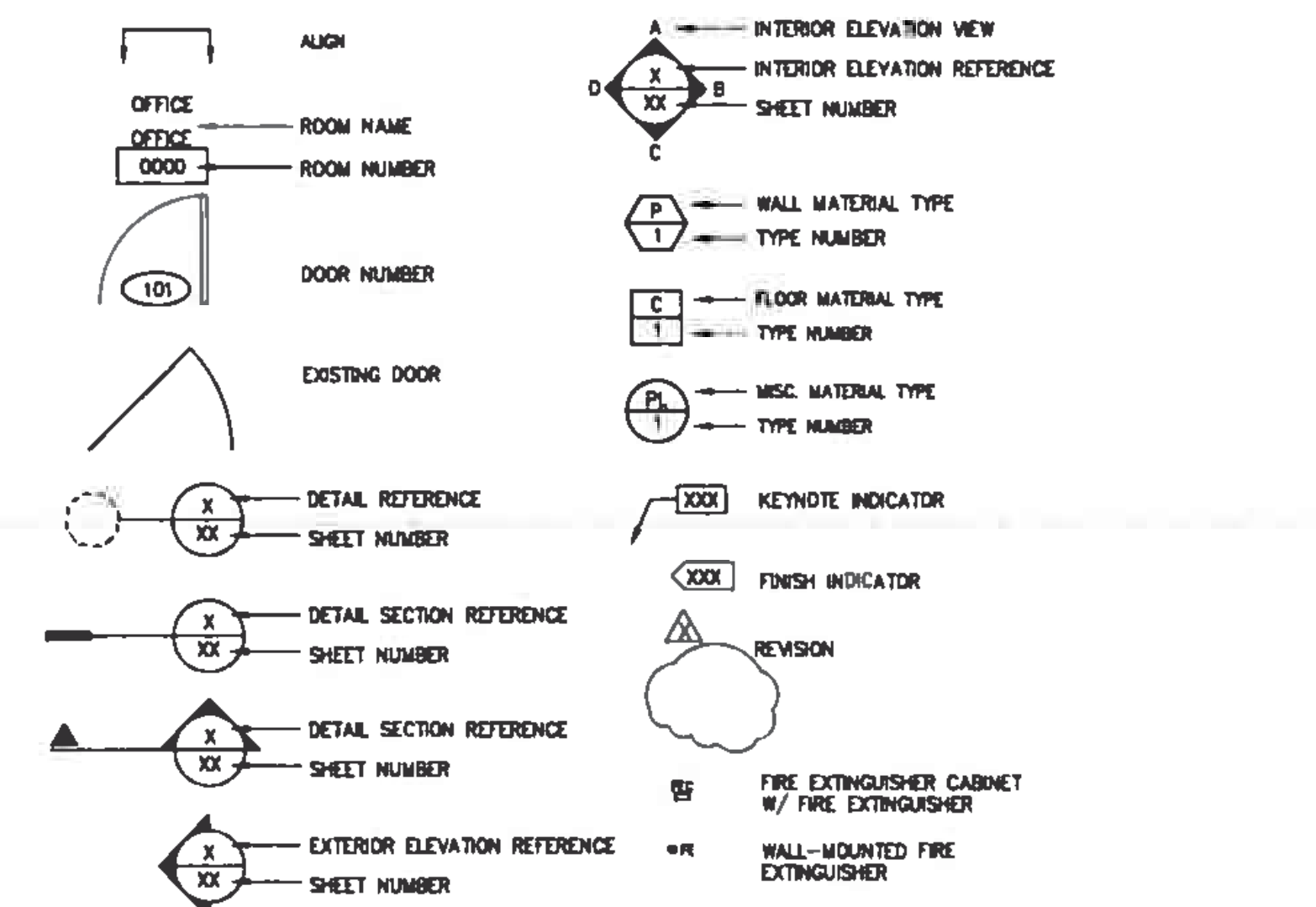
CIVIL ENGINEER
HEER AND WRIGHT
2850 COLLIER CANYON ROAD
LIVERMORE, CA 94551
CHUCK MCCALLUM
PH: (925) 245-8788
FAX: (925) 245-8786
E: cmccallum@heerwright.com

LANDSCAPE ARCHITECT
THOMAS BAUK AND ASSOCIATES
1620 N. MAIN ST. SUITE 4
WALNUT CREEK, CA 94596
ANDREA SWANSON
PH: (925) 933-2583 X107
FAX: (925) 933-0947
E: aswanson@tbaak.com

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VICINITY MAP

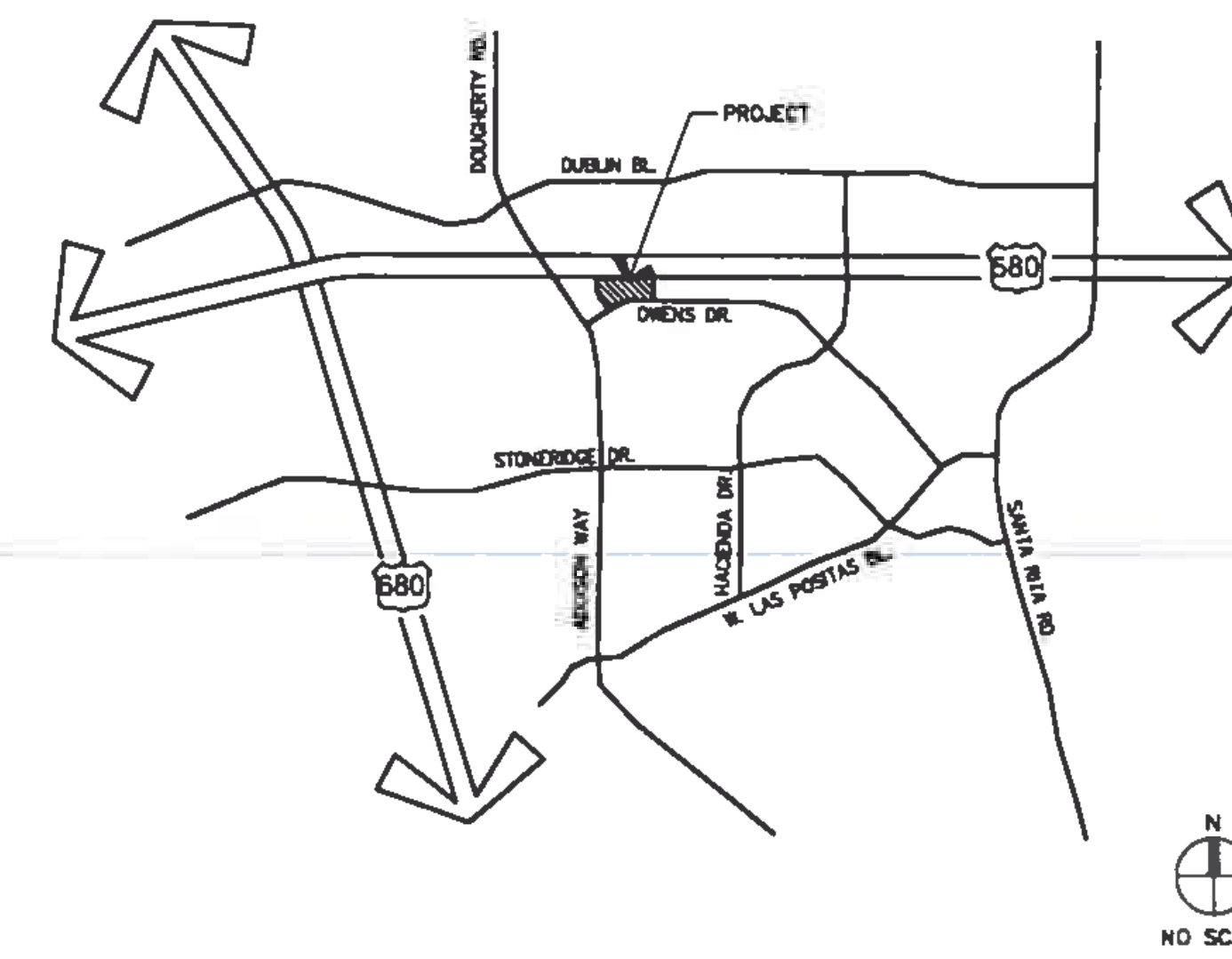


EXHIBIT B
PUD-85-08-02D-03M
Received November 15, 2011

TITLE SHEET	
REVISIONS	DATE
1	11/17/11
2	11/17/11
3	11/17/11
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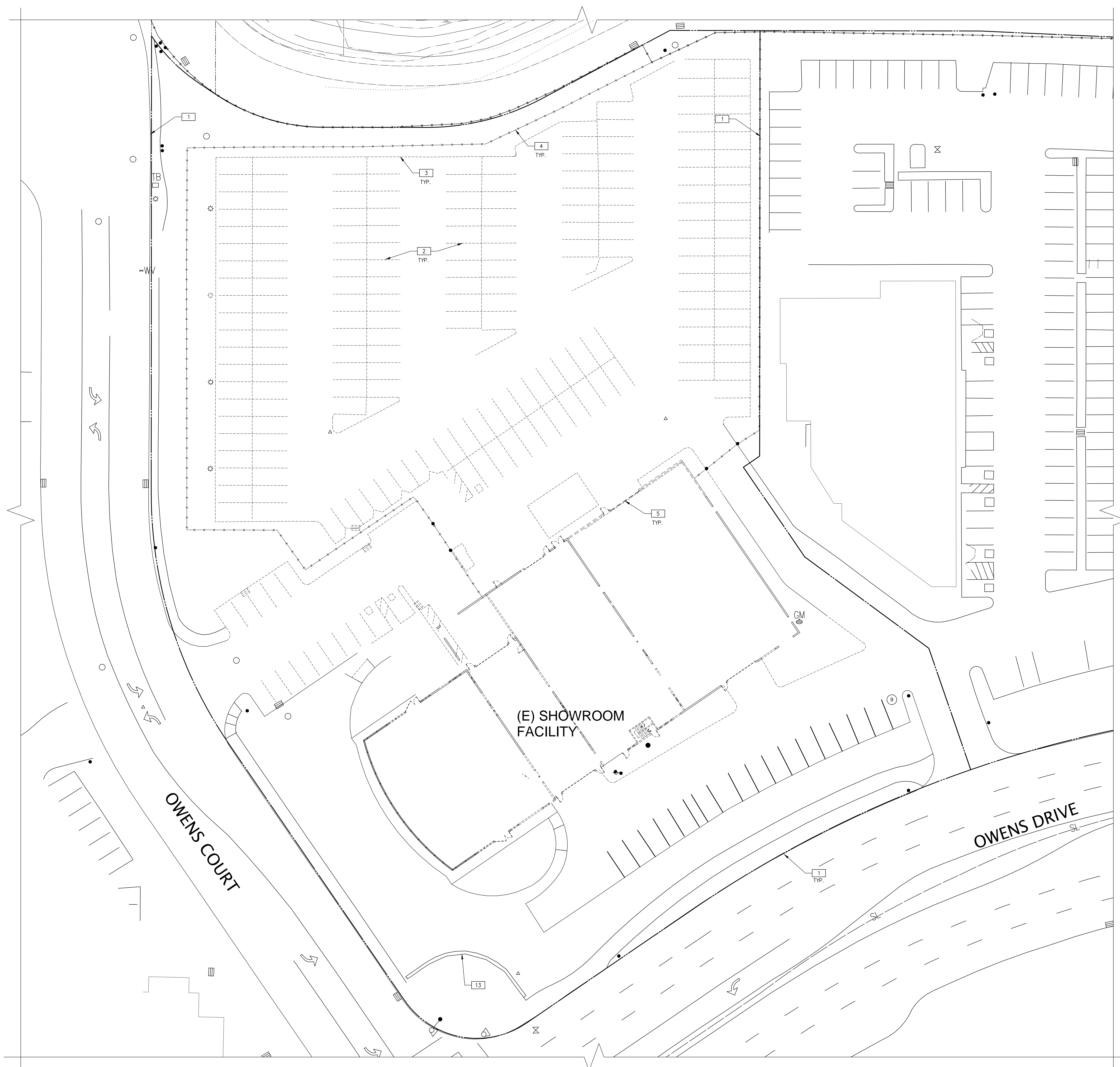
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SHEET
A0.1

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SITE PLAN NOTES
SEE SHEET A0.2 FOR GENERAL NOTES

- 1 PROPERTY LINE, SEE CIVIL DRAWINGS (- - - - -)
- 2 REMOVE EXISTING PARKING SPACES.
- 3 REMOVE EXISTING CURB.
- 4 REMOVE EXISTING FENCE.
- 5 REMOVE EXISTING BUILDING STRUCTURE.

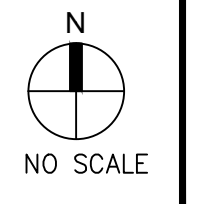
PROJECT DATA - EXISTING

SITE AREA	3.17 AC (138,085.77 sf)
EXISTING SHOWROOM FACILITY FLOOR AREA:	
FIRST FLOOR BUILDING AREA	20,979 sf
SECOND FLOOR BUILDING AREA	7,961 sf
TOTAL BUILDING AREA	28,940 sf

SITE LEGEND

- PROPERTY LINE, SEE CIVIL DRAWINGS.
- PARKING LIGHTING SINGLE HEAD - 18'-0" HIGH.
- WALL MOUNTED LIGHTING - 27'-0" HIGH.
- CONCRETE TRANSFORMER PAD, SEE ELECTRICAL DRAWINGS.
- 40'-0" WIDE FIRE TRUNING RADIUS. (HATCHED)
- STANDARD PARKING STALL (9'-6" x 19'-0")
- GRADE LEVEL ROLL UP DOOR
- FIRE HYDRANT.

EXISTING SITE PLAN
SCALE: 1"=20'-0"



WARE, MALCOLM
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architecture
planning
graphics
civil engineering
5000 executive plaza, ste. 208
san rafael, california 94903
phone: 415.499.8800
fax: 415.499.8821

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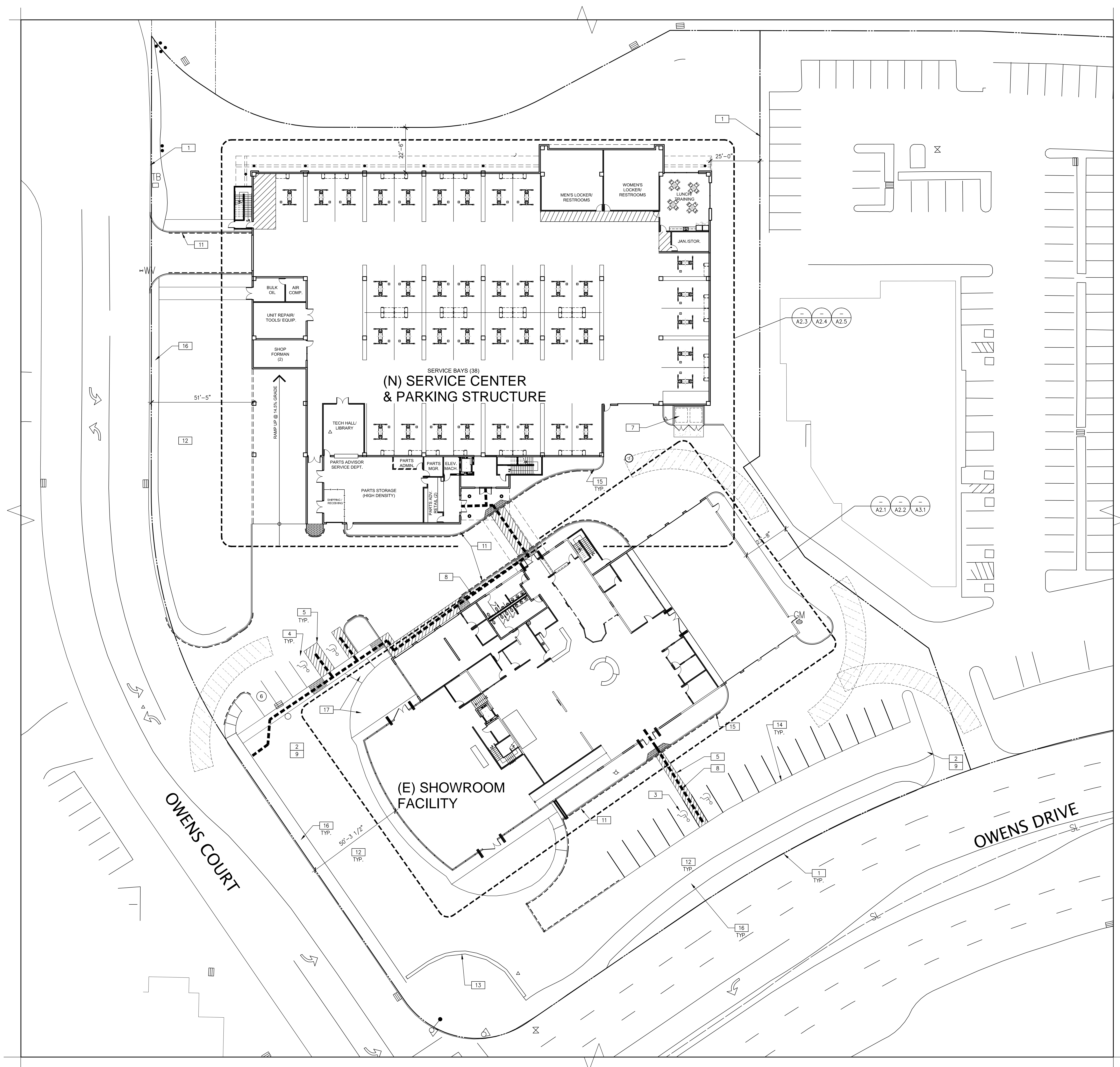
EXISTING SITE PLAN		DATE	REMARKS
DATE	REMARKS	DATE	REMARKS
11/27/11	RE-PLANNING SUBMITTAL		

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DRAWN BY:	YM
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- ### SITE PLAN NOTES
- SEE SHEET A0.2 FOR GENERAL NOTES
- 1 PROPERTY LINE, SEE CIVIL DRAWINGS (- - - - -)
 - 2 ACCESSIBLE ENTRY SIGNAGE, SEE (6 AB.1)
 - 3 ACCESSIBLE PARKING STALL WITH SIGNAGE, SEE (1 AB.1)
 - 4 VAN ACCESSIBLE PARKING STALL WITH SIGNAGE
 - 5 PAINTED PARKING STRIPING PER CITY STANDARDS.
 - 6 NOT IN USE.
 - 7 TRASH ENCLOSURE PER THE CITY OF PLEASANTON STANDARD, SEE DETAIL 11/A8.1.
 - 8 ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE, SEE CIVIL DRAWINGS (- - - - -)
 - 9 FIRELANE ENTRY SIGNAGE, SEE (7 AB.1)
 - 10 FIRELANE SIGNAGE, SEE (8 AB.1)
 - 11 FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED, SEE (25 AB.1)
 - 12 LANDSCAPE AND IRRIGATION AREA, SEE LANDSCAPE DRAWINGS.
 - 13 EXISTING "BUSINESS PARK" POURED IN PLACE CONCRETE MONUMENT SIGN WITH GROUND MOUNTED ILLUMINATION.
 - 14 EXISTING CONCRETE CURB.
 - 15 NEW PROPOSED CONCRETE CURB.
 - 16 EXISTING CONCRETE SIDEWALK.
 - 17 EXISTING CONCRETE PLATFORM AND STAIRS.

PROJECT DATA - PROPOSED

SITE AREA	3.17 AC (138,085.77 sf)	
SHOWROOM FACILITY FLOOR AREA:		
FIRST FLOOR BUILDING AREA	21,131 sf	F.A.R.
SECOND FLOOR BUILDING AREA	9,744 sf	
TOTAL BUILDING AREA	30,875 sf	22%
SERVICE CENTER/PARKING STRUCTURE FLOOR AREA:		
FIRST FLOOR BUILDING AREA	37,766 sf	27.34%
- PART STORAGE	3,570 sf	
SECOND FLOOR BUILDING AREA	32,709 sf	1.92%
- SHOWROOM	2,664 sf	
THIRD FLOOR BUILDING AREA	33,493 sf	
FOURTH FLOOR BUILDING AREA	33,493 sf	
FIFTH FLOOR BUILDING AREA	32,604 sf	
TOTAL BUILDING AREA	170,065 sf	
BUILDING INTRUSION INTO SETBACK CALCULATION ALONG 580 HIGHWAY		
BUILDING AREA INTRUDED INTO 40' SETBACK	6,862 sf	
LANDSCAPE AREA IN 40' SETBACK	11,372 sf	
PROPOSED PARKING SPACES		
GROUND FLOOR	60 STALLS	
ADA STALLS: 4 STALLS		
SERVICE BAY: 38 BAYS		
2ND FLOOR	72 STALLS	
DISPLAY: 8 SPACES		
3RD FLOOR	82 STALLS	
4TH FLOOR	82 STALLS	
5TH FLOOR	92 STALLS	
TOTAL	388 STALLS	

- ### SITE LEGEND
- (- - - - -) PROPERTY LINE, SEE CIVIL DRAWINGS.
 - (□) PARKING LIGHTING SINGLE HEAD - 18'-0" HIGH.
 - (○) WALL MOUNTED LIGHTING - 27'-0" HIGH.
 - (T) CONCRETE TRANSFORMER PAD, SEE ELECTRICAL DRAWINGS.
 - (/ / /) 40'-0" WIDE FIRE TRUNING RADIUS. (HATCHED)
 - (1) STANDARD PARKING STALL (9'-6" x 19'-0")
 - (○) GRADE LEVEL ROLL UP DOOR
 - (●) FIRE HYDRANT.

SITE PLAN
SCALE: 1"=20'-0"

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architecture
planning
interior design
graphics
civil engineering
5000 executive plaza, ste. 208
san ramon, california 94583
phone: 925.244.9621
fax: 925.244.9621

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DATE		REVISIONS	DATE	REMARKS
11/17/11	11/17/11	RE-PLANNING INITIAL		
		REVISION SUBMITTAL		

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JOB NO.: SNR11-0001

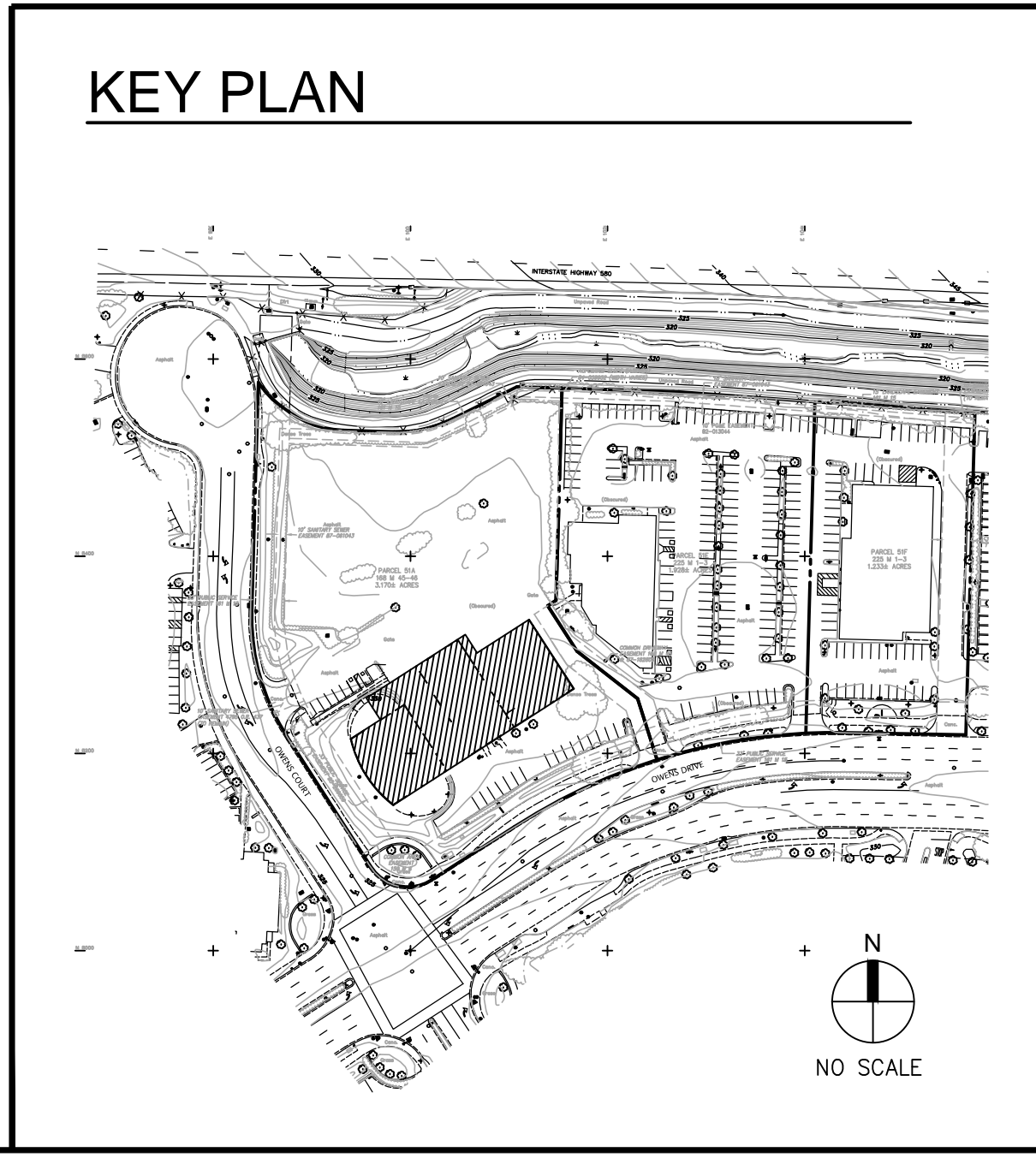
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EXISTING FIRST FLOOR FACILITY PLAN
SCALE: 1/8"=1'-0"



PLAN SPECIFIC NOTES

- 1 REMOVE EXTERIOR WALL.
- 2 REMOVE INTERIOR WALL AND DOORS.
- 3 EXISTING WINDOW TO REMAIN.

LEGEND

- EXISTING WALL TO REMAIN.
- - - DEMO THE EXISTING.

EXISTING FIRST FLOOR FACILITY PLAN	
DATE	REMARKS
11/17/11	RE-PLANNING INITIAL
11/17/11	REVISION SUBMITTAL

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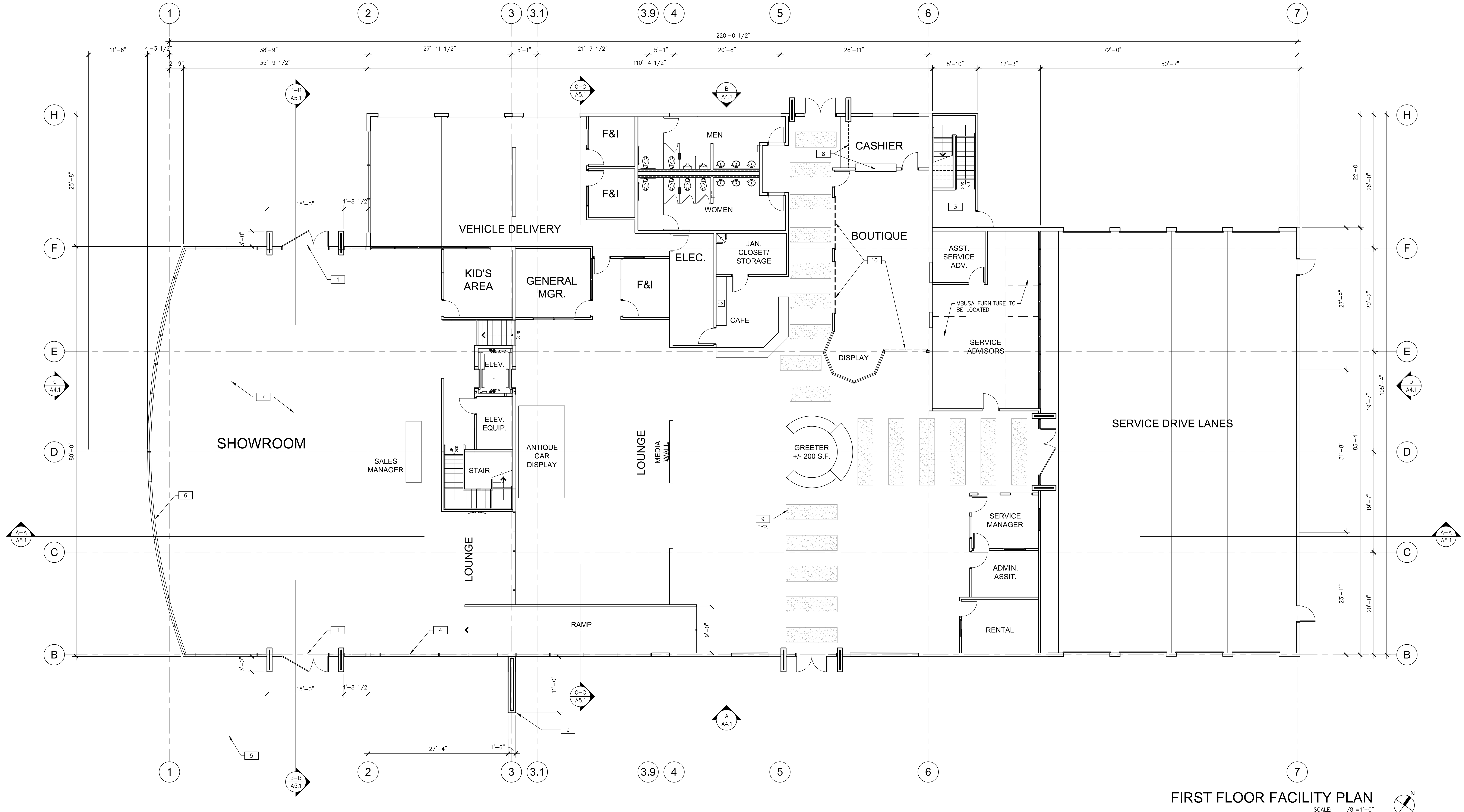
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san rafael, california 94903
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fax: 415.455.1021

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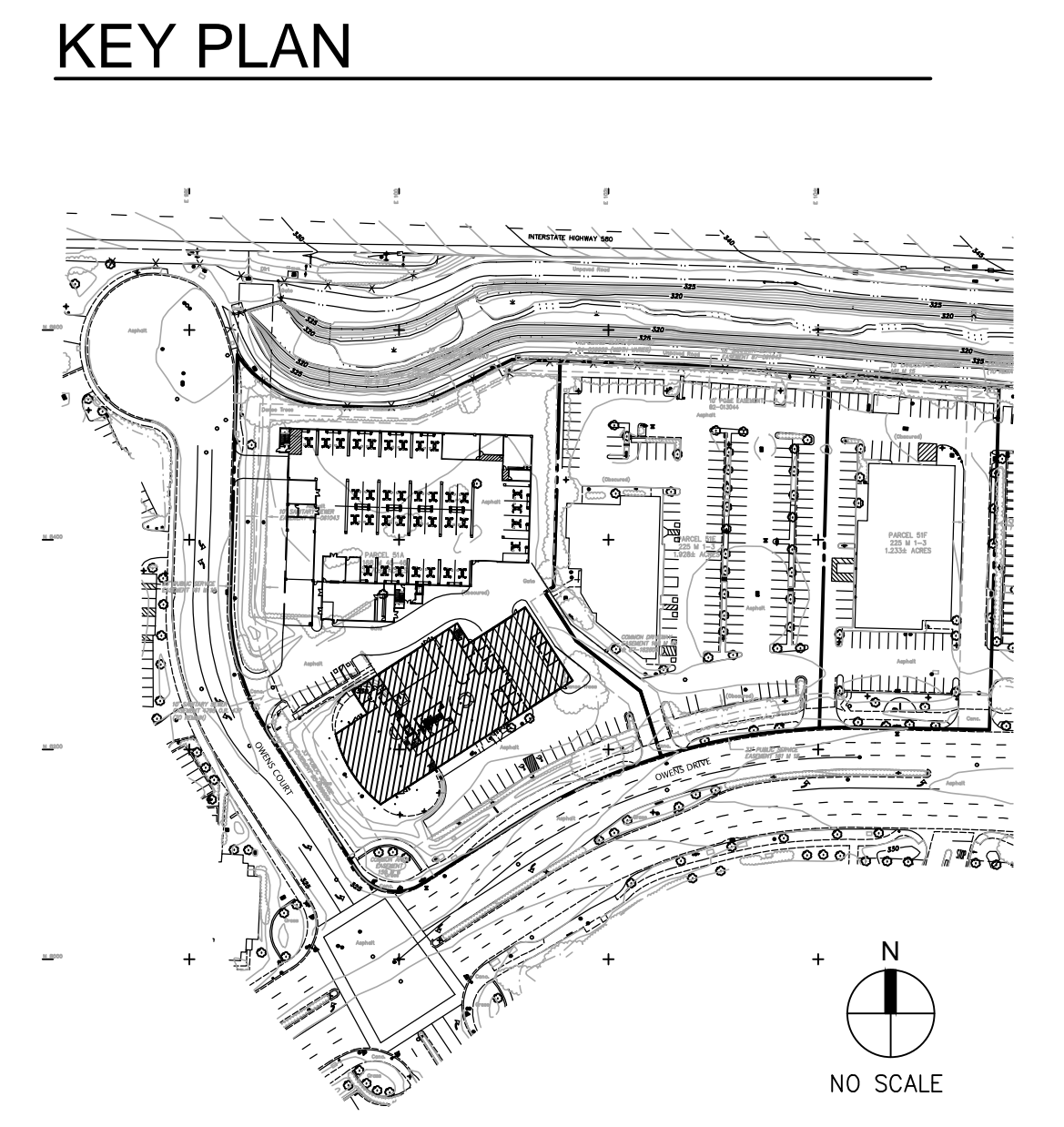
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FIRST FLOOR FACILITY PLAN
SCALE: 1/8"=1'-0"

MBUSA NOTE:

- FURNITURE TO BE ORDERED THROUGH THE MBUSA AUTOHAUS FURNITURE PROGRAM PER MBUSA STANDARD.
- INTERIOR FINISH PER MBUSA STANDARD:
 - BLUE: SALES OFFICE ACCENT WALL / RECEPTION DESK BACKDROP & WORKSHOP
 - YELLOW: VEHICLE DELIVERY AREA / FEATURE VEHICLE BACKDROP & WORKSHOP
 - APRICOT: CAFE, CUSTOMER LOUNGE, ACCESSORIES BOUTIQUE



- PLAN SPECIFIC NOTES**
- (N) ENTRY DOOR PORTAL.
 - (N) METAL PANEL CLAD ACCENT FIN WALL.
 - (N) STAIRWELL.
 - (N) STOREFRONT WINDOW SYSTEM TO MATCH (E).
 - LINE OF (N) ROOF OVERHANG.
 - (E) STOREFRONT WINDOW SYSTEM TO REMAIN.
 - EXPOSED OVERHEAD STEEL STRUCTURE WITH EXPOSED ROOF DECKING.
 - (N) ROLL-DOWN SHUTTER.
 - FLOOR ACCENT TILE PATTERN OF MBUSA BANDED PATHWAY.
 - ROLL-UP DOOR W/ GLAZING.

LEGEND

- EXISTING WALL TO REMAIN.
- (N) WALL OR INFILL TO MATCH (E).

FIRST FLOOR FACILITY PLAN			
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11/17/11	MBUSA SUBMITTAL		

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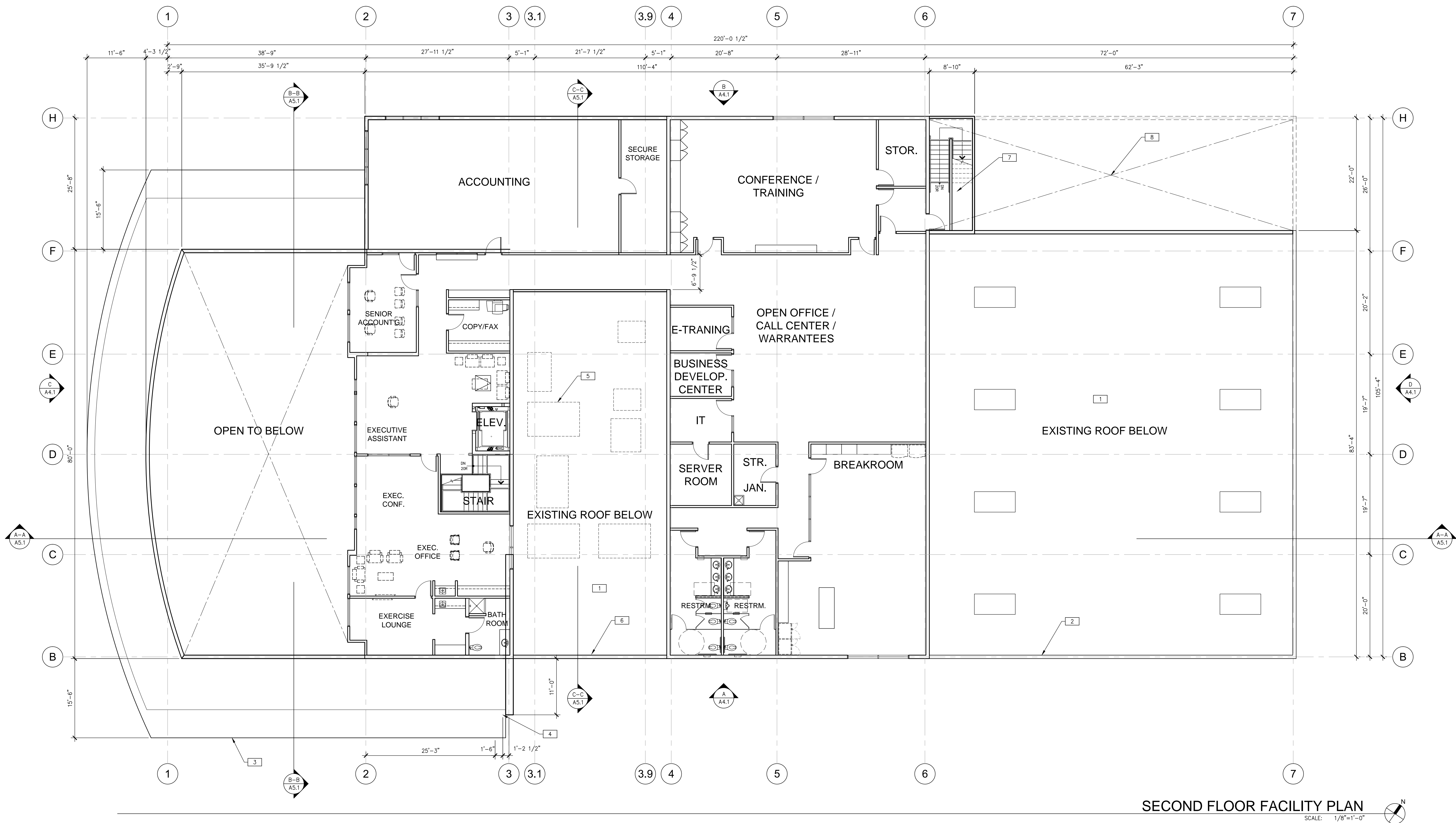
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5000 executive plaza, ste. 298
 san francisco, california 94583
 phone: 415.774.2200
 fax: 415.774.9621

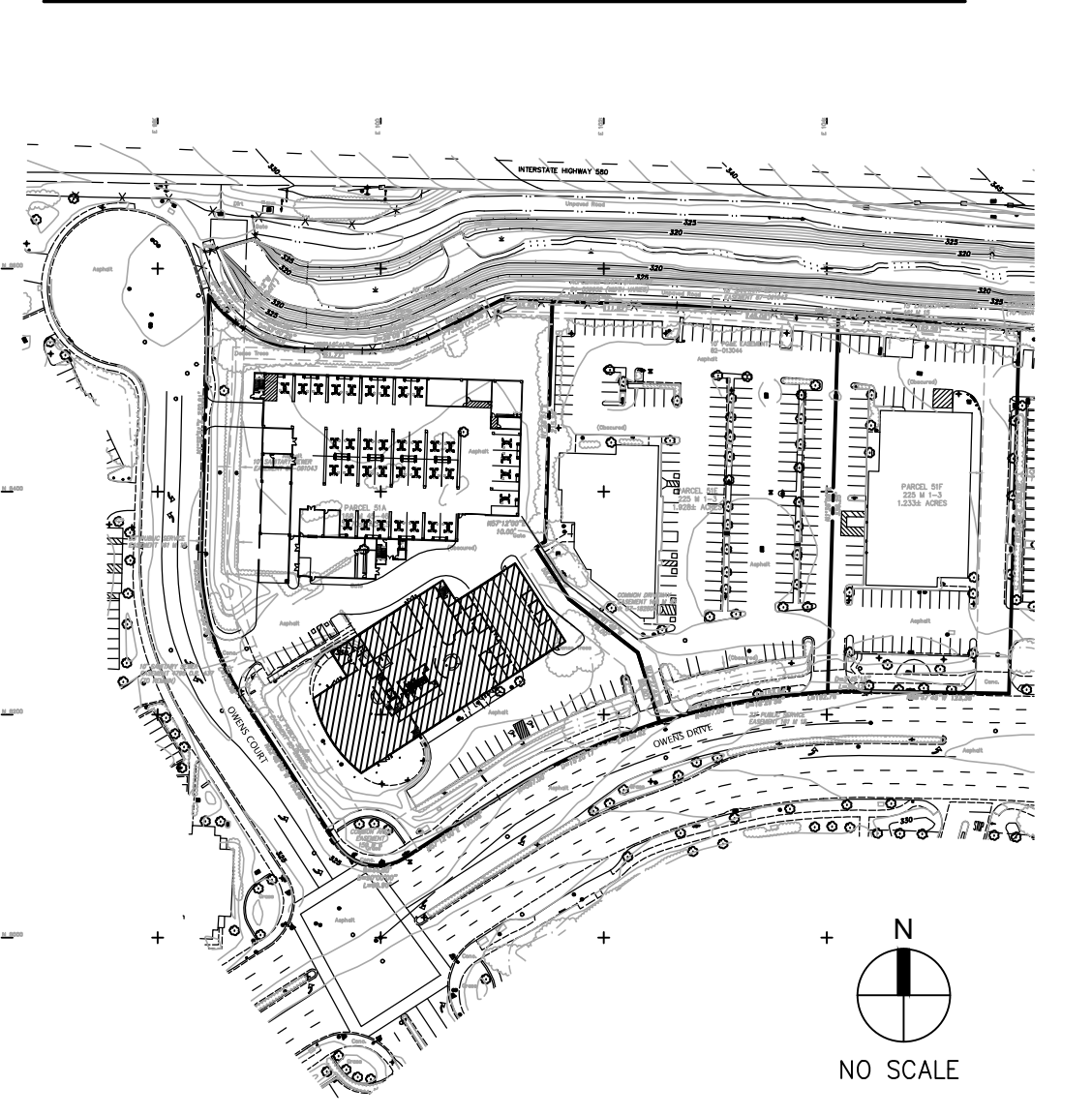
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SECOND FLOOR FACILITY PLAN
SCALE: 1/8"=1'-0"

KEY PLAN



PLAN SPECIFIC NOTES

- 1 EXISTING BUILT-UP ROOFING.
- 2 EXISTING PARAPET.
- 3 LINE OF (N) ROOF OVERHANG.
- 4 NEW METAL CLAD ACCENT FIN WALL.
- 5 EXISTING ROOF EQUIPMENT.
- 6 EXISTING ROOF EQUIPMENT SCREEN.
- 7 (N) STAIRWELL.
- 8 PORTION OF EXISTING BUILDING TO BE DEMOLISHED.

LEGEND

- EXISTING WALL TO REMAIN.
- (N) WALL OR INFILL TO MATCH (E).

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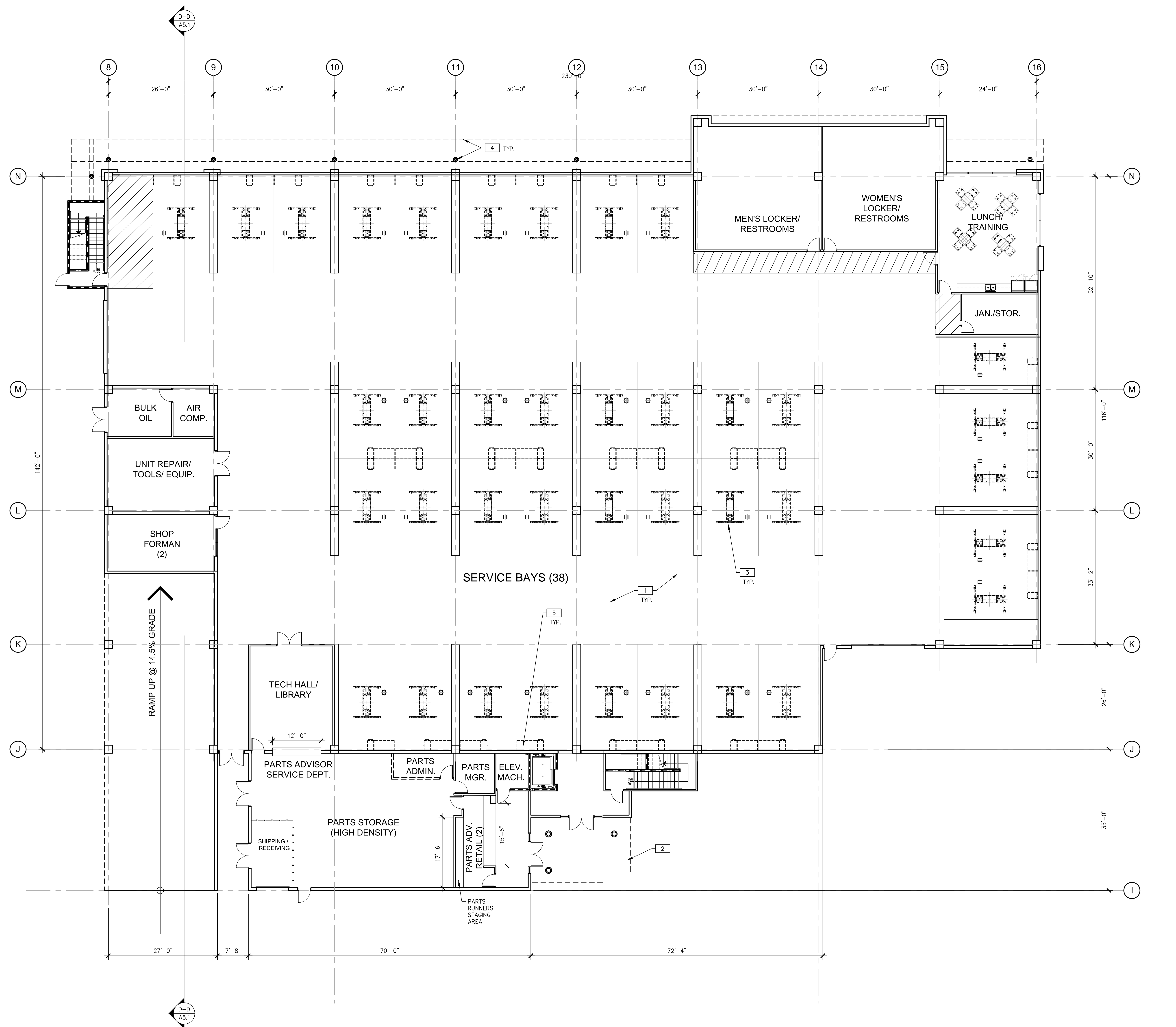
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SECOND FLOOR FACILITY PLAN		REMARKS
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11/17/11	REVISION SUBMITTAL	

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DRAWN BY: YM
JOB NO.: SNR11-0001

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SERVICE CENTER/PARKING STRUCTURE FIRST FLOOR PLAN
SCALE: 3/32"=1'-0"

PLAN SPECIFIC NOTES

- 1 (N) PRE-CAST CONCRETE STRUCTURE
- 2 (N) CANOPY, CONNECTED TO THE MAIN BUILDING, SEE SITE PLAN.
- 3 (N) SERVICE LIFT
- 4 (N) ACCENT COLUMN AND CANOPY.
- 5 BUILT-IN WORKBENCHES/ TOOL STORAGE SYSTEMS FINISHED IN RAL 5003 BLUE PER MBUSA STANDARD.

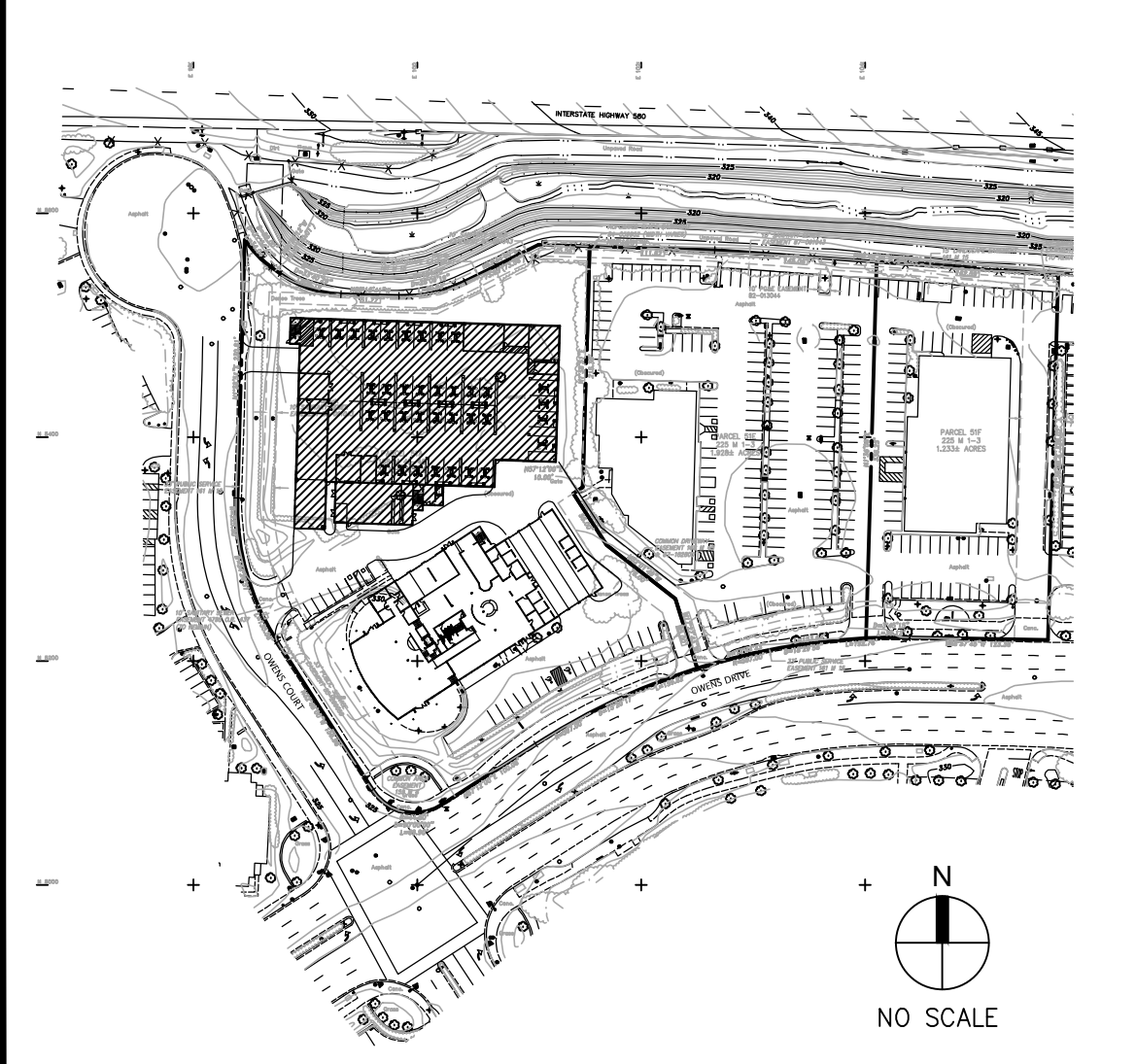
MBUSA NOTE:

- 1. FURNITURE TO BE ORDERED THROUGH THE MBUSA AUTOHAUS FURNITURE PROGRAM PER MBUSA STANDARD.
- 2. INTERIOR FINISH FOR THE SERVICE WORKSHOP PER MBUSA STANDARD:
 - GREY: SERVICE WORKSHOP WAINSCOT - FROM FINISHED FLOOR TO 5'-4"
 - BLUE: SERVICE WORKSHOP ACCENT STRIPE - 8" WIDE STRIPE ABOVE THE COLOR GRAY
 - WHITE: SERVICE WORKSHOP INTERIOR WALLS - ABOVE THE COLOR BLUE + ON CEILING

LEGEND

- (N) CONCRETE WALL
- (N) INTERIOR WALL

KEY PLAN



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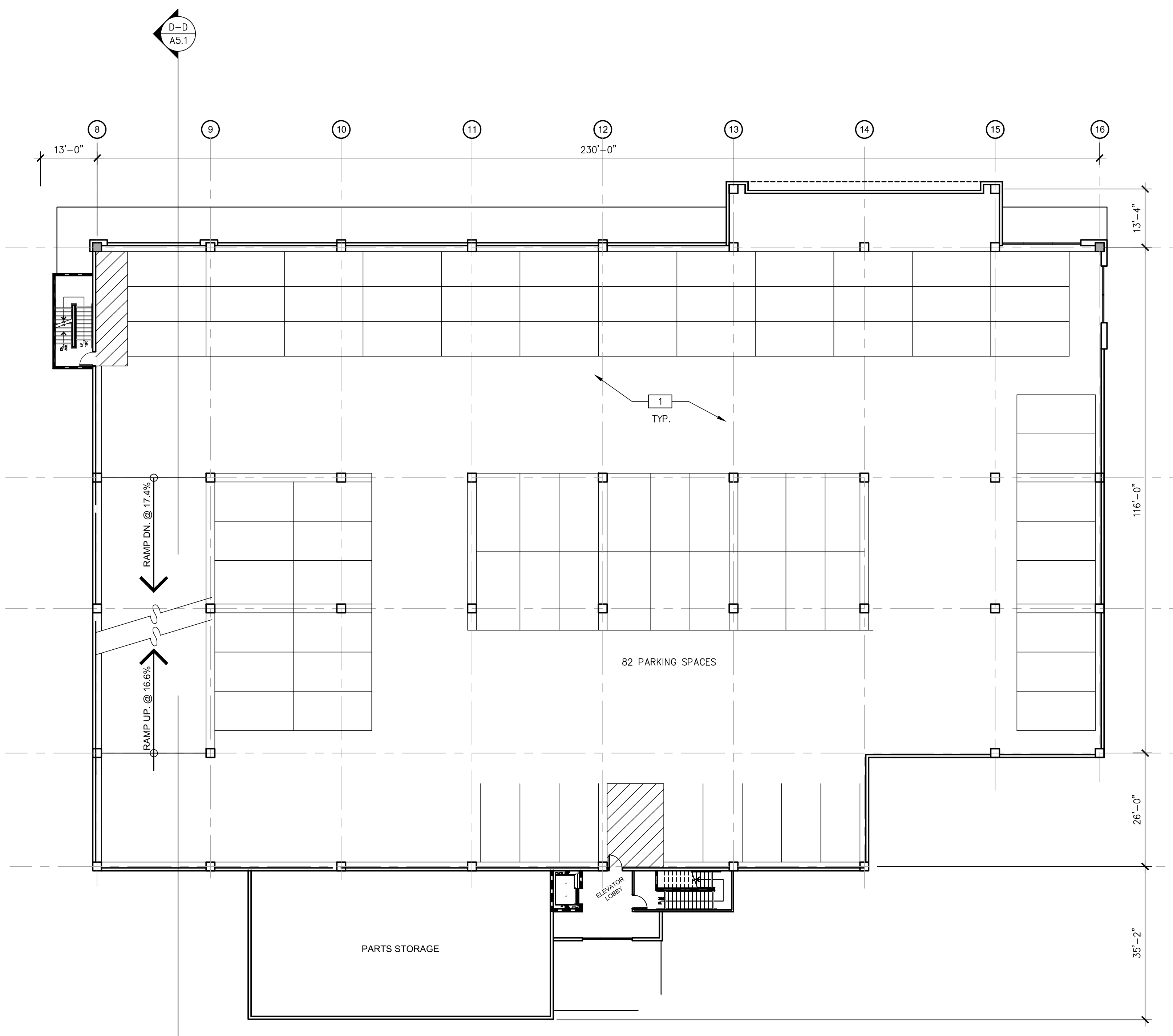
SERVICE CENTER/PARKING STRUCTURE FIRST FLOOR PLAN	
DATE	REMARKS
11/17/11	RE-PLANNING INITIAL
11/17/11	MBUSA SUBMITTAL

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DRAWN BY: YM
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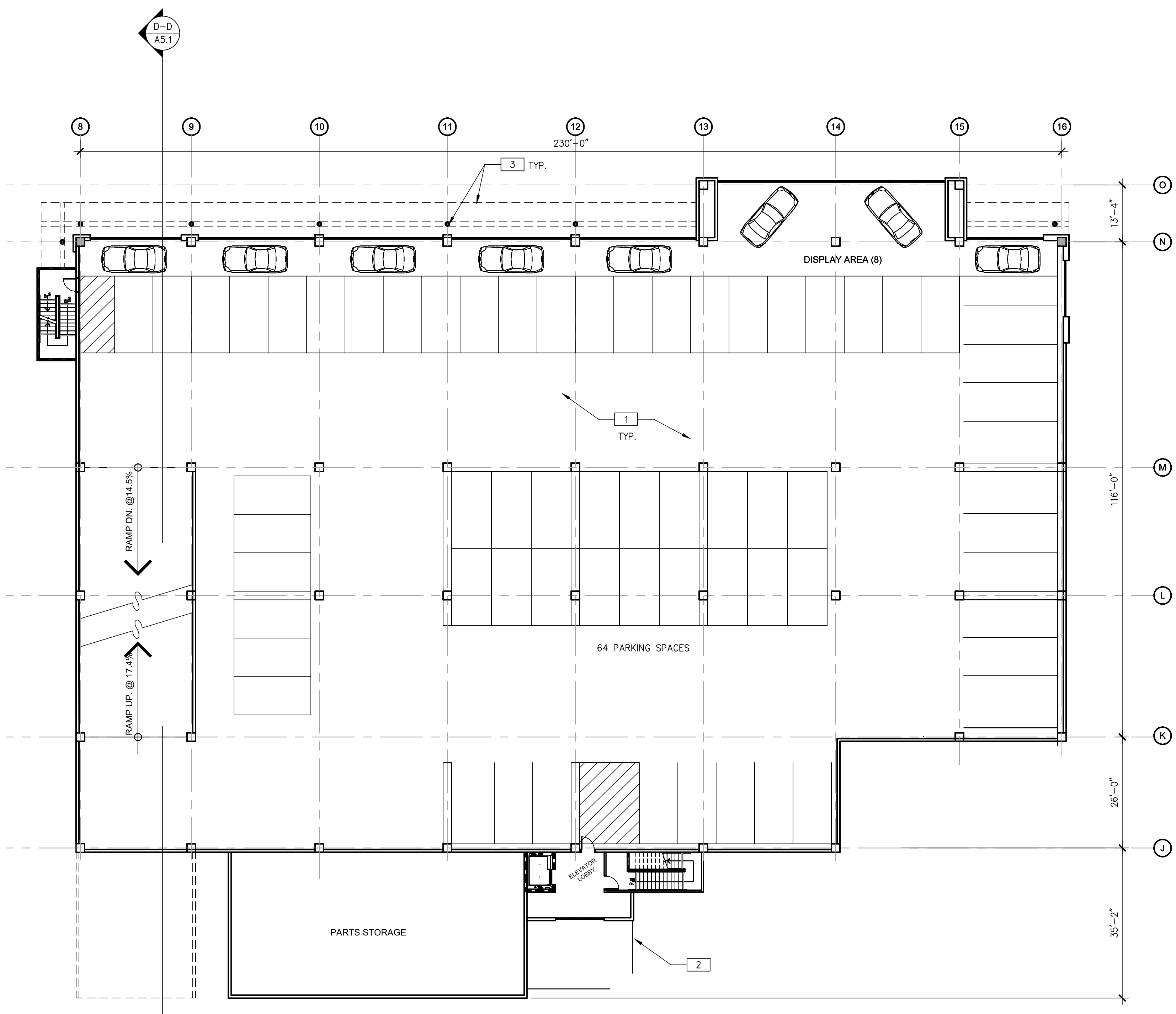
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SERVICE CENTER/PARKING STRUCTURE THIRD FLOOR PLAN
SCALE: 1/16"=1'-0"



SERVICE CENTER/PARKING STRUCTURE SECOND FLOOR PLAN
SCALE: 1/16"=1'-0"

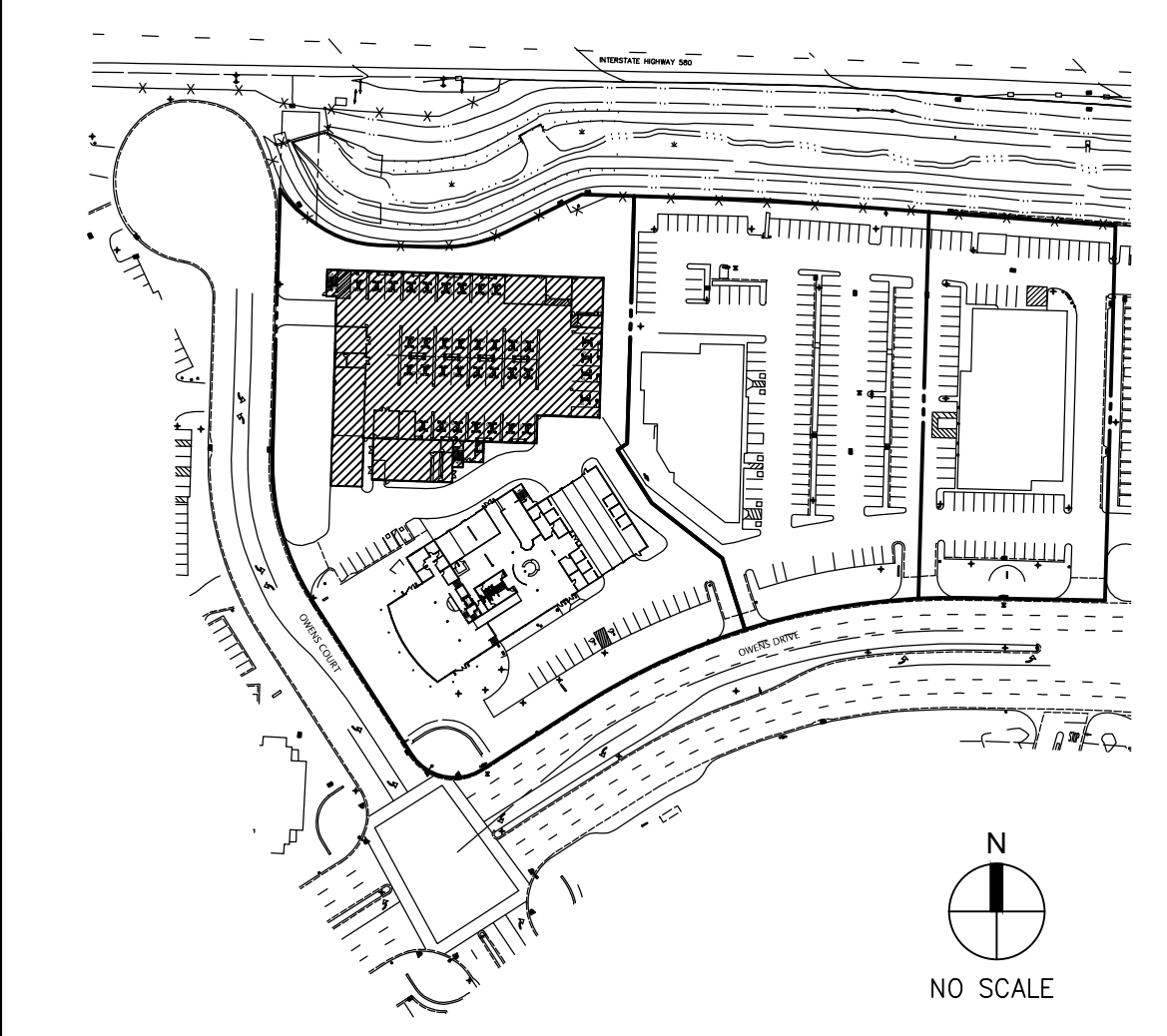
PLAN SPECIFIC NOTES

- 1 (N) PRE-CAST CONCRETE STRUCTURE
- 2 (N) CANOPY, CONNECTED TO THE MAIN BUILDING, SEE SITE PLAN.
- 3 (N) ACCENT COLUMN AND CANOPY.

LEGEND

- ==== (N) CONCRETE WALL
- ==== (N) INTERIOR WALL

KEY PLAN



SERVICE CENTER/PARKING STRUCTURE 2nd & 3rd FLOOR PLAN

DATE	REVISIONS	DATE	REMARKS
11/17/11	PRE-PLANNING INITIAL		
11/17/11	REVISION SUBMITTAL		

PA / PM:	J.TERRY/D.CLARK
DRAWN BY:	YM
JOB NO.:	SNR11-0001

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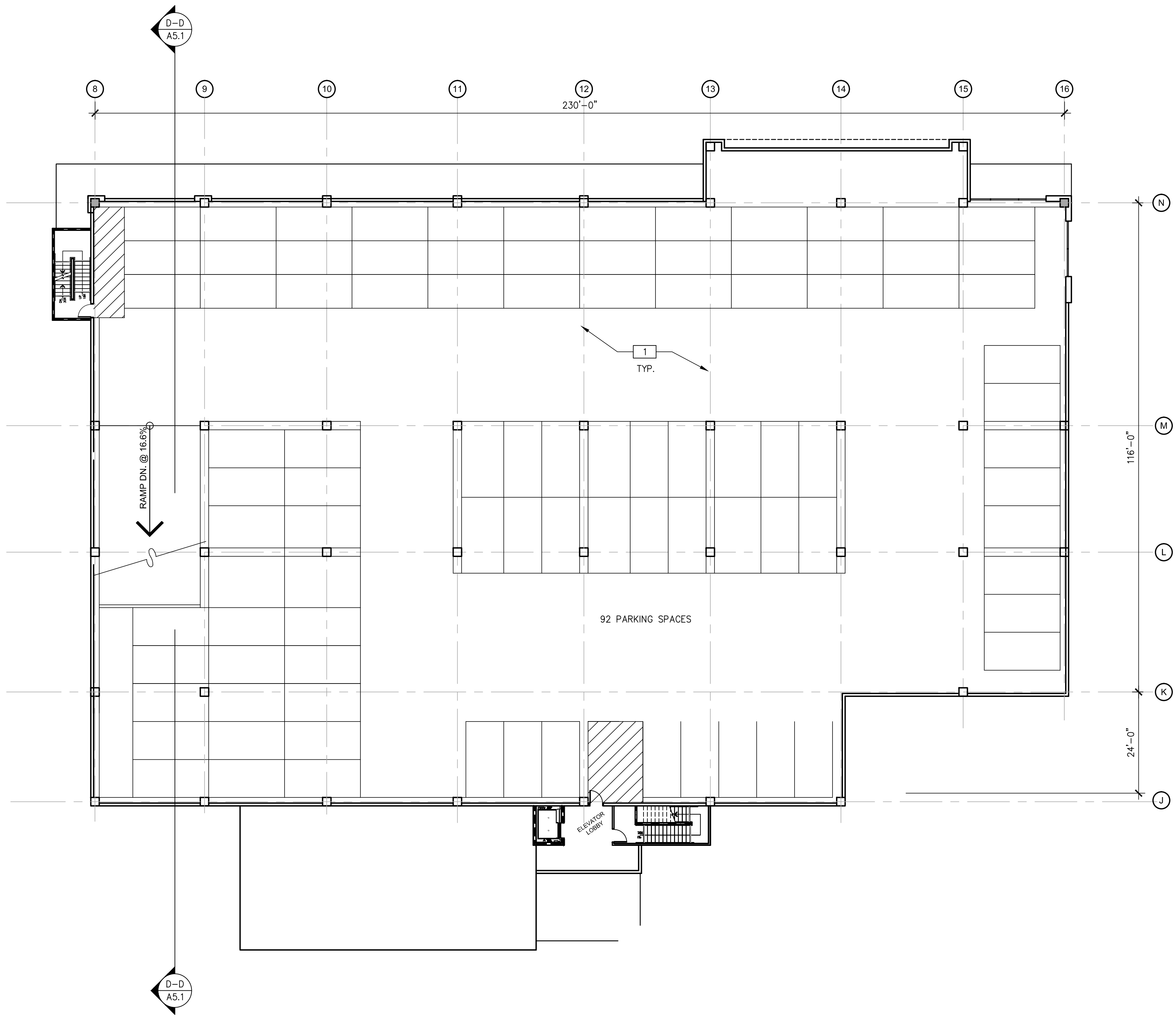
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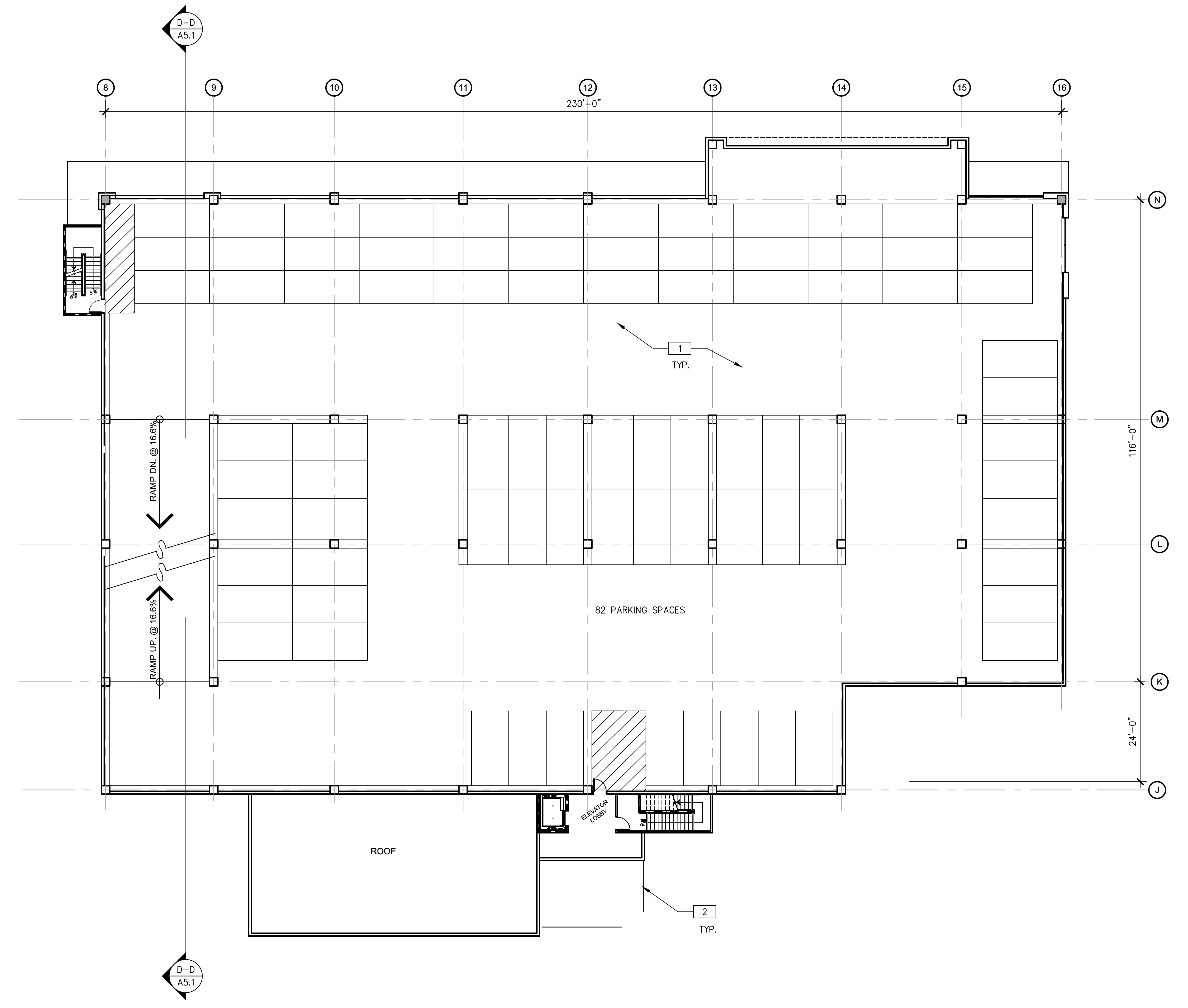
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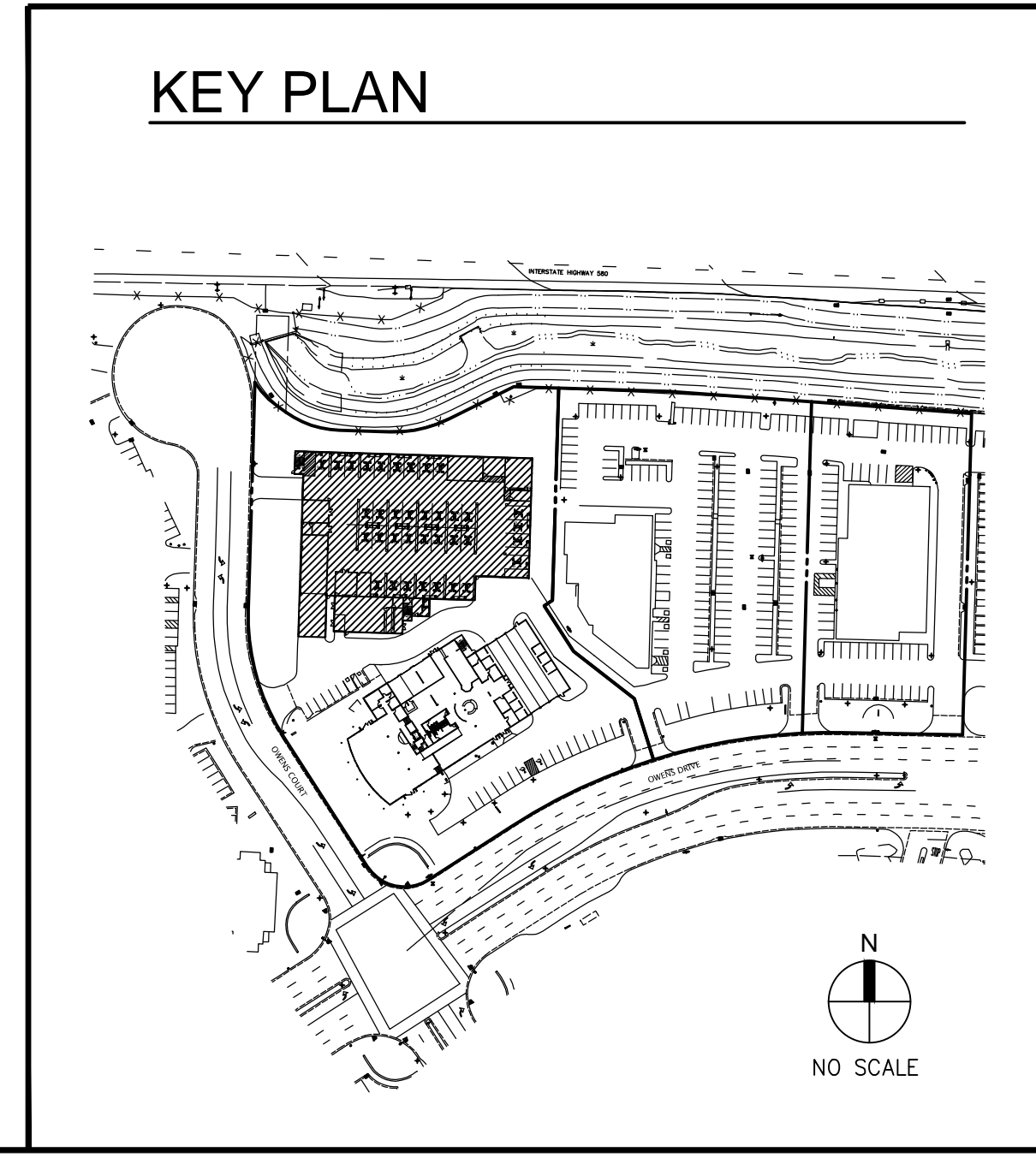
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SERVICE CENTER/PARKING STRUCTURE FIFTH FLOOR PLAN
SCALE: 1/16"=1'-0"



SERVICE CENTER/PARKING STRUCTURE FOURTH FLOOR PLAN
SCALE: 1/16"=1'-0"



PLAN SPECIFIC NOTES

- 1 (N) PRE-CAST CONCRETE STRUCTURE
- 2 (N) CANOPY, CONNECTED TO THE MAIN BUILDING, SEE SITE PLAN.
- 3 (N) ACCENT COLUMN AND CANOPY.

LEGEND

- (N) CONCRETE WALL
- (N) INTERIOR WALL

SERVICE CENTER/PARKING STRUCTURE 4th & 5th FLOOR PLAN	
DATE	REMARKS
11/17/11	RE-PLANNING SUBMITTAL
11/17/11	REUSA SUBMITTAL

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DRAWN BY:	YM
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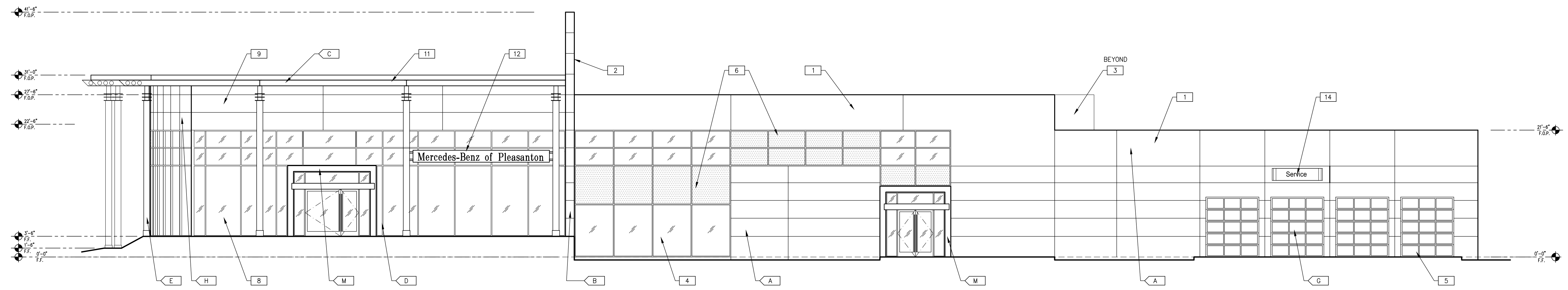
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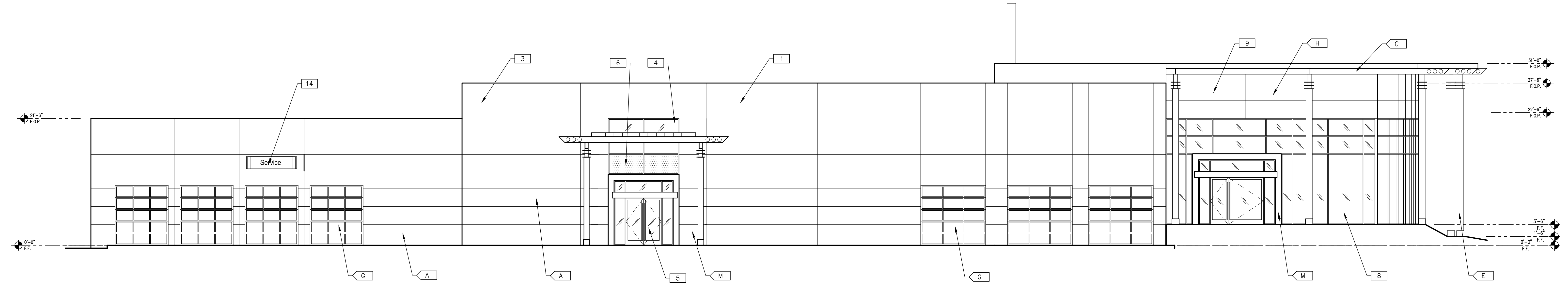
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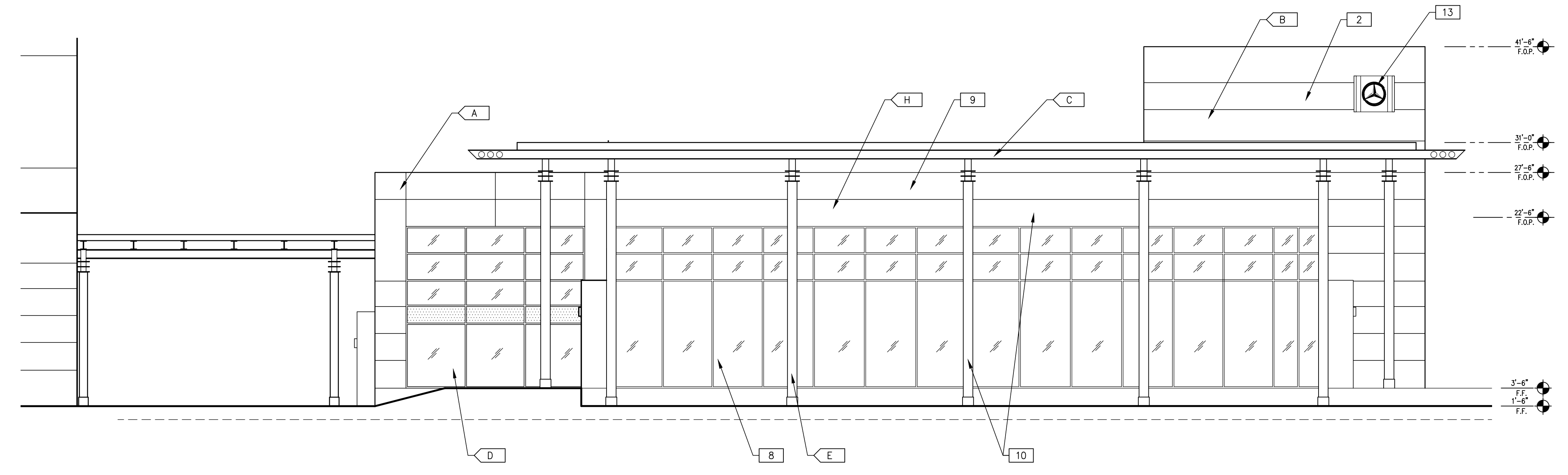
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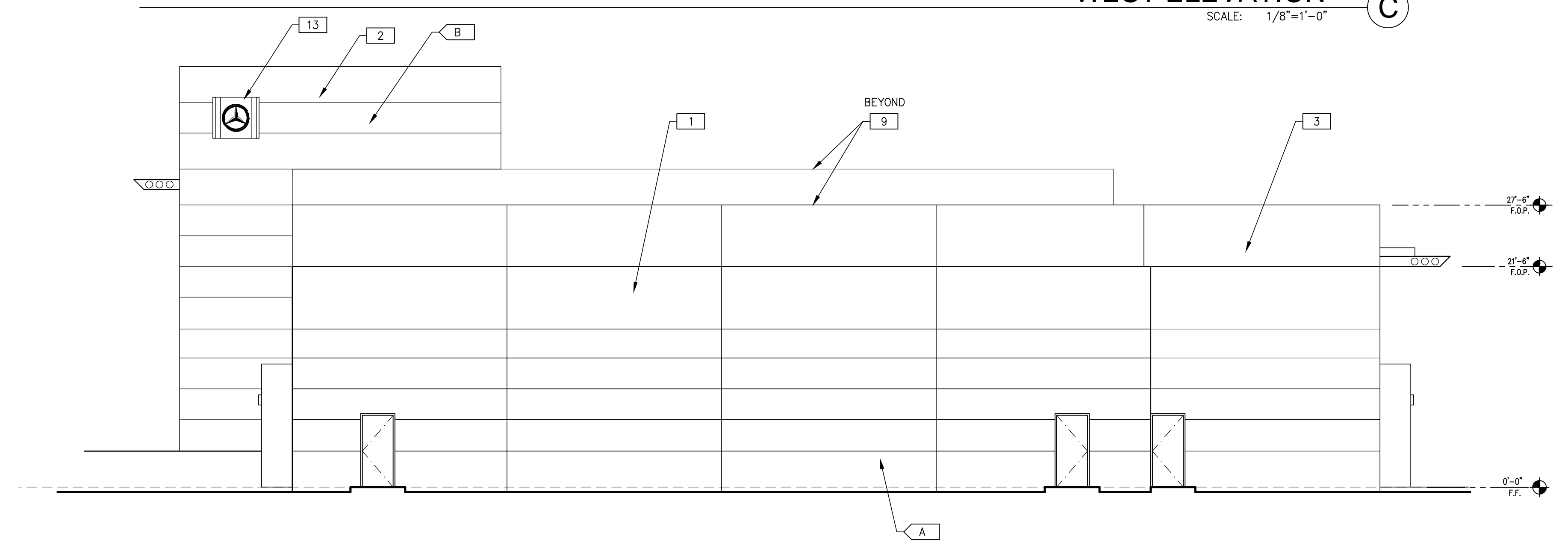
SOUTH ELEVATION
SCALE: 1/8"=1'-0" (A)



NORTH ELEVATION
SCALE: 1/8"=1'-0" (B)



WEST ELEVATION
SCALE: 1/8"=1'-0" (C)



EAST ELEVATION
SCALE: 1/8"=1'-0" (D)

ELEVATION SPECIFIC NOTES

- 1 EXISTING CONC. TILT-UP PANEL.
- 2 (N) METAL PANEL CLAD ACCENT FIN WALL.
- 3 (N) STAIRWELL.
- 4 (N) STOREFRONT WINDOW SYSTEM TO MATCH (E).
- 5 (N) STOREFRONT DOOR SYSTEM TO MATCH (E).
- 6 (N) STOREFRONT SPANDREL GLAZING TO MATCH (E).
- 7 NOT IN USE.
- 8 EXISTING STOREFRONT GLAZING TO REMAIN. PROTECT IN PLACE.
- 9 EXISTING WALL FRAMING TO REMAIN.
- 10 (N) METAL CLAD CANOPY & ALUM. CLAD STRUC. COLUMNS
- 11 (N) SIGNAGE BY OTHERS. UNDER SEPARATE PERMIT.
- 12 NEW 2'-1/4" HIGH, INTERNALLY ILLUMINATED MERCEDES-BENZ STANDARD NAME PANEL ATTACHED TO COLUMNS WITH HORIZONTAL TUBES. SIGN PANEL WIDTH TO BE CONFIRMED WITH MERCEDES-BENZ STANDARD FONT LAYOUT. FINAL NAME PANEL SIGN NOT TO EXCEED 5'-0" HIGH X 40'-0" WIDE, PER HACIENDA BUSINESS PARK GUIDELINES.
- 13 NEW INTERNALLY ILLUMINATED MERCEDES-BENZ STANDARD WALL MOUNTED STAR MODULE. SIZE 4'-0" HIGH X 4'-5" WIDE. SIGN TYPE NOT TO EXCEED 5'-0" IN HEIGHT, PER HACIENDA BUSINESS PARK GUIDELINES.
- 14 NEW INTERNALLY ILLUMINATED MERCEDES-BENZ STANDARD WALL MOUNTED INFORMATIONAL SIGN. SIZE 2' 5/8" HIGH X 8'-6 3/16" WIDE.

COLOR/MATERIAL LEGEND

- (A) WHITE-STUCCO FINISH OVER EXISTING/NEW SUBSTRATE
- (B) BLUE COMPOSITE METAL PANEL
- (C) EXPOSED METAL CANOPY PER MB STANDARD
- (D) CURTAIN WALL SYSTEM WITH CLEAR GLAZING
- (E) ALUMINUM CLAD COLUMNS PER MB STANDARD
- (F) SIGNAGE PER MB STANDARD
- (G) ROLL - UP DOOR W/ GLAZING
- (H) SILVER COMPOSITE METAL PANEL
- (J) PAINTED WHITE PRECAST CONCRETE PARKING STRUCTURE
- (K) CANTILEVERED DECK DISPLAY AREA
- (L) SILVER COMPOSITE METAL PANEL EYEBROW
- (M) MAIN ENTRY PORTAL PER MB STANDARD, E.I.F.S. BY STO "310 FINE SAND FINISH" & "158 LIMESTONE"

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SHOWROOM FACILITY EXTERIOR ELEVATIONS		REMARKS	DATE	REVISIONS
DATE	11/17/11	RE-PLANING INITIAL		
DATE	11/17/11	REVISION SUBMITAL		

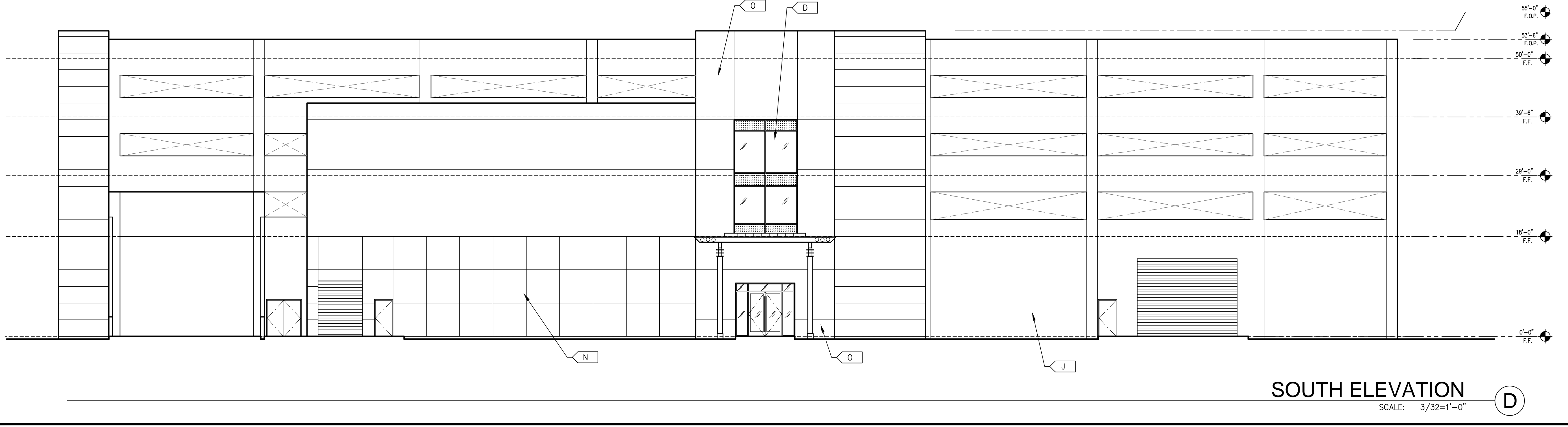
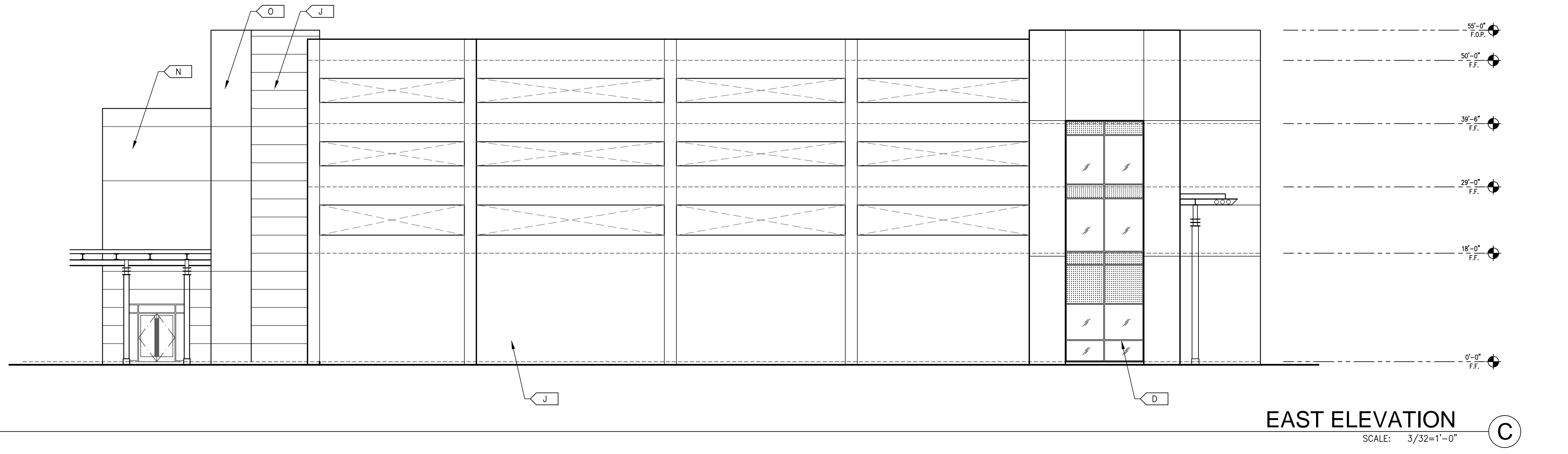
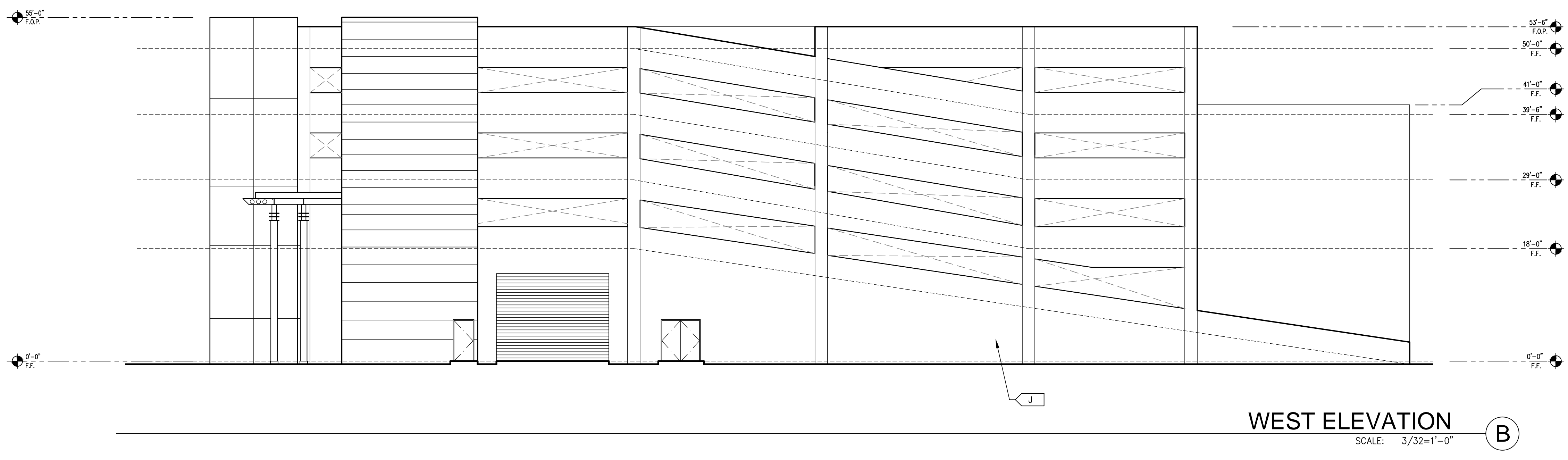
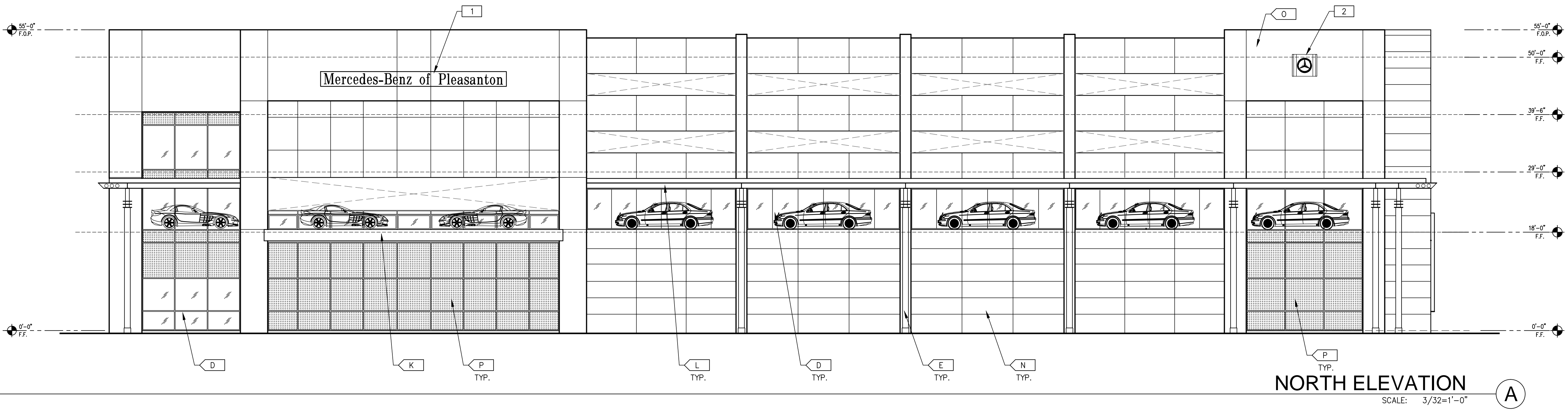
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PLAN SPECIFIC NOTES

- 1 NEW 2'-1/4" HIGH, INTERNALLY ILLUMINATED MERCEDES-BENZ STANDARD NAME PANEL MOUNTED TO BUILDING FACE. SIGN PANEL WIDTH TO BE CONFIRMED WITH MERCEDES-BENZ STANDARD FONT LAYOUT. FINAL NAME PANEL SIGN NOT TO EXCEED 5'-0" HIGH X 40'-0" WIDE, PER HACIENDA BUSINESS PARK GUIDELINES.
- 2 NEW INTERNALLY ILLUMINATED MERCEDES-BENZ STANDARD WALL MOUNTED STAR MODULE. SIZE 4'-0" HIGH X 4'-5" WIDE. SIGN TYPE NOT TO EXCEED 5'-0" IN HEIGHT, PER HACIENDA BUSINESS PARK GUIDELINES.



COLOR/MATERIAL LEGEND

- A WHITE-STUCCO FINISH OVER EXISTING/NEW SUBSTRATE
- B BLUE COMPOSITE METAL PANEL
- C EXPOSED METAL CANOPY PER MB STANDARD
- D CURTAIN WALL SYSTEM WITH CLEAR GLAZING
- E ALUMINUM CLAD COLUMNS PER MB STANDARD
- F SIGNAGE PER MB STANDARD
- G ROLL - UP DOOR W/ GLAZING
- H SILVER COMPOSITE METAL PANEL
- J PAINTED WHITE PRECAST CONCRETE PARKING STRUCTURE
- K CANTILEVERED DECK DISPLAY AREA
- L SILVER COMPOSITE METAL PANEL EYEBROW
- M MAIN ENTRY PORTAL PER MB STANDARD
- N PAINTED GREY PRECAST CONCRETE PARKING STRUCTURE GREY COLOR TO MATCH SILVER COMPOSITE METAL PANEL
- O PAINTED BLUE PRECAST CONCRETE PARKING STRUCTURE BLUE COLOR TO MATCH BLUE COMPOSITE METAL PANEL
- P CURTAIN WALL SYSTEM WITH SPANDREL GLAZING W/ CONCRETE BEHIND

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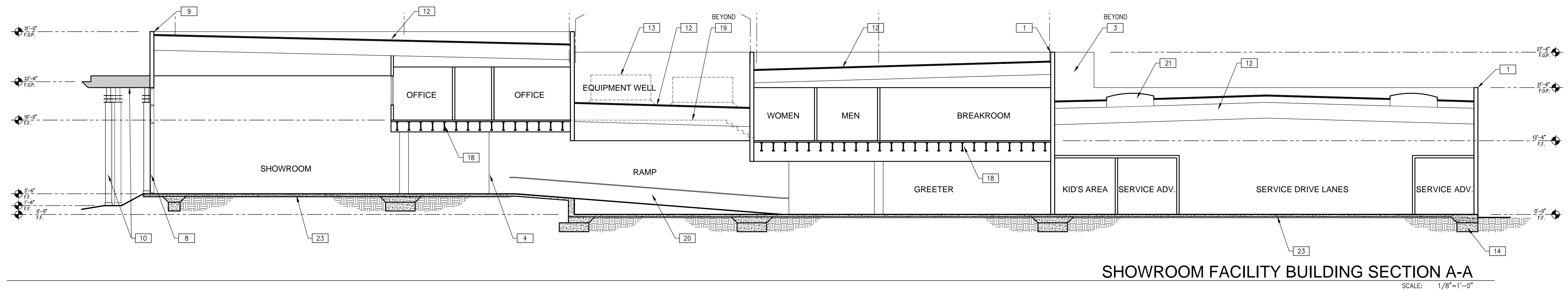
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SERVICE CENTER EXTERIOR ELEVATIONS		REMARKS
DATE	REVISION	DATE
11/17/11	RE-PLANING INITIAL	
11/17/11	REVISION SUBMITTAL	

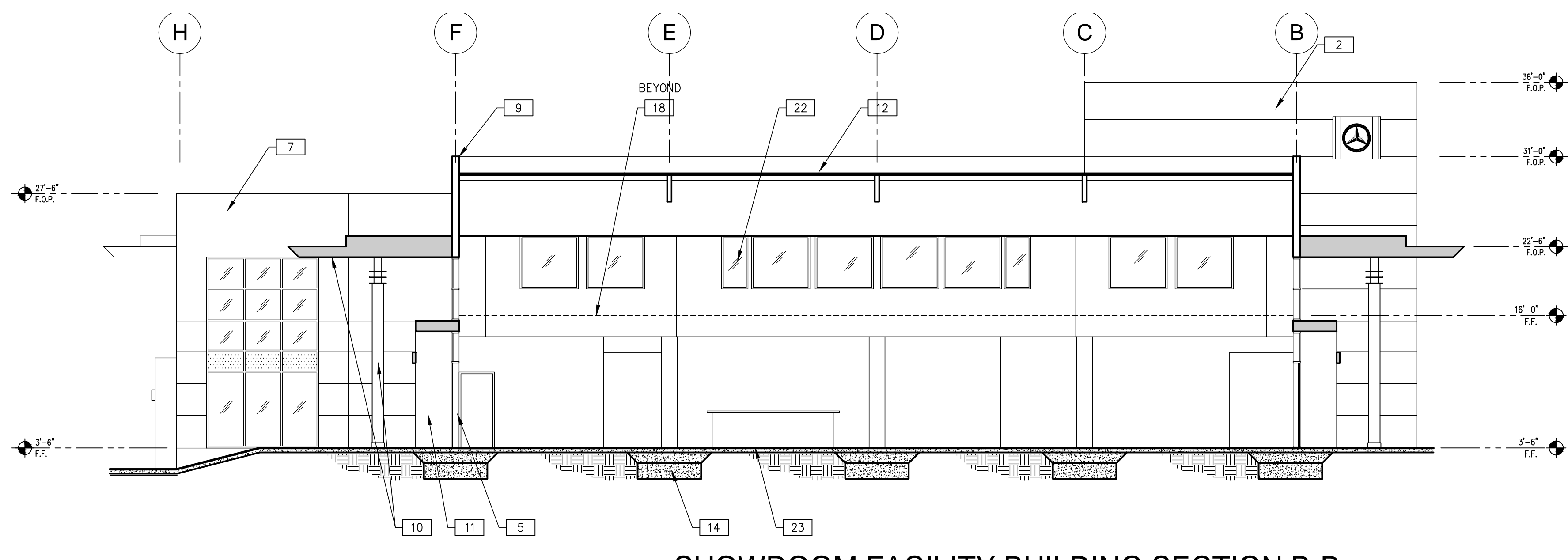
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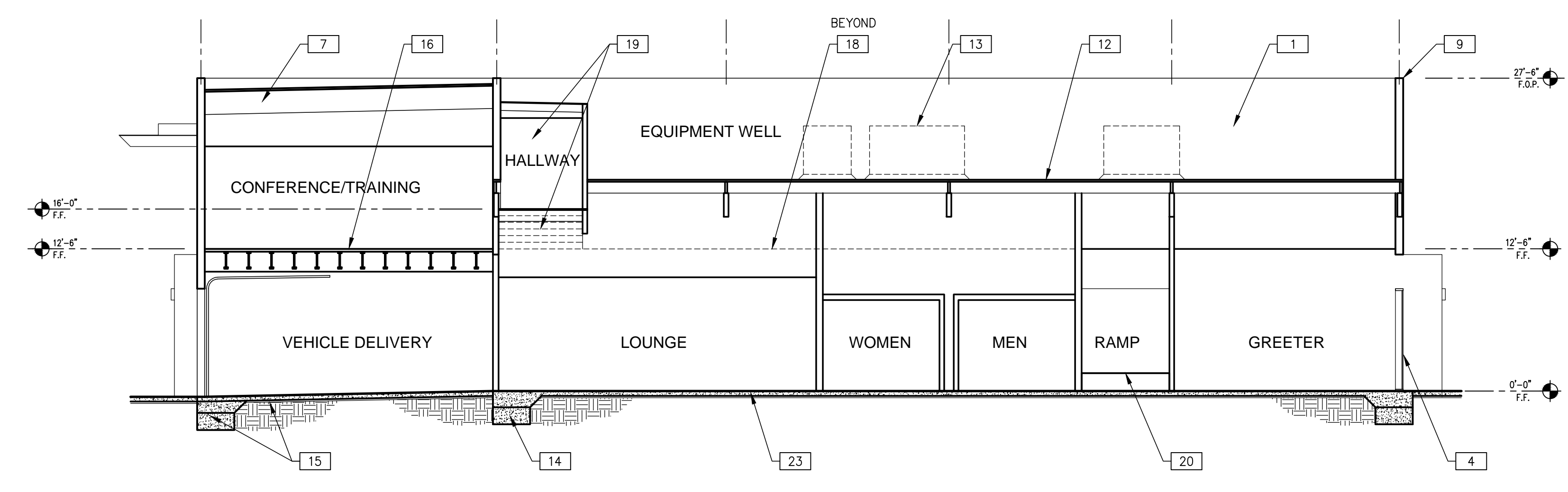
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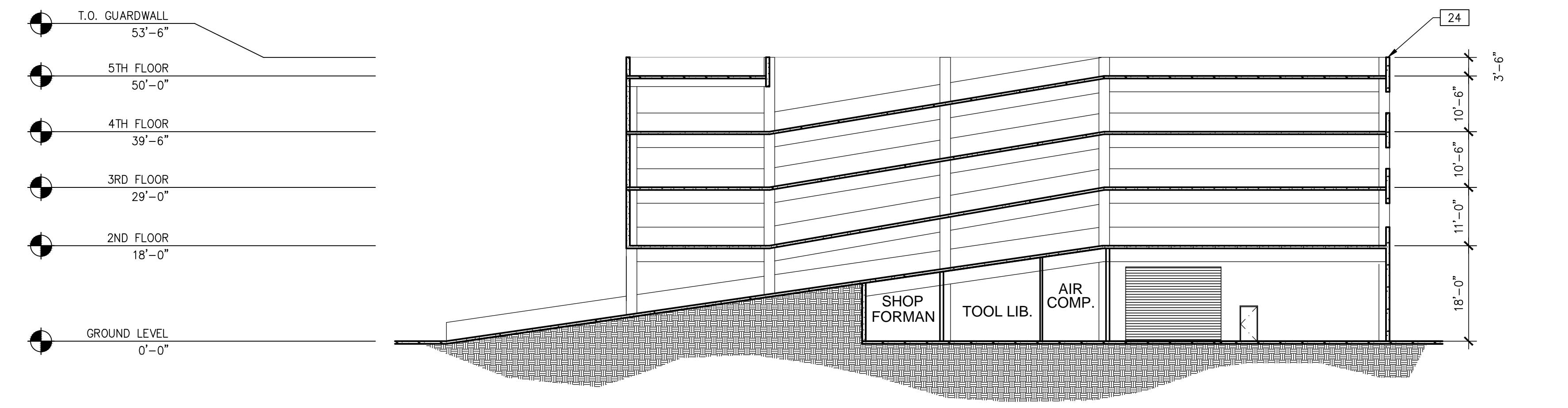
SHOWROOM FACILITY BUILDING SECTION A-A
SCALE: 1/8"=1'-0"



SHOWROOM FACILITY BUILDING SECTION B-B
SCALE: 1/8"=1'-0"



SHOWROOM FACILITY BUILDING SECTION C-C
SCALE: 1/8"=1'-0"



SERVICE CENTER/PARKING STRUCTURE BUILDING SECTION D-D
SCALE: 1/16"=1'-0"

T.O. GUARDWALL	53'-6"
5TH FLOOR	50'-0"
4TH FLOOR	39'-6"
3RD FLOOR	29'-0"
2ND FLOOR	18'-0"
GROUND LEVEL	0'-0"

STATS
SERVICE BAYS = 34
CUSTOMER PARKING = 33
INVENTORY PARKING = 341

ELEVATION SPECIFIC NOTES

- 1 EXISTING CONC. TILT-UP PANEL.
- 2 (N) METAL PANEL CLAD ACCENT FIN WALL.
- 3 (N) STAIRWELL.
- 4 (N) STOREFRONT WINDOW SYSTEM TO MATCH (E).
- 5 (N) STOREFRONT DOOR SYSTEM TO MATCH (E).
- 6 (N) STOREFRONT SPANDREL GLAZING TO MATCH (E).
- 7 (N) CONSTRUCTION TO MATCH (E).
- 8 EXISTING STOREFRONT GLAZING TO REMAIN. PROTECT IN PLACE.
- 9 EXISTING WALL FRAMING TO REMAIN.
- 10 (N) METAL CLAD CANOPY & ALUM. CLAD STRUC. COLUMNS
- 11 (N) MAIN ENTRY PORTAL
- 12 EXISTING ROOF FRAMING TO REMAIN.
- 13 EXISTING ROOF EQUIPMENT TO REMAIN.
- 14 EXISTING FOUNDATION FOOTING.
- 15 (N) STRUCTURAL FOUNDATION FOOTING & SLAB.
- 16 (N) STRUCTURAL FLOOR FRAMING.
- 17 EXISTING ROOF EQUIPMENT SCREEN WALL.
- 18 EXISTING STRUCTURAL FLOOR FRAMING TO REMAIN.
- 19 (N) STRUCTURAL FLOOR FRAMED HALLWAY AND STAIRS.
- 20 (N) INTERIOR RAMP AND HANDRAIL.
- 21 EXISTING SKYLIGHT TO REMAIN.
- 22 EXISTING WINDOWS TO REMAIN.
- 23 EXISTING STRUCTURAL FLOOR SLAB TO REMAIN.
- 24 NEW CONC. TILT-UP PANEL.

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SHOWROOM FACILITY & SERVICE CENTER BUILDING SECTIONS	
DATE	REMARKS
11/17/11	RE-PLANNING INITIAL
11/17/11	REVISION SUBMITTAL

PA / PM: J.TERRY/D.CLARK
DRAWN BY: YM
JOB NO.: SNR11-0001

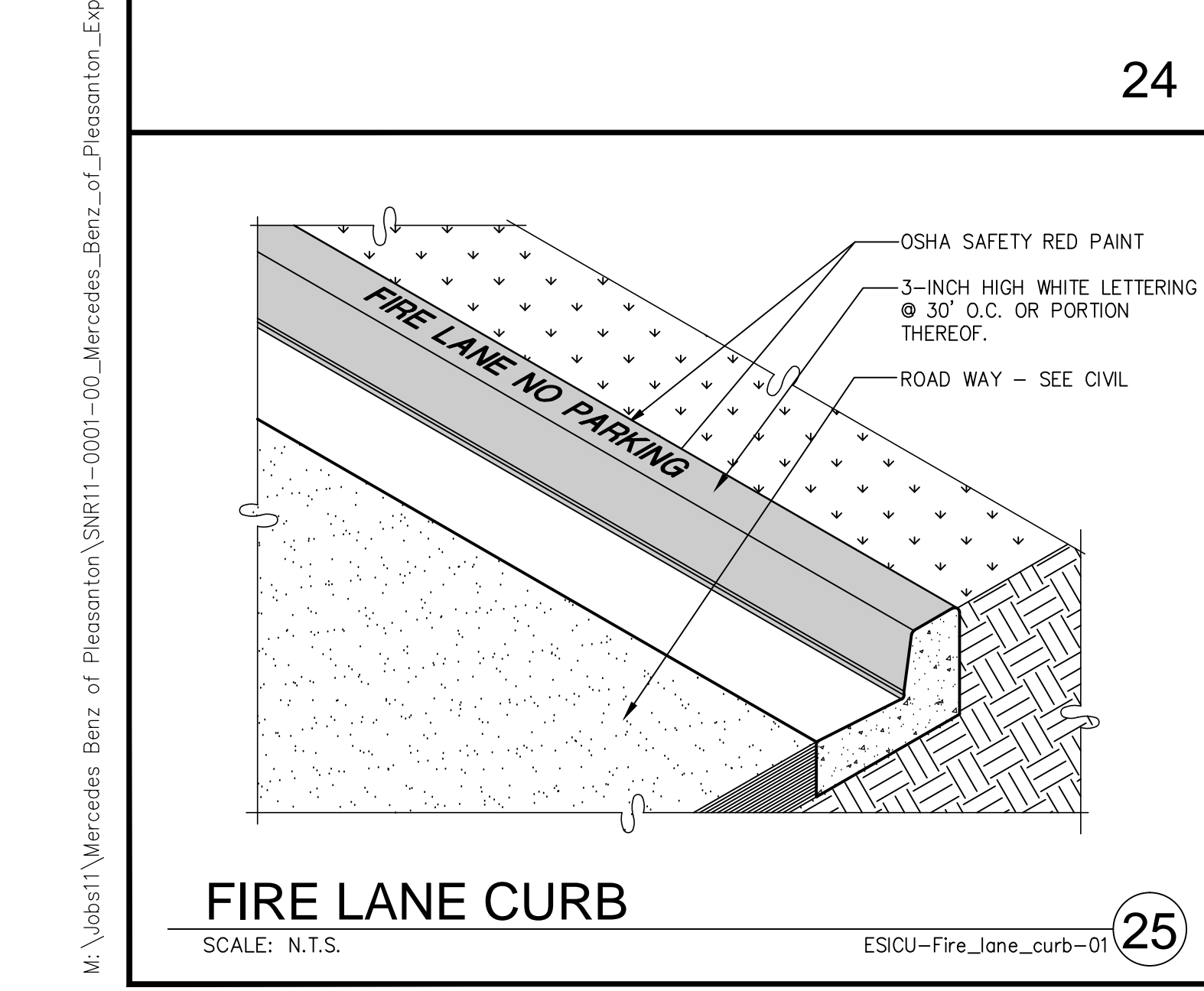
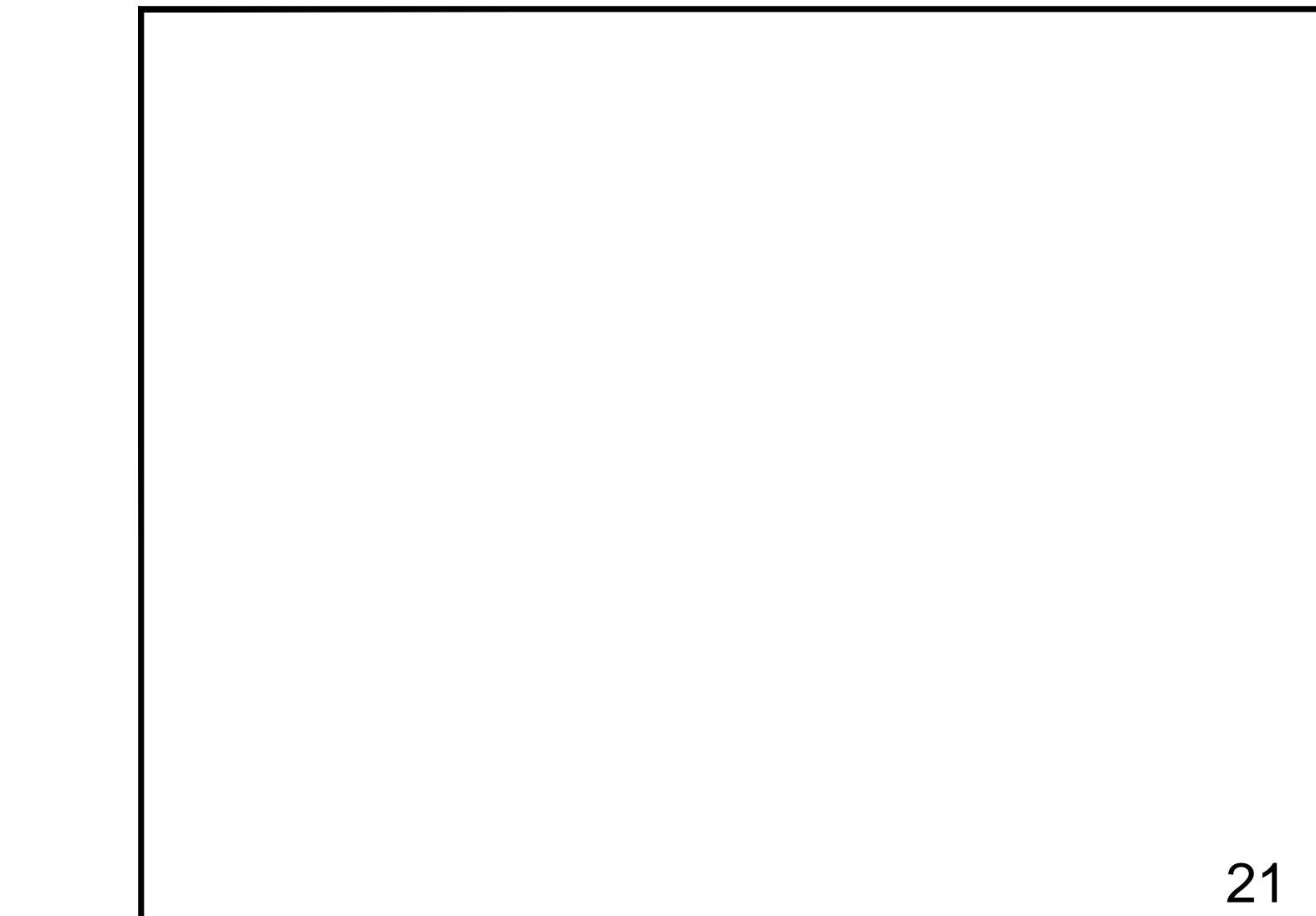
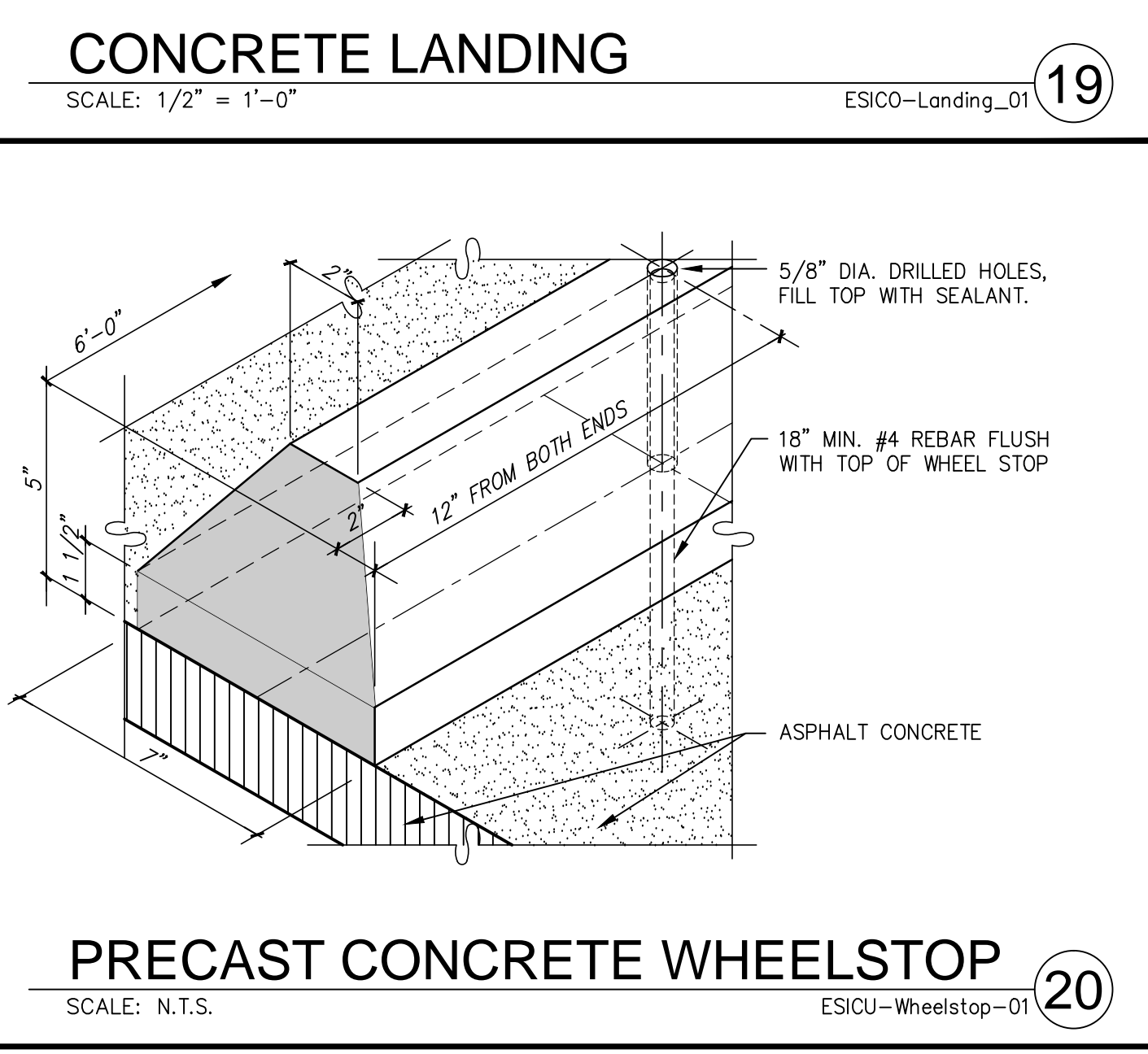
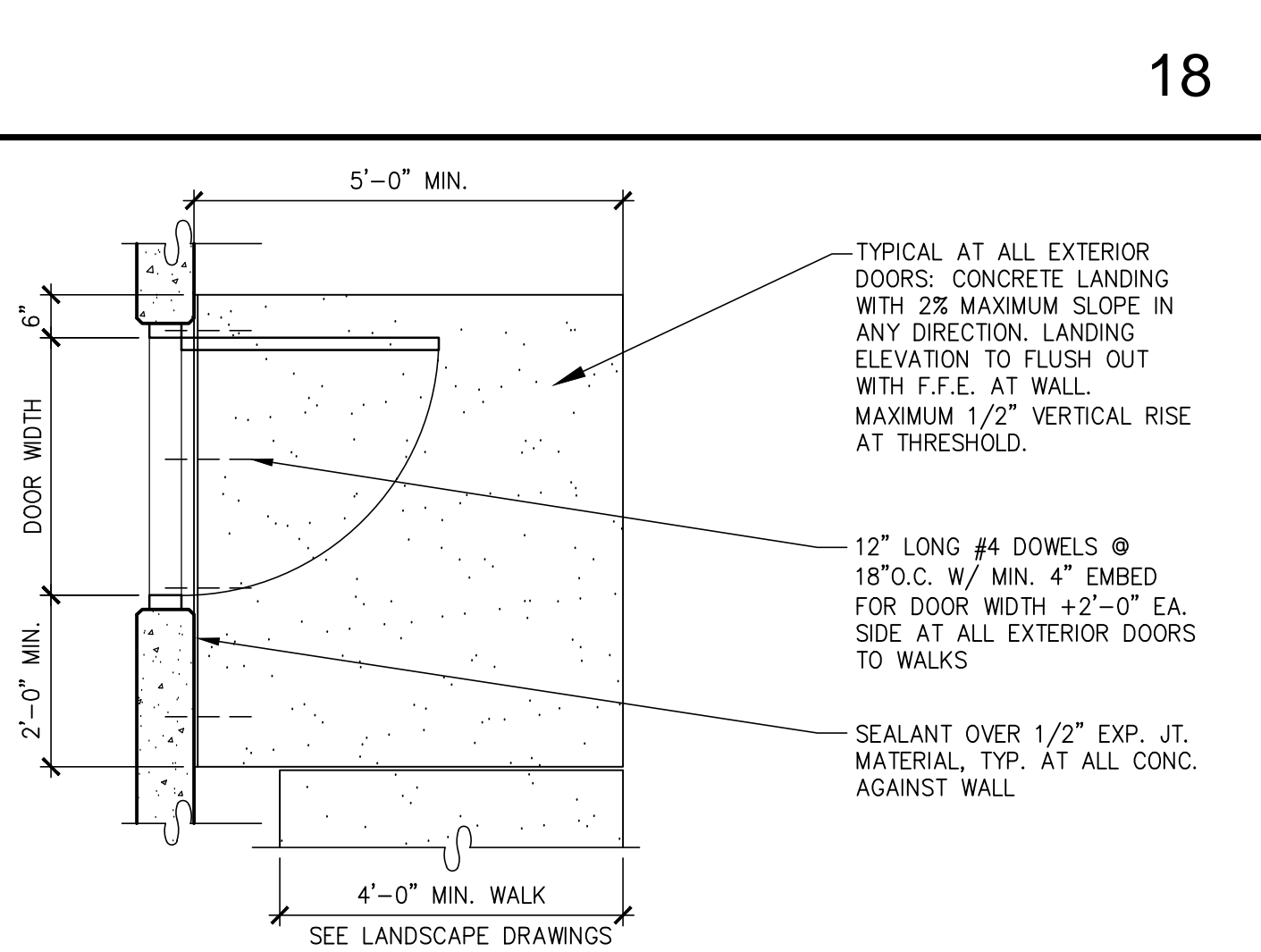
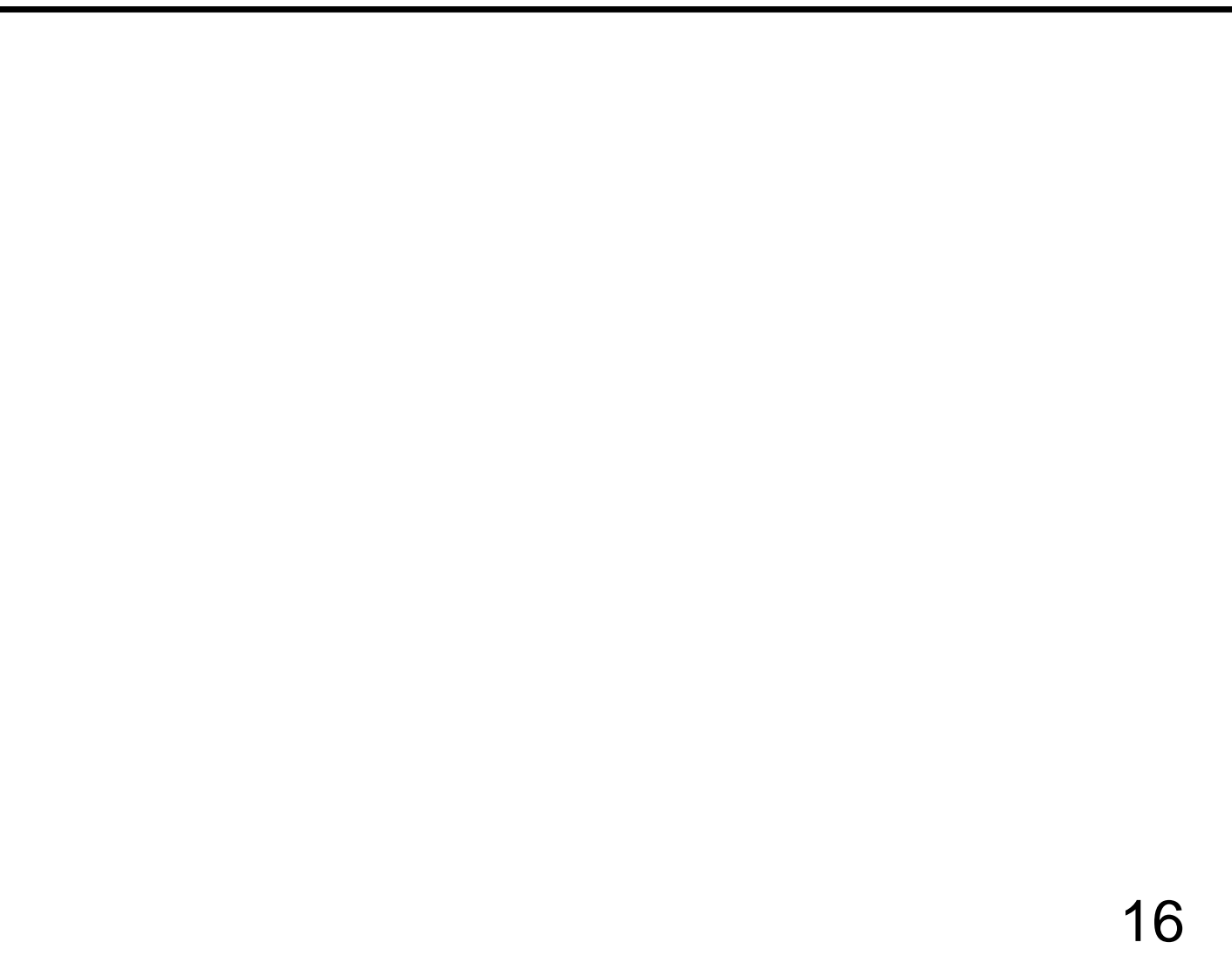
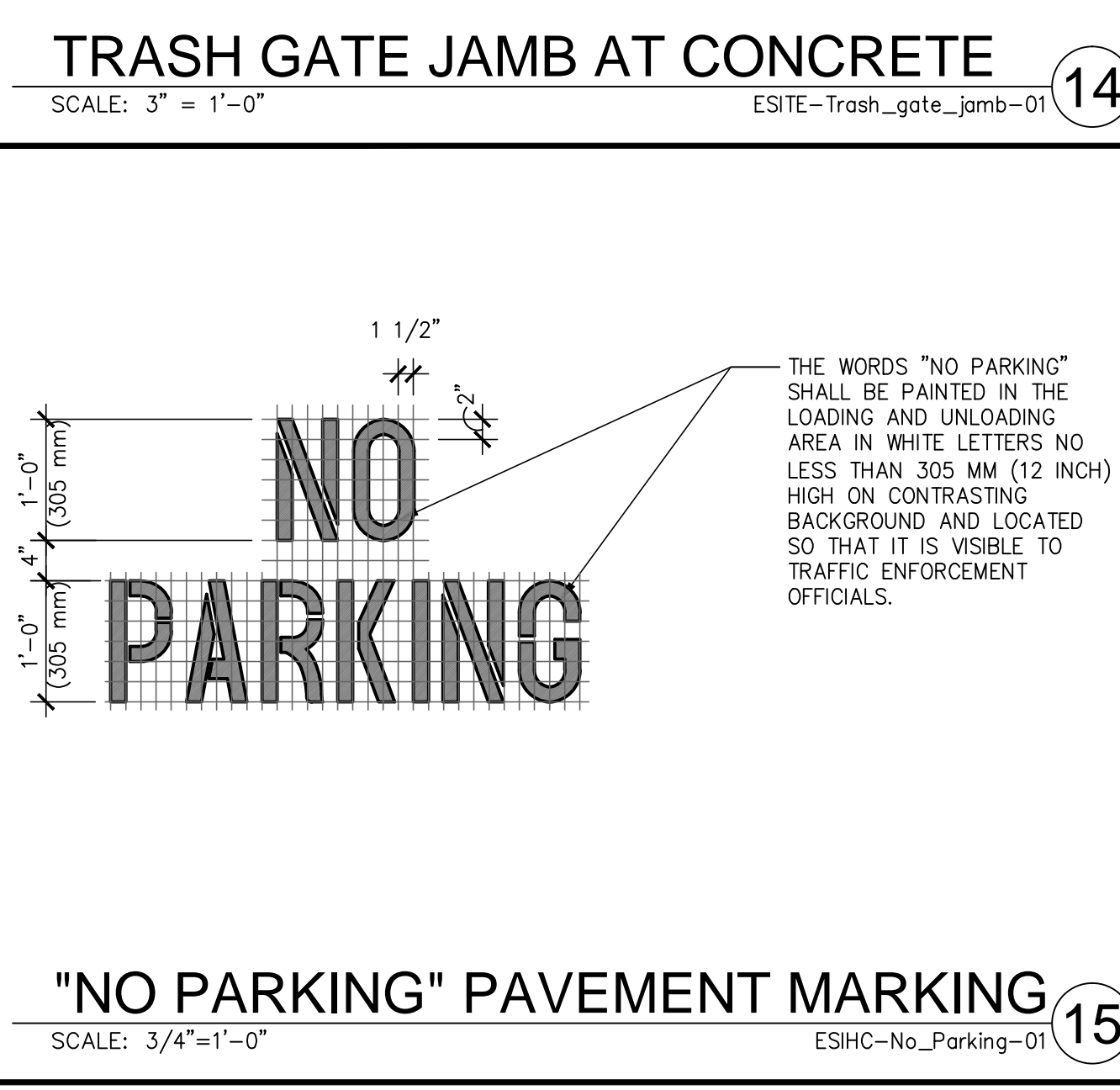
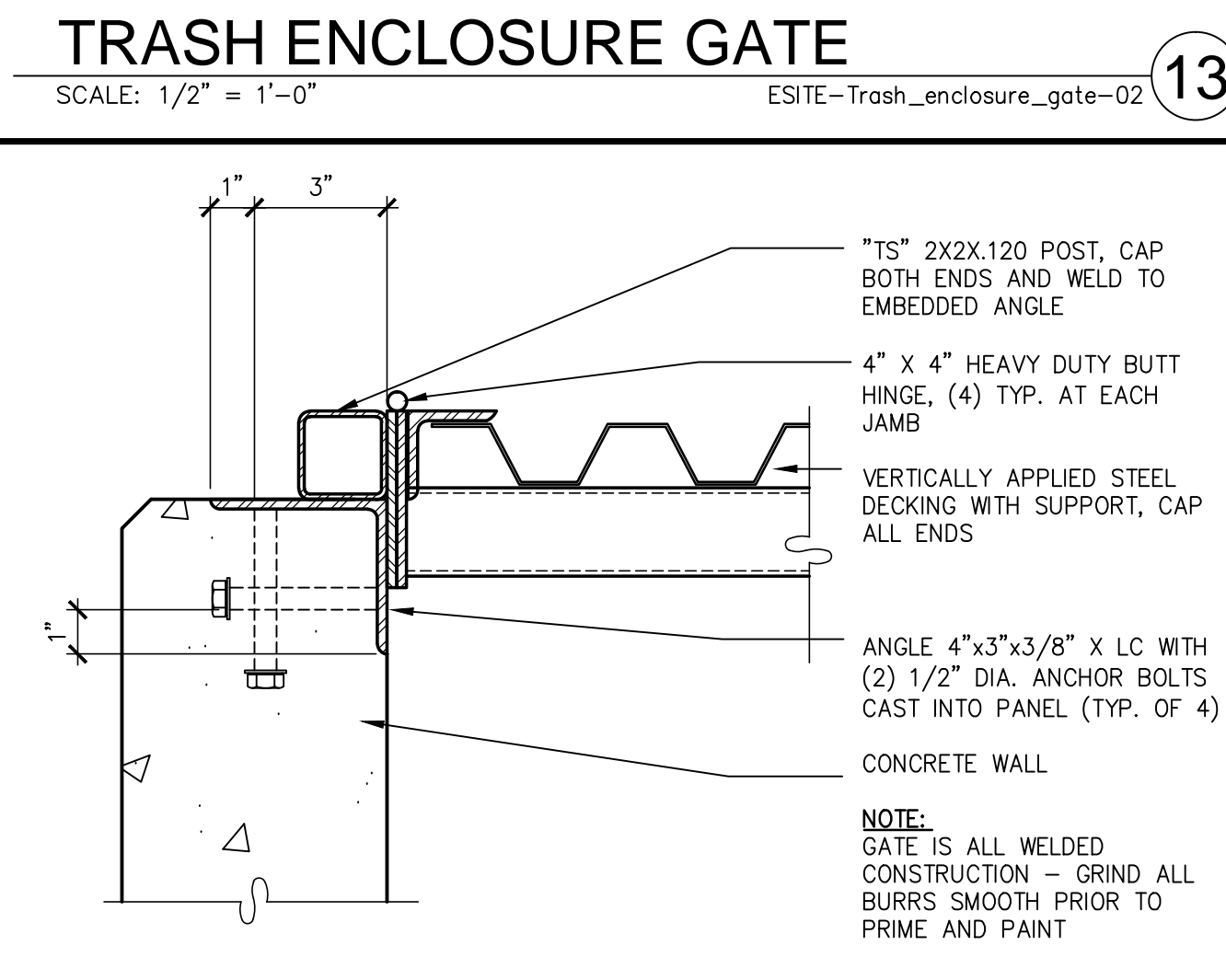
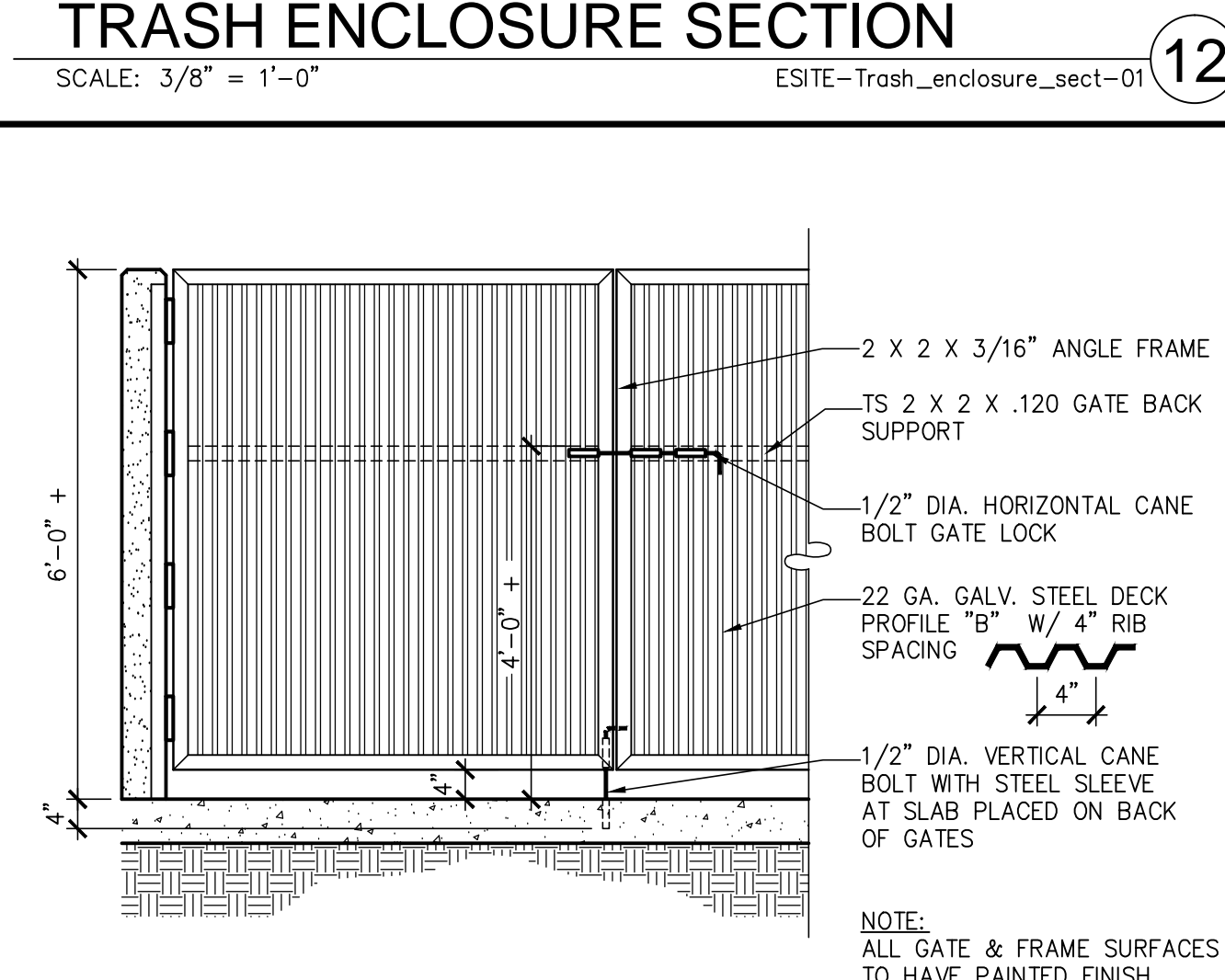
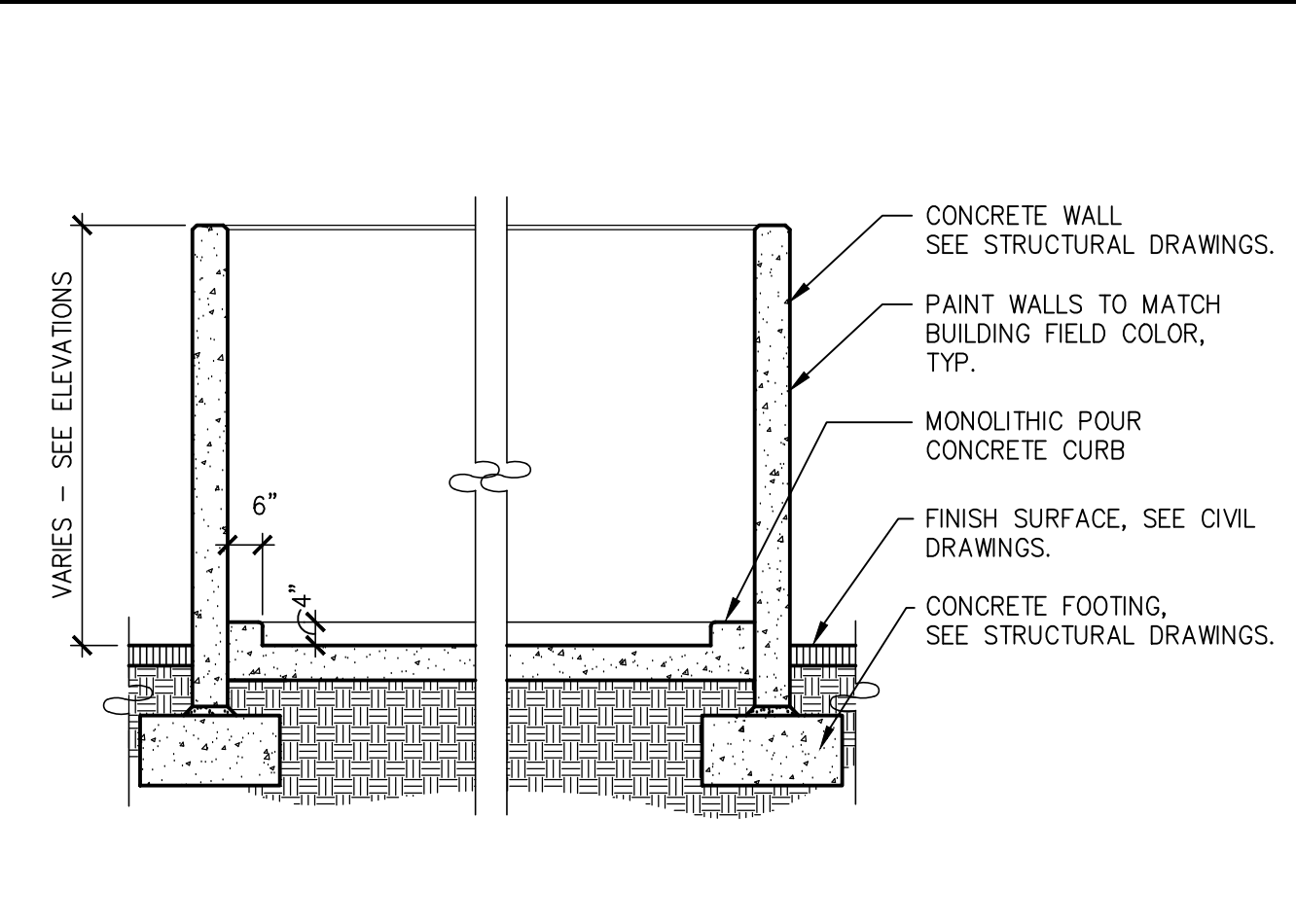
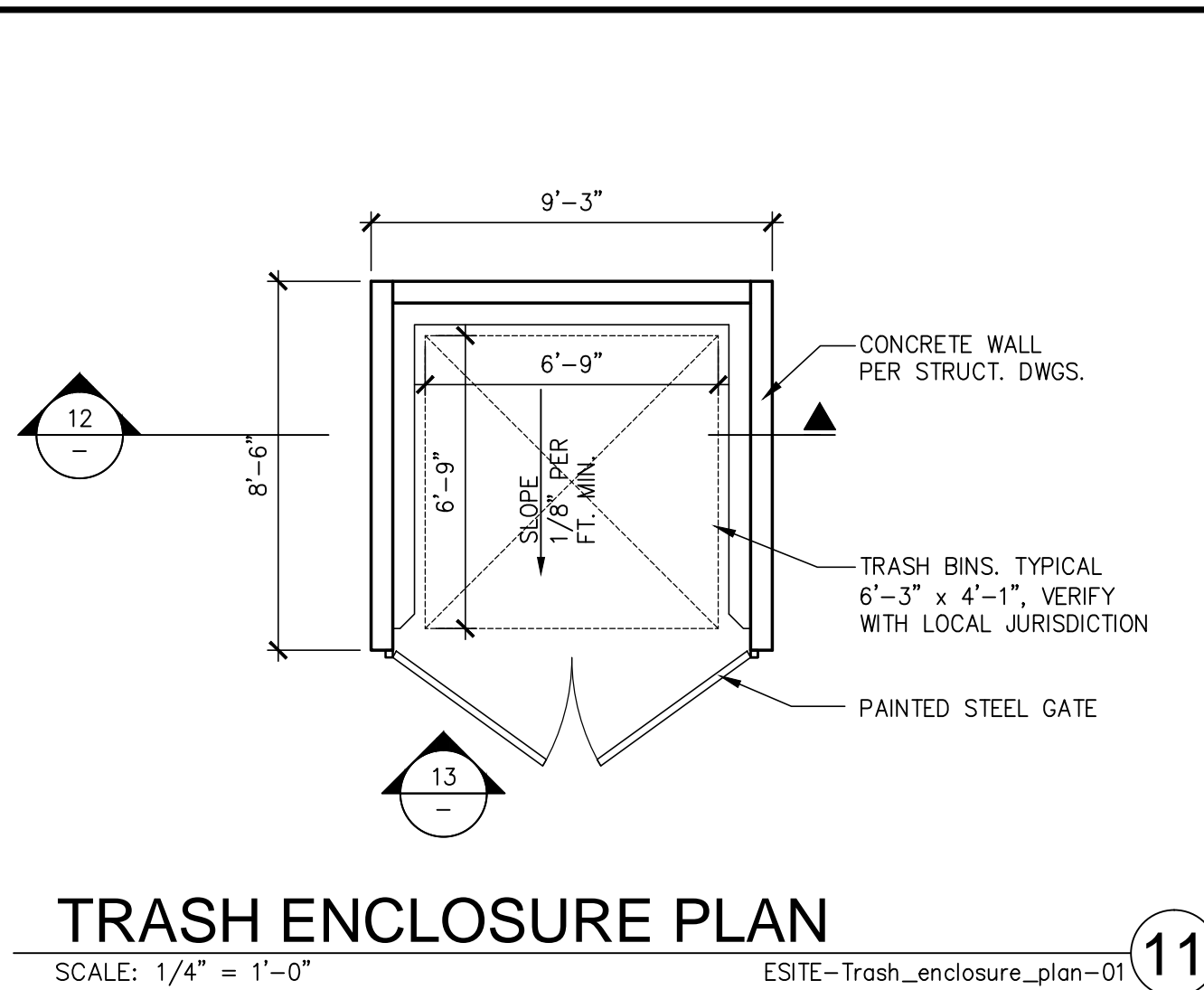
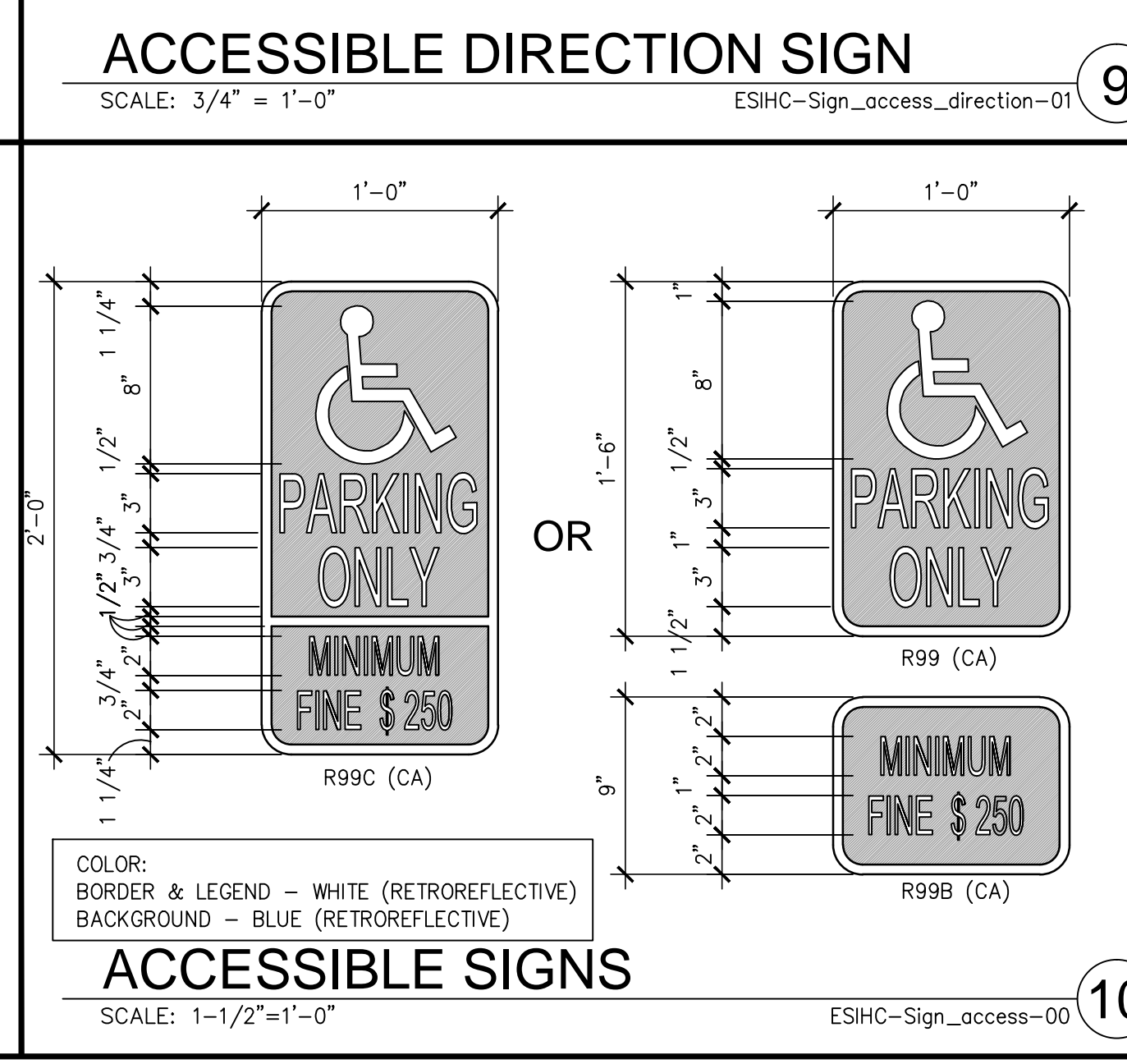
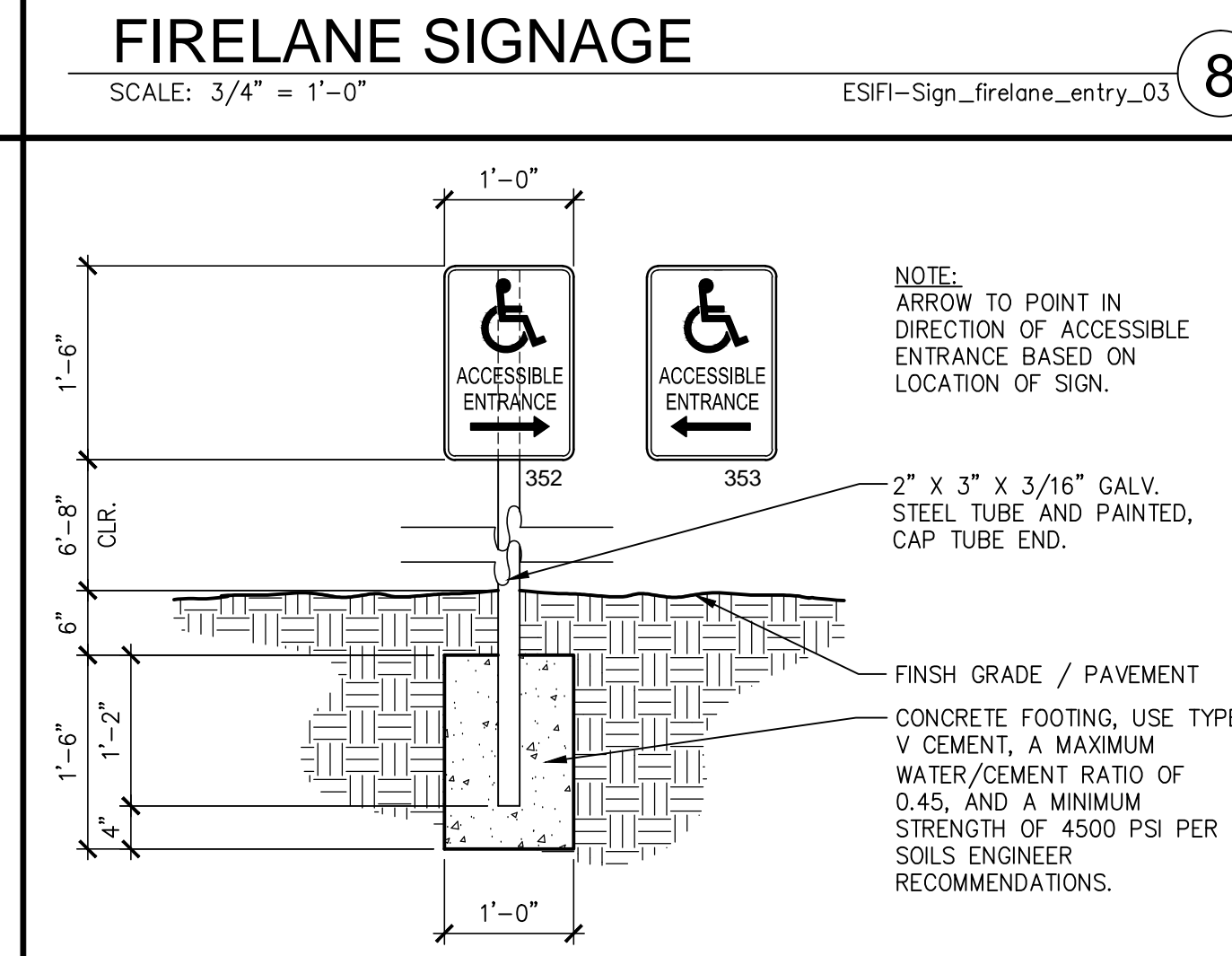
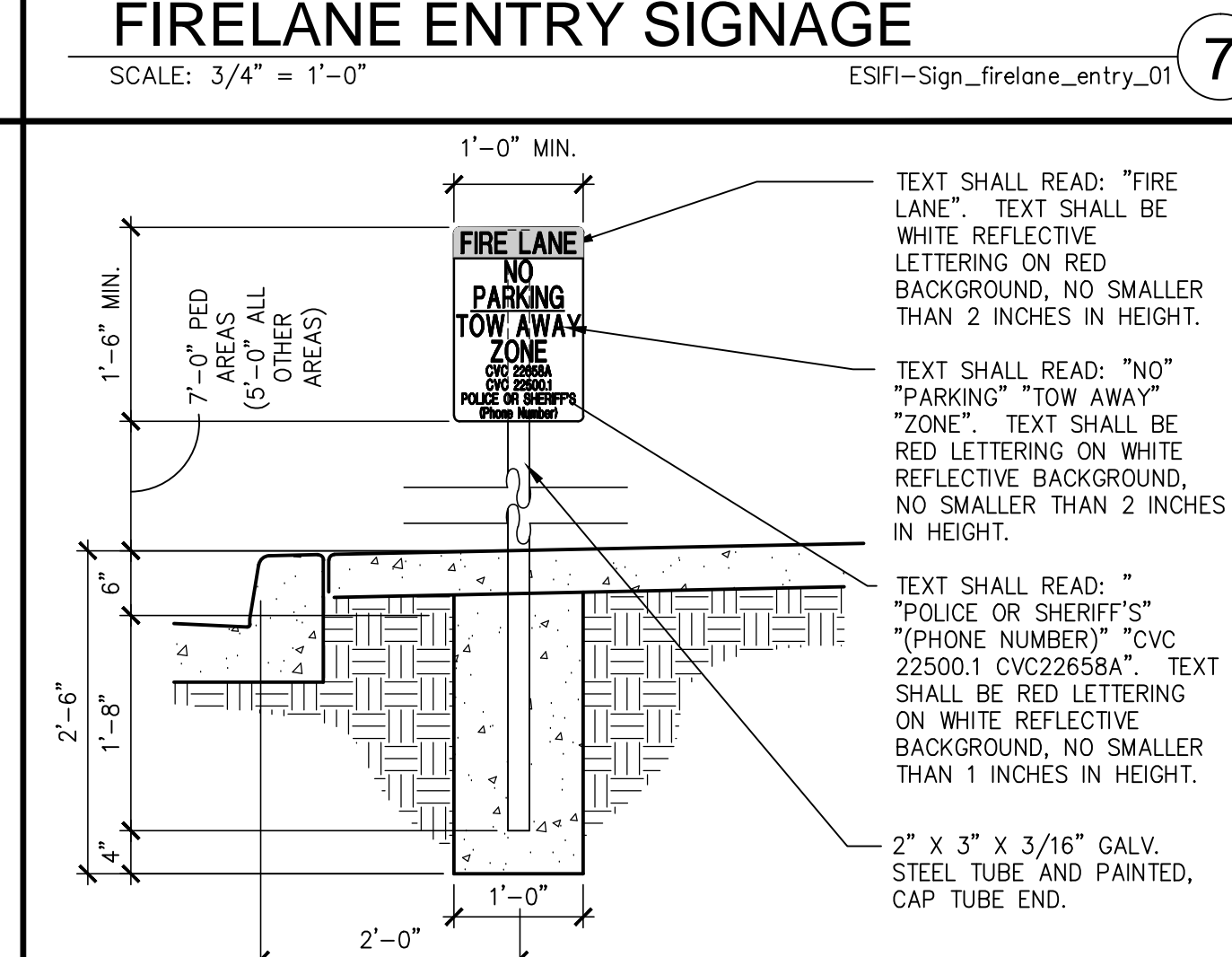
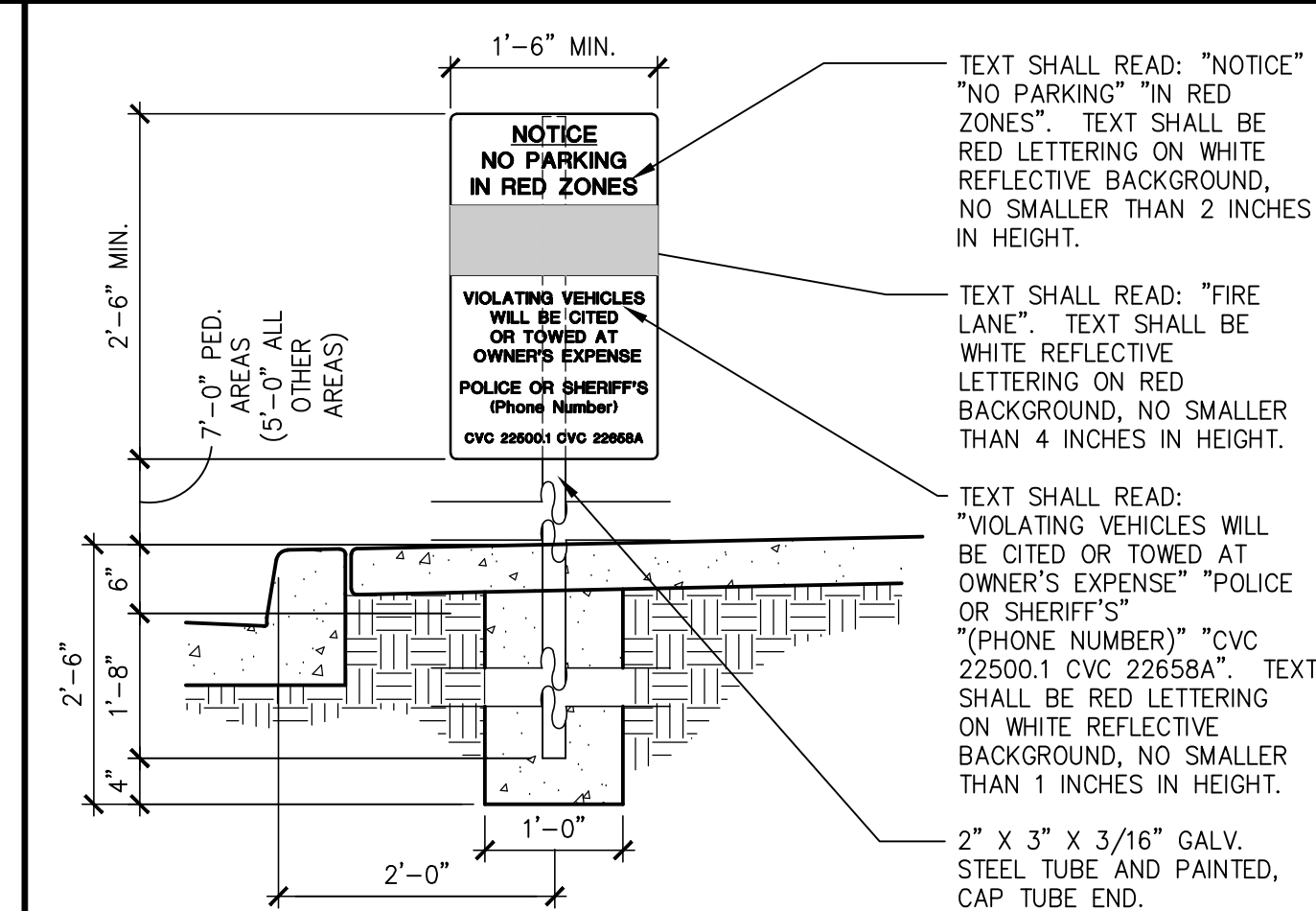
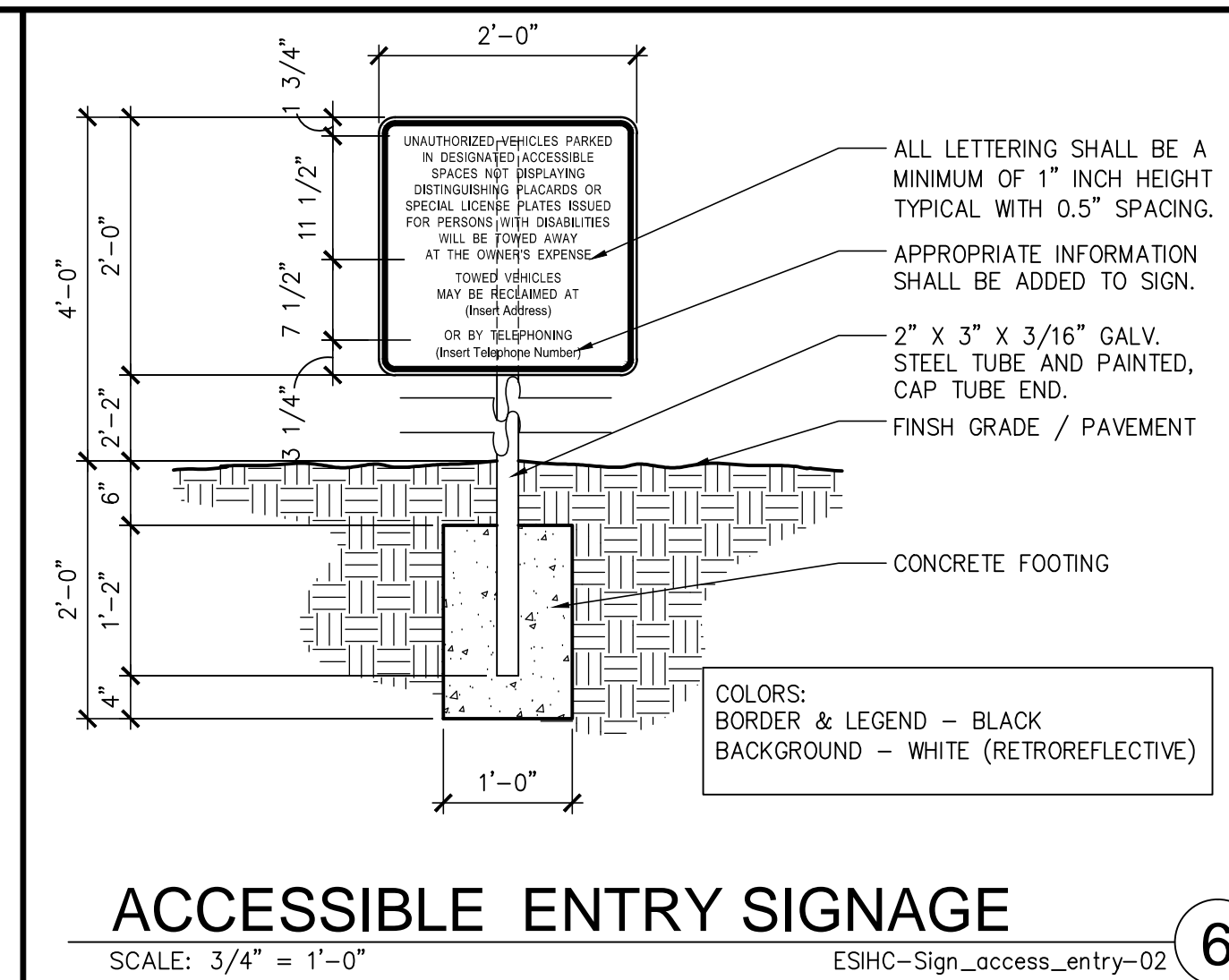
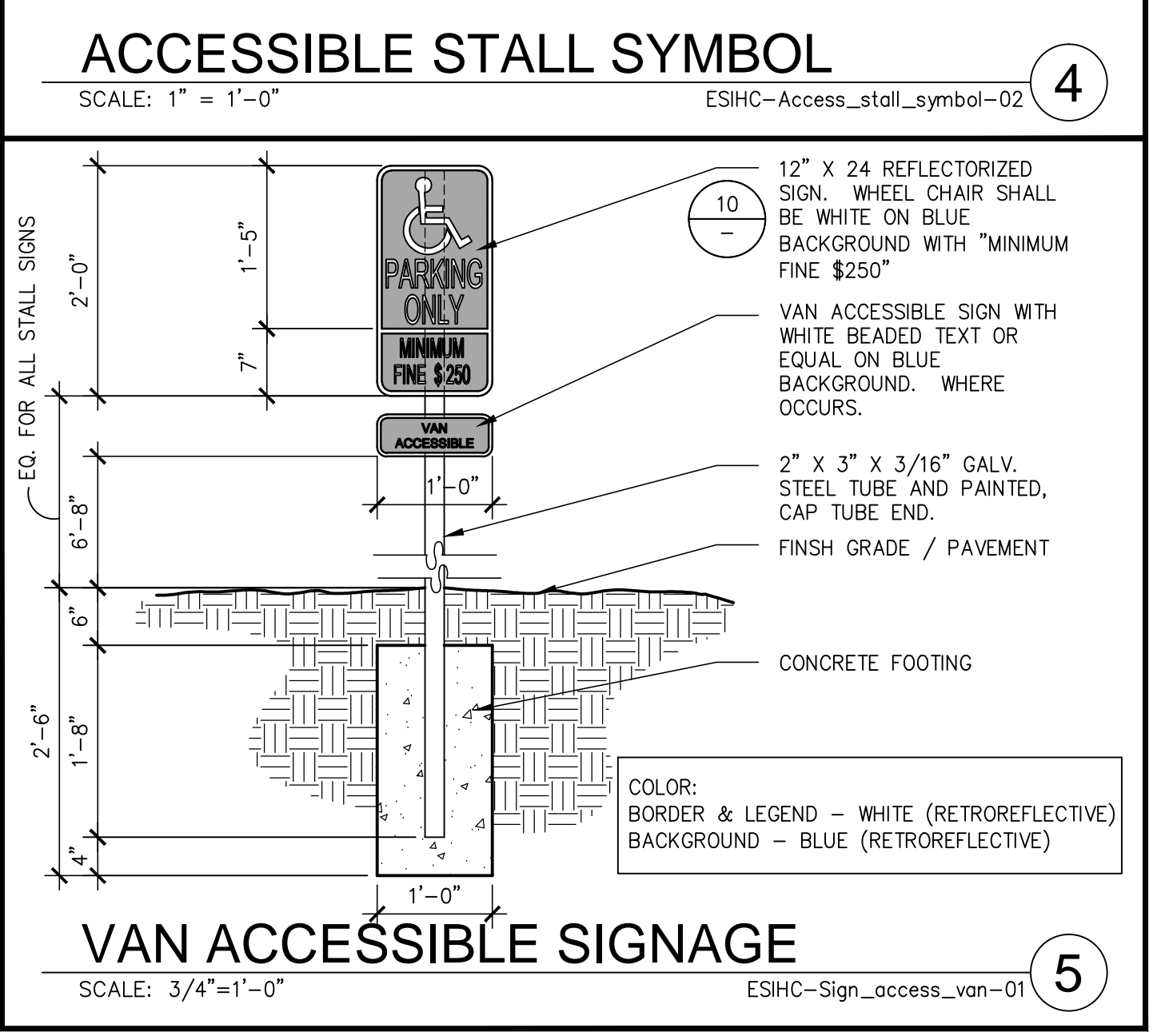
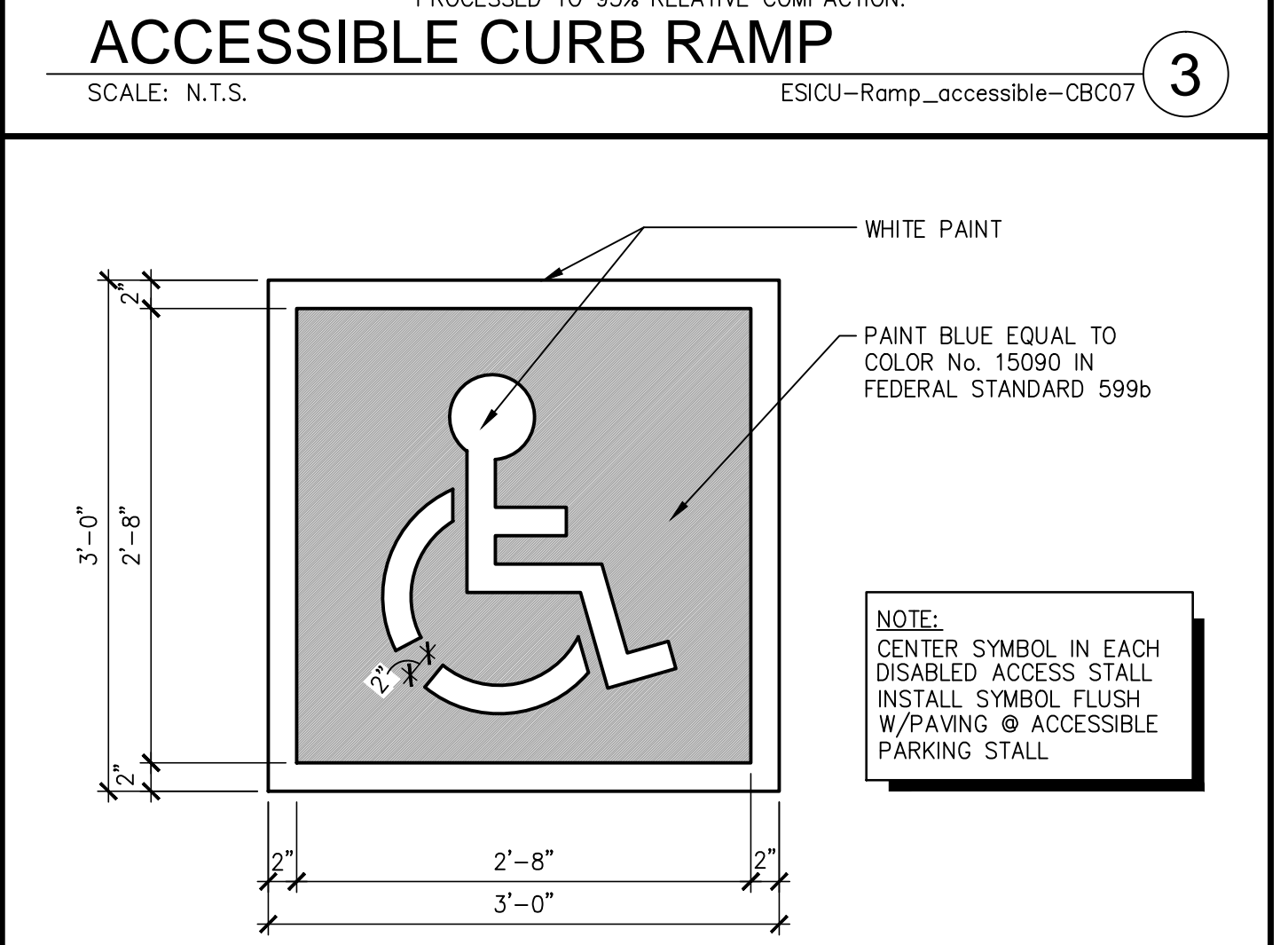
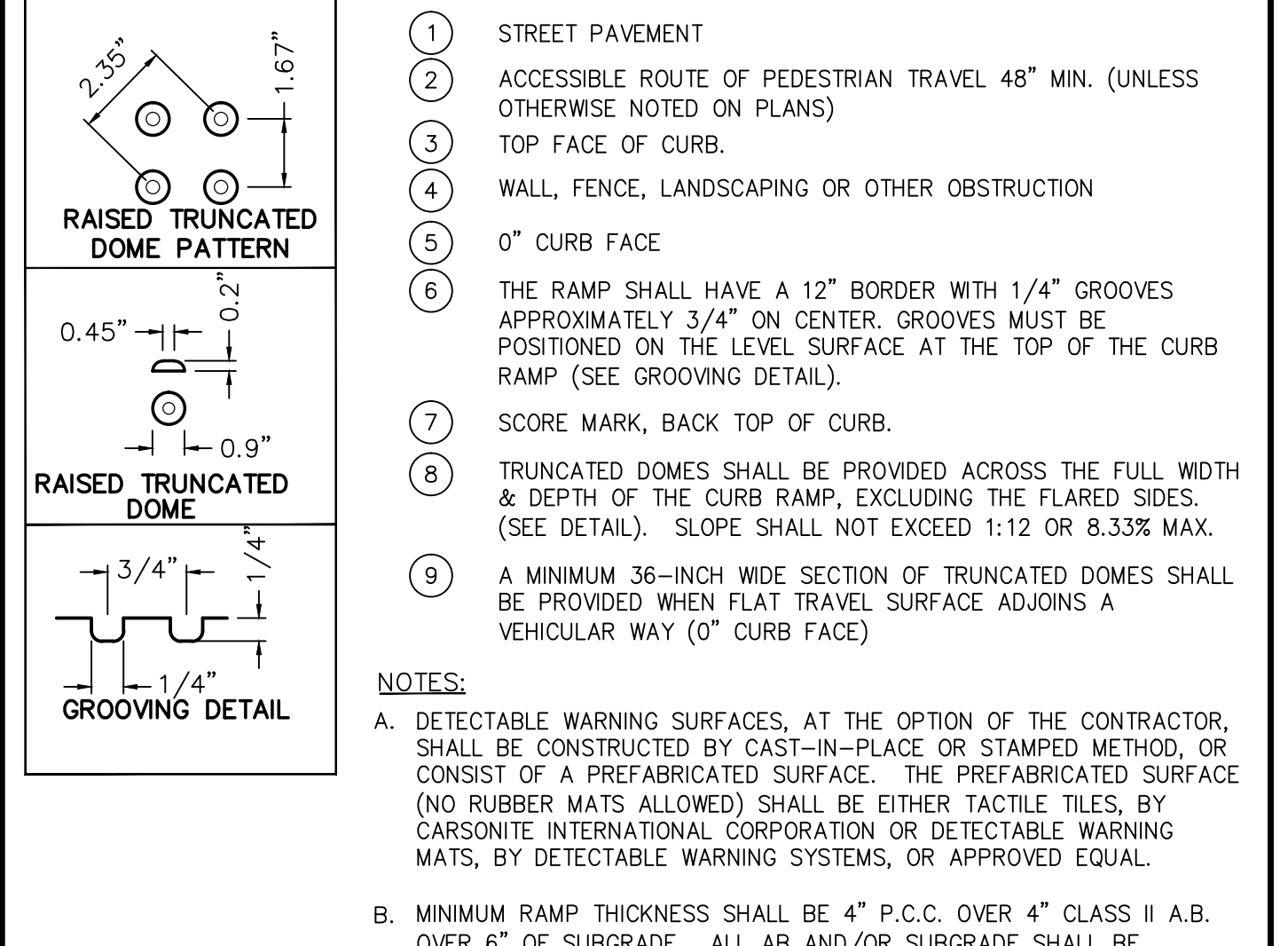
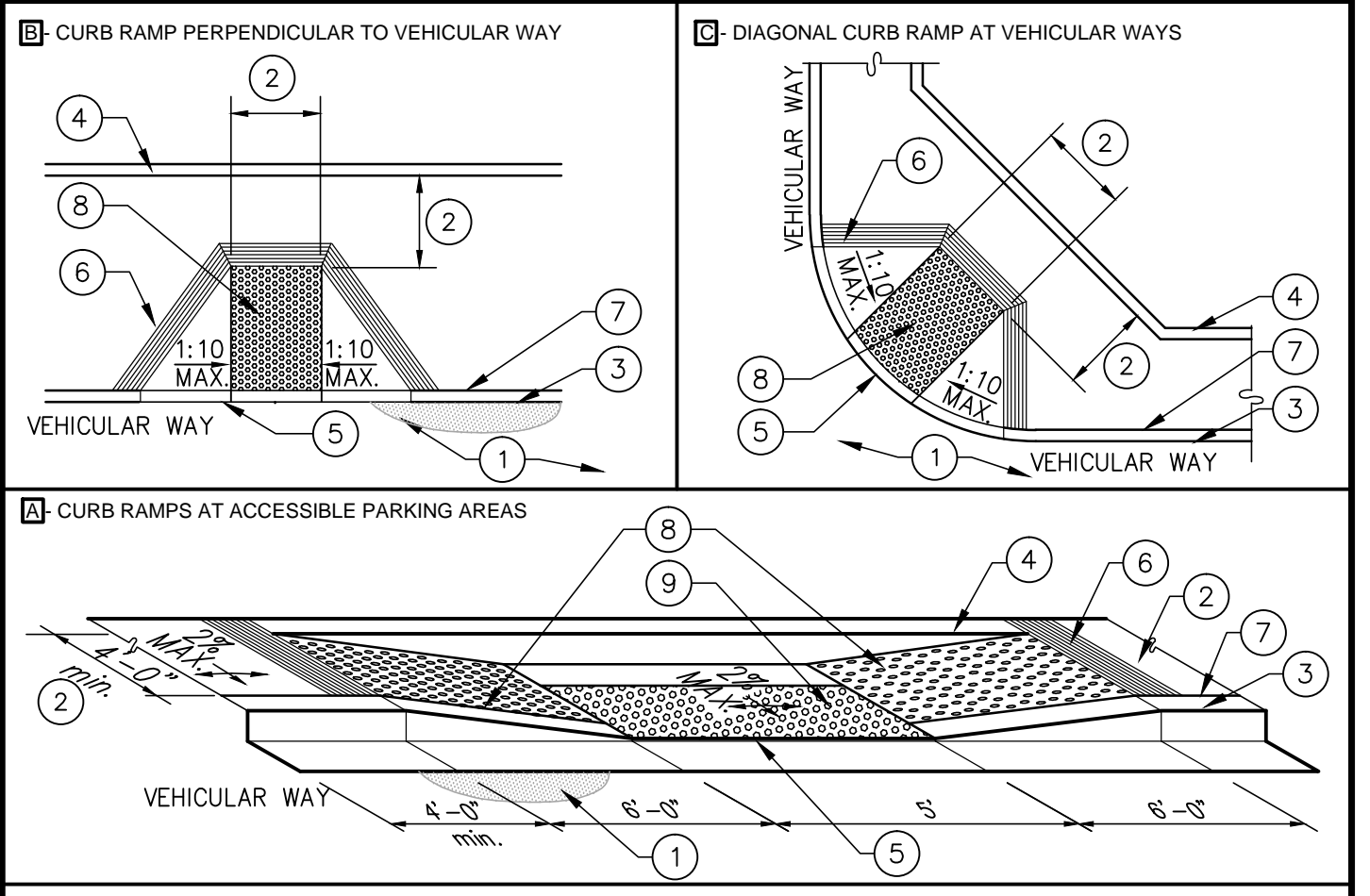
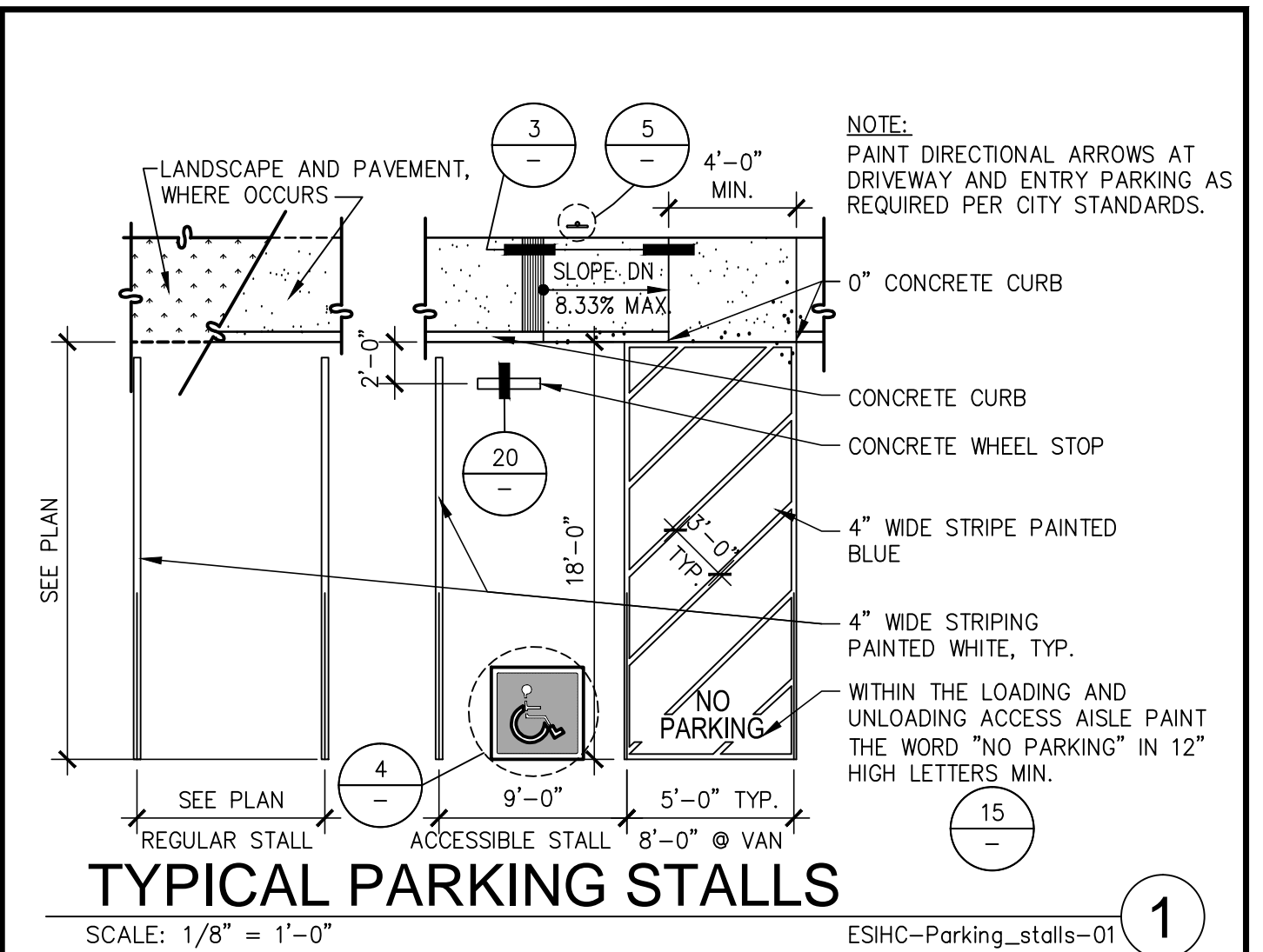
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DATE	REVISIONS	REMARKS
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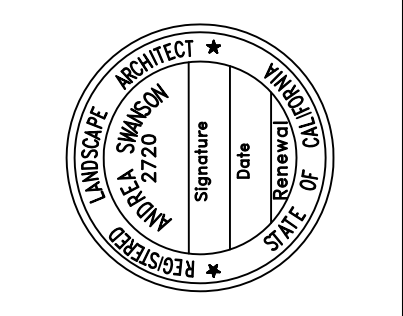
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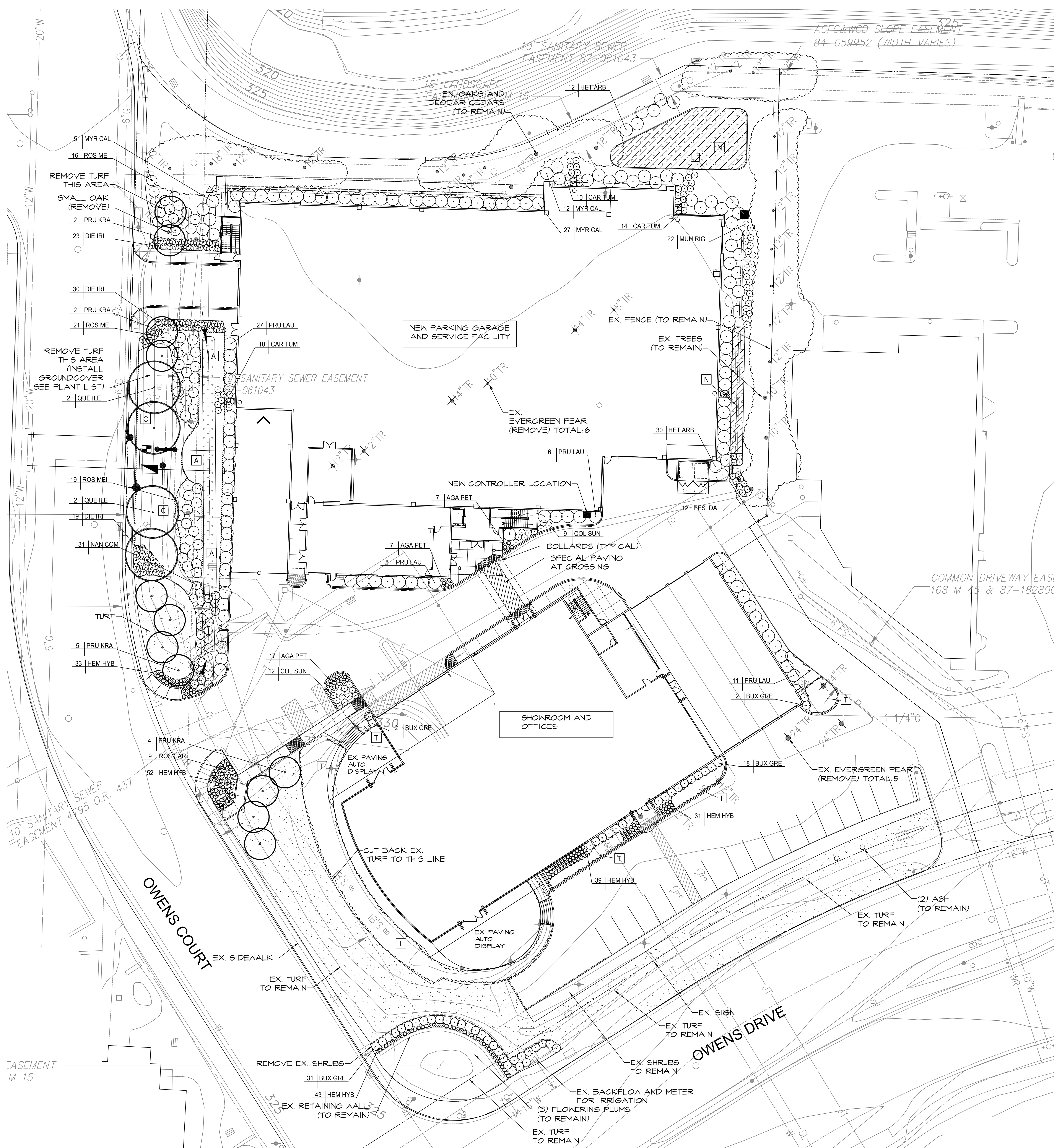
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 Landscape Architects
 1020 North Main Street, Suite 4
 San Ramon, California 94583
 Ph: 925.933.2383

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 5000 executive parkway, ste. 298
 san ramon, california 94583
 phone: 925.244.9821

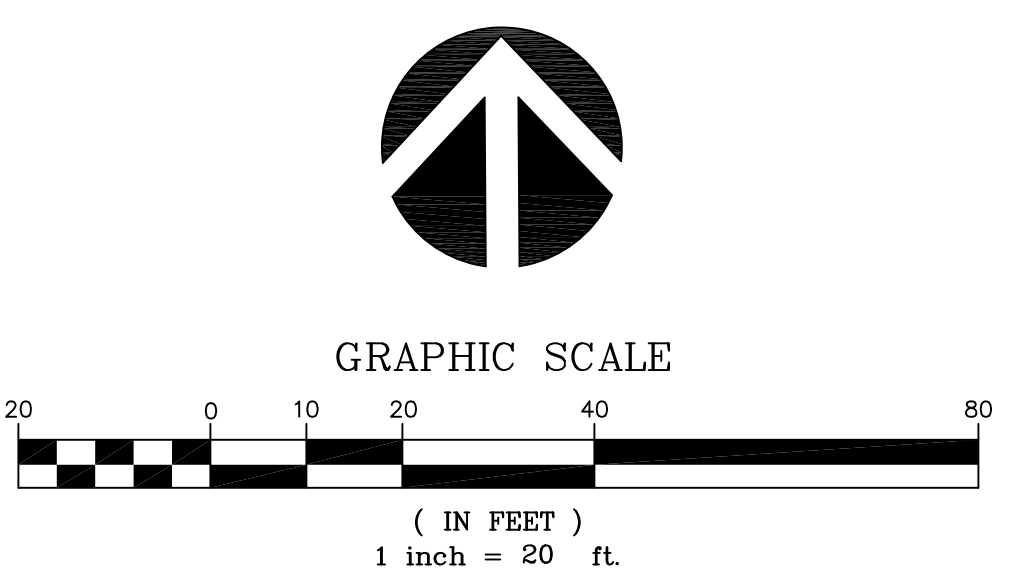


MERCEDES-BENZ OF PLEASANTON
 5885 OWENS DRIVE
 PLEASANTON, CALIFORNIA



SYMBOL	BOTANICAL NAME	COMMON NAME	WATER USE	SIZE	HT. X SP.
TREES:					
QUE ILE	QUERCUS ILEX	HOLLY OAK	LOW	24" BOX	50' X 50'
FRU KRA	PRUNUS KRATER VESUVIUS	FLOWERING PLUM	LOW	15 GA	25' X 20'
SHRUBS:					
AGA PET	AGAPANTHUS 'PETER PAN'	DWARF LILY OF THE NILE	LOW	1 GA	12 X 2'
BUX GRE	BUXIS 'GREEN BEAUTY'	BOXHOOD	LOW	5 GA	12 X 3'
CAR TUM	CAREX TUMICOLA	BERKELEY SEDGE	MED	1 GA	15' X 4'
COL SUN	COLEONEMA 'SUNSET GOLD'	BREATH OF HEAVEN	LOW	5 GA	8' X 4'
DIE IRI	DIETES I. 'VARIGATA'	VARIGATED FORTNIGHT LILY	LOW	1 GA	8' X 3'
FES IDA	FESTUCA IDAHENSIS	BLUE FESCUE	MED	1 GA	1' X 1'
HEM HYB	HEMEROCALLIS 'YELLOW LANDSCAPE SUPREME'	EVERGREEN DAYLILY	LOW	1 GA	22 X 2'
HET ARB	HETEROMELES ARBUTIFOLIA	TOYON	LOW	5 GA	10 X 8'
MUH RIG	MULLENBERGIA RIGENS	NATIVE DEER GRASS	LOW	1 GA	10 X 8'
MYR CAL	MYRICA CALIFORNICA	CALIFORNIA MYRTLE	LOW	5 GA	10 X 8'
NAN COM	NANDINA D. 'COMPACTA'	DWARF HEAVENLY BAMBOO	LOW	5 GA	10 X 8'
FRU LAU	PRUNUS LAURACERASUS	ENGLISH LAUREL	LOW	10 X 8 GA	10 X 8'
ROS GAR	ROSA X 'PINK CARPET'	PINK CARPET ROSE	MED	5 GA	10 X 8'
ROS MEI	ROSA X 'WHITE MEIDLAND'	MEIDLAND ROSE	MED	5 GA	10 X 8'
GROUND COVER:					
A	ARCTOSTAPHYLOS 'EMERALD CARPET'	MANZANITA	LOW	1 GA @ 20' O.C.	
C	COPROSMA 'VISTA VERDE'	DWARF COPROSMA	MED	1 GA @ 20' O.C.	
T	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	MED	1 GA @ 20' O.C.	
N	BIOSWALE NATIVE GRASS SOD MIX (AVAILABLE AT DELTA BLUEGRASS SOD COMPANY)		MED		
TURF	DWARF TALL FESCUE SOD MIX		HIGH		

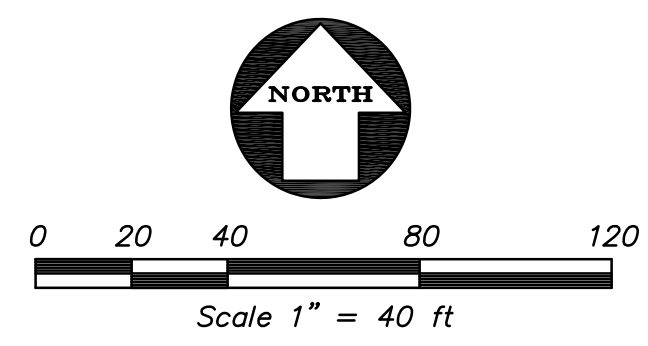
- IRRIGATION NOTES:**
- EXISTING IRRIGATION TO BE RETROFITTED TO NEW LANDSCAPE CONFIGURATION.
 - LOW PRECIPITATION RATE HEADS AND DRIP IRRIGATION TO BE UTILIZED WHERE POSSIBLE.
 - INSTALL NEW 'WEATHER BASED' SMART CONTROLLER WITH RAIN SHUT-OFF SENSOR.
 - ALL EXISTING IRRIGATION VALVES AND CONTROLLER SHALL HAVE STATE REQUIRED 'RECLAIMED WATER WARNING' LABELS. ALL NEW IRRIGATION HEADS, PIPE AND VALVE BOXES TO BE PURPLE AND HAVE RECLAIMED WATER LABELS.



LANDSCAPE PLAN		REMARKS
DATE	11/27/11	
REVISIONS		
RE-PLANNING		
DATE		
REVISIONS		
RE-PLANNING		
DATE		
REVISIONS		
RE-PLANNING		
DATE		
REVISIONS		
RE-PLANNING		

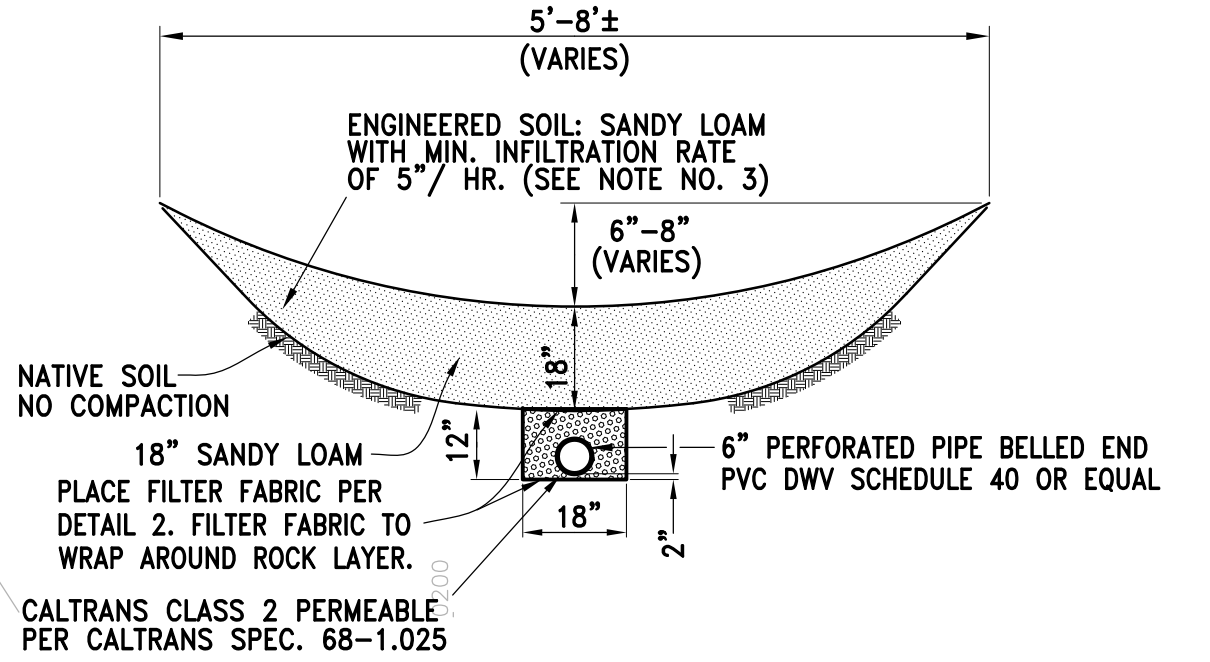
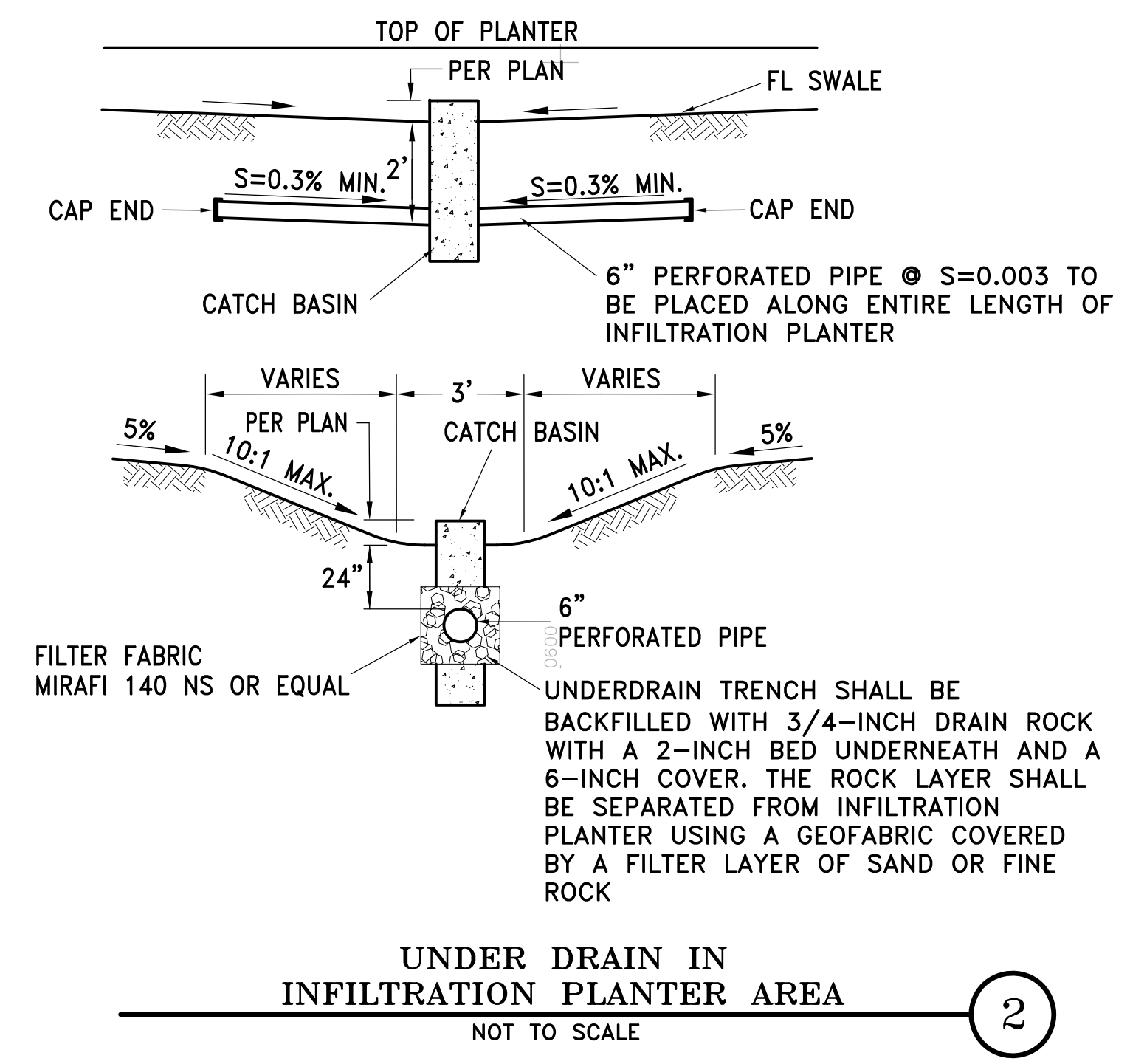
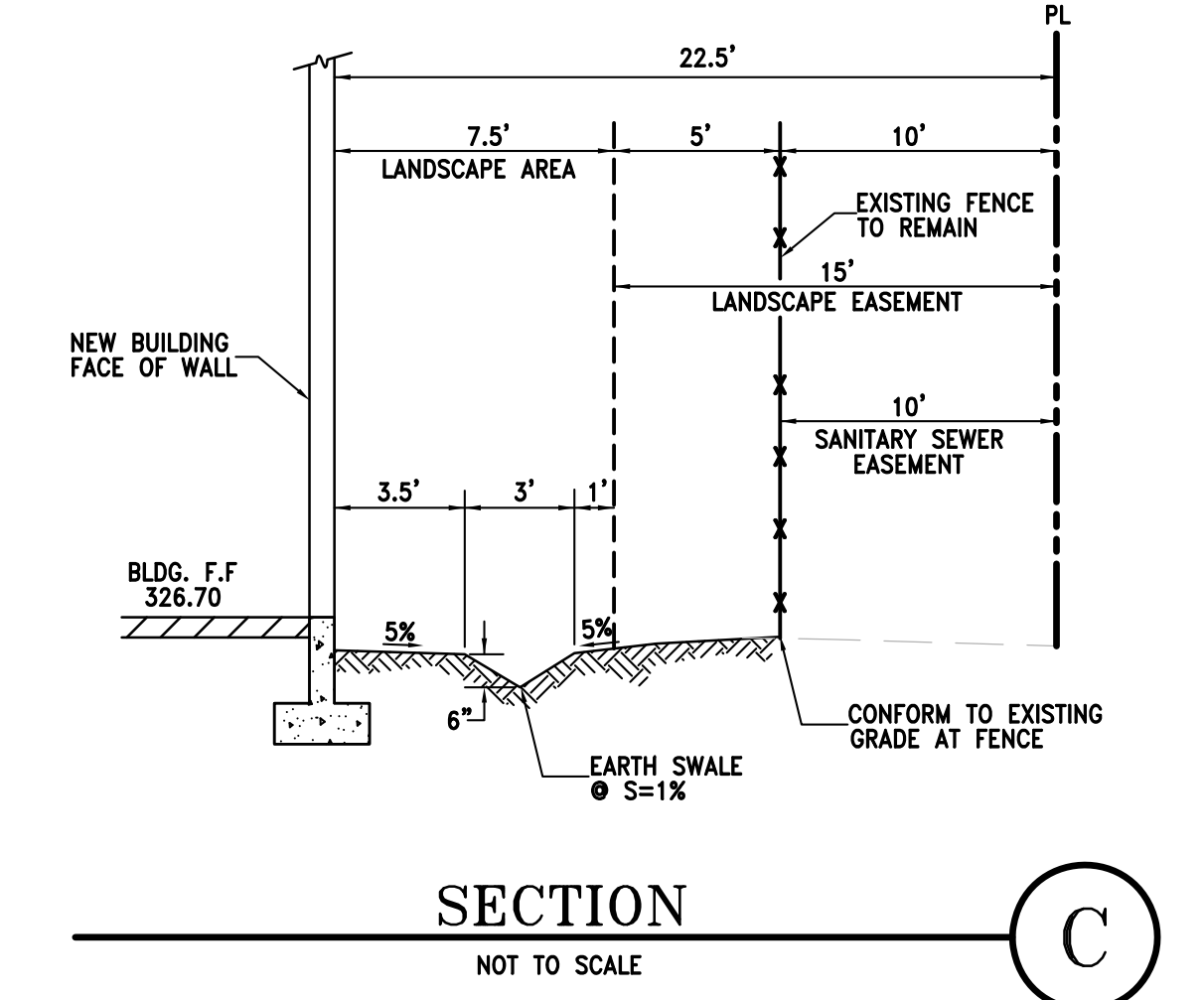
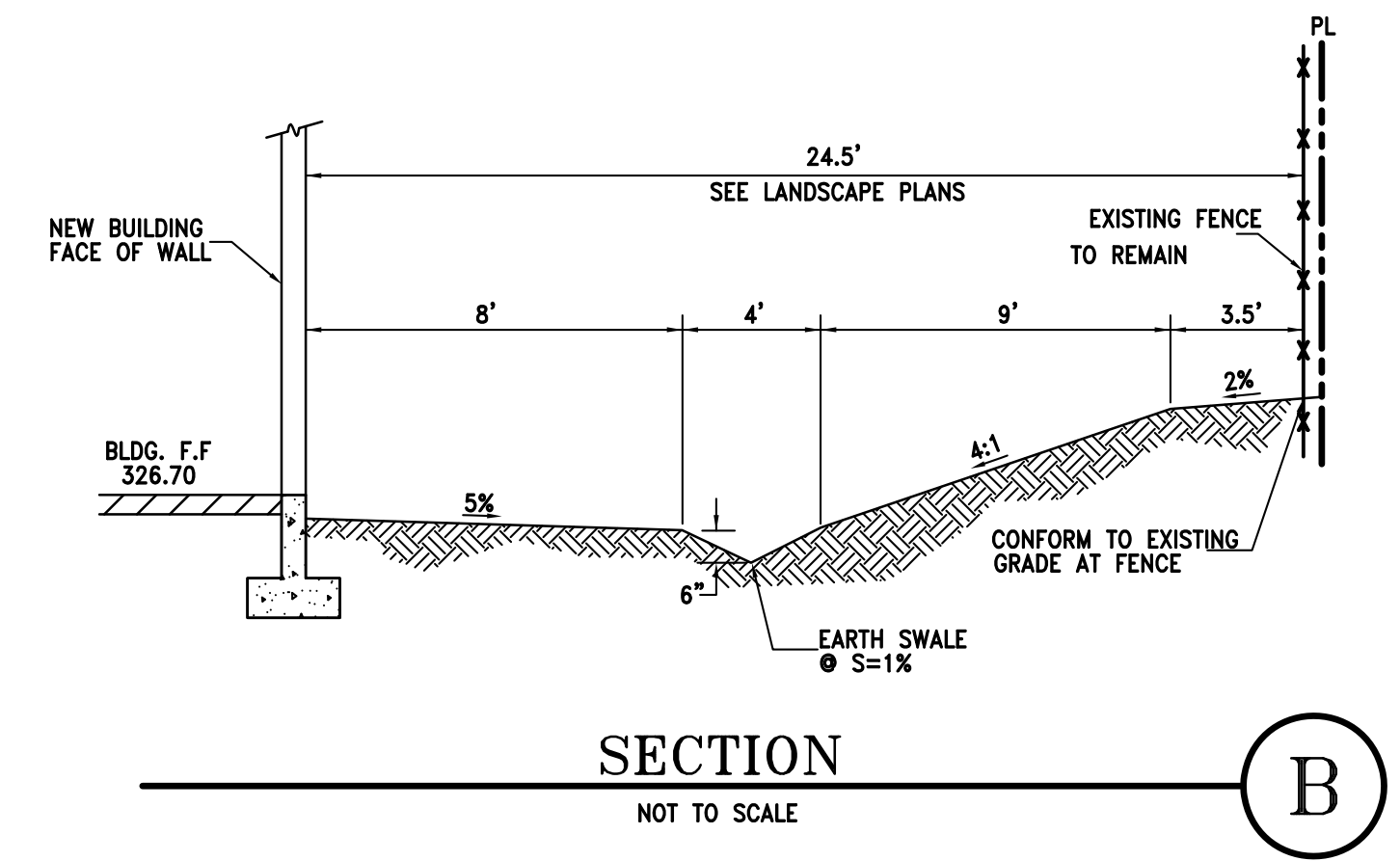
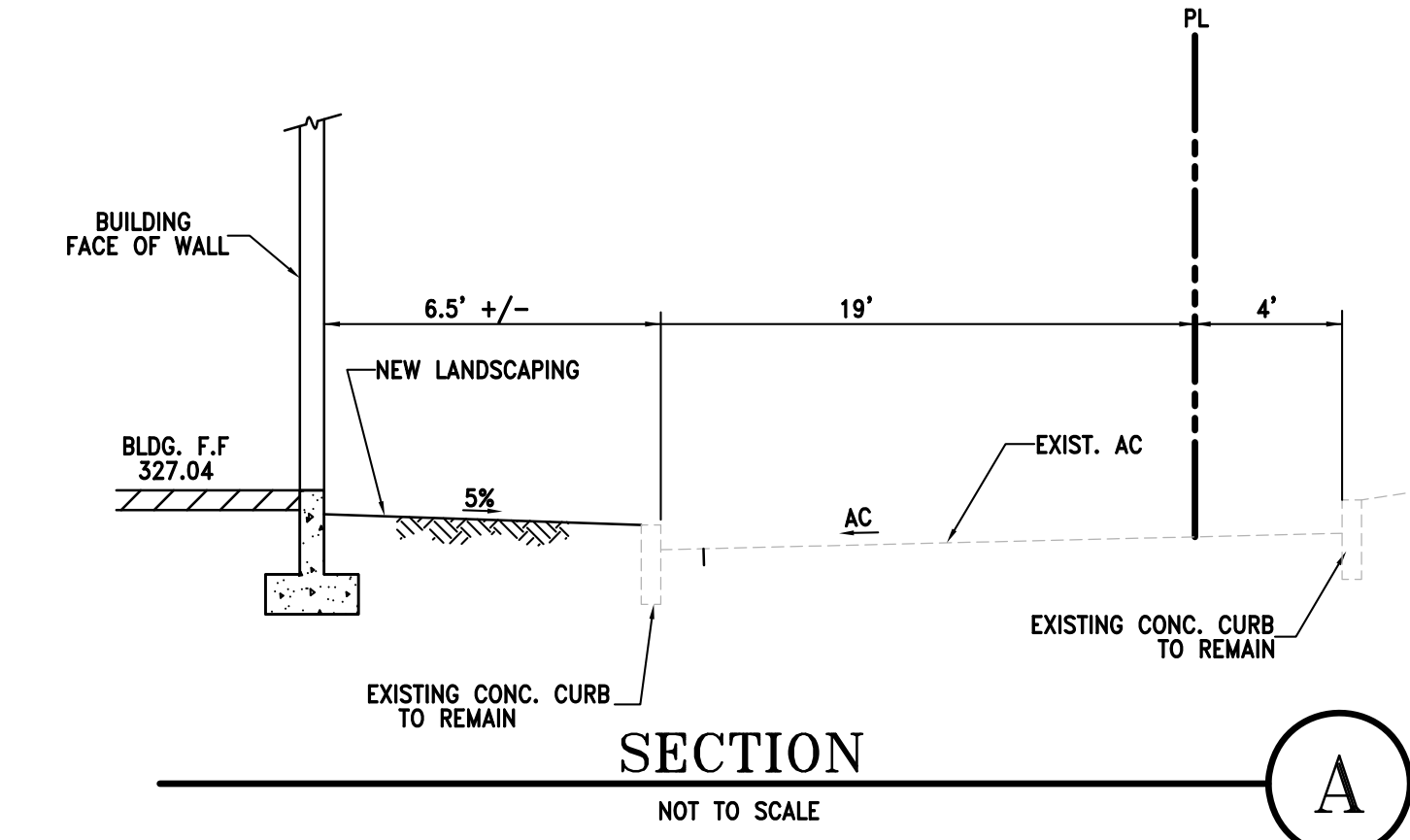
PA / PM: J. TERRY / D. CLARK
 DRAWN BY:
 JOB NO.: SNR11-0001

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LEGEND

- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- X"SD STORM DRAIN LINE
- TC TOP OF CURB
- ▨ AC PAVEMENT
- ▩ AC OVERLAY



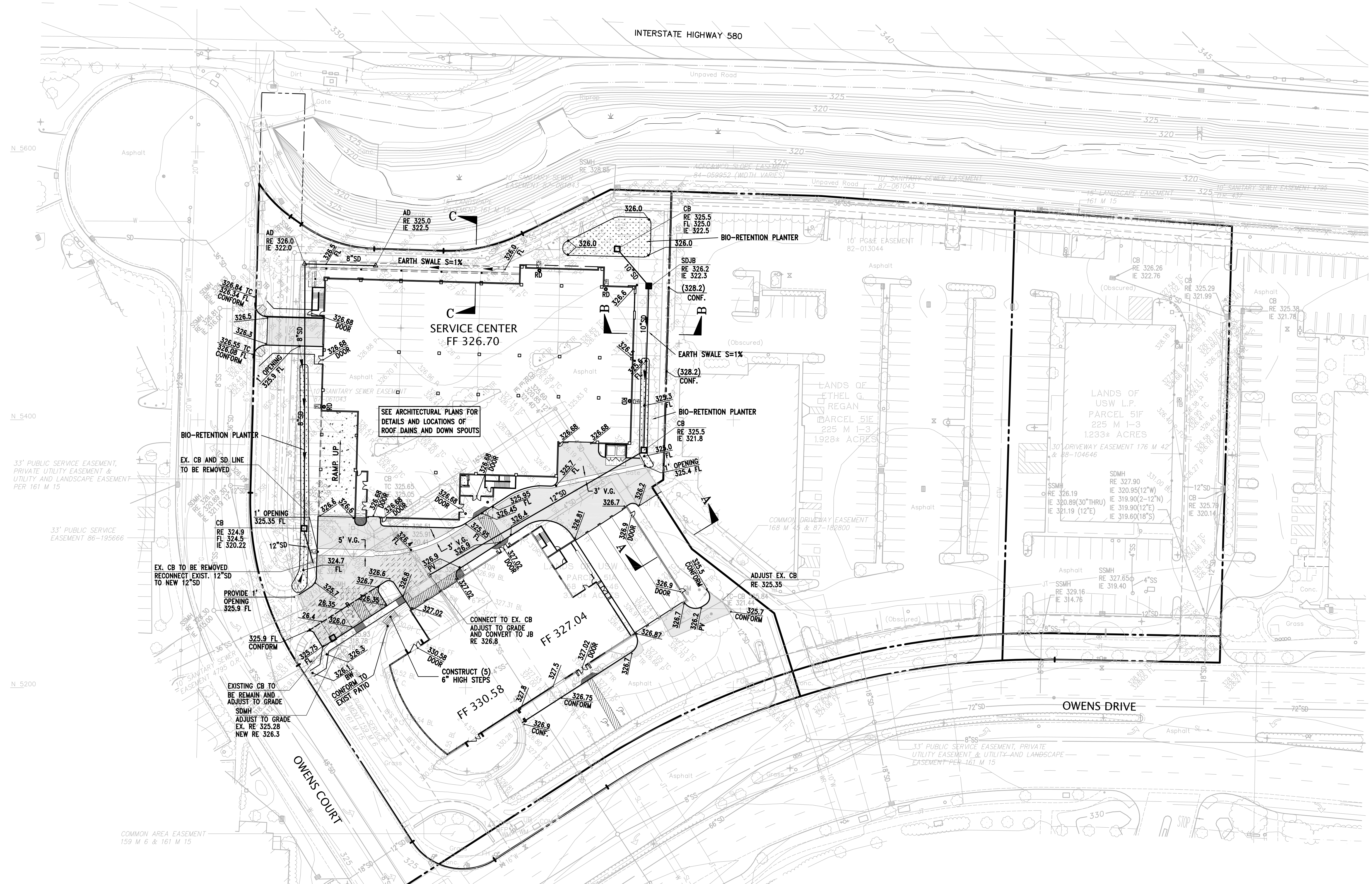
- NOTES:**
1. PLANTERS SHALL BE GRADED TO DRAIN TOWARD OUTLET AT A MINIMUM SLOPE OF 0.3%
 2. ALL PERFORATED PIPE SHALL HAVE A MINIMUM OF THREE 3/4" DIA. HOLES EVENLY SPACED ALONG THE CIRCUMFERENCE OF THE PIPE AND NOT LESS THAN THREE HOLES PER LINEAL FOOT OF PIPE.
 3. FOR THE SOIL/FILTER/PLANTING MATERIAL, USE A UNIFORM MIX WITH NO MORE THAN 5% CLAY CONTENT, 50% - 60% CONSTRUCTION SAND, 20% - 30% COMPOST, AND 20% - 30% TOPSOIL, FREE OF STONES, STUMPS, ROOTS, OR SIMILAR OBJECTS, AND ALSO FREE OF NOXIOUS WEEDS.

INFILTRATION PLANTER AREA
N. T. S.

1

UNDER DRAIN IN INFILTRATION PLANTER AREA
NOT TO SCALE

2

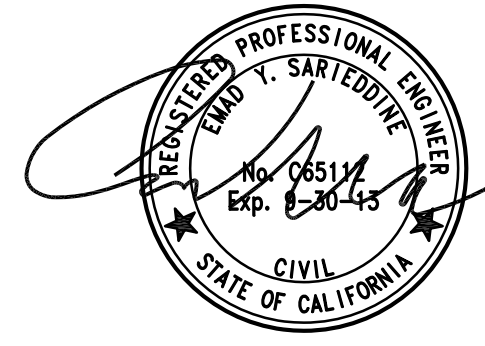


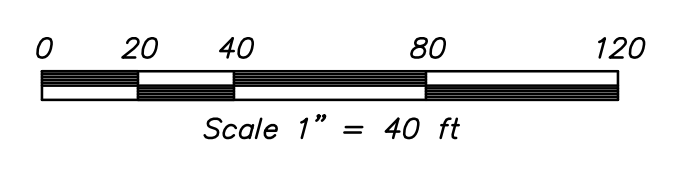
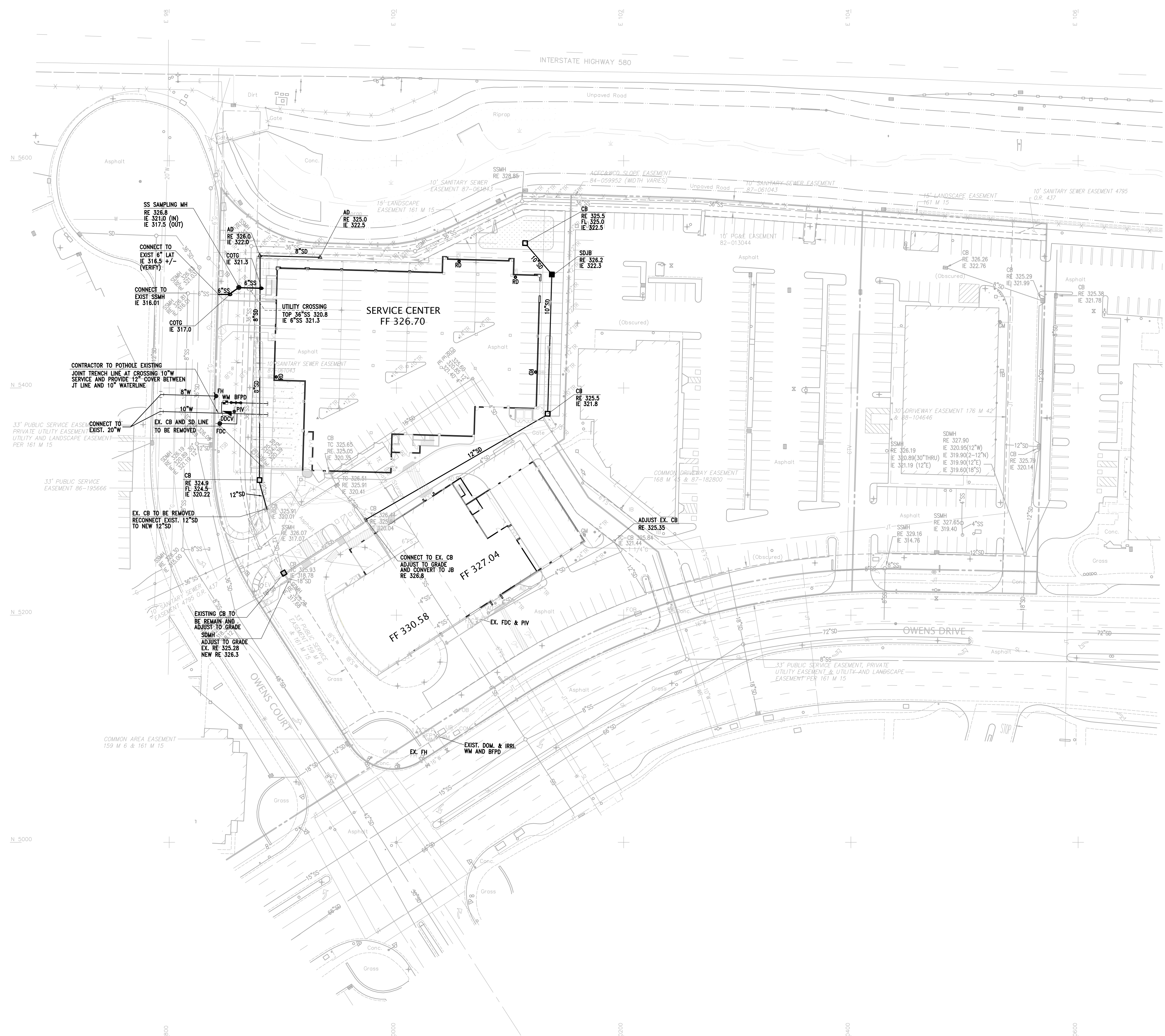
NO.	BY	NO.	REVISION
1	SHM	1	PLANNING RE-SUBMITTAL 11/14/2011
2	EYS	2	PLANNING RE-SUBMITTAL 11/14/2011
3	EYS	3	PLANNING RE-SUBMITTAL 11/14/2011
4	EYS	4	PLANNING RE-SUBMITTAL 11/14/2011
5	EYS	5	PLANNING RE-SUBMITTAL 11/14/2011
6	EYS	6	PLANNING RE-SUBMITTAL 11/14/2011
7	EYS	7	PLANNING RE-SUBMITTAL 11/14/2011
8	EYS	8	PLANNING RE-SUBMITTAL 11/14/2011
9	EYS	9	PLANNING RE-SUBMITTAL 11/14/2011
10	EYS	10	PLANNING RE-SUBMITTAL 11/14/2011

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2650 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
Fax (925) 245-8796

PRELIMINARY GRADING AND DRAINAGE PLAN
OF
5871 & 5885 OWENS DRIVE
FOR
WARE MALCOMB

DATE	AUGUST, 2011
SCALE	1" = 40'
DESIGNER	EYS
JOB NO.	A11504
SHEET	C2
OF	SHEETS





LEGEND

- ASR AUTOMATIC SPRINKLER RISER
- BACK FLOW PREVENTION DEVICE
- EXISTING UTILITY TO BE ABANDONED BY REMOVAL
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT & VALVE
- FS FIRE SERVICE
- POST INDICATOR VALVE
- SS SANITARY SEWER
- SANITARY SEWER CLEANOUT TO GRADE
- SSMH SANITARY SEWER MANHOLE
- SINGLE CHECK VALVE
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- SDMH STORM DRAIN MANHOLE
- X"SD STORM DRAIN LINE
- SDMH STORM DRAIN MANHOLE
- WM WATER METER
- WS WATER SERVICE

NO.	BY	REVISION
1	SHM	HACIENDA BUS PARK SUBMITTAL 8/17/2011
2	EYS	PLANNING SUBMITTAL 10/04/2011
3	EYS	PLANNING RE-SUBMITTAL 11/14/2011

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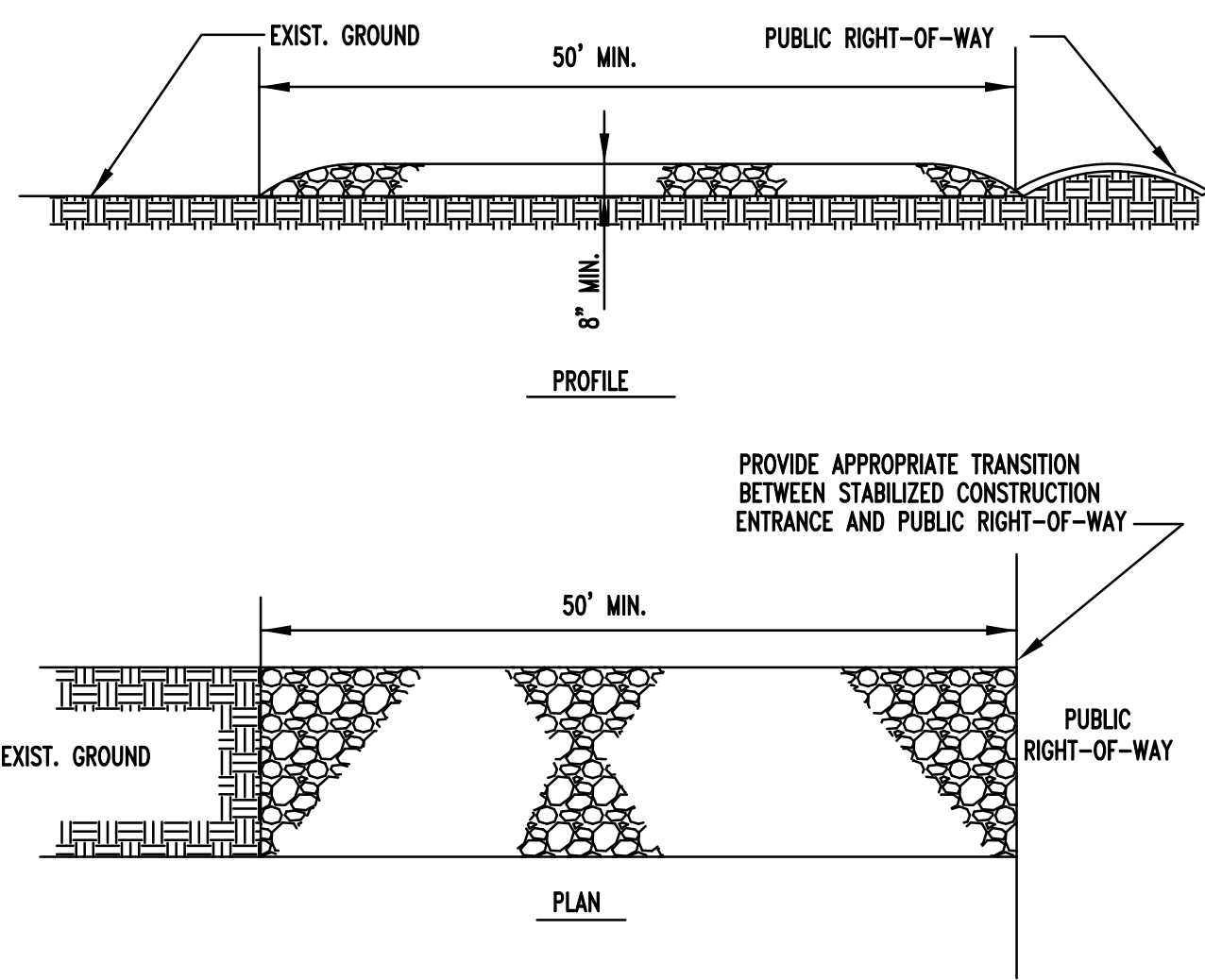
CALIFORNIA

PRELIMINARY UTILITY PLAN
 OF
5871 & 5885 OWENS DRIVE
 FOR
WARE MALCOMB

PLEASANTON, CALIFORNIA

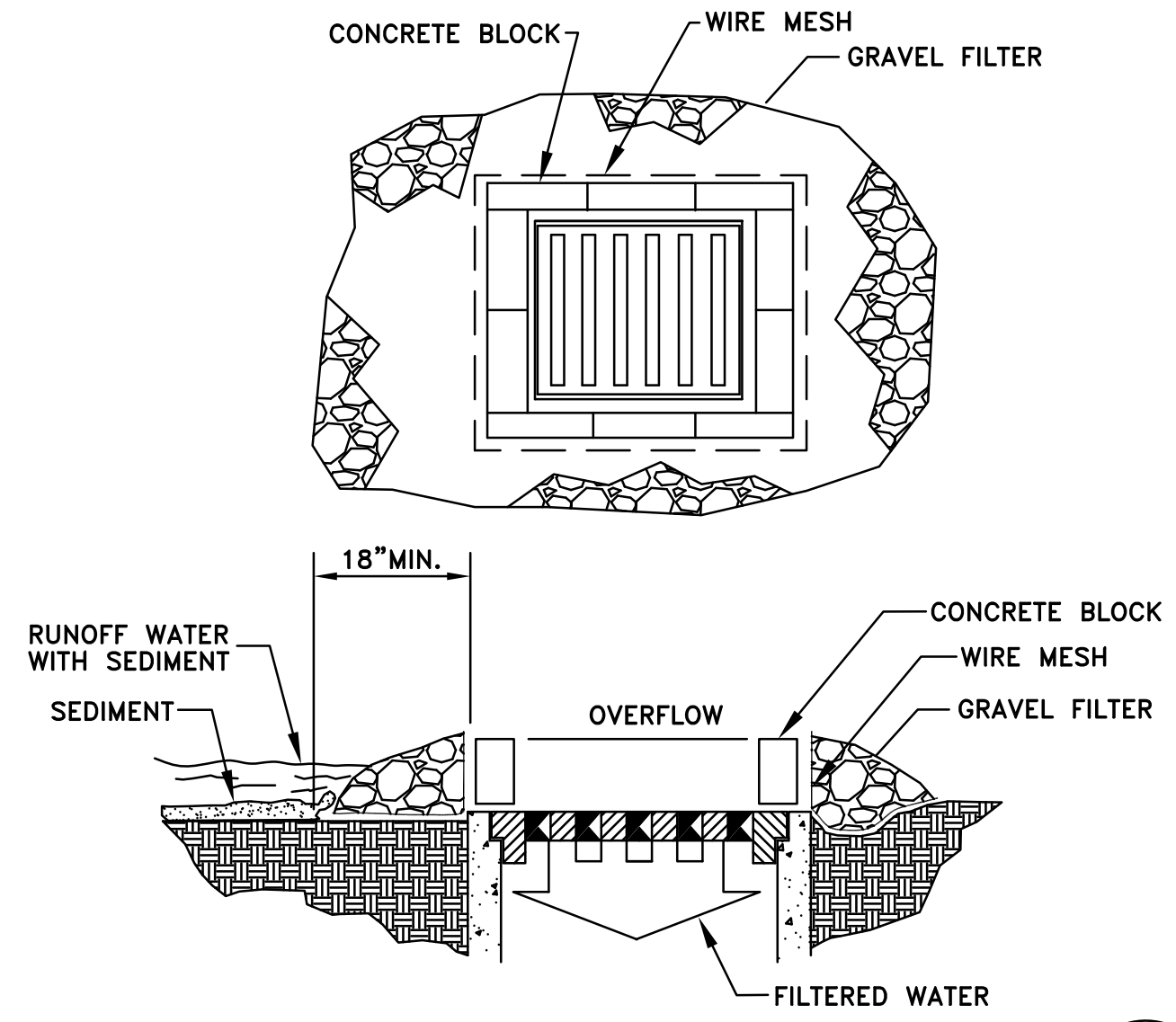
DATE	AUGUST, 2011
SCALE	1" = 40'
DESIGNER	EYS
JOB NO.	A11504
SHEET	C3
OF	SHEETS





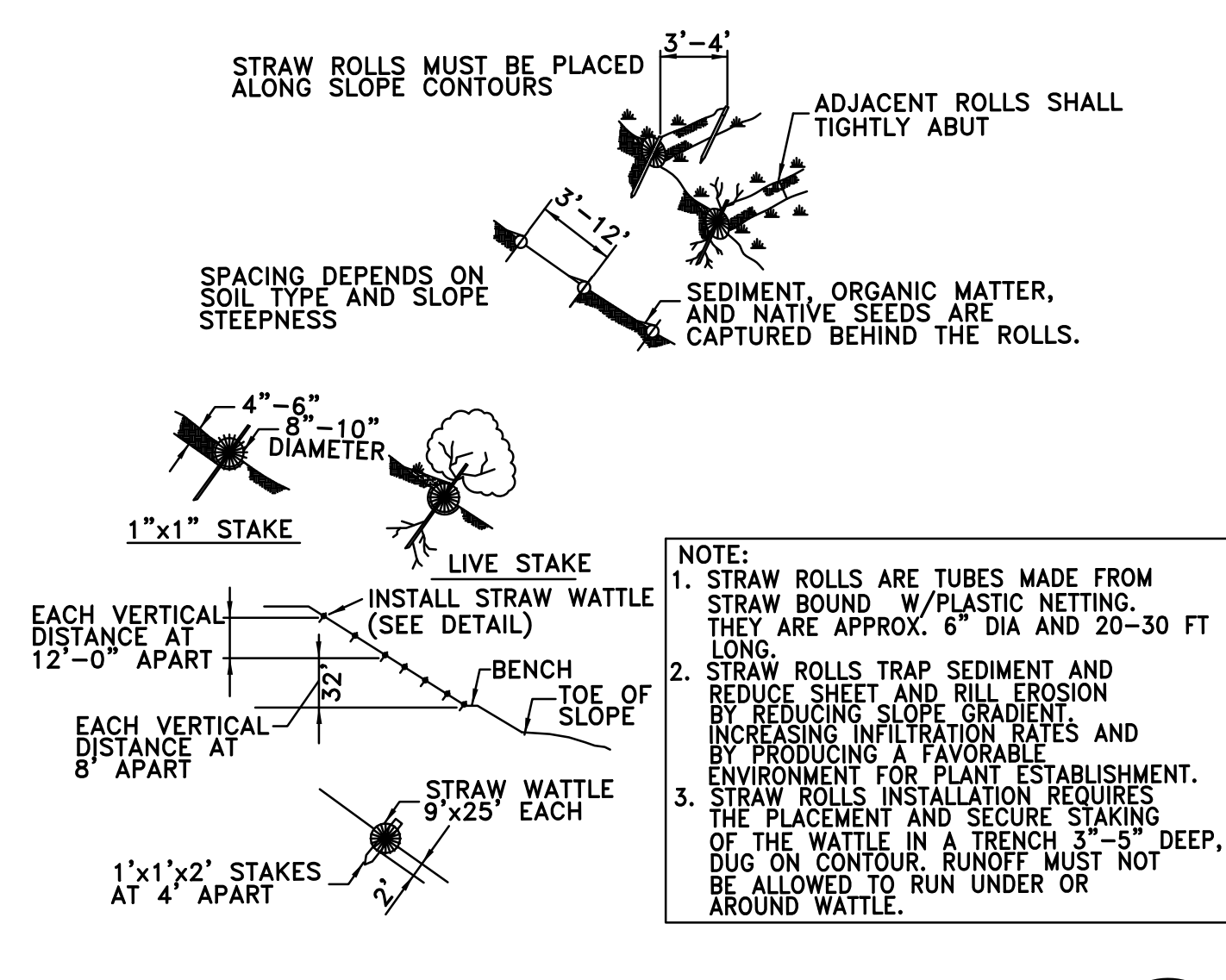
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

1



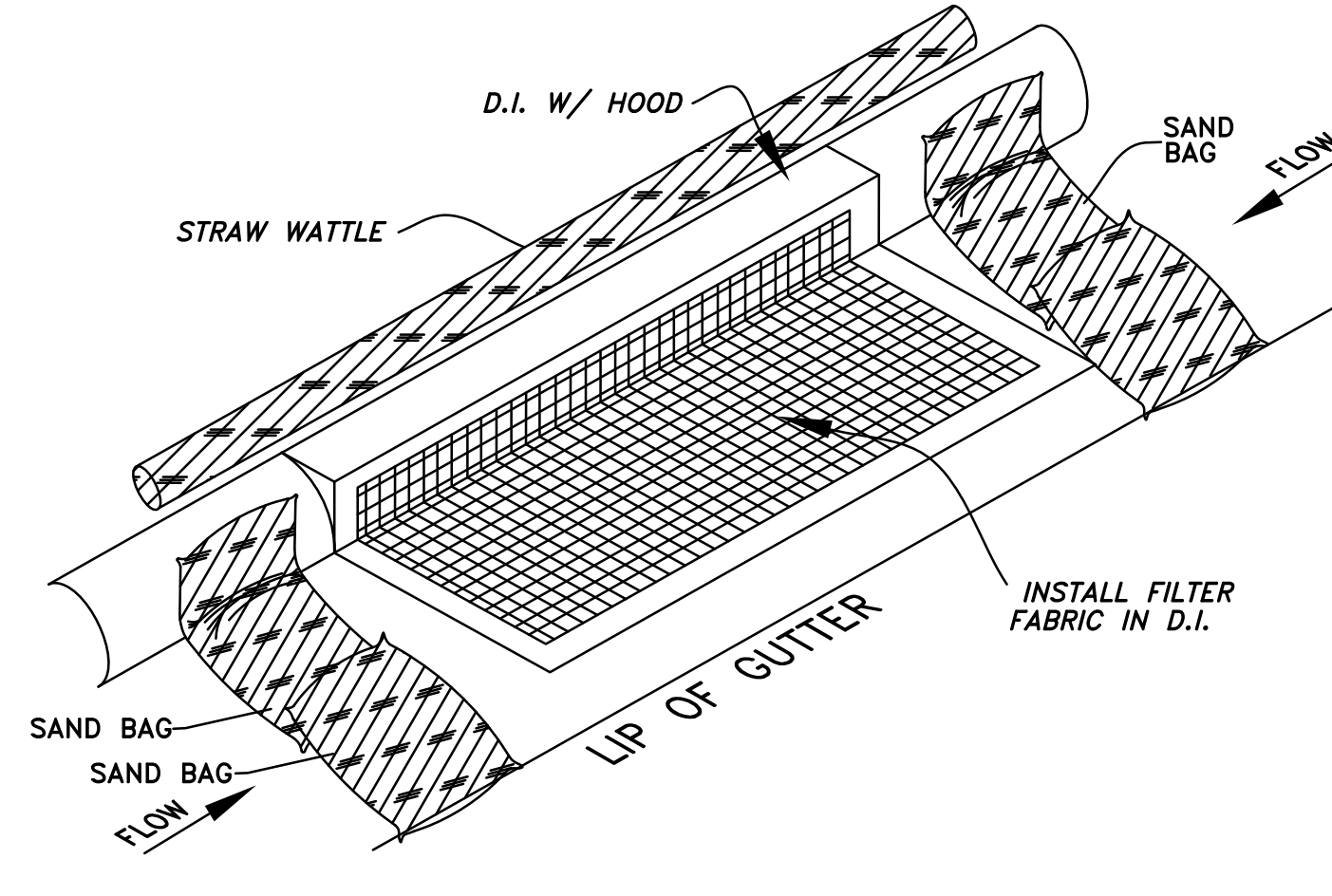
DROP INLET SEDIMENT FILTER
NOT TO SCALE

2



STRAW WATTLE
NOT TO SCALE

3



**EXISTING CURB
INLET FILTER DETAIL**
NOT TO SCALE

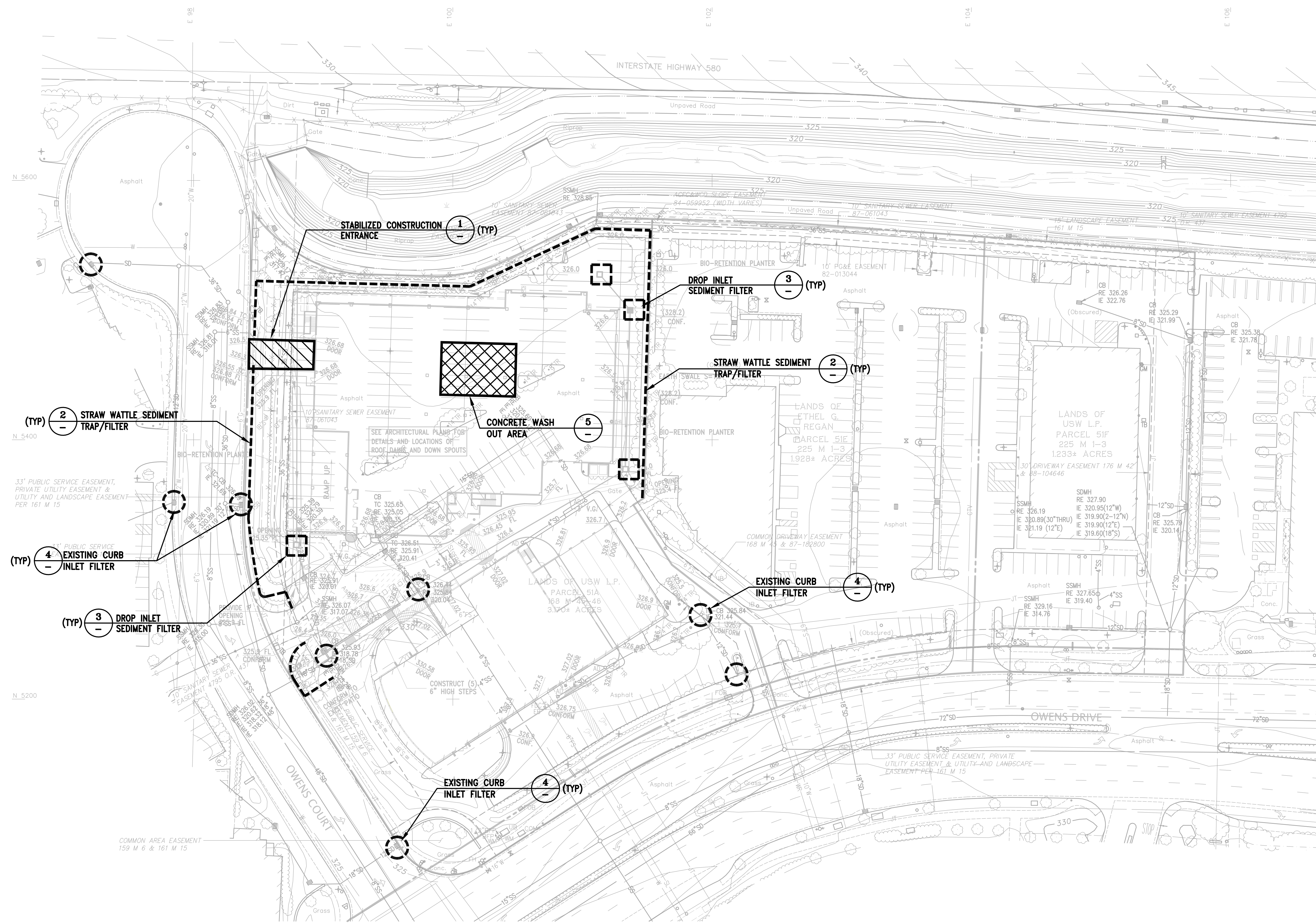
4

NORTH

0 20 40 80 120
Scale 1" = 40 ft

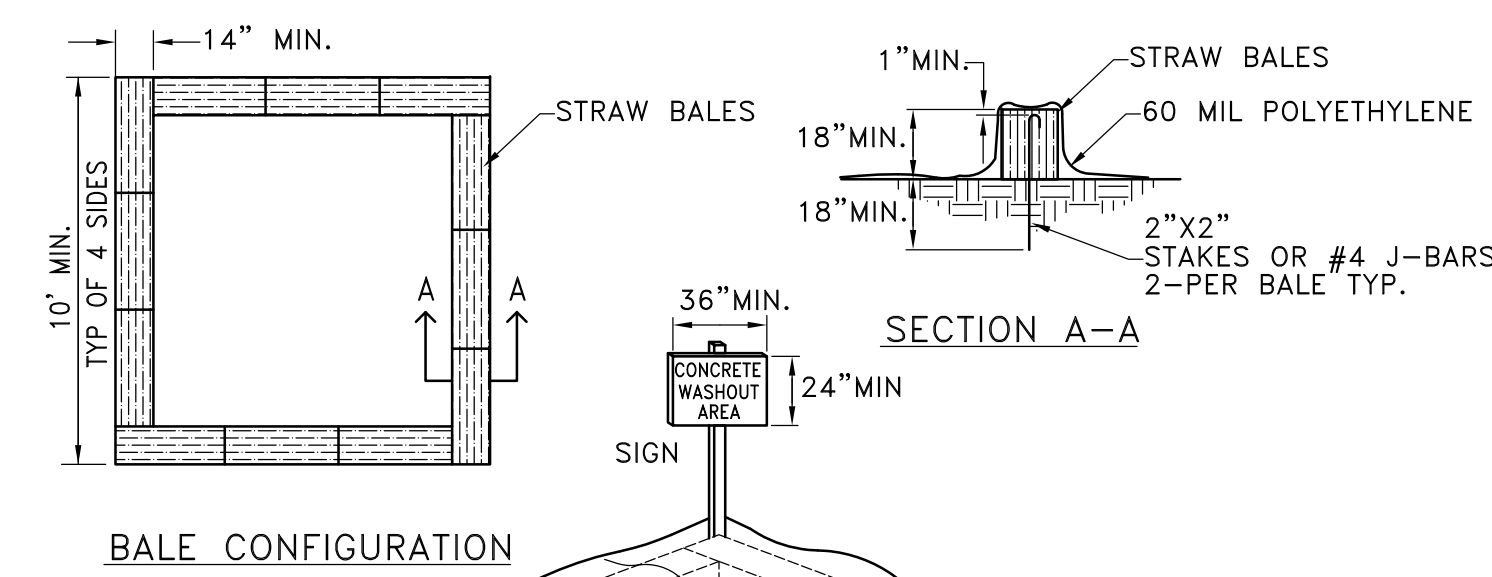
LEGEND

	1	STABILIZED CONSTRUCTION ENTRANCE
	2	STRAW WATTLE SEDIMENT TRAP/FILTER
	3	DROP INLET SEDIMENT FILTER
	4	EXISTING CURB INLET FILTER
	5	CONCRETE WASH OUT AREA

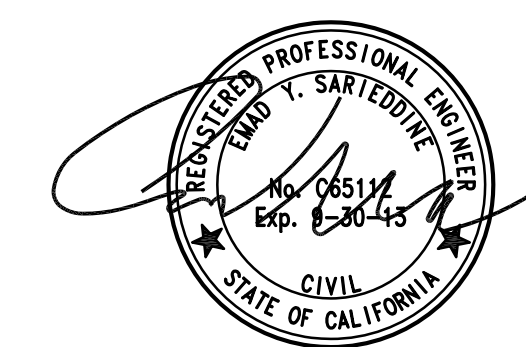


EROSION & SEDIMENT CONTROL MEASURES

- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON (OCT. 15 TO APRIL 15).
- AFTER THE UNDERGROUND STORM DRAIN SYSTEM IS INSTALLED, THE CATCH BASINS WILL BE INSTALLED (AS SOON AS PRACTICAL) AND STRAW BALES WILL BE PLACED AROUND THOSE CATCH BASINS AS SHOWN ON THIS PLAN UNTIL THIS SITE IS PAVED.
- SHOULD THE ON-SITE STORM DRAINS NOT BE INSTALLED COMPLETELY BY OCTOBER 15, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS AT THE EXISTING STORM PIPES STUBBED TO THE SITE.
- PERSON RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION PLAN.
NAME: XXX
ADDRESS: XXX
TELEPHONE: XXX
- THE CONTRACTOR SHALL PLACE DRAIN ROCK AS A GRAVEL ROADWAY (6" MIN. THICK FOR THE FULL WIDTH AND 50 FEET LONG) AT EACH D/W ENTRANCE TO SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THAT SAME DAY AND AS REQUIRED BY THE CITY OF PLEASANTON.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE CITY ENGINEER.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUN-OFF TO ANY STORM DRAINAGE SYSTEM.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO THE SEPTEMBER FIRST OF EACH SUBSEQUENT YEAR UNTIL THE SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
- ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
- SEDIMENT BASINS SHALL BE CLEANED OUT WHENEVER SEDIMENT REACHES THE SEDIMENT CLEANOUT LEVEL INDICATED ON THE PLANS.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
- ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERBANK FLOW.
- INLETS WHICH ARE NOT USED IN CONJUNCTION WITH STRAW BALES OR SEDIMENT BASINS SHOULD BE COVERED, OR OTHERWISE ADJUSTED TO PREVENT INFLOW, UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO ANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF THE ENGINEER.
- DETAILS FOR THE CONSTRUCTION OF FACILITIES ARE SHOWN ON THESE PLANS.
- THIS PLAN IS INTENDED TO BE USED FOR EROSION CONTROL ONLY. OTHER INFORMATION SHOWN HEREIN MAY NOT BE THE MOST CURRENT. SEE SHEET C2 FOR OTHER INFORMATION.



- CONCRETE WASHOUT**
NOT TO SCALE
- 5
- NOTES
- FACE SIGN TOWARDS NEAREST STREET OR ACCESS POINT.
 - CONCRETE WASHOUT SHALL BE LOCATED BEHIND THE CURB AND 50 FT. MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES.



NO.	REVISION	BY	DATE
1	PLANNING SUBMITTAL 10/04/2011	SHM	EYS
2	PLANNING RE-SUBMITTAL 11/14/2011	EYS	EYS
3	HACIENDA BUS. PARKS SUBMITTAL 8/17/2011	SHM	EYS
4			

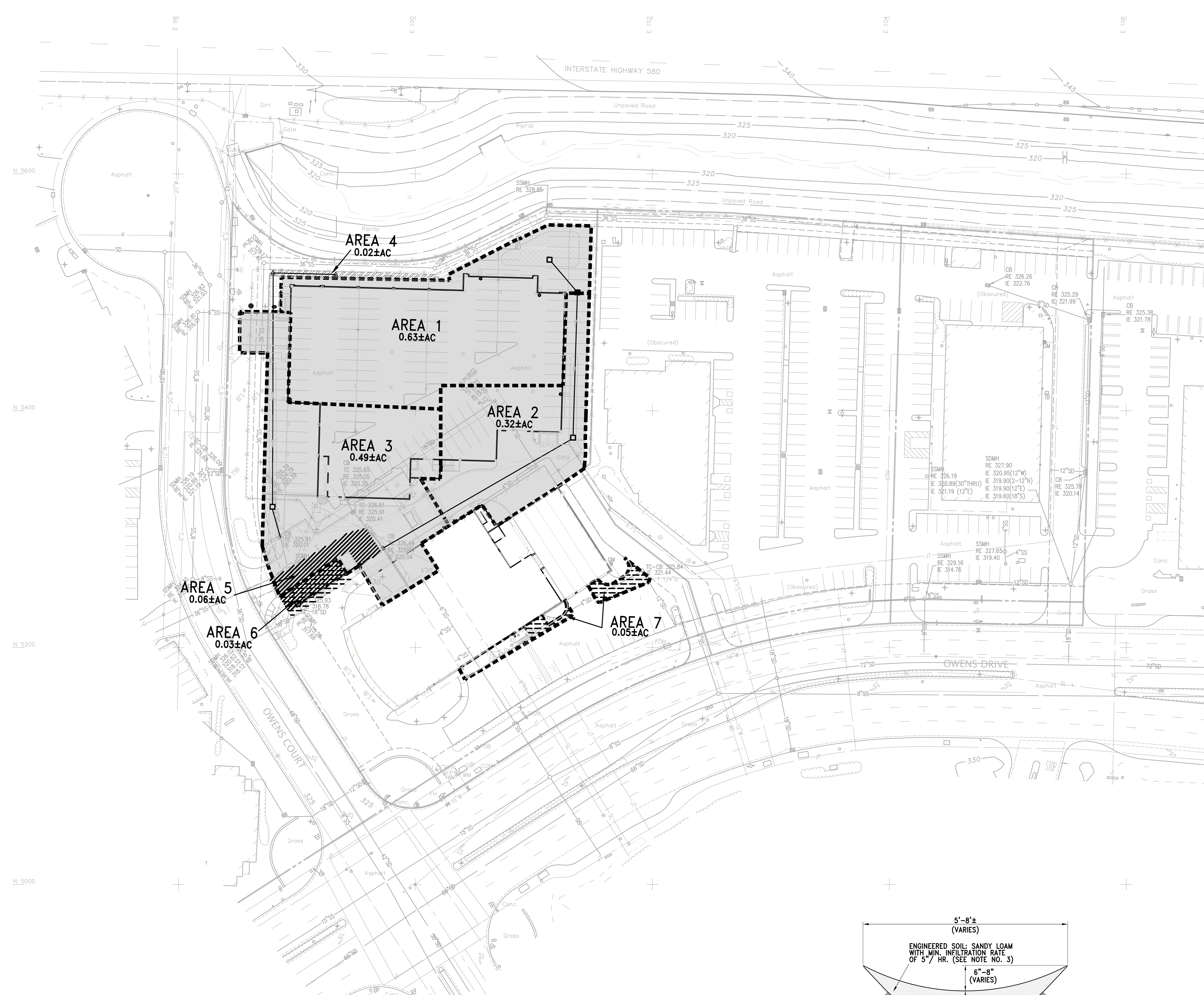
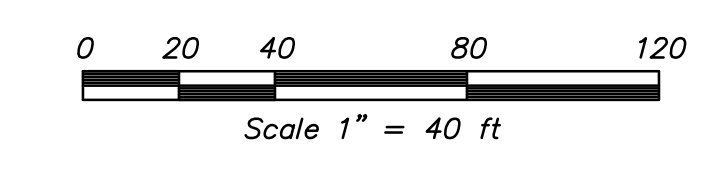
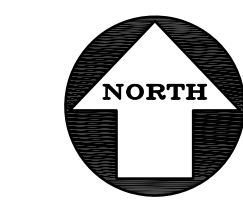
**EROSION CONTROL PLAN
OF
5871 & 5885 OWENS DRIVE
FOR
WARE MALCOMB**

CALIFORNIA

PLEASANTON.

DATE	AUGUST, 2011
SCALE	1" = 40'
DESIGNER	EYS
JOB NO.	A11504
SHEET	C4
OF	SHEETS

5



LEGEND

- ▲ AREA DRAIN
- CATCH BASIN
- FL FLOW LINE
- PV PAVEMENT
- RE RIM ELEVATION
- 403.8 SPOT ELEVATION
- SD STORM DRAIN LINE
- TC TOP OF CURB

	ACRES	% OF AREA
BIORETENTION PLANTER		
AREA TREATED BY BIORETENTION PLANTER	1.44	94%
SELF RETAINING AREAS (LANDSCAPE AREA)	0.02	1.0%
UNTREATED AREA	0.08	5%
AC OVERLAY / UNDISTURBED AREA	0.06	
TOTAL TREATED AREA	1.46	100%

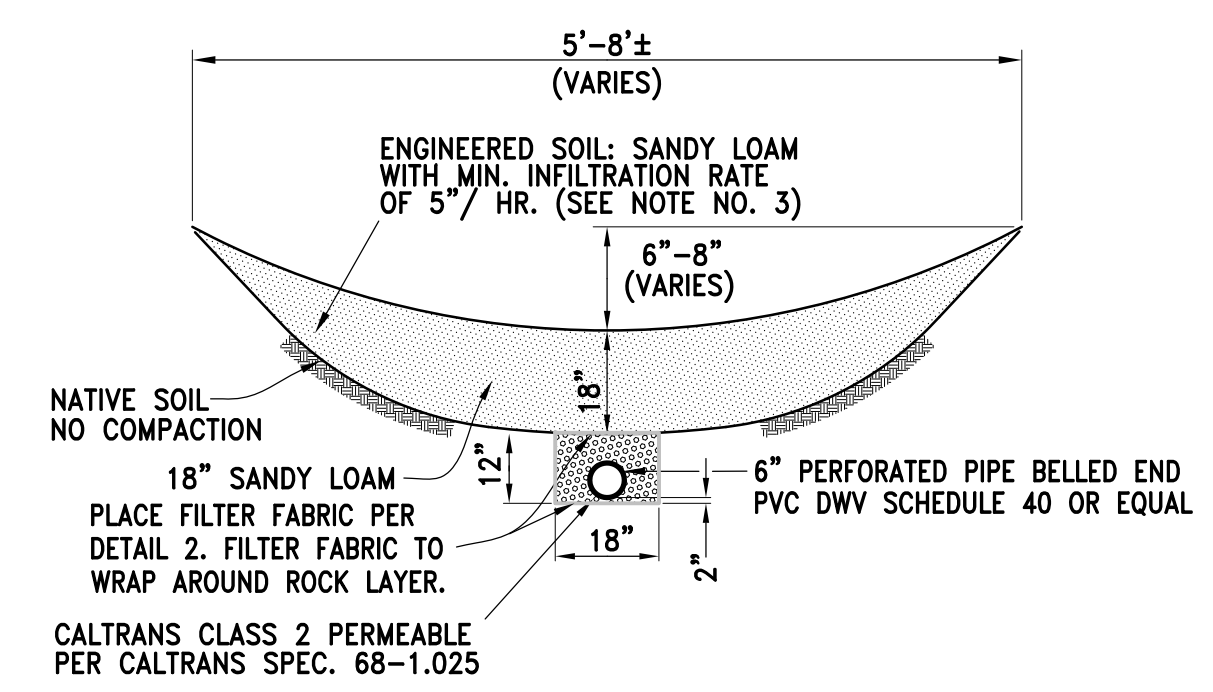
BIORETENTION SIZING CALCULATIONS

Sub-Area BMP Summary

See Section 5 of the Alameda County Cleanwater Program's (ACCPW) "C.3 Stormwater Technical Guidance" For more

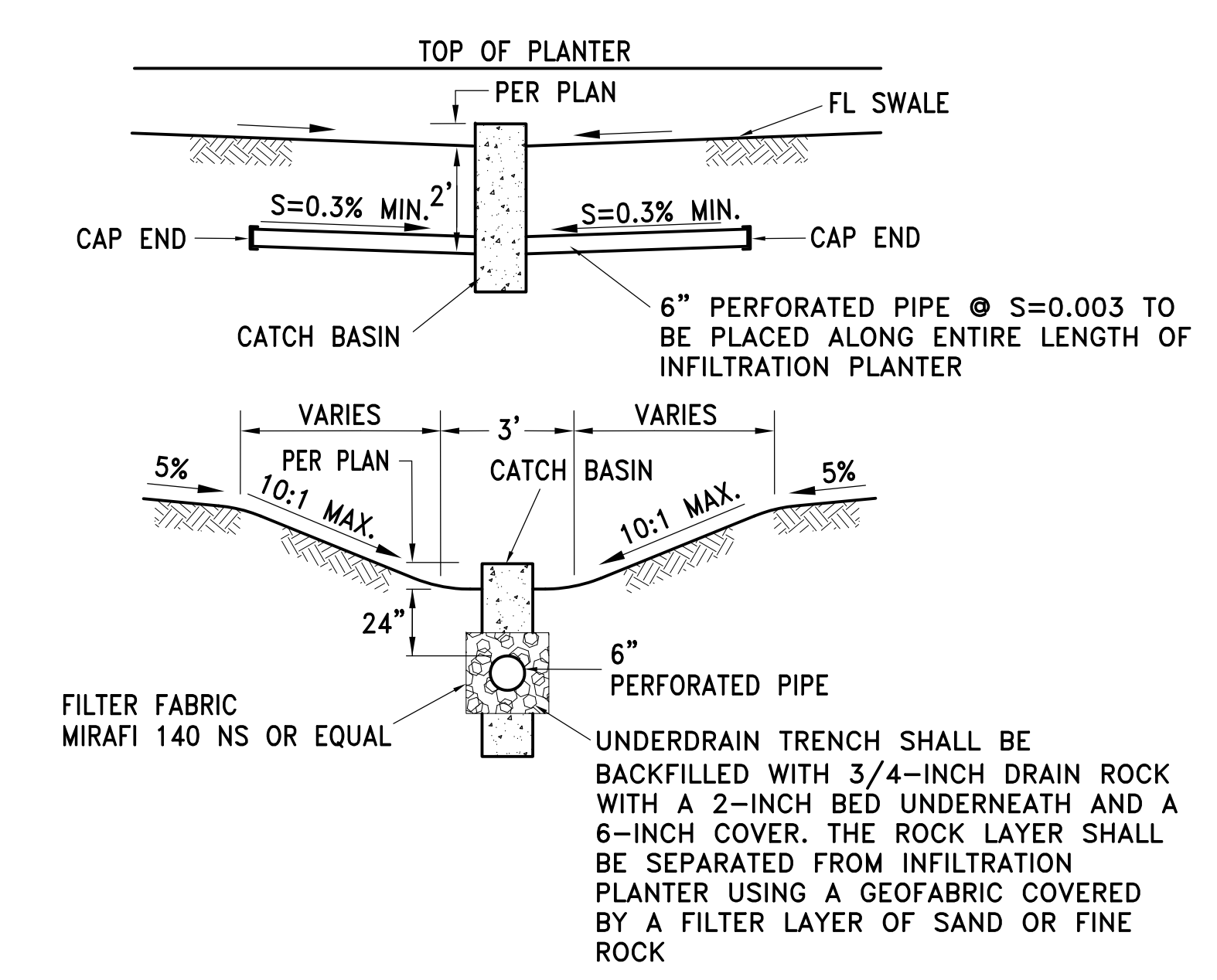
Area ID No.	TRIBUTARY AREA (ACRES)	TRIBUTARY AREA (SF)	LANDSCAPE AREA (SF)	IMPERVIOUS AREA (SF)	IMPERVIOUS AREA EQUIVALENT (SF)	BMP PROVIDED	BMP SIZE (SF)	SIZING FACTOR (BMP SIZE / IMP. AREA)
1	0.63	27,387	4,000	23,387	23,787	Bioretention Planter	1,500	0.063
2	0.32	14,015	2,700	11,315	11,585	Bioretention Planter	500	0.043
3	0.49	21,250	3,100	18,150	18,460	Bioretention Planter	1,000	0.054
4	0.02	897	897	0	N/A	Self Retaining	N/A	N/A
5	0.06	2,600	N/A	N/A	N/A	Asphalt Overlay/Undisturbed	N/A	N/A
6	0.03	1,175	N/A	N/A	N/A	Untreated	N/A	N/A
7	0.05	2,000	500	1,500	N/A	Untreated	N/A	N/A
TOTAL TREATED AREA	1.45	63348.00	10997.00	54352.00	53832.00	0.00	3000.00	0.16

TOTAL SITE AREA 138,085 SF
 DISTURBED AREA 66,524 SF (48.0%)
 UNDISTURBED AREA 71,561 SF (52.0%)



- NOTES:
1. PLANTERS SHALL BE GRADED TO DRAIN TOWARD OUTLET AT A MINIMUM SLOPE OF 0.3%
 2. ALL PERFORATED PIPE SHALL HAVE A MINIMUM OF THREE 3/4" DIA. HOLES EVENLY SPACED ALONG THE CIRCUMFERENCE OF THE PIPE AND NOT LESS THAN THREE HOLES PER LINEAL FOOT OF PIPE.
 3. FOR THE SOIL/FILTER/ PLANTING MATERIAL, USE A UNIFORM MIX WITH NO MORE THAN 5% CLAY CONTENT, 50% - 60% CONSTRUCTION SAND, 20% - 30% COMPOST, AND 20% - 30% TOPSOIL, FREE OF STONES, STUMPS, ROOTS, OR SIMILAR OBJECTS, AND ALSO FREE OF NOXIOUS WEEDS.

INfiltration Planter Area
N. T. S.



UNDER DRAIN IN INFILTRATION Planter Area
NOT TO SCALE

NO.	BY	REVISION
1	SHM	HACIENDA BUS PARK SUBMITTAL 8/17/2011
2	EYS	PLANNING SUBMITTAL 10/04/2011
3	EYS	PLANNING RE-SUBMITTAL 11/14/2011

KIER & WRIGHT
 CIVIL ENGINEERS & SURVEYORS, INC.
 2550 Collier Canyon Road
 Livermore, California 94551
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STORM WATER QUALITY CONTROL PLAN
 OF
5871 & 5885 OWENS DRIVE
 FOR
WARE MALCOMB

CALIFORNIA
 PLEASANTON

DATE	AUGUST, 2011
SCALE	1" = 40'
DESIGNER	EYS
JOB NO.	A11504
SHEET	C5
OF	SHEETS









LEED 2009 for New Construction and Major Renovation
Project Scorecard

Project Name:
Project Address:

Yes ? No

Requirement	Score	Required
Prereq 1 Construction Activity Pollution Prevention	1	1
Credit 1 Site Selection	1	1
Credit 2 Development Density and Community Connectivity	5	5
Credit 3 Brownfield Redevelopment	1	1
Credit 4.1 Alternative Transportation - Public Transportation Access	6	6
Credit 4.2 Alternative Transportation - Bicycle Storage and Changing Rooms	1	1
Credit 4.3 Alternative Transportation - Low-Emitting and Fuel-Efficient Vehicles	3	3
Credit 4.4 Alternative Transportation - Parking Capacity	2	2
Credit 5.1 Site Development - Protect or Restore Habitat	1	1
Credit 5.2 Site Development - Maximize Open Space	1	1
Credit 6.1 Stormwater Design - Quantity Control	1	1
Credit 6.2 Stormwater Design - Quality Control	1	1
Credit 7.1 Heat Island Effect - Nonroof	1	1
Credit 7.2 Heat Island Effect - Roof	1	1
Credit 8 Light Pollution Reduction	1	1

Yes ? No

Requirement	Score	Required
Prereq 1 Water Use Reduction	4	4
Credit 1 Water Efficient Landscaping	2 to 4	2
<input checked="" type="checkbox"/> Reduce by 50%	2	2
<input type="checkbox"/> No Potable Water Use or Irrigation	4	4
Credit 2 Innovative Wastewater Technologies	2	2
Credit 3 Water Use Reduction	2 to 4	2
<input checked="" type="checkbox"/> Reduce by 30%	2	2
<input type="checkbox"/> Reduce by 35%	3	3
<input type="checkbox"/> Reduce by 40%	4	4

Yes ? No

Requirement	Score	Required
Prereq 1 Fundamental Commissioning of Building Energy Systems	1	1
Prereq 2 Minimum Energy Performance	1	1
Prereq 3 Fundamental Refrigerant Management	1	1
Credit 1 Optimize Energy Performance	1 to 19	10
<input type="checkbox"/> Improve by 12% for New Buildings or 8% for Existing Building Renovations	1	1
<input type="checkbox"/> Improve by 14% for New Buildings or 10% for Existing Building Renovations	2	2
<input type="checkbox"/> Improve by 16% for New Buildings or 12% for Existing Building Renovations	3	3
<input type="checkbox"/> Improve by 18% for New Buildings or 14% for Existing Building Renovations	4	4
<input type="checkbox"/> Improve by 20% for New Buildings or 16% for Existing Building Renovations	5	5
<input type="checkbox"/> Improve by 22% for New Buildings or 18% for Existing Building Renovations	6	6
<input type="checkbox"/> Improve by 24% for New Buildings or 20% for Existing Building Renovations	7	7
<input type="checkbox"/> Improve by 26% for New Buildings or 22% for Existing Building Renovations	8	8
<input type="checkbox"/> Improve by 28% for New Buildings or 24% for Existing Building Renovations	9	9
<input checked="" type="checkbox"/> Improve by 30% for New Buildings or 26% for Existing Building Renovations	10	10
<input type="checkbox"/> Improve by 32% for New Buildings or 26% for Existing Building Renovations	11	11
<input type="checkbox"/> Improve by 34% for New Buildings or 30% for Existing Building Renovations	12	12
<input type="checkbox"/> Improve by 36% for New Buildings or 32% for Existing Building Renovations	13	13
<input type="checkbox"/> Improve by 38% for New Buildings or 34% for Existing Building Renovations	14	14
<input type="checkbox"/> Improve by 40% for New Buildings or 36% for Existing Building Renovations	15	15
<input type="checkbox"/> Improve by 42% for New Buildings or 38% for Existing Building Renovations	16	16
<input type="checkbox"/> Improve by 44% for New Buildings or 40% for Existing Building Renovations	17	17
<input type="checkbox"/> Improve by 46% for New Buildings or 42% for Existing Building Renovations	18	18
<input type="checkbox"/> Improve by 48%+ for New Buildings or 44%+ for Existing Building Renovations	19	19
Credit 2 On-Site Renewable Energy	1 to 7	2
<input type="checkbox"/> 1% Renewable Energy	1	1
<input type="checkbox"/> 3% Renewable Energy	2	2
<input type="checkbox"/> 5% Renewable Energy	3	3
<input type="checkbox"/> 7% Renewable Energy	4	4
<input type="checkbox"/> 9% Renewable Energy	5	5
<input type="checkbox"/> 11% Renewable Energy	6	6
<input type="checkbox"/> 13% Renewable Energy	7	7
Credit 3 Enhanced Commissioning	2	2
Credit 4 Enhanced Refrigerant Management	2	2
Credit 5 Measurement and Verification	3	3
Credit 6 Green Power	2	2

EXHIBIT B
PUD-85-08-02D-03M
Received November 15, 2011



LEED 2009 for New Construction and Major Renovation Project Scorecard

Project Name:
Project Address:

Yes ? No
Yes ? No

18			
<input type="checkbox"/>	Prereq 1	Storage and Collection of Recyclables	Required
<input checked="" type="checkbox"/>	Credit 1.1	Building Reuse - Maintain Existing Walls, Floors and Roof	1 to 3
		<input type="checkbox"/> Reuse 55%	1
		<input checked="" type="checkbox"/> Reuse 75%	2
		<input type="checkbox"/> Reuse 95%	3
<input checked="" type="checkbox"/>	Credit 1.2	Building Reuse - Maintain Interior Nonstructural Elements	1
<input checked="" type="checkbox"/>	Credit 2	Construction Waste Management	1 to 2
		<input type="checkbox"/> 50% Recycled or Salvaged	1
		<input type="checkbox"/> 75% Recycled or Salvaged	2
<input checked="" type="checkbox"/>	Credit 3	Materials Reuse	1 to 2
		<input checked="" type="checkbox"/> Reuse 5%	1
		<input type="checkbox"/> Reuse 10%	2
<input checked="" type="checkbox"/>	Credit 4	Recycled Content	1 to 2
		<input type="checkbox"/> 10% of Content	1
		<input checked="" type="checkbox"/> 20% of Content	2
<input checked="" type="checkbox"/>	Credit 5	Regional Materials	1 to 2
		<input type="checkbox"/> 10% of Materials	1
		<input checked="" type="checkbox"/> 20% of Materials	2
<input checked="" type="checkbox"/>	Credit 6	Rapidly Renewable Materials	1
<input checked="" type="checkbox"/>	Credit 7	Certified Wood	1
Yes ? No			

18			
<input type="checkbox"/>	Prereq 1	Minimum Indoor Air Quality Performance	Required
<input type="checkbox"/>	Prereq 2	Environmental Tobacco Smoke (ETS) Control	Required
<input checked="" type="checkbox"/>	Credit 1	Outdoor Air Delivery Monitoring	1
<input checked="" type="checkbox"/>	Credit 2	Increased Ventilation	1
<input checked="" type="checkbox"/>	Credit 3.1	Construction Indoor Air Quality Management Plan - During Construction	1
<input checked="" type="checkbox"/>	Credit 3.2	Construction Indoor Air Quality Management Plan - Before Occupancy	1
<input checked="" type="checkbox"/>	Credit 4.1	Low-Emitting Materials - Adhesives and Sealants	1
<input checked="" type="checkbox"/>	Credit 4.2	Low-Emitting Materials - Paints and Coatings	1
<input checked="" type="checkbox"/>	Credit 4.3	Low-Emitting Materials - Flooring Systems	1
<input checked="" type="checkbox"/>	Credit 4.4	Low-Emitting Materials - Composite Wood and Agrifiber Products	1
<input checked="" type="checkbox"/>	Credit 5	Indoor Chemical and Pollutant Source Control	1
<input checked="" type="checkbox"/>	Credit 6.1	Controllability of Systems - Lighting	1
<input checked="" type="checkbox"/>	Credit 6.2	Controllability of Systems - Thermal Comfort	1
<input checked="" type="checkbox"/>	Credit 7.1	Thermal Comfort - Design	1
<input checked="" type="checkbox"/>	Credit 7.2	Thermal Comfort - Verification	1
<input checked="" type="checkbox"/>	Credit 8.1	Daylight and Views - Daylight	1
<input checked="" type="checkbox"/>	Credit 8.2	Daylight and Views - Views	1
Yes ? No			

12			
<input checked="" type="checkbox"/>	Credit 1	Innovation in Design	1 to 5
		<input type="checkbox"/> Innovation or Exemplary Performance	1
		<input type="checkbox"/> Innovation or Exemplary Performance	1
		<input type="checkbox"/> Innovation or Exemplary Performance	1
		<input type="checkbox"/> Innovation	1
		<input type="checkbox"/> Innovation	1
<input checked="" type="checkbox"/>	Credit 2	LEED Accredited Professional	1
Yes ? No			

<input checked="" type="checkbox"/>	Credit 1	Regional Priority	1 to 4
		<input type="checkbox"/> Regionally Defined Credit Achieved	1
		<input type="checkbox"/> Regionally Defined Credit Achieved	1
		<input type="checkbox"/> Regionally Defined Credit Achieved	1
		<input type="checkbox"/> Regionally Defined Credit Achieved	1
Yes ? No			

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PROJECT TOTALS (Certification Estimates) 110 Points

Certified: 40-49 points Silver: 50-59 points Gold: 60-79 points Platinum: 80+ points