

EXHIBIT B
 P12-1219
 RECEIVED
 JUL 19 2012
 CITY OF PLEASANTON
 PLANNING DIVISION

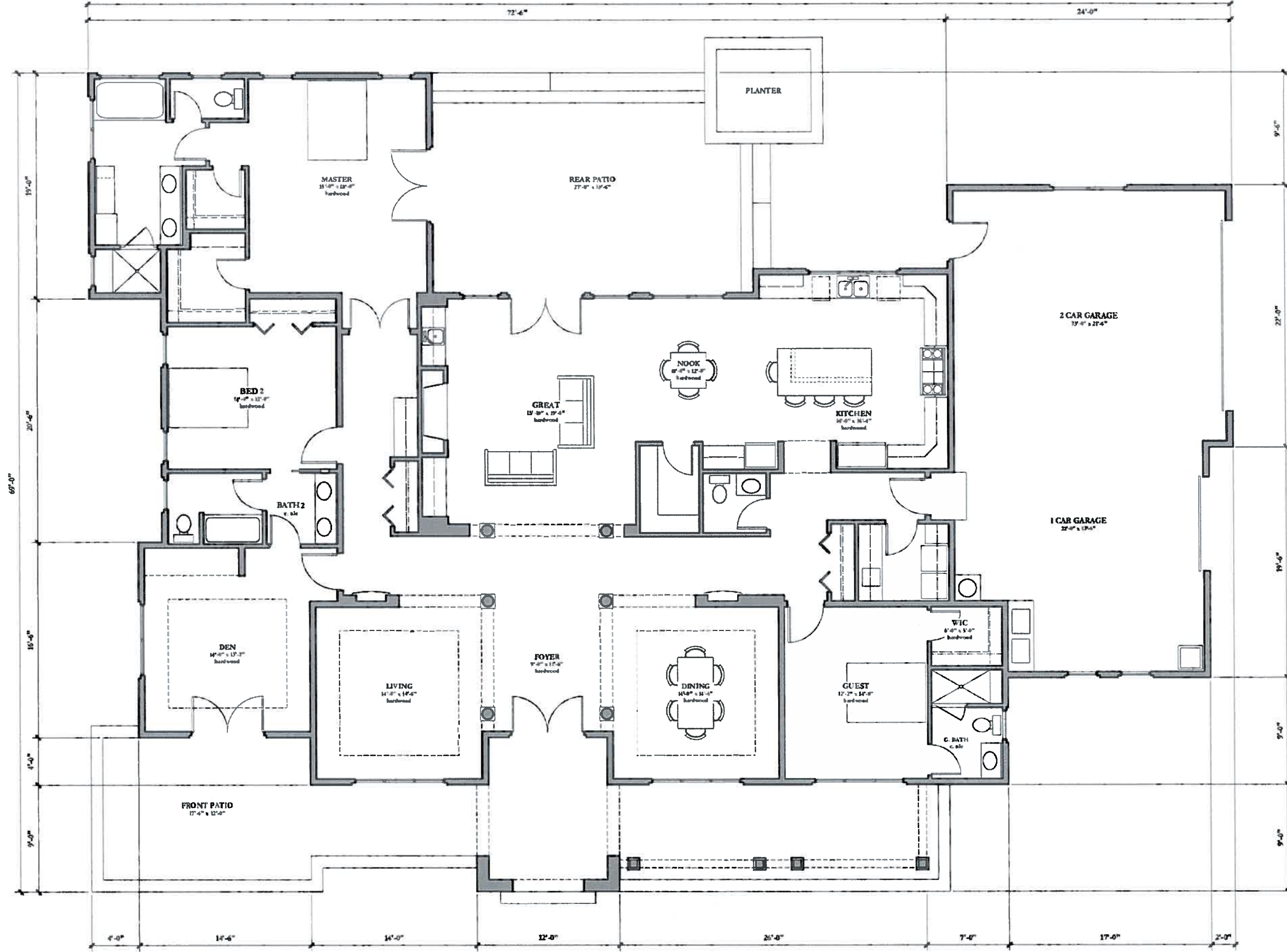
PROJECT DATA

FLOOR AREA	3,399 SQ. FT.
3 CAR GARAGE	918 SQ. FT.
COVERED PORCH	400 SQ. FT.
FRONT PATIO	345 SQ. FT.
REMAINING HARDSCAPE	3,909 SQ. FT.
TOTAL IMPERVIOUS SURFACE	8,931 SQ. FT.

SITE DATA

LOT AREA	26,332 SQ. FT.
FLOOR AREA RATIO	12.8 %
RESIDENCE FOOTPRINT	4,277 SQ. FT.
LOT COVERAGE BY RESIDENCE	16.2 %
CONSTRUCTION	V-B

REVISIONS
DOUGLAS J. HARWOOD CLASSIC HOME DESIGN 2157 FOURTH STREET LIVERMORE, CA 94550 (925) 787-8993
These drawings were prepared by Douglas J. Harwood, Designer.
SITE PLAN
THE CARBALLO RESIDENCE 59% KOLB RANCH DRIVE PLEASANTON, CALIFORNIA 94566
Date 7/2/12 Scale 1/16" = 1'-0" Drawn DJH Job 1102 Sheet
A1



FIRST FLOOR PLAN
 1/4" = 1'-0"
 3,359 SQ. FT.

REVISIONS

DOUGLAS J. HARWOOD
 CLASSIC HOME DESIGN
 2157 FOURTH STREET
 LIVERMORE, CA 94550
 (925) 787-4993

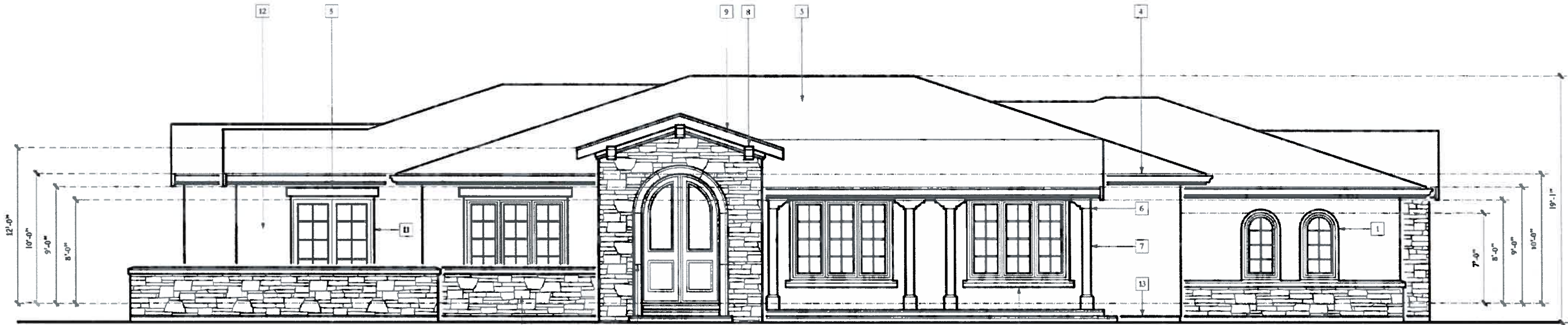
These drawings were prepared by Douglas J. Harwood, Designer.

FIRST FLOOR PLAN

THE CARBALLO RESIDENCE
 5976 KOLB RANCH DRIVE
 PLEASANTON, CALIFORNIA 94566

Date 7/2/12
 Scale
 Drawn DJH
 Job 1102
 Sheet

A2



FRONT ELEVATION

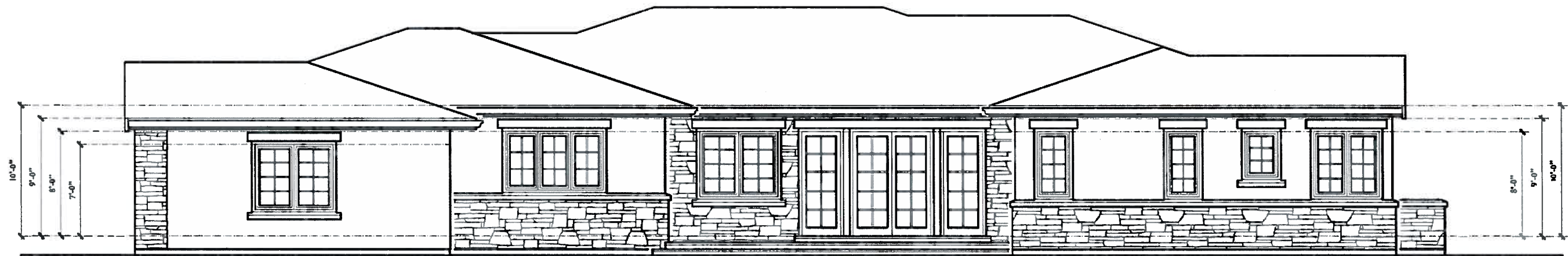
1/4" = 1'-0"

TOTAL WALL AREA = 606 SQ. FT.
STONE PROVIDED = 300 SQ. FT. - 50%

ELEVATION NOTES

VERIFY ALL PLATE AND HEADER HEIGHTS, ROOF PITCH AND DIMENSIONING PRIOR TO CONSTRUCTION. INFORM DESIGNER OF DISCREPANCIES.

1. Arch window radius = 1'-3". Recces radius 1'-6".
2. Eldorado Stone, Mountain Ledge - with precast wall cap or sill. Install per manufacturer's requirements.
3. Lightweight concrete barrel tile roof. Install per manufacturer's requirements.
4. 6" seamless gutter over 2 x 10 fascia.
5. Precast finish over 8" tall foam header typical (10" at garage doors), extend 4" past opening.
6. 8 x 10 corbel to 8 x 12 beam.
7. 8 x 8 post.
8. 8 x 12 corbel.
9. 3 x 10 rough sawn barge rafter with 2 x 8 over 2 x 10 trim at wall (verify sizes prior to construction with designer).
10. Precast 6" x 6" sloped sill.
11. Recessed window and doors, wrap 2) 2x4 within 2 x 6 opening.
12. 3 coat, 7/8" min. thick exterior stucco o/ 2 layers grade D paper. Semi smooth finish.
13. 26 gauge galvanized weep screed at foundation line at least 4" above grade or 2" above concrete or paving.
14. 8" precast moulding. Arch radius = 3'-0". Springline 7'-0" above first finished floor.



REAR ELEVATION

1/4" = 1'-0"

TOTAL WALL AREA = 570 SQ. FT.
STONE PROVIDED = 285 SQ. FT. - 50%

REVISIONS

DOUGLAS J. HARWOOD
CLASSIC HOME DESIGN
2157 FOURTH STREET
LIVERMORE, CA 94550
(925) 787-4993

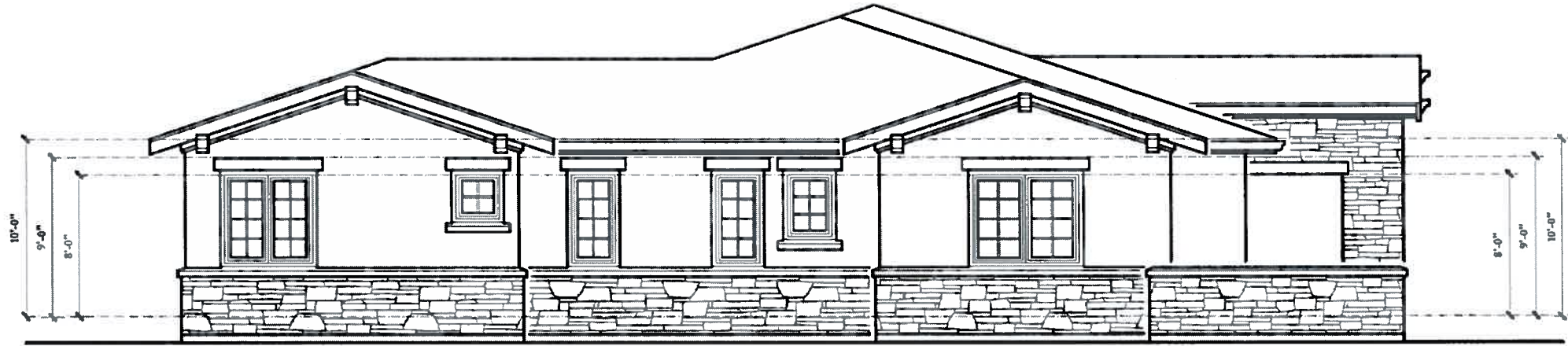
These drawings were prepared by
Douglas J. Harwood
Designer

FRONT & REAR ELEVATIONS

THE CARBALLO RESIDENCE
5976 KOLB RANCHO DRIVE
PLEASANTON, CALIFORNIA 94566

Date 12/12
Scale
Drawn DJH
Job 1102
Sheet

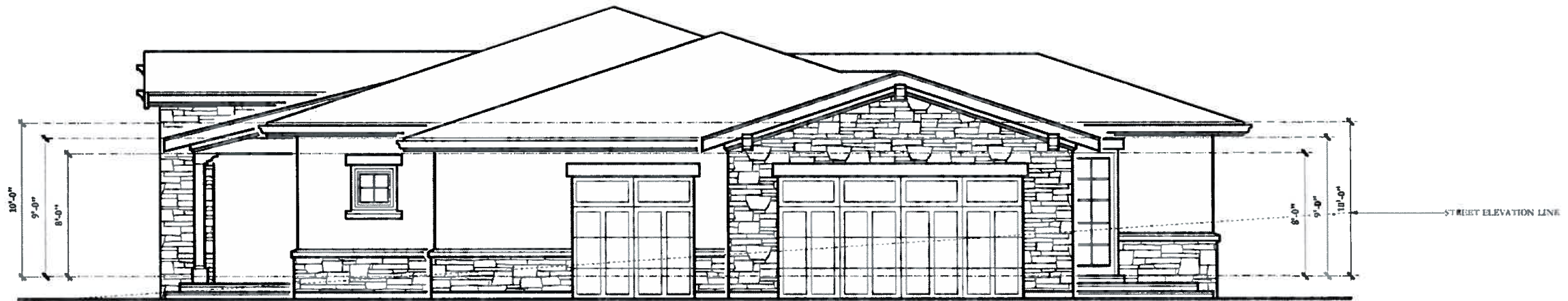
A3



LEFT ELEVATION

1/4" = 1'-0"

TOTAL WALL AREA = 326 SQ. FT.
STONE PROVIDED = 328 SQ. FT. - 60%



RIGHT ELEVATION

1/4" = 1'-0"

TOTAL WALL AREA = 409 SQ. FT.
STONE PROVIDED = 199 SQ. FT. - 49%

REVISIONS

DOUGLAS J. HARWOOD

CLASSIC HOME DESIGN

2157 FOURTH STREET
LIVERMORE, CA 94550
(925) 787-4993

These drawings
were prepared by
Douglas J. Harwood,
Designer.

LEFT & RIGHT ELEVATIONS

THE CARBALLO RESIDENCE
5976 KOLE RANCH DRIVE
PLEASANTON, CALIFORNIA 94566

Date 7/2/12

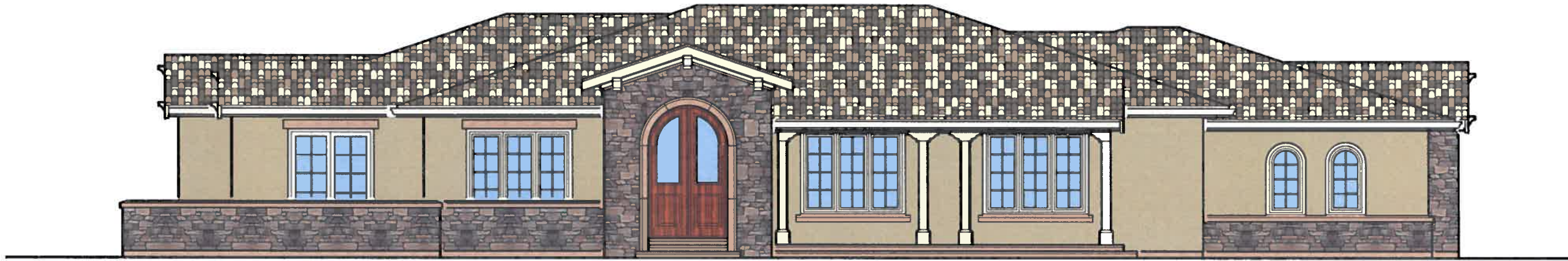
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Drawn DJH

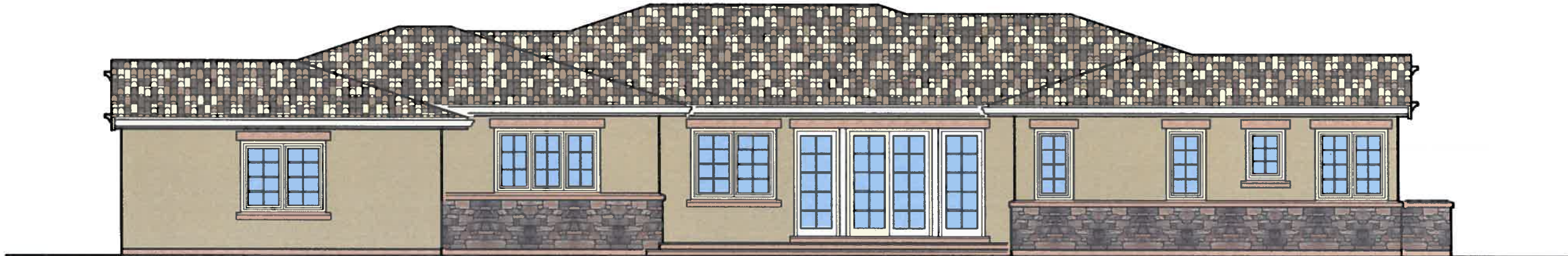
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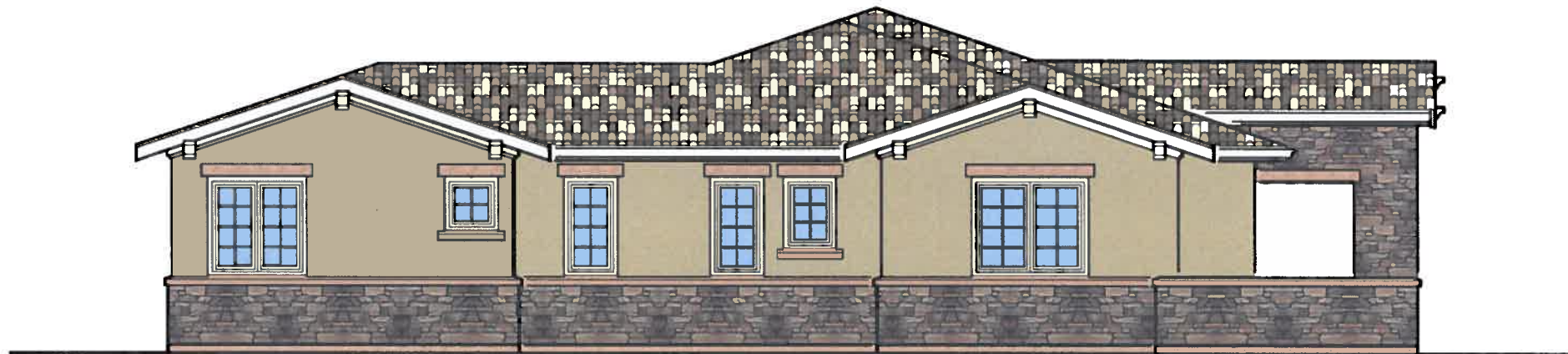
A4



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

REVISIONS

DOUGLAS J. HARWOOD
 CLASSIC HOME DESIGN
 2157 FOURTH STREET
 LIVERMORE, CA 94550
 (925) 787-1993

These drawings
 were prepared by
 Douglas J. Harwood,
 Designer.

**RENDERED
 ELEVATIONS**

THE CARBALLO RESIDENCE
 5976 KOLB RANCH DRIVE
 PLEASANTON, CALIFORNIA 94566

Date 7/2/12

Scale

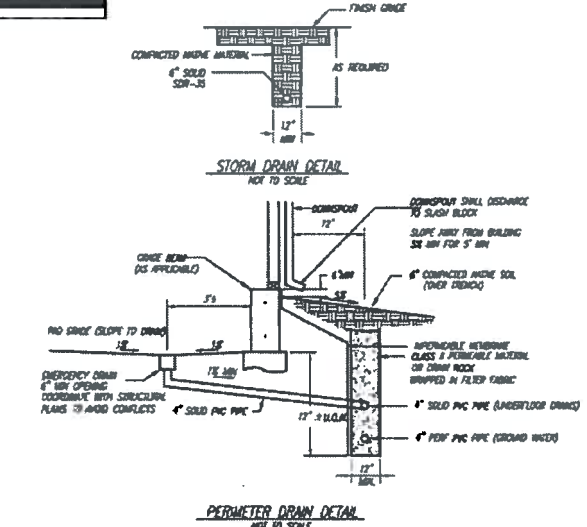
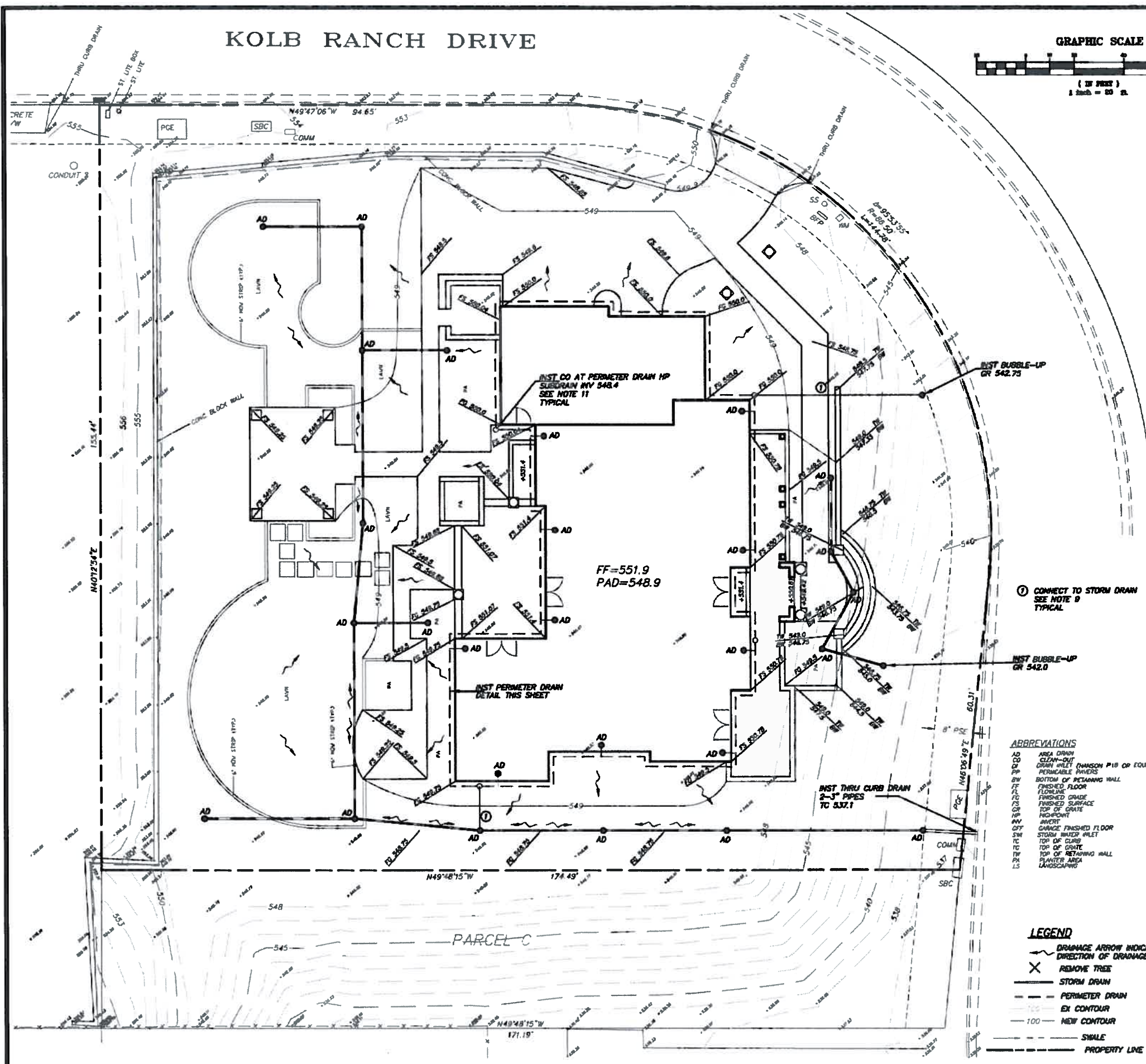
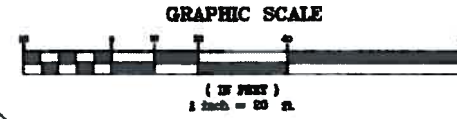
Drawn DJH

Job 1102

Sheet

RE

KOLB RANCH DRIVE



* PER THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S CLEAN WATER (C.3) REQUIREMENTS, WATER FROM THE ROOF AND HARDSCAPE INTENDED TO RUN THROUGH LANDSCAPING BEFORE ENTERING STORM DRAIN SYSTEM.

GRADING NOTES:

1. ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
2. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
3. ALL DOWNSPOUTS SHALL DRAIN TO SPLASH BLOCKS AND DIRECTED AWAY FROM FOUNDATION. (EXCEPT WHERE NOTED OTHERWISE)
4. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM 5% SLOPE FOR MINIMUM DISTANCE OF 5 FEET.
5. SURFACE WATER SHOULDS SHALL HAVE A 1% MINIMUM SLOPE AND BE CONNECTED TO AREA DRAINS.
6. AREA DRAINS SHALL HAVE A MINIMUM 6 INCHES DIAMETER GRADE OPENING.
7. ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
8. ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS AND DIRECTED AWAY FROM FOUNDATION. THE STRUCTURE SHALL BE LOCATED TO MISS PICKS AND/OR GRADE BEAMS.
9. WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
10. ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-FLEXIBLE PVC PIPE, PERFORATED PIPE SHALL BE USED FOR SUBDRAINING ONLY. IF STORM DRAIN TO BE PVC SDP-33 OR APPROVED EQUAL. (SEE DETAILS)
11. CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
12. EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 15 IF WORK CONTINUES INTO THE RAINY SEASON.
13. THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
14. THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
15. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPOUTS, AND DRAINAGE SHOULDS.

ABBREVIATIONS

AD	AREA DRAIN
CD	CLEAN-OUT
DI	DRAIN INLET (MANHOLE P18 OR EQUAL)
PP	PERFORATED PIPES
BT	BOTTOM OF RETAINING WALL
FL	FLOORED
FG	FISHED GRADE
FS	FISHED SURFACE
GR	TOP OF GRADE
HP	HEADPOINT
HW	INVERT
OF	GARAGE FINISHED FLOOR
SW	STORM WATER INLET
TC	TOP OF CURB
TR	TOP OF RETAINING WALL
PL	PLASTER AND LANDSCAPING

LEGEND

	DRAINAGE ARROW INDICATES DIRECTION OF DRAINAGE
	REMOVE TREE
	STORM DRAIN
	PERIMETER DRAIN
	EX CONTOUR
	NEW CONTOUR
	SHALE
	PROPERTY LINE

BASIS OF BEARINGS

THE BEARINGS SHOWN UPON THIS MAP ARE BASED TRACT MAP 8051, FILED IN BOOK 275 AT PAGE 100 ALAMEDA COUNTY RECORDS.

BASIS OF ELEVATIONS

ELEVATIONS SHOWN ON THIS MAP ARE BASED UPON THE IMPROVEMENT PLANS FOR TRACT 4381

NOTES:

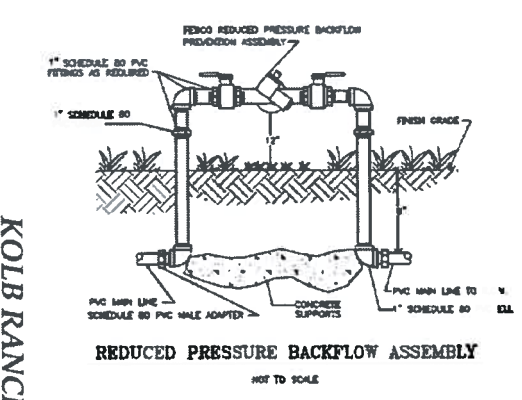
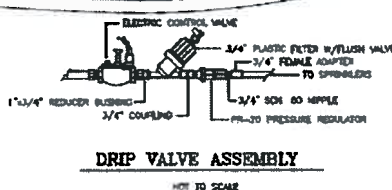
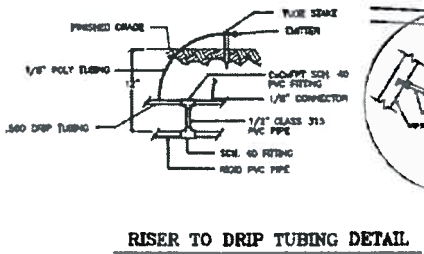
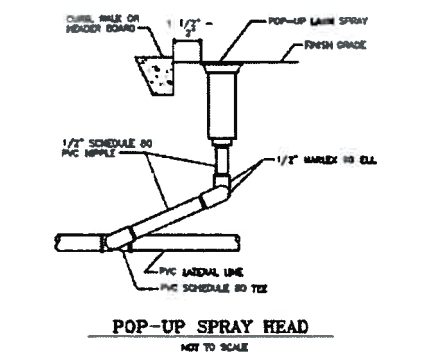
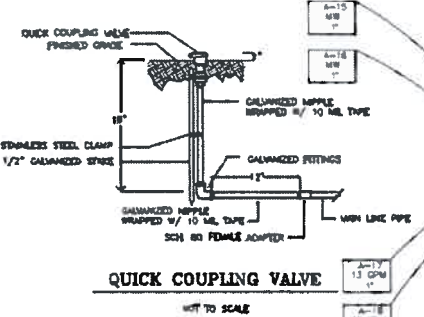
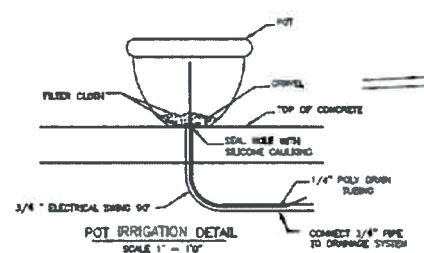
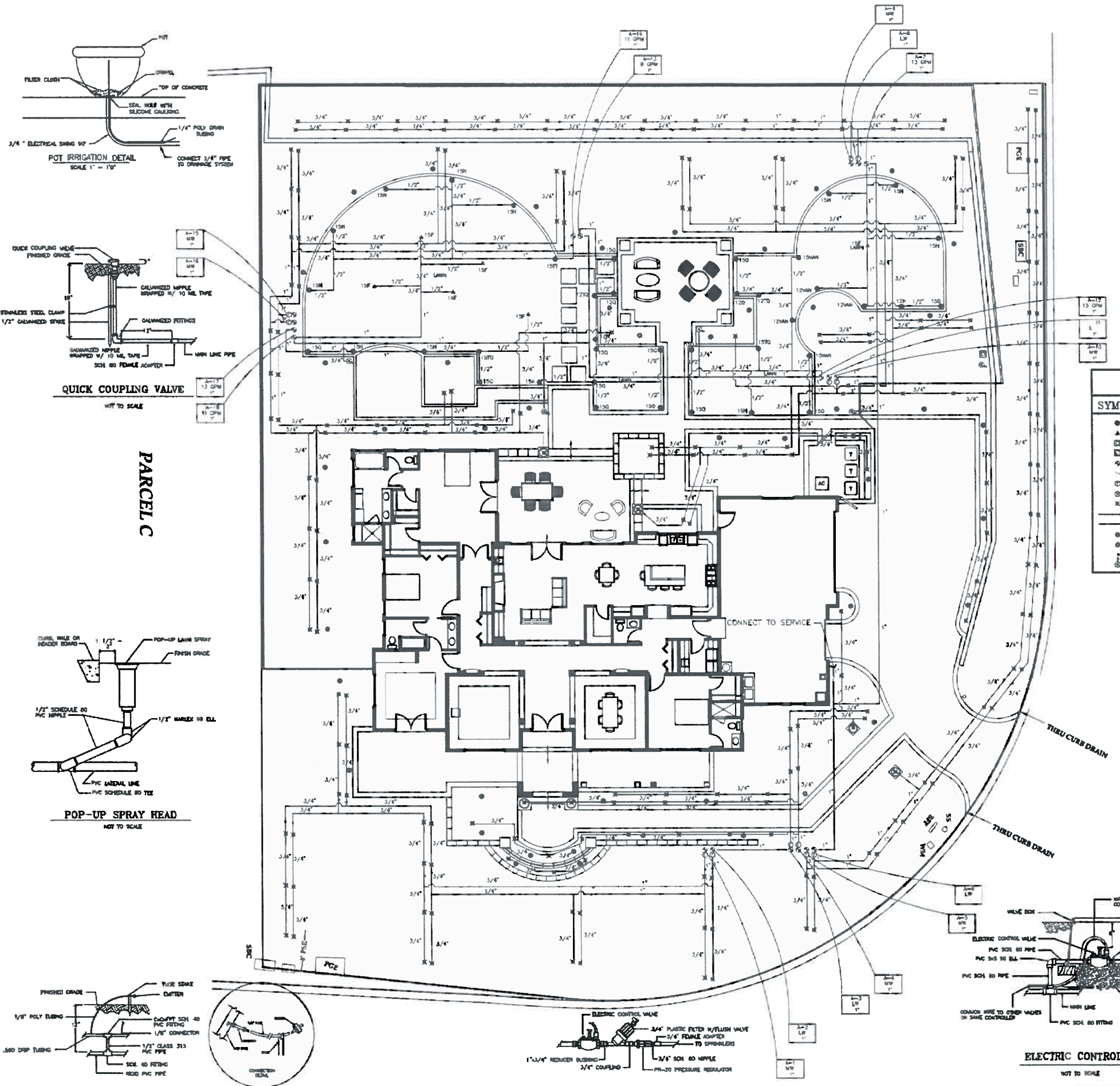
- ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS. SEE FIELD LOCATED.
- IMPERMEABLE AREA = 8,997 SQ FT
- SEE ARCHITECT'S PLAN FOR MORE INFORMATION REGARDING THE FLOOR PLAN.
- SEE LANDSCAPE PLAN FOR FURTHER GRADING AND DRAINAGE INFORMATION.
- PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.
- GARAGE FLOOR TO SLOPE TOWARDS THE FRONT AT 1% MIN.

REGISTERED PROFESSIONAL ENGINEER
ALEXANDER & ASSOCIATES INC.
 147 OLD BRIDGES AVE. SUITE 10, PLEASANTON, CALIFORNIA (408) 467-8888

PROJECT TITLE: GRADING AND DRAINAGE PLAN
 5976 KOLB RANCH DRIVE
 CITY OF PLEASANTON
 ALAMEDA COUNTY, CALIFORNIA

DATE: 7-3-17
 SHEET NO.: C1

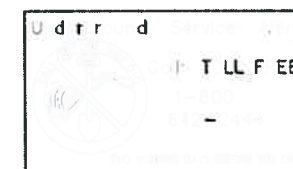
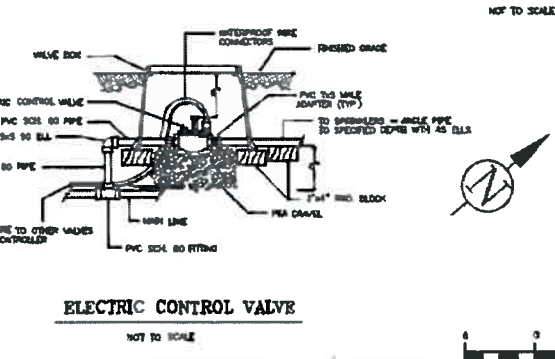
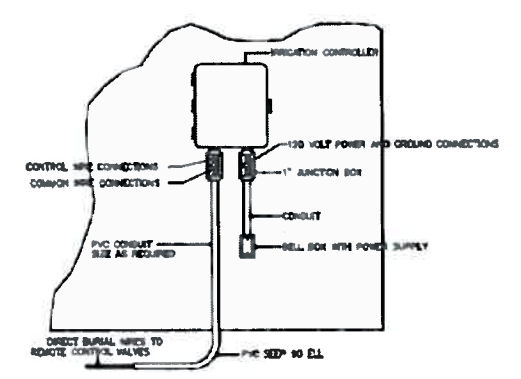




NOTE.
FIELD RECOMMENDED INSTALLATION OF PERFORATED DRAIN AROUND THE PERIMETER OF THE HOUSE TO HELP MITIGATE ANY POTENTIAL SWELLING OR GROUND WATER SEEPAGE THAT MAY CAUSE DAMAGE I.E. BUCKLING FLOORS FOUNDATIONS SETTLING ETC. FURTHER OVERSIGHT CONSULT WITH CONTRACTOR PRIOR TO CONSTRUCTION.

IRRIGATION L G ND

SYMBOL	D CRIP ON
●	TORO 02-4P-PROX-COM POP-UP
▲	TORO 02-6P-PROX-COM
■	CONTROLLER HUNTER PCC-MODU
□	HUNTER-ET ENSOR
○	REMOT CONTRO VE: WEA TIC +10
◇	BAC OW Y; 825Y
△	AMAD FI TER
▽	QUICK ER
×	TUB-UP FOR CONN
+	MAIN IN H
•	LATERAL 1/2" CLASS (SS)
○	8" DRAIN
○	3" GRA
○	IN-LINE
○	AUTOMATIC



PARCEL C

KOLB RANCH DRIVE

KLEMETSON DRIVE

SCALE: 1"=8'-0"

4	BL
3	BL
2	BL
1	BL
REVISIONS	BY

DATE: 6/22/12

SHEET NO:
L-3
OF 5 SHEETS

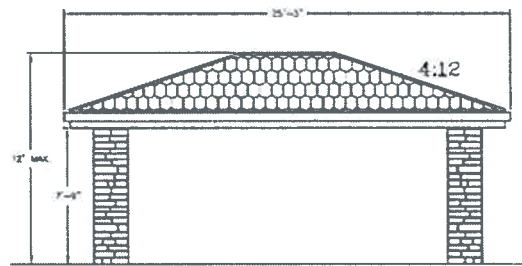
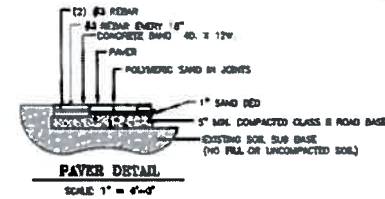
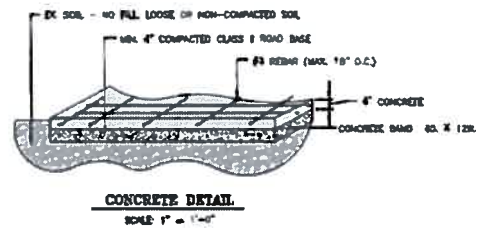
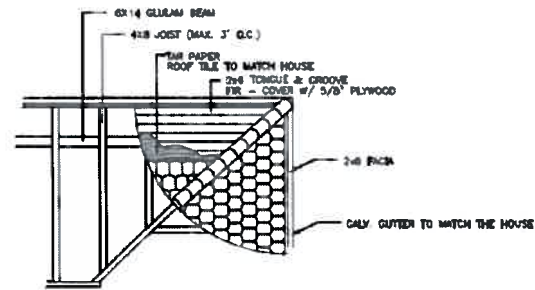
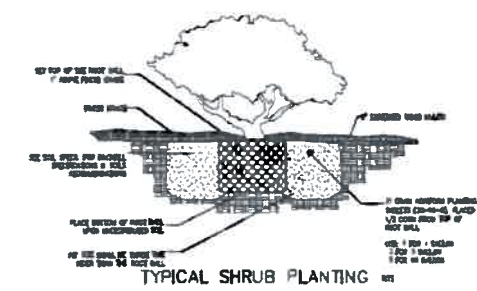
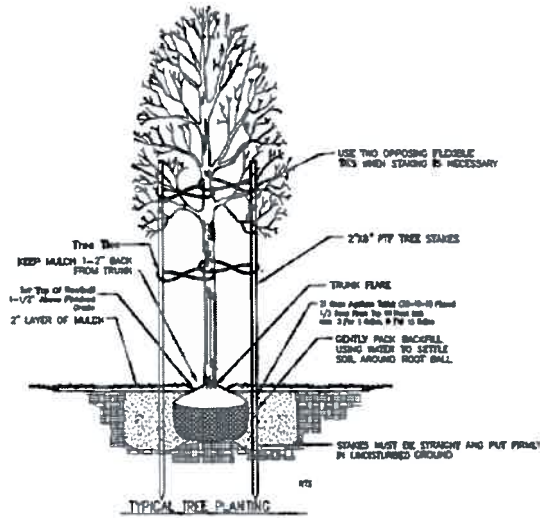
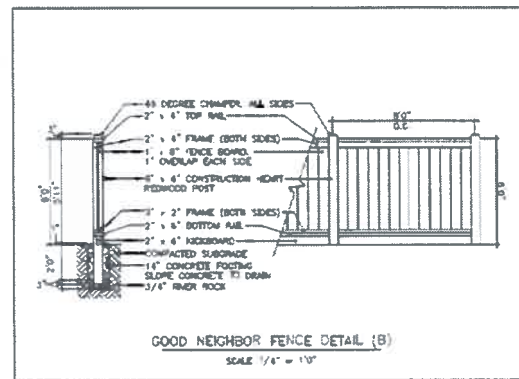
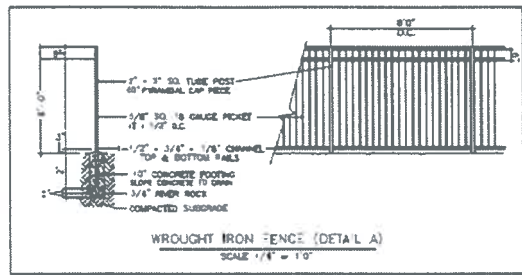
DETAIL PLAN

HELPING HAND
LANDSCAPE DESIGN, INC.
17201 QUINCY LANE, SUITE C, ELEMOUNT, CA 94501
(925)810-2131

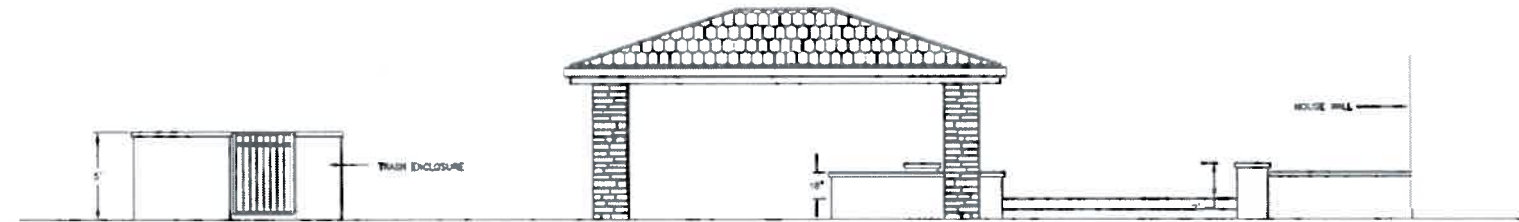
THE RESIDENCE OF
TONY & JUANA CARBALLO
5976 KOLB RANCH DRIVE
PLEASANTON, CALIFORNIA
510-825-4683 510-209-1490

SHEET NO

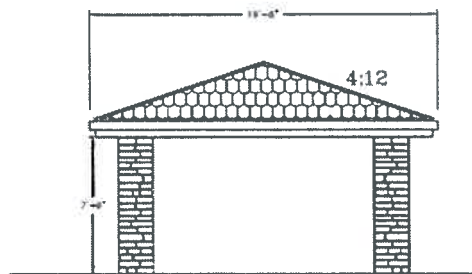
L-3
OF 5 SHEETS



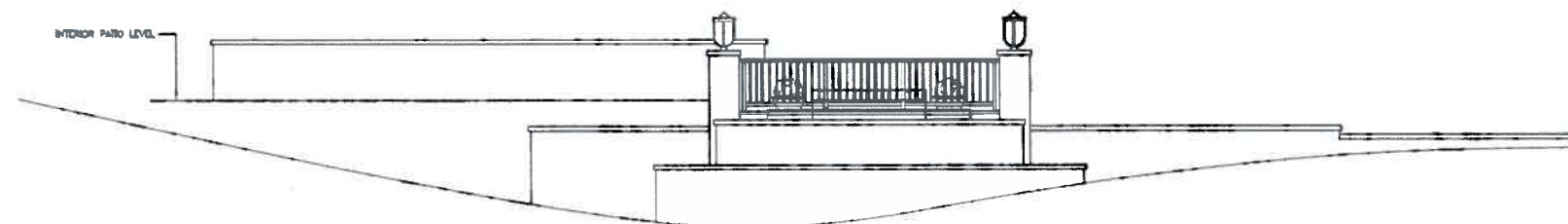
FRONT VIEW



REAR ELEVATION (DETAIL D)



SIDE VIEW

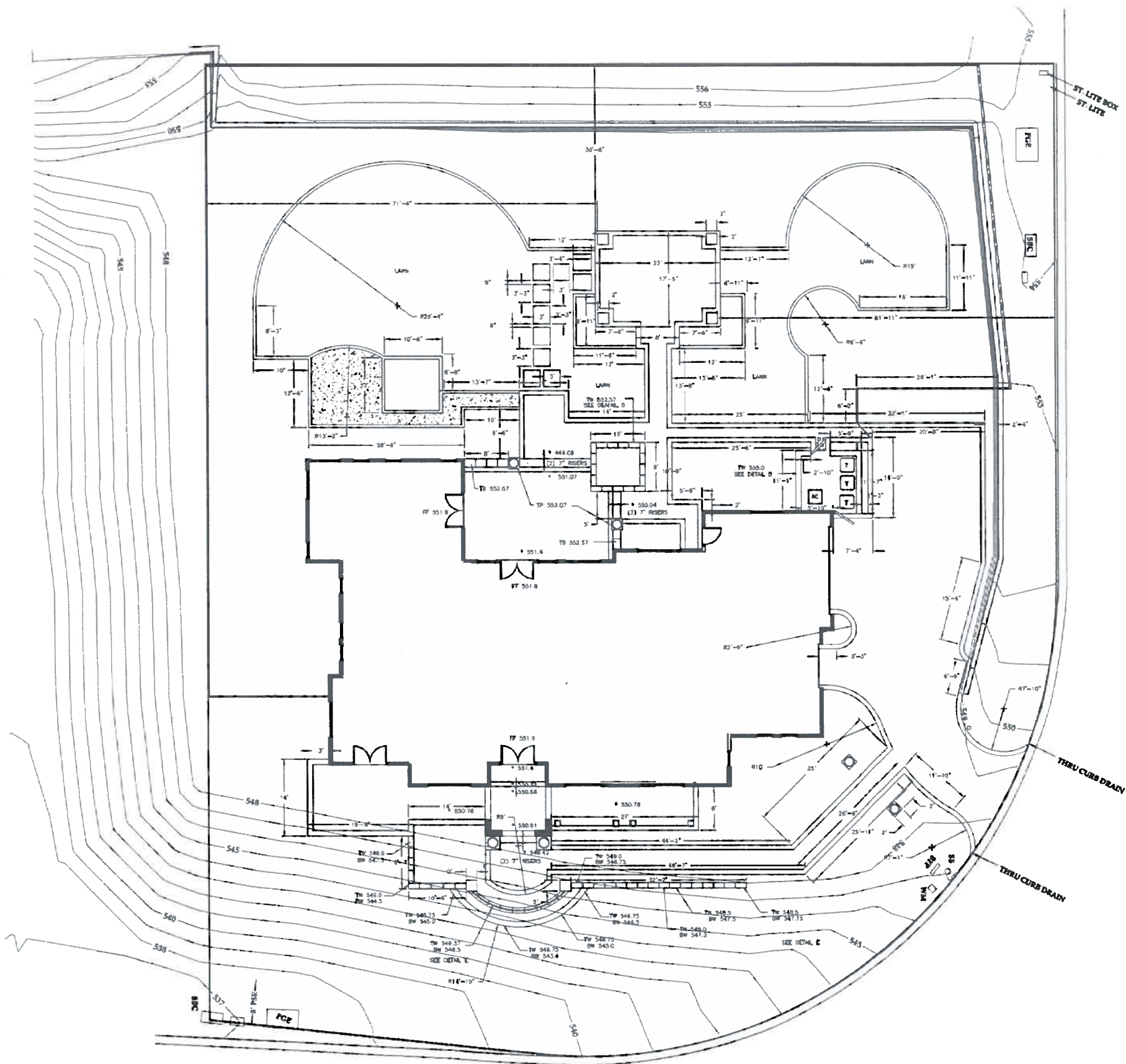


FRONT WALL ELEVATION (DETAIL E)

SOLID ROOF PATIO COVER (DETAIL C)

SCALE: 1/4" = 1'-0"

PLAN PREPARED BY: *[Signature]*
DATE: 6/23/12
INCH: ROBERT ELLIOTT



SCALE: 1"=8'-0"

4	BL
3	BL
2	BL
1	BL
REVISIONS	BY

DATE: 6/22/12

SHEET NO:
L-4
OF 5 SHEETS

**WALL HEIGHTS
&
DIMENSIONS**

**HELPING HAND
LANDSCAPE DESIGN, INC.**
11775 OLIVE AVE. SUITE E, PLEASANTON, CA 94566
(925) 334-2912

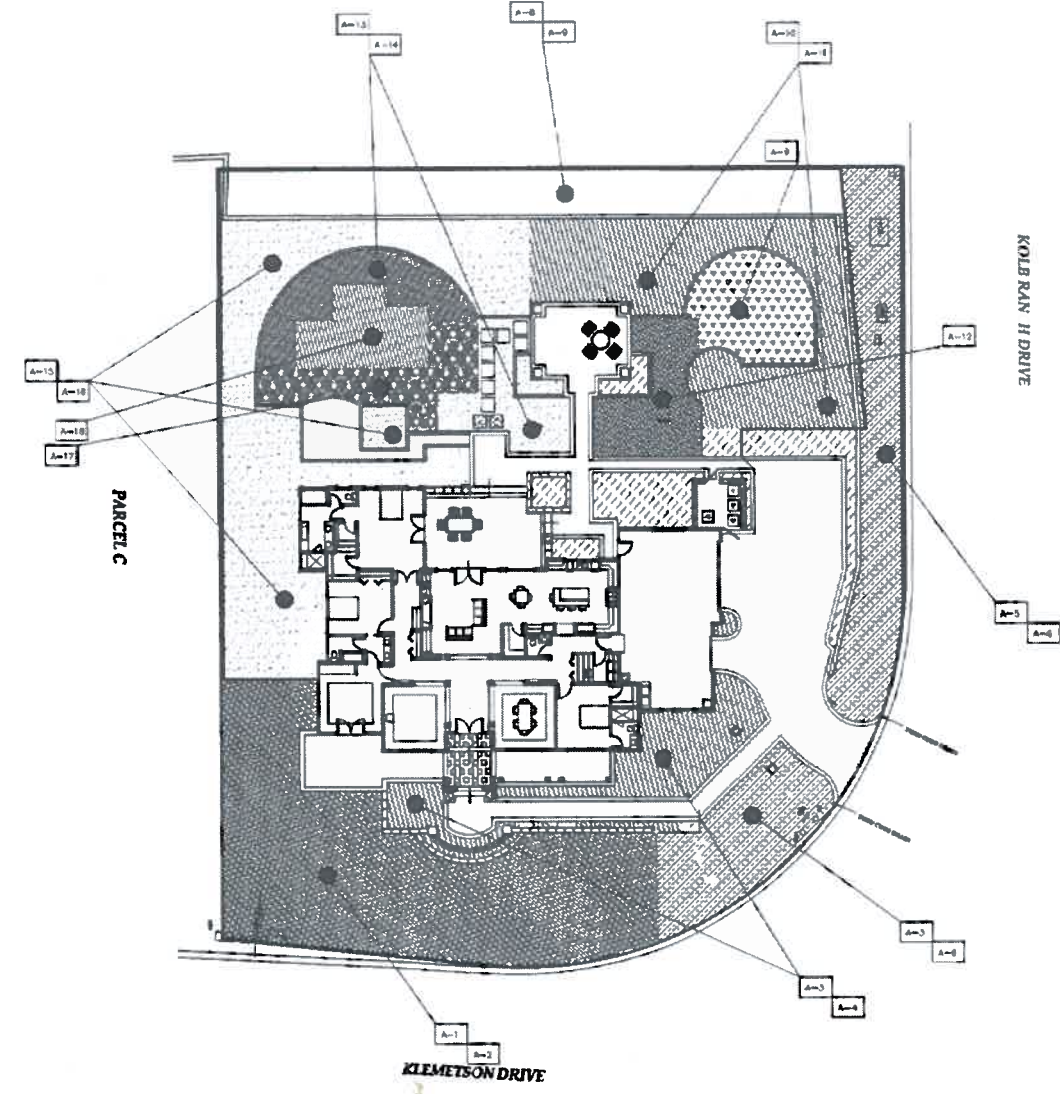
**THE RESIDENCE OF
TONY & JUANA CARBALLO**
5976 KOLB RANCH DRIVE
PLEASANTON, CALIFORNIA
510-825-4683 510-209-1490

SHEET NO:
L-4
OF 5 SHEETS

PLAN PREPARED BY: *[Signature]*
DATE: 6/22/12
WILD
PODDIT LLC/01

IRRIGATION NOTES:

1. CONTRACTOR TO OBTAIN ALL PERMITS PRIOR TO STARTING WORK.
2. ALL WORK SHALL COMPLY WITH THE LATEST UNIFORM PLUMBING CODE AS WELL AS LOCAL ORDINANCES.
3. ALL IRRIGATION LINES UNDER CONCRETE TO BE INSTALLED IN PVC SLEEVE @ 1" DEPTH MIN.
4. LOCATE ALL REMOTE CONTROL VALVES AND QUICK COUPLING VALVES IN PLANTING AREAS. (TYP.)
5. COMPACT ALL LINES AND TRENCHES UNDER PAVING 95% MIN.
6. INSTALL REMOTE CONTROL VALVE IN AMETEX 12" VALVE BOX OR EQUAL (TWO VALVES PER BOX MAX) AND MARK "IRRIGATION" ON LID. INSTALL BOXES IN GROUND COVER AREAS WHENEVER POSSIBLE. BOXES SHALL BE A MIN. 12" FROM PAVING OR CURBS.
7. THE CONTRACTOR SHALL PROVIDE OWNER WITH A COMPLETELY OPERATING SYSTEM AND CLEAN SET OF MARKED PRINTS AS "AS-BUILT" DRAWINGS. REFERENCE ALL TRENCHES WITH DIMENSIONS TO NEAREST BUILDING OR PAVING.
8. THE CONTRACTOR SHALL WARRANT THAT THE SYSTEM WILL BE FREE FROM DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR. ALL REPAIRS NECESSARY SHALL BE MADE AT NO COST TO THE OWNER.
9. CONTRACTOR SHALL INSTALL TWO DRIP LINES IN EACH AREA. ONE DRIP LINE FOR DROUGHT TOLERANT PLANTS AND ONE FOR PLANTS THAT REQUIRE MORE FREQUENT WATERING. USE THE APPROPRIATE GALLOUNGE AND NUMBER OF EMITTERS FOR EACH PLANT'S WATER REQUIREMENT.
10. FINISHED GRADES ALONG THE FOUNDATION SHALL BE SLOPED A MINIMUM OF 3% AT LEAST 5 FEET FROM THE FOUNDATION.



HYDROZONES
SCALE 1/4" = 1'

Water Conservation Concept Statement

IN AN EFFORT TO REDUCE WATER USAGE, ALL TREES AND SHRUBS ARE WATERED WITH TWO SEPARATE DRIP IRRIGATION SYSTEMS. WE HAVE INSTALLED TWO (2) DRIP LINES IN EACH AREA TO SEPARATE THE HIGHER WATER USAGE PLANTS FROM THE DROUGHT TOLERANT PLANTS. A RAIN SENSING OVERRISE DEVICE SHALL BE INSTALLED TO PREVENT THE IRRIGATION SYSTEM FROM GOING DURING TIMES OF PRECIPITATION. CHECK VALVES HAVE BEEN INSTALLED TO PREVENT LOW HEAD DRAINAGE. WATERING SHALL BE DONE IN THE EARLY MORNING, NON DAYLIGHT HOURS TO REDUCE EVAPORATION AND WATER LOSS DUE TO WIND.

PLAN PREPARED BY: *[Signature]*
DATE: 6/25/12
FIELD ROBERT LUDWIG

SCALE: 1"=8'-0"

④	BL
③	BL
②	BL
①	BL
REVISONS	BY

DATE: 6/22/12

SHEET NO:
L-5
OF 5 SHEETS

**WATER CALCS.
&
GREEN POINTS**

**HELPING HAND
LANDSCAPE DESIGN, INC.**
1348 30-Street L-104, STE. E. PLEASANTON, CA 94566
(925) 866-7911

**THE RESIDENCE OF
TONY & JUANA CARBALLO**
5976 KOLB RANCH DRIVE
PLEASANTON, CALIFORNIA
510-825-4683 510-209-1490

SHEET NO:
L-5
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