



Equity Enterprises

Real Estate Brokerage
and Development

February 27, 2013

Pleasanton, CA

Re: Neighborhood Improvement
Valero Station
Santa Rita & Las Positas

Hello,

My name is Brad Hirst owner of Equity Enterprises. I represent Mike Roesberry, the owner of the property and the Valero dealer at Santa Rita and Las Positas.

Mike is planning to remove his automotive service bays and relocate that service to his Valero station at Hopyard and Valley.

At the Santa Rita and Las Positas location, three of the service bays will be converted to a convenience food store. The fourth service bay will be converted to a drive thru car wash.

It will still be Valero gasoline with the gas pumps remaining in the same location as present.

Same property owner - Mike Roesberry.

Same Valero gasoline and dealer – Mike Roesberry.

Same store employees.

The food supplier will be 7-Eleven. The store will be highly upgraded with an expanded interior (1,627 sf).

The building conversion is anticipated for late 2013 with a grand re-opening in early 2014.

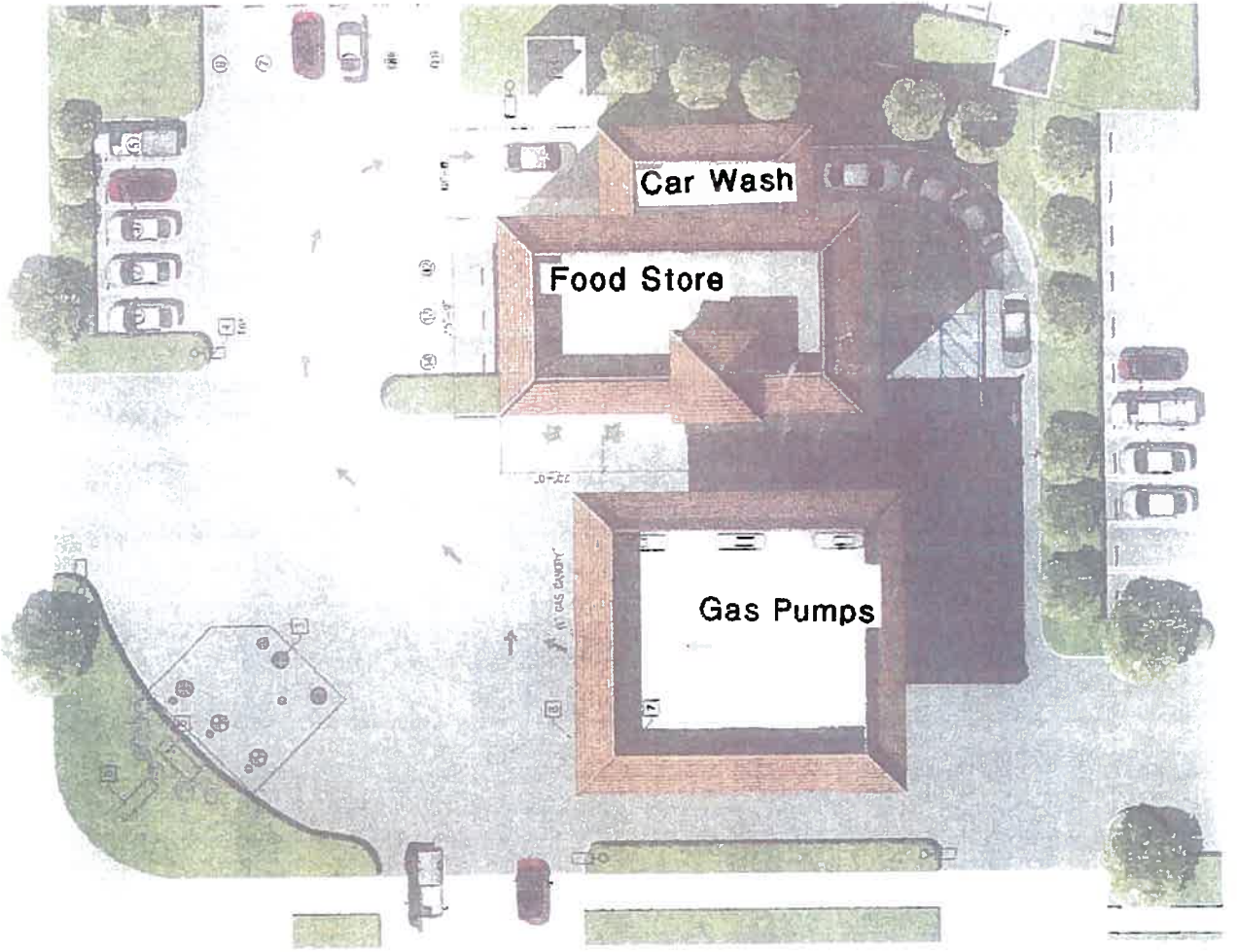
We would like your support as we move forward with this project.

If you have any questions or concerns, please feel free to contact me.

Brad Hirst
925-484-3636
brad@equity-enterprises.net

Exhibit B
P13-0336
3192 Santa Rita Road
Dated "Received July 26, 2013"

LAS POSTAS RD.



SANTA RITA ROAD



10351 Santa Rita St., Ste. 105
 Gasconade, MO 64540
 P 716-428-3835
 F 716-497-4012

2 PROPOSED FRONT WEST VIEW (ft)

ASCI, INC.

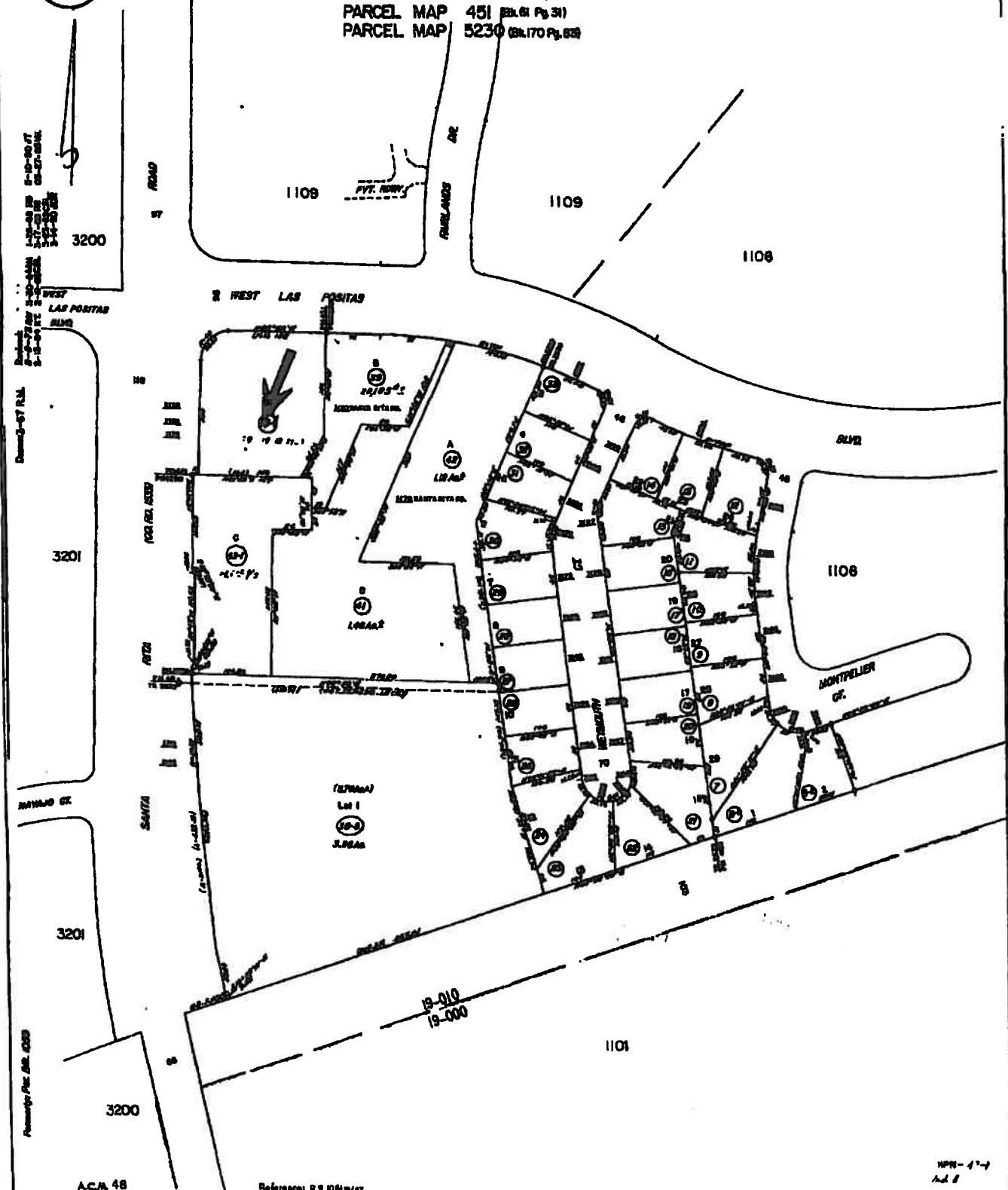
ASSESSOR'S MAP 946

Code Area No. 19-010

1105

Scale: 1" = 100'

TRACT 2639 (Blk. 53 Pg. 38)
PARCEL MAP 403 (Blk. 58 Pg. 62)
PARCEL MAP 451 (Blk. 61 Pg. 31)
PARCEL MAP 5230 (Blk. 170 Pg. 63)



3200
3201
3201
3200

A.C.A. 48

Reference: R.S. 10/19/07

19-010
19-000

1101

NPR-47-7
Ad. 1

ASSESSOR'S MAP 946

Code Area Nos. 19-010

DOORS KNOWN

3/10/2013

3201 Scale: 1" = 100'

TRACT 3232 (Blk. 67 Pg. 32) TRACT 3290 (Blk. 70 Pg. 86)

Drawn F-27-71WM Revised 3-6-72 K.T.
II-2C-86PB

3200

3200

BK 941

Formerly Per. Blk. 3200

A.C.M. 48

Reference

ind 1



ASSESSOR'S MAP 946

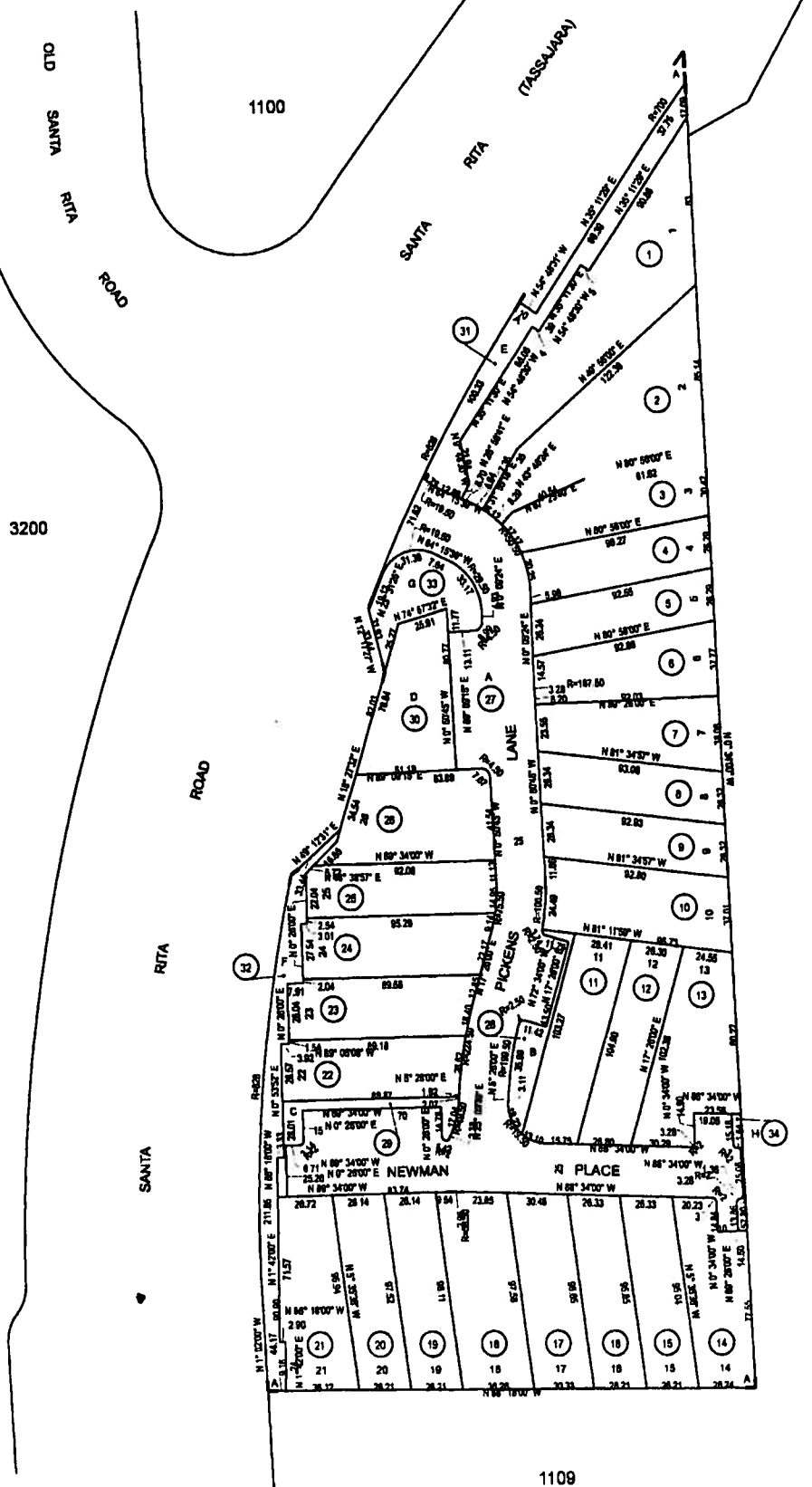
Code Area Nos. 19-010

DOTS KNOCED
3/10/2013

4586

SCALE 1" = 50'

(A) TR.8502 2358



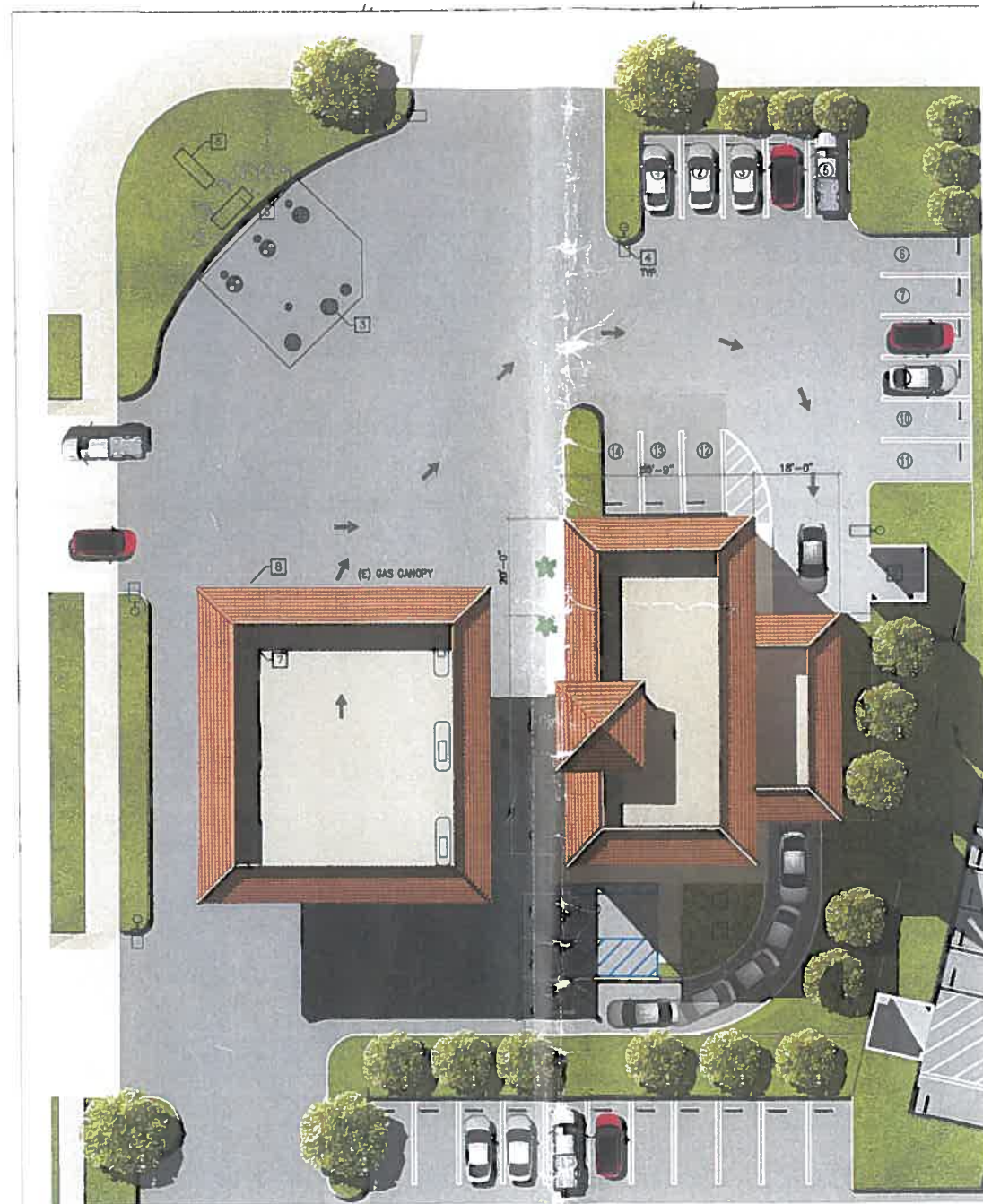
DRAWN: 12-18-97 WL
REVISED: 02-23-11 CC

FORMERLY: POR BLK.1109

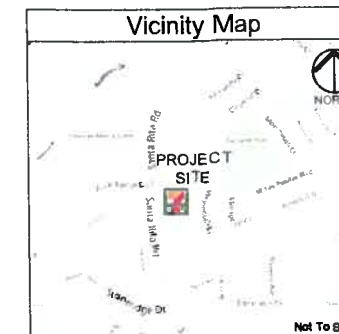
Location: Z:\2012 PROJECTS\7E - Fanchisee\7E - 1028068 - Pleasanton, CA - 3192 Santa Rita Rd\CAD File\7E-1028068 - HeeringPackage.dwg - Efile Date: 10/13/2012 9:51:30 AM

SANTA RITA ROAD

LAS POSITAS BLVD.



1 PROPOSED SITE PLAN
 Scale: 1/16" = 1'-0"



- Site Keyed Notes**
- 1 (E) PROPANE TANK
 - 2 (E) TRASH ENCLOSURE
 - 3 (E) UNDERGROUND STORAGE TANK
 - 4 (E) SITE LIGHTING, TYP.
 - 5 (E) MONUMENT SIGN
 - 6 (E) GAS VENT RISER LOCATION
 - 7 (E) GAS DISPENSER, TYP.
 - 8 (E) GAS CANOPY
 - 9 (N) H.C. PARKING
 - 10 (N) VAN ACCESSIBLE PARKING
 - 11 (N) DRIVE-THRU CARWASH BUILDING
 - 12 (N) 6" CONCRETE CURB, TYP.

Site Data Information			
OWNER'S INFORMATION:		ASSESSOR'S PARCEL NUMBER	
3192 SANTA RITA ROAD PLEASANTON, CA 94588		ZONING: C-1	
ENGINEER CONTACT: JOE NGUYEN @ ASI CONSULTING 14351 EUCLID STREET, # 1-S GARDEN GROVE, CA 92843		TEL: 714-486-3930	
		SQ. FT.	RATIO
LOT AREA		34,952	100%
BUILDING AREA	BUILDING HEIGHT: 30 FT.		
OCCUPANCY: M			
CONSTRUCTION: V-N			
TOTAL AREA:		2,683	5.7%
CARWASH AREA			
OCCUPANCY: B			
CONSTRUCTION: V-N			
TOTAL AREA:		720	3.2%
CANOPY AREA	NON-SPRINKLED		
OCCUPANCY: E-3			
CONSTRUCTION: V-N			
TOTAL AREA:		3,900	11.2%
BUILDING COVERAGE (BUILDING, CARWASH & CANOPY) TOTAL		6,597	18.9%
LANDSCAPING AREA			
REQUIRED: EXISTING		4,830	13.3%
PROVIDED:			
PARKING AREA			
TYPE	SIZE	REQUIRED	PROVIDED
HANDICAP	9'-0" x 18'-0"	0	1
REGULAR	8'-6" x 18'-0"	0	14
		0	
TOTAL:		0	15



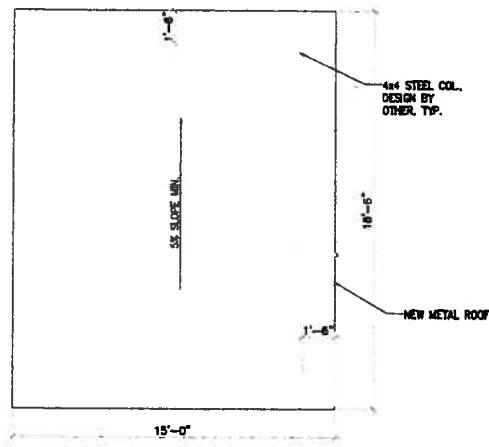
ASi Consulting
 14351 Euclid St., Ste. 1-S
 Garden Grove, CA 92843
 T: 714-486-3930
 F: 714-617-4012

Project Location:
3192 Santa Rita Rd.
@ Las Positas Blvd.
Pleasanton, CA 94588
 7-Eleven No. 1028068 - Tenant Improvement of 3,403 SQ. FT.

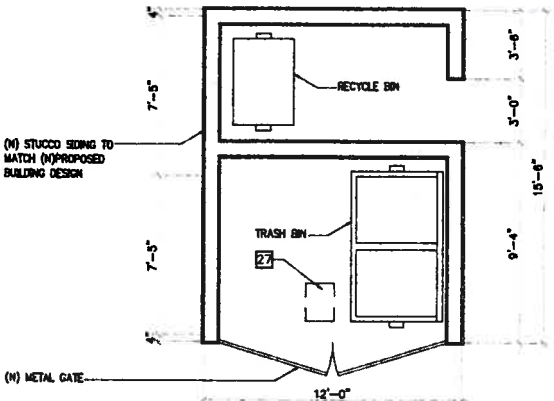
No.	Date	Revision

Scale: As-Noted
 Drawn / Check by: VV/KL
 Date: October 13, 2012
 Drawing Title:
Site plan
 Sheet / Project No 1028068
SP.0

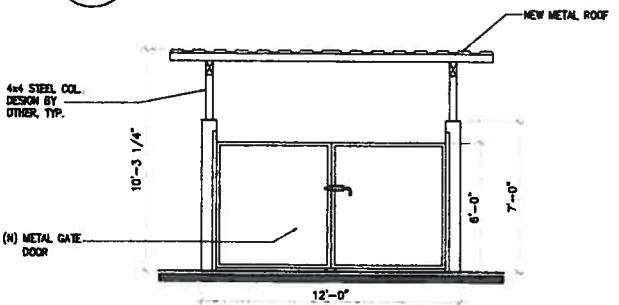
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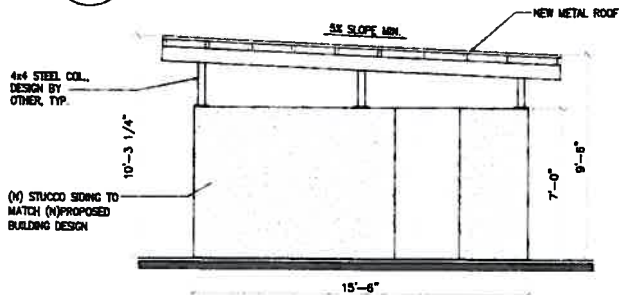
2 TRASH ENCLOSURE ROOF PLAN
Scale: 1/4" = 1'-0"



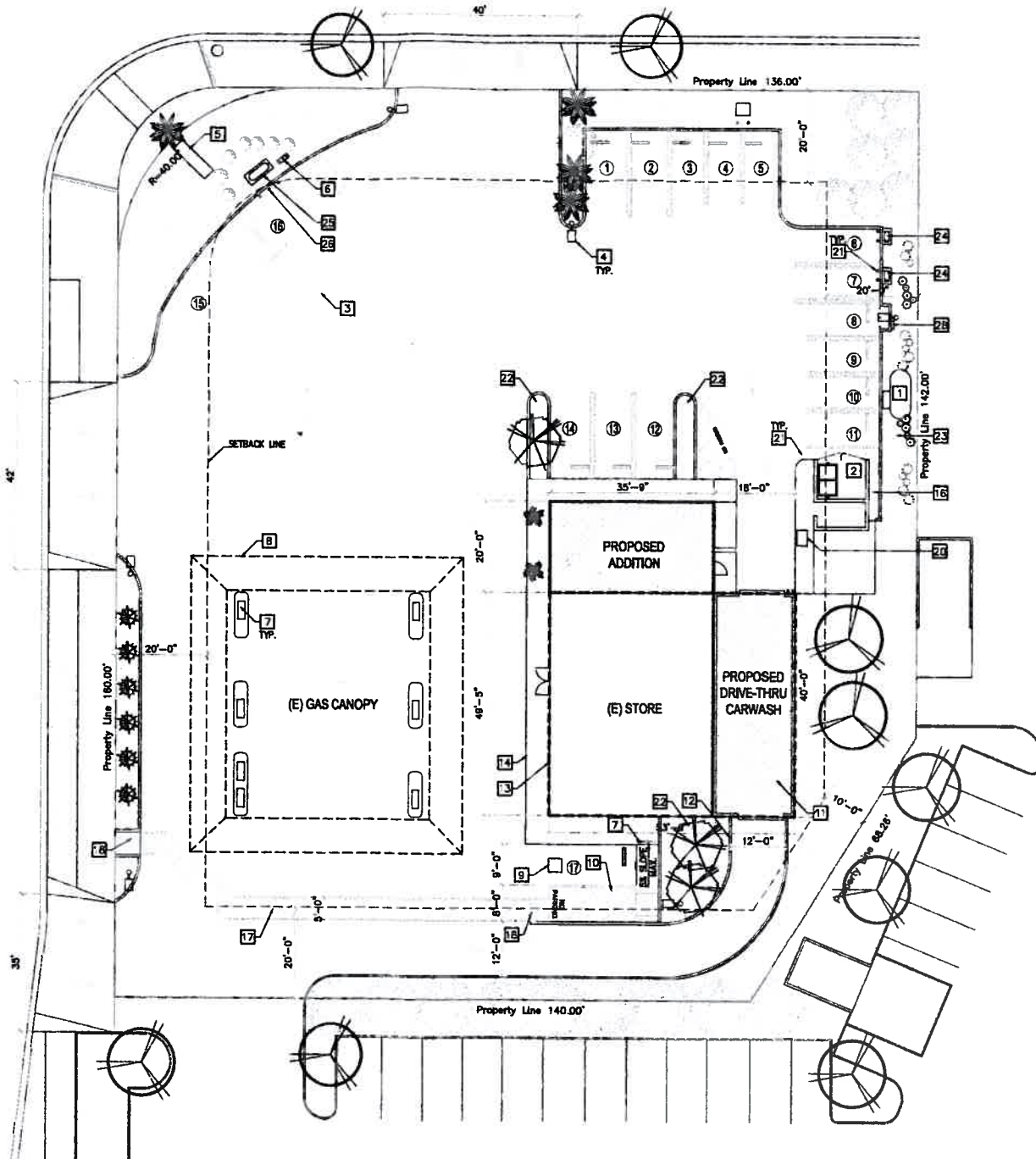
3 TRASH ENCLOSURE PLAN
Scale: 1/4" = 1'-0"



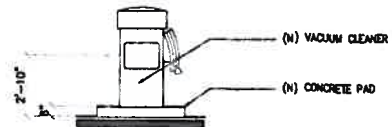
4 TRASH ENCLOSURE FRONT ELEVATION
Scale: 1/4" = 1'-0"



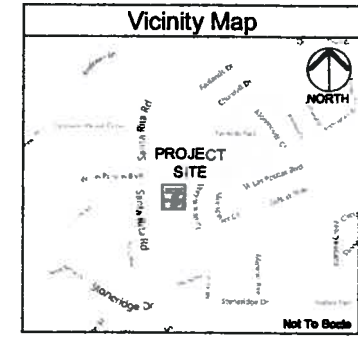
5 TRASH ENCLOSURE RIGHT ELEVATION
Scale: 1/4" = 1'-0"



1 PROPOSED SITE PLAN
Scale: 1/6" = 1'-0"



6 VACUUM UNIT ELEVATION
Scale: 1/4" = 1'-0"



- Site Keyed Notes**
- 1 (E) RELOCATED PROPANE TANK
 - 2 (M) TRASH ENCLOSURE
 - 3 (E) UNDERGROUND STORAGE TANK
 - 4 (E) SITE LIGHTING, TYP.
 - 5 (E) MONUMENT SIGN
 - 6 (E) GAS VENT RISER LOCATION
 - 7 (E) GAS DISPENSER, TYP.
 - 8 (E) GAS CANOPY
 - 9 (M) M.C. PARKING
 - 10 (M) VAN ACCESSIBLE PARKING
 - 11 (M) DRIVE-THRU CARWASH TUNNEL
 - 12 (M) 6" CONCRETE CURB, TYP.
 - 13 INDICATE (E) BUILDING
 - 14 (M) SIDE-WALK CURB
 - 15 (M) NEW METAL ROOF OVER TRASH ENCLOSURE
 - 16 (M) PUBLIC PATH OF TRAVEL
 - 17 (M) RAISED TRUNCATED DOME DETECTABLE WALKING SURFACE
 - 18 (M) 12" DETECTABLE WALKING
 - 19 (M) CAR WASH CODE BOX
 - 20 (M) BOLLARDS
 - 21 (M) LANDSCAPING, SEE LANDSCAPE PLAN
 - 22 (E) LANDSCAPING TO REMAIN
 - 23 (M) VACUUM UNITS, TYPICAL
 - 24 (E) TANK RISER
 - 25 (E) BOLLARDS
 - 26 (E) OIL/GREASE INTERCEPTOR, CONNECT TO SANITARY SEWER
 - 27 (E) AIR/WATER UNIT

Site Data Information

OWNER'S INFORMATION:		ASSESSOR'S PARCEL NUMBER:	
MICHAEL ROSEBERRY 3192 SANTA RITA ROAD PLEASANTON, CA 94588		946-1105-38	
ENGINEER CONTACT:		ZONING:	
JOE NGUYEN @ ASI CONSULTING 14351 EUCLID STREET, # 1-5 GARDEN GROVE, CA 92843		C-1	
		TEL: 714-488-3930	
	LOT AREA	SQ. FT.	RATIO
BUILDING AREA	BUILDING HEIGHT: 30 FT.	8,488	100%
OCCUPANCY: M	CONSTRUCTION: V-N		
TOTAL AREA:		8,487	7.1%
CANOPY AREA	OCCUPANCY: B	882	2.5%
OCCUPANCY: B	CONSTRUCTION: V-N		
CANOPY AREA	OCCUPANCY: S-3 NON-SPRINKLED	8,000	11.2%
OCCUPANCY: S-3	CONSTRUCTION: V-N		
BUILDING COVERAGE (BUILDING, CARWASH & CANOPY) TOTAL:		7,888	20.7%
LANDSCAPING AREA	EXISTING	4,988	14.2%
EXISTING	REQUIRED		
TYPE	SIZE	REQUIRED	PROMOED
HANDICAP	8'-0" x 18'-0"	1	1
STANDARD	8'-0" x 18'-0"	11	10
COMPACT	8'-0" x 18'-0"	7	6
TOTAL:		19	17

RECEIVED
JUL 24 2013
CITY OF PLEASANTON
PLANNING DIVISION



14351 Euclid St. Ste 1-5
Garden Grove, CA 92843
T 714-488-3930
F 714-617-4012

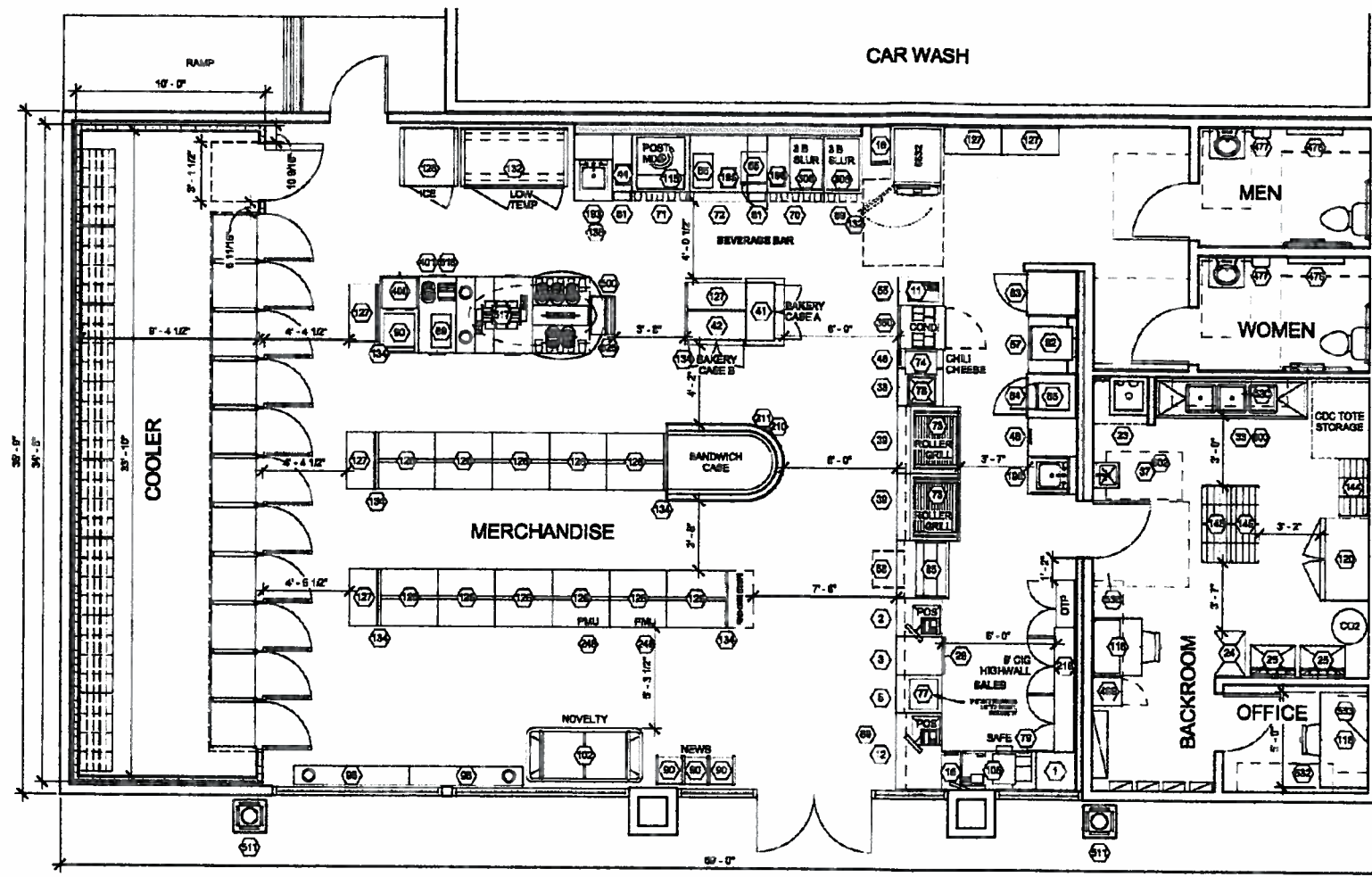
Project Location:
**3192 Santa Rita Rd.
@ Las Positas Blvd.
Pleasanton, CA 94588**
7-Eleven No. 1028088 - Tenant Improvement of 2,487 SQ. FT.

No.	Date	Revision
1		

Scale: As-Noted
Drawn / Check by: V/W/L
Date: May 7, 2013

Site plan
Sheet / Project No 1028088
SP.1

Location: Z:\2013 PROJECTS\VE - BCP\VE-1028068 - Pleasanton, CA - 3192 Santa Rita Rd\CAD Files\VE-1028068 - Hearsh\package.dwg - Plot Date: 7/24/2013 12:11:15 PM



1 FLOOR PLAN
Scale: 1/4" = 1'-0"



14351 Euclid St. Ste. 1-8
Garden Grove, CA 92643
t 714-486-3830
f 714-817-4012

Project Location:

3192 Santa Rita Rd.
@ Las Positas Blvd.
Pleasanton, CA 94588

7-Eleven No. 1028068 - Tenant Improvement of 2,487 SQ. FT.

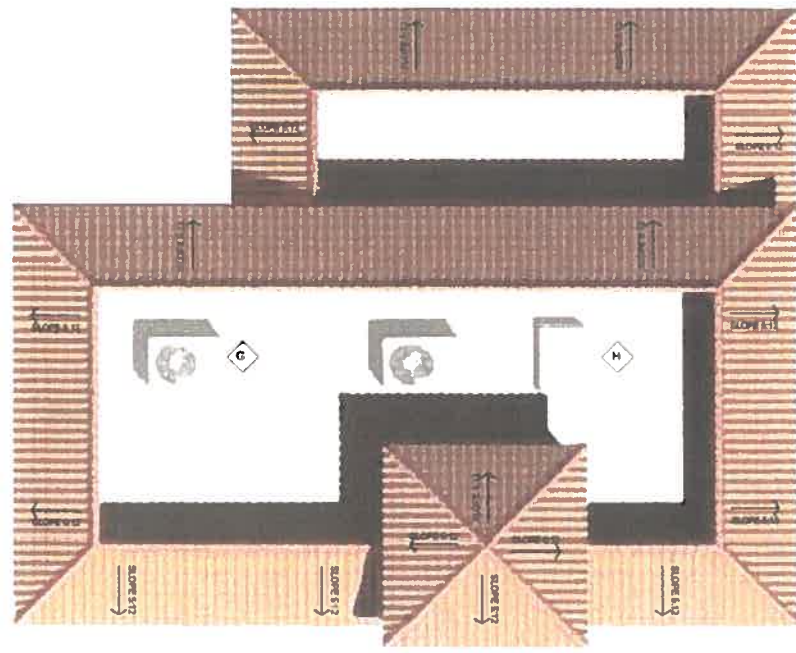
No.	Date	Revision
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Scale: As-Noted
Drawn / Check by: VWD
Date: May 7, 2013

Floor Plan

Sheet / Project No. 1028068

A1.0



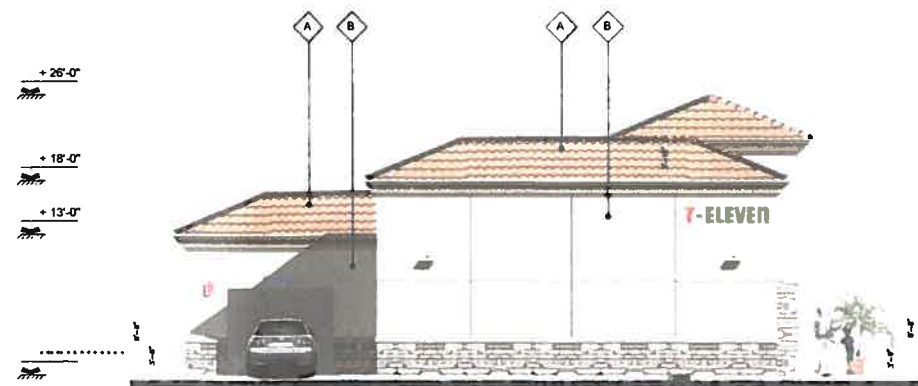
1 PROPOSED ROOF PLAN
Scale: 1/8" = 1'-0"



2 PROPOSED FRONT VIEW (WEST)
Scale: N.T.S.

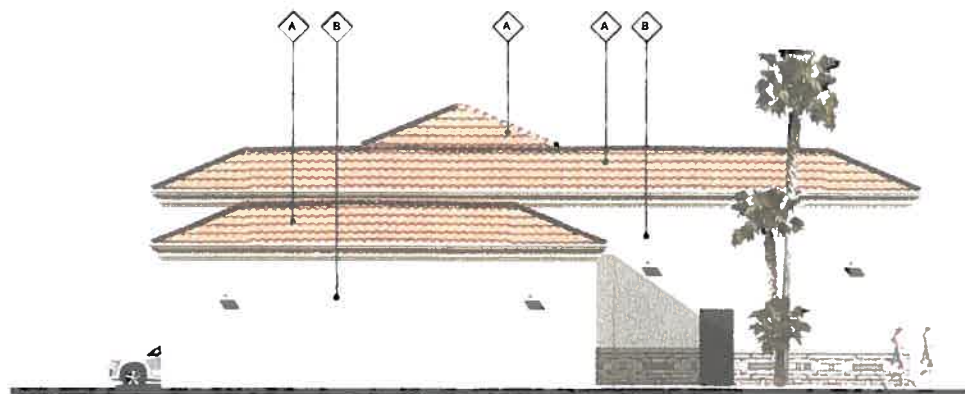


3 PROPOSED WEST ELEVATION
Scale: 1/8" = 1'-0"

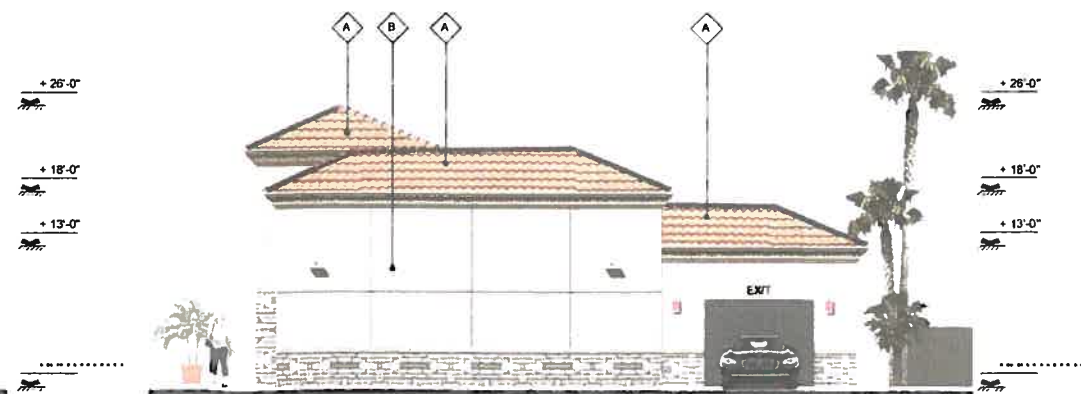


4 PROPOSED NORTH ELEVATION
Scale: 1/8" = 1'-0"

Elevation Keyed Notes	
◇	TILE ROOF
◇	STUCCO FINISH OVER CEMENT PLASTER - LIGHT CREAM COLOR
◇	STUCCO FINISH OVER CEMENT PLASTER - LIGHT BROWN COLOR
◇	SIGN BY OTHER
◇	FIX WINDOW
◇	CULTURAL STONE - NATURAL COLOR
◇	HVAC UNIT
◇	ROOF ACCESS HATCH



5 PROPOSED EAST ELEVATION
Scale: 1/8" = 1'-0"



6 PROPOSED SOUTH ELEVATION
Scale: 1/8" = 1'-0"



14351 Euclid St. Ste. 1-S
Garden Grove, CA 92643
t 714-466-3930
f 714-617-4012

Project Location:

3192 Santa Rita Rd.
@ Las Positas Blvd.
Pleasanton, CA 94588

7-Eleven No. 1028068 - Tenant Improvement of 2,467 SQ. FT.

No.	Date	Revision
△		

Scale: As-Noted
Drawn / Check by: VVK/L
Date: May 7, 2013

Roof Plan & Elevations

Sheet / Project No. 1028068

A1.1

Location: 3192 Santa Rita Rd. - Pleasanton, CA - Proj: Santa Rita Rd. 7-Eleven - 1028068 - 1/24/2013 12:12:43 PM

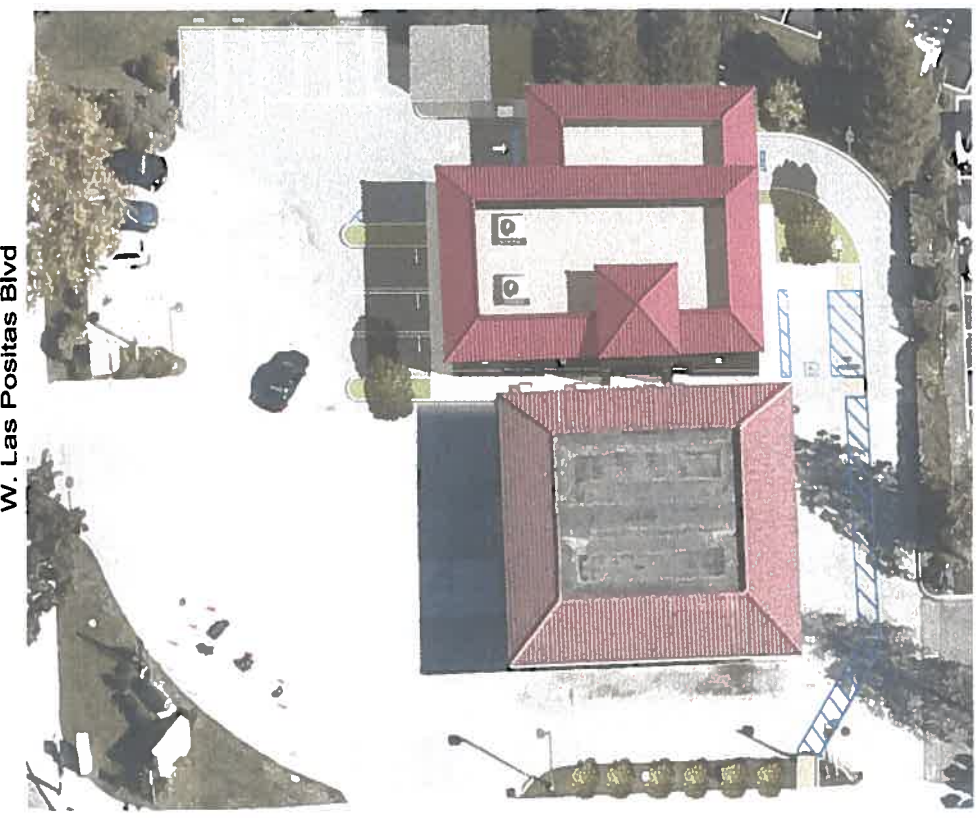
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3 NEW PHOTO SIMULATION - WEST
N.T.S.



1 EXISTING PHOTO SIMULATION - WEST
N.T.S.



4 NEW PHOTO SIMULATION - SOUTH
N.T.S.



2 EXISTING PHOTO SIMULATION - SOUTH
N.T.S.



14351 Euclid St. Ste. 1-S
Garden Grove, CA 92843
T 714-486-3930
F 714-617-4012

Project Location

3192 Santa Rita Rd.
@ Las Positas Blvd.
Pleasanton, CA 94588

7-Eleven No. 1028068 - Tenant Improvement of 2,467 SQ. FT.

No	Date	Revision
△		

Scale: As Noted
Drawn / Check by: VWKL
Date: May 7, 2013

Photo Simulation

Sheet / Project No 1028068

A1.2



1 EXISTING PHOTO SIMULATION - WEST ELEVATION
— N.T.S.



2 EXISTING PHOTO SIMULATION - SOUTH ELEVATION
— N.T.S.



3 NEW PHOTO SIMULATION - WEST ELEVATION
— N.T.S.



4 NEW PHOTO SIMULATION - SOUTH ELEVATION
— N.T.S.



14351 Euclid St. Ste. 1-S
Garden Grove, CA 92843
t 714-486-3930
f 714-617-4012

Project Location

3192 Santa Rita Rd.
@ Las Positas Blvd.
Pleasanton, CA 94588

7-Eleven No. 1028068 - Tenant Improvement of 2,467 SQ. FT.

No.	Date	Revision
△		

Scale As-Noted
Drawn / Check by VVKL
Date May 7, 2013

Photo Simulation

Sheet / Project No 1078068

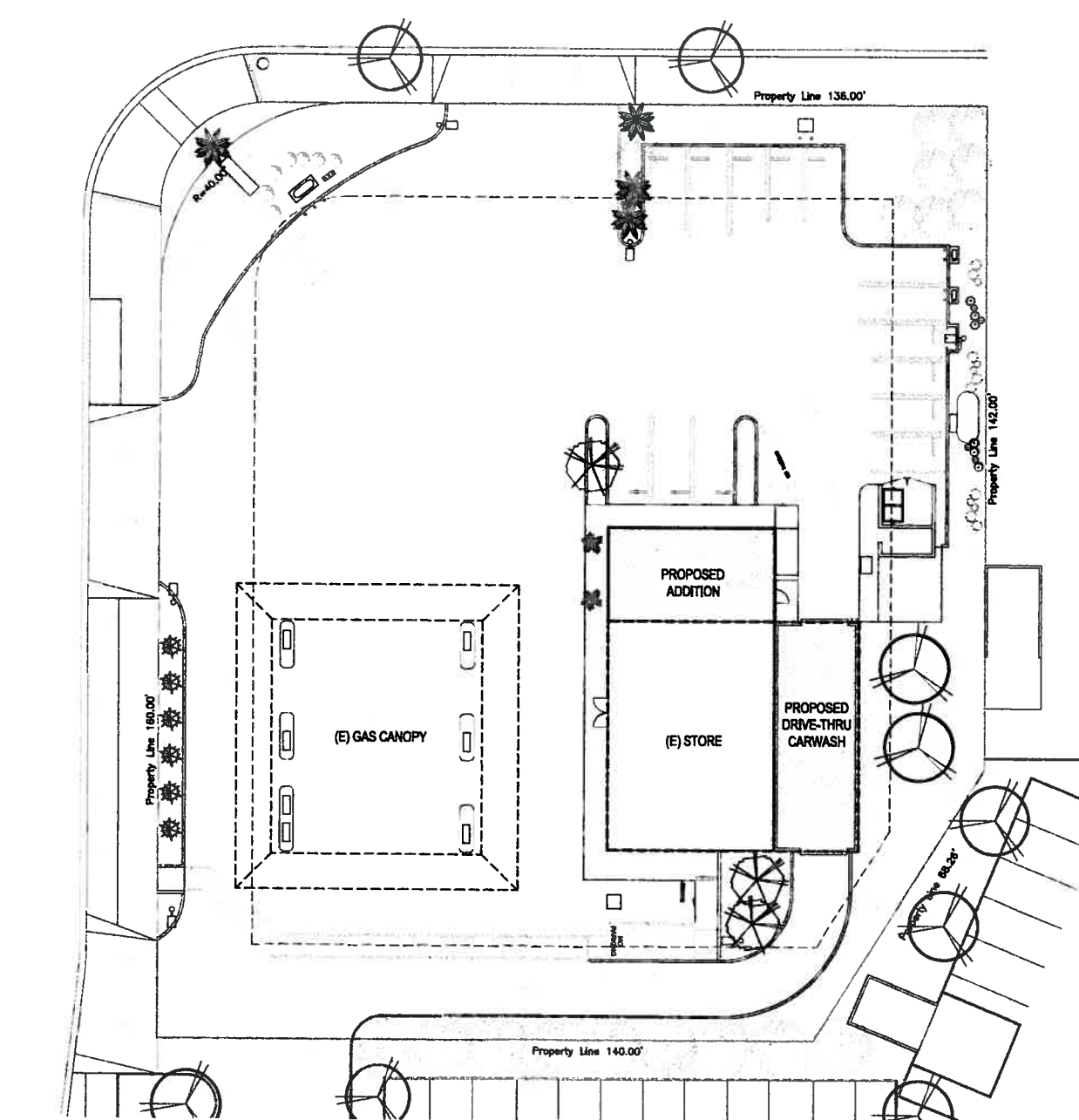
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SANTA RITA ROAD

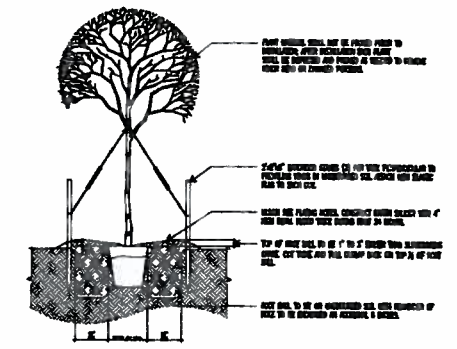
LAS POSITAS BLVD.



1 PROPOSED SITE PLAN
Scale: 1/20" = 1'-0"



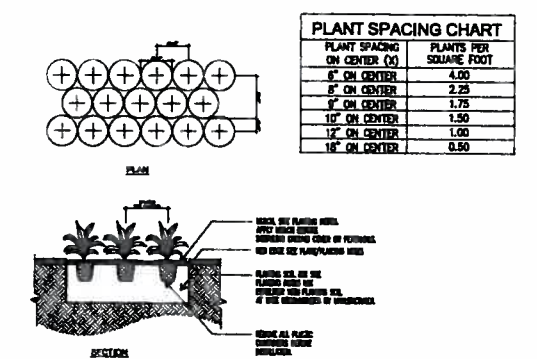
PLANTING SCHEDULE				
TOTAL NUMBER OF PLANTS SHALL BE SHOWN ON THE LANDSCAPE PLAN IF PLANT TYPE, HEIGHT FROM THIS SCHEDULE, THE PLAN SHALL INDICATE				
SYMBOL	KEY	BOTANICAL NAME COMMON NAME	SIZE CONDITION	COMMENTS
	FV	FRAXINUS VELUTINA 'RO GRADE' FAN TEX ASH	2" CAL 24" BOX 6'-10" HT MIN.	SINGLE DOMINATE LEADER SYMMETRICAL FULL CROWN SEE TREE PLANTING DETAIL (TYPICAL)
	PT	PITOSPORUM TOBIRA 'VAREGATA' VAREGATED PITOSPORUM	18" HT/SPR 5 GAL. MIN.	DENSELY BRANCHED, 5' O.C. SEE SHRUB PLANTING DETAIL
	RO	ROSMARINUS OFFICINALIS 'PROSTRATUS' PROSTRATE ROSEMARY	12" SPR 1 GAL. MIN.	DENSELY BRANCHED, 3' O.C. SEE GROUND COVER PLANTING DETAIL
		TREE PRESERVATION FENCING		SEE TREE PRESERVATION DETAIL
		EXISTING LANDSCAPING TO REMAIN		



INSTALLATION NOTES

- EXCAVATION SHALL BE TO THE DEPTH OF THE ROOT BALL AND SHALL BE FILL WITH TOP SOIL.
- 2" MULCH SHALL BE APPLIED TO THE EXCAVATION AND SHALL BE 2" THICK.
- 2" MULCH SHALL BE APPLIED TO THE EXCAVATION AND SHALL BE 2" THICK.
- 2" MULCH SHALL BE APPLIED TO THE EXCAVATION AND SHALL BE 2" THICK.
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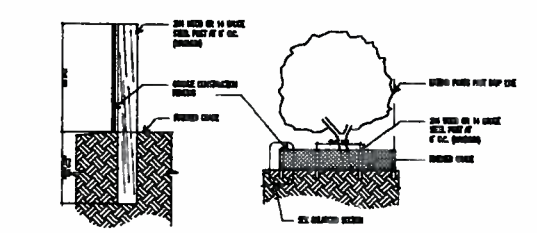
TREE PLANTING SCALE N.T.S. 1



PLANT SPACING CHART

PLANT SPACING ON CENTER (O)	PLANTS PER SQUARE FOOT
6" ON CENTER	4.00
8" ON CENTER	2.25
10" ON CENTER	1.75
12" ON CENTER	1.50
14" ON CENTER	1.30
16" ON CENTER	1.00
18" ON CENTER	0.80

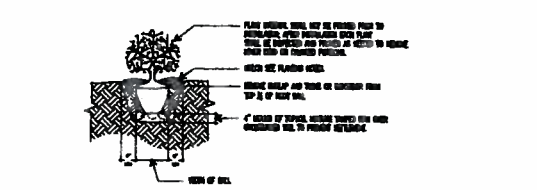
GROUND COVER PLANTING SCALE N.T.S. 2



INSTALLATION NOTES

- EXCAVATION SHALL BE TO THE DEPTH OF THE ROOT BALL AND SHALL BE FILL WITH TOP SOIL.
- 2" MULCH SHALL BE APPLIED TO THE EXCAVATION AND SHALL BE 2" THICK.
- 2" MULCH SHALL BE APPLIED TO THE EXCAVATION AND SHALL BE 2" THICK.
- 2" MULCH SHALL BE APPLIED TO THE EXCAVATION AND SHALL BE 2" THICK.
- 2" MULCH SHALL BE APPLIED TO THE EXCAVATION AND SHALL BE 2" THICK.

TREE PRESERVATION SCALE N.T.S. 3



INSTALLATION NOTES

- EXCAVATION SHALL BE TO THE DEPTH OF THE ROOT BALL AND SHALL BE FILL WITH TOP SOIL.
- 2" MULCH SHALL BE APPLIED TO THE EXCAVATION AND SHALL BE 2" THICK.
- 2" MULCH SHALL BE APPLIED TO THE EXCAVATION AND SHALL BE 2" THICK.
- 2" MULCH SHALL BE APPLIED TO THE EXCAVATION AND SHALL BE 2" THICK.
- 2" MULCH SHALL BE APPLIED TO THE EXCAVATION AND SHALL BE 2" THICK.

SHRUB PLANTING SCALE N.T.S. 4

- PLANTING NOTES**
- LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF GUARANTEE PERIOD.
 - PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. CONTRACTOR SHALL NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
 - IF THE LANDSCAPE CONTRACTOR OBSERVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITION OR ANY OTHER CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO PROCUREMENT AND/OR INSTALLATION. PLANT MATERIAL SHALL CONFORM TO THE PLANT LIST AND KEYS ON THE DRAWINGS AND THE QUALITY STANDARD FOR NURSERY STOCK, BY THE AMERICAN LANDSCAPE & NURSERY ASSOCIATION, ANSI Z60, 1 LATEST EDITION, ALL PLANTS SHALL EQUAL OR EXCEED THE MEASUREMENTS AND SIZES SPECIFIED IN THE SCHEDULE.
 - SUBSTITUTIONS SHALL BE PERMITTED WITH NOTIFICATION AND WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. SUBSTITUTED MATERIAL SHALL BE THE NEAREST EQUIVALENT SIZE, CONDITION AND GROWTH HABIT HAVING THE SAME ESSENTIAL CHARACTERISTIC WITH AN EQUITABLE ADJUSTMENT IN THE WHOLESALE PRICE.
 - THE LANDSCAPE CONTRACTOR SHALL HAVE SOIL TESTS PERFORMED IN LAWN AND THE PLANTING BED AREAS TO EVALUATE AND PH LEVELS. THE LANDSCAPE CONTRACTOR SHALL INCORPORATE FERTILIZER AND/OR SOIL AMENDMENT ADDITIVES AS RECOMMENDED BY SOIL TEST.
 - ALL PLANTINGS BEDS TO RECEIVE 8" MIN. OF PREPARE BACK FILL MIX. ALL INDIVIDUALLY PLANTED TREES AND SHRUBS TO BE BACK FILLED WITH PREPARED BACK FILL MIX. PREPARED BACK FILL MIXTURES SHALL BE MIXED ON SITE, CONSISTING OF ONE PART TOPSOIL, ONE PART SOIL AMENDMENT, ONE PART SOIL FROM EXCAVATION, TOPSOIL: ASTM D5268, PH RANGE OF 5.5 TO 7, MIN. 4 PERCENT ORGANIC MATERIAL, FREE OF STONES 1 INCH AND LARGER, SOIL AMENDMENT: SPHAGNUM PEAT MOSS OR COMPOST.
 - CONTRACTOR TO SLIGHTLY FIELD ADJUST PLANT LOCATIONS AS NECESSARY TO AVOID UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING(S).
 - PARKING LOT TREES SHALL HAVE A CLEAR TRUNK DISTANCE OF 6' MINIMUM ABOVE PAVING.
 - TREES SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS, CURBS OR FIRE HYDRANTS.
 - PLANTINGS SHALL BE FERTILIZED UPON INSTALLATION WITH A SLOW RELEASE GRANULAR COMMERCIAL TREE/SHRUB FERTILIZER. RATE PER MANUFACTURE'S INSTRUCTIONS. FERTILIZER TO BE MIXED WITH BACK FILL PREVIOUSLY DESCRIBED. FERTILIZER TABLETS ARE NOT ACCEPTABLE.
 - PLANTING BEDS SHALL BE COVERED WITH PRE-EMERGENT HERBICIDE APPLIED AT PRODUCT SPECIFIED RATE UNLESS OTHERWISE NOTED.
 - ALL PLANTING BEDS SHALL BE COVER WITH WEED BARRIER. IMPERVIOUS PLASTIC IS NOT ACCEPTABLE.
 - ALL PLANTING BEDS SHALL RECEIVE 2"-3" DEPTH SHREDDED HARDWOOD MULCH UNLESS NOTED OTHERWISE. CHANGE MUST BE APPROVED BY OWNER'S REPRESENTATIVE. MULCH SHALL BE DISEASE AND PEST FREE, UNIFORM COLOR, AND FREE OF TWIGS, LEAVES OR OTHER MATERIAL UNSIGHTLY OR IN INJURIOUS TO PLANT.
 - WITHIN CONTRACT LIMITS, SEED OR SOD ALL AREAS NOT COVERED BY PAVING, BUILDINGS OR PLANTING BEDS UNLESS OTHERWISE NOTED. SODDING SHALL NOT BEGIN UNTIL AREA HAS RECEIVED A FINISHED GRADE.
 - LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE AREAS (EXISTING OR PROPOSED) UNTIL SITE TURNOVER.
 - ANY ITEM OR AREAS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AT THE CONTRACT'S EXPENSE.
 - LANDSCAPING TO COMPLY WITH ALL APPLICABLE CITY/LOCAL REGULATIONS.



Asi
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Project Location:

**3192 Santa Rita Rd.
@ Las Positas Blvd.
Pleasanton, CA 94588**

7-Eleven No. 1028068 - Tenant Improvement of 2,467 SQ. FT.

No	Date	Revision
1		

Scale: As-Noted
Drawn / Check by: VVKL
Date: May 7, 2013

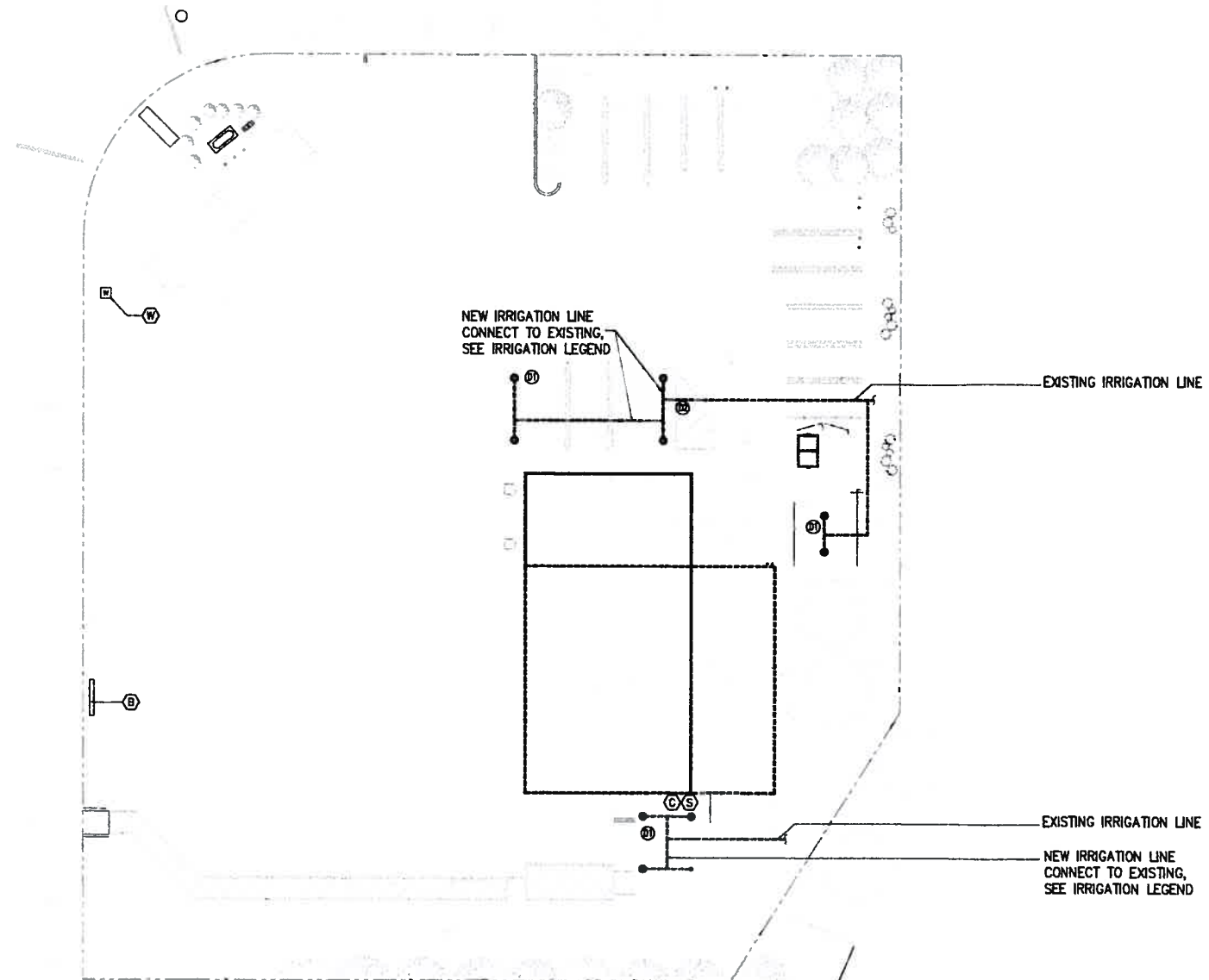
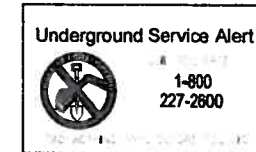
Landscape Plan

Sheet / Project No 1028068

L1.0

Location: P:\013 PROJECTS\VE - BU\VE - 1028068 - Pleasanton, CA - 3197_Santa Rita Rd\CAD File\VE-1028068 - L1.1 Landscape.dwg - Plot Date: //24/2013 10:16:24 PM

ZONE SCHEDULE							
ZONE	TOTAL FLOW	TOTAL HEADS	AREA (SQ. FT.)	DIP LINE LENGTH	FRICTION LOSS (PSI/100')	PLANT TYPE	PLANT WATER USE
D1	2.50 G.P.M.	8	± 374	N/A	0.06	GROUNDCOVER	MODERATE
D2	2.59 G.P.M.	2	± 72	N/A	0.21	GROUNDCOVER	LOW



IRRIGATION NOTES

- A. PRIOR TO ANY EXCAVATION AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER AND/OR LANDSCAPE ARCHITECT AND CONSULT WITH OWNER'S REPRESENTATIVE AND UTILITY COMPANY'S REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY LOCATIONS AND DEPTHS. NO COMPENSATION WILL BE GRANTED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.
- B. IRRIGATION PLAN IS SCHEMATIC. LOCATIONS OF PROPOSED IRRIGATION MAINLINE, LATERALS, AND VALVES ARE SHOWN SCHEMATICALLY FOR CLARITY, AND SHALL BE LOCATED IN GREEN SPACE AT DISCRETION OF IRRIGATION CONTRACTOR. IRRIGATION MAIN LINE AND VALVE SHALL NOT BE INSTALLED WITHIN THE RIGHT-OF-WAY WITHOUT WRITTEN CONSENT OF THE LOCAL JURISDICTION. IRRIGATION CONTRACTOR IS TO SUBMIT SHOP DRAWINGS SHOWING ALL VALVES, HEADS, PUMPS AND LINES SIZES TO OWNER PRIOR TO INSTALLATION.
- C. THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO INSTALL A SYSTEM THAT WILL PROPERLY COVER ALL AREAS PLANTED ON PLANTING PLAN (S).
- D. IRRIGATION CONTRACTOR SHALL MAKE ANY FIELD CHANGES IN THE SYSTEM NECESSARY TO MAKE THE SYSTEM PERFORM AS SPECIFIED.
- E. IRRIGATION CONTRACTOR TO VERIFY ALL WATER PRESSURES. IF APPLICABLE, INSTALL 1" WATER PRESSURE REDUCING VALVE, WATTS #25AUB-23, RAINEIRD #PSO-MA0X-100, OR EQUIVALENT DOWNSTREAM OF SHUT-OFF VALVE.
- F. IRRIGATION CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS TO THE OWNER PRIOR TO FINAL ACCEPTANCE.
- G. IRRIGATION CONTROLLER AND PROGRAMING TO BE PROVIDED BY IRRIGATION CONTRACTOR.
- H. CONTRACTOR TO VERIFY LOCATION AND OPERATION OF CONTROLLER WITH OWNER'S REPRESENTATIVE.
- I. THE IRRIGATION SYSTEM SHALL BE INSTALLED AND FULLY OPERATIONAL BEFORE PLANT INSTALLATION MAY BEGIN.
- J. LATERAL LINES SHALL BE 12" MIN. BELOW FINISH GRADE. MAIN LINE SHALL BE 18" MIN. BELOW FINISH GRADE. SLEEVES SHALL BE 24" MIN. BELOW PAVEMENT, AND EXTEND AT LEAST 12" BEYOND PAVEMENT. ALL WIRES LOCATED BELOW PAVEMENT SHALL BE INSTALLED IN A SEPARATE PVC SLEEVE. BACKFILL WITH CLEAN SOIL FREE OF ROCKS, AND TAMP EVERY 4" OF LIFT.
- K. ALL CONTROL WIRE TO BE RUN UNDER MAIN LINE. WIRING SHALL BE UL 493, TYPE OF MULTI CONDUCTOR, WITH SOLID-COPPER CONDUCTORS; INSULATED CABLE, SUITABLE FOR DIRECT BURIAL. FEEDER-CIRCUIT CABLE SHALL BE NO. 12 AWG MINIMUM, BETWEEN BUILDING AND CONTROLLER (S), LOW-VOLTAGE, BRANCH-CIRCUIT CABLES SHALL BE NO. 14 AWG MINIMUM, BETWEEN CONTROLLER(S) AND AUTOMATIC CONTROL VALVES; COLOR-CODED DIFFERENT FROM FEEDER-CIRCUIT-CABLE. JACKETS OF DIFFERENT COLORS FOR MULTIPLE-CABLE- INSTALLATION IN SAME TRENCH, ALL ELECTRICAL CONNECTIONS SHALL BE WATER PROOF.
- L. ALL DEBRIS SPILLED IN ANY ADJACENT R.O.W AND OR ADJOINING PROPERTIES SHALL BE CLEANED UP AND REMOVED BY THE CONTRACTOR.
- M. IRRIGATION CONTRACTOR SHALL PROVIDE A BID ALTERNATE FOR AN ONGOING MAINTENANCE AND REPAIR PROGRAM FOR IRRIGATION SYSTEM.
- N. IRRIGATION SYSTEM SHALL COMPLY WITH ALL LOCAL REQUIREMENTS. ALL NEW IRRIGATION SHALL BE DRIP SYSTEM.
- O. SEE IRRIGATION DETAILS.

IRRIGATION LEGEND	
(W)	EXISTING IRRIGATION WELDER TO REMAIN
(B)	EXISTING BROWLON PRESSURIZER TO REMAIN
(C)	CONTRACTOR SHALL LOCATE AND UPGRADE OR REPLACE EXISTING CONTROLLER IF REQUIRED TO SERVE BOTH NEW AND EXISTING ZONES. THE CONTROLLER MUST BE REPLACED IF NOT CAPABLE OF UTILIZING EITHER EMPOWERPERFORM OR RWI SENSOR DATA FOR IRRIGATION SCHEDULING. IF NEW CONTROLLER IS REQUIRED, INSTALL 48" (OR LARGER) IRRIGATION CONTROLLER IN MECHANICAL ROOM. HUNTER EC-800-PL WITH PLASTIC CASING.
(S)	HUNTER SOLAR SENS (EMPOWERPERFORM, RWI AND FREEZE SENSORS). MOUNT SENSOR ON ROOF IN OBSCURE LOCATION CLEAR OF OBSTRUCTIONS. INSTALL PER HUNTER INSTALLATION INSTRUCTIONS.
	PVC CLASS 200 IPS PLASTIC OR POLYETHYLENE SOIL PRESSURE RATED LATERAL LINE, SIZE BY CONTRACTOR.

CONTRACTOR SHALL ARRANGE FOR AN IRRIGATION AUDIT AFTER INSTALLATION FOR BOTH NEW AND EXISTING IRRIGATION. THE IRRIGATION AUDIT SHALL BE CONDUCTED BY CERTIFIED LANDSCAPE IRRIGATION AUDITORS IN ACCORDANCE WITH THE STATE OFF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LANDSCAPE IRRIGATION AUDITOR HANDBOOK. CONTRACTOR SHALL IMPLEMENT THE RECOMMENDATIONS FROM THE IRRIGATION AUDIT REPORT.

PRODUCTS PROVIDED BY HUNTER OR HUNTER THAT ARE OF EQUAL OR SUPERIOR QUALITY AND CONSTRUCTION ARE ACCEPTABLE PRODUCT ALTERNATES.

1 IRRIGATION PLAN
Scale: 1/20" = 1'-0"



14351 Euclid St. Ste 1-8
Garden Grove, CA 92843
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F 714-617-4012

ASi
14351 Euclid St. Ste 1-8
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Project Location:
**3192 Santa Rita Rd.
@ Las Positas Blvd.
Pleasanton, CA 94588**

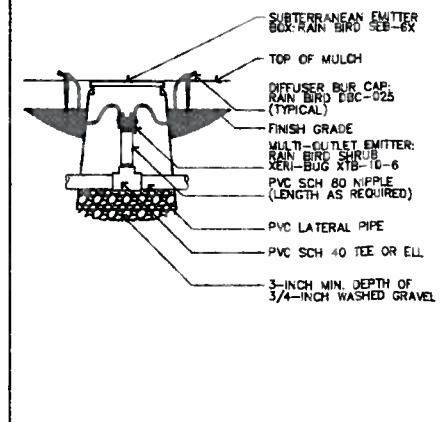
7-Eleven No. 1028068 - Tenant Improvement of 2,467 SQ. FT.

No.	Date	Revision
1		

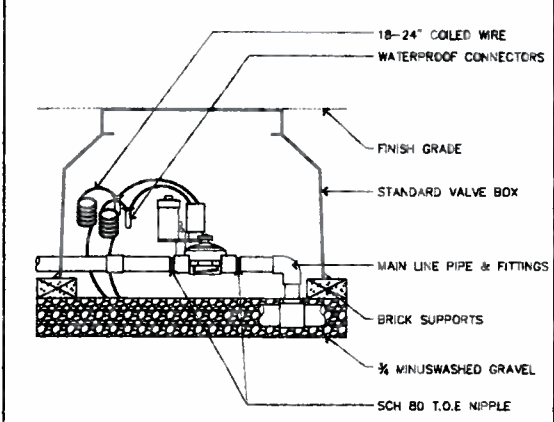
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Drawn / Check by: WKL
Date: May 7, 2013

Irrigation Plan
Sheet / Project No. 1028068
L1.1

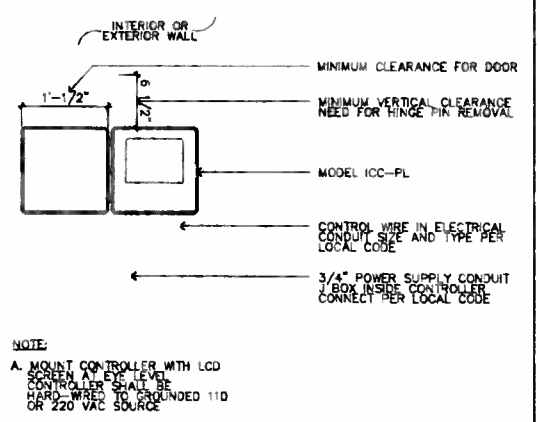
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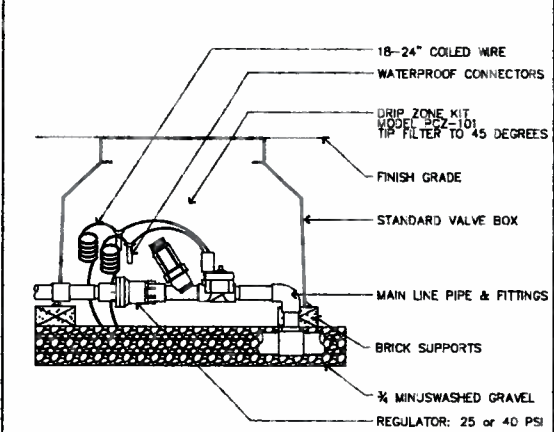
THREADED MULTI-OUTLET EMITTER (XBT)
SCALE: N.T.S.



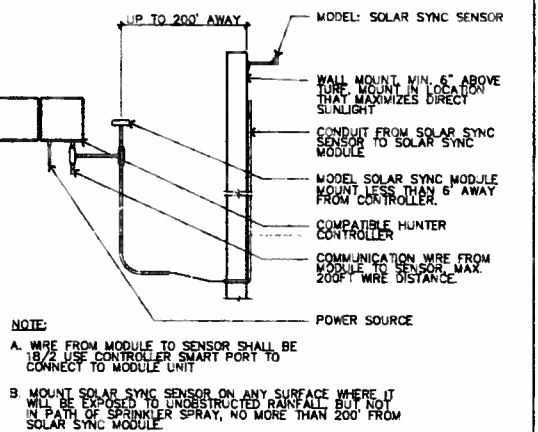
ICV GLOVE VALVE
SCALE: N.T.S.



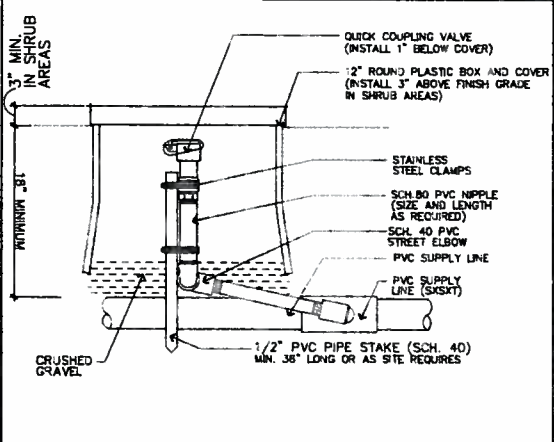
ICC PLASTIC CABINET CONTROLLER
SCALE: N.T.S.



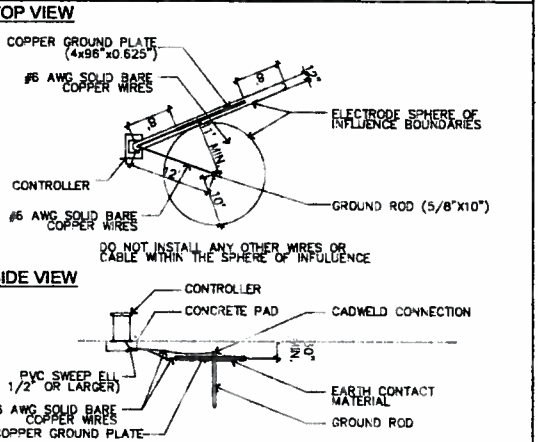
PCZ DRIP CONTROL VALVE
SCALE: N.T.S.



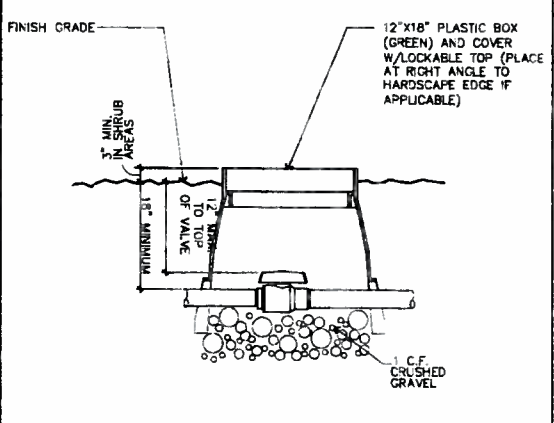
SOLAR SYNC SYSTEM
SCALE: N.T.S.



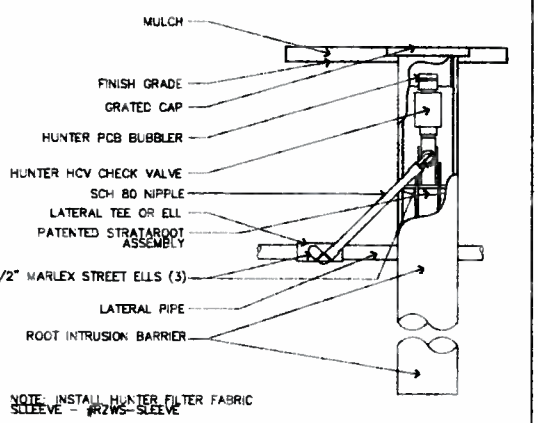
QUICK COUPLER VALVE
SCALE: N.T.S.



GROUND FOR CONTROLLER
SCALE: N.T.S.



BALL VALVE
SCALE: N.T.S.



ROOT ZONE WATERING SYSTEM
SCALE: N.T.S.



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Pleasanton, CA 94588

7-Eleven No. 1028068 - Tenant Improvement of 2,467 SQ. FT.

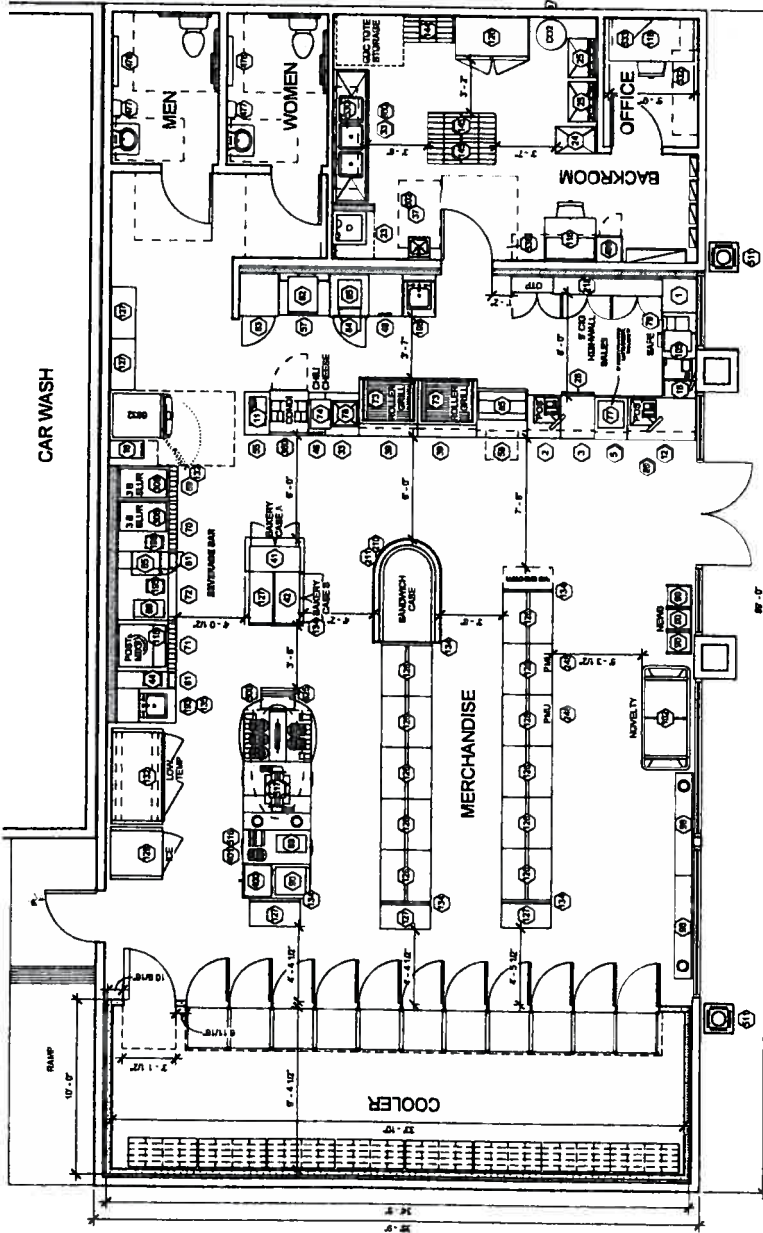
No.	Date	Revision

Scale: As-Noted
Drawn / Check by: VVKL
Date: May 7, 2013

Irrigation Details

Sheet / Project No 1028068

L2.0



LAYOUT INFORMATION

ROLLER GRILLS	2	CID	
SANDWICH CASE	11		
LOW TEMP DOORS	2		
ICE MERCHANT DOORS	1		
NOVELTY CASE	6		
SLURPEE BARRELS	2		
BAKERY CASE			
GONDOLA UNITS	23		
END CAPS	4		
HIGH-WALLS	2		
TOTAL	29		
TOTAL SQ FT	= 2,477		
SALES FLOOR AREA	= 1,555		
OCCUPANCY LOAD(<49)	= 48		
TRAVEL DISTANCE(<75)	= 774'		
RESTROOMS REQ'D	= 2		
EXITS REQUIRED	= 2		
GAS - Y		LIQUOR - N	
BEER - Y		WINE - Y	
OVERHEAD SHELVING	= 20'		
FLOOR SHELVING	= 11'		

HFA
 ARCHITECTS
 ENGINEERS
 INTERIORS

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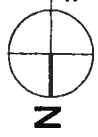
1028068 PLEASANTON, CA - LAYOUT 6

7-12-2013

HFA #12-00232

LAYOUT APPROVED 7-12-2013

3192 SANTA RITA RD.





New interior finishes

- Maple wall coverings
- Simulated granite counter top coffee island
- LED lighting on ceiling and cooler doors
- 12X24 floor tiles
- Neon clock with tri-stripe



New interior finishes





New interior finishes





New interior finishes



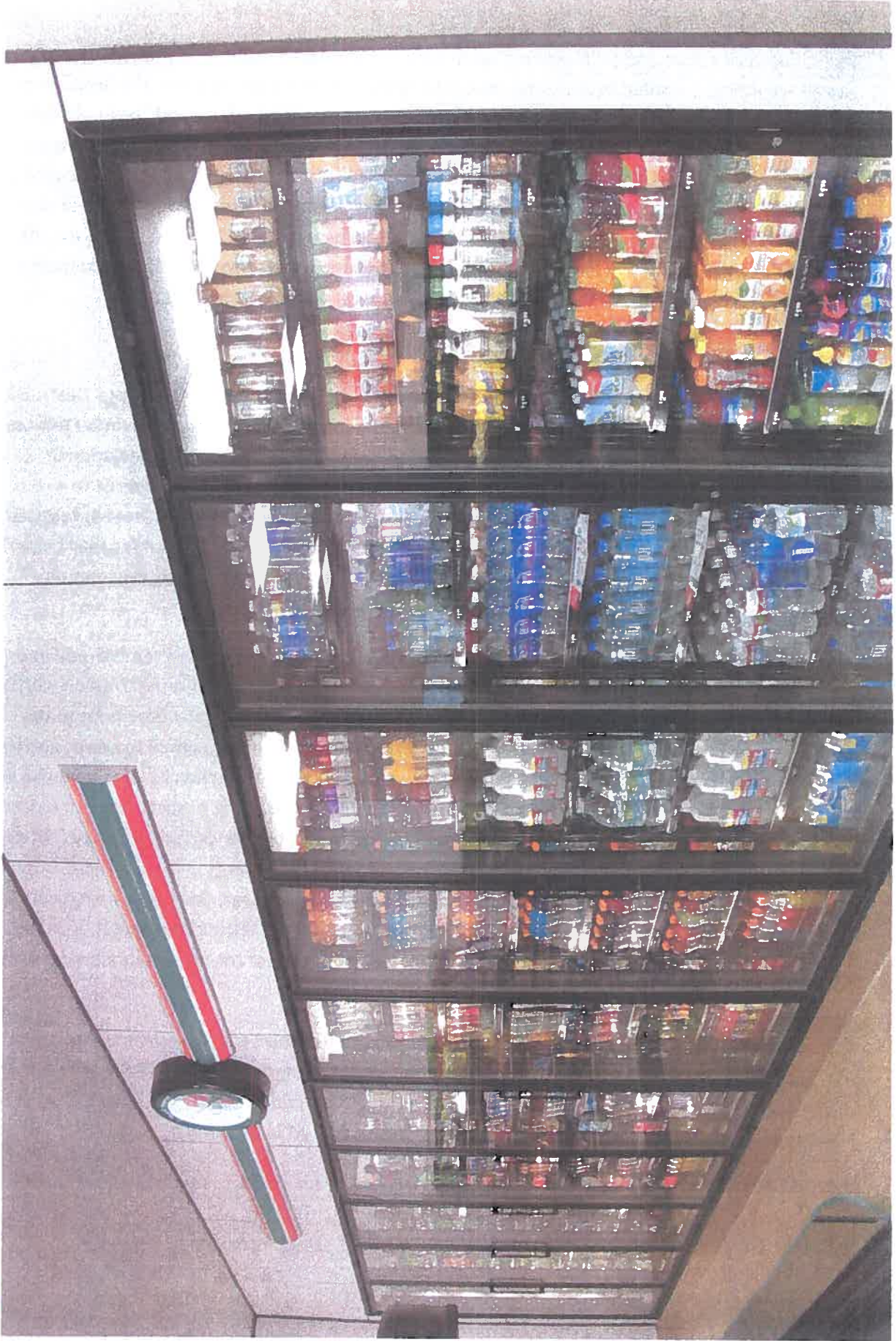


New interior finishes





New interior finishes





New interior finishes



SURVEY

5/21/2013

Gasoline/C-Store/Beer and Wine/Parking/Hours

Location	Brand	Gas	Beer/Wine	Parking	Hours	Notes
1797 Santa Rita at Valley	Chevron	Yes	Yes	4	24	C-Store 1 Crosshatched Parking on W. Side. Traffic Signal Pedestrian Not Timed
1801 Santa Rita at Valley	Shell	Yes	No	11	6 am - 10 pm	Snack Shop
4307 Valley Near Santa Rita	7-Eleven	No	Yes	6 + 18 Common	24	6 Retail Downstairs + 4 Offices Upstairs
Hopyard Near W. Las Positas	7-Eleven	No	Yes	5	24	10 Common Area Parking on Side
Bernal & Valley	Chevron	Yes	Yes	43	24	C-Store, Jack In Box, Car Wash
3790 Hopyard & W. Las Positas	Shell	Yes	No	14	24	Snack Shop
3121 Bernal & Utah	AM-PM	Yes	Yes	21	5 am - 11 pm	Large C-Store, Car Wash
First St. & Ray	Union 76	Yes	Future C-Store		6 am - 10 pm	Approved Re-Build w/ 24 Hr. Gas & C-Store 5 am - 11 pm
4212 First St. & Vineyard	Shell	Yes	No	20	6 am - 10 pm	Snack Shop
Bernal & Valley	Safeway	Yes	Yes	3	24	Snack Shop
Valley & Hopyard	Peets	No	No	9 + Common	5:30 am - 8 pm S/SU 5:30 am - 9 pm	Multi Tenant
Santa Rita S. of Valley	Starbucks	No	No		5 am - 9 pm	Multi Tenant
Bernal & Valley	Starbucks	No	No	Multi	4:30 am - 10 pm S/SU 5 am - 10 pm	Next to Safeway Gas. Multi Tenant
6750 Santa Rita & Pimlico	Shell	Yes	No	7	24	Snack Shop Car Wash
5251 Hopyard & Owens	Shell	Yes	Yes	11	24	C-Store Car Wash
5280 Hopyard & Owens	Chevron	Yes	No	3	24	Snack Shop Car Wash

Exhibit B
P13-0336

3192 Santa Rita Road

5/21/2013

Brad Hirst

From: Miguel, James [JMiguel@lfire.org]
Sent: Wednesday, April 24, 2013 5:14 PM
To: Brad Hirst; Jenny Soo
Subject: Station 3 Dispatch Numbers

As requested, I have evaluated the service demands for Fire Station #3, located at the corner of West Las Positas and Santa Rita Rd. My data includes 1 year, from April 1, 2012 to March 30, 2013.

During this timeframe, Truck 93 was 1132 emergencies, of which 170 were between the hours of 10 pm and 5 am, equating to %15 of their total call volume.

I hope this helps. Please feel free to contact me if there are any other questions.

Jim



Jim Miguel, Fire Chief
LIVERMORE-PLEASANTON FIRE DEPARTMENT
925-454-2300 office
925-249-2397 Fax



Exhibit B
P13-0336
3192 Santa Rita Road
Dated "Received July 26, 2013"

VALERO

2991 HOPYARD RD

3192 SANTA RITA RD

CALL FOR SERVICE TYPES	2012				2012			
	2009	2010	2011	Jan - Sep	2009	2010	2011	Jan - Sep
20002 VC- HIT AND RUN	1	0	0	0	0	0	0	0
23152 VC- DUI	0	0	0	0	0	1	0	0
242 PC- BATTERY	1	0	0	0	0	1	0	0
415 PC- DISTURBANCE	1	3	0	2	0	2	1	0
459 PC- BURGLARY	0	1	0	0	0	0	0	0
484 PC- PETTY THEFT	1	0	0	0	1	0	0	0
487 PC- GRAND THEFT	0	0	0	0	1	0	0	0
594 PC- VANDALISM	0	0	0	0	0	0	0	0
647(F) PC- DRUNK/DRUGS	0	0	0	0	0	0	1	0
911 CALL	0	0	0	0	0	0	0	0
ADMIN DETAIL	0	1	0	0	0	0	0	0
ALARM	0	0	0	1	0	0	0	1
ANIMAL CONTROL	0	0	0	0	0	0	0	0
BIKE STOP	2	0	0	2	0	0	0	0
CITIZEN ASSIST	0	0	0	0	0	0	0	0
CIVIL STANDBY	0	0	1	0	0	1	0	0
FIELD INTERROGATION	0	0	0	0	0	0	0	0
FIRE CALL	0	0	0	0	0	0	0	0
FOLLOW-UP	0	0	0	0	0	1	0	0
FOUND PROPERTY	0	0	0	0	1	0	0	1
GRAFFITI	0	1	0	0	0	0	0	0
HEALTH & SAFETY VIOLATION	0	0	0	0	0	0	0	1
ILLEGAL PARK	0	0	0	0	1	0	0	0
INCIDENT	0	1	2	3	3	1	3	4
JUVENILE PROBLEM	0	0	0	0	0	0	1	0
LOST PROPERTY	0	0	1	0	0	0	0	0
MEDICAL ASSISTANCE	0	0	1	0	0	0	1	1
MENTAL ILLNESS	0	0	0	0	0	0	0	0
MISC. PUBLIC SERVICE	0	0	0	0	0	0	0	0
PATROL CHECK	0	0	0	2	0	0	2	0
PEDESTRIAN STOP	1	0	0	1	1	0	3	1
SUSPICIOUS CIRCUMSTANCE	0	0	0	0	0	0	0	0
SUSPICIOUS PERSON	0	0	2	1	0	1	5	3
SUSPICIOUS VEH.	2	2	1	2	1	1	4	1
TRAFFIC COLLISION	1	0	0	0	0	0	1	0
TRAFFIC STOP	14	13	19	15	21	22	22	16
VC VIOLATION	0	0	0	0	0	1	0	1
WARRANT - SUBPOENA SERVICE	0	0	0	0	0	0	0	0
TOTAL	24	22	27	29	30	32	44	30

Exhibit B
P13-0336

3192 Santa Rita Road
Dated "Received July 26, 2013"

prepared by MWong
100112

SEVEN-11

3760 HOPYARD RD

4307 VALLEY AV

CALL FOR SERVICE TYPES	<u>2012</u>				<u>2012</u>			
	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>Jan - Sep</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>Jan - Sep</u>
20002 VC- HIT AND RUN	0	1	1	0	0	0	1	0
23152 VC- DUI	0	1	0	0	0	0	0	0
242 PC- BATTERY	0	2	1	0	0	2	2	0
415 PC- DISTURBANCE	2	2	2	0	2	3	5	2
459 PC- BURGLARY	0	1	0	0	0	0	0	0
484 PC- PETTY THEFT	5	4	4	0	1	6	1	1
487 PC- GRAND THEFT	0	0	0	0	0	0	1	0
594 PC- VANDALISM	0	1	0	0	0	2	0	0
647(F) PC- DRUNK/DRUGS	0	0	1	0	1	0	1	0
911 CALL	0	0	0	0	1	1	1	1
ADMIN DETAIL	0	0	0	0	0	0	0	0
ALARM	0	0	0	0	0	0	0	0
ANIMAL CONTROL	0	0	0	0	0	1	0	0
BIKE STOP	0	0	2	1	1	1	0	0
CITIZEN ASSIST	0	1	0	0	0	0	1	0
CIVIL STANDBY	0	0	0	0	0	0	0	0
FIELD INTERROGATION	2	1	3	1	1	0	6	1
FIRE CALL	1	0	0	0	0	0	0	0
FOLLOW-UP	0	2	1	0	1	0	3	2
FOUND PROPERTY	0	0	0	0	0	0	1	0
GRAFFITI	2	0	2	0	1	0	1	1
HEALTH & SAFETY VIOLATION	1	0	4	2	2	1	0	0
ILLEGAL PARK	0	0	0	0	0	6	0	0
INCIDENT	5	7	9	7	4	0	5	5
JUVENILE PROBLEM	9	4	7	2	1	1	4	1
LOST PROPERTY	0	1	0	0	0	1	0	1
MEDICAL ASSISTANCE	0	0	1	1	0	2	0	0
MENTAL ILLNESS	0	1	0	0	0	0	1	0
MISC. PUBLIC SERVICE	0	0	0	0	1	1	0	0
PATROL CHECK	8	3	3	1	3	3	3	1
PEDESTRIAN STOP	16	9	16	13	8	5	4	1
SUSPICIOUS CIRCUMSTANCE	0	1	0	0	0	0	0	0
SUSPICIOUS PERSON	0	4	2	3	3	1	3	0
SUSPICIOUS VEH.	4	5	22	8	4	3	2	1
TRAFFIC COLLISION	0	1	1	0	0	0	1	0
TRAFFIC STOP	32	29	24	14	53	9	8	5
VC VIOLATION	0	1	0	0	0	0	0	0
WARRANT - SUBPOENA SERVICE	0	0	1	0	0	0	0	0
TOTAL	87	82	107	53	88	49	55	23

	2009		
	CHEVRON	CHEVRON	SHELL
<u>CALLS FOR SERVICE</u>	<u>1797 SANTA RITARD</u>	<u>1875 VALLEY AV</u>	<u>5251 HOPYARD RD</u>
20002 VC- HIT AND RUN		3	
23152 VC- DUI		4	
242 PC- BATTERY	2	1	
415 PC- DISTURBANCE	1	3	
459 PC- BURGLARY			
470 PC- FORGERY			
484 PC- PETTY THEFT	1		1
487 PC- GRAND THEFT			
537 PC- DEFRAUD INNKPR			
594 PC- VANDALISM			
602(L) PC- TRESPASSING			
647(F) PC- DRUNK/DRUGS	1	1	
911 CALL		2	
ADMIN DETAIL			
ADVICE		1	
ANIMAL CONTROL		1	
BIKE STOP	1		1
BP VIOLATION			
CITIZEN ASSIST	1		
CIVIL STANDBY		1	
COURT ORDER VIOLATION			
FIELD INTERVIEW	2		
FIRE CALL			
FOLLOW-UP			
FOUND PROPERTY			
HAZARD		1	
HEALTH & SAFETY			
ILLEGAL PARK		1	1
INCIDENT	3	8	10
JUVENILE PROBLEM			
LOST PROPERTY		1	1
MEDICAL ASSISTANCE		1	
MISC. PUBLIC SERVICE			
MISSING PERSON			1
OVERDOSE			
PATROL CHECK	1	5	1
PED STOP	2	10	8
PMC VIOLATION			
STOLEN VEHICLE			
SUSPICIOUS CIRCUMSTANCE		1	
SUSPICIOUS PERSON	2	2	3
SUSPICIOUS VEH.	1	5	7
TRAFFIC COLLISION	1		
TRAFFIC STOP	24	46	95
VEHICLE CODE		3	
WARRANT - SUBPOENA SERVICE			
GRAND TOTAL	43	101	129

	2010		
	CHEVRON	CHEVRON	SHELL
CALLS FOR SERVICE	1797 SANTA RITA RD	1875 VALLEY AV	5251 HOPYARD RD
20002 VC- HIT AND RUN			
23152 VC- DUI	1	1	
242 PC- BATTERY		1	
415 PC- DISTURBANCE	2	10	
459 PC- BURGLARY			1
470 PC- FORGERY		1	
484 PC- PETTY THEFT	1	3	2
487 PC- GRAND THEFT			
537 PC- DEFRAUD INNKPR			
594 PC- VANDALISM		1	
602(L) PC- TRESPASSING		1	
647(F) PC- DRUNK/DRUGS	2	2	
911 CALL			
ADMIN DETAIL			1
ADVICE			
ANIMAL CONTROL		1	
BIKE STOP			2
BP VIOLATION			
CITIZEN ASSIST			
CIVIL STANDBY			
COURT ORDER VIOLATION			
FIELD INTERVIEW	2	2	1
FIRE CALL			
FOLLOW-UP			
FOUND PROPERTY			1
HAZARD			
HEALTH & SAFETY		1	1
ILLEGAL PARK		2	
INCIDENT	2	13	5
JUVENILE PROBLEM	1	1	
LOST PROPERTY			1
MEDICAL ASSISTANCE		2	
MISC. PUBLIC SERVICE			1
MISSING PERSON			
OVERDOSE			
PATROL CHECK	1	9	
PED STOP	1	13	8
PMC VIOLATION			
STOLEN VEHICLE			
SUSPICIOUS CIRCUMSTANCE			
SUSPICIOUS PERSON	1	4	
SUSPICIOUS VEH.	1	15	8
TRAFFIC COLLISION			
TRAFFIC STOP	25	43	105
VEHICLE CODE		2	
WARRANT - SUBPOENA SERVICE			
GRAND TOTAL	40	128	137

	2011		
	CHEVRON	CHEVRON	SHELL
<u>CALLS FOR SERVICE</u>	<u>1797 SANTA RITA RD</u>	<u>1875 VALLEY AV</u>	<u>5251 HOPYARD RD</u>
20002 VC- HIT AND RUN	1		1
23152 VC- DUI		1	1
242 PC- BATTERY		1	
415 PC- DISTURBANCE	3	5	3
459 PC- BURGLARY		1	
470 PC- FORGERY			
484 PC- PETTY THEFT	1	1	2
487 PC- GRAND THEFT			
537 PC- DEFRAUD INNKPR	1		
594 PC- VANDALISM			
602(L) PC- TRESPASSING			
647(F) PC- DRUNK/DRUGS	1		1
911 CALL			
ADMIN DETAIL			
ADVICE	1		
ANIMAL CONTROL			
BIKE STOP	1	1	
BP VIOLATION			
CITIZEN ASSIST			
CIVIL STANDBY		5	
COURT ORDER VIOLATION		1	
FIELD INTERVIEW	1	2	2
FIRE CALL			
FOLLOW-UP		1	
FOUND PROPERTY		1	
HAZARD			
HEALTH & SAFETY			
ILLEGAL PARK		6	
INCIDENT	6	7	5
JUVENILE PROBLEM		1	
LOST PROPERTY		1	1
MEDICAL ASSISTANCE			1
MISC. PUBLIC SERVICE			
MISSING PERSON		1	
OVERDOSE			
PATROL CHECK		18	1
PED STOP	3	9	14
PMC VIOLATION			1
STOLEN VEHICLE			
SUSPICIOUS CIRCUMSTANCE			
SUSPICIOUS PERSON	2	6	1
SUSPICIOUS VEH.	6	25	10
TRAFFIC COLLISION	1	5	
TRAFFIC STOP	20	33	93
VEHICLE CODE	2		
WARRANT - SUBPOENA SERVICE		1	1
GRAND TOTAL	50	133	138

	2012		
	CHEVRON	CHEVRON	SHELL
CALLS FOR SERVICE	1797 SANTA RITARD	1875 VALLEY AV	5251 HOPYARD RD
20002 VC- HIT AND RUN		2	
23152 VC- DUI		1	
242 PC- BATTERY		1	
415 PC- DISTURBANCE		1	3
459 PC- BURGLARY			
470 PC- FORGERY		1	
484 PC- PETTY THEFT		1	2
487 PC- GRAND THEFT	1		
537 PC- DEFRAUD INNKPR			
594 PC- VANDALISM			
602(L) PC- TRESPASSING		1	
647(F) PC- DRUNK/DRUGS		2	1
911 CALL			
ADMIN DETAIL			
ADVICE			
ANIMAL CONTROL		1	
BIKE STOP		1	1
BP VIOLATION		1	
CITIZEN ASSIST		1	
CIVIL STANDBY			
COURT ORDER VIOLATION		1	
FIELD INTERVIEW			1
FIRE CALL			
FOLLOW-UP		2	
FOUND PROPERTY		2	
HAZARD			
HEALTH & SAFETY	1	2	
ILLEGAL PARK		2	
INCIDENT	6	7	12
JUVENILE PROBLEM			
LOST PROPERTY			
MEDICAL ASSISTANCE	1		2
MISC. PUBLIC SERVICE	1	1	
MISSING PERSON			
OVERDOSE		1	
PATROL CHECK	2	18	1
PED STOP	7	8	25
PMC VIOLATION			
STOLEN VEHICLE		1	
SUSPICIOUS CIRCUMSTANCE			
SUSPICIOUS PERSON		1	4
SUSPICIOUS VEH.	2	28	9
TRAFFIC COLLISION	1	3	1
TRAFFIC STOP	16	36	42
VEHICLE CODE	1	1	
WARRANT - SUBPOENA SERVICE			
GRAND TOTAL	39	128	104

	JAN - FEB 2013		
	CHEVRON	CHEVRON	SHELL
<u>CALLS FOR SERVICE</u>	<u>1797 SANTA RITA RD</u>	<u>1875 VALLEY AV</u>	<u>5251 HOPYARD RD</u>
20002 VC- HIT AND RUN			
23152 VC- DUI		1	
242 PC- BATTERY			
415 PC- DISTURBANCE		1	
459 PC- BURGLARY			
470 PC- FORGERY			
484 PC- PETTY THEFT			1
487 PC- GRAND THEFT		1	
537 PC- DEFRAUD INNKPR			
594 PC- VANDALISM			
602(L) PC- TRESPASSING			
647(F) PC- DRUNK/DRUGS			
911 CALL			
ADMIN DETAIL			
ADVICE			
ANIMAL CONTROL			
BIKE STOP			
BP VIOLATION			
CITIZEN ASSIST			
CIVIL STANDBY			
COURT ORDER VIOLATION			
FIELD INTERVIEW			
FIRE CALL		1	
FOLLOW-UP			
FOUND PROPERTY			
HAZARD			
HEALTH & SAFETY			
ILLEGAL PARK		1	
INCIDENT		1	
JUVENILE PROBLEM		1	
LOST PROPERTY			
MEDICAL ASSISTANCE			
MISC. PUBLIC SERVICE			
MISSING PERSON			
OVERDOSE			
PATROL CHECK		7	
PED STOP		3	6
PMC VIOLATION			1
STOLEN VEHICLE			
SUSPICIOUS CIRCUMSTANCE			
SUSPICIOUS PERSON			2
SUSPICIOUS VEH.		5	
TRAFFIC COLLISION			
TRAFFIC STOP	6	6	10
VEHICLE CODE			
WARRANT - SUBPOENA SERVICE			
GRAND TOTAL	6	28	20

CASES	2009		
	CHEVRON	CHEVRON	SHELL
	1797 SANTA RITA RD	1875 VALLEY AV	5251 HOPYARD RD
5150 WI			
ALCOHOL VIOLATION	2		2
AUTO THEFT RECOVERY			
CRIME REPORT	1	1	
DOMESTIC BATTERY			
DRUG VIOLATION		1	2
DUI		1	3
FOUND PROPERTY			
FRAUD	1		
INCIDENT			2
LOST PROPERTY			1
SEX OFFENSES			
STOLEN PROPERTY			
THEFT / BURG FROM AUTO			
THEFT BICYCLE			
THEFT FROM STRUCTURE			
THEFT SHOPLIFT			
THREATS			
TOW	1	1	
VANDALISM			
VC VIOLATION			
VERBAL NOTICE	2	3	2
WARRANT ARREST	1	1	1
WEAPONS VIOLATION			
Grand Total	8	8	13

CASES	2010		
	CHEVRON	CHEVRON	SHELL
	1797 SANTA RITA RD	1875 VALLEY AV	5251 HOPYARD RD
5150 WI			
ALCOHOL VIOLATION	1	4	1
AUTO THEFT RECOVERY			
CRIME REPORT		2	1
DOMESTIC BATTERY			
DRUG VIOLATION		1	
DUI	3	3	2
FOUND PROPERTY			1
FRAUD		1	1
INCIDENT			
LOST PROPERTY		1	1
SEX OFFENSES			
STOLEN PROPERTY			1
THEFT / BURG FROM AUTO			1
THEFT BICYCLE		1	
THEFT FROM STRUCTURE	1		
THEFT SHOPLIFT			
THREATS	1		
TOW	1	1	
VANDALISM		1	1
VC VIOLATION			
VERBAL NOTICE	1	2	3
WARRANT ARREST	2	3	4
WEAPONS VIOLATION		1	
Grand Total	10	21	17

2011			
	CHEVRON	CHEVRON	SHELL
CASES	1797 SANTA RITA RD	1875 VALLEY AV	5251 HOPYARD RD
5150 WI			
ALCOHOL VIOLATION	1	1	
AUTO THEFT RECOVERY		1	
CRIME REPORT			
DOMESTIC BATTERY		1	
DRUG VIOLATION	1	1	
DUI	1	2	4
FOUND PROPERTY			
FRAUD		1	
INCIDENT		1	
LOST PROPERTY		1	1
SEX OFFENSES			
STOLEN PROPERTY			
THEFT / BURG FROM AUTO			
THEFT BICYCLE			
THEFT FROM STRUCTURE			
THEFT SHOPLIFT			1
THREATS			
TOW			3
VANDALISM			
VC VIOLATION		1	1
VERBAL NOTICE		2	6
WARRANT ARREST		2	1
WEAPONS VIOLATION			
Grand Total	3	14	17
2012			
	CHEVRON	CHEVRON	SHELL
CASES	1797 SANTA RITA RD	1875 VALLEY AV	5251 HOPYARD RD
5150 WI		1	
ALCOHOL VIOLATION	1	1	1
AUTO THEFT RECOVERY			
CRIME REPORT			
DOMESTIC BATTERY			
DRUG VIOLATION	1	1	2
DUI	4	2	1
FOUND PROPERTY		2	
FRAUD		1	
INCIDENT			1
LOST PROPERTY			
SEX OFFENSES			1
STOLEN PROPERTY			
THEFT / BURG FROM AUTO			
THEFT BICYCLE			
THEFT FROM STRUCTURE	1	1	
THEFT SHOPLIFT			
THREATS			
TOW		1	1
VANDALISM			
VC VIOLATION		1	1
VERBAL NOTICE	1	4	1
WARRANT ARREST		2	2
WEAPONS VIOLATION			
Grand Total	8	17	11

	JAN - FEB 2013		
	CHEVRON	CHEVRON	SHELL
CASES	<u>1797 SANTA RITA RD</u>	<u>1875 VALLEY AV</u>	<u>5251 HOPYARD RD</u>
5150 WI			
ALCOHOL VIOLATION			1
AUTO THEFT RECOVERY			
CRIME REPORT			
DOMESTIC BATTERY			
DRUG VIOLATION		1	
DUI			
FOUND PROPERTY			
FRAUD			
INCIDENT			
LOST PROPERTY			
SEX OFFENSES			
STOLEN PROPERTY			
THEFT / BURG FROM AUTO			
THEFT BICYCLE			
THEFT FROM STRUCTURE		1	
THEFT SHOPLIFT			
THREATS			
TOW			
VANDALISM			
VC VIOLATION			
VERBAL NOTICE			
WARRANT ARREST		1	1
WEAPONS VIOLATION			
Grand Total	0	3	2

OCTOBER 1, 2012 TO FEBRUARY 28, 2013

VALERO

SEVEN-11

<u>CALL FOR SERVICE TYPES</u>	<u>2991 HOPVARD RD</u>	<u>3192 SANTA RITA RD</u>	<u>3760 HOPYARD RD</u>	<u>4307 VALLEY AV</u>
242 PC- BATTERY	0	0	1	0
415 PC- DISTURBANCE	1	1	0	0
470 PC- FORGERY	0	0	0	1
484 PC- PETTY THEFT	0	3	1	1
ADVICE	0	1	0	0
CITIZEN ASSIST	1	0	0	0
FOLLOW-UP	0	0	0	1
FOUND PROPERTY	0	2	0	0
INCIDENT	0	1	2	1
PATROL CHECK	1	1	2	2
PED STOP	0	0	2	0
SUSPICIOUS PERSON	0	0	1	1
SUSPICIOUS VEH.	0	2	4	0
TRAFFIC COLLISION	0	1	1	0
TRAFFIC STOP	7	6	9	1
VC	0	1	0	0
Grand Total	10	19	23	8



ARBOR RESOURCES

professional consulting arborists and tree care

ARBORIST REPORT

3192 SANTA RITA ROAD

PLEASANTON, CALIFORNIA

Submitted to:

Mr. Joe Nguyen
ASI Consulting
4307 Valley Avenue, Suite 3
Pleasanton, CA 94566

Prepared by:

David L. Babby
Registered Consulting Arborist® #399
Board-Certified Master Arborist® #WE-4001B

**Exhibit B
P13-0336**

3192 Santa Rita Road

Dated "Received July 26, 2013"

July 8, 2013

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EXHIBITS

<u>EXHIBIT</u>	<u>TITLE</u>
A	TREE INVENTORY TABLE (three sheets)
B	AERIAL MAP (one sheet)
C	PHOTOGRAPHS (four sheets)

1.0 INTRODUCTION

I have been retained by Mr. Joe Nguyen of ASI Consulting to prepare this *Arborist Report* in connection with the future site improvements at **3192 Santa Rita Road**, Pleasanton (located at the southeast corner of West Las Positas Boulevard and Santa Rita Road). Specific tasks assigned to perform are as follows:

- Visit the site on July 8, 2013.
- Identify the species of 15 trees that have trunk diameters \geq six inches at 54 inches above grade, and are located either on the subject site, along street frontages, or have canopies overhanging the site or project area from a neighboring property.
- Measure each tree's trunk diameter at 54 inches above grade, or for appraisal purposes, where necessary to obtain the most representative sample of trunk size. All diameters are rounded to the nearest tenth of an inch. Trees listed with more than one diameter are formed by multiple trunks.
- Identify tree height and canopy spread (rounded to the nearest fifth).
- Ascertain each tree's health and structural integrity, and assign an overall condition rating (e.g. good, fair, poor or dead).
- Obtain photographs; see Exhibit C.
- Identify trees defined as "heritage" pursuant to Section 17.16.006(A) of the Pleasanton Municipal Code.
- Assign a number to each tree, and plot them on a copy of an aerial photo presented in Exhibit B (derived from *Google Earth*); the numbers are approximately shown on top of the canopies.
- Affix metal tags with corresponding numbers to each trunk or major limb (the tags are round aluminum with engraved numbers).
- Appraise each tree's monetary value.
- Review the site plan (Sheet SP.1) to identify potential impacts.
- Provide measures to mitigate or avoid impacts to retained trees.
- Prepare a written report that presents the aforementioned information, and submit via email as a PDF document.

2.0 TREE COUNT AND COMPOSITION

Fifteen (15) trees of seven various species were inventoried for this report. They are sequentially numbered as **1 thru 15**, and the table below identifies their names, assigned numbers, counts and overall percentages.

NAME	TREE NUMBER(S)	COUNT	% OF TOTAL
Raywood ash	1	1	7%
London plane	2	1	7%
American sweetgum	3	1	7%
tulip	4, 8, 11, 14, 15	5	33%
coast redwood	5, 6, 7, 9, 10	5	33%
flowering plum	12	1	7%
camphor	13	1	7%
Total		15	100%

Specific information regarding each tree is presented within the table in **Exhibit A**. The trees' assigned numbers and approximate locations can be viewed on the aerial map in **Exhibit B**, and photographs are presented in **Exhibit C**.

Trees #1 and 2 are situated within the public right-of-way along West Las Positas Boulevard and regarded as **street trees**; their trunks are within rectangular-shaped planters along the sidewalk.

The following **seven trees** have trunks situated entirely on **neighboring properties** to the south and east: **#3, 4, 8, 12, 13, 14 and 15**. The trunk of **tree #9** (at its base) appears to **span** the shared property line adjacent to the neighboring trash enclosure.

5.0 REVIEW OF POTENTIAL IMPACTS

My review of Sheet SP.1 reveals that by implementation of the proposed design, tree #11 will require removal, and #9 and 10 would be severely impacted.

Tree #11 is a small, non-heritage tulip tree that has a dying top (nearly half of the tree), and its removal is appropriate regardless of the proposed project.

Trees #9 and 10 are coast redwoods and considered "heritage trees," #9 for its trunk diameter and height, and #10 only for its height. The proposed drive aisle for the future car wash would excavate into their root zones, and potentially within only a few feet of the trunks when considering overexcavation to form and pour the new drive. If this impact was to occur, the trees would become exposed to premature decline and possible uprooting (due to the loss of numerous buttress roots serving to anchor the trees into the ground).

Should #9 and/or 10 be retained with a reasonable degree of assurance for their survival and stability, I recommend the drive aisle is setback by *at least nine feet* from the base of their trunks, and overexcavation beyond the proposed drive aisle edge is reduced to **12 inches**. Any additional distance from the trunks would only decrease the risk of potential impacts.

Additional measures are presented in Section 6.0 of this report, and should be carefully followed to achieve adequate protection of trees to be retained.

6.0 TREE PROTECTION MEASURES

Recommendations presented within this section are intended to serve as measures to help mitigate or avoid impacts to retained trees. I should be consulted in the event any cannot be followed or implemented in their entirety.

1. **Recommendations** presented in **Section 5.0** of this report should be followed and considered part of this section.
2. A **note** should be placed on all site-related plans to instruct contractor personnel to adhere to recommendations presented in this report.
3. For this project, the **Tree Protection Zone (hereinafter "TPZ")** should be the ground area away from existing foundations, and to a distance from their trunks (center at base) of six to ten times the diameters; where a tree consists of multiple trunks, the largest trunk would only be considered. The TPZ is where all demolition, grading, overexcavation, subexcavation, soil scraping, trenching and compaction shall be avoided except where otherwise approved. In areas where these setbacks are not feasible, I can be consulted to consider mitigation for an alternative TPZ.
4. The project design should consider that **soil disturbance** (e.g. overexcavation, subexcavation, grading, compaction or trenching) beyond a feature to be built should be **reduced** to the maximum extent possible in the direction of a tree's trunk.
5. **Swales, biowales and biofiltration areas** should be established beyond TPZs.
6. To restrict spoils and runoff from traveling into root zones, the future **erosion control design** should establish any silt fence and/or straw rolls as close to the canopy edge as possible (and not against a trunk). Additionally, any material installed within a TPZ should require a maximum vertical soil cut of two inches for its embedment.
7. All **utilities and services** (e.g. storm drain, electrical, water, sewer, fiber optic, gas, etc.) should be routed beyond TPZs. In the event this is not feasible, the location and

proximity to a tree's trunk would dictate which of the following installation methods can offer sufficient mitigation: mechanically excavating, hand-digging, a pneumatic air device (such as an Air-Spade[®]), or directional boring.

8. The proposed **landscape design** should conform to the following additional guidelines:
 - a. Plant material installed beneath tree canopies should be at least 36 inches or more from their trunks.
 - b. Irrigation should not be sprayed within 12 inches from the trees' trunks.
 - c. Irrigation and lighting (including wiring and controllers) installed within a TPZ shall be in a radial direction to a tree's trunk. If this is not possible, the work may need to be performed using a pneumatic air device (such as an Air-Spade[®]) to avoid unnecessary root damage. Any Netafim tubing used should be placed on grade, and header lines installed in a radial direction to a trunk.
 - d. Valve boxes should be established beyond TPZs.
 - e. Ground cover beneath canopies should be comprised of a three- to four-inch layer of coarse wood chips or other high-quality mulch (gorilla hair, bark or rock, stone, gravel, black plastic or other synthetic ground cover should be avoided). Mulch should not be placed against the trees' trunks.
 - f. Tilling, ripping, compaction and fine grading within TPZs should be avoided.
 - g. Bender board or other edging material proposed beneath the canopies should be established on top of existing soil grade (such as by using vertical stakes).

9. **Tree protective fencing** shall be installed prior to any demolition and construction for the purpose of restricting access inside the TPZs of trees being retained around the existing building. A few weeks prior to demolition, I (hereinafter the "**project arborist**") should be retained to meet with the contractor to identify those locations. The fencing should consist of five- to six-foot high chain link mounted on eight-foot tall, 1 and 7/8-inch diameter galvanized steel posts that are driven into the ground 24 inches deep, and reasonably spaced apart to provide support. It should be established no farther than 12 inches from a curb, pathway and existing/proposed driveway edges, and remain intact and maintained throughout construction.

10. All construction activities must be **conducted beyond TPZs**, to include, but not necessarily limited to, the following: grading, subexcavation, stripping of topsoil, trenching, equipment cleaning, stockpiling or dumping materials, and equipment/vehicle operation and parking.
11. **Existing, unused lines, conduit or pipes** within a TPZ should be **abandoned** and cut off at existing soil grade (rather than being dug up and causing subsequent root damage).
12. Prior to construction, a four- to six-inch layer of coarse **wood chips** should be manually spread within all exposed ground areas of the retained redwoods. The chips should be obtained from a state-licensed tree-service company, remain in place throughout construction, and not be piled against the trunks.
13. **Great care** must be taken during demolition of the **existing hardscape** to avoid excavating into roots and existing grade. The same should be applied during demolition of any walls, light posts, etc. to avoid damaging canopies.
14. The **light post footing** at trees **#9 and 10** should be carefully removed to avoid inadvertently damaging the trees' roots.
15. The **staging area(s) and routes of access** should be established beyond TPZs.
16. **Spoils** created during digging shall not be piled or spread on unpaved ground within a TPZ; if necessary, they should be temporarily piled on plywood or a tarp.
17. **Tree trunks** shall not be used as winch supports for moving or lifting heavy loads.
18. Any approved **digging or trenching** within a **TPZ** shall be **manually performed** without heavy equipment or tractors operating on unpaved ground beneath canopies.
19. Prior to excavation for the car wash drive aisle, a **one-foot wide trench** should be **manually dug** along the perimeter of where soil excavation will occur closest to the

trees' trunks. The trench should be dug to the required subgrade depth (including for base materials) to a distance of five to ten feet beyond a TPZ, and any roots encountered with diameters of one-inch and greater shall be cleanly severed by hand (at 90° to the direction of root growth) against the tree side of the trench. All soil beyond the trench (i.e. away from the tree) can then be mechanically excavated using heavy equipment. Alternatively, the use of a **stump grinder** could be utilized precisely where a curb/gutter and any overcut (12" max) will be established.

20. Except where mentioned in the prior recommendation, **trenching and excavation** should not damage, scrape or gouge **roots two inches and greater in diameter**. In the event these roots are encountered, the project arborist should be notified, and the root(s) should either be covered with soil or wrapped in moistened burlap within a few hours of exposure. If burlap is used, it should remain continually moist until the trench is backfilled.
21. During **trenching**, roots encountered that have **diameters less than two inches** and require removal can be cleanly severed at a 90-degree angle to the direction of root growth. In doing so, sharp cutting tools (e.g. loppers or handsaw) shall be used, and the cut should occur against the tree side of the trench.
22. Digging any **holes for piers** shall be manually performed, and in the event a root or two inches and greater in diameter is encountered during the process, the hole should be shifted over by 12 inches and the process repeated. Before doing so, the root and hole should be reviewed by the project arborist.
23. **Supplemental water** should be supplied to the coast redwoods during the dry months of the year (e.g. March thru November) at approximate rates of ten gallons per inch of trunk diameter every three to four weeks. For this site, I suggest the water is applied either through flooding the inside of a 12-inch tall berm formed around the canopy perimeter (or as close as possible to the canopy edge), or through deep-root injection. Water for all other trees should continue being applied to their root areas throughout construction.

24. **Removal** of any vegetation or plants within a TPZ should be manually performed versus being excavated. Additionally, any **stumps** removed within a TPZ should be ground versus excavated.

25. Great care must be taken by **equipment operators** to position their equipment to avoid the trees' trunks and branches, including placing any exhaust pipes beneath or near canopies, and consequently, scorching foliage.

26. Tree **pruning** should occur prior to demolition and construction, particularly to clear encroaching branches away from the existing building. It shall be performed in accordance with ANSI A300-2001 standards, and by a California state-licensed tree service company (D-49 classification) that has an ISA certified arborist in a supervisory role, carries General Liability and Worker's Compensation insurance, and abides by ANSI Z133.1-2006 (Safety Operations).

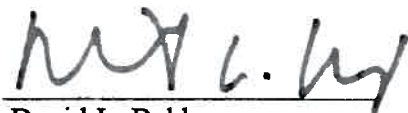
27. The **disposal** of harmful products (such as cement, paint, chemicals, oil and gasoline) is prohibited beneath canopies or anywhere on site that allows drainage beneath or near TPZs. **Herbicides** should not be used with a TPZ; where used on site, they should be labeled for safe use near trees.

28. **Fertilization**, if properly applied, may benefit the tree's health, vigor and appearance. Prior to doing so, however, soil samples should first be obtained to identify the pH levels and nutrient levels so a proper fertilization program can be established. I further recommend any fertilization is performed in accordance with ANSI A300 (Part 2) – 2004 Fertilization standards.

7.0 ASSUMPTIONS AND LIMITING CONDITIONS

- All information presented herein reflects my observations and measurements obtained from the project site on July 8, 2013.
- Condition ratings of dormant trees are subject to change once they can be observed following the growth of new leaves.
- My observations were performed visually without probing, coring, dissecting or excavating. I cannot, in any way, assume responsibility for any defects that could only have been discovered by performing the mentioned services in the specific area(s) where a defect was located.
- The assignment pertains solely to trees listed in Exhibit A. I hold no opinion towards other trees on or surrounding the project area.
- I cannot provide a guarantee or warranty, expressed or implied, that deficiencies or problems of any trees or property in question may not arise in the future.
- No assurance can be offered that if all my recommendations and precautionary measures (verbal or in writing) are accepted and followed, that the desired results may be achieved.
- I cannot guarantee or be responsible for the accuracy of information provided by others.
- I assume no responsibility for the means and methods used by any person or company implementing the recommendations provided in this report.
- The information provided herein represents my opinion. Accordingly, my fee is in no way contingent upon the reporting of a specified finding, conclusion or value.
- The tree numbers shown on the aerial map in Exhibit B are intended to only roughly approximate a tree's location.
- This report is proprietary to me and may not be copied or reproduced in whole or part without prior written consent. It has been prepared for the sole and exclusive use of the parties to who submitted for the purpose of contracting services provided by David L. Babby.
- If any part of this report or copy thereof be lost or altered, the entire evaluation shall be invalid.

Prepared By:



David L. Babby

Registered Consulting Arborist® #399

Board-Certified Master Arborist® #WE-4001B

Date: July 8, 2013



EXHIBIT A:
TREE INVENTORY TABLE
(three sheets)



TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	TREE SIZE			TREE CONDITION			"Heritage Tree"	Appraised Value
		Trunk Diameter (in.)	Tree Height (ft.)	Canopy Spread (ft.)	Health Condition (100%=Best, 0%=Worst)	Structural Integrity (100%=Best, 0%=Worst)	Overall Condition (Good/Fair/Poor/Dead)		
1	Raywood ash (<i>Fraxinus o. 'Raywood'</i>)	17.6	35	35	70%	40%	Fair	X	\$2,500

Comments: Street tree. Trunk within a rectangular-, nearly square-shaped planter. Sidewalk raised and repaired in past. Current damage includes a section of walk (road side) being raised and the adjacent curb being slightly damaged. Main trunk divides into codominant leaders at nine feet high and forms a weak attachment. Deadwood in canopy from ash blight. Has a large, pronounced girdling root surfaced around the trunk's base along the sidewalk side.

2	London plane tree (<i>Platanus acerifolia</i>)	21.8	45	65	70%	60%	Fair	X	\$4,010
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Comments: Street tree. Trunk within a rectangular-, nearly square-shaped planter. A girdling root was partially cut sometime ago. On road side, the sidewalk is raised and curb somewhat damaged.

3	American sweetgum (<i>Liquidambar styraciflua</i>)	12.6	40	35	70%	30%	Fair	X	\$1,300
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Comments: Trunk is situated on adjacent property, and canopy overhangs site by a few feet. Has an asymmetrical canopy that has been significantly raised. Formed by a main trunk that divides into multiple leaders.

4	tulip tree (<i>Liriodendron tulipifera</i>)	12.2	35	25	60%	40%	Fair	X	\$730
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Comments: Trunk is situated on adjacent property, and canopy overhangs site by five or more feet. Canopy has been significantly raised. Has a pronounced buttress root that surfaces and is directed towards the project site. Decay visible at trunk's base, and possibly has a girdling root along the opposite side.



TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	TREE SIZE			TREE CONDITION			"Heritage Tree"	Appraised Value
		Trunk Diameter (in.)	Tree Height (ft.)	Canopy Spread (ft.)	Health Condition (100%=Best, 0%=Worst)	Structural Integrity (100%=Best, 0%=Worst)	Overall Condition (Good/Fair/Poor/Dead)		

5	coast redwood (<i>Sequoia sempervirens</i>)	18.6	40	25	70%	70%	Good	X	\$2,950
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Comments: Has a contiguous canopy with #6. Adjacent to PG&E underground vault.

6	coast redwood (<i>Sequoia sempervirens</i>)	21.9	50	25	80%	70%	Good	X	\$4,370
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Comments: Has a contiguous canopy with #5. Adjacent to PG&E underground vault.

7	coast redwood (<i>Sequoia sempervirens</i>)	18.2	45	25	60%	70%	Fair	X	\$2,630
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Comments:

8	tulip tree (<i>Liriodendron tulipifera</i>)	10.3	35	30	80%	70%	Good	X	\$840
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Comments: Is situated on adjacent property. Small girdling roots are developing.

9	coast redwood (<i>Sequoia sempervirens</i>)	21.0	50	25	50%	70%	Fair	X	\$3,040
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Comments: Has a contiguous canopy with #10. Prominent buttress root in direction of proposed drive aisle. Base of trunk is two feet from existing trash enclosure wall. Some of the canopy's outer foliage is scorched (appears to be from excessive heat). Also appears to be drought-stressed (due to sparse canopy). Has small girdling roots developing. Trunk appears to span shared property line.

10	coast redwood (<i>Sequoia sempervirens</i>)	17.2	40	20	50%	70%	Fair	X	\$2,050
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Comments: Has a contiguous canopy with #9. Base of trunk is 6.5 feet from trash enclosure wall. Has a sparse canopy likely due to the tree being drought-stressed.



TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	TREE SIZE			TREE CONDITION			"Heritage Tree"	Appraised Value
		Trunk Diameter (in.)	Tree Height (ft.)	Canopy Spread (ft.)	Health Condition (100%=Best, 0%=Worst)	Structural Integrity (100%=Best, 0%=Worst)	Overall Condition (Good/Fair/Poor/Dead)		

11	tulip tree (<i>Liriodendron tulipifera</i>)	6.7	25	15	40%	30%	Poor		\$130
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Comments: Top eight feet is dead, and has numerous dead branches in lower canopy.

12	flowering plum (<i>Prunus cerasifera</i>)	9.9	20	20	30%	30%	Poor		\$260
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Comments: Sparse and one-sided canopy. Large stem wound along lower trunk, and substantial wounds (with decay) along all leaders. Is situated on adjacent property.

13	camphor (<i>Cinnamomum camphora</i>)	4, 3, 3, 3	15	20	70%	40%	Fair		\$560
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Comments: Multi-trunk tree. Umbrella-shaped canopy. Is situated on adjacent property.

14	tulip tree (<i>Liriodendron tulipifera</i>)	11.6	35	30	40%	40%	Poor	X	\$560
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Comments: Has deadwood throughout canopy. Small girdling roots developing. Main trunk divides into codominant leaders at nine feet high. Within a narrow planter and canopy has been significantly raised. Is situated on adjacent property.

15	tulip tree (<i>Liriodendron tulipifera</i>)	12.1	40	25	40%	50%	Poor	X	\$690
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Comments: Within a narrow planter and has girdling roots. Canopy is sparse and has been significantly raised. Is situated on adjacent property.

EXHIBIT B:

AERIAL MAP

(one sheet)

3192 SANTA RITA ROAD
Pleasanton, California



EXHIBIT C:
PHOTOGRAPHS
(four sheets)

Photo Index

Page C-1: Trees #1 and 2

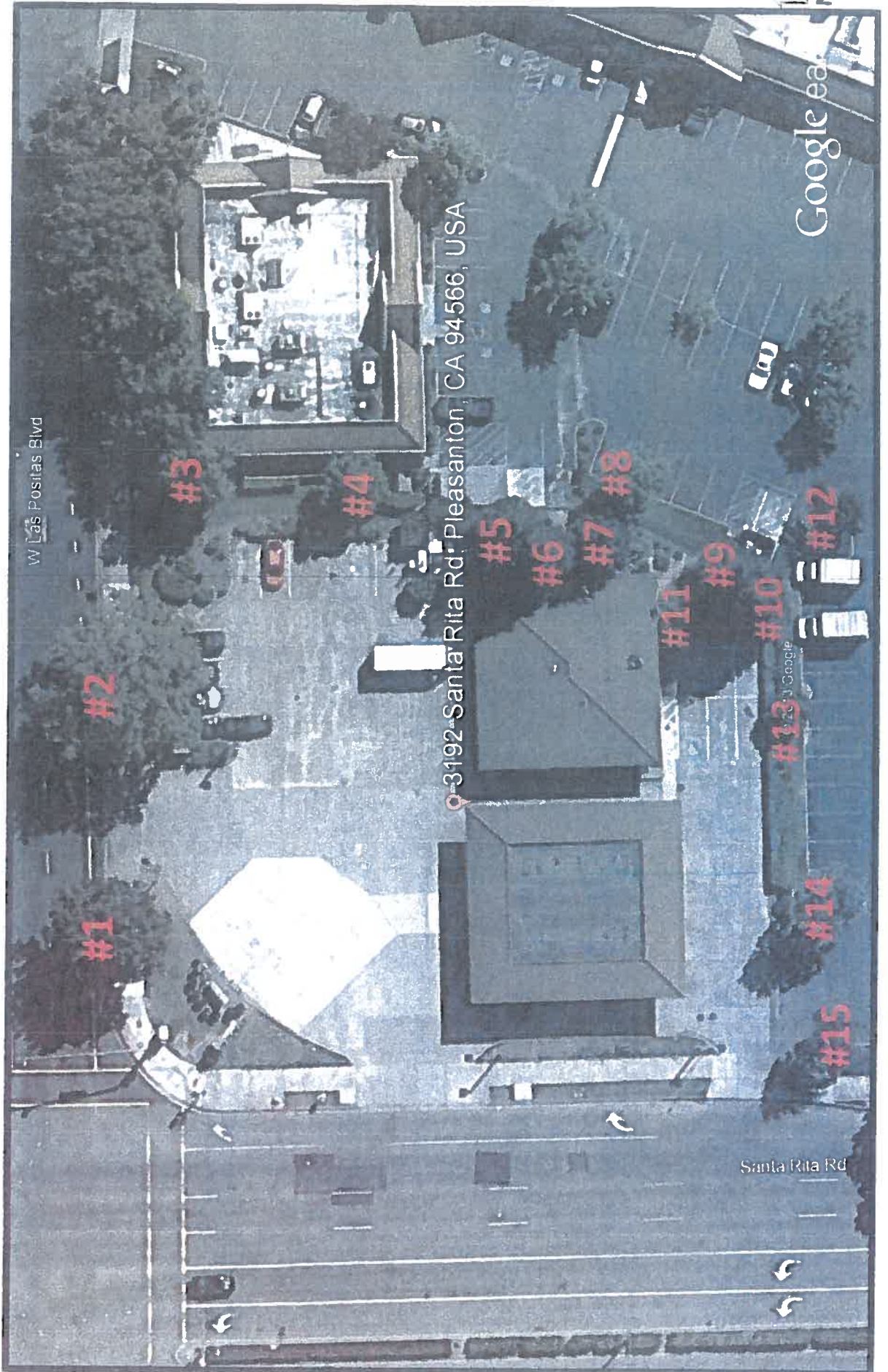
Page C-2: Trees #3 thru 7

Page C-3: Trees #5 thru 10

Page C-4: Trees #11 thru 15

3192 SANTA RITA ROAD

Pleasanton, California



W Las Positas Blvd

3192 Santa Rita Rd, Pleasanton, CA 94566, USA

Santa Rita Rd

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