

**EXHIBIT A
DRAFT CONDITIONS OF APPROVAL**

**PUD-98-16-12M/P13-2092, Manmohan and Gurpreet Bal
5270 Clubhouse Drive
February 12, 2014**

SPECIAL CONDITIONS OF APPROVAL

Planning Division

1. The proposed Major Modification and Design Review shall conform substantially to the project plans, Exhibit B, marked "Received November 27, 2013," on file with the Planning Division, except as modified by the following conditions. Minor changes to the plans may be allowed subject to the approval of the Zoning Administrator if found to be in substantial conformance to the approved exhibits.
2. The Major Modification and Design Review will lapse and shall become void one year following the date on which the Major Modification and Design Review became effective, unless prior to the expiration of one year a building permit is issued and construction is commenced and diligently pursued toward completion on the site which was the subject of the Major Modification and Design Review application, or a certificate of occupancy is issued for the structure which was the subject of the Major Modification and Design Review application, or the site is occupied if no building permit or certificate of occupancy is required, or the applicant or his or her successor has filed a request for extension with the Zoning Administrator pursuant to the provisions of the Pleasanton Municipal Code Section 18.12.030.
3. The applicant shall obtain all required City permits prior to construction.
4. Except, as modified by these conditions, all conditions of Cases PUD-98-16 through PUD-98-16-11M shall remain in full force and effect.
5. All conditions of approval for this case shall be reprinted and included as a plan sheet(s) with the building permit plan check sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
6. All windows shall be recessed divided light design unless an acceptable alternative is approved by Planning.
7. The applicant shall install a minimum of one new tree per 750 square feet of net lot area (or 28 total for the entire lot front, rear, and side) spread throughout the front and rear yards. A minimum of 30% of all new trees shall be 24" box size (eight), with the remaining new trees being a minimum of 15-gallon size.

8. The applicant shall submit a revised final front yard landscape and irrigation plan within the building permit plan set to the Planning Division for review and approval before installation. Details of the fencing shall be included with the landscape and irrigation plans. Said landscape plan shall be detailed in terms of species, location, size, quantities, and spacing. Plant species shall be of drought tolerant nature with an irrigation system that maximizes water conservation (e.g. drip system).
9. Within three months of occupancy of the home, the applicant shall submit a final rear and side yard landscape and irrigation plan to the Planning Division for review and approval before installation. Details of the fencing shall be included with the landscape and irrigation plans. Said landscape plan shall be detailed in terms of species, location, size, quantities, and spacing. Plant species shall be of drought tolerant nature with an irrigation system that maximizes water conservation (e.g. drip system).
10. The applicant shall comply with the State of California's Model Water Efficient Landscape Ordinance and Bay Friendly Basics. A licensed landscape architect shall verify the compliance with the ordinance prior to the issuance of a building permit, and then prior to the final inspection conducted by the Planning Division. The verifications shall be provided to the Planning Division.
11. A special inspection by the Planning Division shall be coordinated with regards to landscaping, irrigation, and exterior materials.

Landscaping installation time requirements:

1. Prior to Building Permit final, all front yard landscaping shall be installed and inspected; and
 2. Side and rear yard landscaping shall be installed by the homeowner within six (6) months of occupancy. The homeowner shall arrange a landscape/irrigation site inspection with the Planning Division within thirty (30) days of completion of the side and rear yard landscaping/irrigation system installation.
12. The proposed light on the grading plan does not comply with the Mariposa Ranch Design Requirements. The applicant shall submit with the building permit plan set a detailed lighting plan and fixture cut sheets showing that the lights will be integrated into the design of the home and that all lighting will direct glare away from surrounding properties and right-of-way. Additionally, the applicant shall revise with location and design details the site and landscape plans, and show on the lighting plan the installation of either a carriage type streetlight (maximum 16 feet tall) or an illuminated pilaster (shall be five feet tall) designed to match the proposed house.
 13. The grading plan shall be revised to eliminate the 5-foot cut proposed along the north property line. Revise the grading plan to meet City grading standards and policies.

14. The electrical plan for the home shall provide telecommunications infrastructure consistent with state-of-the-art methods (e.g. cabling for DSL, broadband, or wireless service, wiring for total room access, etc) in effect at the time that building permit(s) are issued. The plan shall be part of the building permit plan set.
15. A minimum of one appliance or system meeting Energy Star standards shall be installed as part of the project. The proposed appliances shall be stated on the plans submitted for the issuance of a building permit.
16. Water conservation devices such as low-flow faucets, toilets, shower fixtures, etc., shall be installed as part of the project. The water conservation devices shall be stated on the plans submitted for the issuance of a building permit.
17. The applicant/building developer shall submit a final list of the green building measures used in the design of the house covered by this approval to the Planning Division for the review and approval by the Director of Community Development prior to the building permit submittal. The home shall be designed to achieve a “certified rating” of a minimum of 50 total points, achieving at least the minimum points in each category, using BuildItGreen’s current GreenPoints rating system. Notwithstanding the foregoing, the State of California’s Green Building Standards Code, “CALGreen”, as amended, shall also apply.
 - a. The green building measures shall be shown on one of the first two pages of the plans submitted for issuance of a building permit. Each point identified shall have a notation indicating the sheet the point can be found, and each sheet shall note where the point is located. All proposed green building measures shall be shown throughout the plan set, as appropriate, as determined by the Director of Community Development.
 - b. A special inspection by from the Planning Division shall be coordinated with regards to landscaping, irrigation, and exterior materials. All of the green building measures indicated on the approved checklist shall be inspected and approved by either the City of Pleasanton, a third party rater, or the applicants shall provide written verification by the project engineer, architect, landscape architect, or designer.
18. All excess soil from the site shall be off-hauled from the site and disposed of in a lawful manner. No temporary stockpiling of dirt on this site shall occur without specific review and approval by the Planning Division.
19. All demolition and construction activities, inspections, plan checking, material delivery, staff assignment or coordination, etc., shall be limited to the hours of 8:00 a.m. to 5:00 p.m., Monday through Saturday. No construction shall be allowed on State or Federal Holidays or Sundays. The Director of Community Development may allow earlier “start-times” or later “stop-times” for specific construction activities (e.g., concrete pouring), if it can be demonstrated to the satisfaction of the Director of Community Development that the construction noise and construction traffic noise will not affect nearby residents or businesses. All construction equipment must meet Department of Motor Vehicles (DMV) noise standards and shall be equipped with muffling devices. Prior to

construction, the applicant shall post on the site the allowable hours of construction activity.

20. The applicant shall pay any applicable park in-lieu dedication fees outstanding on the property. Contact Engineering at (925) 931-5650 for more information.
21. The building permit plan check package will be accepted for submittal only after completion of the 30-day appeal period, measured from the date of the approval letter, unless the project developer submits a signed statement acknowledging that the plan check fees may be forfeited in the event that the approval is overturned on appeal, or that the design is significantly changed as a result of the appeal. In no case will a building permit be issued prior to the expiration of the 30-day time-period.

STANDARD CONDITIONS

Community Development Department

22. The project applicant/developer shall submit a refundable cash bond for hazard and erosion control. The amount of this bond will be determined by the Director of Community Development. The cash bond will be retained by the City until all the permanent landscaping is installed for the development, including individual lots, unless otherwise approved by the department.
23. The project developer shall submit a written dust control plan or procedure as part of the improvement plans.
24. If any prehistoric or historic artifacts, or other indication of cultural resources are found once the project construction is underway, all work must stop within 20 meters (66 feet) of the find. A qualified archaeologist shall be consulted for an immediate evaluation of the find prior to resuming groundbreaking construction activities within 20 meters of the find. If the find is determined to be an important archaeological resource, the resource shall be either avoided, if feasible, or recovered consistent with the requirements of Appendix K of the State CEQA Guidelines. In the event of discovery or recognition of any human remains in any on-site location, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains until the County coroner has determined, in accordance with any law concerning investigation of the circumstances, the manner and cause of death and has made recommendations concerning treatment and dispositions of the human remains to the person responsible for the excavation, or to his/her authorized representative. A similar note shall appear on the improvement plans.
25. The applicant shall pay any and all fees to which the property may be subject prior to issuance of building permits. The type and amount of the fees shall be those in effect at the time the building permit is issued. This includes, but is not limited to, the park dedication fees.
26. The applicant shall pay the applicable Zone 7 and City connection fees and water meter cost for any water meters, including irrigation meters. Additionally, the applicant shall

pay any applicable Dublin San Ramon Services District (DSRSD) sewer permit fee prior to issuance of a building permit.

Planning Division

27. The proposed development shall be in substantial conformance to Exhibit B, dated "Received, November 27, 2013" on file with the Planning Division, except as modified by the conditions contained herein. Minor changes to the plans may be allowed subject to the approval of the Director of Community Development.
28. To the extent permitted by law, the project applicant shall defend (with counsel reasonable acceptable to the City), indemnify and hold harmless the City, its City Council, its officers, boards, commissions, employees and agents from and against any claim (including claims for attorneys fees), action, or proceeding brought by a third party against the indemnified parties and the applicant to attack, set aside, or void the approval of the project or any permit authorized hereby for the project, including (without limitation) reimbursing the City its attorneys fees and costs incurred in defense of the litigation. The City may, in its sole discretion, elect to defend any such action with attorneys of its choice.
29. The Applicant shall work with the Pleasanton Unified School District (PUSD) to develop a program to offset this project's long term effect on school facility needs in Pleasanton in addition to the school impact fees required by State law. This program shall be designed to fund school facilities necessary to offset this project's reasonably related effect on the long-term need for expanded school facilities. The method and manner for the provision of these funds and/or facilities shall be approved by the PUSD and in place prior to building permit issuance. Written proof of compliance with this condition shall be provided by Applicant to the City, on a form generated by the PUSD, prior to building permit issuance.
30. The residence shall be constructed to allow for future installation of a Photovoltaic (PV) system and solar water heating systems. The project applicant shall comply with the following requirements for making the dwelling photovoltaic-ready and solar-water-heating-ready:
 - a. Electrical conduit and cable pull strings shall be installed from the roof/attic area to the building's main electrical panels;
 - b. An area shall be provided near the electrical panel for the installation of an "inverter" required to convert the direct current output from the photovoltaic panels to alternating current;
 - c. Engineer the roof trusses to handle an additional load as determined by a structural engineer to accommodate the additional weight of a prototypical photovoltaic system beyond that anticipated for roofing.
 - d. Plumbing shall be installed for solar-water heating; and
 - e. Space shall be provided for solar-heating tank.

These measures shall be shown on the building permit plan set submitted to the Director of Community Development for review and approval before issuance of the first building permit.

31. All HVAC condensing units shall be located on the plans.
32. Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed.
33. All conditions of approval shall be attached to all permit plan sets submitted for review and approval, whether stapled to the plans or located on a separate plan sheet.
34. Planning Division approval is required before any changes are implemented in site design, grading, house design, house colors or materials, green building measures, landscape material, etc.
35. Prior to occupancy, the landscape architect or landscape designer shall certify in writing to the Director of Community Development that the landscaping has been installed in accordance with the approved landscape and irrigation plans with respect to size, number, and species of plants and overall design concept.
36. The developer and future homeowners are encouraged to use reclaimed gray water, rain water, etc., for landscape irrigation. If used, the details shall be shown on the permit plan set to the satisfaction of the Director of Community Development before issuance of a building permit.
37. The developer and future homeowners are encouraged to use best management practices for the use of pesticides and herbicides.
38. The project developer must provide to the Director of Community Development a building height certification performed by a licensed land surveyor or civil engineer. Said certification must allow for the installation of finished roof materials and must meet the approved building height.
39. The approved building materials and colors shall be stated on the plans submitted for issuance of building permits.
40. Campers, trailers, motor homes, or any other similar vehicle are not allowed on the construction site except when needed as sleeping quarters for a security guard.
41. A construction trailer shall be allowed to be placed on the project site for daily administration/coordination purposes during the construction period.
42. Portable toilets used during construction shall be kept as far as possible from existing residences and shall be emptied on a regular basis as necessary to prevent odor.

Building

43. All retaining walls higher than four feet from the top of the wall to the bottom of the footway shall be constructed of reinforced concrete, masonry, or other material as approved by the Director of Community Development, or shall be an approved crib wall type. Calculations signed by a registered civil engineer shall accompany the wall plans.
44. At the time of building permit plan submittal, the project developer shall submit a final grading and drainage plan prepared by a licensed civil engineer depicting all final grades and on-site drainage control measures to prevent stormwater runoff onto adjoining properties.
45. Prior to issuance of building or demolition permits, the applicant shall submit a waste management plan to the Building and Safety Division. The plan shall include the estimated composition and quantities of waste to be generated and how the project developer intends to recycle at least 75 percent of the total job site construction and demolition waste measured by weight or volume. Proof of compliance shall be provided to the Chief Building Official prior to the issuance of a final building permit. During demolition and construction, the project developer shall mark all trash disposal bins "trash materials only" and all recycling bins "recycling materials only." The project developer shall contact Pleasanton Garbage Service for the disposal of all waste from the site.

Landscaping

46. The project developer shall provide root control barriers and four inch perforated pipes for street trees and trees in planting areas less than ten feet in width, as determined necessary by the Director of Community Development at the time of review of the final landscape plans.
47. For purposes of erosion control, the applicant/developer shall plant a hydroseed mixture that has been designed by the project Landscape Architect. The hydroseed mixture shall be specified on the building permit plans for review and approval by the Director of Community Development and shall be maintained by the applicant/developer.

Engineering Division

48. The haul route for all materials to and from this site shall be approved by the City Engineer prior to the issuance of a permit.
49. A "Conditions of Approval" checklist shall be completed and attached to all plan checks submitted for approval indicating that all conditions have been satisfied.
50. All dry utilities (electric power distribution, gas distribution, communication service, Cable television, and any required alarm systems) required to serve existing or new development shall be installed in conduit, underground in a joint utility trench unless otherwise specifically approved by the City Engineer.

51. Any damage to existing street improvements during construction on the subject property shall be repaired to the satisfaction of the City Engineer at full expense to the project developer. This shall include slurry seal, overlay, or street reconstruction if deemed warranted by the City Engineer.
52. This approval does not guarantee the availability of sufficient water and/or sewer capacity to serve the project.
53. There shall be no direct roof leaders connected to the street gutter or storm drain system, unless otherwise approved by the City Engineer.
54. The project developer and/or the project developer's contractor(s) shall obtain an encroachment permit from the City Engineer prior to moving any construction equipment onto the site.
55. All retaining walls along the street shall be placed behind the Public Service Easement (PSE), unless otherwise approved by the City Engineer.

Fire

56. The project developer shall keep the site free of fire hazards from the start of construction until the final inspection.

Urban Stormwater

57. The project shall comply with the "Alameda Countywide NPDES Permit #CAS612008 dated October 14, 2009 and amendments to this permit" issued the by California Regional Water Quality Control Board, San Francisco Bay Region, a copy of which is available at the Community Development Department, Public Works/Engineering section at City offices, Alameda County Clean Water Program and at State Water Board:
 - (http://www.waterboards.ca.gov/sanfranciscobay/water_issues/programs/stormwater/Municipal/index.shtml.; and
 - http://www.waterboards.ca.gov/sanfranciscobay/board_info/agendas/2007/march/alameda%20final%20order%20r2-2007-0025.pdf)
58. The project shall also comply with the "Construction General Permit" by the California Regional Water Quality Control Board, San Francisco Bay Region.
http://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.shtml

Design Requirements

59. The Permit Design Requirements include, but are not limited to, the following:
 - a. Source control, sight design measures, and design and implementation of stormwater treatment measures are required when commercial, industrial or

- residential development creates and replaces 10,000 square feet or more of impervious surface, including roof area, streets and sidewalk.
- b. The Permit requires a proactive Diazinon pollutant reduction plan (aka Pesticide Plan) to reduce or substitute pesticide use with less toxic alternatives.
 - c. The Permit requires complying with the Copper Pollutant Reduction Plan and the Mercury Pollutant Reduction Plan.
60. The following requirements shall be incorporated into the project:
- a. Landscaping shall be designed to minimize irrigation and runoff, promote surface infiltration where appropriate and acceptable to the project soils engineer, and minimize the use of fertilizers and pesticides that can contribute to stormwater pollution.
 - Structures shall be designed to prohibit the occurrence and entry of pests into buildings, thus minimizing the need for pesticides.
 - Landscaping shall also comply with City of Pleasanton ordinances and policies regarding water conservation.
 - b. All paved outdoor storage areas shall be designed to minimize pollutant runoff. Bulk materials stored outdoors that may contribute to the pollution of stormwater runoff must be covered as deemed appropriate by the City Engineer/Chief Building Official and as required by the State Water Board.
 - c. All metal roofs, if used, shall be finished with rust-inhibitive paint.
 - d. Roof drains shall discharge and drain away from the building foundation. Ten percent of the stormwater flow shall drain to landscaped area or to an unpaved area wherever practicable.

Construction Requirements

61. The Construction General Permit's construction requirements include, but are not limited to, the following:
http://www.waterboards.ca.gov/water_issues/programs/stormwater/docs/finalconstpermi t.pdf

Stormwater

- a. The project developer shall submit a Stormwater Pollution Prevention Plan (SWPPP) for review by the City Engineer/Chief Building Official prior to issuance of building or engineering permits. A reviewed copy of the SWPPP shall be available at the project site until engineering and building permits have been signed off by the inspection departments and all work is complete. A site specific SWPPP must be combined with proper and timely installation of the BMPs, thorough and frequent inspections, maintenance, and documentation. Failure to comply with the reviewed construction SWPPP may result in the issuance of correction notices, citations or stop work orders.

- b. The amendments to the SWPPP and all the inspection forms shall be completed and available at the site for inspection by the city, county or state staff.
- c. The project developer is responsible for implementing the following Best Management Practices (BMPs). These, as well as any other applicable measure, shall be included in the SWPPP and implemented as approved by the City.
 - 1. The project developer shall include erosion control/stormwater quality measures on the final grading plan which shall specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydroseeding, hay bales, sandbags, and siltation fences and are subject to the review and approval of the City Engineer/Chief Building Official. If no grading plan is required, necessary erosion control/stormwater quality measures shall be shown on the site plan submitted for an on-site permit, subject to the review and approval of the Building and Safety Division. The project developer is responsible for ensuring that the contractor is aware of and implements such measures.
 - 2. All cut and fill slopes shall be revegetated and stabilized after completion of grading, but in no case later than October 15. Hydroseeding shall be accomplished before September 15 and irrigated with a temporary irrigation system to ensure that the grasses are established before October 15. No grading shall occur between October 15 and April 15 unless approved erosion control/stormwater quality measures are in place, subject to the approval of City Engineer/Chief Building Official. Such measures shall be maintained until such time as permanent landscaping is in place.
 - 3. Gather all sorted construction debris on a regular basis and place it in the appropriate container for recycling; to be emptied at least on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to stormwater runoff pollution.
 - 4. Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement and storm drains adjoining the site. Limit construction access routes onto the site and place gravel on them. Do not drive vehicles and equipment off paved or graveled areas during wet weather. Broom sweep the street pavement adjoining the project site on a daily basis. Scrape caked-on mud and dirt from these areas before sweeping.
 - 5. Install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site in order to retain any debris or dirt flowing in the storm drain system. Maintain and/or replace filter materials to ensure effectiveness and to prevent street flooding.
 - 6. Create a contained and covered area on the site for the storage of cement, paints, oils, fertilizers, pesticides, or other materials used on the site that have the potential of being discharged into the storm drain system through being windblown or in the event of a material spill.
 - 7. Never clean machinery, equipment, tools, brushes, or rinse containers into a street, gutter, or storm drain.
 - 8. Ensure that concrete/gunite supply trucks or concrete/plaster operations do not discharge wash water into street, gutters, or storm drains.

9. Equipment fueling area: Use off-site fueling stations as much as possible. Where on-site fueling occurs, use designated areas away from the storm drainage facility, use secondary containment and spill rags when fueling, discourage “topping off” of fuel tanks, place a stockpile of absorbent material where it will be readily accessible, and check vehicles and equipment regularly for leaking oils and fuels. Dispose rags and absorbent materials promptly and properly.
10. Concrete wash area: Locate wash out areas away from the storm drains and open ditches, construct a temporary pit large enough to store the liquid and solid waste, clean pit by allowing concrete to set, breaking up the concrete, then recycling or disposing of properly.
11. Equipment and vehicle maintenance area: Use off-site repair shop as much as possible. For on-site maintenance, use designated areas away from the storm drainage facility. Always use secondary containment and keep stockpile of cleanup materials nearby. Regularly inspect vehicles and equipment for leaks and repair quickly or remove from the project site. Train employees on spill cleanup procedures.

Site Design Measures for Small Projects

(Design Requirements)

62. All development projects which create and/or replace between 2,500 sq. ft. to 10,000 sq. ft. of impervious surface, shall install one or more of the following site design measures:
 - a. Direct roof runoff into cisterns or rain barrels for reuse.
 - b. Direct roof runoff onto vegetated areas.
 - c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
 - d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
 - e. Construct sidewalks, walkways, and/or patios with permeable surfaces.
 - f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.

CODE REQUIREMENTS

(Applicants/Developers are responsible for complying with all applicable Federal, State and City codes and regulations regardless of whether or not the requirements are part of this list. The following items are provided for the purpose of highlighting key requirements.)

Planning

63. All exterior lighting including landscape lighting shall be directed downward and designed or shielded so as to not shine onto neighboring properties. The project/building developer shall submit a final lighting plan, and include drawings and/or manufacturer’s specification sheets showing the size and types of light fixtures proposed for the exterior of the buildings.

Building

64. The project developer shall submit a building survey and/or record of survey and a site development plan in accordance with the provisions of Chapter 18.68 of the Municipal Code of the City of Pleasanton. These plans shall be approved by the Chief Building and Safety Official prior to the issuance of a building permit. The site development plan shall include all required information to design and construct site, grading, paving, drainage, and utilities.
65. The project developer shall post address numerals on the building so as to be plainly visible from all adjoining streets or driveways during both daylight and night time hours.
66. The building covered by this approval shall be designed and constructed to meet Title 24 state energy requirements.
67. All building and/or structural plans must comply with all codes and ordinances in effect before the Building and Safety Division will issue permits.

Fire

68. All construction shall conform to the requirements of the California Fire Code currently in effect, City of Pleasanton Building and Safety Division and City of Pleasanton Ordinance 2015. All required permits shall be obtained.
69. Fire alarm system shall be provided and installed in accordance with the CFC currently in effect, the City of Pleasanton Ordinance 2015 and 2002 NFPA 72 - National Fire Alarm Code. Notification appliances and manual fire alarm boxes shall be provided in all areas consistent with the definition of a notification zone (notification zones coincide with the smoke and fire zones of a building). Shop drawings shall be submitted for permit issuance in compliance with the CFC currently in effect.
70. All buildings undergoing construction, alteration or demolition shall comply with Chapter 14 (California Fire Code currently in effect) pertaining to the use of any hazardous materials, flame- producing devices, asphalt/tar kettles, etc.
71. The building (s) covered by this approval shall conform to the requirements of the California Building Code currently in effect, the California Fire Code currently in effect and the City of Pleasanton Ordinance 2015. If required plans and specifications for the automatic fire sprinkler system shall be submitted to the Livermore-Pleasanton Fire Department for review and approval prior to installation. The fire alarm system, including water flow and valve tamper, shall have plans and specifications submitted to Fire Prevention for review and approval prior to installation. All required inspections and witnessing of tests shall be completed prior to final inspection and occupancy of the building(s).

{end}

Jenny Soo

From: Rick Lazansky
Sent: Thursday, December 12, 2013 11:58 AM
To: Jenny Soo
Cc: Sue Sato
Subject: Fw: Notice to property owners

Hi Jenny,
Eric seems to be out of town, so I'm sending this to you in the event there's a deadline approaching.
I believe the property address requesting the variance is 5270, not 5720 as I point out below.
Regards,
Rick

----- Forwarded Message -----

From: Rick Lazansky
To: "eluchini@cityofpleasantonca.gov" <eluchini@cityofpleasantonca.gov>
Cc: Sue Sato
Sent: Thursday, December 12, 2013 11:40 AM
Subject: Notice to property owners

Eric,

Thanks for sending the notice to surrounding property owners. Unfortunately, you have the address wrong on the property next to ours, and it just came to my attention.
We live at _____ and you noted 5720 Clubhouse, I assume accidentally.

I do strongly oppose the suggested variance. We moved into the neighborhood as one of the first families, and part of the reason we chose as we did was the strong covenants and standards in the development.
The spacing of 25 feet between residences seems appropriate for the community. Reducing this to 17'11" seems too little, but especially only a 5 foot side yard clearance will really infringe on our view, side yard, privacy, and perhaps even the value of our home.
There is no home/lot planned to the north edge, so moving the proposed construction north seems the fair and sensible thing to do. That I would not oppose.

Rick

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MARIPOSA RANCH

at Callippe Preserve

EXHIBIT A

CITY APPROVED

April 2005

CITY CO
RECEIVED

MAY 10 2005

CITY OF PEAS
PLANNING C

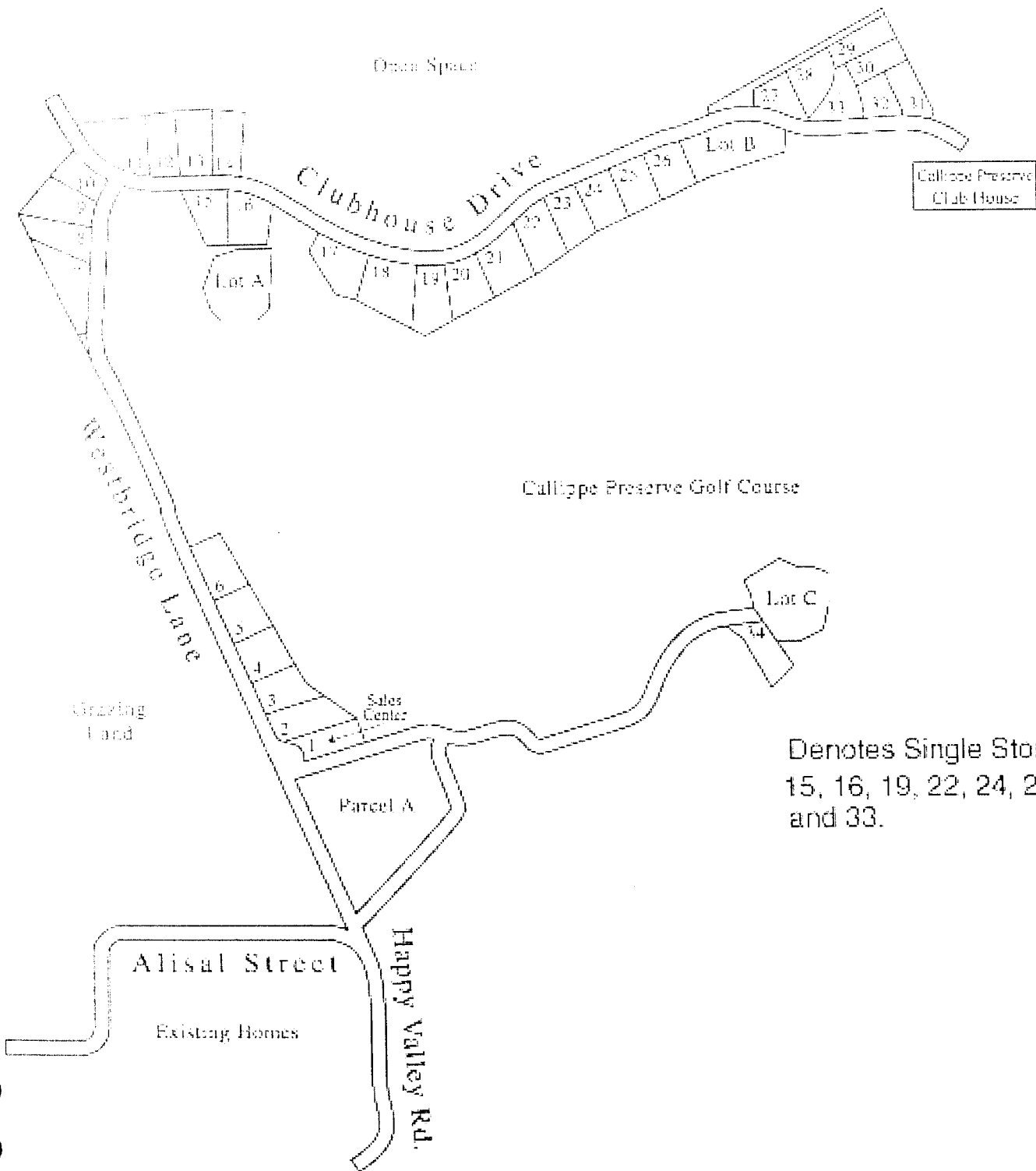
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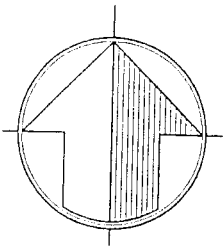
Callippe Preserve Golf Course

Open Space

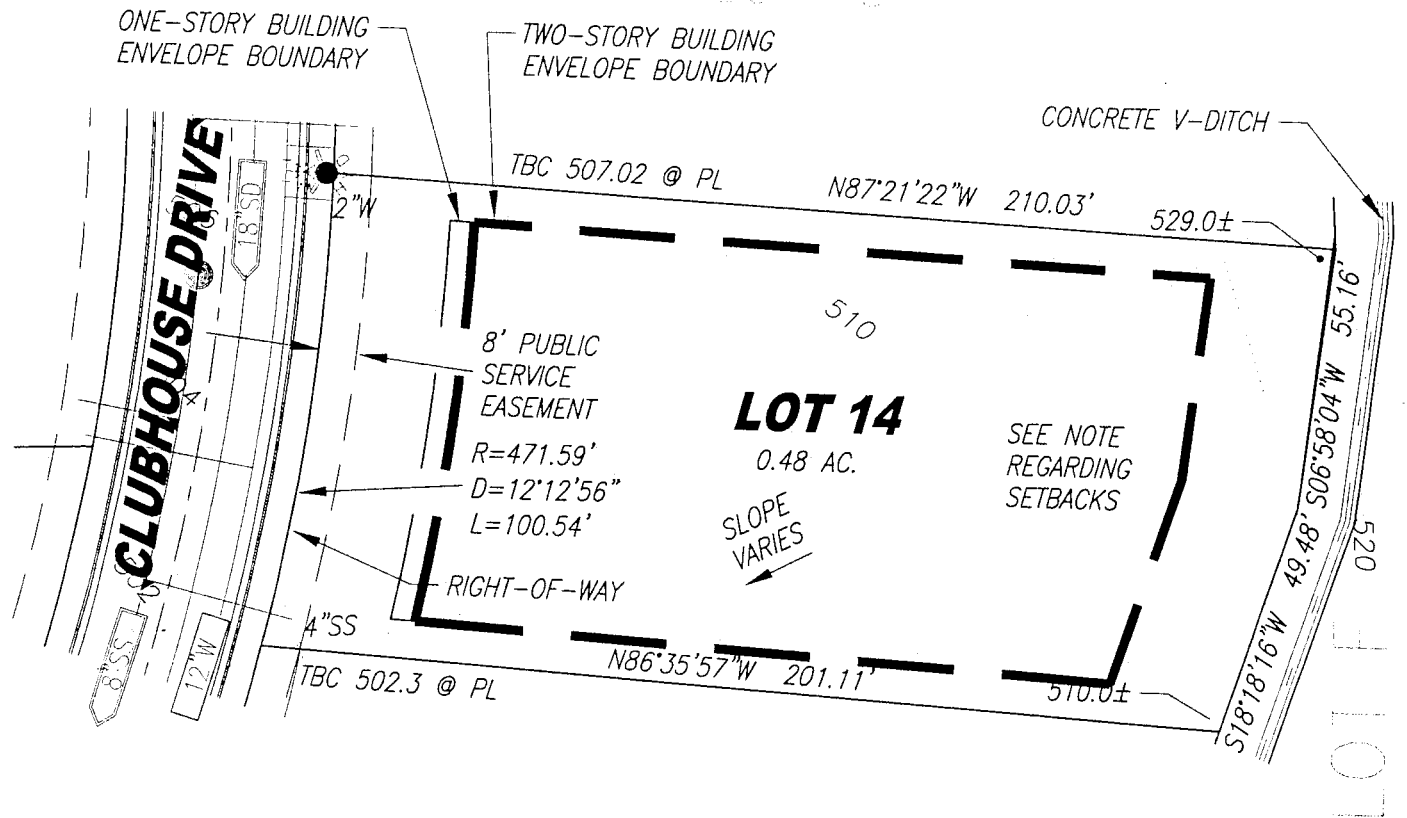


Mariposa Ranch at Callippe Preserve Disclaimer:

1. Please review all documents prior to purchase.
2. Exhibit A Booklet is for the following Lots only: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, & 34.
3. Previously approved designs for neighboring sites may affect the design requirements for your site. Verify all site design contracts with the DRB.



THE INFORMATION DEPICTED HEREON HAS BEEN TAKEN FROM TRACT MAP 7372 BY LAMB SURVEYING, INC., AND TRACT 7372 IMPROVEMENT PLANS BY DAVID EVANS AND ASSOCIATES, INC. C+D ENGINEERS MAKES NO WARRANTY, EXPRESSED OR IMPLIED, AS TO THE ACCURACY OF THIS INFORMATION, NOR OF THE "AS-BUILT" CONDITIONS AT THE SITE.



**PLOT PLAN
LOT NO. 14**

CREEGAN+D'ANGELO
Consulting Civil and Structural Engineers

FAIRFIELD, MONTEREY, PLEASANTON, SAN FRANCISCO, SAN JOSE

APPROVED BY: _____ EXP. DATE MARCH 31, 2005

DRAWN BY: H.R.P.	DATE: MAY 2004
CHECKED BY: G.E.H.	SCALE: 1" = 40'
APPROVED BY: G.E.H.	JOB NO: 497022.90

**Vesting Tentative Subdivision Map 7372
Final Residential Architectural Development Standards
and Design Guidelines**

August 28, 2002

I. Goals

- A. Design of the home and accessory structures should be in keeping with the semi-rural neighborhood character of the area.
- B. The architectural design of the home including materials, detailing, style, and colors, should be high quality and complementary to the overall design.
- C. The mass, size, and scale of the building, including proposed setbacks, should be appropriate for the area and physical features.
- D. The site plan, landscape, and home design should respect the surrounding features and preserve views of the hillsides and the golf course.
- E. The home and accessory structures should be sited and designed to complement adjacent architectural building style, building massing, and provide for privacy.

II. Guidelines

A. Site Planning

- 1. The house, accessory structures, and uses shall conform to the requirements of the R-1-20,000 zoning district regulations except as modified by the Happy Valley Specific Plan and these guidelines.
- 2. The design, location, and orientation of dwelling units should augment the physical features of the land and adjacent structures. Design considerations shall include: appropriate pad and floor elevations, views from proposed windows of adjacent yards and living spaces, and proper location relative to the trees and other structures.
- 3. The siting and height of homes and accessory structures located in the vicinity of the northern property line of the golf course properties shall be established based on providing the maximum view potential of the golf course from the southern Alisal Street area.
- 4. Golf course homes should be designed to enhance the view of the golf course area from the by-pass road. New golf course homes visible from the by-pass road should be designed and orientated to enhance the view of the area.

5. The elevations of the homes along the by-pass road shall be designed and detailed to appear as front elevations, with the exception of Lot 10. The side elevation of Lot 10 adjacent to the by-pass road shall receive special design detail and treatment.
6. All structures should conform to the grades established by the final grading plan to the greatest extent possible.
7. Setbacks:

The setbacks detailed below are the minimum required development standards. Project developers are encouraged to exceed the minimum standards when ever possible. During the design review process, greater setbacks may be required based on site-specific design review considerations.

a. Front Yard

- Garages

Front Entry Garages :	30' Min.
Two-Story Side Entry Garages:	25' Min.
Single-Story Side Entry Garages:	25' Min.

Note: A single-story side entry garage may encroach an additional five feet into the required setback provided the garage and visible elevations of the home contain a significant portion of natural appearing materials, the mass of the garage structure is minimized, and the encroaching area is screened by additional large specimen trees (24 inch box size) and shrubs (15 gallon size). No two adjacent homes may utilize this provision.

- Homes

One Story Elements:	25' Min.
Two Story Elements:	30' Min.
Porch:	20' Min.

Note: In no case shall occupied living space encroach within the earthquake fault zone. Non-occupied garage space may encroach within the fault zone provided that the minimum setbacks and City building codes are met.

b. Side Yard

- Homes with a Front Entry Garage: 10' Min./25' Total
- Homes with a Side Entry Garage: 7' Min./25' Total
- Corner Lot Sideyard Setback: Twice the Minimum Interior Side Yard Setback
- Lot 31 south side: 30' 0"

- c. Rear Yard
 - Rear yard setback: 25' 0" minimum
 - Lots 29 and 30: 50' 0" minimum
- d. Building-to-Building Separation: 25' 0" minimum

Note: Adjacent homes with adjacent single-story building elements may encroach an additional five feet into the required building separation setback provided that the minimum side yard setbacks are being maintained, the elevations of the homes contain a significant portion of natural appearing materials, and the mass of the adjacent elevations are minimized. This additional allowance does not apply to Lots 4 through 6.

Note: The minimum building-to-building separation between Lots 4 through 6 shall be 75 feet.

- e. FAR Definition: Maximum FAR for the lots is 25% excluding 700 square feet of garage space.
 - f. Drainage Channel Setback: A minimum 10 foot setback for all structures shall be maintained from the building envelope line located along the drainage channel generally located between Lots 28 and 33.
7. The homes on the following lots are restricted to single-story: Lots 5, 15, 16, 26, 27, 33, and Lot "B".
 8. A minimum of three additional single story dwelling units shall be located between lots 18 through 25. Unless otherwise approved as part of a comprehensive design review application for these lots, Lots 20, 22, and 24 shall be limited to single story units.
 9. Maximum house height shall be 30 feet for two-story homes and 24 feet for one-story homes measured from lowest pad grade to the highest roof peak.
 10. At least two garage parking spaces shall be provided for each new home. A minimum of four on-site visitor-parking spaces shall be provided for each new home.

B. Architecture

1. Informal architectural styles such as Craftsman, California Bungalow, American Farmhouse, Prairie, and ranch-styles homes are strongly encouraged while formal architectural styles such as Mediterranean, Neo-colonial, European Estate or similar are strongly discouraged. "A" frames and geodesic domes are prohibited.
2. Building mass shall recognize views of adjacent properties and minimize the blocking of such vista corridors, where appropriate.

3. Pitched gable and hip-roof forms, rather than flat roofs are strongly encouraged. Structures with roof slopes less than a four-and-twelve pitch are discouraged. Dormers are encouraged to accommodate second-story elements rather than flat, vertical walls.
4. All exposed exterior metals, including flashing; chimneys, vents, crickets, and metal window frames shall be treated to prevent bright or highly reflective surfaces.
5. Quality architectural design is encouraged. Visually interesting designs, as opposed to flat walls without detailing, are required on each facade. Design features and detailing should be utilized to lessen the impact of two story facades.
6. The visual prominence of garage doors should be minimized and the landscape plan shall arrange landscaping to block views of garages wherever possible.
7. The garages should be located so that not more than three doors face the fronting road and the use multiple doors rather than single large doors is encouraged to assist in detailing the garage elevation. Where three doors face the fronting road, at least one of the garage doors shall be set back a minimum of five feet from the other two garage doors.
8. Side entry garages are encouraged, and there shall be no more than three consecutive lots with more than two garage doors facing the street.
9. All exterior-building elevations shall be designed with similar or complementary elements with regard to color, texture, material, architectural form and detailing.
10. Roof shape, color, and texture shall be compatible with the color and architectural treatment of exterior walls.
11. Balconies from upper levels of single-family residences shall generally be in keeping with the scale and character of the house.
12. Design should consider the privacy of neighbors when locating windows, doors, balconies and patios.
13. The scale, architectural style, and building mass should be compatible with adjacent homes and the semi-rural character of the area.
14. Be consistent in architectural style in all design and detailing. Continue and coordinate the design on all sides of the structure.
15. Material used should be complementary to the overall appearance of the building. Stucco may be only used when complemented by the use of other natural material (stone, masonry, or horizontal siding).

16. All second story openings should be properly trimmed or otherwise treated. Such treatment should be compatible with the architectural style of the structure.
17. The inclusion of rural informal design elements (such as dormers, covered porches, side entry and detached garages) that facilitate neighborhood interaction and add visual interest to the homes is strongly encouraged.
18. House entries and porches should be oriented to the road frontage.
19. One-story structures are strongly encouraged. One and two story design combinations are acceptable. Two-story structures may be permitted if the building masses are broken up with attached one-story elements.
20. Special attention shall be considered in the placement and configuration of the homes adjacent to the driving range in order to limit noise related impacts. In particular, limiting the size and location of windows facing the driving range, the use of special sound attenuation windows with higher STC ratings, and locating bedrooms away from the driving range should all be considered as part of the design review process.

C. Grading

1. Minor alterations to the final grading plan for site specific design considerations may be approved in conjunction with individual design review applications and in no case shall the grade at the property line be changed from the grades shown on the final grading plan.
2. Lots 9 through 14 shall be developed under a split-pad design configuration.
3. The use of visible retaining walls greater than five feet and pony walls greater than three feet is prohibited.

D. Fences

1. Fences and gates should be designed with the principal structure in regards to style and materials and should complement neighboring fencing.
2. Maximum fence height shall be six feet. Fences up to eight feet may be permitted subject to the City's standard overheight fence administrative design review process where it can be shown that the added height of the fence will not have visual impacts and is needed to address privacy impacts.
3. A fence plan shall be submitted in conjunction with a design review application. All fencing along the rear boundary shall be of an open fence design of tubular steel fence panels or welded wire framed with decorative pilasters at each fence corner and at each material change. Solid wood fencing is only permitted along the side yard property lines five feet behind the front corner of the house to 30 feet beyond the rear most corner of the house, provided that the end of the solid

fence maintains a 30 foot rear yard setback. At this point the open fencing shall begin, enclosing the rear property. The final design selection of the open fence design shall be made in conjunction with the first design review application for the new home sites.

4. All fencing along side yard property lines adjacent to a public street shall be of an open design.
5. Any permitted fencing along the drainage channel between Lots 28 and 33 shall be of an open design.

E. Landscape

1. Select trees and shrubs suitable for this climatic zone. Use native plants wherever possible and/or appropriate. Drought tolerant, fire retardant and deer resistant varieties are encouraged.
2. Design landscaping to create and provide a pleasing appearance from within and off the site to fit its semi-rural character.
3. Each lot shall be planted with a minimum of one tree for each 750 square feet of lot area. Two, 24-inch box-size street trees, of a variety approved during the design review process, shall be planted for each lot frontage. At a minimum not less than 30% of total tree planting shall be 24-inch box-size trees. A 36-inch box-size tree may be substituted for two, 24-inch box-size, non-street trees. The remaining 70% of tree planting shall be clusters of flowering accents augmented by stands of individual theme trees as provided in the draft Planting Palette.
4. All private property adjacent to existing open space shall incorporate a minimum 30-foot wide wetted perimeter of broad spreading fire-retardant ground covers to be automatically irrigated and maintained by the homeowner.
5. Insure that landscaping provides for adequate sight distance for motorists and pedestrians entering, exiting, or passing the property.
6. Design irrigation systems so that no runoff occurs from the site to adjoining properties.
7. Low water consumption, automatically actuated irrigation systems should be used whenever possible and/or appropriate.
8. Landscape design shall be used to complement the structure by accenting the structures aesthetic strengths and reducing any shortcomings.
9. The Design review application shall include a landscape plan. The use of a Landscape Architect for preparation of landscaping plans is strongly encouraged.

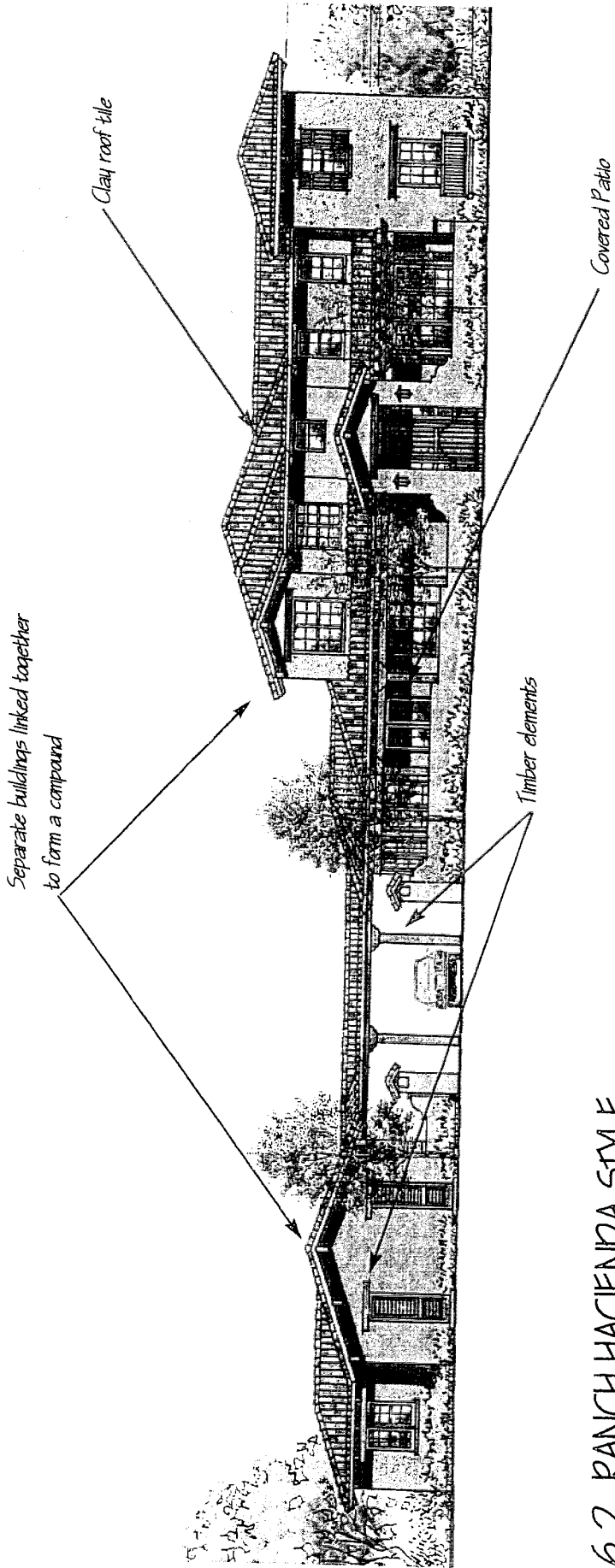
10. Should any construction or grading be proposed within the driplines of any existing trees, a tree report shall accompany the design review application.
11. Formal plantings around the home shall be transitioned to informal low water requiring native landscaping near the lot line.
12. Within three months of occupancy, a rear yard landscape plan shall be submitted to the Planning Director for review and approval. No rear yard landscaping shall be installed unless approved by the Planning Director.
13. All landscaping shall be installed within six months of occupancy.

F. Lighting

1. Design all exterior lighting as an integrated design element with the building, materials, and colors. All exterior lighting shall be subdued in brightness.
2. Locate exterior lighting so as not to impact neighbors or street traffic.
3. The entrance to each lot shall include an ornamental carriage type streetlight or illuminated pilaster that is designed to match the architectural style of the home. Maximum height of the streetlight shall be 16 feet and the illuminated pilaster shall be five feet.
4. There shall be no rear yard pole lighted recreational facilities; such as, tennis courts, sports courts, etc.

G. Accessory Structures

1. Accessory structures shall conform to and be located in accordance with the R-1-20,000 zoning district regulations, except as modified herein. Structures over ten feet in height shall have a five foot side yard setback and a 10 foot rear yard setback and shall be located to prevent visibility impacts to or from the golf course.
2. Accessory structures and mailboxes shall be designed, constructed, and detailed with compatible materials to match the home.
3. Pre-fabricated accessory structures are discouraged.
4. Design review of all accessory structures shall be in accordance with the R-1-20,000 accessory structure review, and processes.
5. No accessory structure shall be located at an elevation more than five feet higher than the house pad elevation.



6.2 RANCH HACIENDA STYLE

Western ranching traditions and California's Spanish legacy are embraced by the rustic and rugged Ranch Hacienda style, which is typically characterized by an enclosed or semi-enclosed courtyard or hidden garden. Use of indigenous materials such as stone and timber is characteristic of this architecture, as are deep covered porches, wrap around verandas, picture windows, and detached garages or guest quarters.

Typically covered passageways are used to link separate buildings together, establishing a larger mass and creating a compound. However, forms are somewhat random and asymmetrical.

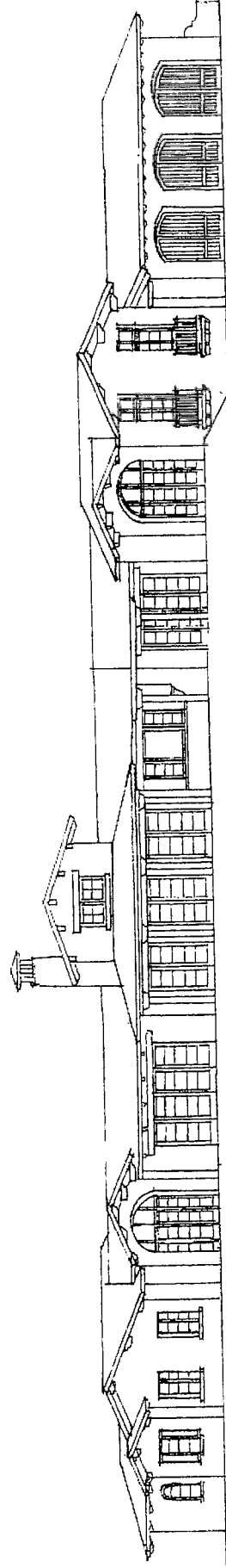
Traditionally, the Hacienda would have been built over time, with additions evolving in response to a growing family or a growing ranching enterprise. The structure and the detailing are simple and the building profile is generally horizontal. The home extends to the out-of-doors through the use of loggias, column lined galleries and covered patios. The building materials are almost exclusively stone and exterior plaster, yielding a somewhat rustic look and blending the built environment with its natural setting. Covered terraces, massive stone chimneys, timber elements, water features and clay tiled roofs are also a part of this casual and informal style.

Mariposa Ranch At Callippe Preserve
Chapter Six

RANCH HACIENDA MASSING CRITERIA

Long rectangular structure built low to the ground and emphasizing the horizontal plane. Expansive floor plans and creation of outdoor spaces spaces and courtyards along with covered walkways may yield an L, U, O, C, or H shaped plan.

Any two-story mass requires a transition to a single story mass at the front corner and side.



Mariposa Ranch At Callippe Preserve
Chapter Six

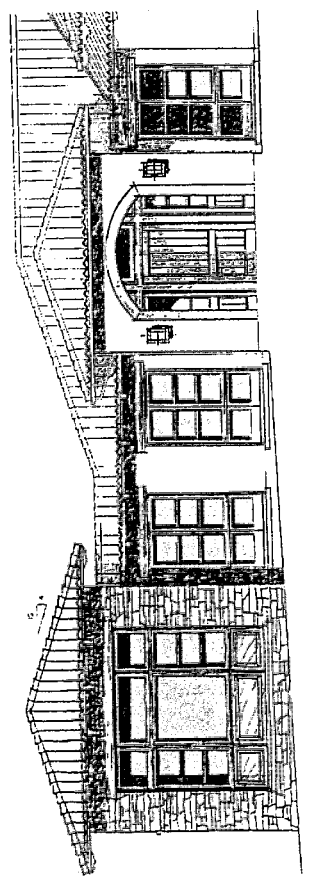
RANCH HACIENDA BUILDING - ELEMENTS & FORMS

ROOFS

Predominantly gable or shed roofs with the use of shed or hip roofs over terraces. Hip roofs possible, but rare historically.
Pitch ranges from 4/12 to 6/12 with occasional lower slopes at shed roofs, generally over terraces.

Clay barrel tile:

- Coloration should not be monochromatic or have high contrast from tile to tile.
- Color range should draw from deep browns.
- Horizontal alignment can be slightly irregular.

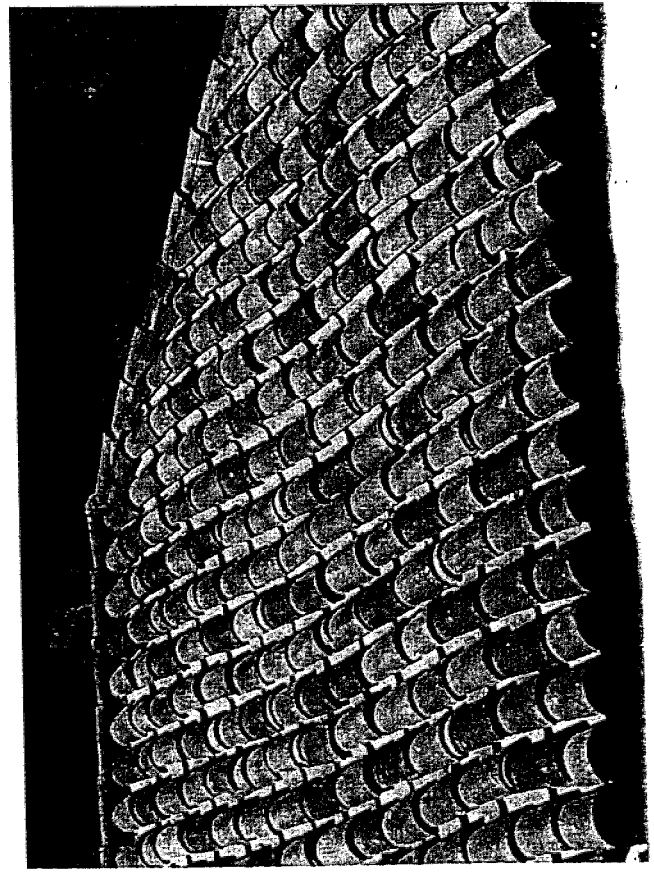


Metal:

- Painted corrugated or standing seam metal roof may be considered with a low glare/ gloss finish required. This roof style may be denied depending on the specific lot location. This type of roof must be used with caution due to the glare potential.
- Finishes in rusted metal or zinc are encouraged because they have a very rich color with a dull finish.
- Natural galvanized metals are discouraged unless they are treated to a natural dull finish.

Composition Shingle:

- Not appropriate for this style.



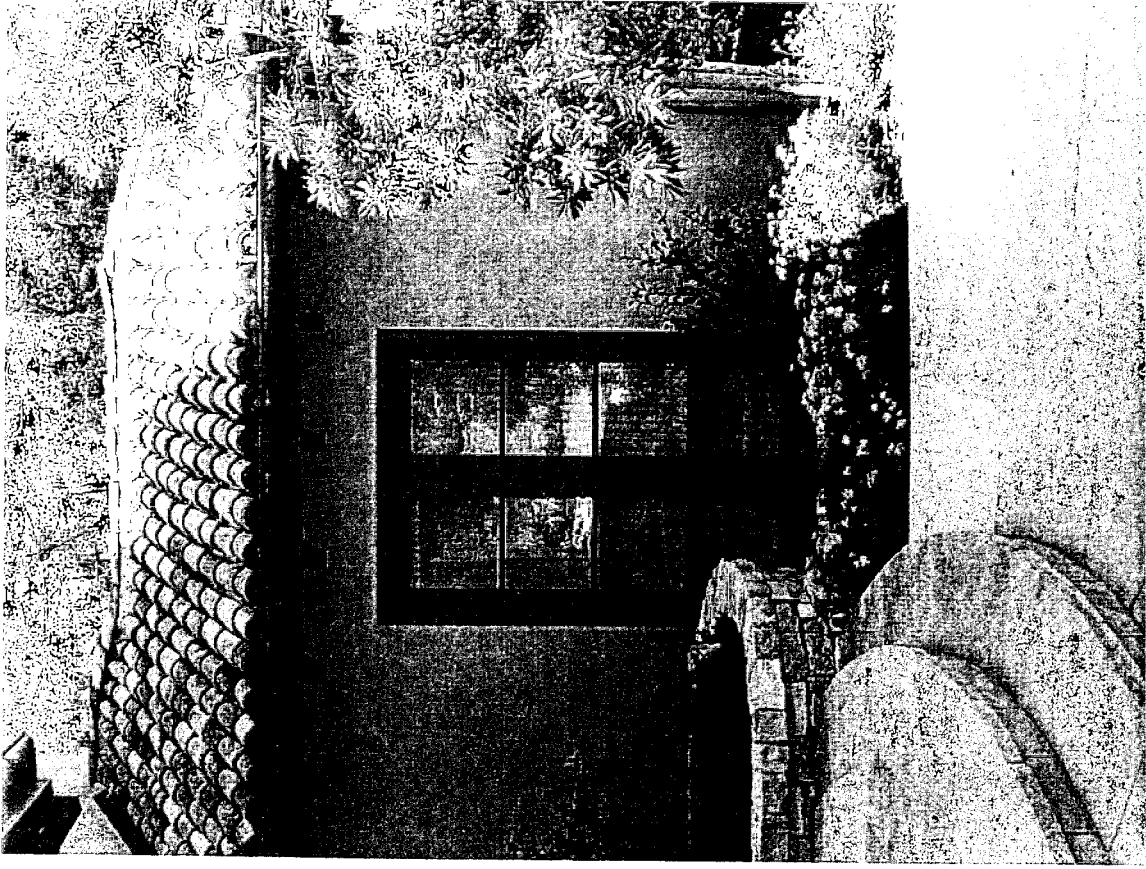
WALLS

Stucco only (Smooth to medium finish - mottled finishes possible) or combined with a stone base.

Stone only or used as wainscot and accent masses.

Traditional Western brick (rather than Eastern); used brick discouraged.

Stucco color standard draws from tans, terra cotta, and earth tones. Brick colors range from warm brown shades to cooler reds.

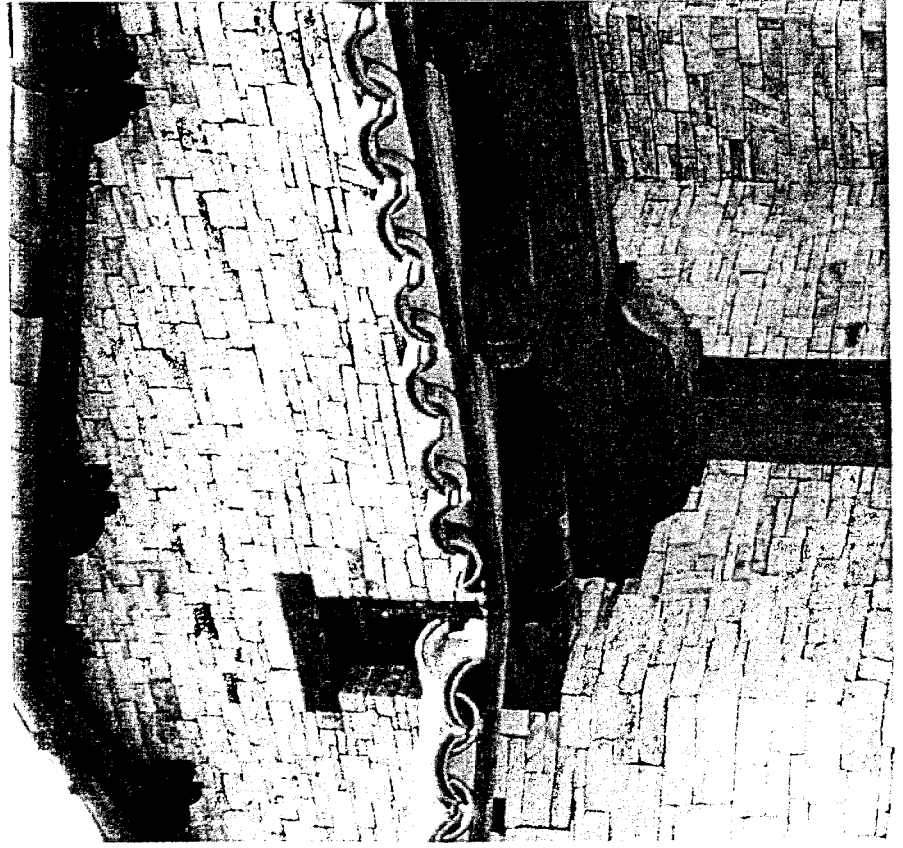


STRUCTURAL ELEMENTS

Utilizes predominately square wood posts, beams, post to beam brackets, kicker brackets and rafter tails.

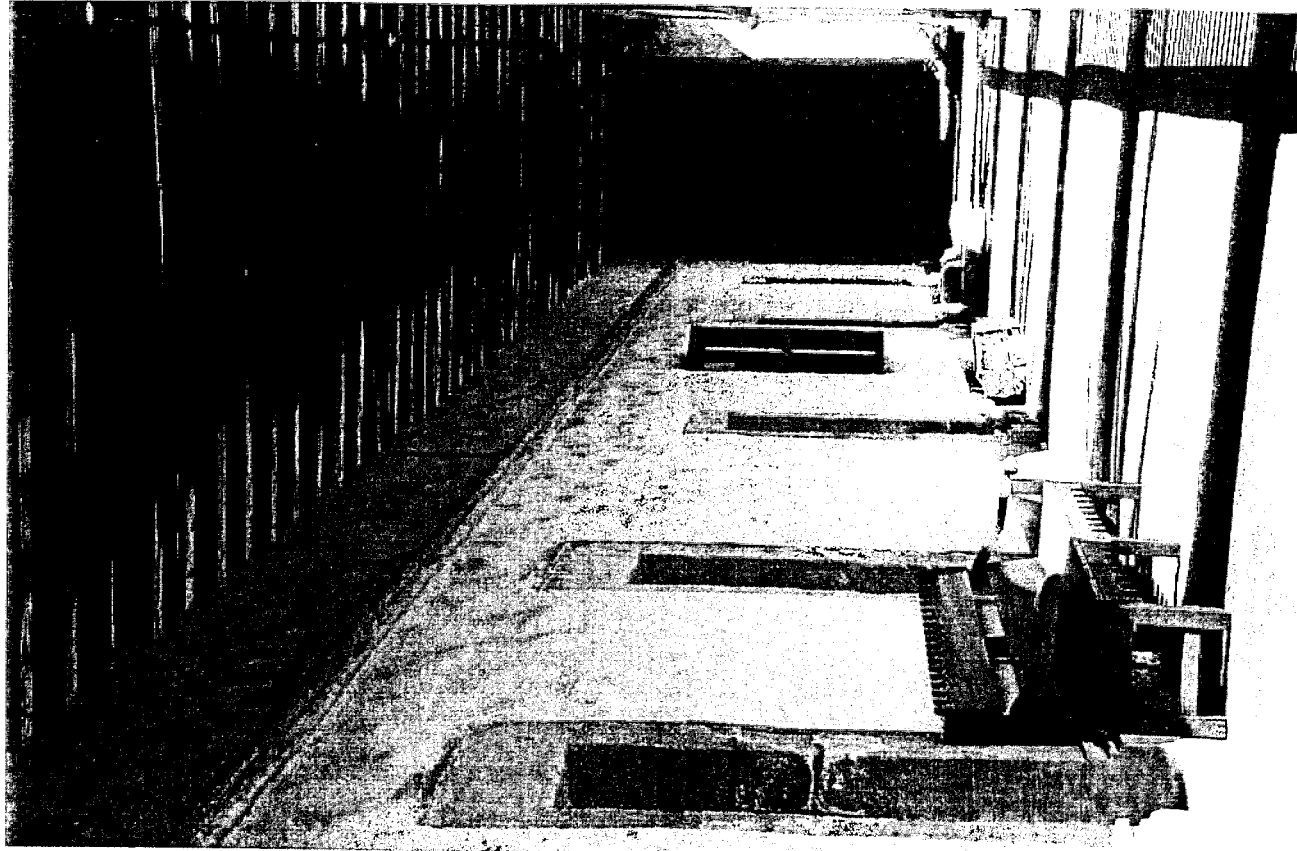
Square masonry or stucco pilasters.

Wood or concrete headers.



TRIM DETAILS & ORNAMENTATION

- Trim details in blackish browns, deep chocolate browns, or bronzes.
- Black wrought iron or rustic metal railings, gates, grilles, fences and the like.
- Exposed wood rafters and trusses.
- Beam to post corbel details.
- Some use of planked wood shutters.
- Juliet balcony detail.
- Limited use of arches.
- Masonry or stone chimneys. Simple chimney details.
- Native stone walls.
- Fountains.



GreenPoint Rated Checklist: Single Family

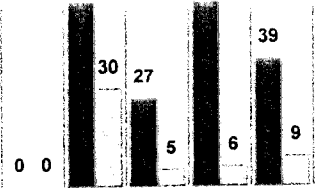
The GreenPoint Rated checklist tracks green features incorporated into the home. **A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.** GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California. The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Energy (30), Indoor Air Quality/Health (5), Resources (6), and Water (9); and meet the prerequisites A.2.a, H10a., J.2., N.1, and Q0.



Total Points Targeted: **258**

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 CITY OF PLAZA
 PLANNING DIVISION

This checklist accommodates the verification of mandatory CALGreen measures but does not signify compliance unless accepted by enforcing agency. All CALGreen measures within the checklist must be selected as "Yes" or "n/a" for compliance with GreenPoint Rated. Build It Green is not a code enforcement agency.



The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated

Single Family New Home 4.2 / 2008 Title 24

BAL RESIDENCE 5270 CLUBHOUSE DR. PLEASANTON, CALIF.		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
		Possible Points						
A. SITE								
1. Protect Topsoil and Minimize Disruption of Existing Plants & Trees								
Yes	a. Protect Topsoil and Reuse after Construction	2	1				1	
Yes	b. Limit and Delineate Construction Footprint for Maximum Protection	1					1	
2. Divert/Recycle Job Site Construction Waste (Including Green Waste and Existing Structures)								
Yes	a. Required: Divert 50% (by weight) of All Construction and Demolition Waste (Recycling or Reuse) (CALGreen Code)	Y				R		
No	b. Divert 100% of Asphalt and Concrete and 65% (by weight) of Remaining Materials	2				2		
Yes	c. Divert 100% of Asphalt and Concrete and 80% (by weight) of Remaining Materials	2				2		
3. Use Recycled Content Aggregate (Minimum 25%)								
Yes	a. Walkway and Driveway Base	1				1		
No	b. Roadway Base	0				1		
Yes	4. Cool Site: Reduce Heat Island Effect On Site	1	1					
5. Construction Environmental Quality Management Plan, Duct Sealing, and Pre-Occupancy Flush-Out [*This credit is a requirement associated with J4: EPA IAP]								
Yes	a. Duct openings and other related air distribution component openings shall be covered during construction. (CALGreen code if applicable)	1		1				
Yes	b. Full environmental quality management plan and pre-occupancy flush out is conducted (Prerequisite is A5a)	1		1				
Total Points Available in Site = 12		11						
		Possible Points						
B. FOUNDATION								
≥30%	1. Replace Portland Cement In Concrete with Recycled Fly Ash and/or Slag (Minimum 20%)	2				2		

EXHIBIT E

BAL RESIDENCE 5270 CLUBHOUSE DR, PLEASANTON, CALIF.

		Points Achieved	Community	Energy	IAC/Health	Resources	Water	Notes	
No	2. Use Frost-Protected Shallow Foundation In Cold Areas (CEC Climate Zone 16)	0				2			
Yes	3. Use Radon Resistant Construction [*This credit is a requirement associated with J4: EPA IAP]	2			2				
Yes	4. Install a Foundation Drainage System [*This credit is a requirement associated with J4: EPA IAP]	2				2			
Yes	5. Moisture Controlled Crawlspace [*This credit is a requirement associated with J4: EPA IAP]	2			2				
6. Design and Build Structural Pest Controls									
Yes	a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections	1				1			
No	b. All Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation	0				1			
Total Points Available in Foundation = 12		9	Possible Points						
C. LANDSCAPE									
30%	<i>Enter in the % of landscape area. (Projects with less than 15% of the total site area (i.e. total lot size) as landscape area are capped at 6 points for the following measures: C1 through C7 and C9 through C11.</i>								
Yes	1. Group Plants by Water Needs (Hydrozoning)	2					2		
Yes	2. Mulch All Planting Beds to the Greater of 3 Inches or Local Water Ordinance Requirement	2					2		
3. Construct Resource-Efficient Landscapes									
Yes	a. No Invasive Species Listed by Cal-IPC Are Planted	1					1		
Yes	b. No Plant Species Will Require Shearing	1			1				
No	c. 75% of Plants Are Drought Tolerant, California Natives or Mediterranean Species or Other Appropriate Species	0					3		
4. Minimize Turf in Landscape Installed by Builder									
Yes	a. Turf Shall Not Be Installed on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less than 8 Feet Wide	2					2		
≤25%	b. Turf is Small Percentage of Landscaped Area (2 Points for ≤25%, 4 Points for ≤10%)	2					4		
Yes	5. Plant Shade Trees	3	1	1			1		
6. Install High-Efficiency Irrigation Systems									
Yes	a. System Uses Only Low-Flow Drip, Bubblers, or Sprinklers	2					2		
Yes	b. System Has Smart (Weather-Based) Controller (CALGreen code if applicable)	3					3		
Yes	7. Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil	3					3		
8. Rain Water Harvesting System									
Yes	a. Cistern(s) is Less Than 750 Gallons	1					1		
No	b. Cistern(s) is 750 to 2,500 Gallons	0					1		
No	c. Cistern(s) is Greater Than 2,500 Gallons	0					1		
No	9. Irrigation System Uses Recycled Wastewater	0					1		
Yes	10. Submetering for Landscape Irrigation	1					1		
11. Design Landscape to Meet Water Budget									
Yes	a. Install Irrigation System That Will Be Operated at ≤70% Reference ET (Prerequisites for Credit are C1. and C2.)	1					1		
No	b. Install Irrigation System That Will Be Operated at ≤50% Reference ET (Prerequisites for Credit are C1, C2, and C6a or C6b.)	0					1		

**BAL RESIDENCE 5270 CLUBHOUSE DR,
PLEASANTON, CALIF.**

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
Yes	12. Use Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content E) Finger-Jointed or F) Local	1				1		
Yes	13. Reduce Light Pollution by Shielding Fixtures and Directing Light Downward	1	1					
Total Points Available in Landscape = 35		26						
D. STRUCTURAL FRAME & BUILDING ENVELOPE			Possible Points					
1. Apply Optimal Value Engineering								
Yes	a. Place Joists, Rafters and Studs at 24-Inch On Center	3				3		
Yes	b. Door and Window Headers are Sized for Load	1				1		
Yes	c. Use Only Cripple Studs Required for Load	1				1		
2. Construction Material Efficiencies								
No	a. Wall and Floor Assemblies (Excluding Solid Wall Assemblies) are Delivered Panelized from Supplier (Minimum of 80% Square Feet)	0				2		
No	b. Modular Components Are Delivered Assembled to the Project (Minimum 25%)	0				6		
3. Use Engineered Lumber								
Yes	a. Engineered Beams and Headers	1				1		
Yes	b. Wood I-Joists or Web Trusses for Floors	1				1		
No	c. Engineered Lumber for Roof Rafters	0				1		
Yes	d. Engineered or Finger-Jointed Studs for Vertical Applications	1				1		
Yes	e. Oriented Strand Board for Subfloor	1				1		
Yes	f. Oriented Strand Board for Wall and Roof Sheathing	1				1		
No		0		1				
4. Insulated Headers								
5. Use FSC-Certified Wood								
≥90%	a. Dimensional Lumber, Studs and Timber (Minimum 40%)	6				6		
≥65%	b. Panel Products (Minimum 40%)	2				3		
6. Use Solid Wall Systems (Includes SIPS, ICFs, & Any Non-Stick Frame Assembly)								
Yes	a. Floors	2				2		
No	b. Walls	0				2		
No	c. Roofs	0				1		
Yes	7. Energy Heels on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)	1		1				
8. Install Overhangs and Gutters								
Yes	a. Minimum 16-Inch Overhangs and Gutters	1				1		
Yes	b. Minimum 24-Inch Overhangs and Gutters	1		1				
9. Reduce Pollution Entering the Home from the Garage [*This credit is a requirement associated with J4: EPA IAP]								
Yes	a. Install Garage Exhaust Fan OR Build a Detached Garage	1				1		
Yes	b. Tightly Seal the Air Barrier between Garage and Living Area (Performance Test Required)	1				1		
Total Points Available in Structural Frame and Building Envelope = 39		25						
E. EXTERIOR			Possible Points					
Yes	1. Use Environmentally Preferable Decking	2				2		

BAL RESIDENCE 5270 CLUBHOUSE DR, PLEASANTON, CALIF.

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
Yes	2. Flashing Installation Techniques Specified and Third-Party Verified [*This credit is a requirement associated with J4: EPA IAP]	1				1		
No	3. Install a Rain Screen Wall System	0				2		
Yes	4. Use Durable and Non-Combustible Siding Materials	1				1		
Yes	5. Use Durable and Fire Resistant Roofing Materials or Assembly	2				2		
Total Points Available in Exterior = 8		6						
F. INSULATION			Possible Points					
1. Install Insulation with 75% Recycled Content								
Yes	a. Walls	1				1		
Yes	b. Ceilings	1				1		
No	c. Floors	0				1		
Total Points Available in Insulation = 3		2						
G. PLUMBING			Possible Points					
1. Distribute Domestic Hot Water Efficiently (Max. 5 points, G1a. is a Prerequisite for G1b-e)								
Yes	a. Insulate All Hot Water Pipes [*This credit is a requirement associated with J4: EPA IAP]	2		1			1	
Yes	b. Use Engineered Parallel Plumbing	0					1	
Yes	c. Use Engineered Parallel Plumbing with Demand Controlled Circulation Loop(s)	0					1	
Yes	d. Use Traditional Trunk, Branch and Twig Plumbing with Demand Controlled Circulation Loop(s)	0		1			2	
Yes	e. Use Central Core Plumbing	3		1		1	1	
2. Water Efficient Fixtures								
Yes	a. High Efficiency Showerheads ≤2.0 Gallons Per Minute (gpm) at 80 psi. (Multiple showerheads shall not exceed maximum flow rates) (CALGreen code if applicable)	3					3	
Yes	b. High Efficiency Bathroom Faucets ≤ 1.5 gpm at 60psi (CALGreen code)	1					1	
Yes	c. High Efficiency Kitchen and Utility Faucets ≤1.8 gpm (CALGreen code if applicable)	1					1	
Yes	3. Install Only High Efficiency Toilets (Dual-Flush or ≤1.28 Gallons Per Flush (gpf)) (CALGreen code if applicable)	2					2	
Total Points Available in Plumbing = 12		12						
H. HEATING, VENTILATION & AIR CONDITIONING			Possible Points					
1. Properly Design HVAC System and Perform Diagnostic Testing								
Yes	a. Design and Install HVAC System to ACCA Manual J, D, and S Recommendations (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	4		4				
No	b. Test Total Supply Air Flow Rates [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	c. Third Party Testing of Mechanical Ventilation Rates for IAQ (meet ASHRAE 62.2)	0		1				
2. Install Sealed Combustion Units [*This credit is a requirement associated with J4: EPA IAP]								
Yes	a. Furnaces	2				2		
Yes	b. Water Heaters	2				2		
Yes	3. Install High Performing Zoned Hydronic Radiant Heating	2		1	1			
Yes	4. Install High Efficiency Air Conditioning with Environmentally Preferable Refrigerants	1	1					

BAL RESIDENCE 5270 CLUBHOUSE DR, PLEASANTON, CALIF.

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
5. Design and Install Effective Ductwork								
Yes	a. Install HVAC Unit and Ductwork within Conditioned Space	1		1				
Yes	b. Use Duct Mastic on All Duct Joints and Seams [*This credit is a requirement associated with J4: EPA IAP]	1		1				
No	c. Pressure Relieve the Ductwork System [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	6. Install High Efficiency HVAC Filter (MERV 6+) [*This credit is a requirement associated with J4: EPA IAP]	0			1			
No	7. No Fireplace OR Install Sealed Gas Fireplace(s) with Efficiency Rating >60% using CSA Standards [*This credit is a requirement associated with J4: EPA IAP]	0			1			
N/A	8. Install ENERGY STAR Bathroom Fans on Timer or Humidistat (CALGreen code if applicable)	N/A			1			
9. Install Mechanical Ventilation System for Cooling (Max. 4 Points)								
No	a. Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & All Bedrooms	0		1				
Yes	b. Install Whole House Fan (Credit Not Available if H9c Chosen) (CALGreen code if applicable)	1		1				
No	c. Automatically Controlled Integrated System with Variable Speed Control	0		3				
10. Advanced Mechanical Ventilation for IAQ								
Yes	a. <i>Required:</i> Compliance with ASHRAE 62.2 Mechanical Ventilation Standards (as adopted in Title 24 Part 6) [*This credit is a requirement associated with J4: EPA IAP]	Y			R			
Yes	b. Advanced Ventilation Practices (Continuous Operation, Sone Limit, Minimum Efficiency, Minimum Ventilation Rate, Homeowner Instructions)	1			1			
No	c. Outdoor Air Ducted to Bedroom and Living Areas of Home	0			2			
Yes	11. Install Carbon Monoxide Alarm(s) (or No Combustion Appliances in Living Space and No Attached Garage) [*This credit is a requirement associated with J4: EPA IAP]	1			1			
Total Points Available in Heating, Ventilation and Air Conditioning = 27		16						
I. RENEWABLE ENERGY					Possible Points			
Yes	1. Pre-Plumb for Solar Water Heating	1			1			
Yes	2. Install Wiring Conduit for Future Photovoltaic Installation & Provide 200 ft² of South-Facing Roof	1			1			
0.0%	3. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind) <i>Enter % total energy consumption offset, 1 point per 4% offset</i>	0		25				
Total Available Points in Renewable Energy = 27		2						
J. BUILDING PERFORMANCE					Possible Points			
1. Building Envelope Diagnostic Evaluations								
Yes	a. Verify Quality of Insulation Installation & Thermal Bypass Checklist before Drywall [*This credit is a requirement associated with J4: EPA IAP]	1		1				
No	b. House Passes Blower Door Test [*This credit is a requirement associated with J4: EPA IAP]	0		1				

BAL RESIDENCE 5270 CLUBHOUSE DR, PLEASANTON, CALIF.

		Points Achieved	Community	Energy	IAC/Health	Resources	Water	Notes
TBD	c. Blower Door Results are Max 2.5 ACH ₅₀ for Unbalanced Systems (Supply or Exhaust) or Max 1.0 ACH ₅₀ for Balanced Systems (2 Total Points for J1b. and J1c.)	0		1				
TBD	d. House Passes Combustion Safety Backdraft Test	0			1			
28%	2. Required: Building Performance Exceeds Title 24 (Minimum 15%) (Enter the Percent Better Than Title 24, Points for Every 1% Better Than Title 24)	56		≥30				
4	3. Design and Build Near Zero Energy Homes (Enter number of points, minimum of 2 and maximum of 6 points)	4		6				
No	4. Obtain EPA Indoor airPlus Certification (Total 42 points, not including Title 24 performance; read comment)	0			2			
No	5. Title 24 Prepared and Signed by a CABEC Certified Energy Plans Examiner (CEPE)	0		1				
	6. Participation in Utility Program with Third Party Plan Review							
No	a. Energy Efficiency Program [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	b. Renewable Energy Program with Min. 30% Better Than Title 24 (High Performing Home)	0		1				
Total Available Points in Building Performance = 45+		61						
			Possible Points					
Yes	1. Design Entryways to Reduce Tracked-In Contaminants	1		1				
	2. Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)							
Yes	a. Low-VOC Interior Wall/Ceiling Paints (CALGreen code if applicable) (<50 Grams Per Liter (gpl) VOCs Regardless of Sheen) [*This credit is a requirement associated with J4: EPA IAP]	1			1			
TBD	b. Zero-VOC: Interior Wall/Ceiling Paints (<5 gpl VOCs Regardless of Sheen)	0			2			
Yes	3. Use Low-VOC Coatings that Meet SCAQMD Rule 1113 (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	2			2			
Yes	4. Use Low-VOC Caulks, Construction Adhesives and Sealants that Meet SCAQMD Rule 1168 (CALGreen code if applicable)	2			2			
No	5. Use Recycled-Content Paint	0				1		
	6. Use Environmentally Preferable Materials for Interior Finish A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content or E) Finger-Jointed F) Local							
≥50%	a. Cabinets (50% Minimum)	2				3		
≥50%	b. Interior Trim (50% Minimum)	1				2		
No	c. Shelving (50% Minimum)	0				2		
No	d. Doors (50% Minimum)	0				2		
No	e. Countertops (50% Minimum)	0				2		
Yes	7. Reduce Formaldehyde In Interior Finish – Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	Y			0			

**BAL RESIDENCE 5270 CLUBHOUSE DR,
PLEASANTON, CALIF.**

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
8. Reduce Formaldehyde In Interior Finish - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory Compliance Dates								
No	a. Doors (90% Minimum)	0			1			
No	b. Cabinets & Countertops (90% Minimum)	0			2			
No	c. Interior Trim and Shelving (90% Minimum)	0			1			
No	9. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb	0			3			
Total Available Points in Finishes = 27		9						
L. FLOORING								
1. Use Environmentally Preferable Flooring (Minimum 15% Floor Area)								
≥50%	A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable, D) Recycled-Content, E) Exposed Concrete, F) Local. <i>Flooring Adhesives Must Meet SCAQMD Rule 1168 for VOCs.</i>	3			4			
Yes	2. Thermal Mass Floors (Minimum 50%)	1						
≥80%	3. Low Emitting Flooring (Section 01350, CRI Green Label Plus, Floorscore [*This credit is a requirement associated with J4: EPA IAP])	3			3			
Yes	4. All carpet and 50% of Resilient Flooring is low emitting. (CALGreen code if applicable)	Y						
Total Available Points in Flooring = 8		7						
M. APPLIANCES AND LIGHTING								
Yes	1. Install ENERGY STAR Dishwasher (Must Meet Current Specifications)	2					1	
2. Install ENERGY STAR Clothes Washer								
Yes	a. Meets ENERGY STAR and CEE Tier 2 Requirements (Modified Energy Factor 2.0, Water Factor 6.0 or less)	3			1		2	
Yes	b. Meets ENERGY STAR and CEE Tier 3 Requirements (Modified Energy Factor 2.2, Water Factor 4.5 or less)	2					2	
3. Install ENERGY STAR Refrigerator								
Yes	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity	1			1			
Yes	b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity	1			1			
4. Install Built-In Recycling Center or Composting Center								
No	a. Built-In Recycling Center	0					1	
Yes	b. Built-In Composting Center	1					1	
5. Install High-Efficacy Lighting and Design Lighting System								
Yes	a. Install High-Efficacy Lighting	1			1			
No	b. Install a Lighting System to IESNA Footcandle Standards or Hire Lighting Consultant	0			1			
Total Available Points in Appliances and Lighting = 13		11						
N. OTHER								
Yes	1. Required: Incorporate GreenPoint Rated Checklist in Blueprints [*This credit is a requirement associated with J4: EPA IAP]	Y					R	
Yes	2. Pre-Construction Kick-Off Meeting with Rater and Subs	1	1					
Yes	3. Homebuilder's Management Staff are Certified Green Building Professionals	1	1					

360 RESIDENCE 5270 CLUBHOUSE DR, PLEASANTON, CALIF.

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
4. Develop Homeowner Education								
N/A	a. Develop Homeowner Manual of Green Features/Benefits (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	N/A		1			1	
Yes	b. Conduct Educational Walkthroughs (Prerequisite is N4a) [*This credit is a requirement associated with J4: EPA IAP]	1			1			
No	5. Install a Home System Monitor OR Participate in a Time-of-Use Pricing Program	0		1				
Total Available Points in Other = 6		3						
D. COMMUNITY DESIGN & PLANNING			Possible Points					
1. Develop Infill Sites								
No	a. Project is an Urban Infill Development	0	1				1	
No	b. Home(s)/Development is Located within 1/2 Mile of a Major Transit Stop	0	2					
No	2. Build on Designated Brownfield Site	0	3					
3. Cluster Homes & Keep Size in Check								
No	a. Cluster Homes for Land Preservation	0	1				1	
No	b. Conserve Resources by Increasing Density (10 Units per Acre or Greater)	0	2				2	
	c. Home Size Efficiency	0					9	
	i. Enter Average Unit Square Footage							
	ii. Enter Average Number of Bedrooms/Unit							
4. Design for Walking & Bicycling								
NA	a. Site Has Pedestrian Access Within 1/2 Mile of Community Services: TIER 1: Enter Number of Services Within 1/2 Mile 1) Day Care 2) Community Center 3) Public Park 4) Drug Store 5) Restaurant 6) School 7) Library 8) Farmer's Market 9) After School Programs 10) Convenience Store Where Meat & Produce are Sold							
NA	TIER 2: Enter Number of Services Within 1/2 Mile 1) Bank 2) Place of Worship 3) Laundry/Cleaners 4) Hardware 5) Theater/Entertainment 6) Fitness/Gym 7) Post Office 8) Senior Care Facility 9) Medical/Dental 10) Hair Care 11) Commercial Office or Major Employer 12) Full Scale Supermarket	####	1					
	i. 5 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	####	1					
	ii. 10 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)							
No	b. Development is Connected with A Dedicated Pedestrian Pathway to Places of Recreational Interest Within 1/4 mile	0	1					
No	c. Install Traffic Calming Strategies (Minimum of Two): - Designated Bicycle Lanes are Present on Roadways; - Ten-Foot Vehicle Travel Lanes; - Street Crossings Closest to Site are Located Less Than 300 Feet Apart; - Streets Have Rumble Strips, Bulbouts, Raised Crosswalks or Refuge Islands	0	2					
5. Design for Safety & Social Gathering								
Yes	a. All Home Front Entrances Have Views from the Inside to Outside Callers	1	1					
Yes	b. All Home Front Entrances Can be Seen from the Street and/or from Other Front Doors	1	1					

REAL RESIDENCE 5270 CLUBHOUSE DR, PLEASANTON, CALIF.

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
No	c. Orient Porches (min. 100sf) to Streets and Public Spaces	0	1					
Yes	d. Development Includes a Social Gathering Space	1	1					
6. Design for Diverse Households (6a. is a Prerequisite for 6b. and 6c.)								
Yes	a. All Homes Have At Least One Zero-Step Entrance	1	1					
Yes	b. All Main Floor Interior Doors & Passageways Have a Minimum 32-Inch Clear Passage Space	1	1					
Yes	c. Locate Half-Bath on the Ground Floor	1	1					
No	d. Provide Full-Function Independent Rental Unit	0	1					
Total Achievable Points in Community Design & Planning = 35		###						
P. INNOVATION			Possible Points					
A. Site								
1. Stormwater Control: Prescriptive Path (Maximum of 3 Points, Mutually Exclusive with PA2.)								
Yes	a. Use Permeable Paving for 25% of Driveways, Patios and Walkways	0	1					
Yes	b. Install Bio-Retention and Filtration Features	0	2					
Yes	c. Route Downspout Through Permeable Landscape	0	1					
Yes	d. Use Non-Leaching Roofing Materials	0	1					
Yes	e. Include Smart Street/Driveway Design	0	1					
Yes	2. Stormwater Control: Performance Path (Mutually Exclusive with PA1): Perform Soil Percolation Test and Capture and Treat 85% of Total Annual Runoff	3	3					
C. Landscape								
Yes	1. Meet Local Landscape Program Requirement	2					2	
D. Structural Frame & Building Envelope								
1. Design, Build and Maintain Structural Pest and Rot Controls								
Yes	a. Locate All Wood (Siding, Trim, Structure) At Least 12" Above Soil	1				1		
No	b. All Wood Framing 3 Feet from the Foundation is Treated with Borates (or Use Factory-Impregnated Materials) OR Walls are Not Made of Wood	0				1		
Yes	2. Use Moisture Resistant Materials in Wet Areas: Kitchen, Bathrooms, Utility Rooms, and Basements [*This credit is a requirement associated with J4: EPA IAP]	2			1	1		
E. Exterior								
No	1. Vegetated Roof (Minimum 25%)	0	2	2				
G. Plumbing								
No	1. Greywater Pre-Plumbing (Includes Washing Machine at Minimum)	0					1	
No	2. Greywater System Operational (Includes Washing Machine at Minimum)	0					2	
No	3. Innovative Wastewater Technology (Constructed Wetland, Sand Filter, Aerobic System)	0					1	
No	4. Composting or Waterless Toilet	0					2	
No	5. Install Drain Water Heat-Recovery System	0		1				
No	6. Install a Hot Water Desuperheater	0		2				
H. Heating, Ventilation, and Air Conditioning								
Yes	1. Humidity Control Systems (Only in California Humid/Marine Climate Zones 1,3,5,6,7) [*This credit is a requirement associated with J4: EPA IAP]	1				1		
Yes	2. Design HVAC System to Manual T for Register Design	1		1				
K. Finishes								

**BAL RESIDENCE 5270 CLUBHOUSE DR,
PLEASANTON, CALIF.**

		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
3	1. Materials Meet SMaRT Criteria (Select the number of points, up to 5 points)	3				5		
	N. Other							
No	1. Detailed Durability Plan and Third-Party Verification of Plan Implementation	0				2		
	2. Educational Signage of Project's Green Features							
No	a. Promotion of Green Building Practices	0	1					
No	b. Installed Green Building Educational Signage	0	1					
	3. Innovation: List innovative measures that meet green building objectives. Enter in the number of points in each category for a maximum of 4 points for the measure in the blue cells. Points achieved column will be automatically fill in based on the sum of the points in each category. Points and measures will be evaluated by Build It Green.							
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points at right. Enter description here	0						
	Total Achievable Points in Innovation = 33+	13						

Q. CALIFORNIA CALGreen CODE

			Possible Points					
Yes	Home meets all applicable CAL Green measures listed in above Sections A - P of the GreenPoint Rated checklist.	Y	R					
	<i>The following measures are mandatory in the CALGreen code and do not earn points in the GreenPoint Rated Checklist, but have been included in the Checklist for the convenience of jurisdictions.</i>							
	<i>The GreenPoint Rater is not a code enforcement official. The measures in this section may be verified by the GreenPoint Rater at their own discretion and/or discretion of the building official.</i>							
Yes	1. CALGreen 4.106.2 Storm water management during construction.	Y						
Yes	2. CALGreen 4.106.3 Design for surface water drainage away from buildings.	Y						
Yes	3. CALGreen 4.303.1 As an alternative to prescriptive compliance, a 20% reduction in baseline water use shall be demonstrated through calculation	Y						
Yes	4. CALGreen 4.406.1 Joints and openings. Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected	Y						
N/A	5. CALGreen 4.503.1 Gas fireplace shall be a direct-vent sealed-combustion type. Woodstove or pellet stove shall comply with US EPA Phase II emission limits	N/A						
Yes	6. CALGreen 4.505.2 Vapor retarder and capillary break is installed at slab on grade foundations.	Y						
Yes	7. CALGreen 4.505.3 19% moisture content of building framing materials	Y						
Yes	8. CALGreen 702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.	Y						
	Total Achievable Points in California Green Code = 0	0						

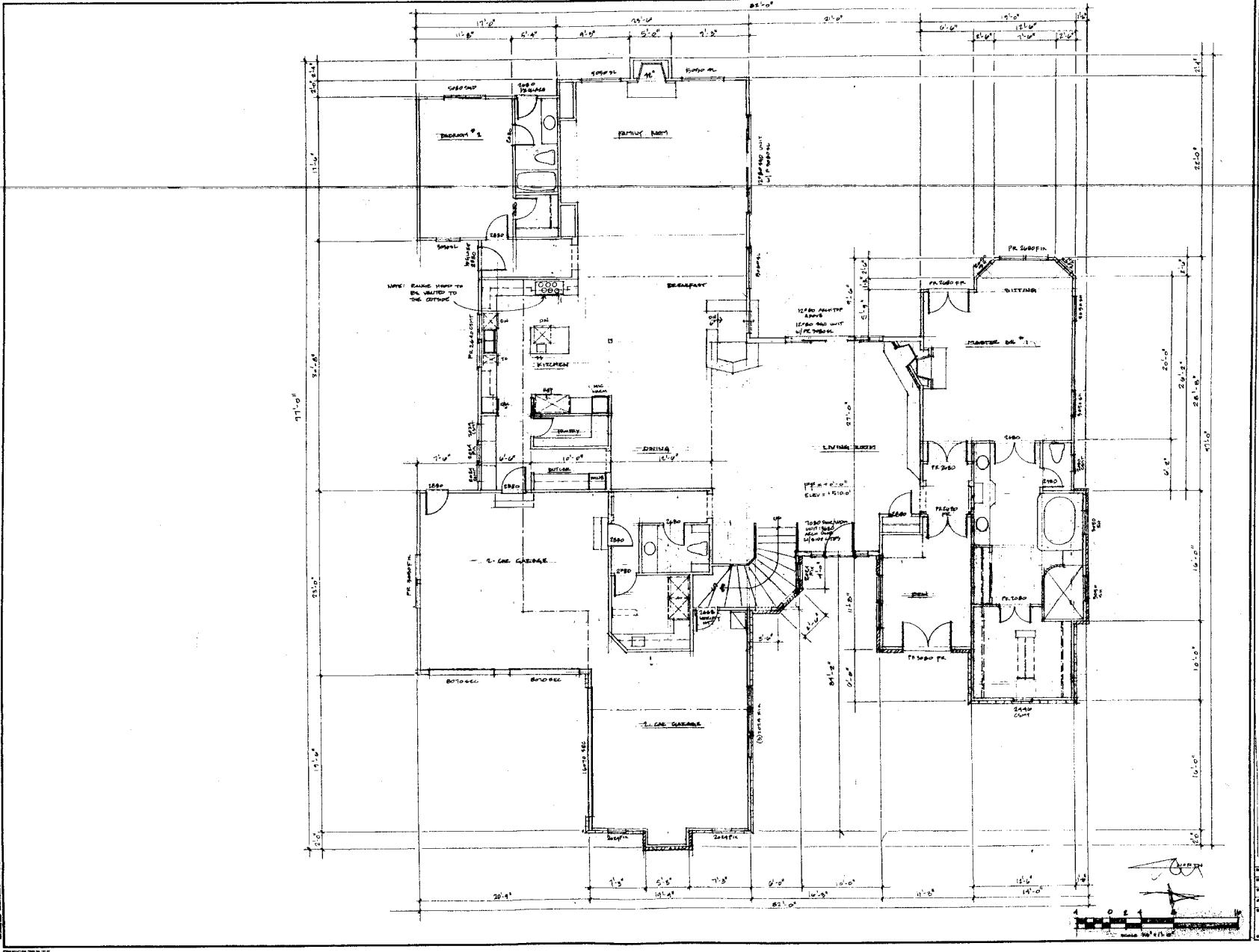
Summary							
Total Available Points in Specific Categories		35	96+	44	110	56	
Minimum Points Required in Specific Categories	50	0	30	5	6	9	

**BAL RESIDENCE 5270 CLUBHOUSE DR,
PLEASANTON, CALIF.**

Total Points Achieved 258 A 77 27 60 39

Points Achieved	Community	Energy	IAQ/Health	Resources	Water
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Notes

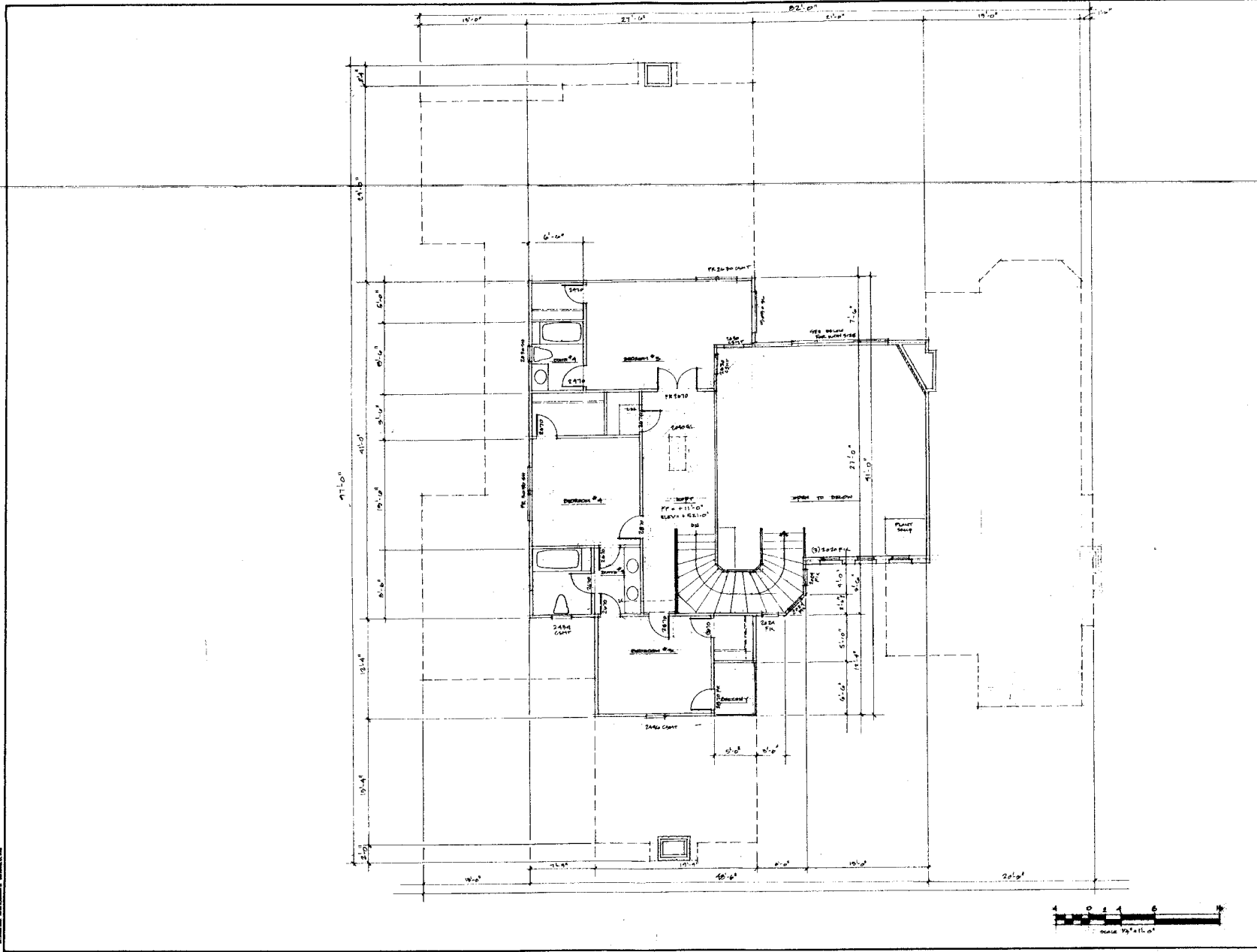


Manning Residence
 Lot #14, Channing Drive
 Pleasanton, Calif.

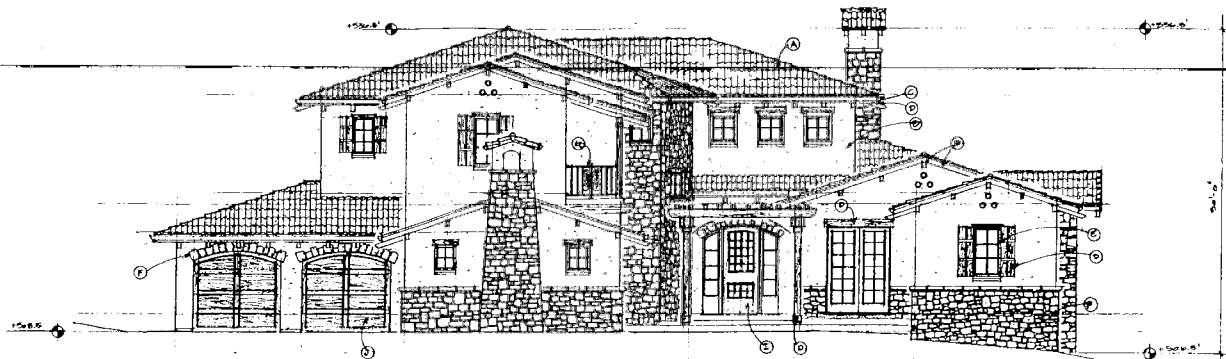
Lower Level Floor Plan
 Project: 99-26
 Date: 1/21/99

Architectural Consulting Services
 Jeff R. Roberts
 5900 Sunnyside Drive
 Pleasanton, Calif.
 94566
 Phone: 925-436-1118

Scale: 1/4" = 1'-0"
 JK
 PLANNING
 2



<p>Manning Residence Lot #14 Clubhouse Drive Pleasanton, Calif.</p>	<p>Upper Level Floor Plan 1/8" = 1'-0"</p>	<p>Architectural Services Architect AC-1425 2065 San Ramon Blvd. Pleasanton, Calif. Phone 925-460-1118</p>	<p>REVISIONS</p> <table border="1"> <tr> <td>NO.</td> <td>DATE</td> <td>DESCRIPTION</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION												
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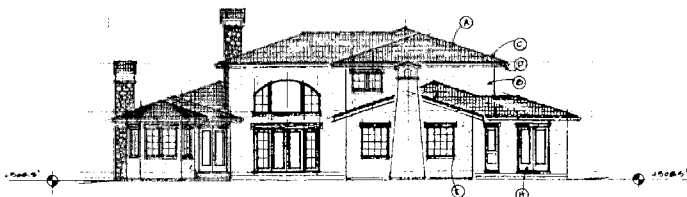
Front Elevation



LEFT SIDE ELEVATION



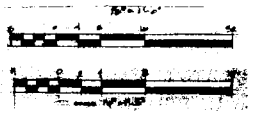
RIGHT SIDE ELEVATION



REAR ELEVATION

Exterior Finish Materials And Colors

- A Roof: "Logan" Custom Red Capslatam
See Mfg. #192C/8441
- B Walls: Stone
"Sherrin Williams"
Case Stone #SW2866
- C Trim/Outer: "Sherrin Williams"
Log Cable #SW2147
- D Panels and Outriggers: "Sherrin Williams"
Hardboard #SW3518
- E Windows: Wood Clad
"Marvin" Belmont Drive
- F Sides: "Ebbetts" Country Rabbit
Tussock
- G Iron Railing: Black "Wrought Iron"
King Architectural metal
- H Doors: Metal, Stained Wood Grate
"Sherrin Williams"
Case Stone #SW2866
- I Front Door: Solid Grade Wood
"Sherrin Williams"
Spice Chest #SW1313
- J Garage Door: Solid Grade Wood
"Sherrin Williams"
Bojo Bolo #3599



Architectural Consulting Services
 Jeff R. Roberts
 5948 Serrano Drive
 Pasadena, Calif.
 Phone: 714/797-1111
 Fax: 714/797-1111

Manning Residence
 Lot #14 Chubbense Drive
 Pasadena, Calif.

Elevations

4

NOTES & SPECIFICATIONS:

This plan is a complete design only. It is to be used for all details not shown. This is not a site plan. Construction of all details not shown is the responsibility of the contractor. The contractor is to be responsible for all necessary adjustments to ensure proper function. It is recommended that the contractor consult with the architect regarding any changes, grading or details.

GENERAL NOTES:

1. All work shall be in accordance with the California Building Code and all applicable local ordinances. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.

PLANTING NOTES:

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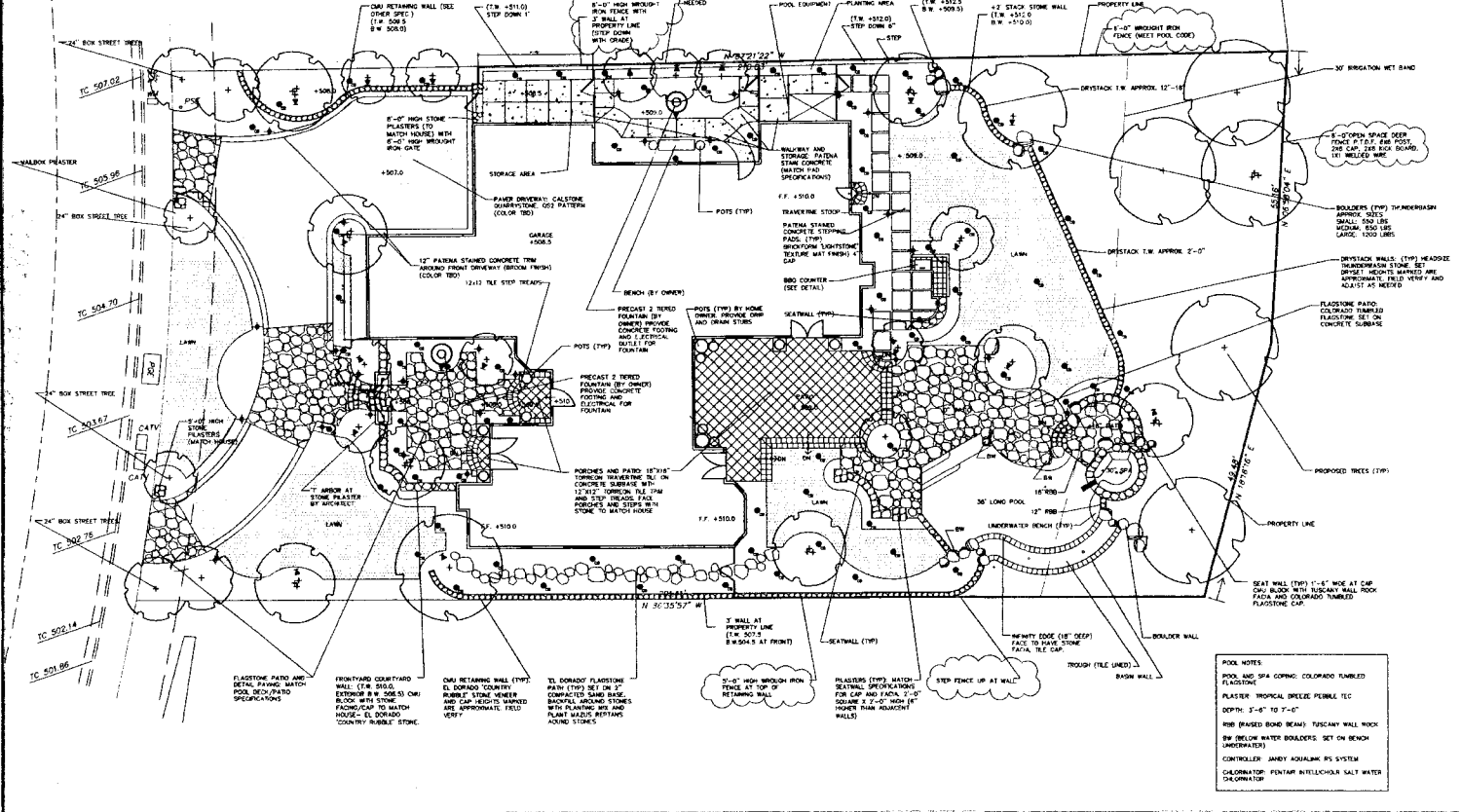
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Peter Koenig Designs
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 3201 Danville Blvd., Suite 285
 Alamo, CA 94507
 (925) 743-9009
 Fax: (925) 743-9270

MANNING RESIDENCE
 3270 CLUBHOUSE DR
 PLEASANTON, CA

REVISIONS

1	11-28-06
2	4-22-07

SCALE:
 1" = 1'-0"

DATE:
 11/28/06

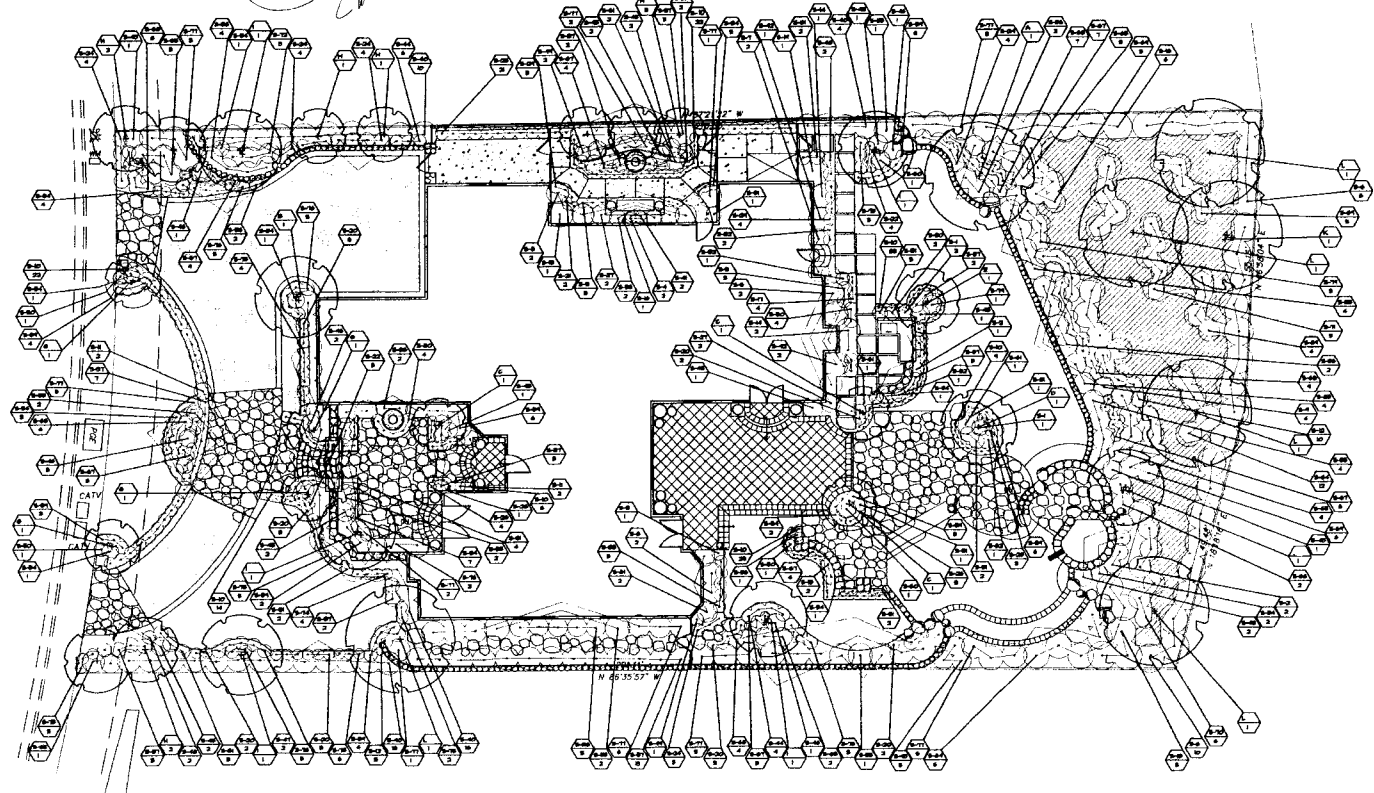
DESIGN:
 P.K.K.

DRAWN:
 L.M.L.

SHEET:
 L-1

OF:
 4

SUNSHINE DRIVE



GROUNDCOVERS

SYMBOL	BOTANICAL/COMMON NAME	REMARKS
[Pattern]	Antirrhinum Throat Coat	Plant 2' 0" O.C. From 1 Gals.
[Pattern]	MCH (Low water, Low profile, Right for material quality)	
[Pattern]	Small Ficus	Plant 2' 0" O.C.
[Pattern]	Box Leaf	

NOTES PERTAINING TO IRRIGATION GREEN POINT BUILDING REQUIREMENTS AND PLANNING

NOTE: ALL PLANTS SELECTED ARE SUITABLE FOR ZONE 16 AND 15 IN REGARDS TO TEMPERATURE REQUIREMENTS. PLANTS IN FRONT HAVE BEEN SELECTED WITH BEST RESISTANCE CAPABILITIES IN WIND.

NOTE: PLANT SELECTIONS FOR FRONT YARD HAVE BEEN SELECTED FROM "PROOF" PLANT LISTS AND FROM PALETTE'S DEVELOPED IN OTHER BOYS PRIME AREAS.

NOTE: NONE OF THE PLANTS SELECTED ARE CONSIDERED INVASIVE SPECIES.

NOTE: LANDSCAPE TO SUPPLEMENT HYDROSEEDING BY GROUND PLANTS BY WATER WEEDS.

NOTE: TYPICAL WATER USE IS LESS THAN 1/2" PER YEAR. SEE L.A.C. 18.01 FOR LANDSCAPE AREA.

NOTE: LIGHT POLLUTION TO BE PRODUCED BY BUILDING FEATURES AND LOW REFLECTING COEFFICIENTS.

NOTE: NO NET BAND ACROSS BACK OF PROPERTY.

NOTE: WE HAVE MORE THAN ONE TREE PER 750 SQUARE FEET.

NOTE: APPROX. 1" OF COMPOST TO TOP 6" TO 12" OF SOIL.

NOTE: NO FENCING TREES ARE ON PROPERTY.

NOTE: MATCH ALL PLANTING BEDS TO THE CENTER OF J.

PLANT LIST

* = Native, MacRobertian, Australian natives or Mission natives (Low Water Use)

SYMBOL	SIZE	ROW	BOTANICAL NAME	COMMON NAME
TREES				
1-1	24" DB	1	Adiantum (Small Tree)	Small Tree
1-2	24" DB	1	Adiantum (Small Tree)	Small Tree
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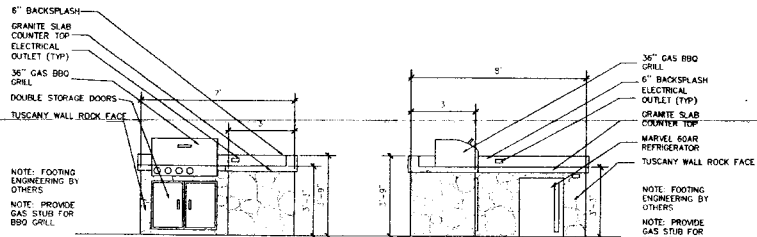
Peter Koenig Designs
 LANDSCAPE DESIGN & PLANNING
 3201 Danville Blvd. Suite 285
 Alamo, CA 94507
 (925) 743-5509
 Fax (925) 743-9270

TITLE
 MANNING RESIDENCE
 5270 CLUBHOUSE DR
 PLEASANTON, CA

REVISIONS
 11/11/2006
 04/20/07

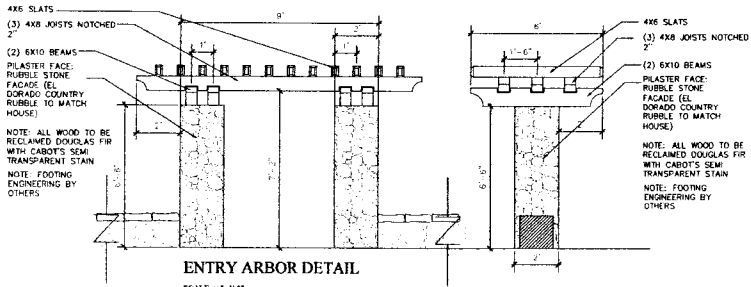
SCALE:
 1" = 1' - 0"
DATE
 11/20/06
DESIGN
 P.K.K.
DRAWN
 L.M.L.

SHEET
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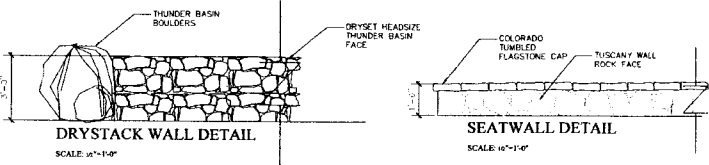
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WROUGHT IRON FENCE DETAIL
SCALE: 1/2"=1'-0"



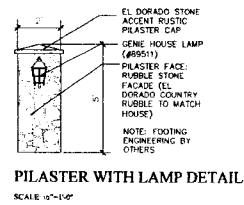
ENTRY ARBOR DETAIL
SCALE: 1/2"=1'-0"

MAILBOX PILASTER DETAIL
SCALE: 1/2"=1'-0"

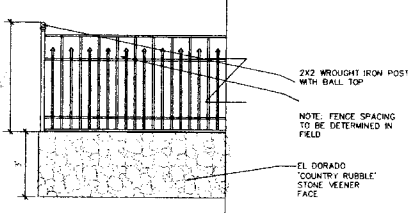


DRYSTACK WALL DETAIL
SCALE: 1/2"=1'-0"

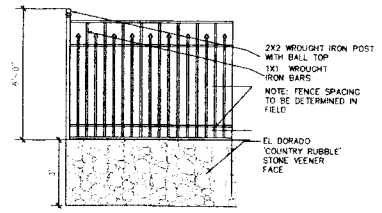
SEATWALL DETAIL
SCALE: 1/2"=1'-0"



PILASTER WITH LAMP DETAIL
SCALE: 1/2"=1'-0"



RETAINING WALL WITH FENCE DETAIL (RIGHT SIDEYARD)
SCALE: 1/2"=1'-0"



RETAINING WALL WITH FENCE DETAIL (LEFT SIDEYARD)
SCALE: 1/2"=1'-0"

DETAIL SHEET

Peter Koenig Designs
LANDSCAPE DESIGN & PLANNING
3301 Danville Blvd, Suite 285
Alamo, CA 94507
(925) 754-9270
Fax: (925) 743-9270

TITLE
MANNING RESIDENCE
5270 CLUBHOUSE DR.
PLEASANTON, CA

REVISIONS
(1) 11-20-07

SCALE: AS SHOWN
DATE: 11-24-02
DESIGN: P.K.K.
DRAWN: J.L.H.

SHEET
L-3
OF **4**

Eric Luchini

From: Mahendra Jain
Sent: Thursday, February 06, 2014 1:21 AM
To: Eric Luchini
Subject: Bal family residence in Callippe

Eric

I am a resident of Callippe and reside at _____ I do not agree with the setback to be only 5 feet from the adjacent property line. It will seem like a congested housing area. All homes in the area have 10 ft separation from property line and we should maintain that, Granting a 5ft setback will block the view etc. We are not in favor of 5 ft separation.

Mahendra Jain

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Eric Luchini

From: Jewel Hunt
Sent: Wednesday, February 05, 2014 5:18 PM
To: Eric Luchini
Cc: Bruce Hunt
Subject: Callippe Homes - lot lines

My husband Bruce and I are homeowners at [redacted]. I understand you are thinking of approving the Bal home lot to have 5 foot variances vs. 10 feet. I recommend 10 feet be your guidance.

We will not be able to make the Feb. 12th planning commission meeting and we wanted to express our desire that lot setbacks remain at 10 feet for privacy, esthetics and guidelines in our Callippe neighborhood.

Sincerely,
Jewel and Bruce Hunt

"Email Firewall" made the following annotations.

Warning: All e-mail sent to this address will be received by the corporate e-mail system, and is subject to archival and review by someone other than the recipient. This e-mail may contain proprietary information and is intended only for the use of the intended recipient(s). If the reader of this message is not the intended recipient(s), you are notified that you have received this message in error and that any review, dissemination, distribution or copying of this message is strictly prohibited. If you have received this message in error, please notify the sender immediately.

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Maria Hoey

Subject: Objection to 5270 variance request (PUD-98-16-10M P13-2092)

From: Sue Sato
Sent: Wednesday, January 15, 2014 11:10 PM
To: Eric Luchini; Richard Lazansky; Sue Sato
Subject: Objection to 5270 variance request (PUD-98-16-10M P13-2092)

Hello Eric,

I just wanted to make sure that my strong objection to the Bal's 2 variance requests/major modifications at 5270 Clubhouse Dr (lot 14) in the Mariposa Ranch development is noted since I don't remember everything that we discussed.

The Mariposa Ranch development plan clearly provides guidelines for each lot and for the whole development. All the residences to date have followed the guidelines with just 3 needing variances. I believe those 3 houses needed variances because their lots were challenging and it was difficult to just fit a 2 or 3 car garage in. You had mentioned that you were inclined to recommend an approval to the Bals variances because side yard variances have already be granted. I beg to differ. I think the situations are completely different. The Bals are asking for side yard variances on BOTH sides to fit a 6 car street facing garage; unlike the other lots who only needed one side variance to fit a much smaller side-entrance garage to adhere to the guidelines. The Bals have the guidelines because they knew what type of house to design but for some reason they are choosing to ignore the required side yard set backs. If their request is granted, I believe the result would not be consistent with the look and feel that was intended for this neighborhood and will ultimately diminish the value of the houses and neighborhood. Also I believe a new precedent would be established which would allow the remaining lots to be built with variances on both sides with forward facing garages. This would further diminish the value our houses and ruin the look of the neighborhood.

If we are also allowed to comment on #2; the design, I would like to voice another objection. The Mariposa Ranch guidelines require that garages not be facing the street but the Bals design has 3 garage doors facing the street. (Isn't the side entrance garages a general rule for city of Pleasanton also?) I would request that the Bals redesign their garage to have side entrances. We have suggested this to them.

I object to the Bal's variance requests and would like to see a house design that would fit within the designated building envelope and to the Mariposa Ranch building guidelines. I think they can accomplish this with minimal redesign by removing the north tandem-bay garage, or a little more and creating a drive way and side garage doors on the north side of the house. This would also eliminate the need for a side yard space variance. However, if a six car garage is a high priority for them, then they could reduce the house living space and turn it into garage space. But either way, the design should adhere to the 10 ft property line set back, minimum 25 ft space between houses and no street facing garages per the Mariposa guidelines to preserve the intended look and feel of the development.

Thank you.

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Maria Hoey

Subject: Alok Damireddy and Justin Chang and Concern - 1/16/14

From: Eric Luchini
Sent: Thursday, January 16, 2014 11:41 AM
To: Eric Luchini
Subject: Alok Damireddy and Justin Chang and Concern - 1/16/14

Setbacks
Separation
Ignore Guidelines
Guidelines Should Be Strictly Adhered To

Eric Luchini
Associate Planner
City of Pleasanton
Community Development Department
Planning Division
P.O Box 520 / 200 Old Bernal Avenue
Pleasanton, CA 94566-0802
eluchini@cityofpleasantonca.gov
(p) 925-931-5612
(f) 925-931-5483

Maria Hoey

Subject: 5270 Clubhouse Variance

-----Original Message-----

From:
Sent: Wednesday, January 15, 2014 9:28 PM
To: Eric Luchini
Subject: 5270 Clubhouse Variance

Eric,

As the owners of _____ my husband and I would like to voice our concern over the proposed variance at 5270 Clubhouse. We are opposed to both the variance and the "change" to the design guidelines.

We are the latest homeowners to purchase in the Callippe development and while our lot is exempt from the guidelines laid out for the new homes there, we read them before making our hefty investment into the neighborhood and it weighed into our decision. Something that struck me when I was reading the design guidelines was the point about having side entering garages. There is nothing pretty about a garage door when driving around a neighborhood.

Secondly, if we wanted to live in a development that had the homes so close together we would move back to our home on Oak Vista in the Walnut Hills Development. We moved out of there several years ago because I was tired of staring at my neighbors house so close to mine. We were really confident that the Callippe development was going to be different. The lots are large but that does not mean that a house has to fill the entire lot.

When someone purchases a lot in a development that is not yet established, the one thing they can be confident in is the approved plot plan of their lot and the surrounding neighbors lots and the design requirements. The developers and city put in set-backs, boundaries and easements prior to development so that someone making a purchase there would have some sort of comfort in what the future would hold. While we understand that some variances are necessary in order to make a home work on a lot, we do not feel that this is the case in this matter.

As someone that will drive out of their "side entering" garage out to Clubhouse we do not wish to look directly at a home that is too big for the lot and does not follow the design specifications that we thought were going to be upheld by the city.

Thank you,

John & Cynthia Rocha

Cynthia Rocha
Realtor
Re/Max Accord
925.200.5600 Cell
925.484.0700 Office

Sent from my iPad

Maria Hoey

Subject: Lot14 Mariposa Ranch

-----Original Message-----

From: Bob Blocka
Sent: Wednesday, January 15, 2014 5:48 PM
To: Eric Luchini
Subject: Lot14 Mariposa Ranch

Eric,

Regarding the application to reduce the building-to-building setback on lot 14.

As you are aware a set of design guidelines are in place for the construction of homes in the Mariposa Ranch development, these design guidelines are in place to promote Hacienda and Ranch style homes in a rural environment. These guidelines also included minimum set backs and plot plans showing the allowable building envelope, and these documents were available to the lot buyer prior to purchase. It cannot be a surprise to the homeowner that a home must be built within the envelope.

It's my understanding after a telephone conversation with you today that your recommendation will be to allow a 5' variance because a precedent has been set due to the planning department allowing these variances in the past. We own a home on 6195 Clubhouse Drive and have 5 vacant lots adjacent to us. If the planning department allows a 5' variance on every lot the golf course will not be visible from the street and the community will resemble a commercial tract home subdivision.

The reason we purchased a lot and built a home in this area is that it would not turn into a tract home style environment with houses crowded together.

We request that you reject the application for the variance and uphold the current regulations.

Thank You,
Bob and Jean Blocka

Maria Hoey

Subject: 5270 Clubhouse Drive lot #14

From: Janis Farmer
Sent: Wednesday, January 15, 2014 11:53 AM
To: Eric Luchini
Subject: 5270 Clubhouse Drive lot #14

Mr. Luchini:

Having further reviewed the situation regarding this site, and with more specific information, I would like to raise an objection to the proposed variance changes.

My husband helped the owners of 5250 Clubhouse to visualize the proposed footprint to the building by staking it out and it is quite clear that it will be much too close to their property. And as this is not Dublin Ranch, but originally was a site where accordance with the environment is supposed to be strongly regulated, I object to properties being jammed in next to each other. Further, I now understand that the Manning's variance was approved on the south side of the house, there was no request for one on the north side. And finally, I don't think the variance should be allowed on the north side just to accommodate an oversize garage.

Once again, I would like to say when one purchases a lot, one is entirely aware of the size and topography of that piece of property. I personally don't understand why people then draw up plans that totally disregard those details. What's the point of the planning department defining setbacks in the first place?

Janis Farmer

Be the Change you wish to see in the world

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Denva Jordan

January 21, 2014

Eric Luchini
Associate Planner
City of Pleasanton

RECEIVED
JAN 21 2014
CITY OF PLEASANTON
PLANNING DIVISION
PUD-98-16-12M

RE: PUD-98-16-10M and P13-2092, Mannohan and Gurpreet Bal

Dear Mr. Luchini:


Reviewing our conversation concerning Mr. Bal application for a Major Modification to the approved Development Plan for Mariposa Ranch (Standards and Design Guidelines of June, 1999). As one of the original land owners of the Callippe Preserve Golf Course, we worked several years with City Planners, City Council and many others on the development plan and design guidelines for Mariposa Ranch.

Hopefully, a two-story house on a one-half acre level semi-rural lot on a beautiful City golf course, can be designed within the original standards and guidelines. A five (5) ft. minimum side-yard setback is usually a required minimum setback for a small city lot.

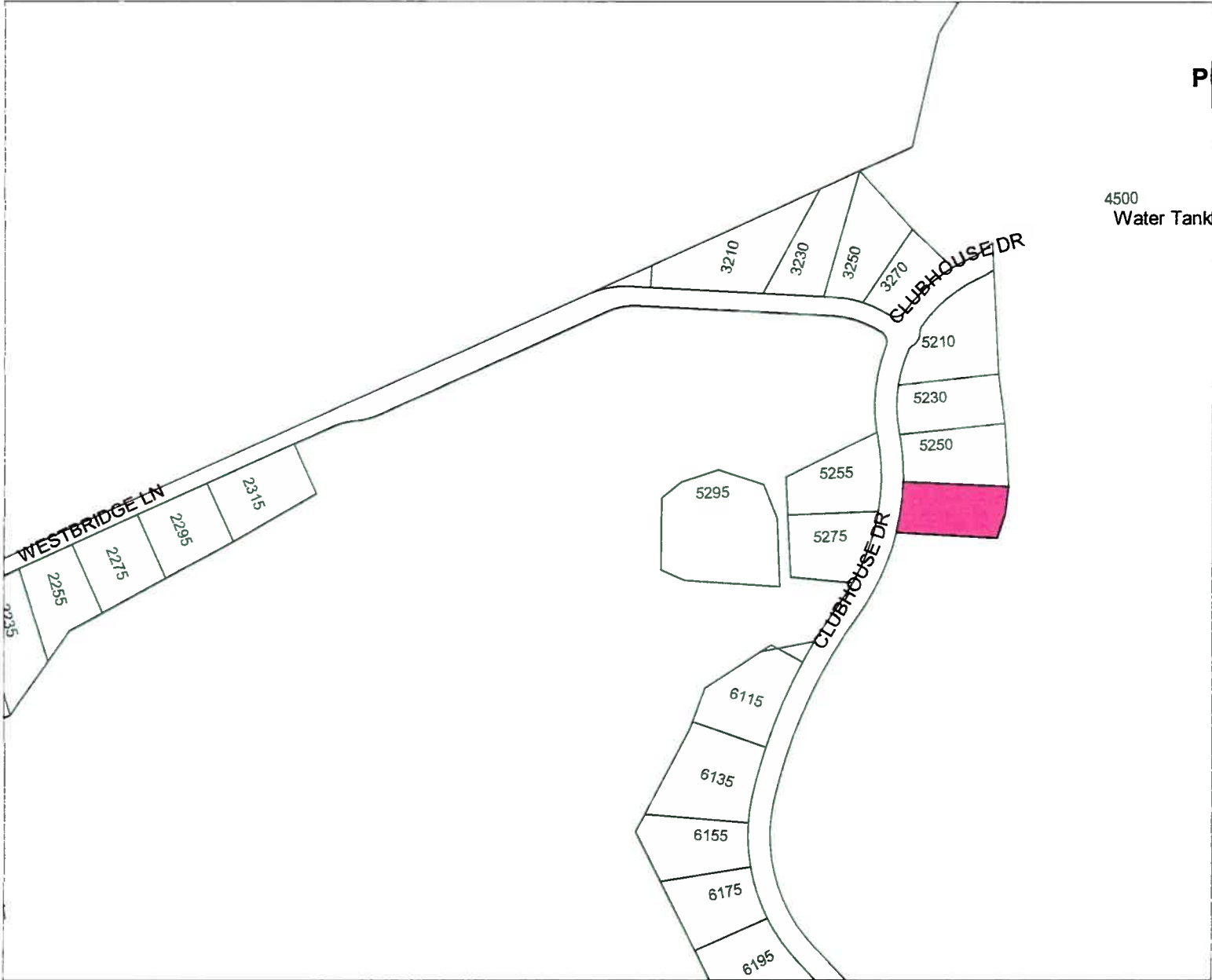
I strongly object to any variance from the original standards and design guidelines for Mariposa Ranch. To allow this variance would set a precedent for future building on existing vacant lots on Clubhouse Drive and Westbridge Lane.

I urge you to recommend denial of this variance.

Very truly yours,



Denva Jordan



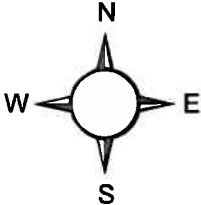
PUD-98-16-10M/P13-2092,

City of Pleasanton

GIS

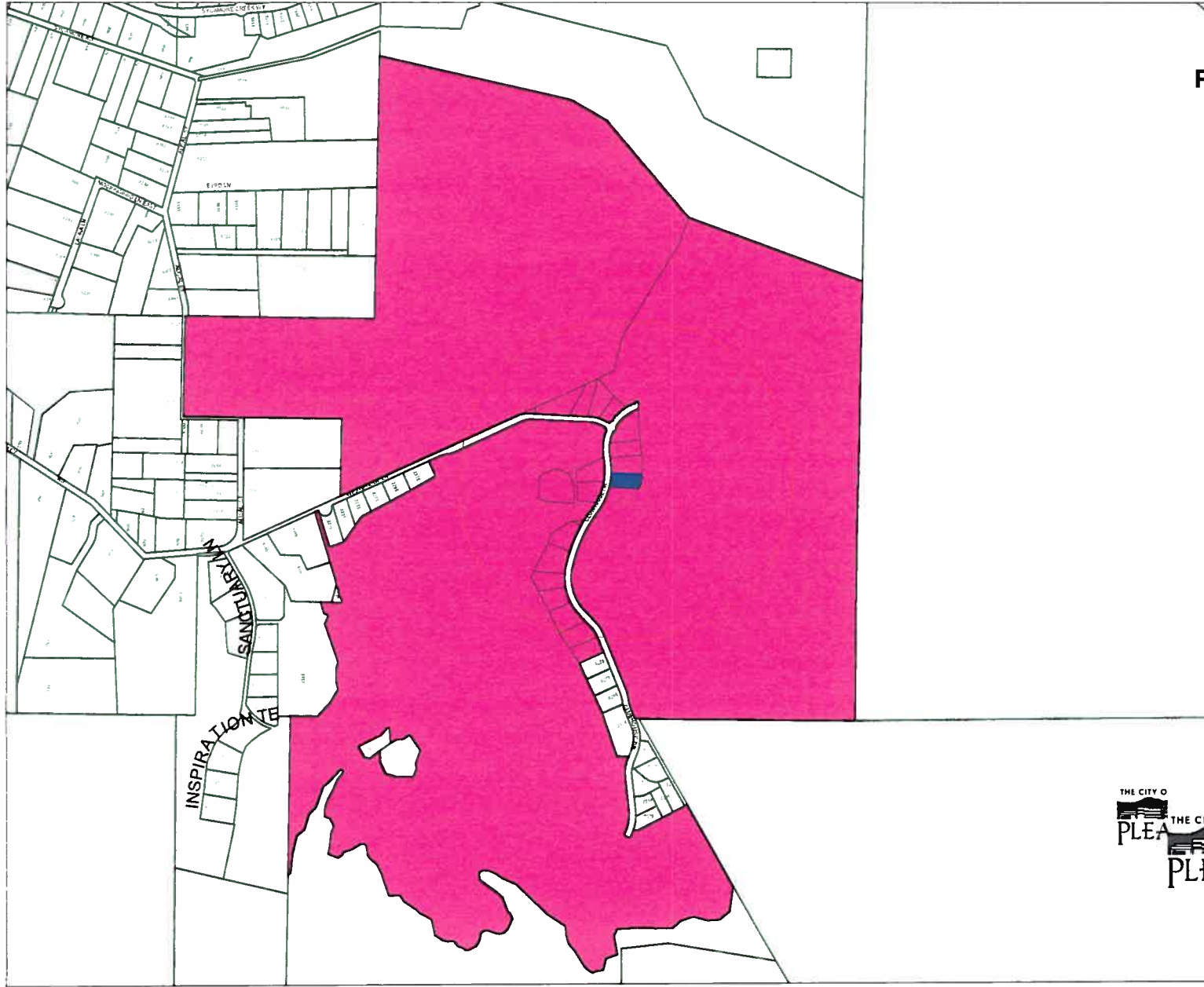
Department

5270 Clubhouse Drive



Printed 1/10/2014

EXHIBIT H



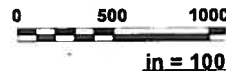
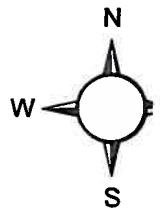
PUD-98-16-10M/P

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