

ROSE AVENUE APTS

434 ROSE AVENUE
PLEASANTON, CA



ROOFING:

CHARCOAL GREY COMPOSITION ROOF SHINGLES, ELK BRAND
'WEDGEWOOD' OR SIMILAR



STUCCO: MAIN BODY & TRIM

BLUE GREY TEXTURED CEMENT PLASTER FINISH, LaHABRA
BRAND '#X-504' OR SIMILAR



25 Blanco

FASCIA:

WHITE PAINTED FINISH, KELLY-MOORE BRAND '#25 'BLANCO'
OR SIMILAR



WINDOWS:

WHITE VINYL, MILGARD OR SIMILAR



DOORS:

WHITE PAINTED FINISH, SIMILAR TO FASCIA COLOR



GUTTERS, DOWNSPOUTS & FLASHING:

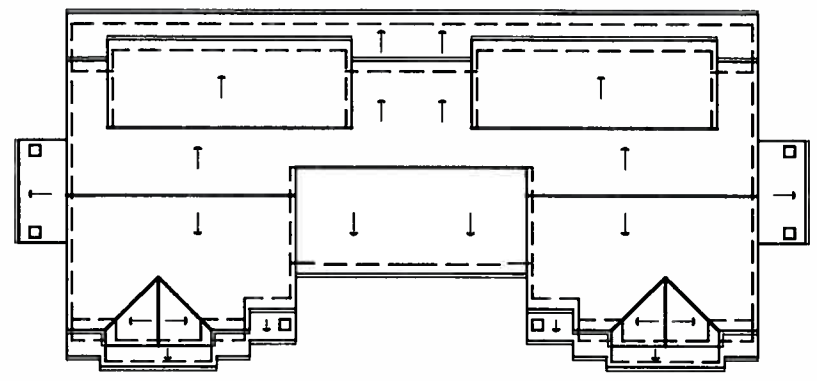
BLUE GREY TO MATCH STUCCO

P14-0152
EXHIBIT B

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**CITY OF PLEASANTON
PLANNING DIVISION**



SCOPE OF WORK

THE GENERAL PROPOSED SCOPE OF WORK FOR THIS PROJECT IS AS FOLLOWS:

1. CONSTRUCT NEW TWO UNITS APARTMENT BUILDING.
2. CONSTRUCT NEW CHOPART.
3. CONSTRUCT NEW DRIVEWAY.
4. INSTALL NEW LANDSCAPING FOR ENTIRE LOT.



PROJECT DATA

BUILDING OWNER: PETER MCHARD 4040 1st STREET, #141 LAKEMORE, CA 94801 (925) 577-0399	CIVIL ENGINEER: ALEXANDER & ASSOCIATES, INC. 147 OLD BERNAL AVE, #10 PLEASANTON, CA 94588 (925) 482-2255 CONTACT: BARRY ALDINGER
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SHEET INDEX

ARCHITECTURAL:
A1 PROJECT INFORMATION, SITE PLAN, BUILDING ROOF AND FLOOR PLANS
A2 PROJECT EXTERIOR ELEVATIONS, EXISTING HOME FLOOR PLAN AND PHOTO
A3 FOUR EXTERIOR ELEVATIONS SHOWING COLOR

CIVIL:
C1 ALDINGER PRELIMINARY GRADING PLAN

LANDSCAPE:
L1 REPLY DESIGN GROUP LANDSCAPE PLAN

SITE DATA:

	EXISTING	NEW	TOTAL
BUILDING COVERAGE	1,002 S.F.	1,614 S.F.	2,616 S.F.
IMPERVIOUS AREA (PERVIOUS)	0 S.F.	2,408 S.F.	2,408 S.F.
IMPERVIOUS AREA (IMPERVIOUS)	0 S.F.	270 S.F.	270 S.F.
LANDSCAPE AREA	6,278 S.F.	-4,580 S.F.	1,698 S.F.
TOTAL LOT AREA	7,220 S.F.	7,220 S.F.	100.0%

BUILDING DATA:

	EXISTING RESIDENCE	NEW APARTMENTS	TOTAL
LOWER FLOOR AREA	908 S.F.	1,180 S.F.	2,178 S.F.
UPPER FLOOR AREA	0 S.F.	1,454 S.F.	1,454 S.F.
TOTAL LIVING AREA	908 S.F.	2,634 S.F.	3,542 S.F.
GARAGE AREA	0 S.F.	472 S.F.	472 S.F.
COVERED CHOPART AREA	0 S.F.	171 S.F.	171 S.F.

CODE DATA:

APR:	04-153-11	APPLICABLE CODES:
ZONING:	RM-15	2013 CALIFORNIA BUILDING CODE
OCCUPANCY GROUP:	R-3/U	2013 CALIFORNIA MEDICAL CODE
FIRE SUPPRESSION:	10-9	2013 CALIFORNIA PLUMBING CODE
CONSTRUCTION TYPE:	1-9	2013 CALIFORNIA ELECTRICAL CODE
BUILDING HEIGHT:	1 STORY (C) RESIDENCE	2013 CALIFORNIA FIRE CODE
	2 STORY (D) APARTMENT BLDG.	2013 CALIFORNIA RESIDENTIAL CODE
DESIGNATED PARKING:	2 UNCOVERED (1) (C) & 1 (D)	2008 CALIFORNIA ENERGY CODE
	1 COVERED (B)	ALL OTHER APPLICABLE STATE AND LOCAL CODES
	2 ENCLOSED (A)	

IMPERVIOUS SURFACE CALCULATIONS

EXISTING IMPERVIOUS SURFACE UNALTERED AND UNCHANGED (FROM 2004 +/- OF PROPERTY = 2,131sf)				NEW IMPERVIOUS SURFACE EITHER CREATED OR REPLACED (NEAR 70% +/- OF PROPERTY = 6,594sf)			
DESCRIPTION	PERVIOUS	IMPERVIOUS	REMARKS	DESCRIPTION	PERVIOUS	IMPERVIOUS	REMARKS
(C) BUILDING FOOTPRINT	-	908 sf	1 SPR	(D) BUILDING FOOTPRINTS	-	1228 sf	2 PROPOSED UNITS AT 613 sf/EA
(C) PORCH & WALKWAY	-	171 sf		(D) DRIVEWAY	-	1689 sf	
(C) DECK	-	38 sf		(D) ENCLOSED GARAGES	-	472 sf	2 PROPOSED GARAGES AT 236 sf/EA
(C) DRIVEWAY	-	330 sf		(D) COVERED PARKING	-	171 sf	1 PROPOSED CHOPART
(C) LANDSCAPING	-	584 sf		(D) UNCOVERED PARKING	-	342 sf	2 PROPOSED AT 171 sf/EA
				(D) PORCHES	-	35 sf	2 PROPOSED AT 17 sf/EA
				(D) PATIOS	-	178 sf	4 INCLUDING TRASH/AC PATIO
				(D) LANDSCAPING	-	1480 sf	
				(C) CONCRETE SLAB (NOT INCL.)	-	338 sf	REMOVED AND REPLACED w/ (D) IMP SURFACE
TOTALS BY SURFACE AREA	60%	1180 sf	2131 sf	TOTALS BY SURFACE AREA	63%	378 sf	100%
PERCENTAGE	46%	60%	100%	PERCENTAGE	63%	37%	100%

TOTAL PARCEL SIZE: 7,220sf OR 0.177 ACRE 10 :3:14 TOTAL DISTURBED: 5,492sf OR 71% TOTAL UNDISTURBED: 2,220sf OR 28% *REPLACEMENT AMOUNT ALREADY INCLUDED IN FIGURES ABOVE.

TREE PRESERVATION

1. TREE PRESERVATION REQUIRED BEFORE DEMOLITION OR CONSTRUCTION BEGINS.
2. Trees called out for preservation shall be fenced at the drip line. Fencing may occur at the combined drip line of groups of trees. Fences 3" high must be placed beneath drip line of trees to be preserved.
3. No grading shall occur within the drip line/annual area of existing trees to be preserved.
4. No existing tree may be altered or pruned without prior approval by the City of Pleasanton Director of Community Development.
5. No equipment may be stored within or beneath the drip line of the existing trees to be preserved.
6. No oil, gasoline, chemicals or other harmful materials shall be deposited or disposed within the drip line of the trees to be preserved, or in drainage channels, swales, or areas that may lead to the drip line.
7. No stockpiling/storage of fill, etc., shall take place underneath or within the foot of the drip line of the existing trees to be preserved.
8. Prior to issuance of a grading or building permit, the project developer shall install a temporary six-foot tall chain-link fence (or other fence type acceptable to the Director of Community Development) outside of the existing tree drip lines, as shown on the plans. The fencing shall remain in place until final landscape inspection by the Community Development Department. Removal of such fencing prior to that time may result in a "stop work order."

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PLANNING DIVISION



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2. No part of this sheet is to be used for any purpose other than that for which it was prepared.
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434 Rose Ave Apartments
434 Rose Ave
Pleasanton, California 94566

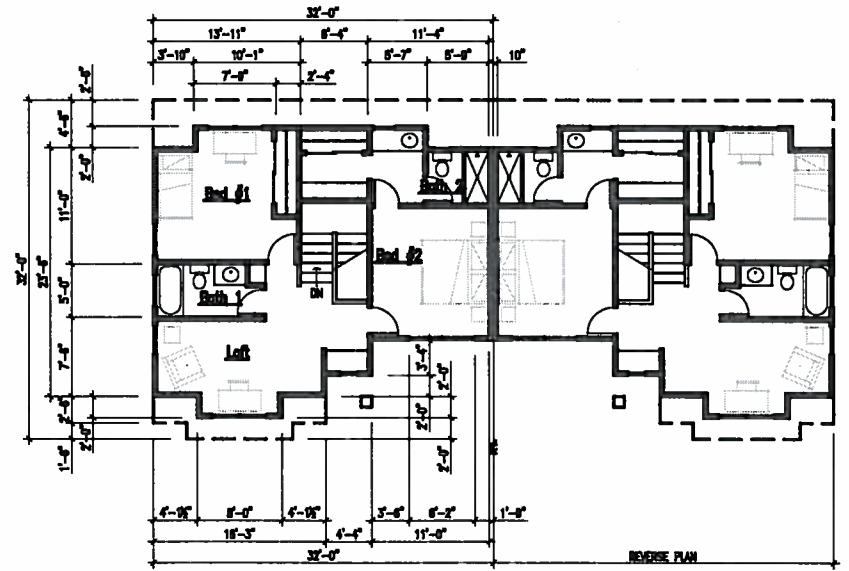
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8-9-13	DA	1
12-18-14	DA	2
2-25-14	DA	3
5-9-14	DA	4

Scale: DA / SK
Job #: 13033
Plan: PLOT-D

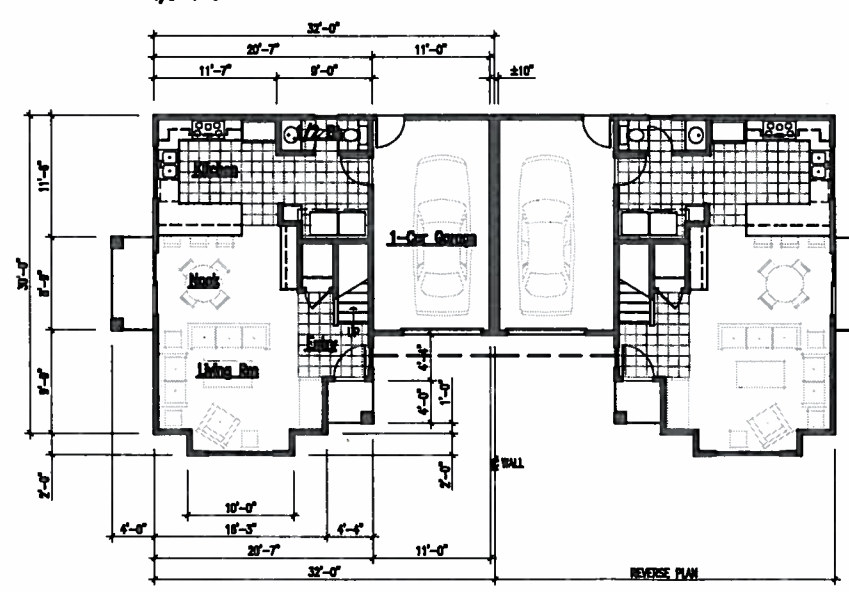
**SITE PLAN
PROJECT DATA
FLOOR PLANS
ROOF PLAN**

A1

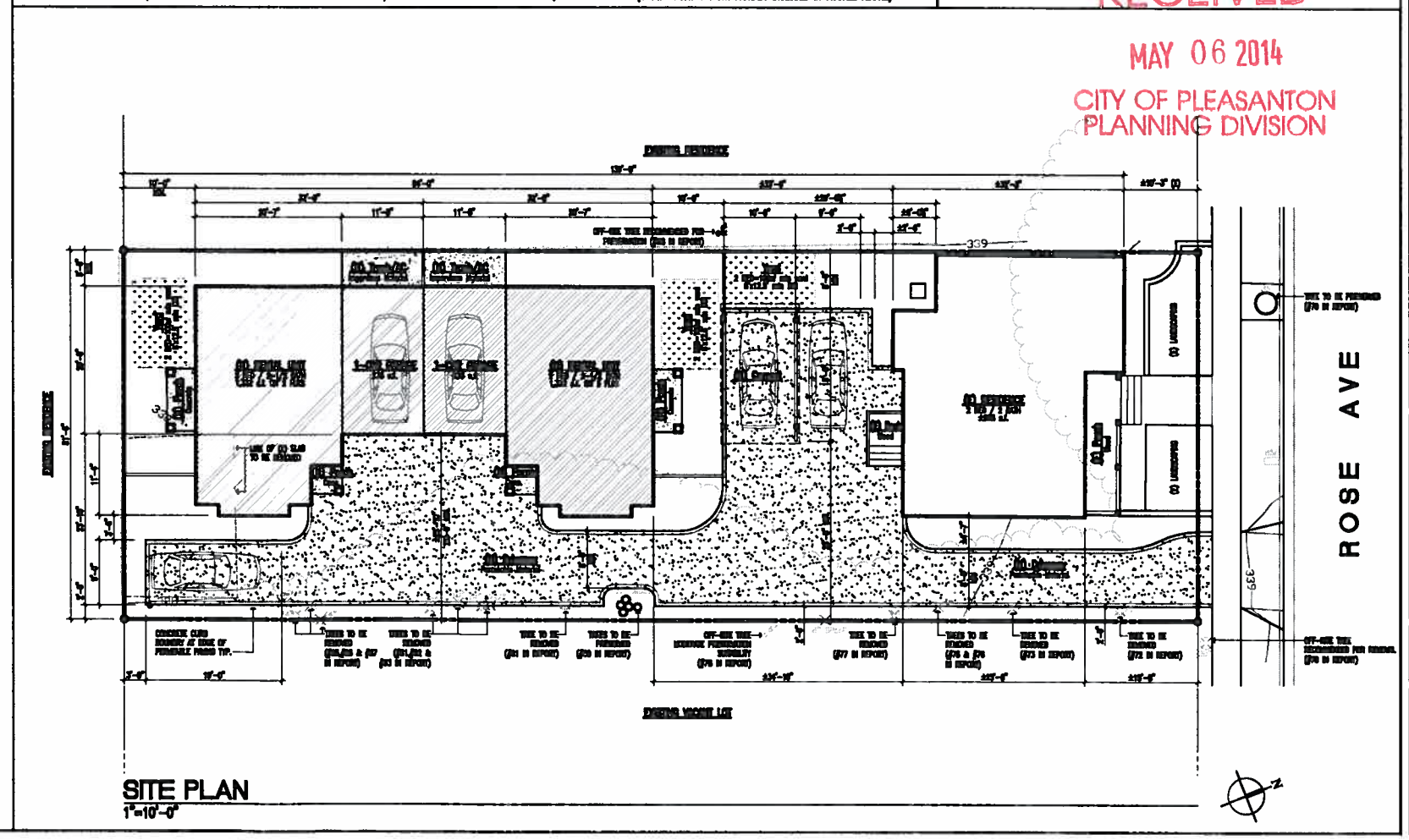
ROOF PLAN
1/8"=1'-0"

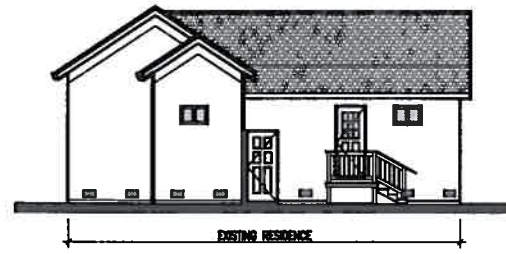


UPPER FLOOR PLAN
1/8"=1'-0"

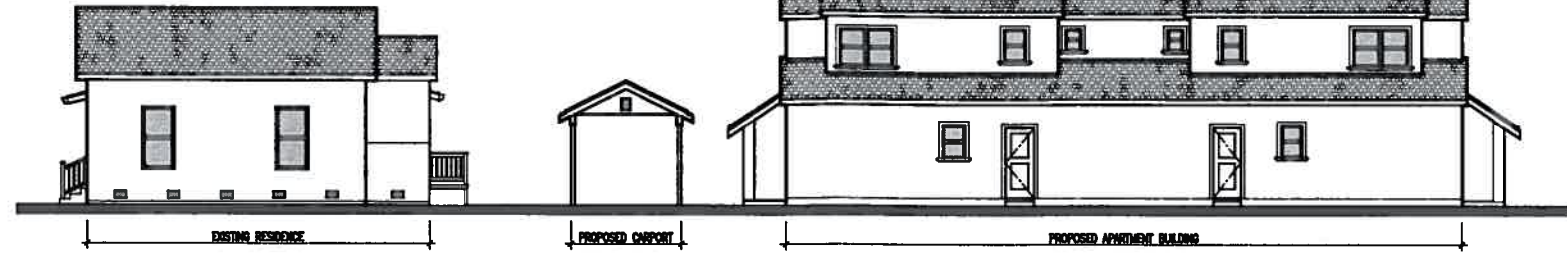


LOWER FLOOR PLAN
1/8"=1'-0"

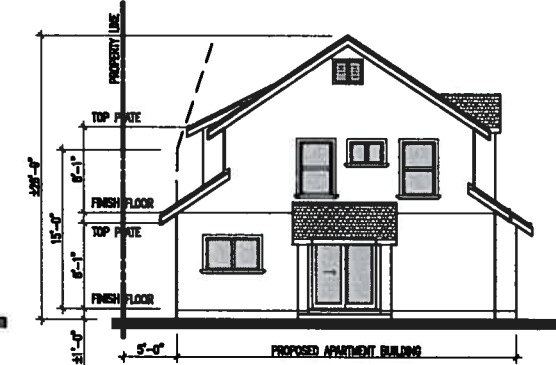




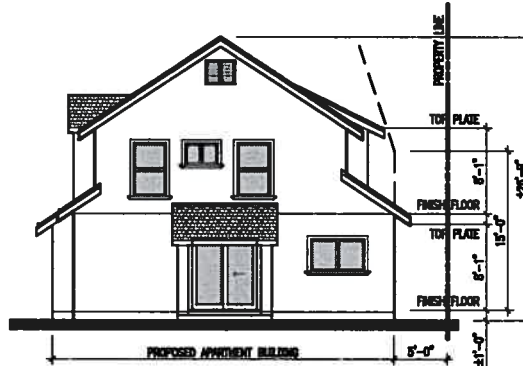
SOUTH (E) ELEVATION
1/8"=1'-0"



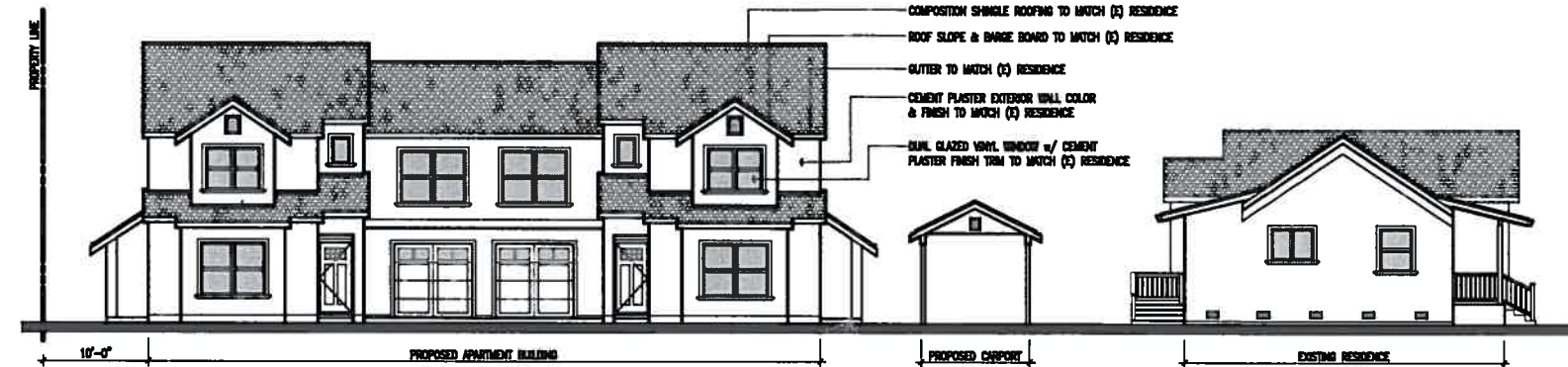
WEST SITE ELEVATION
1/8"=1'-0"



SOUTH (N) ELEVATION
1/8"=1'-0"



NORTH (N) ELEVATION
1/8"=1'-0"

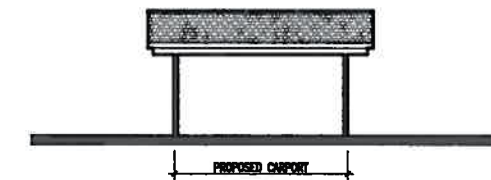


EAST SITE ELEVATION
1/8"=1'-0"

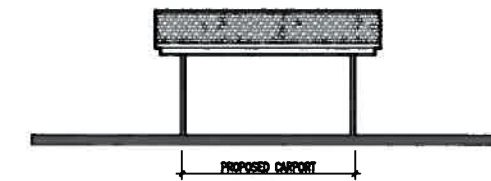
- COMPOSITION SHINGLE ROOFING TO MATCH (C) RESIDENCE
- ROOF SLOPE & BARGE BOARD TO MATCH (C) RESIDENCE
- GUTTER TO MATCH (C) RESIDENCE
- CEMENT PLASTER EXTERIOR WALL COLOR & FINISH TO MATCH (C) RESIDENCE
- DAUL GLAZED VINYL WINDOW w/ CEMENT PLASTER FINISH TRIM TO MATCH (C) RESIDENCE



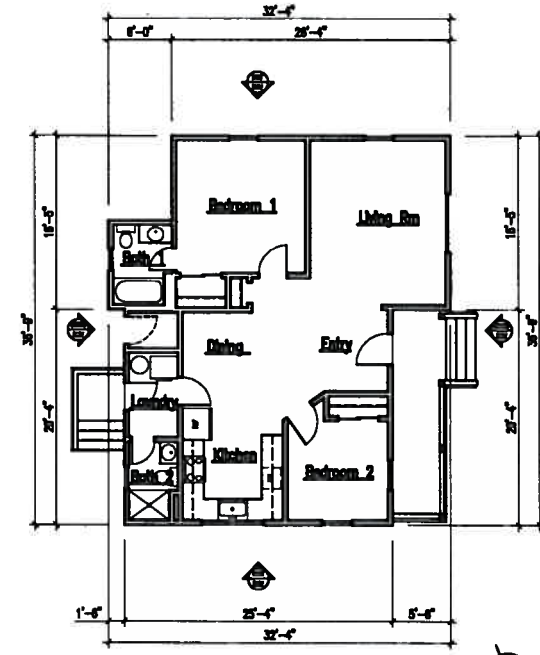
NORTH (E) ELEVATION
1/8"=1'-0"



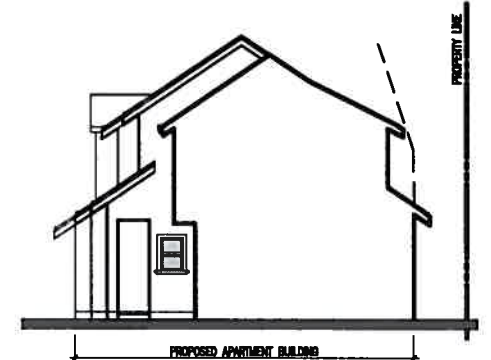
NORTH ELEVATION - CARPORT
1/8"=1'-0"



SOUTH ELEVATION - CARPORT
1/8"=1'-0"



(E) FLOOR PLAN
1/8"=1'-0"



SECTION / ELEVATION
1/8"=1'-0"



(E) SINGLE FAMILY RESIDENCE
NO SCALE

HERELD & AYRES
ARCHITECTS
1920 Broadway, Suite 100
Berkeley, California 94704
TEL: 510.841.1710
www.ha-architects.com

LICENSED ARCHITECT
DAVID W. AYRES
C-20888
STATE OF CALIFORNIA

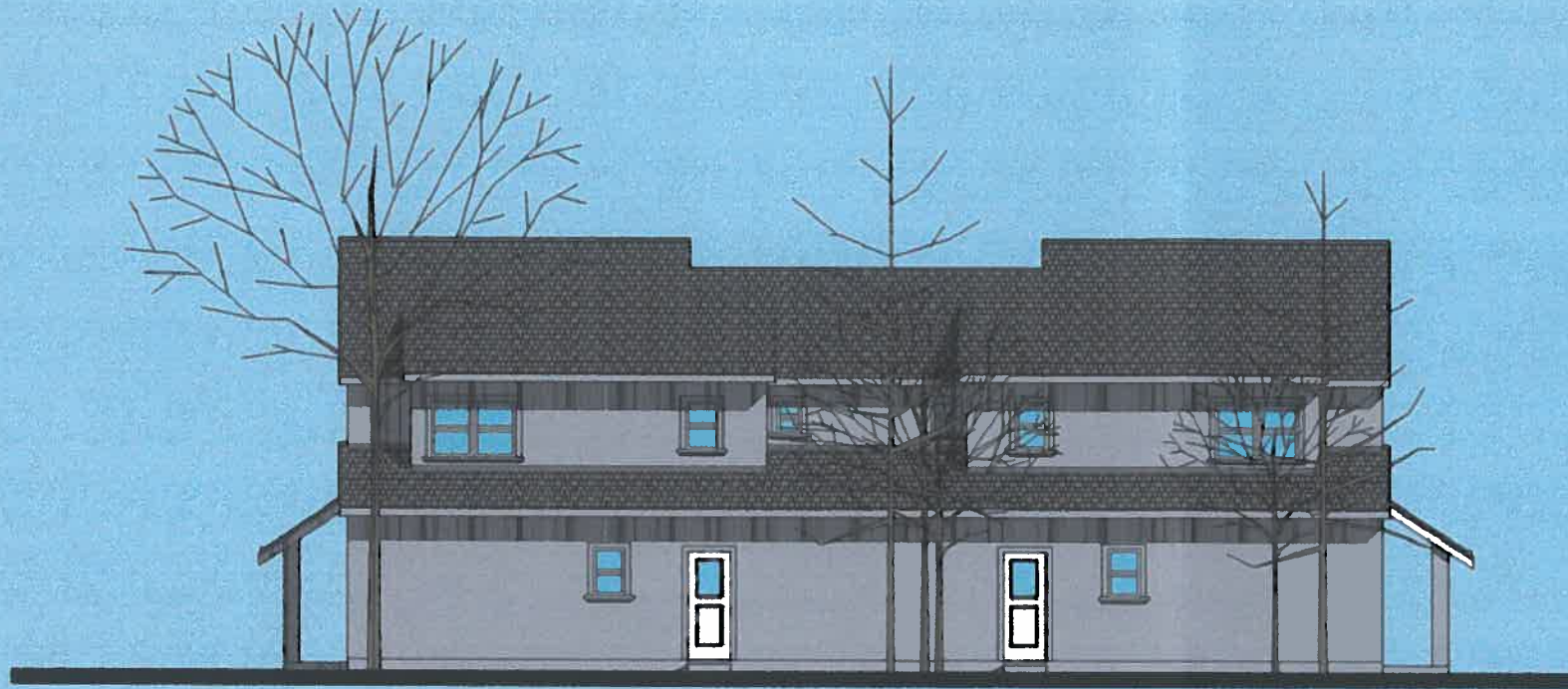
1. Not to be used for any other project without the written consent of the architect.
2. Not to be used for any other project without the written consent of the architect.
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434 Rose Ave Apartments
434 Rose Ave
Pleasanton, California 94566

DATE	BY
8-8-13	DA
PLUMBING REVIEW	DA
02-18-14	DA
DESIGN REVIEW	DA
2-25-14	DA
PLANNING REVISIONS	DA
5-8-14	DA
PLANNING REVISIONS	DA

DATE: DA / SK
JOB #: 13033
FILE: FLOT-0

EXTERIOR ELEVATIONS (E)
SFR PHOTO (E)
SFR FLOOR PLAN (E)



WEST EXTERIOR ELEVATION



NORTH EXTERIOR ELEVATION



SOUTH EXTERIOR ELEVATION



EAST EXTERIOR ELEVATION



**HERELD
& AYRES**
ARCHITECTS

1870 Sepulveda Lane, Suite 8
Pleasanton, California 94566
925.923.1150 • FAX: 925.923.1155
hereld-ayres.com



1. We warrant that the work shown on these drawings was prepared by us or under our direct supervision and control, and that we are duly licensed architects in the State of California.
2. These drawings and specifications are prepared in accordance with the standards of good practice and the requirements of the applicable building codes and regulations.
3. We warrant that the work shown on these drawings was prepared by us or under our direct supervision and control, and that we are duly licensed architects in the State of California.
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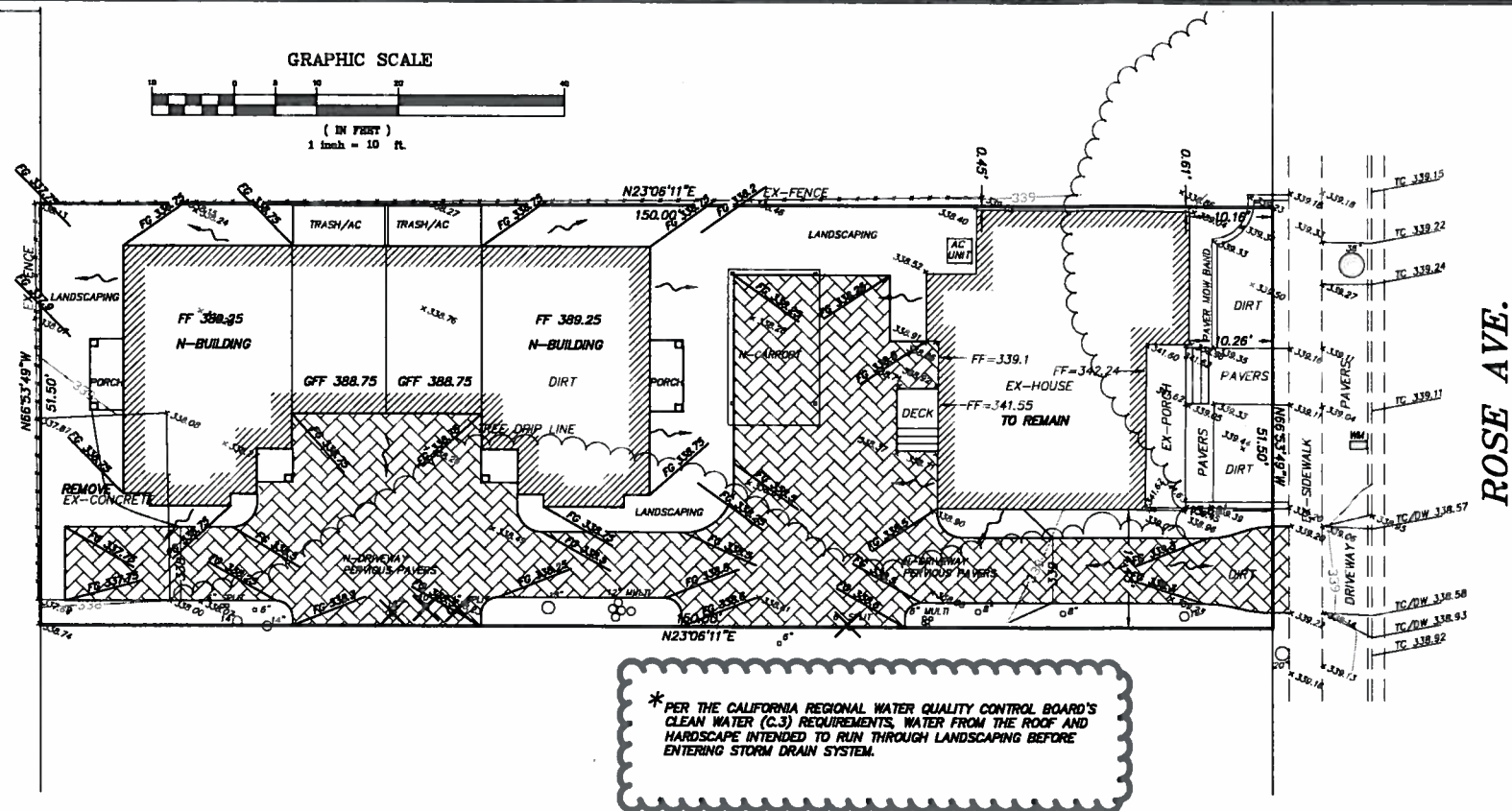
434 Rose Ave Apartments
434 Rose Ave
Pleasanton, California 94566

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08-08-13	DA
02-10-14	DA
02-25-14	DA
05-05-14	DA

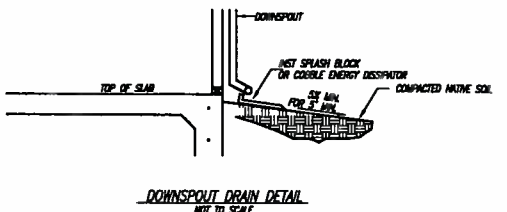
DA / SK
13053
PLD-D

COLORED
EXTERIOR
ELEVATIONS

A3



NOTE:
THE GRADING & DRAINAGE PLAN AND THE LANDSCAPE PLAN WILL BE UPDATED TO CONFORM WITH THE ALIGNMENTS SHOWN ON THE ARCHITECTURAL SITE PLAN (SHEET A1) PRIOR TO SUBMITTAL FOR A BUILDING PERMIT.



- LEGEND**
- DRAINAGE ARROW INDICATES DIRECTION OF DRAINAGE
 - 100 --- EX CONTOUR
 - 100 --- NEW CONTOUR
 - PROPERTY LINE
 - STORM DRAIN
 - ✕ REMOVE EXIST. TREE

- GRADING NOTES:**
1. ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
 2. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
 3. ALL DOWNSPOUTS SHALL HAVE A MINIMUM 3" DIAMETER SOLID DRAIN LINES AND SHALL DISCHARGE TO SPLASH BLOCKS DIRECTED AWAY FROM STRUCTURE.
 4. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM 5% SLOPE FOR MINIMUM DISTANCE OF 5 FEET.
 5. SURFACE WATER SWALES SHALL HAVE A 1% MINIMUM SLOPE AND BE CONVEYED TO AREA DRAINS.
 6. AREA DRAINS SHALL HAVE A MINIMUM 6 INCHES DIAMETER GRATE OPENING.
 7. ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
 8. ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS, NOT THROUGH THEM. ANY SUBORDINATES PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PIERS AND/OR GRADE BEAMS.
 9. WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
 10. ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID. NON-FLEXIBLE PVC PIPE. PERFORATED PIPE SHALL BE USED FOR SUBORDINATES ONLY. 6" STORM DRAIN TO BE PVC SDR-33 OR APPROVED EQUAL. (SEE DETAILS)
 11. CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
 12. EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 15 IF WORK CONTINUES INTO THE RAINY SEASON.
 13. THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
 14. THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
 15. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPOUTS, AND DRAINAGE SWALES.

The Following (a) and (b) shall be provided to the building inspector before and foundation inspection will be performed. Item (c) shall be provided before the shear and roof inspection. Item (d) shall be provided before a frame inspection will be performed.

- a. A Licensed Land Surveyor must verify building setbacks to property lines and also pad elevation(s). This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.
- b. When Fill is employed under the building a soils engineer must verify pad compaction. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.
- c. A Licensed Land Surveyor must verify finish floor elevations. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of shear and roof inspection.
- d. A Licensed Land Surveyor must verify the highest elevation of the highest point of any roof ridge of roof projection. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of frame inspection.

BASIS OF BEARINGS
THE BEARINGS SHOWN HEREON WERE TAKEN FROM THE RECORD OF SURVEY 1020 (16 AS 84), ALAMEDA COUNTY RECORDS.

BASIS OF ELEVATIONS
CITY OF PLEASANTON BENCH MARK A 972 ELEV=345.042'
TEMPORARY BENCHMARK (TBM): SET MAG NAIL IN ROSE AVE.
ELEV. = 338.59'

NOTES:
ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, AND FIELD LOCATED.

IMPERMEABLE AREA = 2,115 SQ FT
PERVIOUS DRIVEWAY = 2,500 SQ FT

PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.
SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION
THIS PLAN IS INTENDED FOR GRADING AND DRAINAGE

- ABBREVIATIONS**
- AD AREA DRAIN
 - CD CLEAN-OUT
 - DI DRAIN INLET (HANSON P18 OR EQUAL)
 - SW BOTTOM OF RETAINING WALL
 - FF FINISHED FLOOR
 - FL FLOWLINE
 - FG FINISHED GRADE
 - FS FINISHED SURFACE
 - TOF TOP OF GRADE
 - HP HIGHPOINT
 - HW INVERT
 - SWI GARAGE FINISHED FLOOR
 - SFI STORM WATER INLET
 - TC TOP OF CURB
 - TG TOP OF GRADE
 - TW TOP OF RETAINING WALL



ALEXANDER & INC. ASSOCIATES
PLANNERS

147 OLD JERNIVAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (950) 468-8865

PROJECT NAME: PRELIMINARY GRADING PLAN
434 ROSE AVE.
CITY OF PLEASANTON
ALAMEDA COUNTY, CALIFORNIA

JOB NO.: 13141
DRAWN BY: RD
DESIGNED BY: RD
CHECKED BY: DA
SCALE: 1"=10'

SHEET NO.: **C1**
OF 1 SHEETS

GreenPoint Rated Checklist: Multifamily

The GreenPoint Rated checklist tracks green features incorporated into the home. **A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.** GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements for a GreenPoint Rated home are: Earn a total of 50 points or more; obtain the following minimum points per category: Community (6), Energy (30), Indoor Air Quality/Health (5), Resources (6), and Water (3); and meet the prerequisites A2a, E2a, H4a. (for 2008 permitted projects), J1a, N1. and Q0.

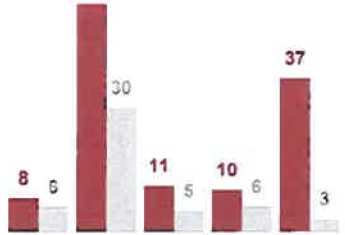
This checklist accommodates the verification of mandatory CALGreen measures but does not signify compliance unless accepted by jurisdictional authority. All CALGreen measures within the checklist must be selected as "Yes" or "n/a" for compliance with GreenPoint Rated. Build It Green is not a code enforcement agency.

The green building practices listed below are described in the GreenPoint Rated Multifamily Rating Manual. For more information please visit www.builditgreen.org/greenpointrated.



P14-0152
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Total Targeted Points: 122



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CITY OF PLEASANTON
PLANNING DIVISION

Multifamily New Home 2.2 / 2008 Title 24

REQUIRED: ENTER FLOOR AREAS AND LANDSCAPED AREA BEFORE BEGINNING CHECKLIST

Enter Total Conditioned Floor Area of the Project:	5328
Enter Total Non-Residential Floor Area of Project:	0
Percent of Project Dedicated to Residential Use	100%
Percentage of Site Dedicated to Landscaping	26%

Enter Project Name	Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
AA. COMMUNITY DESIGN AND PLANNING		Possible Points					
1. Develop Infill Sites							
Yes	a. Project is an Urban Infill Development	1					
TBD	b. Conserve Resources by Increasing Density -15 Units Per Acre or Greater (1 Point for every additional 5 dwelling units/acre) Enter Project Density Number (In du/acre)	0	10				
Yes	c. Project Includes the Redevelopment of At Least One Existing Building	0			1		
	d. Build on Designated Brownfield Site or City-Designated Redevelopment Area	1					
2. Design for Walking & Bicycling							
TBD	a. Sidewalks Are Buffered from Roadways & Are 5 Feet Wide (8 Feet in Retail Areas)	0	1				
TBD	b. Install Traffic Calming Strategies	0	1				
TBD	c. Provide Dedicated, Covered & Secure Bicycle Storage for 15% of Residents	0	1				
TBD	d. Provide Secure Bicycle Storage for 5% of Non-Residential Tenant Employees & Visitors	0	1				
3. Alternative Transportation							
	a. Site has Pedestrian Access Within ½ Mile of Community Services:						
	TIER 1: Enter number of services within ½ Mile:						
	1) Day Care 2) Community Center 3) Public Park						
	4) Drug Store 5) Restaurant 6) School						
	7) Library 8) Farmer's Market 9) After School Programs						

Enter Project Name

Enter Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TIER 2: Enter number of services within 1/2 Mile:								
1) Bank 2) Place of Worship 3) Laundry/Cleaners								
4) Hardware 5) Theater/Entertainment 6) Fitness/Gym								
7) Post Office 8) Senior Care Facility 9) Medical/Dental								
10) Hair Care 11) Commercial Office or Major Employer 12) Full Scale Supermarket								
	i. 5 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	0	1					
	ii. 10 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	0	1					
b. Proximity to Public Transit: Development is Located Within								
Yes	i. 1/4 Mile of One Planned or Current Bus Line Stop	1	1					
Yes	ii. 1/2 Mile of a Major Transit Stop (Commuter Train/Light Rail Transit System OR Two or More Planned/Current Bus Line Stops)	1	1					
c. Reduced Parking Capacity								
TBD	i. Less than 1.5 Parking Spaces Per Unit	0	1					
TBD	ii. Less than 1.0 Parking Spaces Per Unit	0	1					
4. Mixed-Use Developments								
TBD	a. At least 2% of Development Floor Space Supports Mixed-Use (Non-Residential Tenants)	0	1					
TBD	b. Half of the Non-Residential Floor Space is Dedicated to Community Services (See AA3a)	0	1					
5. Outdoor Gathering Places								
TBD	a. Private or Semi-Public Outdoor Gathering Places for Residents (Minimum of 50 sf Per Unit) (mutually exclusive with AA5b)	0	1					
TBD	b. Outdoor Gathering Place of Compact Site Provides Natural Elements (mutually exclusive with AA5a) (Projects Must Be a Minimum of 50 du/acre)	0	1					
TBD	c. Public Outdoor Gathering Places have Direct Access to At Least Two Tier 1 Community Services (See AA3a)	0	1					
6. Design for Safety and Vandalism Deterrence								
TBD	a. Residence Entries Have Views to Callers (Windows or Double Peep Holes) & Can Be Seen By Neighbors	0	1					
TBD	b. All Main Entrances to the Building and Site are Prominent and Visible from the Street	0	1					
7. Passive Solar Design								
TBD	a. Provide Appropriate Orientation for Maximum Energy Efficiency	0		2				
TBD	b. Provide Appropriate Shading On All South-Facing Windows for Effective Passive Solar Control	0		1				
TBD	c. Provide Thermal Mass	0		2				
8. Adaptable Buildings								
a. Include Universal Design Principles in Units								
TBD	i. 50% of Units	1	1					
Yes	ii. 80% of Units	1	1					

Enter Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	b. Live/Work Units Include A Dedicated Commercial Entrance	0	1					
9. Affordability								
a. Units are Dedicated to Households Making 80% or Less of AMI								
TBD	i. 10% of All Units	0	1					
TBD	ii. 25%	0	1					
TBD	iii. 50% or More	0	1					
TBD	b. Development Includes Multiple Bedroom Units (Minimum of 2 3-Bdrm Units At or Less Than 80% AMI)	0	1					
TBD	c. At least 20% of Units at 120% or Less of AMI are For-Sale	0	1					
Total Available Points in Community Design and Planning: 42		6						
A. SITE			Possible Points					
1. Protect Topsoil and Minimize Disruption of Existing Plants & Trees								
TBD	a. Protect Topsoil and Reuse After Construction	0	1			1		
TBD	b. Limit and Delineate Construction Footprint for Maximum Protection	0				1		
2. Divert/Recycle Job Site Construction Waste (Including Green Waste and Existing Structures)								
Yes	a. Required: Divert 50% (by weight) of All Construction & Demolition Waste (Recycling or Reuse) (CALGreen code)	Y				R		
TBD	b. Divert 100% of Asphalt and Concrete and 65% (by weight) of Remaining Materials	0				2		
TBD	c. Divert 100% of Asphalt and Concrete and 80% (by weight) of Remaining Materials	0				2		
3. Construction Environmental Quality Management Plan, Duct Sealing, and Pre-Occupancy Flush-Out [*This credit is a requirement associated with PJ1: EPA IAP]								
Yes	a. Duct openings and other related air distribution component openings shall be covered during construction. (CALGreen code if applicable)	1			1			
TBD	b. Full environmental quality management plan and pre-occupancy flush out is conducted (Prerequisite is A5a)	0			1			
TBD	4. Use Recycled Content Aggregate (Minimum 25%)	0				1		
TBD	5. Cool Site: Reduce Heat Island Effect on Site	0	1					
Total Available Points in Site: 11		1						
B. LANDSCAPE			Possible Points					
1. Landscaping								
Yes	<i>Is the landscape ≥ 10% of the site area? Sites with less than 10% of the total site area dedicated to landscaping can only earn up to 4 points for measure B1a through B1g. Calculate the landscape area percentage by dividing the landscape area by the total site area. Include the building footprint(s) and all other developed portions of the site up to the site boundary.</i>							
TBD	a. Group Plants by Water Needs (Hydrozoning)	0					2	
Yes	b. Mulch All Planting Beds to the Greater of 3 Inches or Local Water Ordinance Requirement	2					2	
c. Construct Resource-Efficient Landscapes								
TBD	i. No Invasive Species Listed by Cal-IPC Are Planted	0				1		
TBD	ii. No Plant Species will Require Shearing	0				1		

Enter Project Name

Enter Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
Yes	iii. 75% of Plants are Drought-tolerant, California Natives, Mediterranean or Other Appropriate Species	3					3	
	d. Minimize Turf in Landscape Installed by Builder							
TBD	i. Turf Shall Not Be Installed on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less than 8 Feet Wide	0					2	
Yes	ii. Turf Is ≤ 25% of Landscaped Area	2					2	
	e. Install High-Efficiency Irrigation Systems							
Yes	i. System Uses Only Low-Flow Drip, Bubblers or Sprinklers	2					2	
Yes	ii. System Has Smart (Weather-based) Controller (CALGreen code if applicable)	3					3	
Yes	f. Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil	3					3	
	g. Design Landscape to Meet Water Budget							
Yes	i. Install Irrigation System That Will Be Operated at <70% Reference ET (B1a. and B1b. are Prerequisites for Credit)	0					1	
TBD	ii. Install Irrigation System That Will Be Operated at <50% Reference ET (B1a., B1b. and B1ei. or B1eii. are Prerequisites for Credit)	0					1	
TBD	h. Incorporate Community Garden	0	1					
	2. Source Water Efficiency							
TBD	a. Use Recycled Water for Indoor and/or Outdoor Water Use	0					2	
Yes	b. Use Rainwater for Indoor and/or Outdoor Water Use	4					4	
	3. Outdoor Play Structures and Outdoor Furniture							
TBD	a. Play Structures & Surfaces Have an Average Recycled Content ≥20%	0				1		
TBD	b. Environmentally Preferable Exterior Site Furnishings	0				1		
Yes	4. Reduce Light Pollution by Shielding Fixtures and Directing Light Downward	1	1					
	Total Available Points in Landscape: 33	20						
C. DESIGN CONSIDERATIONS			Possible Points					
	1. Acoustics: Noise and Vibration Control (minimum 2 points for credit, including 1 Tier 1 measure, maximum of 4 points)							
TBD	TIER 1: 1) Exterior Noise Reduction	0	1					
TBD	2) Loud Single-Event Noise Reduction in Noise-Sensitive Spaces	0	1					
TBD	3) Airborne and Structure-borne Noise Reduction (e.g., walls, floor-ceilings)	0	1					
TBD	4) Mechanical Ventilation Noise and Vibration Control	0	1					
TBD	5) Plumbing Noise and Vibration Reduction	0	1					
TBD	TIER 2: 1) Minimize Stair Impact Noise	0	0.5					
TBD	2) Minimize Floor Squeaks	0	0.5					
TBD	3) Minimize Trash Chute Noise	0	0.5					
TBD	4) Mixed-Use Noise and Vibration Reduction	0	0.5					
	2. Mixed-Use Design Strategies							
TBD	a. Develop Green Tenant Improvement Requirements for Build Outs	0	2					
TBD	b. Commercial Loading Area Separated from Residential area	0			1			
Yes	c. Separate Mechanical and Plumbing Systems	1			1			
	3. Commissioning							
TBD	a. Design Phase (Define Owner's Project Requirements, Basis of Design, and Develop Plan)	0		1	1			

Enter Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
Yes	b. Construction Phase (Perform Functional Testing)	2		2				
TBD	c. Post-Construction Phase (Verify Compliance, Commissioning Report, Training and Warranty Review)	0	1	1				
Total Available Points in Design Considerations: 14		3						
D. FOUNDATION, STRUCTURAL FRAME & BUILDING ENVELOPE			Possible Points					
TBD	1. Replace Portland Cement in Concrete with Recycled Fly Ash and/or Slag (Minimum 20%)	0				3		
Yes	2. Design, Build and Maintain Structural Pest and Rot Controls (for low-rise projects)	2			1	1		
3. Construction Material Efficiencies								
TBD	a. Wall and Floor Assemblies (excluding solid wall assemblies) are Delivered Panelized from Supplier (Minimum of 80% square feet)	0				1		
TBD	b. Modular Components are Delivered Assembled to the Project (Minimum 25%)	0				6		
c. Optimal Value Engineering								
TBD	i. Studs at 24 Inch on Center at Interior Non-Bearing Walls and Top Floor	0				1		
Yes	ii. Door & Window Headers Sized for Load	1				1		
Yes	iii. Use Only Cripple Studs Required for Load	1				1		
4. Use Engineered Lumber								
Yes	a. Engineered Beams and Headers	1				1		
Yes	b. Wood I-Joists or Web Trusses for Floors	1				1		
TBD	c. Engineered Lumber for Roof Rafters	0				1		
TBD	d. Engineered or Finger-Jointed Studs for Vertical Applications	0				1		
Yes	e. Oriented Strand Board for Subfloor	1				1		
Yes	f. Oriented Strand Board for Wall and Roof Sheathing	1				1		
TBD	5. Insulated Headers	0		1				
6. Use FSC-Certified Wood								
TBD	a. Dimensional Lumber, Studs and Timber (Minimum 40%)	0				4		
TBD	b. Panel Products (Minimum 40%)	0				2		
Yes	7. Energy Heels on Roof Trusses for Low-Rise Projects	1		1				
8. Use Solid Wall Systems (Includes SIPS, ICFs, & Any Non-Stick Frame Assembly)								
TBD	a. Floors	0				2		
TBD	b. Walls	0				2		
TBD	c. Roofs	0				1		
Total Available Points in Foundation, Structural Frame & Building Envelope: 34		9						
E. EXTERIOR			Possible Points					
1. Drainage Planes and Durable Siding								
TBD	a. Install a Rain Screen Wall System	0				2		
Yes	b. Use Durable and Non-Combustible Siding Materials	1				1		
2. Durable Roofing Options								
Yes	a. Required: All Roofing Has 3-Year Subcontractor Warranty and a 20-Year Manufacturer Warranty	Y				R		
Yes	b. Use Durable and Fire Resistant Roofing Materials or Assembly					1		

Enter Project Name

Enter Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	3. Vegetated Roof (2 points for 25%, 4 points for 50%)	0	4					
Total Available Points in Exterior: 8		2						
F. INSULATION			Possible Points					
1. Install Insulation with 75% Recycled Content								
TBD	a. Walls	0				1		
TBD	b. Ceilings	0				1		
TBD	c. Floors	0				1		
Total Available Points in Insulation: 3		0						
G. PLUMBING			Possible Points					
1. Water Efficient Fixtures								
a. Install High Efficiency Toilets (Dual Flush or ≤ 1.28 Gallons Per Flush (gpf)) (CALGreen code if applicable)								
Yes	i. In All Residences	2					2	
TBD	ii. In All Non-Residential Areas	0					0	
b. High Efficiency Urinals or No-Water Urinals Are Specified:								
Yes	i. Average Flush Rate is ≤0.5 gpf (CALGreen code if applicable)	1					1	
TBD	ii. Average Flush Rate is ≤0.1 gpf	0					1	
Yes	c. High Efficiency Showerheads Use ≤ 2.0 Gallons Per Minute (gpm) at 80 psi (CALGreen code if applicable)	3					3	
d. Flow Limiters Or Flow Control Valves Are Installed on All Faucets								
Yes	i. Residences: Kitchen - ≤ 1.8 gpm (CALGreen code if applicable)	1					1	
Yes	ii. Non-Residential Areas: Kitchen - ≤ 1.8 gpm (CALGreen code applicable)	0					0	
TBD	iii. Residences: Bathroom Faucets- ≤ 1.5 gpm at 60psi	0					1	
Yes	iv. Non-Residential Areas: Bath Faucets - ≤ .5 gpm or .25 gal for meter faucets (CALGreen code if applicable)	Y					0	
2. Distribute Domestic Hot Water Efficiently (G2a is a Prerequisite for credit for G2 b-e. Maximum 5 Points)								
Yes	a. Insulate All Hot Water Pipes [*This credit is a requirement associated with PJ1: EPA IAP]	2		1			1	
TBD	b. Use Engineered Parallel Plumbing	0					1	
TBD	c. Use Engineered Parallel Plumbing with Demand Controlled Circulation Loop(s)	0					1	
Yes	d. Use Traditional Trunk, Branch and Twig Plumbing with Demand Controlled Circulation Loop(s)	3		1			2	
TBD	e. Use Central Core Plumbing	0		1		1	1	
Yes	3. Water Submetering: Bill Tenants for Actual Usage	4					4	
Total Available Points in Plumbing: 18		16						
H. HEATING VENTILATION AND AIR CONDITIONING			Possible Points					
TBD	1. Install High Performing Zoned Radiant Hydronic Heating	0			2			
Yes	2. Install High Efficiency Air Conditioning with Environmentally Preferable Refrigerants	1	1					
3. Advanced Ventilation Practices for Cooling								

Enter Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
Yes	a. Operable Windows or Skylights Are Placed To Induce Cross Ventilation In At Least One Room In 80% of Units	2		1	1			
	b. Mechanical Ventilation System for Cooling:							
Yes	i. ENERGY STAR Ceiling Fans and Light Kits in Living Areas & All Bedrooms	1		1				
Yes	ii. Whole House Fan (CALGreen code if applicable)	1		1				
	4. Advanced Mechanical Ventilation for IAQ							
Yes	a. Required: Compliance with ASHRAE 62.2 Mechanical Ventilation Standard (As Adopted in Title 24 Part 6). <i>N/A for projects permitted under 2005 Title 24.</i>	Y			R			
TBD	b. Advanced Ventilation Practices (Continuous Operation, Sone Limit, Minimum Efficiency, Minimum Ventilation Rate, Homeowner Instructions)	0			1			
TBD	c. Outdoor Air Ducted to Bedroom and Living Areas of Home	0			2			
Yes	d. ENERGY STAR Bathroom Fans on Timer or Humidistat (CALGreen code if applicable)	1			1			
TBD	5. Garage Ventilation Fans Are Controlled by Carbon Monoxide Sensors (Passive Ventilation Not Eligible) [*This credit is a requirement associated with PJ1: EPA IAP]	0			1			
Yes	6. Install Carbon Monoxide Alarms (or No Combustion Appliances in Living Space and No Attached Garage) [*This credit is a requirement associated with PJ1: EPA IAP]	1			1			
Total Available Points in Heating Ventilation and Air Conditioning: 13		7						
I. RENEWABLE ENERGY			Possible Points					
Yes	1. Solar Hot Water System Preheats Domestic Hot Water	4		4				
	2. Offset a Percentage of the Project's Estimated Electricity Demand with Onsite Renewable Generation							
TBD	a. 60% of Common Area Load	0	2	2				
TBD	b. 90% of Common Area Load	0	2	2				
TBD	c. 10% or More of Residential Units Load	0	2	2				
Total Available Points in Renewable Energy: 16		4						
J. BUILDING PERFORMANCE			Possible Points					
	1. Building Performance Exceeds Title 24							
2008	<i>Is project permitted under 2005 Title 24 or 2008 Title 24?</i> <i>Enter the Percent Better Than Title 24 for Residential and Non-Residential Portions of the Project.</i>							
15%	a. Required: Residences: Minimum 15% Better Than Title 24. 2 Points for Every 1% Better Than Title 24	30		30+				
0%	b. Non-Residential Spaces: 1 Point for Every 1% Better Than Title 24, adjusted for square footage	0		1+				
	2. Building Envelope Diagnostic Evaluations							
Yes	a. Duct Testing Results in Leakage < 6% [*This credit is a requirement associated with PJ1: EPA IAP]	1		1				

Enter Project Name

Enter Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	b. Blower Door Testing Results for Air Change per Hour is < 3.5 ACH ₅₀ [*This credit is a requirement associated with PJ1: EPA IAP]	0		2				
Yes	c. Verify Quality of Insulation Installation & Thermal Bypass Checklist before Drywall [*This credit is a requirement associated with PJ1: EPA IAP]	1		1				
TBD	3. Design and Build Near Zero Energy Homes (Enter number of points, minimum of 2 and maximum of 6 points)	0		6				
Yes	4. Title 24 Prepared and Signed by a CABEC Certified Energy Plans Examiner (CEPE)	1		1				
	5. Participation in Utility Program with Third Party Plan Review							
TBD	a. Energy Efficiency Program [*This credit is a requirement associated with PJ1: EPA IAP]	0		1				
TBD	b. Renewable Energy Program with Min. 30% Better Than Title 24 (High Performing Home)	0		1				
Total Available Points in Building Performance: 43+		33						

K. FINISHES

		Points Achieved	Possible Points					
1. Entryways								
Yes	a. Design Entryways to Reduce Tracked-In Contaminants for All Home Entrances	1			1			
TBD	b. Permanent Walk-Off Systems Are Provided at All Main Building Entrances & In Common Areas	0			1			
TBD	2. Use Recycled Content Paint	0				1		
3. Low/No-VOC Paints & Coatings [*This credit is a requirement associated with PJ1: EPA IAP]								
a. Low-VOC Interior Wall/Ceiling Paints (<50 grams per liter (gpl) VOCs regardless of sheen) (CALGreen code if applicable)								
Yes	i. In All Residences	1			1			
TBD	ii. In All Non-Residential Areas	0			0			
b. Zero-VOC: Interior Wall/Ceiling Paints (<5 gpl regardless of sheen)								
TBD	i. In All Residences	0			1			
TBD	ii. In All Non-Residential Areas	0			0			
c. Use Low-VOC Coatings That Meet SCAQMD Rule 1113 (CALGreen code if applicable)								
Yes	i. In All Residences	2			2			
TBD	ii. In All Non-Residential Areas	0			0			
Yes	4. Use Low VOC Caulks, Construction Adhesives and Sealants that Meet SCAQMD Rule 1168 (CALGreen code if applicable)	1			1			
5. Environmentally Preferable Materials for Interior Finish: A) FSC-Certified Wood, B) Reclaimed Lumber, C) Rapidly Renewable, D) Recycled-Content, E) Finger-Jointed, or F) Local								
a. Residences: At Least 50% of Each Material:								
TBD	i. Cabinets	0			4			
TBD	ii. Interior Trim	0			2			
TBD	iii. Shelving	0			2			
TBD	iv. Doors	0			2			
TBD	v. Countertops	0			2			

b. Non-Residential Areas: At Least 50% of Each Material:

Enter Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	i. Cabinets	0				0		
TBD	ii. Interior Trim	0				0		
TBD	iii. Shelving	0				0		
TBD	iv. Doors	0				0		
TBD	v. Countertops	0				0		
Yes	6. Reduce Formaldehyde in Interior Finish – Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (CALGreen code if applicable) [*This credit is a requirement associated with PJ1: EPA IAP]	Y			0			
	7. Reduce Formaldehyde in Interior Finish - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory Compliance Dates							
	a. Residences: At Least 90% of Each Material:							
TBD	i. Doors	0			1			
TBD	ii. Cabinets and Countertops	0			2			
TBD	iii. Interior Trim and Shelving	0			1			
	b. Non-Residential Areas: At Least 90% of Each Material							
TBD	i. Doors	0			0			
TBD	ii. Cabinets and Countertops	0			0			
TBD	iii. Interior Trim and Shelving	0			0			
	8. Durable Cabinets							
TBD	a. Residences	0			1			
TBD	b. Non-Residential Areas	0			0			
TBD	9. At Least 25% of All Newly Supplied Interior Furniture has Environmentally Preferable Attributes	0				1		
Total Available Points in Finishes: 26		5						
L. FLOORING			Possible Points					
	1. Use Environmentally Preferable Flooring (Minimum 15% of Floor Area) A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable, D) Recycled-Content, E) Exposed Concrete, or F) Local. <i>Flooring Adhesives Must Meet SCAQMD Rule 1168 for VOCs</i>							
TBD	a. Residences	0			4			
TBD	b. Non-Residential Areas	0			0			
	2. Low-Emitting Flooring [*This credit is a requirement associated with PJ1: EPA IAP]							
TBD	a. Residences: Low Emitting Flooring (50% Minimum) (Section 01350, CRI Green Label Plus, Floorscore)	0			2			
TBD	b. Non-Residential Areas: Low-Emitting Flooring (50% Minimum) (Section 01350, CRI Green Label Plus, Floorscore)	0			0			
Yes	3. All carpet and 50% of Resilient Flooring is low emitting. (CALGreen code if applicable)	Y			0			
Total Available Points in Flooring: 6		0						

M. APPLIANCES & LIGHTING

Possible Points

Enter Project Name

Enter Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
1. ENERGY STAR Appliances								
Yes	a. Install ENERGY STAR Dishwasher (Must Meet Current Specifications)	2		1			1	
b. install ENERGY STAR Clothes Washer								
Yes	i. Meets ENERGY STAR and CEE Tier 2 Requirements (Modified Energy Factor ≥2.0; Water Factor ≤6.0) (Total 3 Points)	3		1			2	
TBD	ii Meets ENERGY STAR and CEE Tier 3 Requirements (Modified Energy Factor ≥2.2; Water Factor ≤4.5) (Total 5 Points)	0					2	
c. Install ENERGY STAR Refrigerators in All Locations								
Yes	i. ENERGY STAR-Qualified & < 25 Cubic Feet Capacity	1		1				
TBD	ii. ENERGY STAR-Qualified & < 20 Cubic Feet Capacity	0		1				
TBD	2. Common Laundry Facilities Are Provided for All Occupants	0				1		
Yes	3. Provide Built-In Recycling Center in Each Residential Unit	1				1		
4. Low-Mercury Lamps								
TBD	a. Low-Mercury Products Are Installed Wherever Linear Fluorescent Lamps Are Used or Replaced	0				1		
TBD	b. Low-Mercury Products Are Installed Wherever Compact Fluorescent Lamps Are Used or Replaced	0				1		
5. Install High-Efficacy Lighting and Design Lighting System								
Yes	a. Install High-Efficacy Lighting	1		1				
TBD	b. Install a Lighting System to IESNA Footcandle Standards or Hire Lighting Consultant	0		1				
TBD	6. Gearless Elevators Are Installed	0		1				
Total Available Points in Appliances & Lighting: 16		8						
N. OTHER			Possible Points					
Yes	1. Required: Incorporate GreenPoint Rated Checklist in Blueprints [*This credit is a requirement associated with PJ1: EPA IAP]	Y	R					
TBD	2. Pre-Construction Kick-Off Meeting with Rater and Subs	0	1					
3. Operations & Maintenance Manuals and Training [*This credit is a requirement associated with PJ1: EPA IAP]								
Yes	a. Provide O&M Manual to Building Maintenance Staff (CALGreen code if applicable)	1		1				
Yes	b. Provide O&M Manual to Occupants and Orientation	2		1			1	
TBD	4. Residents Are Offered Free or Discounted Transit Passes	0	2					
TBD	5. Educational Signage of Project's Green Features	0	1	1				
TBD	6. Install Home/Building System Monitor(s)	0		1				
TBD	7. Use Vandalism Deterrence Practices and Develop Vandalism Management Plan	0	1					
Total Available Points in Other: 9		3						
O. (Not Used)								
P. INNOVATIONS			Possible Points					
A. Site								
1. Stormwater Control: Prescriptive Path (Maximum of 3 Points, Mutually Exclusive With PA2)								
TBD	a. Use Permeable Paving for 25% of Driveways, Patios and Walkways	0	1					
TBD	b. Install Stormwater Retention and Filtration Features	0						

Enter Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	c. Route Downspout Through Permeable Landscape	0	1					
TBD	d. Use Non-Leaching Roofing Materials	0	1					
TBD	e. Include Smart Street/Driveway Design	0	1					
	2. Stormwater Control: Performance Path (Mutually Exclusive With PA1):	0						
TBD	Perform a Soil Percolation Test and Capture and Treat 85% of Total Annual Runoff	0	3					
D. Foundation, Structural Frame and Building Envelope								
TBD	1. Use Radon Resistant Construction [*This credit is a requirement associated with PJ1: EPA IAP]	0			2			
TBD	2. Install a Foundation Drainage System [*This credit is a requirement associated with PJ1: EPA IAP]	0				2		
TBD	3. Moisture Controlled Crawlspace [*For projects with crawlspaces, this credit is a requirement associated with PJ1: EPA IAP]	0			2			
E. Exterior								
TBD	1. Flashing Installation Techniques Specified and Third-Party Verified [*This credit is a requirement associated with PJ1: EPA IAP]	0				1		
H. Heating Ventilation and Air Conditioning								
Yes	1. Design and Install HVAC System to ACCA Manual J, D, and S Recommendations (CALGreen code if applicable) [*This credit is a requirement associated with PJ1: EPA IAP]	4		4				
TBD	2. Pressure Relieve the Ductwork System (Mutually exclusive with H1) [*For projects with ducted systems, this credit is a requirement associated with PJ1: EPA IAP]	0		1				
Yes	3. Install High Efficiency HVAC Filter (MERV 6+, Mutually exclusive with H1.) [*This credit is a requirement associated with PJ1: EPA IAP]	1		1				
J. Building Performance								
TBD	1. Obtain EPA Indoor airPlus Certification (Total 39 possible points, not including Title 24 performance; read comment)	0		2				
TBD	2. Third-Party Testing of Mechanical Ventilation Rates for IAQ (Meet ASHRAE 62.2) [*This credit is a requirement associated with PJ1: EPA IAP]	0			2			
TBD	3. ENERGY STAR New Homes: High-Rise Pilot Program	0		1				
K. Finishes								
TBD	1. Use Moisture Resistant Material in Wet Areas: Kitchens, Bathrooms, Utility Rooms and Basements [*This credit is a requirement associated with PJ1: EPA IAP]	0			1	1		
TBD	2. Materials Meet SMaRT Criteria (Select number of points, up to 5 points)	0				5		
N. Other								
	1. Innovation: List innovative measures that meet green building objectives. Enter in the number of points in each category in the blue cells for a maximum of 4 points for the measure. The "points achieved" column will be automatically fill in based on the sum of the points in each category. Points and measures will be evaluated by Build It Green.							
TBD	Innovation: Enter up to 4 Points in blue cells at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points in blue cells at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points in blue cells at right. Enter description here	0						

Enter Project Name		Points Achieved	Community	Energy	IAC/Health	Resources	Water	Notes
TBD	Innovation: Enter up to 4 Points in blue cells at right. Enter description here	0						
TBD	Innovation: Enter up to 4 Points in blue cells at right. Enter description here	0						
Total Available Points in Innovation: 26+		5						

2. CALGreen CODE		Points Achieved	Community	Energy	IAC/Health	Resources	Water	Notes
Yes	0. Home meets all applicable CALGreen measures listed in above Sections A - P of the GreenPoint Rated checklist.	Y	R					
<p><i>The following measures are mandatory in the CALGreen code and do not earn points in the GreenPoint Rated Checklist but have been included in the Checklist for the convenience of jurisdictions.</i></p> <p><i>The GreenPoint Rater is not a code enforcement official. The measures in this section may be verified by the GreenPoint Rater at their own discretion and/or discretion of the building official.</i></p>								
TBD	1. CALGreen 4.106.2 Storm water management during construction.	N						
TBD	2. CALGreen 4.106.3 Design for surface water drainage away from buildings.	N						
TBD	3. CALGreen 4.303.1 As an alternative to prescriptive compliance, a 20% reduction in baseline water use shall be demonstrated through calculation	N						
TBD	4. CALGreen 4.406.1 Joints and openings. Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected	N						
TBD	5. CALGreen 4.503.1 Gas fireplace shall be a direct-vent sealed-combustion type. Woodstove or pellet stove shall comply with US EPA Phase II emission limits	N						
TBD	6. CALGreen 4.505.2 Vapor retarder and capillary break is installed at slab on grade foundations.	N						
TBD	7. CALGreen 4.505.3 19% moisture content of building framing materials	N						
TBD	8. CALGreen 702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.	N						
Total Available Points in CALGreen Code: 0		0						

Summary								
Total Available Points			62	86+	35	87	48	
Minimum Points Required			6	30	5	6	3	
Total Points Achieved		122	8	56	11	10	37	

Project Has Met All Recommended Minimum Requirements