

GRADING NOTES:

1. ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
2. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
3. ALL DOWNSPOUTS SHALL HAVE A MINIMUM 3" DIAMETER SOLID DRAIN LINES AND SHALL DISCHARGE TO SPLASH BLOCKS, AND DIRECTED AWAY FROM THE FOUNDATION.
4. SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE FOR SIX (6) IN. FOR 5" MIN. (NATIVE SOIL OR LANDSCAPED AREAS) SIX (6) IN. FOR 5" MIN. (PAVED SURFACES).
5. SURFACE WATER SHALL HAVE A 1% MINIMUM SLOPE AND BE CONVEYED TO AREA DRAINS.
6. AREA DRAINS SHALL HAVE A MINIMUM 8 INCHES DIAMETER GRATE OPENING.
7. ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
8. ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS, NOT THROUGH THEM. ANY SUBDRAINS PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PIERS AND/OR GRADE BEAMS.
9. WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
10. ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-FLEXIBLE PVC PIPE. PERFORATED PIPE SHALL BE USED FOR SUBDRAINS ONLY. 6" STORM DRAIN TO BE PVC SDR-35 OR APPROVED EQUAL. (SEE DETAILS).
11. CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
12. EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 15 IF WORK CONTINUES INTO THE RAINY SEASON.
13. THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
14. THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
15. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPOUTS, AND DRAINAGE STABLES.

The Following (a) and (b) shall be provided to the building inspector before and foundation inspection will be performed. Item (c) shall be provided before the shear and roof inspection. Item (d) shall be provided before a frame inspection will be performed.

- a. A Licensed Land Surveyor must verify building setbacks to property lines and also pad elevation(s). This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.
- b. When Fill is employed under the building a soils engineer must verify pad composition. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.
- c. A Licensed Land Surveyor must verify finish floor elevations. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of shear and roof inspection.
- d. A Licensed Land Surveyor must verify the highest elevation of the highest point of any roof ridge of roof projection. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of frame inspection.

BASIS OF BEARINGS

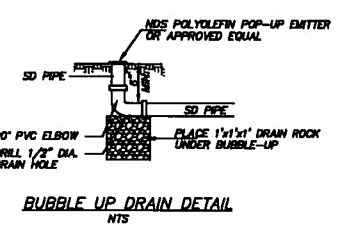
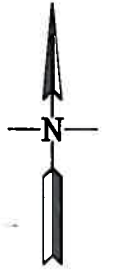
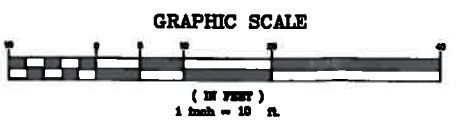
THE BEARINGS SHOWN HEREON WERE BASED ON TRACT 7499 (275 M 84), ALAMEDA COUNTY RECORDS.

BASIS OF ELEVATIONS

THE ELEVATIONS SHOWN HEREON WERE BASED ON THE IMPROVEMENT PLANS FOR TRACT 7499.

NOTES:

- ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, NOT FIELD LOCATED.
- IMPERMEABLE AREA = 0,858 SQ FT
- PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.
- SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION THIS PLAN IS INTENDED FOR GRADING AND DRAINAGE



ABBREVIATIONS

- AD AREA DRAIN
- CD CLEAN-OUT
- DI DRAIN INLET (HANSON P18 OR EQUAL)
- BW BOTTOM OF RETAINING WALL
- FF FINISHED FLOOR
- FL FINISHED FLOORING
- FS FINISHED SURFACE
- GR TOP OF GRATE
- HP HIGHPOINT
- INV INVERT
- CF FINISHED FLOOR
- LS LANDSCAPED AREA
- PA PLANTER AREA
- SW STORM WATER INLET
- TC TOP OF CURB
- TC TOP OF GRATE
- TW TOP OF RETAINING WALL

LEGEND

- DRAINAGE ARROW INDICATES DIRECTION OF DRAINAGE
- STORM DRAIN
- PERIMETER DRAIN
- EX CONTOUR
- 100 — NEW CONTOUR
- SWALE
- PROPERTY LINE



PROJECT NAME	GRADING AND DRAINAGE PLAN
PROJECT NO.	2523 YOLONDA CT. TRACT 7499
CITY	CITY OF PLEASANTON
COUNTY	ALAMEDA COUNTY, CALIFORNIA
DATE	6-20-14
SHEET NO.	C1
TOTAL SHEETS	9

DRAWN BY: RD
 DESIGNED BY: RD
 CHECKED BY: DA
 SCALE: 1"=10'
 REGISTERED PROFESSIONAL ENGINEER
 ROBERT D. DETTLER
 NO. C 86722
 EXPIRES 06/30/14
 CIVIL
 STATE OF CALIFORNIA

Gregg K. Kawahara
architect
5822 Dresslar Circle Livermore, CA 94550
(925) 449-6182
gkarchitect@comcast.net

2523 Yolanda Court
Pleasanton, CA

SITE NOTES

1. THE SITE PLAN IS NOT A SURVEY AND IS BASED ON INFORMATION PROVIDED BY ALEXANDER ASSOCIATES.
2. THIS SITE PLAN IS NOT A SURVEY. IT IS PROVIDED FOR BUILDING AND SITE WORK LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, AND SUB-STRUCTURES. WHERE DISCREPANCIES OCCUR, CONTACT ARCHITECT.
3. SEE GRADING & DRAINAGE PLAN FOR INFORMATION REGARDING DRAINAGE, PERVIOUS PAVING, & IMPERVIOUS PAVING.
4. SEE LANDSCAPE PLAN FOR PLANTING INFORMATION & MORE DETAILED INFORMATION REGARDING HARDSCAPE & LANDSCAPING FEATURES.
5. SEE TREE REPORT PREPARED BY HORTISCIENCE REGARDING THE THREE EXISTING TREES THAT ARE TO BE REMOVED.

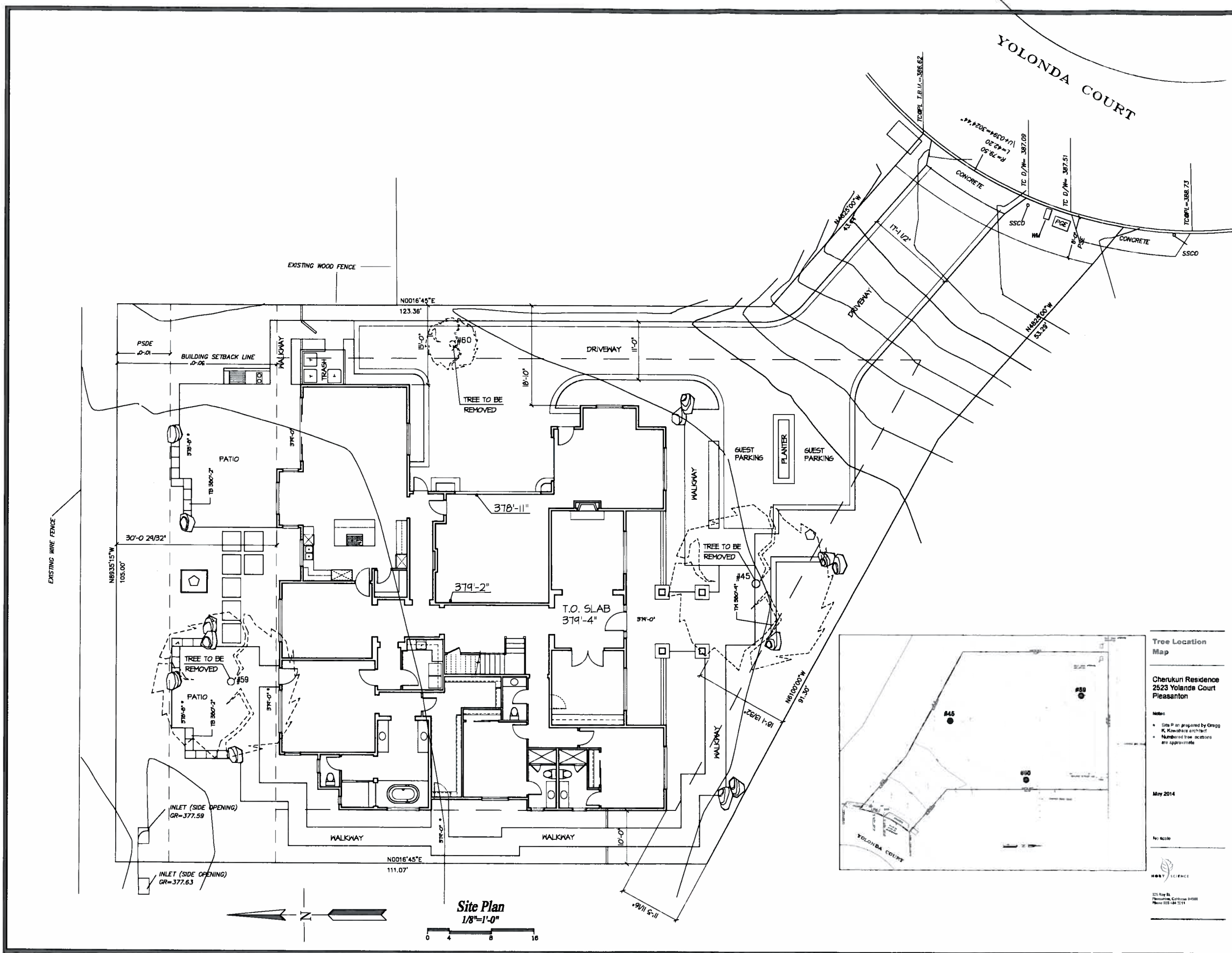
REVISIONS

△	Description	Date

Site Plan & Tree Location Map

A1

Date 9-10-14



Tree Location Map

Cherukun Residence
2523 Yolanda Court
Pleasanton

Notes:
• Site Plan prepared by Gregg K. Kawahara architect
• Numbered tree locations are approximate

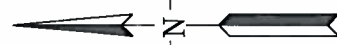
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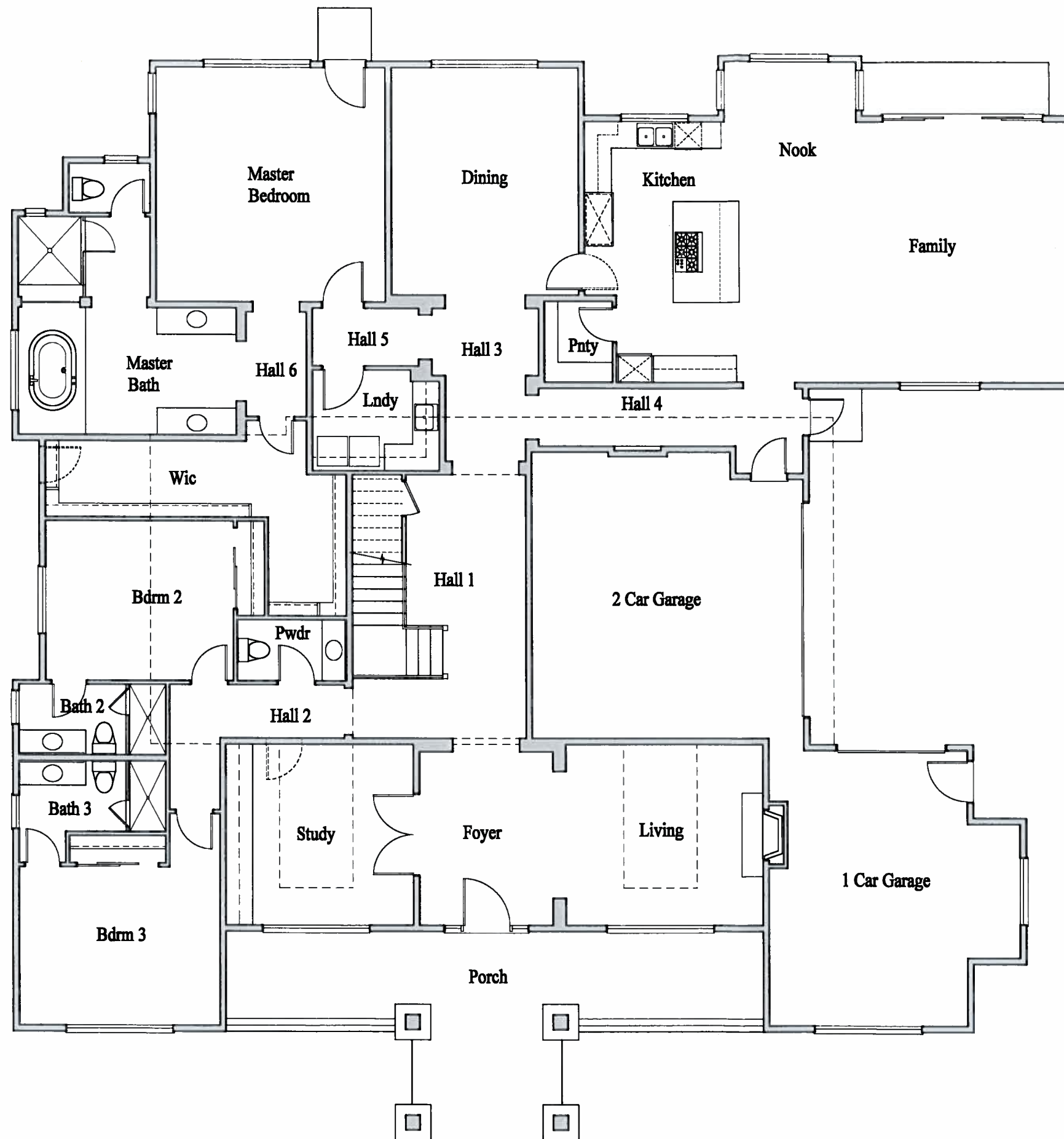
No Scale



225 Roy St.
Pleasanton, California 94566
Phone 925-464-5219

Site Plan
1/8"=1'-0"





Gregg K. Kawahara
 architect
 5822 Dresslar Circle Livermore, CA 94550
 (925) 449-6182
 gkarchitect@comcast.net

2523 Yolanda Court
 Pleasanton, CA

REVISIONS

△	Description	Date

First Floor Plan

Scale: 1/4"=1'-0"

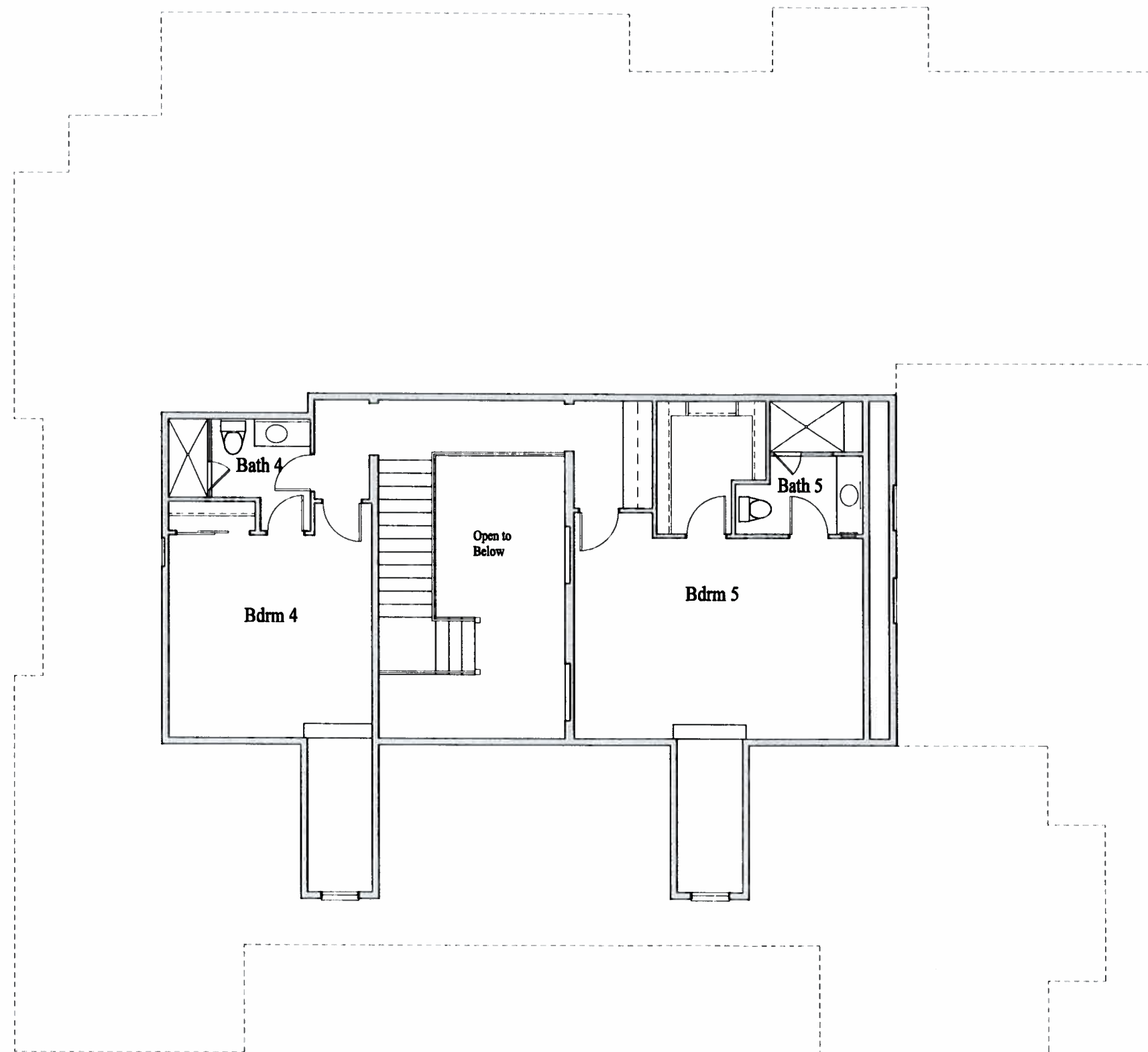
Sheet

A2

Date 9-10-14

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2523 Yolanda Court
Pleasanton, CA



REVISIONS

△	Description	Date
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Second Floor Plan

Scale: 1/4"=1'-0"

Sheet

A3

Date 9-29-14

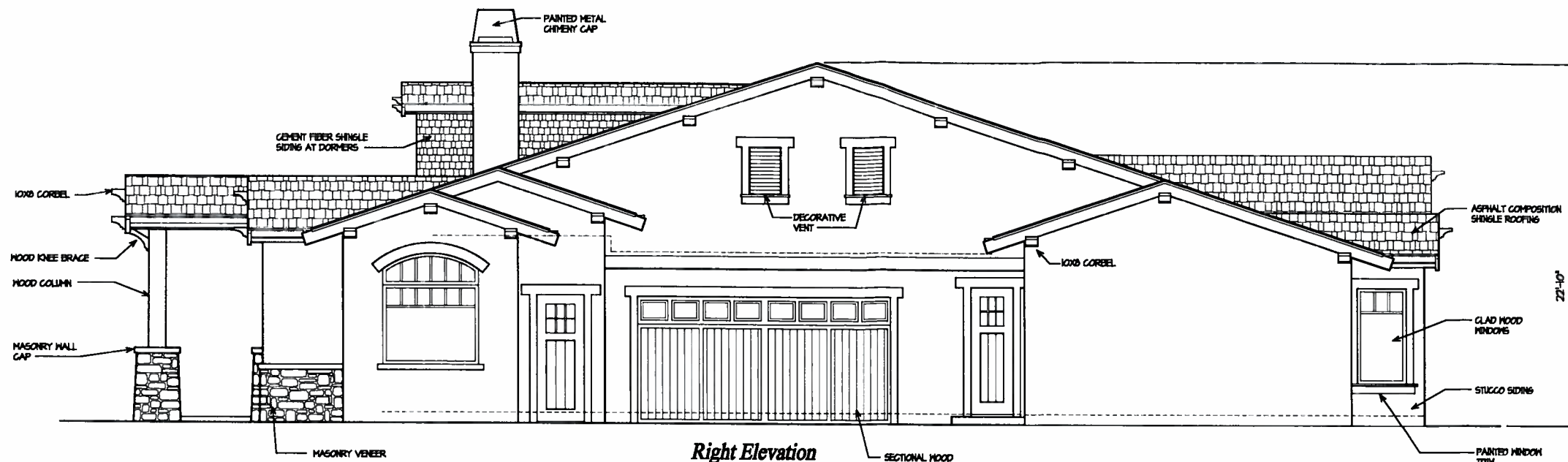
Gregg K. Kawahara
architect

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(925) 449-6182
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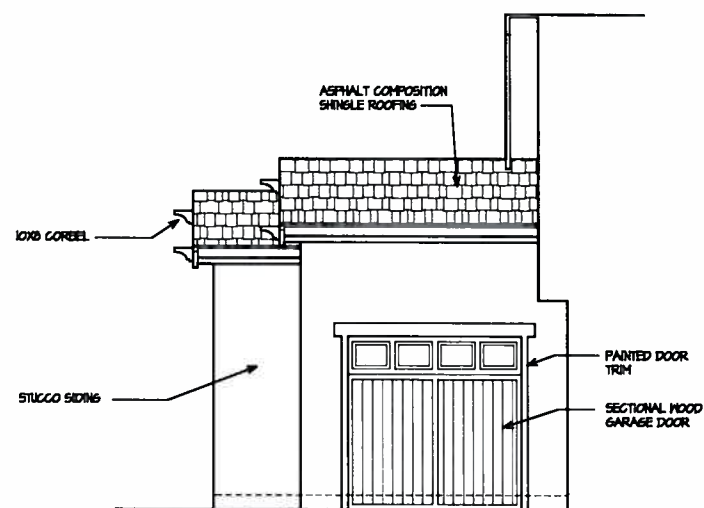
2523 Yolanda Court
Pleasanton, CA

EXTERIOR ELEVATION NOTES

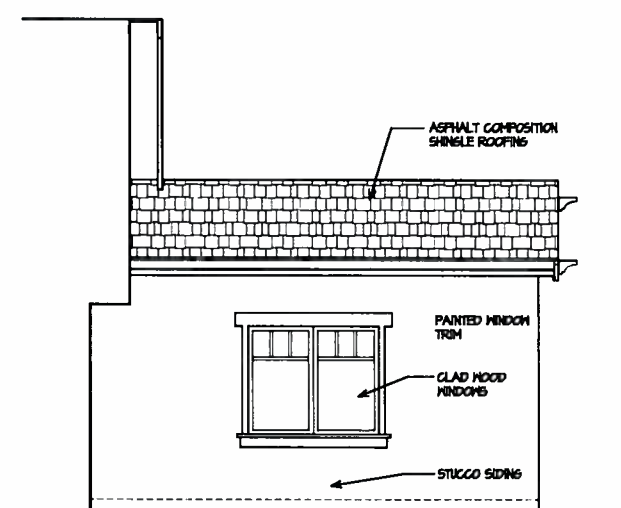
1. STUCCO SHALL BE PAINTED SHERWIN WILLIAMS EMPIRE GOLD SMOOZ
2. SHINGLE SIDING SHALL BE CEMENT FIBER PAINTED SHERWIN WILLIAMS HOPSACK SH6104
3. WINDOW TRIM, EAVES, RAKES & HOOD DOORS SHALL BE PAINTED KELLY MOORE K2640-D
4. MASONRY VENEER SHALL BE ELDORADO STONE PADOVA FIELD/EDGE
5. MASONRY SILL, CAPS & ARCHED WINDOW HEADER HOLDING SHALL BE ELDORADO STONE EARTH CHISELED EDGE
6. WINDOWS, FRENCH DOORS & SLIDING GLASS DOORS SHALL BE JELDOWEN SIBELINE EX SAGE BROWN
7. GARAGE DOORS SHALL BE WOOD SECTIONAL, PAINTED SHERWIN WILLIAMS EMPIRE GOLD SMOOZ
8. FRONT ENTRY DOOR, SIDELITES & TRANSOM SHALL BE CRAFTSMAN IN WOOD KNOTTY ALDER WITH NEVADA FINISH
9. CHIMNEY SHALL BE STUCCO PAINTED SHERWIN WILLIAMS HOPSACK SH 6104



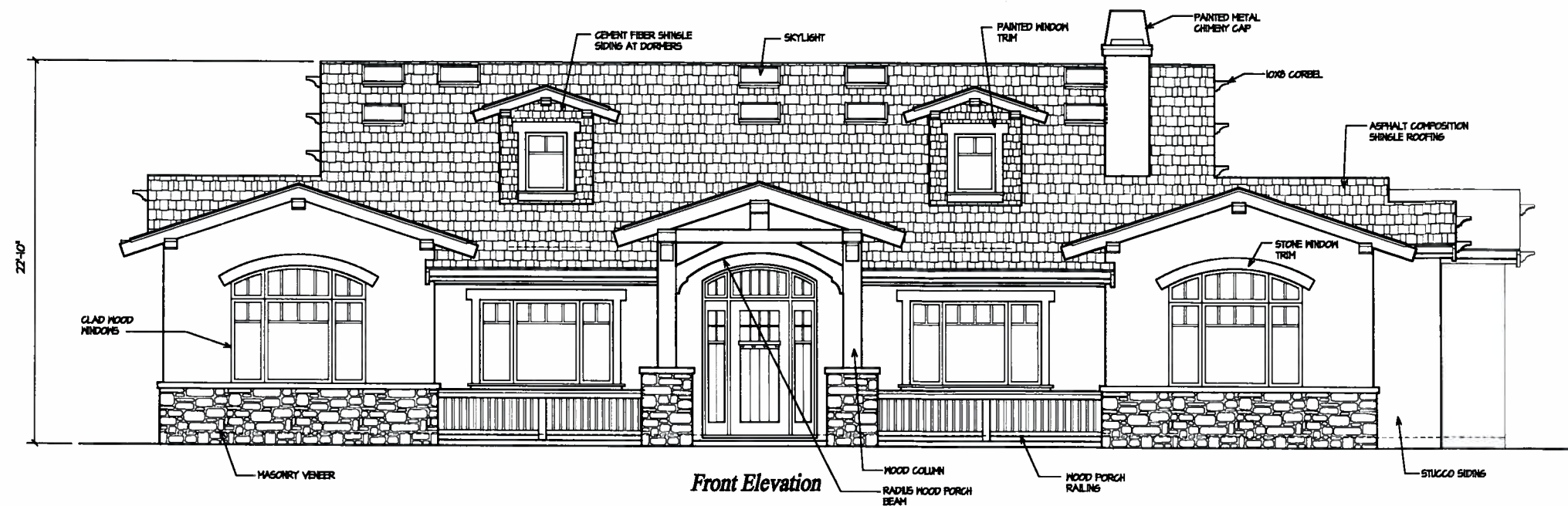
Right Elevation



Partial Garage Elevation



Partial Family Elevation



Front Elevation

REVISIONS

△	Description	Date

Exterior Elevations

Scale: 1/4"=1'-0"

Sheet

A4

Date 9-10-14

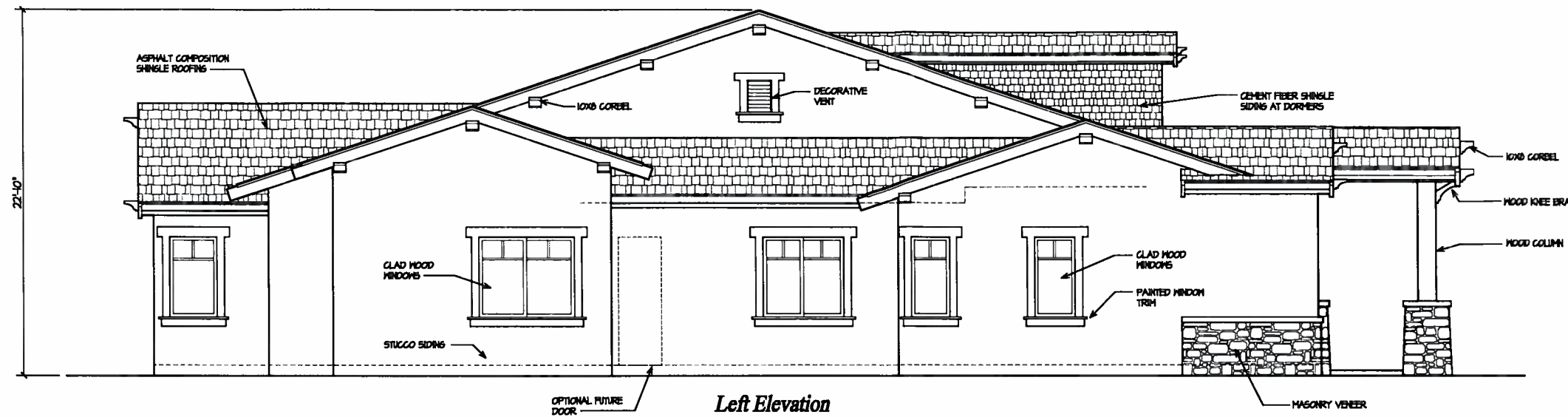
Gregg K. Kawahara
architect

5822 Dresslar Circle Livermore, CA 94550
(925) 449-6182
gkarchitect@comcast.net

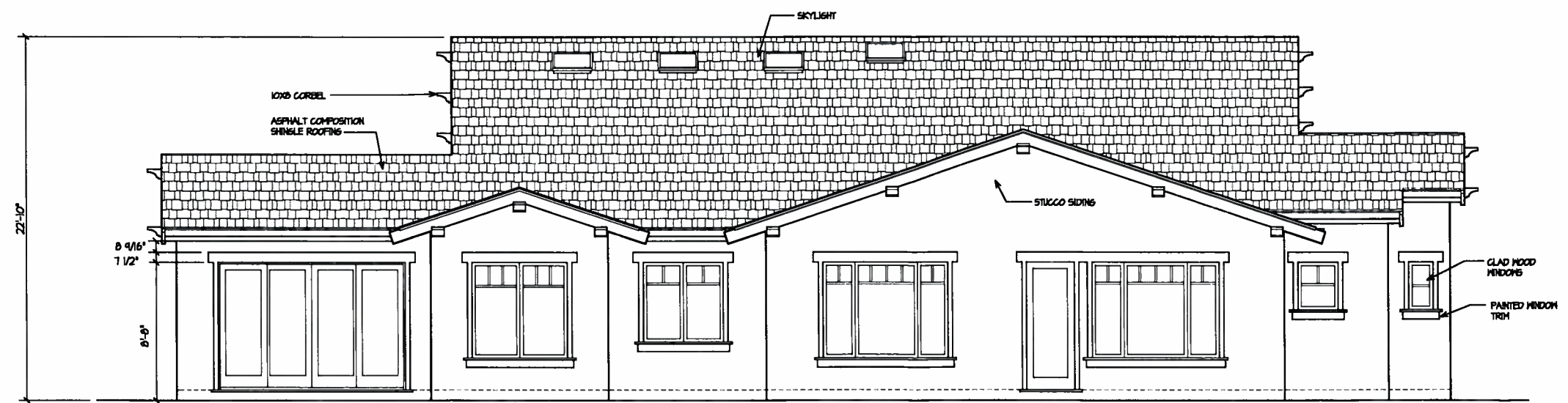
2523 Yolanda Court
Pleasanton, CA

EXTERIOR ELEVATION NOTES

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2. SHINGLE SIDING SHALL BE CEMENT FIBER PAINTED SHERWIN WILLIAMS HOPSACK SMOOZ
3. WINDOW TRIM, EAVES, RAKES & MOOD DOORS SHALL BE PAINTED KELLY MOORE K16-46-D
4. MASONRY VENEER SHALL BE ELDORADO STONE PADOVA FIELDLEDGE
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Left Elevation



Rear Elevation

REVISIONS

△	Description	Date

Exterior Elevations

Scale: 1/4"=1'-0"

Sheet

A5

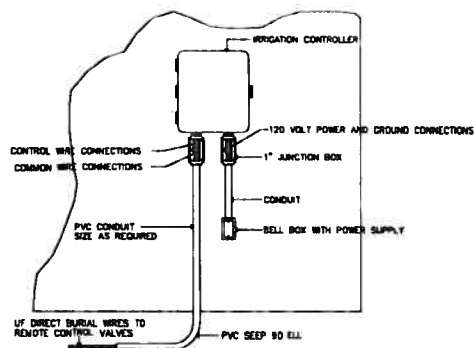
Date 9-10-14



Front Right Perspective

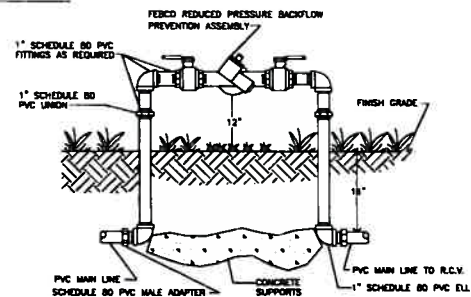


Rear Left Perspective



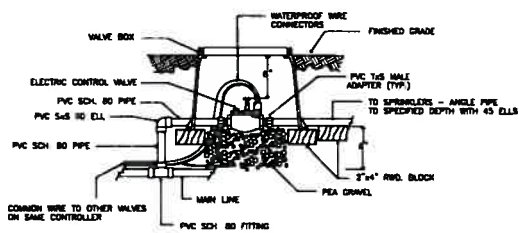
WALL MOUNT AUTOMATIC CONTROLLER

NOT TO SCALE



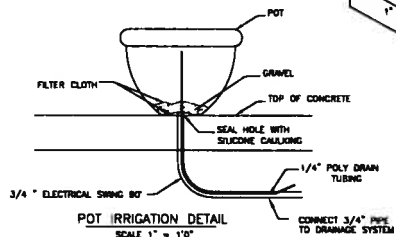
REDUCED PRESSURE BACKFLOW ASSEMBLY

NOT TO SCALE



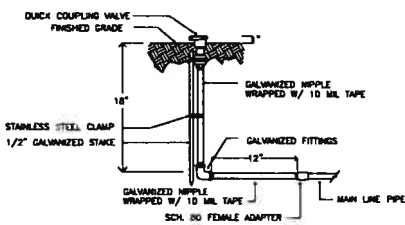
ELECTRIC CONTROL VALVE

NOT TO SCALE



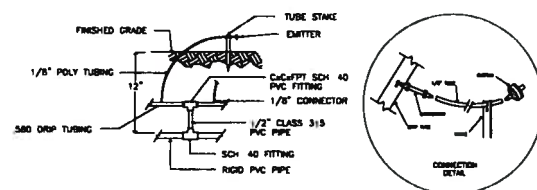
POT IRRIGATION DETAIL

SCALE 1" = 10"



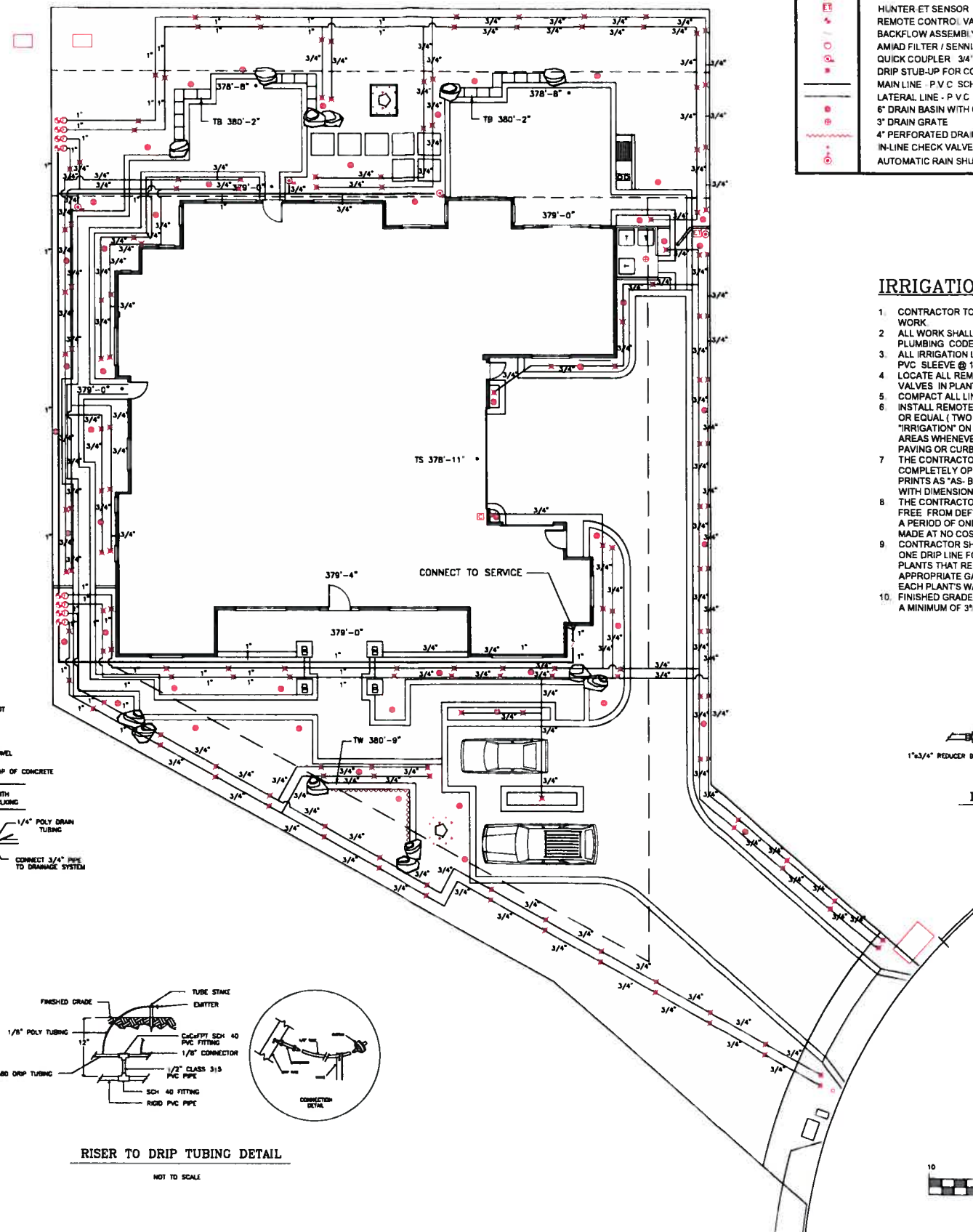
QUICK COUPLING VALVE

NOT TO SCALE



RISER TO DRIP TUBING DETAIL

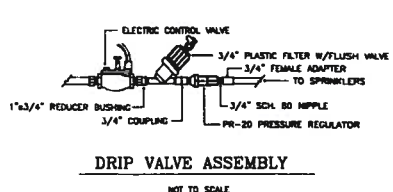
NOT TO SCALE



IRRIGATION LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	CONTROLLER - HUNTER PIC-9 WITH ET SYSTEM MODULE
[Symbol]	HUNTER ET SENSOR
[Symbol]	REMOTE CONTROL VALVE WEATHERMATIC 21024E-10
[Symbol]	BACKFLOW ASSEMBLY FEBCO 825Y
[Symbol]	AMFAD FILTER / SENNINGER PRESSURE REGULATOR
[Symbol]	QUICK COUPLER 3/4\"/>
[Symbol]	DRIP STUB-UP FOR CONNECTION TO POLY PIPE
[Symbol]	MAIN LINE - P.V.C. SCH 40
[Symbol]	LATERAL LINE - P.V.C. CLASS 200 (CLASS 315 FOR 1/2\"/>
[Symbol]	6\"/>
[Symbol]	3\"/>
[Symbol]	4\"/>
[Symbol]	IN-LINE CHECK VALVE
[Symbol]	AUTOMATIC RAIN SHUTOFF

IRRIGATION NOTES:

1. CONTRACTOR TO OBTAIN ALL PERMITS PRIOR TO STARTING WORK
2. ALL WORK SHALL COMPLY WITH THE LATEST UNIFORM PLUMBING CODE AS WELL AS LOCAL ORDINANCES
3. ALL IRRIGATION LINES UNDER CONCRETE TO BE INSTALLED IN PVC SLEEVE @ 15\"/>

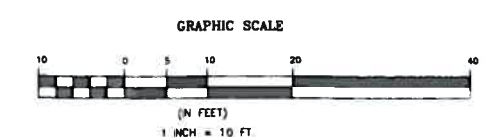


DRIP VALVE ASSEMBLY

NOT TO SCALE

NOTE:
 FIELD RECOMMENDS INSTALLATION OF PERFORATED DRAIN ALONG THE PERIMETER OF THE HOUSE TO HELP MITIGATE ANY POTENTIAL STANDING OR GROUND WATER SEEPAGE THAT MAY CAUSE DAMAGE I.E. BUCKLING FLOORS FOUNDATIONS SETTLING ETC. HOMEOWNER SHOULD CONSULT WITH CONTRACTOR PRIOR TO CONSTRUCTION.

Underground Service Alert
 Call: TOLL FREE
 1-800-642-2444
 TWO WORKING DAYS BEFORE YOU DIG



SCALE: 1" = 10'-0"

④	BL
③	BL
②	BL
①	BL
REVISIONS	BY
DATE	
SHEET NO	L-2
	OF 2 SHEETS

IRRIGATION PLAN

HELPING HAND LANDSCAPE DESIGN, INC.
 1228 QUARRY LANE, SUITE E, PLEASANTON, CA 94566
 (925)846-2933

THE RESIDENCE OF
 RAVI CHERUKURI
 2523 YOLANDA CT
 PLEASANTON, CA

SHEET NO	L-2
	OF 2 SHEETS



NEW HOME RATING SYSTEM, VERSION 6.0
SINGLE FAMILY CHECKLIST

Points Achieved 50
Compliance Level Certified

POINTS REQUIRED

MEASURES	Available Points	Points Achieved
1. CALIFORNIA GREEN SOURCE (CALGSS)	4	4
2. ENERGY EFFICIENCY	12	12
3. WATER EFFICIENCY	12	12
4. AIR QUALITY	12	12
5. INDOOR AIR QUALITY	10	10
6. SUSTAINABILITY	8	8
7. OTHER	2	2
TOTAL	60	50

MEASURE	DESCRIPTION	POINTS	ACHIEVED	COMMENTS
1.1	1.1.1 Green Source	4	4	
2.1	2.1.1 Energy Star	12	12	
2.2	2.2.1 Energy Star	12	12	
2.3	2.3.1 Energy Star	12	12	
3.1	3.1.1 WaterSense	12	12	
3.2	3.2.1 WaterSense	12	12	
4.1	4.1.1 Low VOC	12	12	
4.2	4.2.1 Low VOC	12	12	
5.1	5.1.1 IAQ	10	10	
5.2	5.2.1 IAQ	10	10	
6.1	6.1.1 GreenSource	8	8	
6.2	6.2.1 GreenSource	8	8	
7.1	7.1.1 Other	2	2	
7.2	7.2.1 Other	2	2	

MEASURE	DESCRIPTION	POINTS	ACHIEVED	COMMENTS
1.1	1.1.1 Green Source	4	4	
2.1	2.1.1 Energy Star	12	12	
2.2	2.2.1 Energy Star	12	12	
2.3	2.3.1 Energy Star	12	12	
3.1	3.1.1 WaterSense	12	12	
3.2	3.2.1 WaterSense	12	12	
4.1	4.1.1 Low VOC	12	12	
4.2	4.2.1 Low VOC	12	12	
5.1	5.1.1 IAQ	10	10	
5.2	5.2.1 IAQ	10	10	
6.1	6.1.1 GreenSource	8	8	
6.2	6.2.1 GreenSource	8	8	
7.1	7.1.1 Other	2	2	
7.2	7.2.1 Other	2	2	

MEASURE	DESCRIPTION	POINTS	ACHIEVED	COMMENTS
1.1	1.1.1 Green Source	4	4	
2.1	2.1.1 Energy Star	12	12	
2.2	2.2.1 Energy Star	12	12	
2.3	2.3.1 Energy Star	12	12	
3.1	3.1.1 WaterSense	12	12	
3.2	3.2.1 WaterSense	12	12	
4.1	4.1.1 Low VOC	12	12	
4.2	4.2.1 Low VOC	12	12	
5.1	5.1.1 IAQ	10	10	
5.2	5.2.1 IAQ	10	10	
6.1	6.1.1 GreenSource	8	8	
6.2	6.2.1 GreenSource	8	8	
7.1	7.1.1 Other	2	2	
7.2	7.2.1 Other	2	2	

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GreenPoint Rated New Home Single Family Checklist Version 6.0

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GreenPoint Rated New Home Single Family Checklist Version 6.0

2523 YOLANDA COURT
PLEASANTON, CA

GREEN POINTS WORKSHEETS





NEW HOME RATING SYSTEM, VERSION 6.0

SINGLE FAMILY CHECKLIST

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points. Earn the following minimum points per category: Community (3), Energy (22), Indoor Air Quality/Health (6), Resources (6), and Water (8), and meet the prerequisites CALGreen Mandatory, H6.1 J5.1, O1, O7.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated. Build It Green is not a code enforcement agency.

Points Achieved: **50**

Certification Level: **Certified**

POINTS REQUIRED



A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.

Single Family New Home Version 6.0.1

2523 Yolanda Court, Pleasanton CA		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
MEASURES							
CALGreen							
Yes	CALGreen Res (REQUIRED)	4		1	1	1	1
A. SITE							
No	A1. Construction Footprint	0				1	
A2. Job Site Construction Waste Diversion							
No	A2.1 65% C&D Waste Diversion (Including Alternative Daily Cover)	0				2	
No	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)	0				2	
No	A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility	0				1	
Yes	A3. Recycled Content Base Material	1				1	
No	A4. Heat Island Effect Reduction (Non-Roof)	0		1			
No	A5. Construction Environmental Quality Management Plan Including Flush-Out	0			1		
A6. Stormwater Control: Prescriptive Path							
Yes	A6.1 Permeable Paving Material	1					1
No	A6.2 Filtration and/or Bio-Retention Features	0					1
No	A6.3 Non-Leaching Roofing Materials	0					1
Yes	A6.4 Smart Stormwater Street Design	1	1				
No	A7. Stormwater Control: Performance Path	0					3
B. FOUNDATION							
No	B1. Fly Ash and/or Slag in Concrete	0				1	
No	B2. Radon-Resistant Construction	0			2		
No	B3. Foundation Drainage System	0				2	
No	B4. Moisture Controlled Crawlspace	0			1		
B5. Structural Pest Controls							
No	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections	0				1	
No	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation	0				1	

PUD - 01-19M
 P14-1164
 EXHIBIT B

RECEIVED

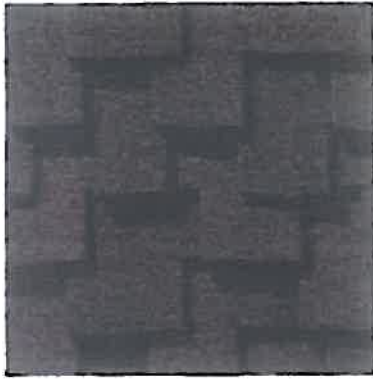
SEP 27 2014

CITY OF PLEASANTON
 PLANNING DIVISION

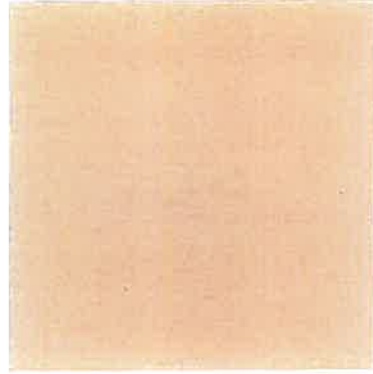
C. LANDSCAPE					
	Enter the landscape area percentage				
Yes	C1. Plants Grouped by Water Needs (Hydrozoning)	0			1
Yes	C2. Three Inches of Mulch in Planting Beds	1			1
	C3. Resource Efficient Landscapes				
No	C3 1 No Invasive Species Listed by Cal-IPC	0			1
Yes	C3 2 Plants Chosen and Located to Grow to Natural Size	1			1
Yes	C3 3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	3			3
	C4. Minimal Turf in Landscape				
Yes	C4 1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	1			2
≤25%	C4 2 Turf on a Small Percentage of Landscaped Area	0			2
Yes	C5. Trees to Moderate Building Temperature	0	1	1	1
Yes	C6. High-Efficiency Irrigation System	0			2
Yes	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil	0			2
No	C8. Rainwater Harvesting System	0			3
No	C9. Recycled Wastewater Irrigation System	0			1
No	C10. Submeter or Dedicated Meter for Landscape Irrigation	0			2
≤0.65 ETo	C11. Landscape Meets Water Budget	0			2
	C12. Environmentally Preferable Materials for Site				
No	C12 1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing	0			1
No	C13. Reduced Light Pollution	0	1		
Yes	C14. Large Stature Tree(s)	1	1		
No	C15. Third Party Landscape Program Certification	0			1
No	C16. Maintenance Contract with Certified Professional	0			1
D. STRUCTURAL FRAME AND BUILDING ENVELOPE					
	D1. Optimal Value Engineering				
No	D1 1 Joists, Rafters, and Studs at 24 Inches on Center	0	1		2
No	D1 2 Non-Load Bearing Door and Window Headers Sized for Load	0			1
No	D1 3 Advanced Framing Measures	0			2
No	D2. Construction Material Efficiencies	0			1
	D3. Engineered Lumber				
Yes	D3 1 Engineered Beams and Headers	1			1
Yes	D3 2 Wood I-Joists or Web Trusses for Floors	1			1
No	D3 3 Engineered Lumber for Roof Rafters	0			1
No	D3 4 Engineered or Finger-Jointed Studs for Vertical Applications	0			1
No	D3 5 OSB for Subfloor	0			0.5
No	D3 6 OSB for Wall and Roof Sheathing	0			0.5
No	D4. Insulated Headers	0	1		
	D5. FSC-Certified Wood				
No	D5 1 Dimensional Lumber, Studs, and Timber	0			6
No	D5 2 Panel Products	0			3
	D6. Solid Wall Systems				
No	D6 1 At Least 90% of Floors	0			1
No	D6 2 At Least 90% of Exterior Walls	0	1		1
No	D6 3 At Least 90% of Roofs	0	1		1
No	D7. Energy Heels on Roof Trusses	0	1		
No	D8. Overhangs and Gutters	0	1		1
	D9. Reduced Pollution Entering the Home from the Garage				
No	D9 1 Detached Garage	0			2
No	D9 2 Mitigation Strategies for Attached Garage	0			1
	D10. Structural Pest and Rot Controls				
No	D10 1 All Wood Located At Least 12 Inches Above the Soil	0			1
No	D10 2 Wood Framing Treated With Borates or Factory-Impregnated, or Wall Materials Other Than Wood	0			1
No	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)	0			1
E. EXTERIOR					
No	E1. Environmentally Preferable Decking	0			1
No	E2. Flashing Installation Third-Party Verified	0			2
No	E3. Rain Screen Wall System	0			2
Yes	E4. Durable and Non-Combustible Cladding Materials	1			1
	E5. Durable Roofing Materials				
Yes	E5 1 Durable and Fire Resistant Roofing Materials or Assembly	1			1
No	E6. Vegetated Roof	0	2	2	
F. INSULATION					
	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content				
No	F1 1 Walls and Floors	0			1
No	F1 2 Ceilings	0			1
	F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions				
No	F2 1 Walls and Floors	0			1
No	F2 2 Ceilings	0			1
	F3. Insulation That Does Not Contain Fire Retardants				
No	F3 1 Cavity Walls and Floors	0			1
No	F3 2 Ceilings	0			1
No	F3 3 Interior and Exterior	0			1

G. PLUMBING									
	G1. Efficient Distribution of Domestic Hot Water								
Yes	G1.1 Insulated Hot Water Pipes	1		1					
No	G1.2 WaterSense Volume Limit for Hot Water Distribution	0							1
No	G1.3 Increased Efficiency in Hot Water Distribution	0							2
	G2. Install Water-Efficient Fixtures								
No	G2.1 WaterSense Showerheads with Matching Compensation Valve	0							2
No	G2.2 WaterSense Bathroom Faucets	0							1
No	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams	0							1
No	G3. Pre-Plumbing for Graywater System	0							1
No	G4. Operational Graywater System	0							3
H. HEATING, VENTILATION, AND AIR CONDITIONING									
	H1. Sealed Combustion Units								
Yes	H1.1 Sealed Combustion Furnace	1						1	
Yes	H1.2 Sealed Combustion Water Heater	2						2	
No	H2. High Performing Zoned Hydronic Radiant Heating System	0		1	1				
	H3. Effective Ductwork								
Yes	H3.1 Duct Mastic on Duct Joints and Seams	1		1					
No	H3.2 Pressure Balance the Ductwork System	0		1					
No	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified	0			1				
	H5. Advanced Practices for Cooling								
No	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms	0		1					
	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality								
Yes	H6.1 Meet ASHRAE 62.2-2010 Ventilation Residential Standards	Y	R	R	R	R	R	R	R
No	H6.2 Advanced Ventilation Standards	0			1				
No	H6.3 Outdoor Air Ducted to Bedroom and Living Areas	0			2				
	H7. Effective Range Hood Design and Installation								
No	H7.1 Effective Range Hood Ducting and Design	0			1				
No	H7.2 Automatic Range Hood Control	0			1				
No	H8. No Fireplace or Sealed Gas Fireplace	0			1				
No	H9. Humidity Control Systems	0			1				
No	H10. Register Design Per ACCA Manual T	0		1					
Yes	H11. High Efficiency HVAC Filter (MERV 8+)	1			1				
I. RENEWABLE ENERGY									
No	I1. Pre-Plumbing for Solar Water Heating	0		1					
Yes	I2. Preparation for Future Photovoltaic Installation	1		1					
	I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)			25					
	I4. Net Zero Energy Home								
No	I4.1 Near Zero Energy Home	0		2					
No	I4.2 Net Zero Electric	0		4					
J. BUILDING PERFORMANCE AND TESTING									
No	J1. Third-Party Verification of Quality of Insulation Installation	0			1				
No	J2. Supply and Return Air Flow Testing	0		1	1				
No	J3. Mechanical Ventilation Testing and Low Leakage	0			1				
No	J4. Combustion Appliance Safety Testing	0			1				
2008	J5. Building Performance Exceeds Title 24 Part 6								
13.00%	J5.1 Home Outperforms Title 24 Part 6	21		60					
No	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst	0		1					
No	J7. Participation in Utility Program with Third-Party Plan Review	0		1					
No	J8. ENERGY STAR for Homes	0		1					
No	J9. EPA Indoor airPlus Certification	0			1				
No	J10. Blower Door Testing	0			2				
K. FINISHES									
	K1. Entryways Designed to Reduce Tracked-In Contaminants								
No	K1.1 Individual Entryways	0			1				
No	K2. Zero-VOC Interior Wall and Ceiling Paints	0			2				
Yes	K3. Low-VOC Caulks and Adhesives	1			1				
	K4. Environmentally Preferable Materials for Interior Finish								
No	K4.1 Cabinets	0						2	
No	K4.2 Interior Trim	0						2	
No	K4.3 Shelving	0						2	
No	K4.4 Doors	0						2	
No	K4.5 Countertops	0						1	
	K5. Formaldehyde Emissions in Interior Finish Exceed CARB								
No	K5.1 Doors	0			1				
No	K5.2 Cabinets and Countertops	0			2				
No	K5.3 Interior Trim and Shelving	0			2				
No	K6. Products That Comply With the Health Product Declaration Open Standard	0			2				
No	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion	0			2				
No	K8. Comprehensive Inclusion of Low Emitting Finishes	0			1				
L. FLOORING									
No	L1. Environmentally Preferable Flooring	0						3	
No	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential	0					3		
No	L3. Durable Flooring	0						1	
No	L4. Thermal Mass Flooring	0		1					

M. APPLIANCES AND LIGHTING							
Yes	M1. ENERGY STAR® Dishwasher	1				1	
No	M2. CEE-Rated Clothes Washer	0		1		2	
No	M3. Size-Efficient ENERGY STAR Refrigerator	0		2			
	M4. Permanent Centers for Waste Reduction Strategies						
No	M4 1 Built-In Recycling Center	0			1		
No	M4 2 Built-In Composting Center	0			1		
	M5. Lighting Efficiency						
No	M5 1 High-Efficacy Lighting	0		2			
No	M5 2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant	0		2			
N. COMMUNITY							
	N1. Smart Development						
No	N1 1 Infill Site	0	1			1	
No	N1 2 Designated Brownfield Site	0	1				
No	N1 3 Conserve Resources by Increasing Density	0		2	1	2	
No	N1 4 Cluster Homes for Land Preservation	0	1			1	
	N1 5 Home Size Efficiency					9	
	Enter the area of the home, in square feet						
	Enter the number of bedrooms						
No	N2. Home(s)/Development Located Within 1/2 Mile of a Major Transit Stop	0	2				
	N3. Pedestrian and Bicycle Access						
	N3 1 Pedestrian Access to Services Within 1/2 Mile of Community Services		2				
	Enter the number of Tier 1 services						
	Enter the number of Tier 2 services						
No	N3 2 Connection to Pedestrian Pathways	0	1				
No	N3 3 Traffic Calming Strategies	0	2				
	N4. Outdoor Gathering Places						
No	N4 1 Public or Semi-Public Outdoor Gathering Places for Residents	0	1				
No	N4 2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services	0	1				
	N5. Social Interaction						
No	N5 1 Residence Entries with Views to Callers	0	1				
Yes	N5 2 Entrances Visible from Street and/or Other Front Doors	1	1				
Yes	N5 3 Porches Oriented to Street and Public Space	1	1				
No	N5 4 Social Gathering Space	0	1				
	N6. Passive Solar Design						
No	N6 1 Heating Load	0		2			
No	N6 2 Cooling Load	0		2			
	N7. Adaptable Building						
No	N7 1 Universal Design Principles in Units	0	1		1		
No	N7 2 Full-Function Independent Rental Unit	0	1				
O. OTHER							
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	
No	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	0		0.5		1	
No	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs	0		0.5	0.5	0.5	
No	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals	0		0.5	0.5	0.5	
No	O5. Home System Monitors	0		1		1	
	O6. Green Building Education						
No	O6 1 Marketing Green Building	0	2				
No	O6 2 Green Building Signage	0		0.5		0.5	
Yes	O7. Green Appraisal Addendum	Y	R	R	R	R	
No	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation	0				1	
Summary							
Total Available Points in Specific Categories		342	26	131	54	83	48
Minimum Points Required in Specific Categories		50	2	25	6	6	6
Total Points Achieved		50.0	4.0	25.0	6.0	7.0	8.0



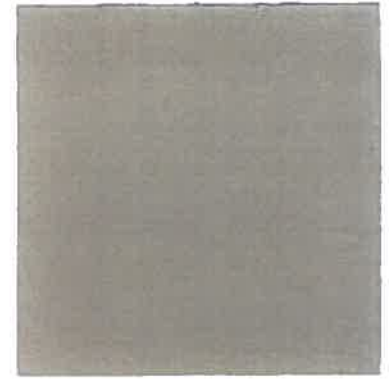
**Roofing— Certainteed
Presidential TL Asphalt
Shingle Autumn Blend**



**Stucco & Garage Doors -
Sherwin Williams
Empire Gold SW0012**



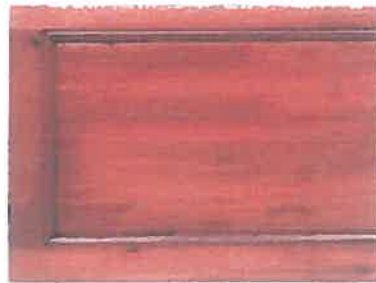
**Masonry Veneer –
Eldorado Stone Padova
Fieldledge**



**Shingle Siding – Sherwin
Williams Hopsack
SW6109**



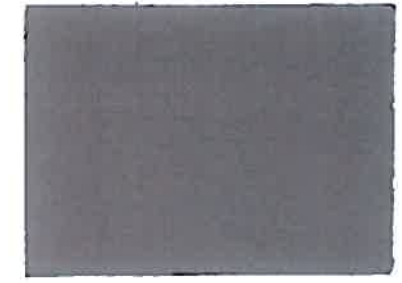
**Windows, French Doors,
& Sliding Glass Doors -
Jeld Wen Siteline EX,
Sage Brown**



**Front Entry Door &
Windows – Craftsman in
Wood Knotty Alder with
Nevada Finish**



**Masonry Sills, Caps &
Arched Window Header
Molding– Eldorado
Stone Earth Chiseled
Edge**



**Window Trim, Eaves,
Rakes, Wood Doors –
Kelly Moore KM648-D**