

**P15-0001**  
**Exhibit A, Draft Conditions of Approval**  
**1 Winding Oaks Drive**  
**June 10, 2015**

**SPECIAL CONDITIONS OF APPROVAL**

**Planning Division**

1. The proposed Design Review shall conform substantially to the project plans, view simulations, and color and material board Exhibit B, dated "Received April 29, 2015," on file with the Planning Division, except as modified by the following conditions. Minor changes to the plans may be allowed subject to the approval of the Director of Community Development if found to be in substantial conformance to the approved exhibits.
2. The Design Review will lapse and shall become void one year following the date on which the Design Review became effective, unless prior to the expiration of one year a building permit is issued and construction which was the subject of the Design Review application is commenced and diligently pursued toward completion on the site, or the applicant or his or her successor has filed a request for extension with the Director of Community Development pursuant to the provisions of the Pleasanton Municipal Code Section 18.12.030.
3. Prior to issuance of a building permit, the applicant shall submit a growth management application for Zoning Administrator review and action. The growth management approval shall be granted prior to issuance of a building permit.
4. The applicant shall obtain all required City permits prior to construction.
5. All conditions of approval for this case shall be reprinted and included as a plan sheet(s) with the building permit plan check sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
6. All windows shall be recessed divided light design. If simulated mullions are used, they shall be located on both sides of the glass.
7. The applicant shall submit a final landscape and irrigation plan within the building permit plan set to the Planning Division for review and approval before installation. Details of the fencing shall be included with the landscape and irrigation plans. Said landscape plan shall be detailed in terms of species, location, size, quantities, and spacing. Plant species shall be of drought tolerant nature with an irrigation system that maximizes water conservation (e.g. drip system). The revised landscape plan shall also show the removal of all landscaping up-lights.
8. The applicant shall comply with the State of California's Model Water Efficient Landscape Ordinance and Bay Friendly Basics Landscape Checklist. A licensed

landscape architect shall verify the compliance with the ordinance and checklist prior to the issuance of a building permit, and then prior to the final inspection conducted by the Planning Division. The verifications shall be provided to the Planning Division.

9. In accordance with the timing requirements below, the landscape architect or landscape designer shall certify in writing to the Director of Community Development that the landscaping has been installed in accordance with the approved landscape and irrigation plans with respect to size, number, and species of plants and overall design concept. A special inspection by the Planning Division shall be coordinated with regards to landscaping and irrigation.

Landscaping installation time requirements:

1. Prior to occupancy, all front and side yard landscaping (those areas between Old Vineyard Avenue and the house, and those areas between Winding Oaks Drive and the house) shall be installed and inspected; and
  2. Rear yard and any other remaining landscaping not specified above but shown on the final landscape plan (those areas between the rear property line (eastern side of subject parcel) and the house and those areas south of the house) shall be installed by the homeowner within nine months of occupancy. The homeowner shall arrange a landscape/irrigation site inspection with the Planning Division within thirty (30) days of completion of the side and rear yard landscaping/irrigation system installation.
10. Prior to occupancy, the property owner shall replace any dead mitigation trees on the subject lot that were required pursuant to PUD-54 and Tract 7815 with new trees consistent with the City approved tree replacement plan and adequate irrigation as determined by the Director of Community Development.
  11. Should any of the 11 relocated trees die, the property owner shall replace the dead tree with a 15-gallon size tree of the same species within 30 days.
  12. All retaining walls shall be stucco and painted to match the body color of the proposed home.
  13. All exterior lighting including landscape lighting shall be directed downward and designed or shielded so as to not shine onto neighboring properties. The project/building developer shall submit a final lighting plan, and include drawings and/or manufacturer's specification sheets showing the size and types of light fixtures proposed for the exterior of the buildings.
  14. The electrical plan for the home shall provide telecommunications infrastructure consistent with state-of-the-art methods (e.g. cabling for DSL, broadband, or wireless service, wiring for total room access, etc.) in effect at the time that building permit(s) are issued. The plan shall be part of the building permit plan set.

15. A minimum of one appliance or system meeting Energy Star standards shall be installed as part of the project. The proposed appliances shall be stated on the plans submitted for the issuance of a building permit.
16. Water conservation devices such as low-flow faucets, toilets, shower fixtures, etc., shall be installed as part of the project. The water conservation devices shall be stated on the plans submitted for the issuance of a building permit.
17. The State of California's Green Building Standards Code, "CALGreen", as amended, shall apply, as applicable.
18. All excess soil from the site shall be off-hauled from the site and disposed of in a lawful manner. No temporary stockpiling of dirt on this site shall occur without specific review and approval by the Planning Division.
19. All demolition and construction activities, inspections, plan checking, material delivery, staff assignment or coordination, etc., shall be limited to the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday. No construction shall be allowed on State or Federal Holidays, Saturdays or Sundays. The Director of Community Development may allow earlier "start-times" or later "stop-times" for specific construction activities (e.g., concrete pouring), if it can be demonstrated to the satisfaction of the Director of Community Development that the construction noise and construction traffic noise will not affect nearby residents or businesses. All construction equipment must meet Department of Motor Vehicles (DMV) noise standards and shall be equipped with muffling devices. Prior to construction, the applicant shall post on the site the allowable hours of construction activity.
20. The building permit plan check package will be accepted for submittal only after completion of the 15-day appeal period, measured from the date of the approval letter, unless the project developer submits a signed statement acknowledging that the plan check fees may be forfeited in the event that the approval is overturned on appeal, or that the design is significantly changed as a result of the appeal. In no case will a building permit be issued prior to the expiration of the 15-day time-period.

## **STANDARD CONDITIONS**

### **Community Development Department**

21. The project applicant/developer shall submit a refundable cash bond for hazard and erosion control. The amount of this bond will be determined by the Director of Community Development. The cash bond will be retained by the City until all the permanent landscaping is installed for the development, including individual lots, unless otherwise approved by the department.
22. The project developer shall submit a written dust control plan or procedure as part of the improvement plans.

23. If any prehistoric or historic artifacts, or other indication of cultural resources are found once the project construction is underway, all work must stop within 20 meters (66 feet) of the find. A qualified archaeologist shall be consulted for an immediate evaluation of the find prior to resuming groundbreaking construction activities within 20 meters of the find. If the find is determined to be an important archaeological resource, the resource shall be either avoided, if feasible, or recovered consistent with the requirements of the State CEQA Guidelines. In the event of discovery or recognition of any human remains in any on-site location, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains until the County coroner has determined, in accordance with any law concerning investigation of the circumstances, the manner and cause of death and has made recommendations concerning treatment and dispositions of the human remains to the person responsible for the excavation, or to his/her authorized representative. A similar note shall appear on the improvement plans.
24. The applicant shall pay any and all fees to which the property may be subject prior to issuance of building permits. The type and amount of the fees shall be those in effect at the time the building permit is issued. This includes, but is not limited to, the park dedication fees.
25. The applicant shall pay the applicable Zone 7 and City connection fees and water meter cost for any water meters, including irrigation meters. Additionally, the applicant shall pay any applicable Dublin San Ramon Services District (DSRSD) sewer permit fee prior to issuance of a building permit.

### **Planning Division**

26. To the extent permitted by law, the project applicant shall defend (with counsel reasonably acceptable to the City), indemnify and hold harmless the City, its City Council, its officers, boards, commissions, employees and agents from and against any claim (including claims for attorney's fees), action, or proceeding brought by a third party against the indemnified parties and the applicant to attack, set aside, or void the approval of the project or any permit authorized hereby for the project, including (without limitation) reimbursing the City its attorney's fees and costs incurred in defense of the litigation. The City may, in its sole discretion, elect to defend any such action with attorneys of its choice.
27. The Applicant shall work with the Pleasanton Unified School District (PUSD) to develop a program to offset this project's long term effect on school facility needs in Pleasanton in addition to the school impact fees required by State law. This program shall be designed to fund school facilities necessary to offset this project's reasonably related effect on the long-term need for expanded school facilities. The method and manner for the provision of these funds and/or facilities shall be approved by the PUSD and in place prior to building permit issuance. Written proof of compliance with this condition shall be provided by Applicant to the City, on a form generated by the PUSD, prior to building permit issuance.

28. The applicant/building developer shall submit a final list of the green building measures used in the design of the house covered by this approval to the Planning Division for the review and approval by the Director of Community Development prior to the building permit submittal. The home shall be designed to achieve a “certified rating” of a minimum of 50 total points, achieving at least the minimum points in each category, using BuildItGreen’s current GreenPoints rating system. Notwithstanding the foregoing, the State of California’s Green Building Standards Code, “CALGreen”, as amended, shall also apply.

The green building measures shall be shown on one of the first two pages of the plans submitted for issuance of a building permit. Each point identified shall have a notation indicating the sheet the point can be found, and each sheet shall note where the point is located. All proposed green building measures shall be shown throughout the plan set, as appropriate, as determined by the Director of Community Development.

A special inspection by from the Planning Division shall be coordinated with regards to landscaping, irrigation, and exterior materials. All of the green building measures indicated on the approved checklist shall be inspected and approved by either the City of Pleasanton, or a third party rater, or the applicants shall provide written verification by the project engineer, architect, landscape architect, or designer.

29. The residence shall be constructed to allow for future installation of a photovoltaic (PV) system and solar water heating systems. The project applicant shall comply with the following requirements for making the dwelling photovoltaic-ready and solar-water-heating-ready:
- a. Electrical conduit and cable pull strings shall be installed from the roof/attic area to the building’s main electrical panels;
  - b. An area shall be provided near the electrical panel for the installation of an “inverter” required to convert the direct current output from the photovoltaic panels to alternating current;
  - c. Engineer the roof trusses to handle an additional load as determined by a structural engineer to accommodate the additional weight of a prototypical photovoltaic system beyond that anticipated for roofing.
  - d. Plumbing shall be installed for solar-water heating; and
  - e. Space shall be provided for solar-heating tank.

These measures shall be shown on the building permit plan set submitted to the Director of Community Development for review and approval before issuance of the first building permit.

30. All HVAC condensing units shall be located on the plans.
31. Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed.

32. Planning Division approval is required before any changes are implemented in site design, grading, house design, house colors or materials, green building measures, landscape material, etc.
33. The developer and future homeowners are encouraged to use reclaimed gray water, rain water, etc., for landscape irrigation. If used, the details shall be shown on the permit plan set to the satisfaction of the Director of Community Development before issuance of a building permit.
34. The developer and future homeowners are encouraged to use best management practices for the use of pesticides and herbicides.
35. The project developer must provide to the Director of Community Development a building height certification performed by a licensed land surveyor or civil engineer. Said certification must allow for the installation of finished roof materials and must meet the approved building height.
36. The approved building materials and colors shall be stated on the plans submitted for issuance of building permits.
37. Campers, trailers, motor homes, or any other similar vehicle are not allowed on the construction site except when needed as sleeping quarters for a security guard.
38. A construction trailer shall be allowed to be placed on the project site for daily administration/coordination purposes during the construction period.
39. Portable toilets used during construction shall be kept as far as possible from existing residences and shall be emptied on a regular basis as necessary to prevent odor.
40. The project developer shall submit a building pad elevation certification and foundation certification prepared by a licensed land surveyor or registered civil engineer to the Chief Building Official, certifying that the pad elevations and building locations (setbacks) conform to the approved plans, prior to receiving a foundation inspector for the structures.

### **Building**

41. All retaining walls higher than four feet from the top of the wall to the bottom of the footway shall be constructed of reinforced concrete, masonry, or other material as approved by the Director of Community Development, or shall be an approved crib wall type. Calculations signed by a registered civil engineer shall accompany the wall plans.
42. At the time of building permit plan submittal, the project developer shall submit a final grading and drainage plan prepared by a licensed civil engineer depicting all final grades and on-site drainage control measures to prevent stormwater runoff onto adjoining properties.

43. Prior to issuance of building or demolition permits, the applicant shall submit a waste management plan to the Building and Safety Division. The plan shall include the estimated composition and quantities of waste to be generated and indicate how the project developer intends to recycle at least 75 percent of the total job site construction and demolition waste measured by weight or volume. Proof of compliance shall be provided to the Chief Building Official prior to the issuance of a final building permit. During demolition and construction, the project developer shall mark all trash disposal bins "trash materials only" and all recycling bins "recycling materials only." The project developer shall contact Pleasanton Garbage Service for the disposal of all waste from the site.

### **Landscaping**

44. The project developer shall post cash, letter of credit, or other security satisfactory to the Director of Community Development in the amount of \$5,000 for each tree required to be preserved, up to a maximum of \$25,000. This cash bond or security shall be retained for one year following acceptance of public improvements or completion of construction, whichever is later, and shall be forfeited if the trees are destroyed or substantially damaged. No trees shall be removed other than those specifically designated for removal on the approved plans or tree report.
45. The following statements shall be printed on the site, grading, and landscape plans where applicable to the satisfaction of the Director of Community Development prior to issuance of a building permit:
- a. No existing tree may be trimmed or pruned without prior approval by Community Development Director.
  - b. No equipment may be stored within or beneath the driplines of the existing trees.
  - c. No oil, gasoline, chemicals, or other harmful materials shall be deposited or disposed within the dripline of the trees or in drainage channels, swales, or areas that may lead to the dripline.
  - d. No stockpiling/storage of fill, etc., shall take place underneath or within five feet of the dripline of the existing trees.
46. Prior to issuance of a grading or building permit, the project developer shall install a temporary six foot tall chain-link fence (or other fence type acceptable to the Director of Community Development) outside of the existing tree drip lines, as shown on the plans. The fencing shall remain in place until final landscape inspection by Community Development Department. Removal of such fencing prior to that time may result in a "stop work order."
47. The project developer shall provide root control barriers and four inch perforated pipes for street trees and trees in planting areas less than ten feet in width, as determined necessary by the Director of Community Development at the time of review of the final landscape plans.

48. For purposes of erosion control, the applicant/developer shall plant a hydroseed mixture that has been designed by the project Landscape Architect. The hydroseed mixture shall be specified on the building permit plans for review and approval by the Director of Community Development and shall be maintained by the applicant/developer.

### **Engineering Division**

49. The project developer shall comply with the recommendations of the Subdivisions' geotechnical report approved as part of PUD-54. The project developer shall hire a geotechnical consultant to review and approve all foundation, retaining wall, and drainage geotechnical aspects of the final development plans to ensure that the recommendations have been properly incorporated into the development. The consultant shall certify by writing on the plans or as otherwise acceptable to the City Engineer that the final development plan is in conformance with the geotechnical report approved with the Subdivision as part of PUD-54.
50. The haul route for all materials to and from this development shall be approved by the City Engineer prior to the issuance of a permit, and shall address the need to schedule major truck trips and deliveries during off peak travel times, to avoid peak travel congestion. It shall also include the provision to monitor the street surfaces used for the haul route so that any damage and debris attributable to the haul trucks is identified and corrected at the expense of the project applicant or developer.
51. All dry utilities (electric power distribution, gas distribution, communication service, Cable television, street lights and any required alarm systems) required to serve existing or new development shall be installed in conduit, underground in a joint utility trench unless otherwise specifically approved by the City Engineer.
52. Any damage to existing street improvements during construction on the subject property shall be repaired to the satisfaction of the City Engineer at full expense to the project developer and includes but is not limited to slurry seal, overlay, restoration of landscaping and irrigation system, signing, striping, pavement marking or street reconstruction if deemed warranted by the City Engineer.
53. This approval does not guarantee the availability of sufficient water and/or sewer capacity to serve the project.
54. There shall be no direct roof leaders connected to the street gutter or storm drain system, unless otherwise approved by the City Engineer.
55. The project developer and/or the project developer's contractor(s) shall obtain an encroachment permit from the City Engineer prior to any work to be performed within the public right of way.
56. The project developer shall submit a final grading and drainage plan prepared by a licensed civil engineer depicting all final grades and drainage control measures, including concrete-lined V-ditches, to protect all cut and fill slopes from surface water



overflow. This plan shall be subject to the review and approval of the City Engineer prior to the issuance of a grading permit.

57. The project developer shall include erosion control measures on the final grading plan, subject to the approval of the City Engineer. The project developer is responsible for ensuring that the contractor is aware of such measures. All cut and fill slopes shall be revegetated and stabilized as soon as possible after completion of grading, in no case later than October 15. No grading shall occur between October 15 and April 15 unless approved erosion control measures are in place, subject to the approval of the City Engineer. Such measures shall be maintained until such time as a permanent landscaping is in place.
58. All retaining walls along the street shall be placed behind the Public Service Easement (PSE), unless otherwise approved by the City Engineer.

### **Fire**

59. The project developer shall keep the site free of fire hazards from the start of construction until the final inspection.

### **Urban Stormwater**

60. The project shall comply with the "Alameda Countywide NPDES Permit #CAS612008 dated October 14, 2009 and amendments to this permit" issued by the California Regional Water Quality Control Board, San Francisco Bay Region, a copy of which is available at Community Development Department, Public Works/Engineering section at City offices, Alameda County Clean Water Program, at the State Water Board, and the following websites:

[http://www.waterboards.ca.gov/sanfranciscobay/water\\_issues/programs/stormwater/Municipal/index.shtml](http://www.waterboards.ca.gov/sanfranciscobay/water_issues/programs/stormwater/Municipal/index.shtml);

[http://www.waterboards.ca.gov/water\\_issues/programs/stormwater/construction.shtml](http://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.shtml)

#### **A. Design Requirements**

1. The Permit design requirements include, but are not limited to, the following:
  - a. Source control, site design measures, and design and implementation of stormwater treatment measures are required when commercial, industrial or residential development creates and replaces 10,000 square feet or more of impervious surface, including roof area, streets and sidewalk.
  - b. The Permit requires a proactive Diazinon pollutant reduction plan (aka Pesticide Plan) to reduce or substitute pesticide use with less toxic alternatives.
2. The following requirements shall be incorporated into the project:

- a. The project developer shall submit a final grading and drainage plan prepared by a licensed civil engineer depicting all final grades and on-site drainage control measures including bio-swales. Irrigated bio-swales shall be redesigned as needed to the satisfaction of the City Engineer to optimize the amount of the stormwater running off the paved surface that enters the bio-swale at its most upstream end. This plan shall be subject to the review and approval of the City Engineer prior to the issuance of any building permits.
- b. Landscaping shall be designed to minimize irrigation and runoff, promote surface infiltration where appropriate and acceptable to the project soils engineer, and minimize the use of fertilizers and pesticides that can contribute to stormwater pollution.
  - Structures shall be designed to prohibit the occurrence and entry of pests into buildings, thus minimizing the need for pesticides.
  - Where feasible, landscaping shall be designed and operated to treat stormwater runoff. In areas that provide detention of water, plants that are tolerant of saturated soil conditions and prolonged exposure to water shall be specified. Soil shall be amended as required. (See planting guidelines of the Alameda County Clean Water Program.)
  - Plant materials selected shall be appropriate to site specific characteristics such as soil type, topography, climate, amount and timing of sunlight, prevailing winds, rainfall, air movement, patterns of land use, ecological consistency and plant interactions to ensure successful establishment.
  - Landscaping shall also comply with City of Pleasanton ordinances and policies regarding water conservation.
- c. Roof drains shall discharge and drain away from the building foundation. Ten percent of the stormwater flow shall drain to a landscaped area or to an unpaved area wherever practicable.

#### B. Construction Requirements

The project developer is responsible for implementing the following Best Management Practices (BMPs). These, as well as any other applicable measures, shall be included in the Stormwater Pollution Prevention Plan (SWPPP) and implemented as approved by the City.

- a. The project developer shall include erosion control/stormwater quality measures on the final grading plan which shall specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydroseeding, hay bales, sandbags, and siltation fences and are subject to the review and approval of the City Engineer/Chief Building Official. If no grading plan is required, necessary erosion control/stormwater quality measures shall be shown on the site plan submitted for an on-site permit, subject to the review and approval of the Building and Safety Division. The project developer is

responsible for ensuring that the contractor is aware of and implements such measures.

- b. All cut and fill slopes shall be revegetated and stabilized after completion of grading, but in no case later than October 15. Hydroseeding shall be accomplished before September 15 and irrigated with a temporary irrigation system to ensure that the grasses are established before October 15. No grading shall occur between October 15 and April 15 unless approved erosion control/stormwater quality measures are in place, subject to the approval of the City Engineer/Chief Building Official. Such measures shall be maintained until such time as permanent landscaping is in place.
- c. Gather all sorted construction debris on a regular basis and place it in the appropriate container for recycling to be emptied at least on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to stormwater runoff pollution.
- d. Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement and storm drains adjoining the site. Limit construction access routes onto the site and place gravel on them. Do not drive vehicles and equipment off paved or graveled areas during wet weather. Broom sweep the street pavement adjoining the project site on a daily basis. Scrape caked-on mud and dirt from these areas before sweeping.
- e. Install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site in order to retain any debris or dirt flowing into the storm drain system. Maintain and/or replace filter materials to ensure effectiveness and to prevent street flooding.
- f. Create a contained and covered area on the site for the storage of cement, paints, oils, fertilizers, pesticides, or other materials used on the site that have the potential of being discharged into the storm drain system through being windblown or in the event of a material spill.
- g. Never clean machinery, equipment, tools, brushes, or rinse containers into a street, gutter, or storm drain.
- h. Ensure that concrete/gunite supply trucks or concrete/plaster operations do not discharge wash water into street, gutters, or storm drains.

### C. Operation Requirements

The following requirements shall be incorporated into the project:

- a. The applicant, present homeowner, and future homeowners of the home covered by this approval are encouraged to use best management practices

for the use of pesticides and herbicides.

- b. Vegetated swales with grasses shall be mowed and clippings removed on a regular basis.

## **CODE REQUIREMENTS**

### **Building**

*(Applicants/Developers are responsible for complying with all applicable Federal, State and City codes and regulations regardless of whether or not the requirements are part of this list. The following items are provided for the purpose of highlighting key requirements.)*

- 61. The project developer shall submit a building survey and/or record of survey and a site development plan in accordance with the provisions of Chapter 18.68 of the Municipal Code of the City of Pleasanton. These plans shall be approved by the Chief Building and Safety Official prior to the issuance of a building permit. The site development plan shall include all required information to design and construct site, grading, paving, drainage, and utilities.
- 62. The project developer shall post address numerals on the building so as to be plainly visible from all adjoining streets or driveways during both daylight and night time hours.
- 63. The building covered by this approval shall be designed and constructed to meet Title 24 state energy requirements.
- 64. All building and/or structural plans must comply with all codes and ordinances in effect before the Building and Safety Division will issue permits.

### **Fire**

*(Applicants/Developers are responsible for complying with all applicable Federal, State and City codes and regulations regardless of whether or not the requirements are part of this list. The following items are provided for the purpose of highlighting key requirements.)*

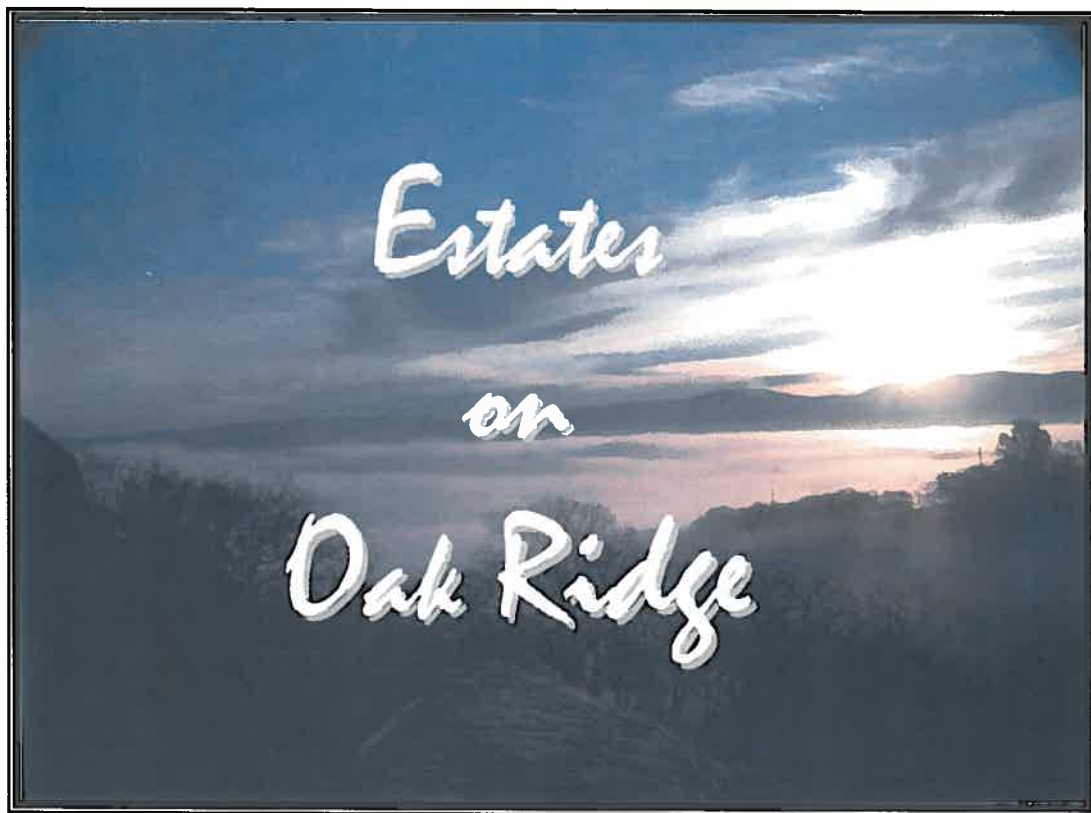
- 65. All construction shall conform to the requirements of the California Fire Code currently in effect, City of Pleasanton Building and Safety Division and City of Pleasanton Ordinance 2015. All required permits shall be obtained.
- 66. Automatic fire sprinklers shall be installed in all occupancies in accordance with City of Pleasanton Ordinance 2015. Installations shall conform to the National Fire Protection Association (NFPA) Pamphlet 13 for commercial occupancies, NFPA 13D for residential occupancies, and NFPA 13R for multifamily residential occupancies.
- 67. Fire alarm system shall be provided and installed in accordance with the CFC currently in effect, the City of Pleasanton Ordinance 2015 and 2002 NFPA 72 - National Fire Alarm Code. Notification appliances and manual fire alarm boxes shall be provided in all

areas consistent with the definition of a notification zone (notification zones coincide with the smoke and fire zones of a building). Shop drawings shall be submitted for permit issuance in compliance with the CFC currently in effect.

68. All buildings undergoing construction, alteration or demolition shall comply with Chapter 14 (California Fire Code currently in effect) pertaining to the use of any hazardous materials, flame-producing devices, asphalt/tar kettles, etc.
69. The building (s) covered by this approval shall conform to the requirements of the California Building Code currently in effect, the California Fire Code currently in effect and the City of Pleasanton Ordinance 2015. If required plans and specifications for the automatic fire sprinkler system shall be submitted to the Livermore-Pleasanton Fire Department for review and approval prior to installation. The fire alarm system, including water flow and valve tamper, shall have plans and specifications submitted to Fire Prevention for review and approval prior to installation. All required inspections and witnessing of tests shall be completed prior to final inspection and occupancy of the building(s).

**< End >**

**EXHIBIT C**



Vineyard Avenue Corridor  
Pleasanton, CA

## **Architectural Design Guidelines**

*Approved by  
City of Pleasanton Planning Commission  
August 23, 2006*

## **Table of Contents**

<b>1.0</b>	<b>Introduction</b>
1.1	Principles and Purpose of the Guidelines
1.2	Homesites
1.3	Architectural Design Committee
<b>2.0</b>	<b>Design Review Process</b>
2.1	Pre-Design Conference
2.2	Preliminary Design Review Submittal
2.3	Final Design Review Submittal
<b>3.0</b>	<b>Submittal Requirement Flow Chart</b>
<b>4.0</b>	<b>Site Planning</b>
4.1	Building Height Requirements
4.2	Building Setbacks
4.3	Grading & Drainage
4.4	Garages
4.5	Driveways & Parking
4.6	Fences & Walls
4.7	Accessory Structures
4.8	Hardscapes
<b>5.0</b>	<b>Architecture</b>
5.1	Design Philosophy
5.2	Materials
5.3	Architectural Styles
<b>6.0</b>	<b>Landscape Design</b>
6.1	Landscape Plan
6.2	Planting Requirements
<b>7.0</b>	<b>Soils Report</b>
<b>8.0</b>	<b>General Rules for all Oak Hill Estates Contractors and Service Personnel</b>
	<b>Appendix A — Architectural Details</b>
	<b>Appendix B — Application Forms</b>
	<b>Appendix C --- Designated Development Areas</b>

## **1.0 Introduction**

The gently rolling hills along the southern borders of the Vineyard Avenue Corridor provide panoramic vistas of the valley below. Care has been taken in the planning, design, and implementation phases of The Estates on Oak Ridge to ensure aesthetic harmony between the natural beauty of the site and its planned uses. To this end, it is of utmost importance that the homes and other structures in The Estates on Oak Ridge be creatively conceived, environmentally sensitive and demonstrate architectural integrity.

### **1.1 Principles and Purpose of the Guidelines**

These Architectural Guidelines have been prepared in conformance with the spirit and objectives of the Vineyard Avenue Corridor Specific Plan and the declared and recorded Covenants, Conditions & Restrictions of The Estates on Oak Ridge. That Declaration established the Architectural Design Committee and sets forth its jurisdiction, powers, obligations, and the rules and regulations under which it will conduct its review of proposed improvements. Any statements contained in this document are to condense, amplify, or clarify provisions of that Declaration. They are intended to provide lot purchasers, homebuilders, house designers and architects with a set of parameters for the preparation of their working drawings. Adherence to these guidelines will assure the owners that The Estates on Oak Ridge will be known for its uncompromising standards of architectural quality and authenticity.

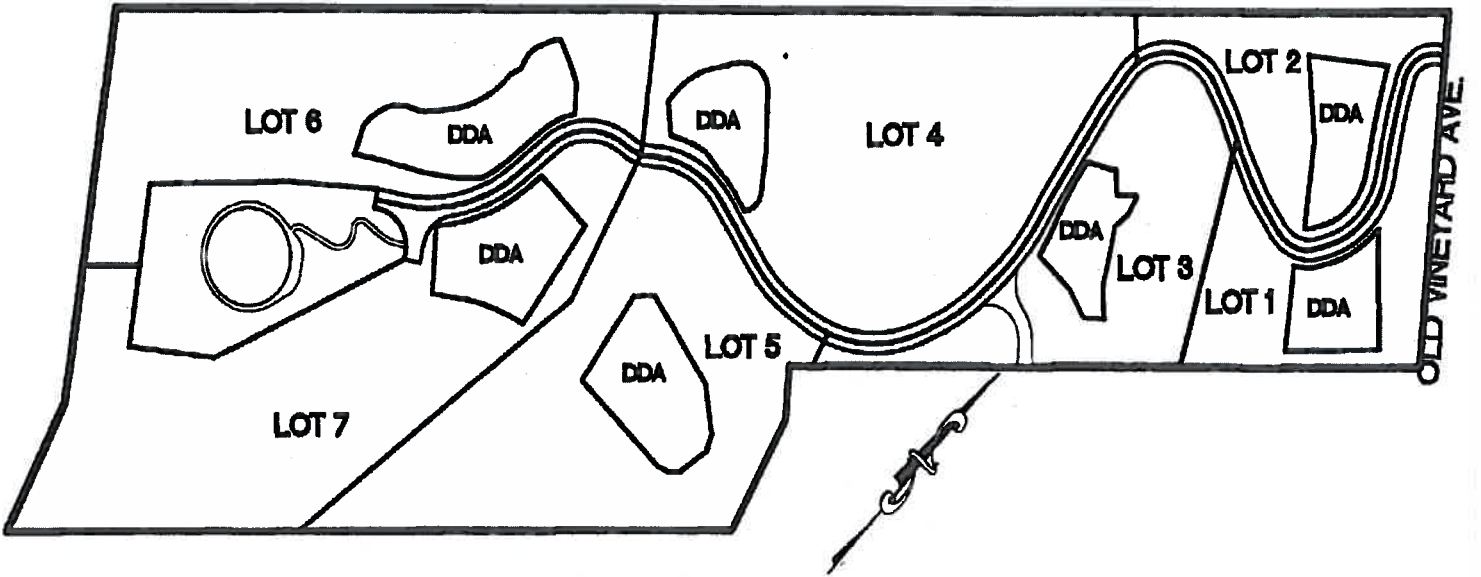
Purchasers of lots are encouraged to become familiar with these Design Guidelines and to carefully review all provisions of the CC&R's and the Vineyard Avenue Corridor Specific Plan prior to submitting their plans for review. The purpose of this process is to define aesthetic standards for construction and to establish The Estates on Oak Ridge as a community that is a model in maintaining the beauty and natural elements of the site as well as excellence in architectural design. The Architectural Design Guidelines are not intended to restrict individual creativity or preferences, but rather to maintain within the overall community the aesthetic relationship between the homes and the natural elements of the surrounding area.

### **1.2 Homesites**

The Vineyard Avenue Corridor Land Use Plan designates this parcel as Lot 25. Zoned as Hillside Residential (HR) The Estates on Oak Ridge has been planned for seven homes (six new sites in addition to the existing home). In addition to the seven home sites the parcel also houses one of the City's domestic water storage facilities.



# SITE PLAN



## ESTATES ON OAK RIDGE

# LOT STATISTICS

8/2/2007

LOT	TOTAL SIZE (1)	PAD SIZE (1)	DDA SIZE (1)	OPEN SPACE (1)	FAR (2)	HOUSE SIZE (3)	24" BOX TREES PER LOT (4)					
1	1.4 61,097	ac sf	0.19 8,257	ac sf	0.28 12,332	ac sf	1.12 48,765	ac sf	0.44	5,426	SF	12
2	1.4 60,826	ac sf	0.22 9,644	ac sf	0.33 14,380	ac sf	1.07 46,446	ac sf	0.42	6,040	SF	14
3	1.96 85,598	ac sf	0.23 10,032	ac sf	0.26 11,400	ac sf	1.7 74,198	ac sf	0.51	5,814	SF	11
4	3.96 172,673	ac sf	0.28 12,342	ac sf	0.32 14,055	ac sf	3.64 158,618	ac sf	0.48	6,746	SF	14
5	3.35 145,741	ac sf	0.48 20,935	ac sf	0.46 20,119	ac sf	2.88 125,622	ac sf	0.42	8,450	SF	20
6	3.3 143,556	ac sf	0.46 20,204	ac sf	0.5 21,772	ac sf	2.8 121,784	ac sf	0.43	9,362	SF	22
7	3.75 163,582	ac sf	0.38 16,577	ac sf	0.44 19,185	ac sf	3.31 144,397	ac sf	0.47	9,017	SF	19

- (1) INFORMATION IN THESE COLUMNS PROVIDED BY CIVIL ENGINEER
- (2) INFORMATION TAKEN FROM THESE ARCHITECTURAL GUIDELINES
- (3) HOUSE SIZE DETERMINED BY SIZE OF DDA MULTIPLIED BY THE FAR
- (4) ONE 24' BOX TREE REQUIRED FOR EVERY 1000 SQUARE FEET OF DDA AREA

### **1.3 Architectural Design Committee**

An Architectural Design Committee (ADC) has been established to review and approve or disapprove proposed improvements or development plans, including but not limited to site plans, dwellings, garages, accessory buildings of any kind and the construction and installation of landscaping, walks, driveways, parking areas, decks, patios, courtyards, swimming pools, awnings, walls, fences, exterior lights, and any addition, change or alteration to existing structures, including but not limited to paint or staining of any exterior surface. This will insure that the elements of the Design comply with the overall principles and guidelines as stated in this document. All home site development plans must comply with the standards established for The Estates on Oak Ridge by the ADC and approved by the City of Pleasanton, as well as all applicable building codes. Development plans will be reviewed by the ADC and approved or denied based on these principles and guidelines.

For this purpose, an Architectural Design Committee will review all designs, plans and construction documents for:

- Consideration of natural elements in each site
- Sensitivity to the special conditions and potential of each site
- Excellence of and compliance with architectural style chosen.
- Compliance with the guidelines established for each lot.

The Architectural Design Committee is composed of three members who are intricately involved in the development of The Estates on Oak Ridge. Additionally, an architect or other design professional may serve on or act as a consultant to the Committee.

### **2.0 Design Review Process**

The design review process has been established to assist owners in the development of their plans and to ensure that each individual building design from concept to final working drawings conforms to the requirements of these Guidelines. Thus, the Design Review procedure involves three major steps (1) Pre-Design Conference, (2) Preliminary Design Review Submittal, (3) Final Design Review Submittal. Plans may be submitted to the City Planning Department for their review and approval only after Preliminary Design Review approval.

Only after approval by both the Architectural Design Committee and the City Planning Department may working drawings be submitted to the Building Department for issuance of a building permit. The Architectural Design Committee is not responsible for verifying conformance of plans to governmental construction and safety standards. Compliance with all governmental regulations is the obligation of each owner and his or her design team. The Planning and Building Departments should be contacted at the beginning of the process to ensure compliance with their requirements.

Each home shall submit a landscape plan at the time of Preliminary Design Review. Each home will have *front yard landscaping* complete prior to occupancy by the owner. Completion of the rear yard landscaping must be accomplished within nine (9) months of occupancy. Time extensions will be considered for completion of front yard landscaping during inclement weather.

These guidelines and the design approval process also apply to remodeling and additions to the existing improvements which were previously approved for construction.

## 2.1 Pre-Design Conference

The Pre-Design Conference is intended to give a homesite owner the opportunity to share with the Committee the design concept of the proposed home. These ideas can be conveyed by sharing photographs of homes from books, magazines and/or rough sketches that illustrate the desired look.

The purpose of the Pre-Design Conference is to ensure that the homesite owner and the Committee are in agreement with the design concept prior to preparation of the Preliminary Design Submittal. This conference must be scheduled with the ADC within three months of the Close of Escrow on the home site.

Before proceeding to the Preliminary Design Review owners and designers should become familiar with and be ready to comply with the current City of Pleasanton Planning Department plan review process. The proposed homes on each lot are subject to Design Review Approval by the City's Planning Commission.

## 2.2 Preliminary Design Review Submittal

The Preliminary Design Submittal package shall contain two (2) sets of plans as listed below. Plans should be submitted on 24" x 36" minimum sheet size; drawn at 1/4" = 1'-0" unless noted otherwise; be in order; and include any other the additional information below. Each sheet should list the street address and lot number on the title block.

### I. Site Plan

A site plan drawn at 1/8" = 1'-0" scale showing:

Property Lines; square footage of living areas; impervious surface and FAR calculations;

Contours, existing grades, proposed finish grades and swales;

Home locations, setbacks and easements;

Driveway, parking, and turnaround locations;

Proposed top of finished floor and pad elevation;

Existing Trees

Any retaining or freestanding walls, with length, height, finish and location;

Any proposed structures including fences and accessory structures.

**2. Floor Plans**

Floor plans should be drawn at  $\frac{1}{4}'' = 1'-0''$ .  
Show and label all interior floor spaces;  
Indicate the square footage of each floor, space, or building;  
Show any decks, patios, stoops, retaining walls.

**3. Roof Plan**

Roof plan should be drawn at  $\frac{1}{4}'' = 1'-0''$ .  
Indicate roof pitches, overhang dimensions, and chimney locations.

**4. Exterior Elevations**

Elevations should be drawn at  $\frac{1}{4}'' = 1'-0''$ .  
Building elevations should be labeled to match the site plan orientation;  
Elevations should show every side, including hidden or courtyard views;  
The following should be included in the elevation drawings:

- All exterior materials and colors, roof pitches, plate heights, window and door treatments and operation, deck(s), chimney(s), exterior posts and or railings;
- Primary exterior architectural details, i.e. eaves, chimney, window trim.
- Maximum height from the existing grade to the uppermost roof peak.
- Architectural style on the drawings.

**5. Exterior Elevation Renderings**

Include elevation renderings drawn in black and white or color that show shadowing and texturing.  
These renderings are meant to illustrate how the home will look.

**6. Schematic Landscape Plan**

Schematic landscape plan should be drawn in  $\frac{1}{8}'' = 1'-0''$  scale.  
The following should be included in the plan:

- Existing and final grades. This should be coordinated with the grading plan;
- Home, driveway, and parking location; patios, walks and decks; fences and walls;
- Schematic lawn and plant bed layout; tree locations; shade structures; pools/spas;
- Accessory structures.

The City of Pleasanton Planning Department landscape plan submittal requirements differ from those of the Committee. The City Planning Dept will require that a full landscape plan be submitted for their design review approval.

7. Colors and Materials Board

Include a list and samples of preliminary colors and material selections of the following: Roofing, body, trim(s), any stone, pre-cast and/or brick. These should be mounted on a board labeled "Colors and Materials Board"; with maximum size of 8 ½" x 14".

The Colors and Materials Board should list the following:

Homesite owner's last name, lot number, date of submittal, manufacturer(s) name of color and/or material(s), manufacturer(s) style numbers.

8. ADC Application for Plan Approval

Include (2) two completed copies of the Application for Plan Approval which can be found in Appendix A of these Guidelines

9. Fees

With the Preliminary Design Review the Owner will also submit a check for \$3,500 as a processing fee. This fee will be used to cover partially the costs of reviewing the design and related submittal materials, and to compensate any consulting architects, landscape architects, technical consultants, or attorneys engaged by the ADC. After a second rejection an additional \$2,500 fee will be charged prior to any re-submittal.

In addition to the processing fee owners will place a cash deposit of \$5000 with the ADC prior to the issuance of the Final Design approval. This deposit will be fully refundable upon completion of all improvements, including landscaping, upon inspection and approval by the ADC that the improvements have been completed per the approved plans, including clean up. Damage to the common improvements or to any other lot by the owner or their builder, contractor (s), or other personnel will be deducted from this deposit.

Home site owners should submit the completed Application for Plan Approval forms, along with the architectural plans and Color and Materials Board to the Architectural Design Committee. This Application must be submitted within six months from the close of escrow. The Committee will contact the applicant within (3) three working days from the submittal date to set up an appointment to meet. For the Preliminary Design Review Process allow (14) fourteen working days from submittal date to meet with the committee to review this committee's comments.

10. Only after approval of the Preliminary Design by the ADC shall the owner submit to the City Planning Department the required plans for approval. The final plans should be started only after approval by the City Planning Department.

## 2.3 Final Design Review Submittal

After the Preliminary Design Review and approval of the overall design and materials by both the Architectural Design Committee and the City Planning Department, the homesite owner must now submit a final set of plans (working drawings) incorporating all information previously noted in the Preliminary Design submittal.

After review of the plans by the ADC, but before submitting plans to the Building Department, a set of the Final Design Review drawings, stamped as approved by the ADC, must be submitted to the City Planning Department for approval.

The Final Design Submittal shall consist of the Final Construction/Working Drawings that will be submitted to the City of Pleasanton for a building permit. Plans should be submitted on 24" x 36" minimum sheet size and be drawn at 1/4" = 1'-0" unless otherwise noted. All of the sheets should include the street address and the lot number on the title block. At minimum, the following should be submitted: *All other plan requirements as noted in the Preliminary Design Review Submittal, and evidence that the Preliminary Design submittal approved by the Architectural Design Committee has also been approved by the City Planning Department.*

1. Site Plan: Indicate Floor Area, Lot coverage, Site Area.
2. Grading and Drainage Plan: Existing and finish grades and site drainage should be shown.
3. Floor Plans: Note door and window sizes and operation; fully dimensioned floor plans; and area/square footage of each floor.
4. Exterior Elevations:  
Indicate maximum height; note architectural style on each elevation sheet; articulate with detail bubbles all typical architectural details; specify or show detail of the size, height and color of all pre-cast exterior materials including foam trim; and specify stucco finish and all exterior colors, finishes and materials.
5. Roof Plan: Note plate heights and downspout locations; specify roof pitches(s).
6. Building Sections: Indicate floor to floor heights, plate heights and relevant architectural details.
7. Architectural Details: Show detail drawings and specifications for all exterior architectural details.
8. Site Soils Report: Provide a Site Specific Soils Report for your lot.
9. Landscape Plan: Include a detailed Drainage & Irrigation Plan

### **3.0 Submittal Requirement Flow Chart**

The flow chart below represents the steps necessary to build a residence in The Estates on Oak Ridge..

#### **Pre-Design Conference**

- Meet with Architectural Design Committee to present design concepts
- Meet with City Planning staff to get current requirements for plan review submittal to the City Planning Department

#### **Preliminary Design Review Submittal**

- Submit Three (3) sets of plans of the following:
  - Site Plan & Grading Plan
  - Floor Plans
  - Exterior Elevations
  - Architectural Details
  - Roof Plan
  - Exterior Elevation Renderings
  - Schematic Landscape Plan
- Three (3) copies of the ADC Application for Plan Approval
- Colors and Materials Board

**Submittal of approved Preliminary Design plans to Planning Department for approval by City. Check with the City as their submittal requirements may differ from the Committee's.**

#### **Final Design Review Submittal**

- Submit Three (3) sets of plans of the following:
  - Site Plan
  - Grading Plan
  - Floor Plans
  - Exterior Elevations
  - Roof Plan
  - Building Sections
  - Architectural Details
  - Landscape Plan

**Submittal of the approved Final Plans to City of Pleasanton Building Department for Plan Check and Issuance of a Building Permit**



## **4.0 Site Planning**

The placement of the home is a very critical and important design decision. The underlying concept of the site plan developed for each home should reflect the demands of the architectural style of the home while at the same time remaining sensitive to the unique setting afforded by each lot. Design teams should be aware of adjacent properties so as to allow for privacy while accomplishing a harmonious design.

### **4.1 Building Size and Height Requirements**

In conformance with the Vineyard Ave Corridor Specific Plan (cf. page 25) the Building Heights for home sites one and two shall not exceed thirty feet and may be two stories. Home site three, four, five, six, and seven shall be single story and may be allowed to exceed 25 feet, but no greater than 27 feet, and may be two-story on a case-by case basis if the finding can be made that the additional height will not create more of a visual impact to offsite locations and adjacent neighbors than a structure of 25 feet or less.

To allow greater flexibility in the design and to assist in reducing the mass and coverage of the main house on the those lots designated as single story homes, (lots three, four, five, six, and seven), a two story home may be considered on a case by case basis with the following constraints: the proposed second floor area cannot be more than 20 percent of the floor area of the first floor; the proposed second floor must be "set into" the roof of the home so that the second floor walls must be set back from the first floor walls; the second floor may be integrated into the roof with dormers used for windows or to provide headroom; the height of the structure cannot exceed twenty-seven feet measured vertically.

The height of a structure shall be measured vertically from the lowest finished grade adjacent to an exterior wall of the building to the highest elevation of the building, excluding chimneys and similar roof features as permitted by City R-1-40,000 District. Prior to occupancy Owner shall furnish verification that home does not exceed the required height. Verification shall be by the civil engineer of record.

The topography and the presence of the mature Blue Oaks on each of the lots have led to the establishment of the Designated Development Area. The placement of homes and all accessory structures is restricted to this area only. A Floor Area Ratio for each of the lots has been developed. Plot plans for each lot showing the DDA and FAR can be found in Appendix B.

Floor Area shall be determined by adding the square footage of the conditioned space of each home. Stairways are counted on all floors; the floor area of garages, whether attached or detached, exceeding 700 sf shall be included in the FAR calculation; non-habitable accessory structures shall not be considered in floor area calculations. Exterior balconies, stoops and steps, decks, and porches not enclosed on three sides shall be excluded from floor area calculations. The calculated floor area shall then be divided by the square footage of the DDA, to determine conformance to the established ratio.

The size of each home site should not lead the design team to consider overburdening the Designated Development Area (building envelope) and abandon any sense of proportion and scale. Maintaining the stated goal of a harmonious design while attempting to maximize the space available to meet individual home owner's needs could lead designers to consider the use of basements to accomplish both demands. Basements, the lowest story of a building entirely below grade on all sides, may include habitable spaces. Basements will not be included in the FAR calculations. Basement design shall conform to the City of Pleasanton Building Department codes.,

The Floor Area Ratio are as follows:

Lot 1 - .44

Lot 2 - .42

Lot 3 - .51

Lot 4 - .48

Lot 5 - .42

Lot 6 - .43

Lot 7 - .47

#### **4.2 Building Development Areas and Open Space**

All buildings must be located within the Designated Development Areas as depicted on the attached land use plan. While Lot lines may extend into land designated as Open Space, the primary residential buildings and all accessory structures shall be sited only within the Designated Development Area. These designated development areas have been determined in conformance with Development Standards and Design Guidelines of the Vineyard Avenue Corridor Specific Plan (cf. pages 23 -35). The Open Space Management and Wildland Fire Protection Plan of The Estates on Oak Ridge shall be considered a part of these Guidelines.

Outdoor elements of the house which are attached to it and under the roof, such as patio covers, are considered part of the house and will not be allowed to extend outside the designated development area.. Retaining walls may be allowed to encroach into a lot's open space area.

#### **4.3 Grading and Drainage**

Care and sensitivity to the hillsides and slopes surrounding each designated development area are of paramount importance. To ensure the continued stability of all areas within the Estates on Oak Ridge a grading and drainage plan for each lot must be prepared by a licensed civil engineer. The grading and drainage plan shall conform to the recommendations of the Soils Engineer. A letter acknowledging his review shall accompany the grading Plan

The grading and drainage plan approval must be obtained from the Architectural Design Committee before any earth is moved. Grading shall be generally prohibited in Open Space Areas, and shall be strictly limited to the Designated Development Area of the Lot: Minor finish grading outside of the Designated Development Area to achieve the approved landscape plan or Fire Protection Plan is permitted (Minor finish grading is considered that grading usually performed by the landscaper and necessary to complete the approved planting plan and shall not change the existing grades by more than 12 inches.). Lot owners are not permitted to re-grade, alter, or modify any aspect of the existing drainage facilities or add fill to any lot without the prior approval of the ADC. In addition to approval from the ADC a permit from the City of Pleasanton must be issued before any grading can begin.

All roof drains, drains from hardscape areas, and landscape areas must be kept in a closed drainage system directed to the catch basin provided for each home site which terminates in the bio-retention planter. The home site owner is fully responsible for water runoff and drainage control of the home site.

Should additional graded slopes be added to the designated development area the slopes should be maintained at a maximum grade of 3:1. No retaining wall shall have an exposure of more than five feet above the finished grade at the bottom of the wall. The use of parallel retaining walls with landscaping between them may be necessary in order to minimize large cut slopes and is encouraged.

#### **4.4 Garages**

Screening of garage doors by use of side orientation, walls, and landscaping is encouraged. However, alternative design techniques may be considered on a case-by-case basis. In no case will the garage doors be allowed to be the dominant feature of the home. Lots one and two shall not have the garage doors incorporated into the elevation that faces on to Old Vineyard. Note also that the elevation of lots one and two facing Old Vineyard Road shall be designed to appear as the front elevation of the home

#### **4.5 Driveways & Parking**

Decorative driveways are encouraged. Permeable paving, pavers, or brick laid on sand, etc., shall be required for driveways and uncovered parking areas. Asphalt cannot be used on any driveway or parking area. The maximum width permitted for driveways is sixteen feet (16').

Each new home shall be provided with a minimum of a 3-car garage. A minimum of two (2) on site visitor parking spaces shall be provided on the home site.

#### **4.6 Fences and Walls**

Fences and walls should be considered as an extension of the architecture of the residence. They should be designed to be compatible with the total surrounding environment.

Only open wire fencing is allowed on the Lot lines. Wrought iron fencing may be used within the Designated Development Area. Solid privacy fencing may be considered for screening purposes only but never placed on the property lines. Solid fencing may be used only to screen equipment and garbage areas. The maximum fence height shall comply in all instances with City standards, but all fences shall not exceed six feet in height.

All fences must be approved by the ADC prior to their installation. Fence details must be included with the Landscape Plans during submittal.

Exposed retaining walls greater than five feet and all pony walls greater than three feet are prohibited. Reinforced concrete walls and smooth faced CMU walls shall be plastered and colored to match the residence and reflect the elements of the selected architectural style. Split-faced CMU walls should be avoided in proximity to the home and will only be considered in the DDA if matching the existing street walls. MSE walls matching the color of the street walls are preferred to split-faced CMU walls. Stone and earth tone-colored block or brick is a preferred and allowable retaining wall material.

All retaining walls higher than four feet from the top of the wall to the bottom of the footing shall be constructed of reinforced concrete, CMU, MSE, or shall be an approved crib type wall. They will require structural calculations signed by a registered structural engineer and approved and permitted by the City of Pleasanton.

#### **4.7 Accessory Structures**

All proposed accessory structures shall be shown on the site plan. This includes pool houses, detached garages, guest house, play structures, storage sheds or any other architectural elements proposed for a home site in addition to the main house. Arbors, trellises, gazebos and related shade structures that are open on all sides are considered separately from accessory structures. The ADC must approve all accessory structures. Pre-fabricated accessory structures are discouraged.

Accessory structures must be compatible with the architectural style of the home, including material and color selections, and be located only within the designated development area. The maximum height of any accessory structure may be twenty-five feet (25') as measured vertically from finished grade to the highest ridge and are limited to one story. City Administrative review shall be required for any accessory structure greater than ten feet in height.

Trellises, arbors, gazebos, and any shade structures shall reflect the architectural style of the home and be located within the Designated Development Area. The maximum height of a shade structure is twelve feet (12') from the finished grade to the upper most edge. Any shade structure over twelve feet (12') in height will require a variance from the Architectural Design Committee and the Administrative Design Review through the City of Pleasanton.

While secondary dwelling units may be allowed, they must be integrated fully into the architectural form of the residence and cannot be a separate accessory structure, or part of any accessory structure separated from the main residence.

#### **4.8 Hardscape**

All hardscape elements (i.e. drives, walks, patios, mow bands, etc.) should be carefully planned in conjunction with the site and landscape plans to work functionally and tie in aesthetically with the architectural style and landscape design.

The Landscape plan shall include all hardscape elements at the time of design review submittal.

All walkways and patios should blend with the style of the home's architecture. Materials that are encouraged are stone, brick, exposed aggregate, stamped and or colored concrete, and/or interlocking pavers.

All wood decks should blend in aesthetically with the design of the home. Any structural support members should be concealed, preferably with masonry materials. Lattice screening alone is not acceptable.

Pool and spa equipment and garbage areas must be screened from adjacent home sites and the street.

Exterior lighting should enhance the overall design of the residence. All exterior lighting shall be designed, installed and controlled so as to minimize lighting on the hillsides and to prevent lights pointing directly at up hill or adjacent properties. Building up-lighting and/or wash lighting on the building is prohibited., excluding low-level lighting for pathways and entryways. All exterior lighting must conform to national and local codes and must be approved by the ADC prior to installation.

Sports courts will not be permitted on any lot.

#### **5.0 Architecture**

While it is not the intent of these Architectural Guidelines to insist on one style to the exclusion of all others, it is its intent to ensure that The Estates on Oak Ridge will be an attractive place to live. Designers and architects are encouraged to strive for outstanding architectural statements as they endeavor to create pleasant living environments for their clients. Refer to page 35 in the Vineyard Avenue Corridor Specific Plan regarding Specific Hillside Residential District Design Guidelines for Architecture. The VACSP General Residential Design architectural guidelines (cf pgs. 30-31) are quoted here to give further direction:

##### **Architecture**

(1) Buildings should be designed to minimize visual height and bulk. Building height, bulk, and floor area should respond to lot size, natural site terrain, and other site conditions. Wall recesses and projections, roof overhangs, decks, porches, bay windows, dormer windows, and other architectural features are encouraged to reduce visual bulk and create interest.

(2) In sloping terrain, building form should conform to site topography by stepping buildings up or down hillsides instead of designing flatland homes for hillside settings.

(3) Housing designs should be creatively mixed to avoid a repetition of similar facades and roof lines.

(4) Roof forms should generally include traditional styles such as hip and/or gable. Flat and shed roofs should only be used for minor design elements, such as porches and dormers. Mansard and dome roofs are not appropriate.

(5) Buildings should be designed for consistency of massing, proportions, details, materials, and colors on all exterior walls.

(6) Building feature proportions (i.e., doors, windows, entries, roof forms, wall massings, etc.) should be carefully balanced. One-story entries are strongly encouraged while entries exceeding one-and-one-half stories should be prohibited.

(7) Careful design attention should be given to details around doors, windows, eaves, etc.

(8) The first-floor elevation above finished grade should be minimized to reduce overall building height.

## 5.1 Design Philosophy

Each home should incorporate elements of architectural design that have withstood the test of time. The design should reflect integrity, simplicity, and a sense of proportion. In addition to expressing the individuality of the owner, the design should reflect the characteristics and elements of the selected style.

## 5.2 Materials

For purposes of these Guidelines the word “discouraged” should be read as “prohibited”. The owner, architect, or builder will have to submit compelling reasoning to receive a consideration for the use of discouraged materials.

Exterior Walls: Brick, stucco, stone or wood. Bricks should be earth-tone in color. Non-masonry siding should be made of natural materials, such as redwood or cedar. Aluminum, vinyl, or wood-product composition board sidings, unfinished wood, and exposed plain concrete block are discouraged. Lapped fiber cement siding shall be allowed as wall material, however synthetic masonry will be permitted only on a case by case basis.

**Roofing Materials:** Slate, concrete or clay tile (barrel or flat), are allowed. While copper roofs are not permitted, faux copper will be allowed as a roofing material for certain architectural elements (eg. Cupola) but shall not be used as the primary roof material. Deviations must be approved by the ADC and be consistent with the selected Architectural Style. Sheet roof material, high glazed or glossy painted concrete tile, asbestos or hard board shingles are discouraged. Architectural composition shingles, if conforming to a particular style may be allowed. Roof-mounted solar panels and photovoltaic panels can be permitted if integrated into the roofing material or if they conform to the slope of the roof.

**Windows:** Wood, clad wood, vinyl and composite windows are permitted. Aluminum windows are discouraged. Reflective glazing in windows is not permitted, nor are white or frosted bubble skylights.

**Colors:** At the Preliminary and Final Design Submittals materials and colors will be reviewed. Warm earth tones are encouraged and preferred. The colors selected should be consistent with the proposed architectural style. Color selections may be returned for revision if they clash with or match closely homes in the immediate area. Note: Stark white, bright pastels, tan, light gray, blue, yellow or bright intense pure colors in large expanses are discouraged and inappropriate building base colors.

**Green Building:** The use of green building techniques as mandated by the building standards of the City of Pleasanton shall be followed.

### 5.3 Architectural Styles

Traditional styles that are prevalent in the warm weather wine regions of Europe are preferred. Examples of these architectural styles would be French Country, Mediterranean and Tuscan Farmhouse. Architectural styles prevalent in the San Francisco Bay Area, such as Craftsman/Bay Area Traditional and Monterey/Spanish Eclectic will also be encouraged.

**The following Architectural styles are encouraged:**

Craftsman/Bay Area Traditional	French Country
Mediterranean	Tuscan Farmhouse
Monterey/Spanish Eclectic	Tudor/English Country

The following styles are deemed to be incompatible with the surroundings and are not allowed:

Italian Villa	Colonial Revival
Queen Anne	Victorian
Shingle	Eichler
Modernistic/Contemporary	

## **Mediterranean:**

The style of Mediterranean architecture...

- Plans are usually U or L shaped
- Elevations are commonly single story with balanced proportions and restrained detailing
- Barrel tile roof with 4:12 pitch is typical
- Wall material is relatively smooth stucco in warm-toned earth colors
- Doors and window are generally recessed into thickened walls
- Window are typically wood-framed, three-light casements
- Major openings area accented with cast concrete molding or tile surrounds, wrought iron or occasionally with turned wood

Arched door ways, columns, stucco rosettes, columned trellises, promenades off courtyards, and recessed garage doors are some of the other elements of this style.



The pictures of homes used in these guidelines are for illustrative purposes only; these home designs have not been specifically approved.



## **Tuscan Farmhouse:**

The style of Tuscan Farmhouse architecture...

- Homes are inspired by the landscape's natural elements
- Plans are mostly one-story with low pitched gabled roofs with barrel tiles
- Courtyards, loggias are a major part of the plan adding to the simple but elegant layout
- Thickened walls are often framed by rustic wooden shutters
- Details like ironwork, stone masonry, exposed large timber beams, archways and columns
- Medium-to-dark earth tone exterior colors are to be used
- Thickened walls with smooth plaster stucco finish



The pictures of homes used in these guidelines are for illustrative purposes only; these home designs have not been specifically approved.

## **Monterey/Spanish Eclectic**

The style of Monterey/Spanish Architecture is...

- This style may be single or double story with an informal floor plan
- The roof is usually 4:12 pitch, using simple hip and gable forms, and maybe of barrel tile, clay tile, or concrete tile
- Rafter tails may be exposed and/or corbelled
- Colors are muted earth tones with brighter hues used for trim work
- Stucco and wood are used for wall materials with the rock or brick used for accents
- Windows are used to establish a strong indoor-outdoor relationship
- Large balconies overlook outdoor courtyards or verandas
- Wrought iron detailing, recessed wood door with stucco detailing, recessed arched porches, wooden shutters at divided light windows, or pre-cast surrounds at windows are other elements for this style.



**The pictures of homes used in these guidelines are for illustrative purposes only; these home designs have not been specifically approved.**

## **French Country:**

The style of French Country architecture is...

- The composition of the massing elements is an important design feature; house plans are normally one-story with dormers designed in the steep roofs
- Roof pitches are generally very steep. Hip and gable roofs need to be carefully designed
- Towers, dormers and gables break up large roof forms
- Porches and verandas use heavy timber for beams
- Casement windows shall have divided lights
- Stucco walls combine with a restrained use of brick and stone
- Other elements may include: recessed doors at stucco turrets, stone or plaster quoins, entrance gates with brick pillars, and arched window shutters.



The pictures of homes used in these guidelines are for illustrative purposes only; these home designs have not been specifically approved.

### **Craftsman/Bay Area Traditional:**

The style of Craftsman/Bay Area Traditional architecture is...

- Low pitched gable roofs with wide overhangs and exposed rafter tails; the most common wall cladding is wood clapboard with shingles ranking second
- Stone and brick are used primarily as accents at the porch column bases, porch surrounds, and chimneys
- Decorative false beams or braces are commonly added under gables
- Porches are a prominent design feature and are covered with gabled, shed or trellised roofs and typically supported by tapered square columns, frequently extending to ground level
- Windows have divided light
- Other elements may include a battered stone wainscot wall, exposed truss at the gable end, and stone walls with wooden corbels.



The pictures of homes used in these guidelines are for illustrative purposes only; these home designs have not been specifically approved.

### **Tudor/English Country:**

The style of Tudor/English Country architecture is...

- The primary wall materials are stucco, brick, and occasionally decorative half-timber.
- Steep roof pitches of flat clay or concrete tile with a slight color graduation to them
- Wall colors shall be medium-to-dark earth tone colors
- Chimneys with ornate brick work are a typical detail
- English bay windows with divided lights accent a brick or smooth plaster façade
- Tall narrow windows with small panes
- Prominent cross gables



The pictures of homes used in these guidelines are for illustrative purposes only; these home designs have not been specifically approved.

## **6.0 Landscape Design**

Any discussion of Landscape Design at The Estates on Oak Ridge must begin by considering the abundant presence of well established trees, especially the Blue Oaks. In preparing the Designated Development Area of each lot care has been taken to preserve the extensive stands of these magnificent trees. In addition to providing shade and screening they anchor each home site giving balance, dimension, and perspective to the structures that will be constructed. Thus the addition of landscaping around the home should first and foremost be designed to complement and enhance the natural setting that is found throughout The Estates on Oak Ridge.

To insure the best possible design, the ADC requires that all landscape plans be professionally designed by a Landscape Architect or Landscape Designer.

Care should be taken in the implementation of landscaping and hardscaping design to assure that the design complements and augments the architectural character of the home. Essential to the design is the basic need for harmony with the native terrain and natural beauty found on each lot. Landscape designers must not only develop a harmony with the natural characteristics of their site but also blend with adjacent landscapes. The use of plant materials indigenous to the area is strongly encouraged by these Guidelines.

Attention should be paid to the following sections of the Vineyard Avenue Corridor Specific Plan: page 33, section IV-C on Land Use, Landscaping for General Residential Design Guidelines; and page 35 on Landscaping for Specific Hillside Residential District Design Guidelines; also refer to page 88, section VII.D, Heritage Trees.

## **6.1 Landscape Plans**

In addition to the harmonious blending of native and indigenous plant materials consideration in the plan should be given to water conservation. Limited turf areas and the use of drought tolerant plants should be incorporated.

The landscape plan when completed should be fully detailed, showing contours and elevations clearly. The hardscape layout, drainage provisions, and all pertinent site and architectural information, including the outline of all buildings showing doors, windows, stoops and decks, should be accurately drawn to an appropriate scale (1/8" = 1'). A complete list of plant materials should be provided with plant nomenclature for positive identification. Standard nursery sizes should be indicated as well as the quantities of each plant group.

To establish and maintain the landscape plantings the design of an automatic irrigation system should be presented for review and approval. The design of the irrigation system should conform to all local and state laws, rules, and regulations, governing residential irrigation systems. The water conservation practices of the City of Pleasanton must be adhered to. Over-watering of any landscape is counter productive. On hillsides over-watering can lead to slope damage and costly repairs.

## 6.2 Planting Requirements

The selection of plant materials should lean heavily toward the native and indigenous species of trees, shrubs and ground covers which will complement the existing plant materials present in The Estates on Oak Ridge. They should be chosen and placed so that they can bring out the particular elements of the home site's architecture. The planting of new not-native materials should be compatible with the natural setting of the plan area and be confined to the immediate area of the home (VACSP pg 33).

Certain trees, shrubs, and ground covers are considered not in keeping with the envisioned planting theme of The Estates on Oak Ridge. Other trees and plants may also be so considered and prohibited upon review of the landscape plans. The following plant types are not encouraged:

<u>Botanical Name</u>	<u>Common Name</u>
Acacia Species	Acacia
Calocedrus decurrens	Incense Cedar
Cupress glabra	Smooth Arizona Cypress
Eucalyptus Species	Eucalyptus
Palmae Species	Palm
Picea Species	Spruce
Pinus Species	Pines
Cortoderia Selloana	Pampas Grass
Juniper Species	Juniper

All shrubs are to be a minimum of 5 gallon size. Shrubs viewed as ground cover may be 1 gallon size. All sizes must comply with the recognized standards for plant materials. Cf. American Nursery Association.

Views of hillside homes from off-site areas which cannot be screened by way of location and architectural design should be substantially screened by use of evergreen tree planting (VACSP pg 35).

Each lot has an established Designated Development Area and shall be required to plant one tree for every 1000sf of DDA. Trees should be planted in the DDA. Thus a lot with a DDA of 26,499 sf will require 26 trees in its landscape planting plans. Should the DDA be 26,500 sf the required number of trees would be 27. All trees should be a minimum size equivalent to a 24" box tree.

Lots one and two landscape plans shall include substantial landscape planting to screen the house from the Old Vineyard Ave corridor.

## **7.0 Soils Report**

A Soils Report has been prepared by Berlogar Geotechnical Consultants, dated March 31, 2006. It was made available to you when you purchased your home site. However you will be responsible to provide a soils report for your home prepared by a licensed soils engineer for the specific plan that you intend to build.

## **8.0 General Rules for all Contractors and Service Personnel**

The Vineyard Avenue Corridor Specific Plan should be referred to by all engaged in planning or construction work at The Estates on Oak Ridge. Section F, under Land Use, has requirements that must be followed by all who are planning or constructing work on the project.

It is the responsibility of the home site owner to present their builder, contractor, or subcontractor(s) with a copy of these rules and to make sure that they are understood and obeyed. The Architectural Design Committee will enforce these rules and pursue any necessary remedies to the full extent of the law.

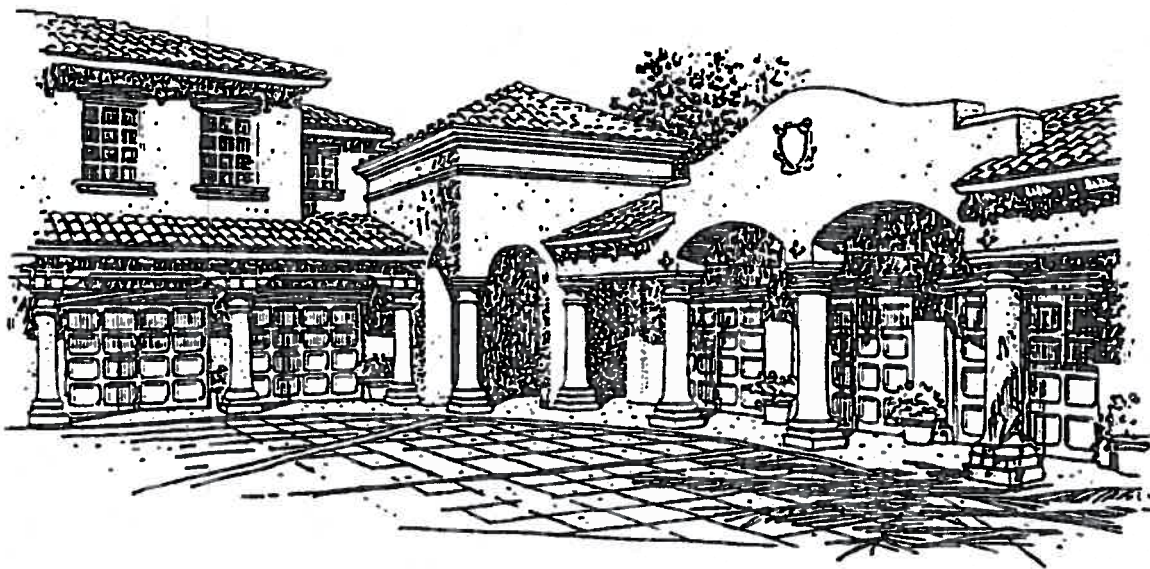
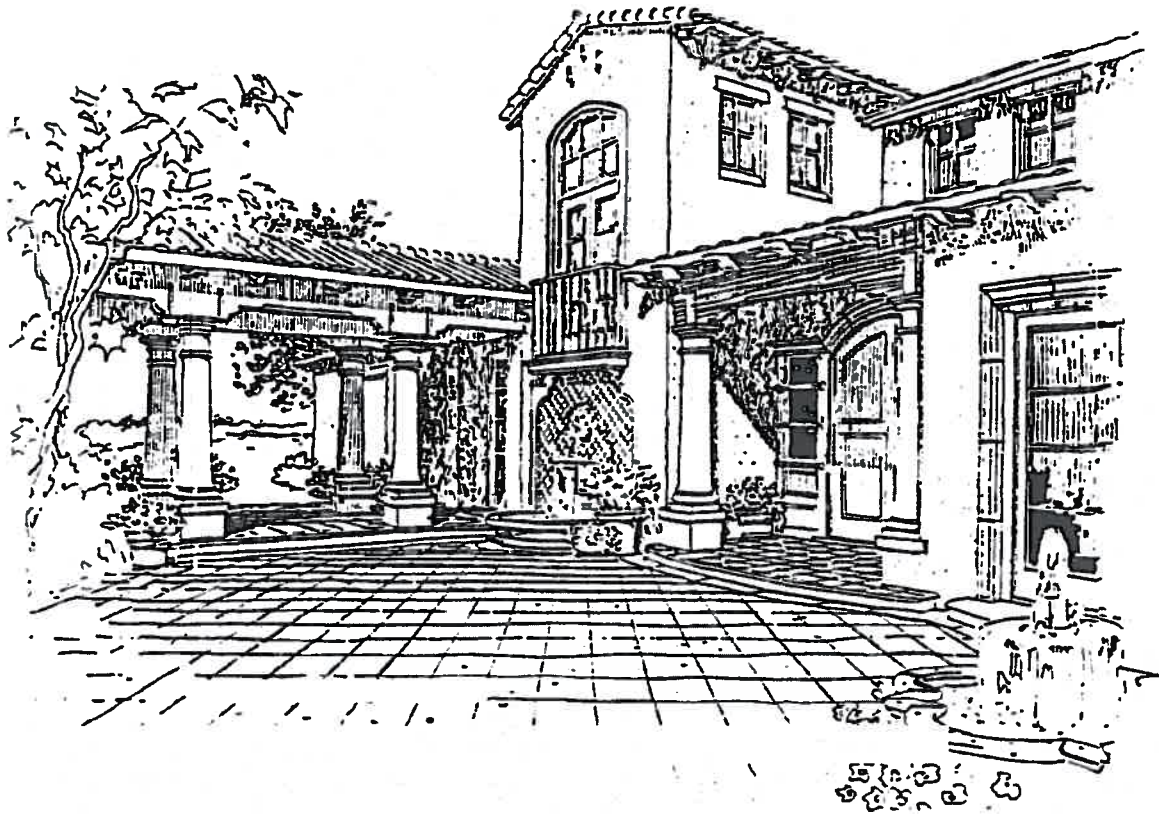
1. Construction work of any kind will be limited to the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday.
2. Owners will be required through their builder to keep their job sites as neat and clean as possible. Trash and discarded materials shall be removed daily. All trash stockpiled for removal shall be located in a fenced enclosure until removed. There will be no stockpiling or dumping on adjacent lots or on the private drive. Trash not removed will be removed and billed to the responsible homeowner.
3. Owners must insist that their builder and subcontractors utilize only the space on their lot. Use of adjacent lots for parking, staging, or storage of materials is strictly prohibited.
4. Builders, contractors, or subcontractors will use only the utilities provided on the immediate site on which they are working. Any damage to streets and curbs, drainage inlets, street lights, street markers, mailboxes, retaining walls, etc. will be the responsibility of the lot Owner; if repairs are made by the ADC such costs will be billed to the Owner or taken from the construction deposit. Should the party responsible for the damage be unknown, the repair will be taken proportionately from those Owners working at the time on their homes.
5. Streets in front of the site should be kept clean from mud, dirt, and debris deposited by construction vehicles entering or existing the job site
6. The established speed within The Estates on Oak Ridge is 15 miles per hour. Safety requirements demand that this speed limit be strictly adhered to by all.
7. There will be no washing of any truck on the street. Owners/builders will be responsible to see that all concrete delivery trucks wash out residual concrete at a designated location on their site only. Washing out on other sites is strictly prohibited.
8. Operators of vehicles are required to clean up any spills of materials. Clean up undertaken by the ADC will be billed to the responsible party.



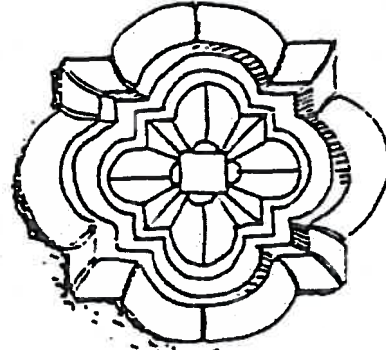
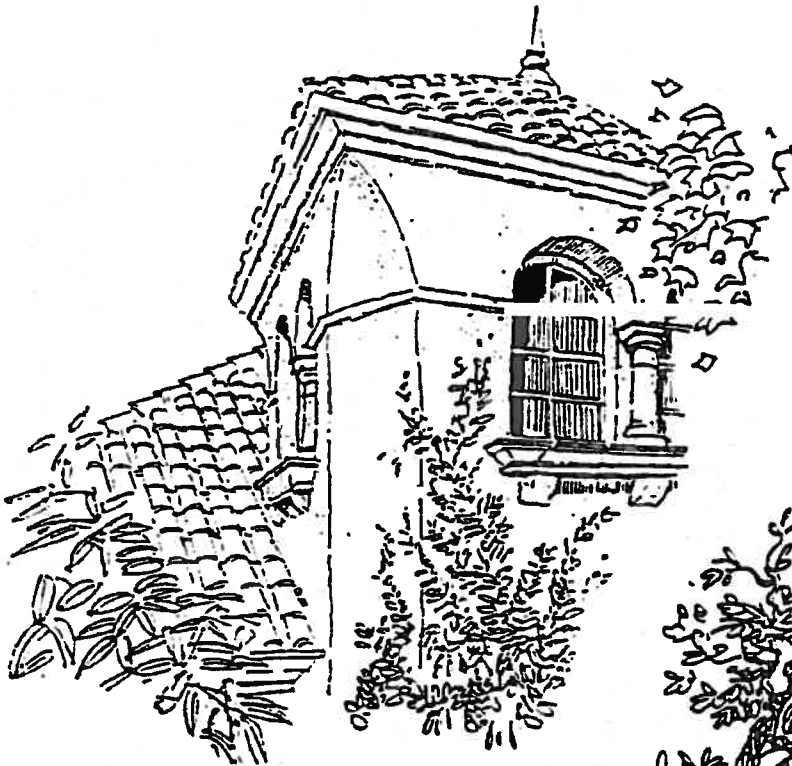
9. Damage to any underground utilities will be the responsibility of the Owner and their Builder to report the damage and be responsible for the cost of repairs. The ADC insists that all underground work in the street area be coordinated with Underground Service Alert.
10. All personnel working in the project must keep all areas in which they work free of discarded materials such as lunch bags and personal debris. Objects should not be thrown out of cars and trucks. Care should be taken to pick up wind blown debris that is carried beyond the work site.
11. Loud radios or audio equipment will not be allowed within the project. This is distracting and is discomforting to property owners and neighbors alike. Normal audio levels are acceptable at the sole discretion of the ADC. The mounting of speakers on vehicles or outside of homes under construction should not be even considered.
12. Only bona fide workers are allowed on the property. Spouses may drive workers to the site and pick them up, but must not remain on the property unless they are actual employees of the subcontractor. Owners must take note that a construction site is not a place where children are cared for. Thus no children will be permitted on the construction site even if claims are made that they are bona fide workers.
13. Vehicles of any kind may not be left in the project overnight. The parking of vehicles or erecting of storage sheds or construction offices will be allowed only in such locations designated by the ADC in writing. Construction equipment may be left on the site while needed, but must not be kept on the street.
14. The construction site is not a place for pets of any kind. Dogs, even if on a leash, are not permitted.
15. It should be obvious to Owners that in addition to pets the presence of alcoholic beverages and recreational drugs on their construction site is also prohibited. These prohibitions will be tightly enforced by the ADC.
16. Owners should make it clear to their builders that the only area in which construction activity may occur on any lot is the Designated Development Area. The balance of the lot must be kept free of any construction activity that has not been approved by the Architectural Design Committee, and the Planning and Building Dept of the City of Pleasanton.
17. Given the constraints of Winding Oaks Drive, no parking of any vehicles will be allowed. Builders are responsible for providing on-site parking for their work crews' vehicles. Driveways and parking areas shall be covered with 6" of crushed stone or gravel to permit crew vehicles to be parked and to afford easy ingress and egress for material deliveries

**APPENDIX A — ARCHITECTURAL DETAILS**

**MEDITERRANEAN**

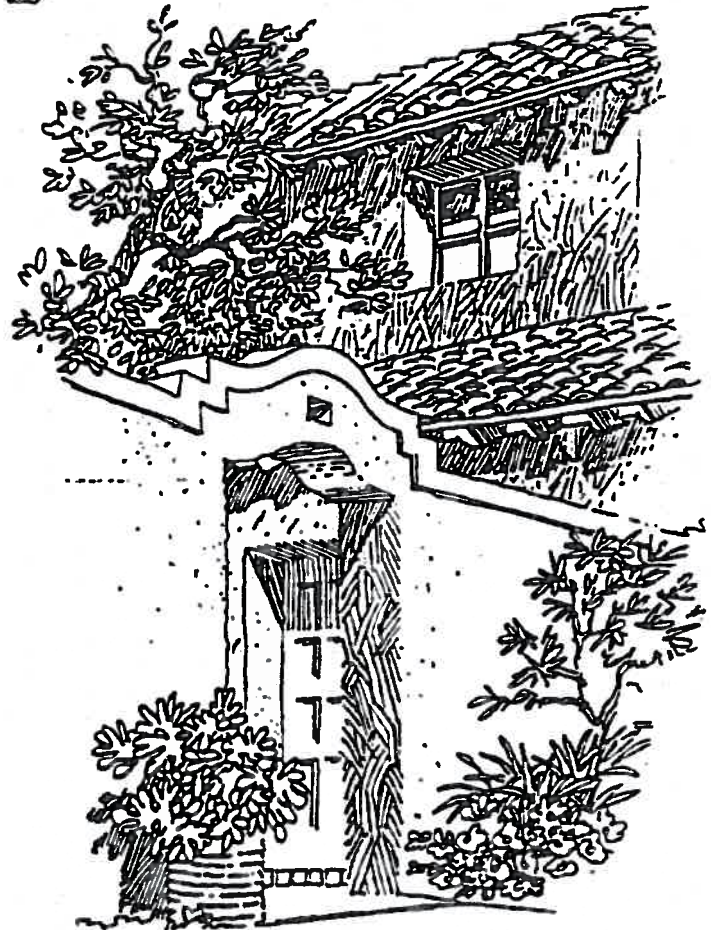
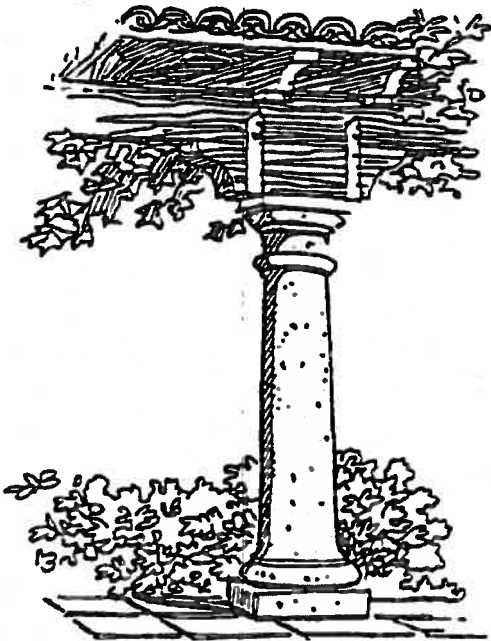


# MEDITERRANEAN

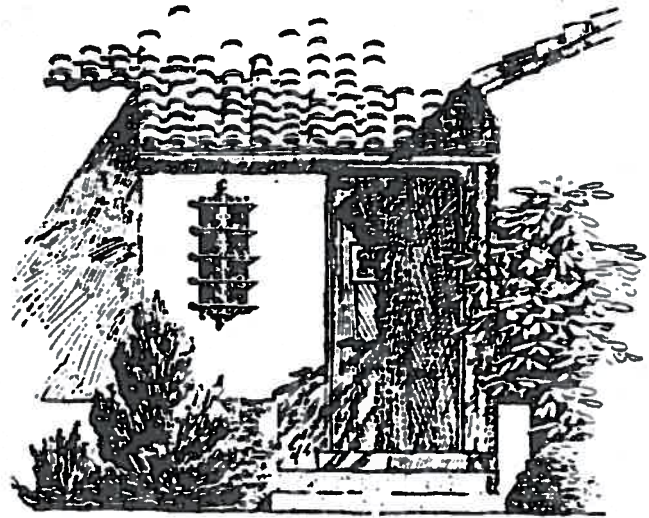
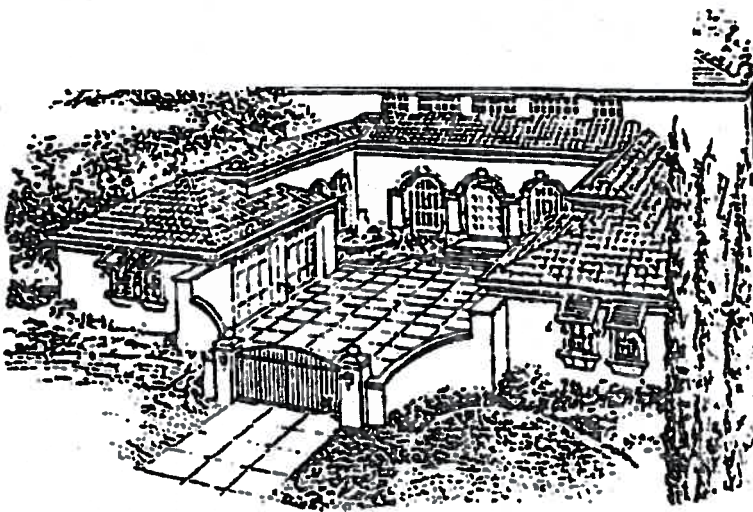
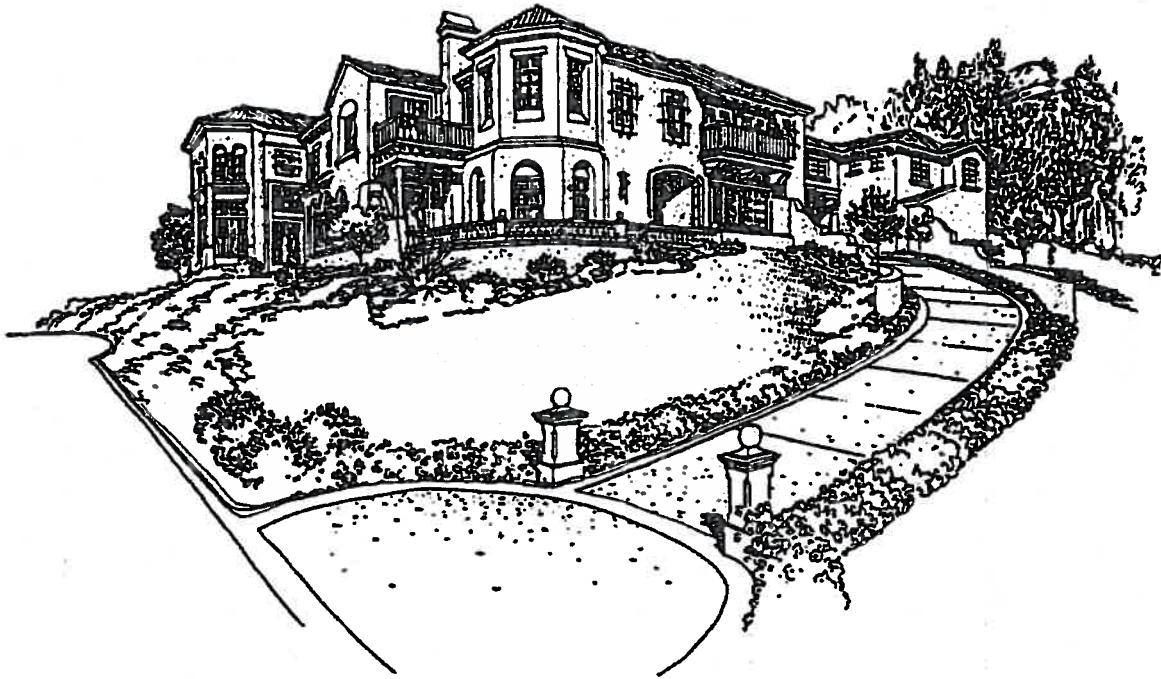


• Stucco rosette.

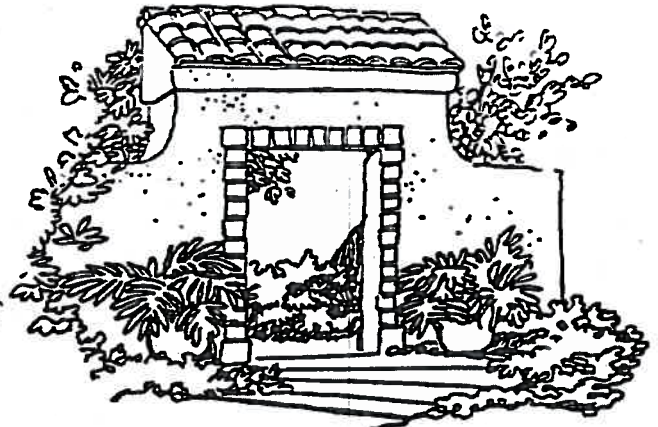
• Column detail at arched window.



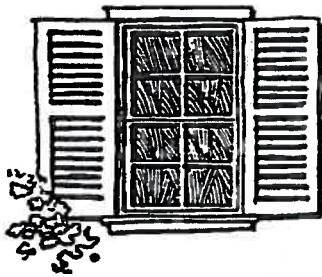
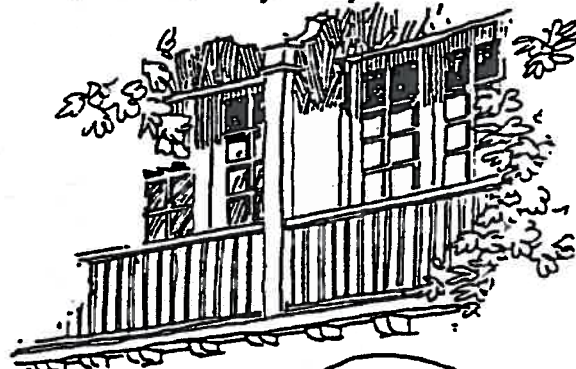
# MONTEREY / SPANISH ECLECTIC



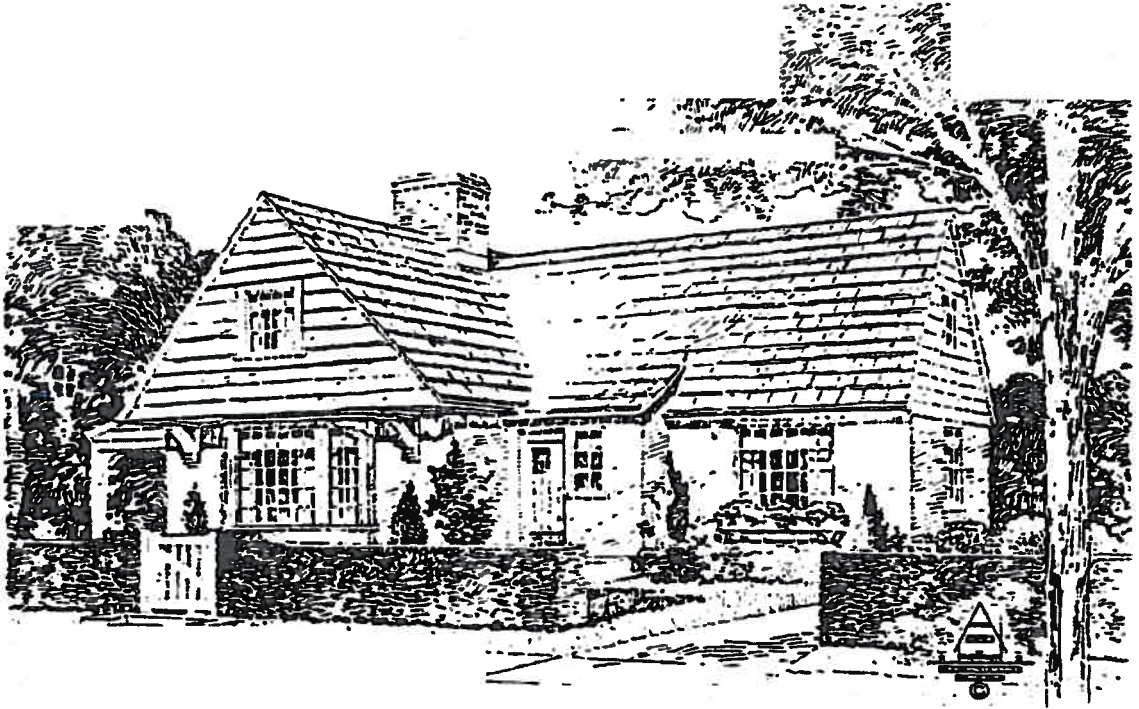
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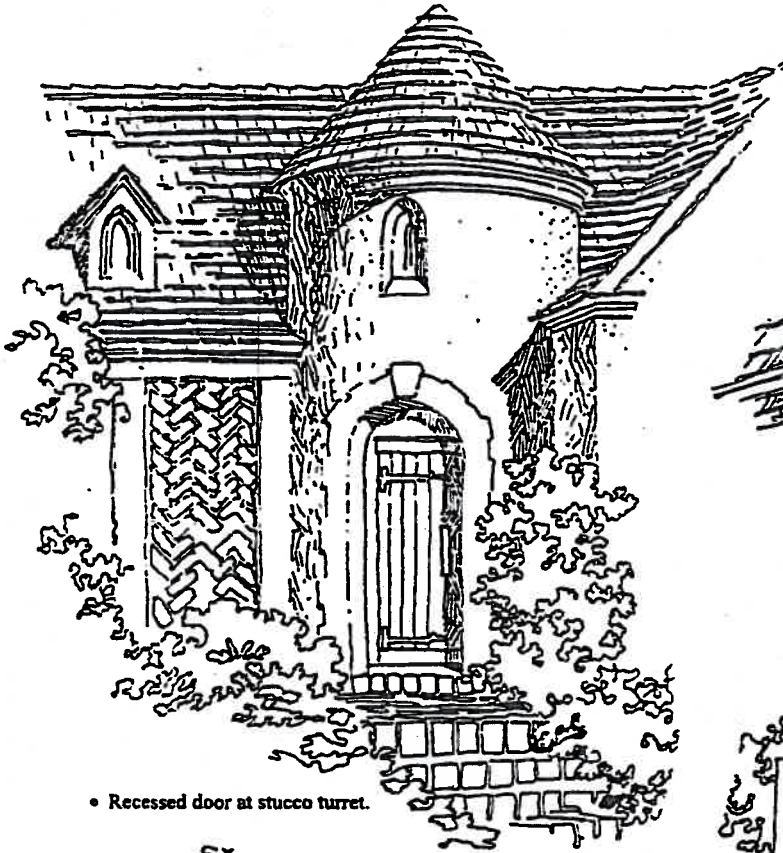
• Inset tile at courtyard entry.



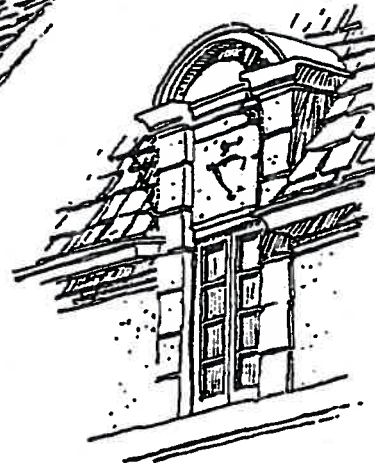
# FRENCH COUNTRY



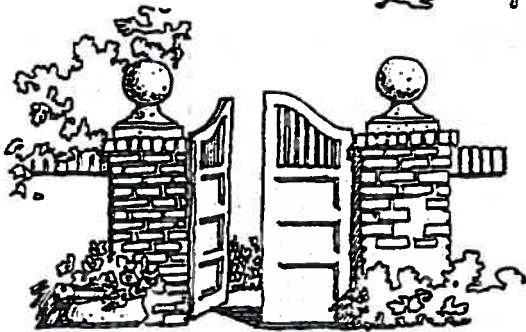
# FRENCH COUNTRY



• Recessed door at stucco turret.



• Stone or plaster quoins.



## CRAFTSMAN / BAY AREA TRADITIONAL

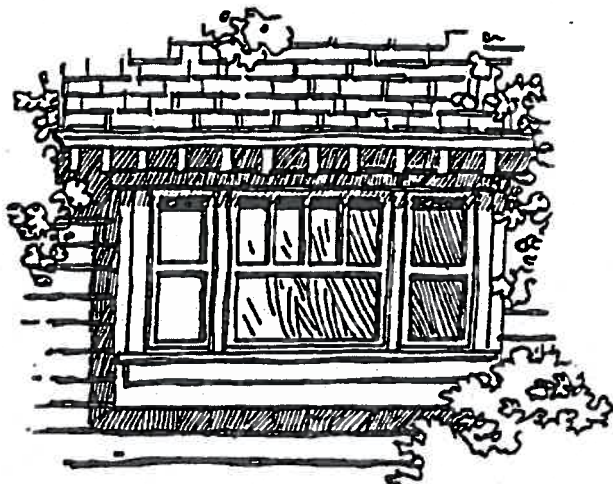




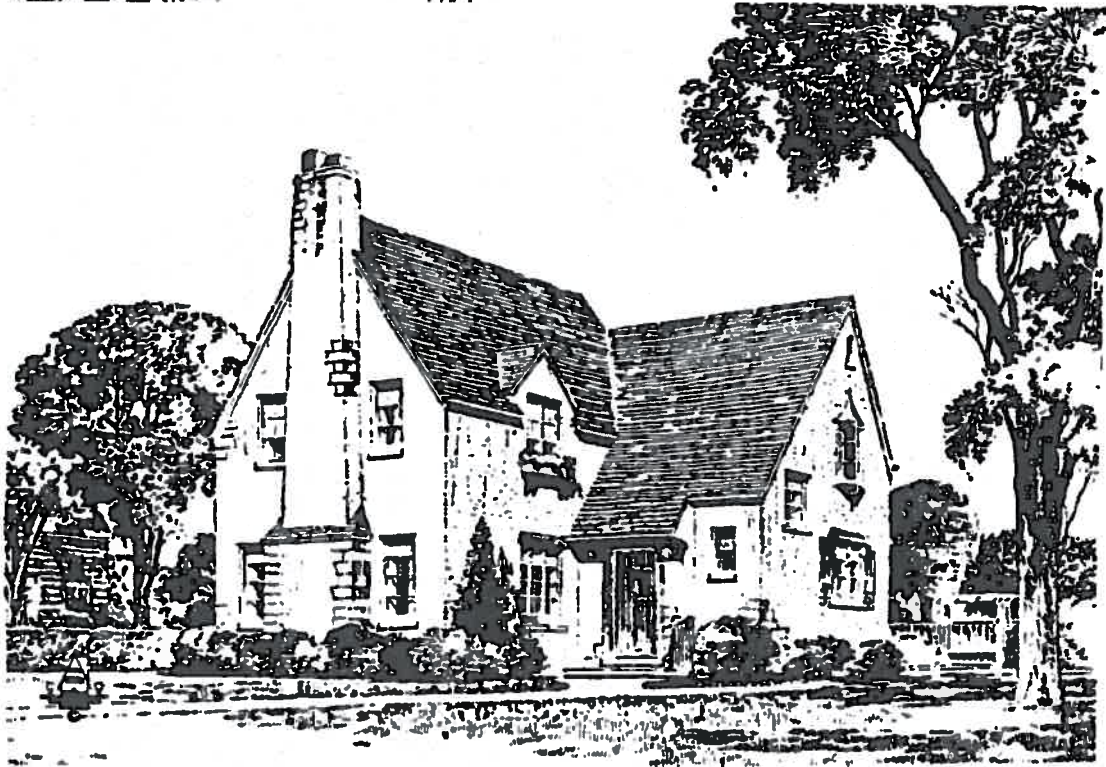
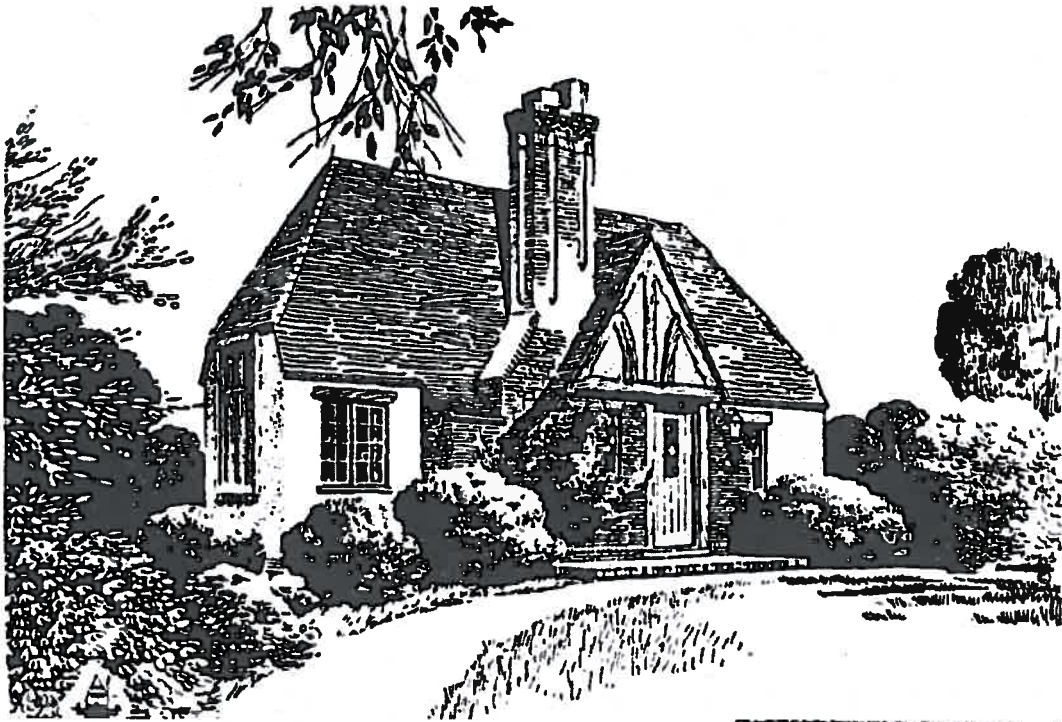
## CRAFTSMAN / BAY AREA TRADITIONAL



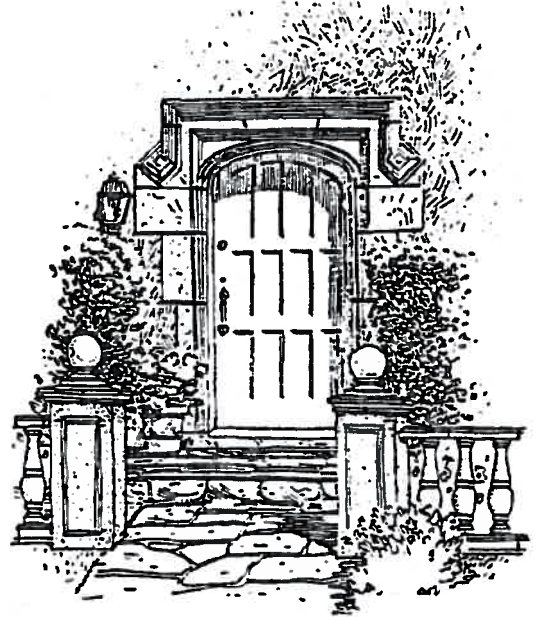
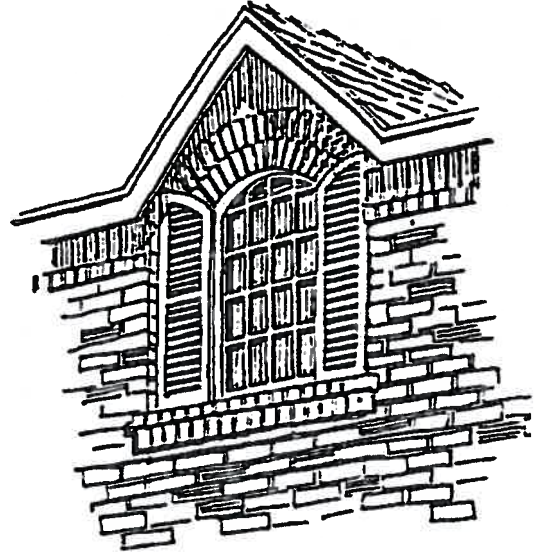
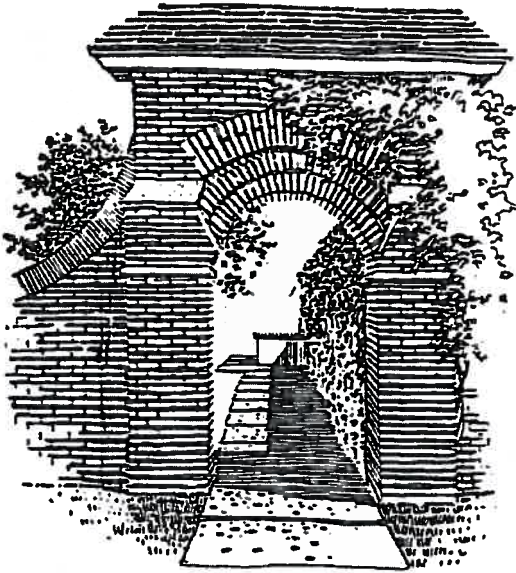
• Trellis at entry.



## TUDOR / ENGLISH COUNTRY



# TUDOR / ENGLISH COUNTRY



**APPENDIX B – APPLICATION FORMS**

***The ESTATES on OAK RIDGE***  
**ARCHITECTURAL DESIGN COMMITTEE**  
**Application for Plan Approval**

Date of Submittal: \_\_\_\_\_

Owner: \_\_\_\_\_ Address: \_\_\_\_\_

Lot Number: \_\_\_\_\_ Home Phone: \_\_\_\_\_ Business Phone: \_\_\_\_\_

Circle Plan type submitted: Preliminary Design Landscape/Irrigation Design  
" Final Design Modification to Residence  
Revision/Changes/Additions

**Homeowner Design/Construction Team:**

Architect/Designer's:

Name: \_\_\_\_\_ Company Name \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Zip \_\_\_\_\_ Phone ( \_\_\_\_\_ )

Landscape Architect:

Designer's Name: \_\_\_\_\_ Company Name \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Zip \_\_\_\_\_ Phone ( \_\_\_\_\_ )

Builder/Contractor:

Builder's Name: \_\_\_\_\_ Company Name \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Zip \_\_\_\_\_ Phone ( \_\_\_\_\_ )

**Architectural Style (Circle one):** Craftsman/Bay Area Traditional French Country  
Mediterranean Tuscan Farmhouse  
Monterey/Spanish Eclectic Tudor/English Country

If another architectural style is desired, please obtain approval from the Architectural Design Committee prior to proceeding.

**Fill in the size of each of the following:**

Lot: \_\_\_\_\_ Design Development Area: \_\_\_\_\_

Living Space of Residence: \_\_\_\_\_ Garage: \_\_\_\_\_

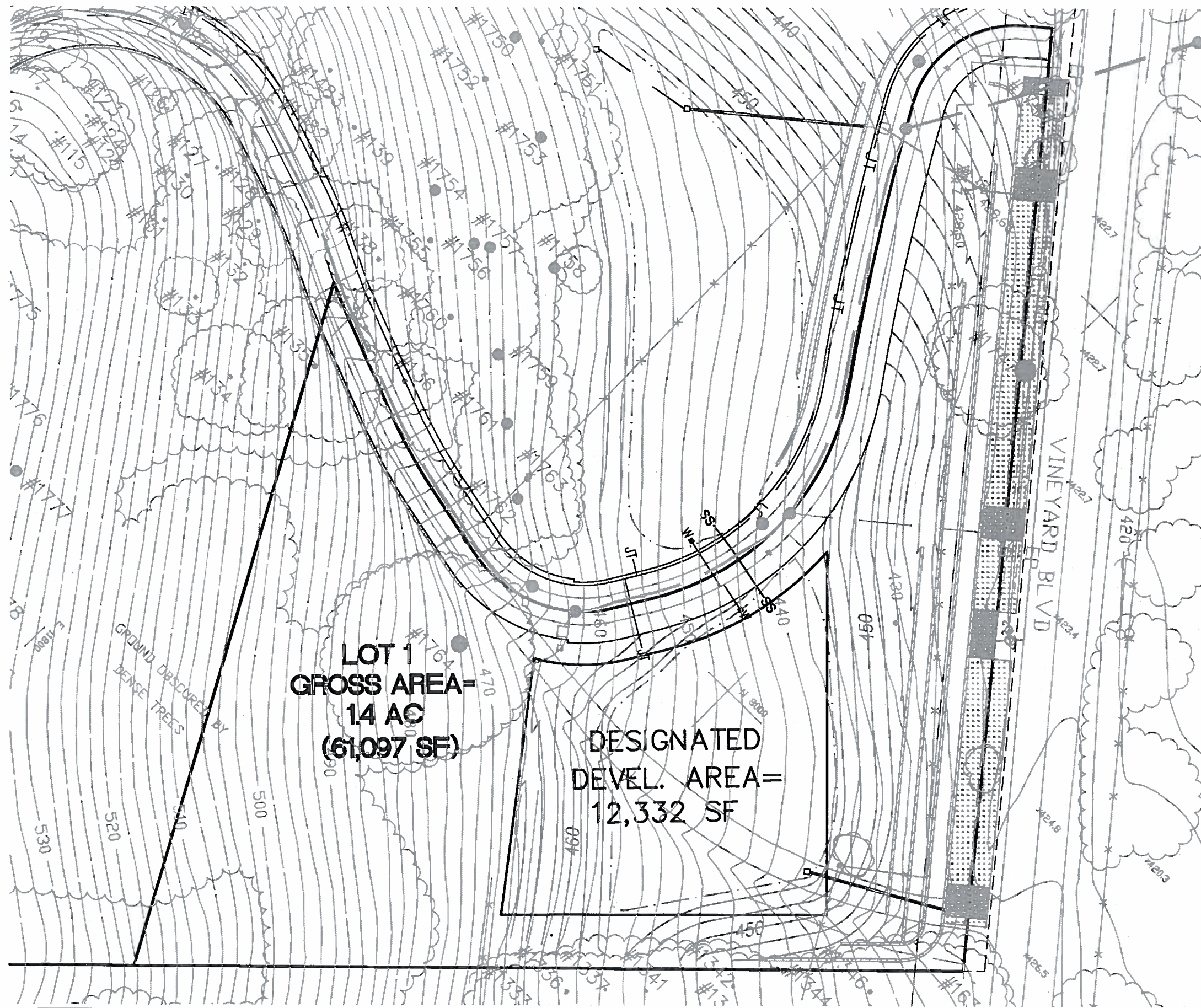
Basement: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

April 12, 2006

**APPENDIX C – DESIGNATED DEVELOPMENT AREAS**

**FOLLOWING ARE SITE PLANS OF EACH OF THE DESIGNATED DEVELOPMENT AREAS.**

**THESE SITE PLANS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. FOR PLANNING AND CONSTRUCTION NEEDS RELY ON FULL SIZED SITE PLANS OBTAINED FROM THE CIVIL ENGINEER.**



HOME MAY NOT  
EXCEED 30 FT. IN  
HEIGHT. HOME MAY  
BE A TWO STORY  
NOT EXCEEDING  
5,426 SQ. FT.



PLANNERS  
CIVIL ENGINEERS  
SURVEYORS

1390 SOUTH MAIN STREET  
SUITE 310  
WALNUT CREEK, CA. 94696  
(925) 478-2300  
FAX (925) 478-2390

PLEASANTON

DDA LOT 1  
THE ESTATES ON OAK RIDGE

ALAMEDA COUNTY

CALIFORNIA

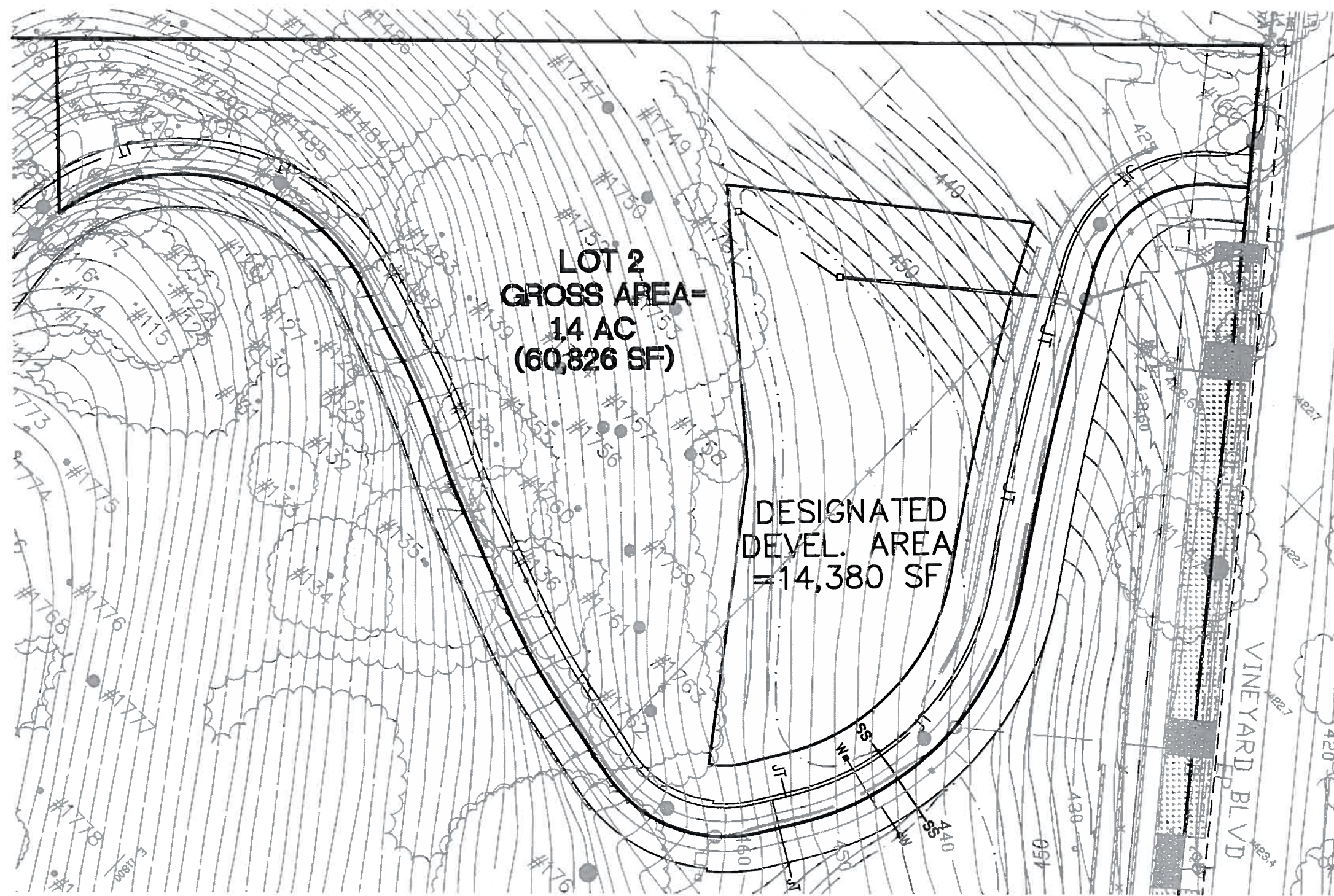
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8/28/07		
Scale	1"=40'	
Design	MC	
Drawn	MC	
Approved		
Job No	205031.0	

Drawing Number:

1

1 OF 1

HOME MAY NOT EXCEED 30 FT IN HEIGHT. HOME MAY BE A TWO STORY NOT EXCEEDING 6,040 SQ. FT.



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CIVIL ENGINEERS  
SURVEYORS**  
1390 SOUTH MAIN STREET  
SUITE 310  
WALNUT CREEK, CA 94596  
(925) 478-2300  
FAX (925) 478-2360

PLEASANTON

**DDA LOT 2  
THE ESTATES ON OAK RIDGE**

ALAMEDA COUNTY

CALIFORNIA

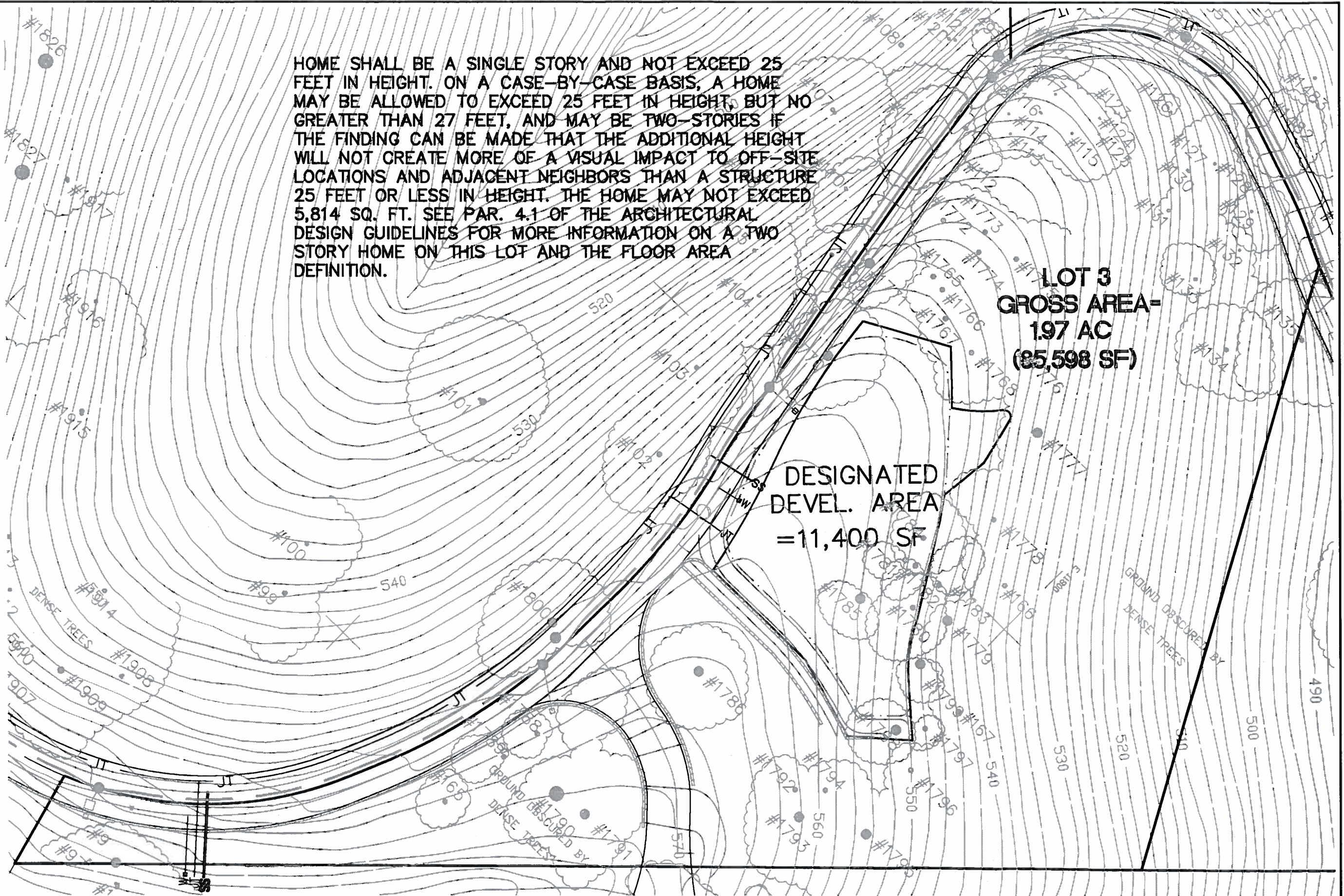
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Scale	1"=40'		
Design	MC		
Drawn	MC		
Approved			
Job No	205031.0		

Drawing Number:  
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1 of 1

HOME SHALL BE A SINGLE STORY AND NOT EXCEED 25 FEET IN HEIGHT. ON A CASE-BY-CASE BASIS, A HOME MAY BE ALLOWED TO EXCEED 25 FEET IN HEIGHT, BUT NO GREATER THAN 27 FEET, AND MAY BE TWO-STORIES IF THE FINDING CAN BE MADE THAT THE ADDITIONAL HEIGHT WILL NOT CREATE MORE OF A VISUAL IMPACT TO OFF-SITE LOCATIONS AND ADJACENT NEIGHBORS THAN A STRUCTURE 25 FEET OR LESS IN HEIGHT. THE HOME MAY NOT EXCEED 5,814 SQ. FT. SEE PAR. 4.1 OF THE ARCHITECTURAL DESIGN GUIDELINES FOR MORE INFORMATION ON A TWO STORY HOME ON THIS LOT AND THE FLOOR AREA DEFINITION.

**LOT 3  
GROSS AREA=  
197 AC  
(85,598 SF)**

**DESIGNATED  
DEVEL. AREA  
=11,400 SF**



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SURVEYORS**

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WALNUT CREEK, CA 94596  
(925) 478-2300  
FAX (925) 478-2300

PLEASANTON

**DDA LOT 3  
THE ESTATES ON OAK RIDGE**

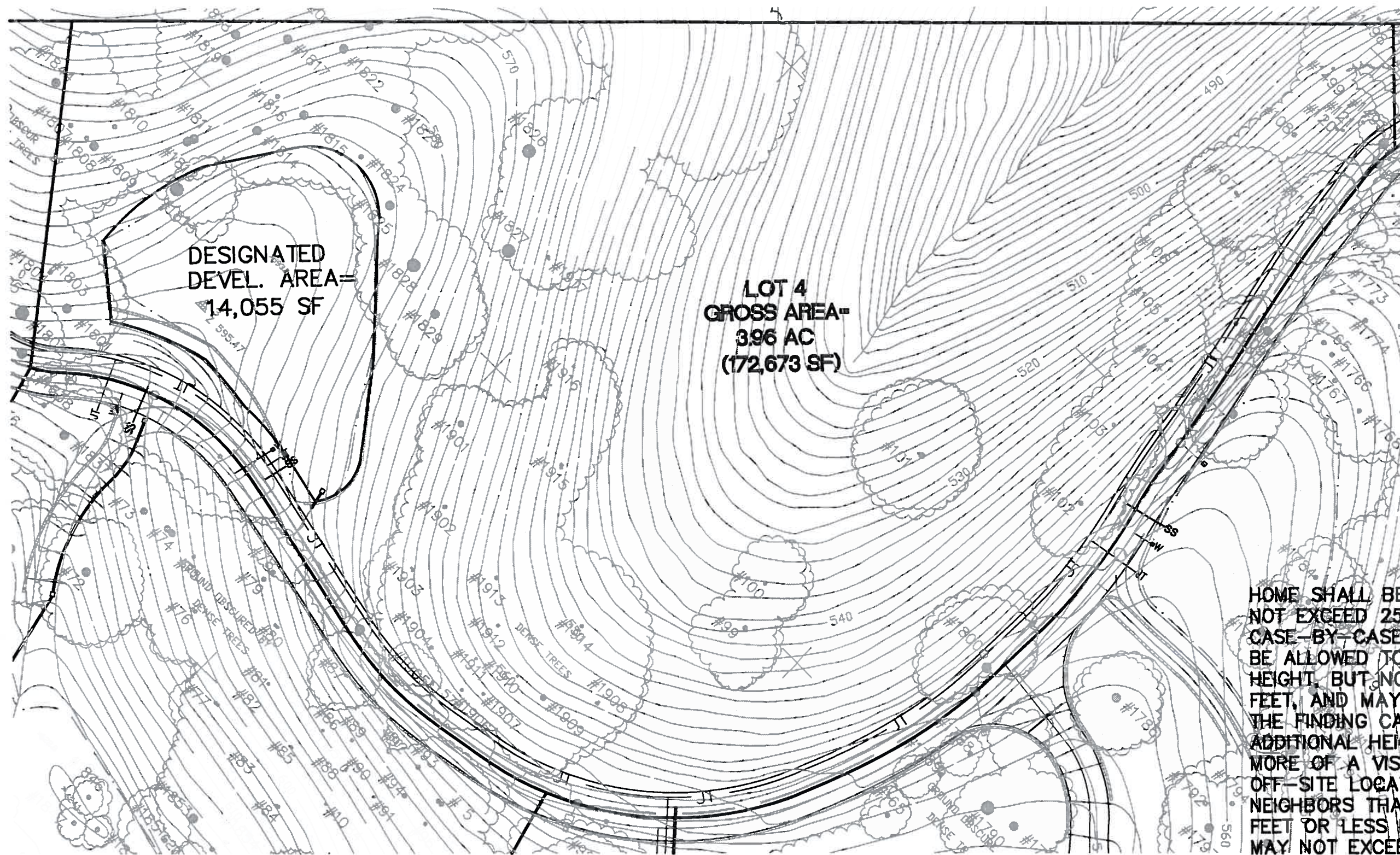
ALAMEDA COUNTY

CALIFORNIA

Date	No.	Revisions
8/28/07		
Scale	1"=40'	
Design	MC	
Drawn	MC	
Approved		
Job No	205031.0	

Drawing Number:	<b>1</b>
	1 of 1





HOME SHALL BE A SINGLE STORY AND NOT EXCEED 25 FEET IN HEIGHT. ON A CASE-BY-CASE BASIS, A HOME MAY BE ALLOWED TO EXCEED 25 FEET IN HEIGHT, BUT NO GREATER THAN 27 FEET, AND MAY BE TWO-STORIES IF THE FINDING CAN BE MADE THAT THE ADDITIONAL HEIGHT WILL NOT CREATE MORE OF A VISUAL IMPACT TO OFF-SITE LOCATIONS AND ADJACENT NEIGHBORS THAN A STRUCTURE 25 FEET OR LESS IN HEIGHT. THE HOME MAY NOT EXCEED 6,746 SQ. FT. SEE PAR. 4.1 OF THE ARCHITECTURAL DESIGN GUIDELINES FOR MORE INFORMATION ON A TWO STORY HOME ON THIS LOT AND THE FLOOR AREA DEFINITION.



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SURVEYORS**  
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SUITE 310  
WALNUT CREEK, CA. 94598  
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FAX (925) 478-2380

**DDA LOT 4  
THE ESTATES ON OAK RIDGE**

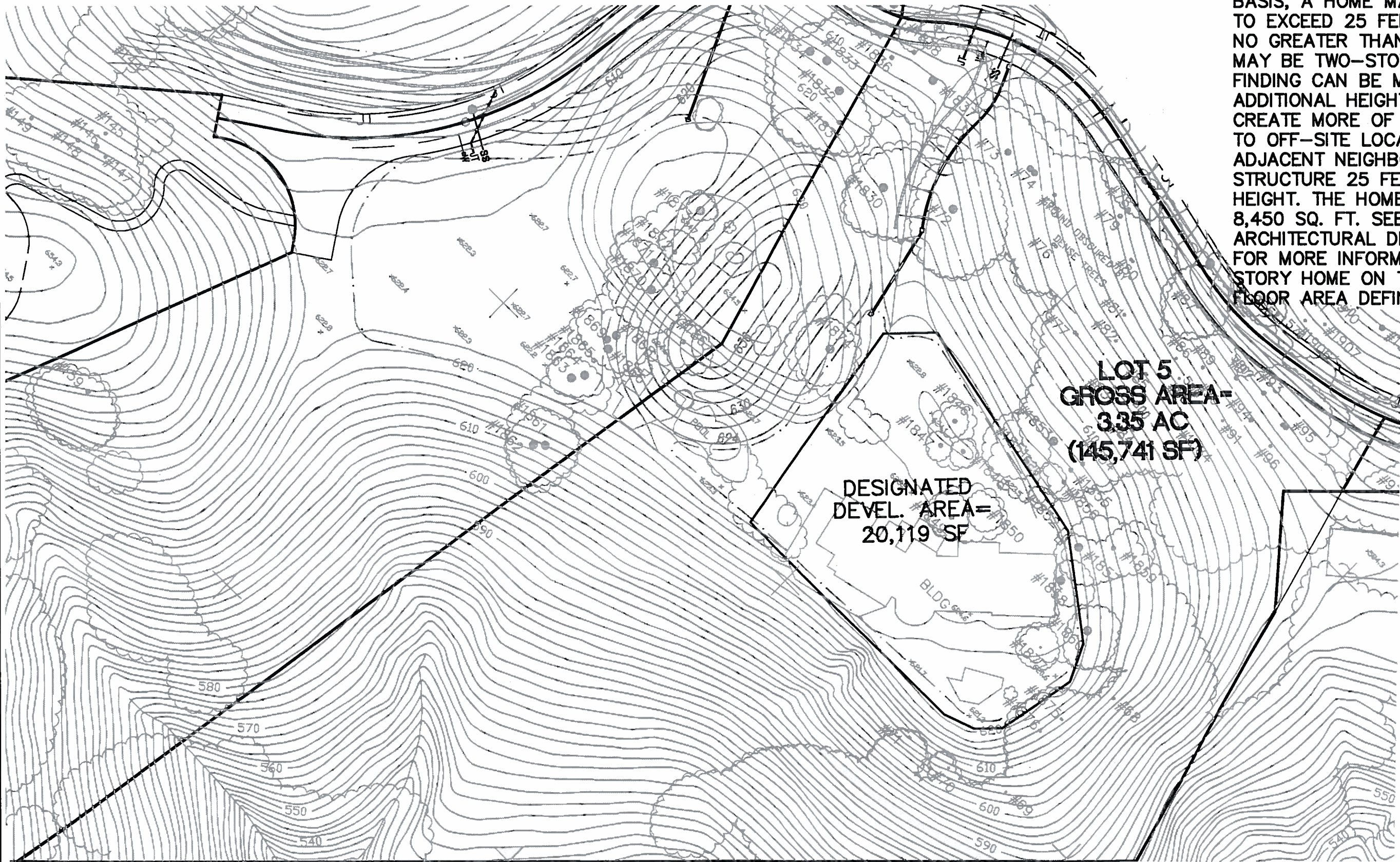
PLEASANTON

ALAMEDA COUNTY

CALIFORNIA

Date	No.	Revisions
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Scale	1"=50'	
Design	MC	
Drawn	MC	
Approved		
Job No	205031.0	

Drawing Number:  
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1 OF 1



HOME SHALL BE A SINGLE STORY AND NOT EXCEED 25 FEET IN HEIGHT. ON A CASE-BY-CASE BASIS, A HOME MAY BE ALLOWED TO EXCEED 25 FEET IN HEIGHT, BUT NO GREATER THAN 27 FEET, AND MAY BE TWO-STORIES IF THE FINDING CAN BE MADE THAT THE ADDITIONAL HEIGHT WILL NOT CREATE MORE OF A VISUAL IMPACT TO OFF-SITE LOCATIONS AND ADJACENT NEIGHBORS THAN A STRUCTURE 25 FEET OR LESS IN HEIGHT. THE HOME MAY NOT EXCEED 8,450 SQ. FT. SEE PAR. 4.1 OF THE ARCHITECTURAL DESIGN GUIDELINES FOR MORE INFORMATION ON A TWO STORY HOME ON THIS LOT AND THE FLOOR AREA DEFINITION.

**LOT 5  
GROSS AREA=  
3.35 AC  
(145,741 SF)**

**DESIGNATED  
DEVEL. AREA=  
20,119 SF**



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CIVIL ENGINEERS  
SURVEYORS**  
1390 SOUTH MAIN STREET  
SUITE 310  
WALNUT CREEK, CA 94098  
(925) 478-2300  
FAX (925) 478-2380

**DDA LOT 5  
THE ESTATES ON OAK RIDGE**

PLEASANTON

ALAMEDA COUNTY

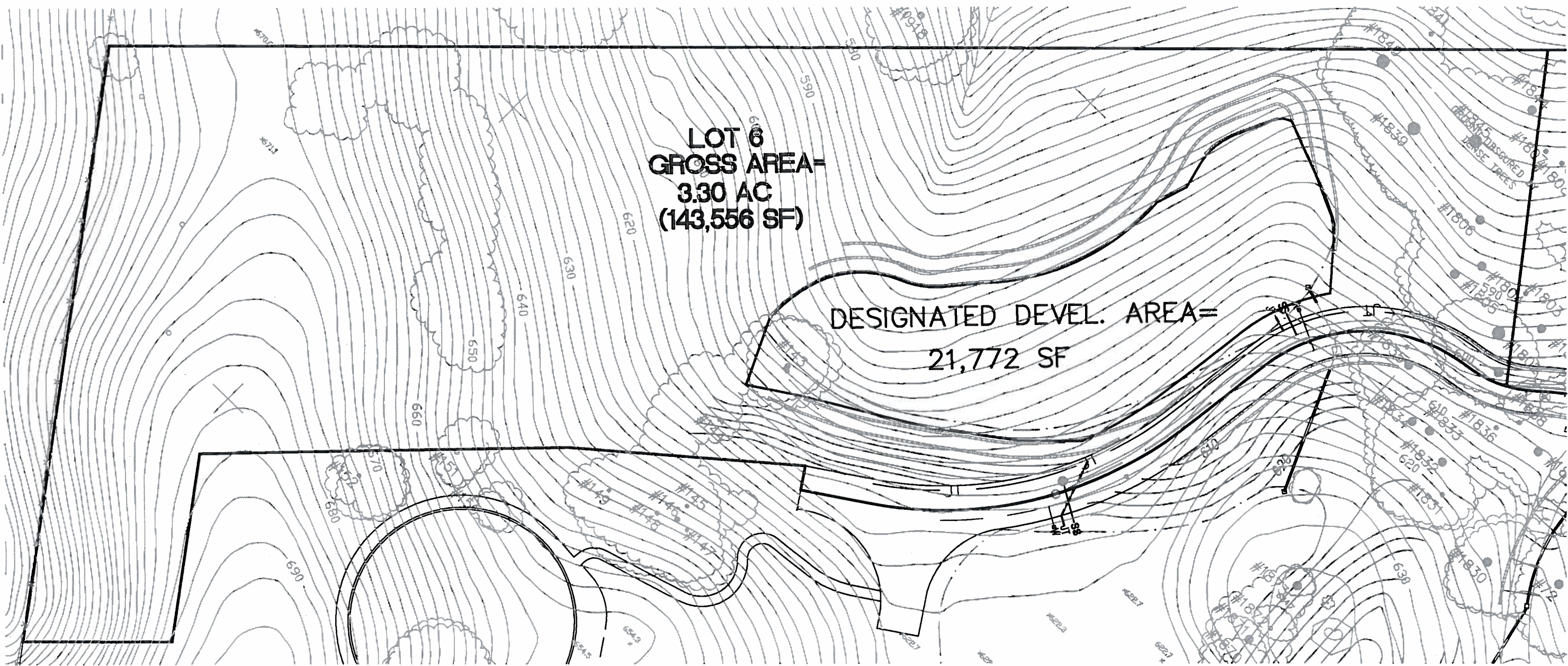
CALIFORNIA

Date	No.	Revisions
8/28/07		
Scale	1"=50'	
Design	MC	
Drawn	MC	
Approved		
Job No	205031.0	

Drawing Number:

**1**

1 OF 1



**LOT 6  
GROSS AREA=  
3.30 AC  
(143,556 SF)**

**DESIGNATED DEVEL. AREA=  
21,772 SF**

HOME SHALL BE A SINGLE STORY AND NOT EXCEED 25 FEET IN HEIGHT. ON A CASE-BY-CASE BASIS, A HOME MAY BE ALLOWED TO EXCEED 25 FEET IN HEIGHT, BUT NO GREATER THAN 27 FEET, AND MAY BE TWO-STORIES IF THE FINDING CAN BE MADE THAT THE ADDITIONAL HEIGHT WILL NOT CREATE MORE OF A VISUAL IMPACT TO OFF-SITE LOCATIONS AND ADJACENT NEIGHBORS THAN A STRUCTURE 25 FEET OR LESS IN HEIGHT. THE HOME MAY NOT EXCEED 9,362 SQ. FT. SEE PAR. 4.1 OF THE ARCHITECTURAL DESIGN GUIDELINES FOR MORE INFORMATION ON A TWO STORY HOME ON THIS LOT AND THE FLOOR AREA DEFINITION.



**PLANNERS  
CIVIL ENGINEERS  
SURVEYORS**

1390 SOUTH MAIN STREET  
SUITE 310  
WALNUT CREEK, CA 94698  
(925) 478-2300  
FAX (925) 478-2380

PLEASANTON

**DDA LOT 6  
THE ESTATES ON OAK RIDGE**

ALAMEDA COUNTY

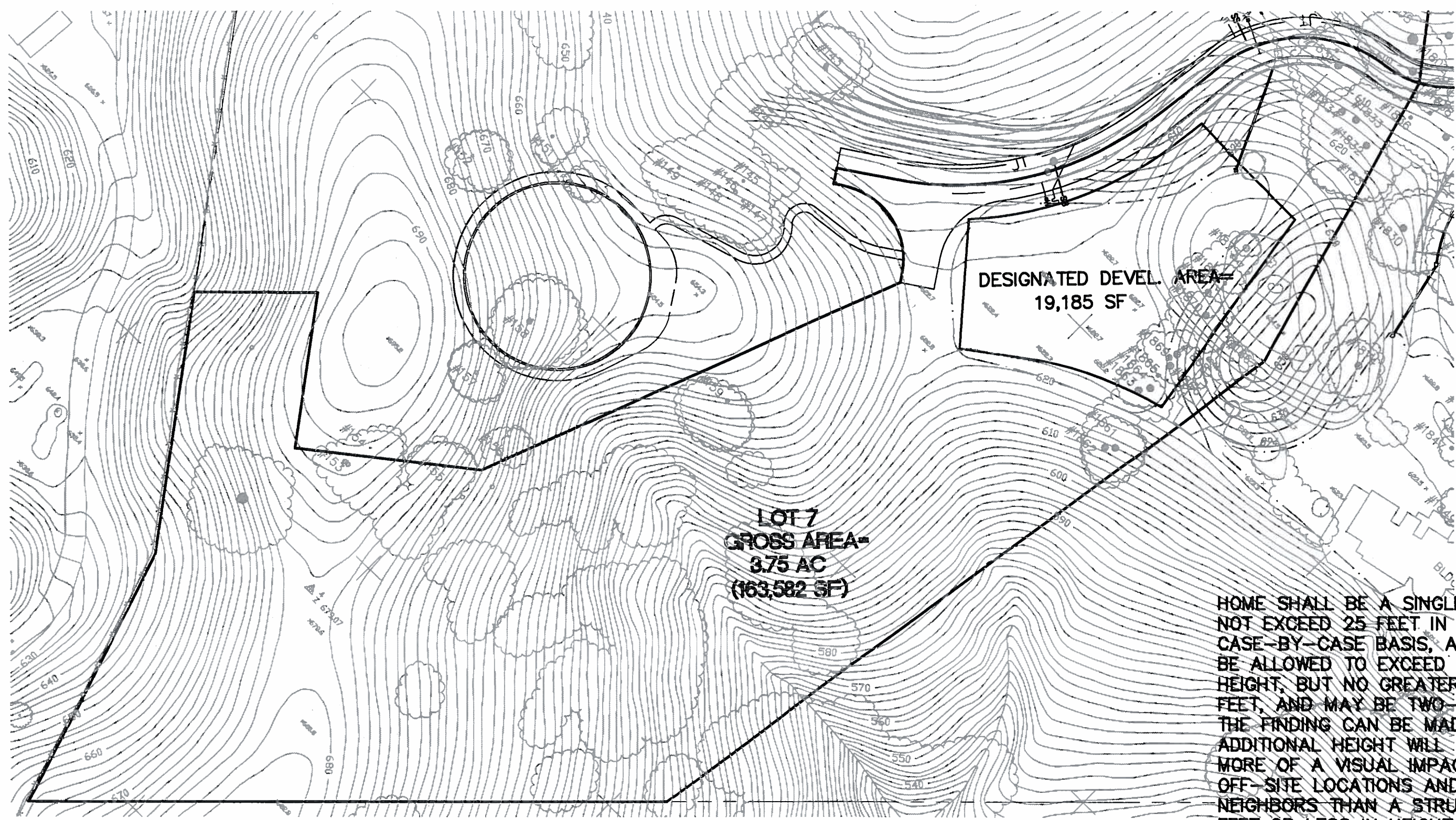
CALIFORNIA

Date	No.	Revisions
8/28/07		
Scale	1"=30'	
Design	MC	
Drawn	MC	
Approved		
Job No	205031.0	

Drawing Number:

**1**

1 OF 1



DESIGNATED DEVEL. AREA=  
19,185 SF

LOT 7  
GROSS AREA=  
3.75 AC  
(163,582 SF)

HOME SHALL BE A SINGLE STORY AND NOT EXCEED 25 FEET IN HEIGHT. ON A CASE-BY-CASE BASIS, A HOME MAY BE ALLOWED TO EXCEED 25 FEET IN HEIGHT, BUT NO GREATER THAN 27 FEET, AND MAY BE TWO-STORIES IF THE FINDING CAN BE MADE THAT THE ADDITIONAL HEIGHT WILL NOT CREATE MORE OF A VISUAL IMPACT TO OFF-SITE LOCATIONS AND ADJACENT NEIGHBORS THAN A STRUCTURE 25 FEET OR LESS IN HEIGHT. THE HOME MAY NOT EXCEED 9,017 SQ. FT. SEE PAR. 4.1 OF THE ARCHITECTURAL DESIGN GUIDELINES FOR MORE INFORMATION ON A TWO STORY HOME ON THIS LOT AND THE FLOOR AREA DEFINITION.



PLANNERS  
CIVIL ENGINEERS  
SURVEYORS

1300 SOUTH MAIN STREET  
SUITE 310  
WALNUT CREEK, CA. 94596  
(925) 476-2300  
FAX (925) 476-2300

PLEASANTON

DDA LOT 7  
THE ESTATES ON OAK RIDGE

ALAMEDA COUNTY

CALIFORNIA

Date	No.	Revisions
8/28/07		
Scale	1"=80'	
Design	MC	
Drawn	MC	
Approved		
Job No	205031.0	

Drawing Number:  
**1**  
1 OF 1



**SINGLE FAMILY CHECKLIST**

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (2), Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen Mandatory, H6.1, J5.1, D1, C1.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit [www.builditgreen.org/greenpointrated](http://www.builditgreen.org/greenpointrated). Build It Green is not a code enforcement agency.

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.

Single Family New Home Version 6.0.2

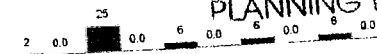
Points Achieved: 130

Certification Level: None

JAN 08 2015

POINTS REQUIRED

CITY OF PLEASANTON  
PLANNING DIVISION



		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Possible Points
<b>CALGreen</b>								
<b>A. SITE</b>								
TBD	1A1. Construction Footprint							1
TBD	A2. Job Site Construction Waste Diversion							2
TBD	A2.1 65% C&D Waste Diversion (Including Alternative Daily Cover)							2
TBD	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)							1
TBD	A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility							1
TBD	A3. Recycled Content Base Material							1
TBD	A4. Heat Island Effect Reduction (Non-Roof)							1
TBD	A5. Construction Environmental Quality Management Plan Including Flush-Out							1
TBD	A6. Stormwater Control: Prescriptive Path							1
TBD	A6.1 Permeable Paving Material							1
TBD	A6.2 Filtration and/or Bio-Retention Features							1
TBD	A6.3 Non-Leaching Roofing Materials		1					3
TBD	A6.4 Smart Stormwater Street Design							1
TBD	A7. Stormwater Control: Performance Path							1
<b>B. FOUNDATION</b>								
TBD	B1. Fly Ash and/or Slag in Concrete	2			2			2
TBD	B2. Radon-Resistant Construction				1			1
TBD	B3. Foundation Drainage System							1
TBD	B4. Moisture Controlled Crawlspace							1
TBD	B5. Structural Pest Controls							1
TBD	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections							1
TBD	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation							1
<b>C. LANDSCAPE</b>								
TBD	Enter the landscape area percentage	1						1
TBD	C1. Plants Grouped by Water Needs (Hydrozoning)							1
TBD	C2. Three Inches of Mulch in Planting Beds							1
TBD	C3. Resource Efficient Landscapes							1
TBD	C3.1 No Invasive Species Listed by Cal-IPC							1
TBD	C3.2 Plants Chosen and Located to Grow to Natural Size							1
TBD	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	3						3
TBD	C4. Minimal Turf in Landscape							2
TBD	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	1						2
TBD	C4.2 Turf on a Small Percentage of Landscaped Area	2						1
TBD	C5. Trees to Moderate Building Temperature							2
TBD	C6. High-Efficiency Irrigation System							2
TBD	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil							3
TBD	C8. Rainwater Harvesting System							1
TBD	C9. Recycled Wastewater Irrigation System							2
TBD	C10. Submeter or Dedicated Meter for Landscape Irrigation							2
TBD	C11. Landscape Meets Water Budget							2
TBD	C12. Environmentally Preferable Materials for Site							1
TBD	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing							1
TBD	C13. Reduced Light Pollution							1
TBD	C14. Large Stature Tree(s)							1
TBD	C15. Third Party Landscape Program Certification							1
TBD	C16. Maintenance Contract with Certified Professionals							1
<b>D. STRUCTURAL FRAME AND BUILDING ENVELOPE</b>								
TBD	D1. Optimal Value Engineering							2
TBD	D1.1 Joints, Rafters, and Studs at 24 Inches on Center							1
TBD	D1.2 Non-Load Bearing Door and Window Headers Sized for Load							2
TBD	D1.3 Advanced Framing Measures							1
TBD	D2. Construction Material Efficiencies							1
TBD	D3. Engineered Lumber							1
TBD	D3.1 Engineered Beams and Headers							1
TBD	D3.2 Wood Joists or Web Trusses for Floors							1
TBD	D3.3 Engineered Lumber for Roof Rafters							1
TBD	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications							0.5
TBD	D3.5 OSB for Subfloor							0.5
TBD	D3.6 OSB for Wall and Roof Sheathing							0.5
TBD	D4. Insulated Headers							1

P15-0001  
EXHIBIT B  
RECEIVED

Single Family New Home

Version 6.0.2

Requirement	1	2	3	4	5	6
<b>D5. FSC-Certified Wood</b>						6
D5.1 Dimensional Lumber, Studs, and Timber						3
D5.2 Panel Products						1
<b>D6. Solid Wall Systems</b>						1
D6.1 At Least 90% of Floors						1
D6.2 At Least 90% of Exterior Walls						1
D6.3 At Least 90% of Roofs						1
<b>D7. Energy Heels on Roof Trusses</b>						1
D7.1 Energy Heels on Roof Trusses	1					1
<b>D8. Overhangs and Gutters</b>						1
D8.1 Overhangs and Gutters	2					1
<b>D9. Reduced Pollution Entering the Home from the Garage</b>						2
D9.1 Detached Garage						1
D9.2 Mitigation Strategies for Attached Garage						1
<b>D10. Structural Pest and Rot Controls</b>						1
D10.1 All Wood Located At Least 12 Inches Above the Soil						1
D10.2 Wood Framing Treated With Borates or Factory-Impregnated or Wall Materials Other Than Wood						1
<b>D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)</b>						1
D11.1 Moisture-Resistant Materials in Wet Areas	2					1
D11.2 Moisture-Resistant Materials in Wet Areas						1
<b>E. EXTERIOR</b>						1
<b>E1. Environmental Preferable Decking</b>						2
E1.1 Environmental Preferable Decking						2
<b>E2. Flashing Installation Third-Party Verified</b>						1
E2.1 Flashing Installation Third-Party Verified						1
<b>E3. Rain Screen Wall System</b>						1
E3.1 Rain Screen Wall System						1
<b>E4. Durable and Non-Combustible Cladding Materials</b>						1
E4.1 Durable and Non-Combustible Cladding Materials						1
<b>E5. Durable and Fire Resistant Roofing Materials or Assembly</b>						1
E5.1 Durable and Fire Resistant Roofing Materials or Assembly	1					1
<b>E6. Vegetated Roof</b>						2
E6.1 Vegetated Roof		2	2			2
<b>F. INSULATION</b>						1
<b>F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content</b>						1
F1.1 Walls and Floors						1
F1.2 Ceilings						1
<b>F2. Insulation that Meets the GPPH Standard Method—Residential for Low Emissions</b>						1
F2.1 Walls and Floors						1
F2.2 Ceilings						1
<b>F3. Insulation That Does Not Contain Fire Retardants</b>						1
F3.1 Cavity Walls and Floors						1
F3.2 Ceilings						1
F3.3 Interior and Exterior						1
<b>G. PLUMBING</b>						1
<b>G1. Efficient Distribution of Domestic Hot Water</b>						1
G1.1 Insulated Hot Water Pipes						1
G1.2 WaterSense Volume Limit for Hot Water Distribution						2
G1.3 Increased Efficiency in Hot Water Distribution						2
<b>G2. Install Water-Efficient Fixtures</b>						2
G2.1 WaterSense Showerheads with Matching Compensation Valve						1
G2.2 WaterSense Bathroom Faucets						1
G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams						1
<b>G3. Pre-Plumbing for Graywater System</b>						1
G3.1 Pre-Plumbing for Graywater System						3
<b>G4. Operational Graywater System</b>						3
<b>H. HEATING, VENTILATION, AND AIR CONDITIONING</b>						1
<b>H1. Sealed Combustion Units</b>						1
H1.1 Sealed Combustion Furnace	1					2
H1.2 Sealed Combustion Water Heater	2					1
<b>H2. High Performing Zoned Hydronic Radiant Heating System</b>						1
H2.1 High Performing Zoned Hydronic Radiant Heating System						1
<b>H3. Effective Ductwork</b>						1
H3.1 Duct Mastic on Duct Joints and Seams						1
H3.2 Pressure Balance the Ductwork System						1
<b>H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified</b>						1
H4.1 ENERGY STAR Bathroom Fans Per HVI Standards with Air Flow Verified						1
<b>H5. Advanced Practices for Cooling</b>						1
H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms						1
<b>H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality</b>						1
H6.1 Meet ASHRAE 62.2-2010 Ventilation Residential Standards						1
H6.2 Advanced Ventilation Standards						2
H6.3 Outdoor Air Ducted to Bedroom and Living Areas						2
<b>H7. Effective Range Hood Design and Installation</b>						1
H7.1 Effective Range Hood Ducting and Design						1
H7.2 Automatic Range Hood Control						1
<b>H8. No Fireplace or Sealed Gas Fireplace</b>						1
H8.1 No Fireplace or Sealed Gas Fireplace						1
<b>H9. Humidity Control Systems</b>						1
H9.1 Humidity Control Systems						1
<b>H10. Register Design Per ACCA Manual T</b>						1
H10.1 Register Design Per ACCA Manual T						1
<b>H11. High Efficiency HVAC Filter (MERV 8+)</b>						1
H11.1 High Efficiency HVAC Filter (MERV 8+)						1
<b>I. RENEWABLE ENERGY</b>						1
<b>I1. Pre-Plumbing for Solar Water Heating</b>						1
I1.1 Pre-Plumbing for Solar Water Heating						1
<b>I2. Preparation for Future Photovoltaic Installation</b>						25
I2.1 Preparation for Future Photovoltaic Installation						25
<b>I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)</b>						2
I3.1 Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)						4
<b>I4. Net Zero Energy Home</b>						2
I4.1 Net Zero Energy Home						4
I4.2 Net Zero Electric						4

**J. BUILDING PERFORMANCE AND TESTING**

TBD	J1. Third-Party Verification of Quality of Insulation Installation			1		
TBD	J2. Supply and Return Air Flow Testing	2	1	1		
TBD	J3. Mechanical Ventilation Testing and Low Leakage			1		
TBD	J4. Combustion Appliance Safety Testing			1		
2008	J5. Building Performance Exceeds Title 24 Part 6					
0.00%	J5.1 Home Outperforms Title 24 Part 6	60	30			
TBD	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst	1	1			
TBD	J7. Participation in Utility Program with Third-Party Plan Review		1			
TBD	J8. ENERGY STAR for Homes		1			
No	J9. EPA Indoor airPlus Certification	0		1		
TBD	J10. Blower Door Testing			2		

**K. FINISHES**

TBD	K1. Entryways Designed to Reduce Tracked-In Contaminants			1		
TBD	K1.1 Individual Entryways			1		
TBD	K2. Zero-VOC Interior Wall and Ceiling Paints			2		
TBD	K3. Low-VOC Caulks and Adhesives	1		1		
TBD	K4. Environmentally Preferable Materials for Interior Finish					
TBD	K4.1 Cabinets				2	
TBD	K4.2 Interior Trim				2	
TBD	K4.3 Shelving				2	
TBD	K4.4 Doors				2	
TBD	K4.5 Countertops				1	
TBD	K5. Formaldehyde Emissions in Interior Finish Exceed CARB					
TBD	K5.1 Doors	1		1		
TBD	K5.2 Cabinets and Countertops	2		2		
TBD	K5.3 Interior Trim and Shelving	2		2		
TBD	K6. Products That Comply With the Health Product Declaration Open Standard	2		2		
TBD	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion	2		2		
No	K8. Comprehensive Inclusion of Low Emitting Finishes	0		1		

**L. FLOORING**

TBD	L1. Environmentally Preferable Flooring				3	
TBD	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method--Residential					1
TBD	L3. Durable Flooring					
TBD	L4. Thermal Mass Flooring	1	1			

**M. APPLIANCES AND LIGHTING**

TBD	M1. ENERGY STAR® Dishwasher	1				1
TBD	M2. CEE-Rated Clothes Washer		1			2
TBD	M3. Size-Efficient ENERGY STAR Refrigerator	2	2			
TBD	M4. Permanent Centers for Waste Reduction Strategies					
TBD	M4.1 Built-In Recycling Center					1
TBD	M4.2 Built-In Composting Center					1
TBD	M5. Lighting Efficiency					
TBD	M5.1 High-Efficacy Lighting	2	2			
TBD	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant				2	

**N. COMMUNITY**

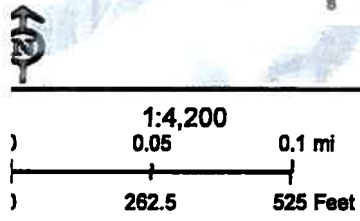
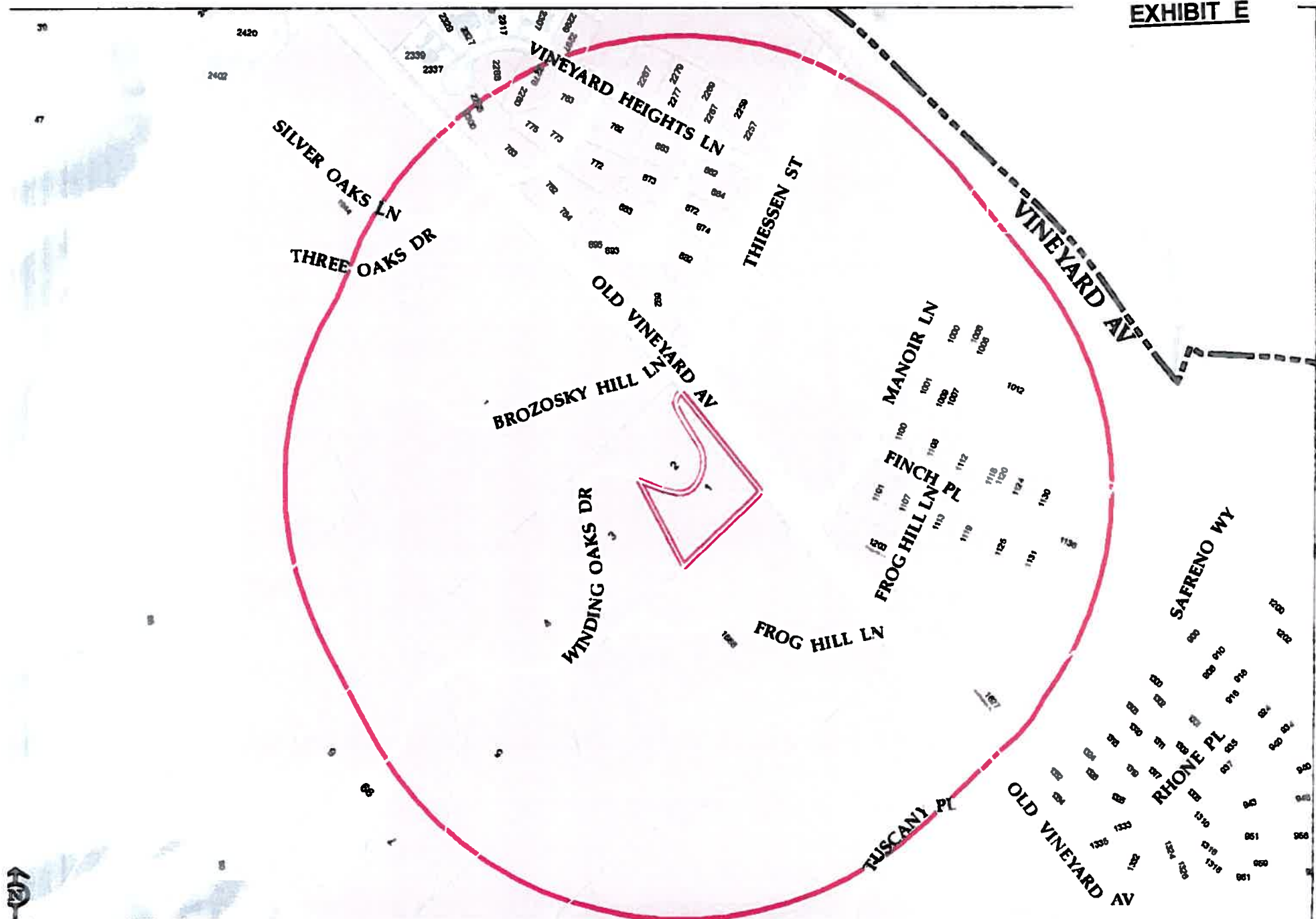
TBD	N1. Smart Development	2	1			1
TBD	N1.1 Infill Site		1			1
TBD	N1.2 Designated Brownfield Site				1	
TBD	N1.3 Conserve Resources by Increasing Density			2		2
TBD	N1.4 Cluster Homes for Land Preservation		1			1
TBD	N1.5 Home Size Efficiency					5
	Enter the area of the home, in square feet	4,500				
	Enter the number of bedrooms	5				
TBD	N2. Home(s) Development Located Within 1/2 Mile of a Major Transit Stop		2			
TBD	N3. Pedestrian and Bicycle Access					
TBD	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services		2			
	Enter the number of Tier 1 services					
	Enter the number of Tier 2 services					
TBD	N3.2 Connection to Pedestrian Pathways		1			
TBD	N3.3 Traffic Calming Strategies		2			
TBD	N4. Outdoor Gathering Places					
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents		1			
TBD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services		1			
TBD	N5. Social Interaction					
TBD	N5.1 Residence Entries with Views to Calers		1			
TBD	N5.2 Entrances Visible from Street and/or Other Front Doors	1	1			
TBD	N5.3 Porches Oriented to Street and Public Space		1			
TBD	N5.4 Social Gathering Space		1			
TBD	N6. Passive Solar Design					
TBD	N6.1 Heating Load			2		
TBD	N6.2 Cooling Load			2		
TBD	N7. Adaptable Building					
TBD	N7.1 Universal Design Principles in Units		1		1	
TBD	N7.2 Full-Function Independent Rental Unit		1			

**O. OTHER**

TBD	O1. GreenPoint Rated Checklist in Blueprints					
TBD	O2. Pre-Construction Kickoff Meeting with Renter and Subcontractors			0.5		0.5
TBD	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs			0.5	0.5	0.5
TBD	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals			0.5	0.5	0.5
TBD	O5. Home System Monitors			1		1
TBD	O6. Green Building Education					
TBD	O6.1 Marketing Green Building		2			
TBD	O6.2 Green Building Signage			0.5		0.5
TBD	O7. Green Appraisal Addendum					
TBD	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation					1

Total Available Points in Specific Categories	342	26	131	54	83	48
Minimum Points Required in Specific Categories	50	2	25	6	6	6
	0.0	0.0	0.0	0.0	0.0	0.0

Subtotal	80	2	67	9	1	1
	22		5	10	0	
	30	1	2		14	12
Total	132	3	74	23	13	14



P15-0001, Rajagopalan, 1 Winding Oaks Drive

Planning Division  
May 27, 2016

