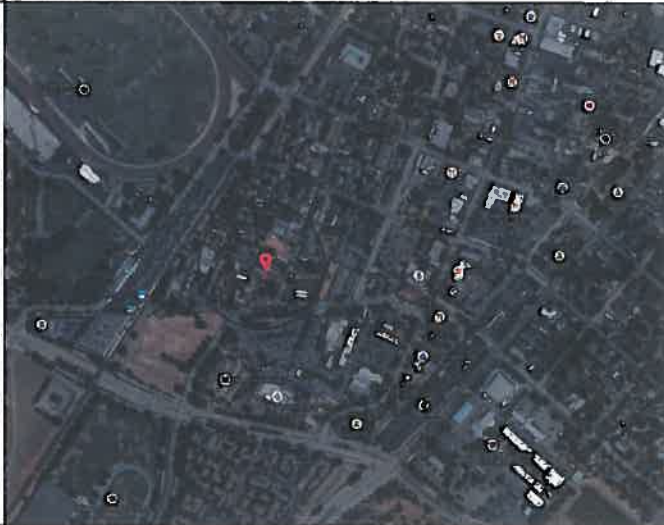


LOCATION PLAN



AERIAL VIEW



RESIDENTIAL UNITS ADDITION  
4745 AUGUSTINE STREET, PLEASANTON, CA 94566

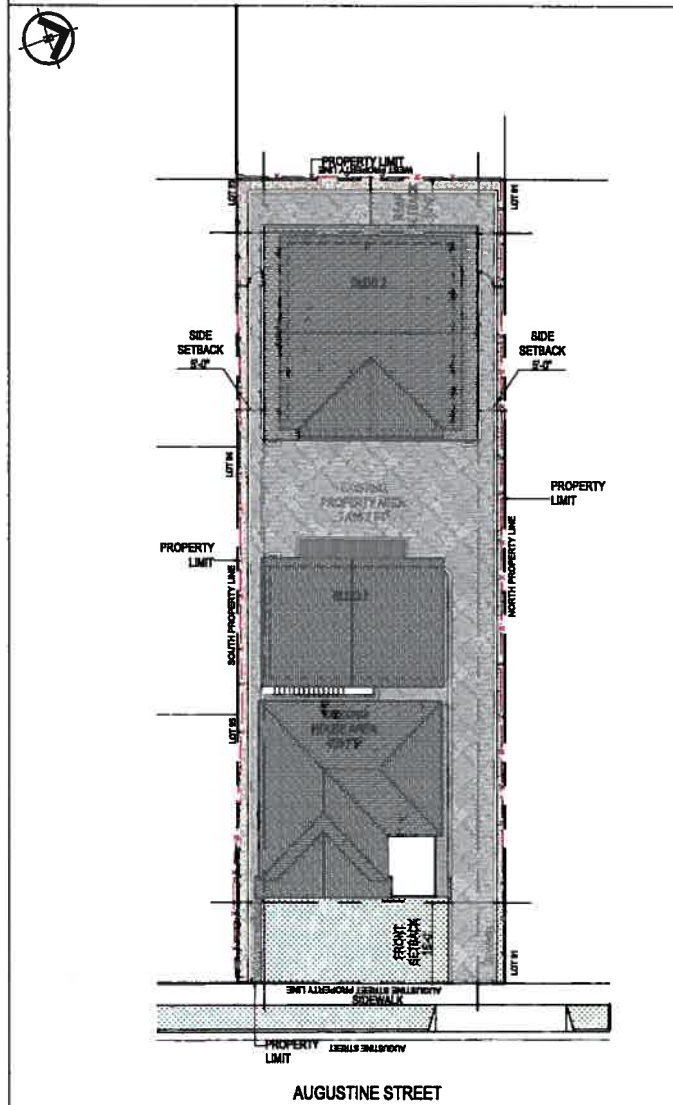
PROJECT SUMMARY

Development of two new buildings with three new rental residential units in a lot with one existing rental residential unit. Building A consists of three parking spaces, and a one-bedroom unit (Unit A) in the second level. Building 2 consists of three parking spaces and two two-bedroom units (Unit B & C), each one with two-levels. Existing house to have modifications to the interior partitions and building elevations. Site work includes the extension of an existing driveway, installation of permeable concrete pavers and landscape areas. Utilitarian garden metal shed in deteriorated condition in the rear of the property will be demolished.

DRAWING INDEX

00 - GENERAL	
G-000	TITLE, COVER SHEET & SHEET INDEX
SURVEY AND CIVIL DRAWINGS	
SS-001	SURVEY & TOPOGRAPHY (VICINITY MAP)
SS-002	SURVEY & TOPOGRAPHY (LOT 92)
C1	GRADING & DRAINAGE PLAN - COVER SHEET
C2	GRADING & DRAINAGE PLAN
C3	GRADING & DRAINAGE PLAN - SECTIONS AND DETAILS
C4	GRADING & DRAINAGE PLAN - EROSION CONTROL PLAN
C5	GRADING & DRAINAGE PLAN - MULTI-UNIT RESIDENTIAL BLUEPRINT FOR A CLEAN BAY
1	UTILITY PLAN
LANDSCAPE DRAWINGS	
L-100	PROPOSED LANDSCAPE PLAN
ARCHITECTURAL DRAWINGS	
A-100	PROPOSED SITE PLAN
A-101	PROPOSED BUILDING 1 FLOOR PLANS & TRASH ENCLOSURE
A-102	PROPOSED BUILDING 2 FLOOR PLANS
A-103	EXISTING HOUSE FLOOR PLANS
A-201	PROPOSED BUILDING 1 ELEVATIONS
A-202	PROPOSED BUILDING 2 ELEVATIONS
A-203	EXISTING HOUSE ELEVATIONS
A-501	TYPICAL DETAILS

SITE PLAN SCALE: 1/8" = 1'-0"



CODE ANALYSIS

NOTE:  
ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS INCLUDING THE FOLLOWING:

APPLICABLE CODES:

- Pleasanton Municipal Code
- 1997 Uniform Housing Code
- 2013 Edition of Title 24, California Code of Regulations (CCR)
  - Part 1 - California Building Standards Administrative Code
  - Part 2 - California Building Code
  - Part 2.5 - California Residential Code
  - Part 3 - California Electrical Code
  - Part 4 - California Mechanical Code
  - Part 5 - California Plumbing Code
  - Part 6 - California Energy Code
  - Part 9 - California Fire Code
  - Part 10 - California Existing Building Code
  - Part 11 - California Green Buildings Standards Code (CALGreen Code)
  - Part 12 - California Reference Code

ZONING

BUILDING AND ZONING INFORMATION	
Zoning District:	RM-15 (Section 18.36)
Downtown Revitalization District:	(Section 18.74)
Core Overlay District:	(Section 18.80)
Parking:	(Section 18.88)

PROJECT DIRECTORY

NAME TITLE COMPANY	ADDRESS City, ST Zip	PHONE, MOBILE, FAX, E MAIL
ALOK VENTURES, LLC	4745 Augustine St, Pleasanton, CA 94566	Cell: (415)889-8549 email: alok@soleez.com
Francisco Matos - Architect Architect-SF	1390 Market St., San Francisco, CA94102	Tel: (415) 519-4954 Email: francisco@architect-sf.com Web: http://www.architect-sf.com/

GENERAL DATA

RESIDENTIAL DEVELOPMENT REGULATIONS			
STANDARD	MIN. REQ.	EXISTING	PROPOSED
<b>Setbacks</b>			
Front	15ft	20ft	20ft
Left Side	5ft	4.75ft (E house)	5ft (N units)
Right Side	5ft	13ft (E house)	5ft (N units)
Rear	10ft	98ft (E house)	10ft (N units)
Minimum Open Area	75 ft <sup>2</sup> /unit	6,558 ft <sup>2</sup>	4,249 ft <sup>2</sup>
Maximum FAR	50% (3,748 ft <sup>2</sup> )	12.5% (938 ft <sup>2</sup> )	50% (3,725 ft <sup>2</sup> )
Parking	1.5 spaces /unit	2	6

TABULATION OF BUILDING AREAS

NAME	AREA (FT <sup>2</sup> )
(E) House	938
(N)Unit A	1,302 (651 rental unit + 651 garage space)
(N)Unit B	829
(N)Unit C	829
Proposed Expansion	3,725
Garage, trash bins enclosures and mechanical spaces in Building 2	785
<b>Total Built Area (Existing + Proposed Expansion)</b>	<b>4,663</b>
<b>EXISTING SITE AREA</b>	<b>7,496.7</b>

SYMBOLS LEGEND:

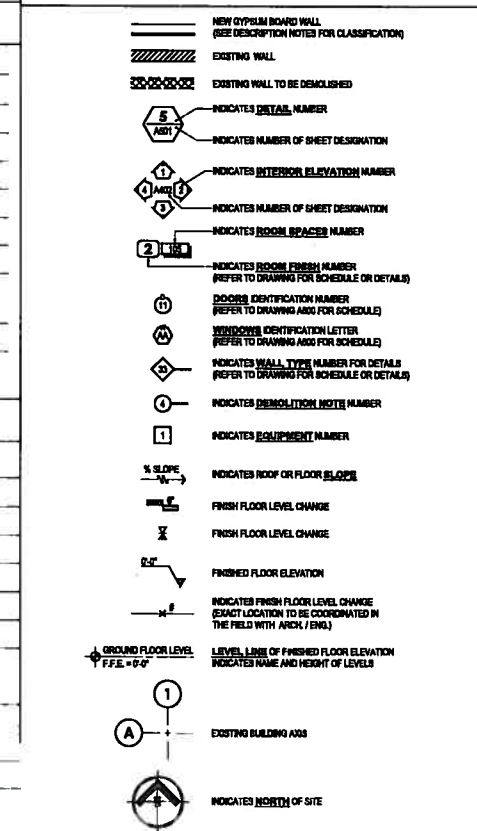
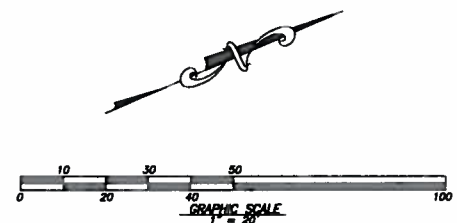
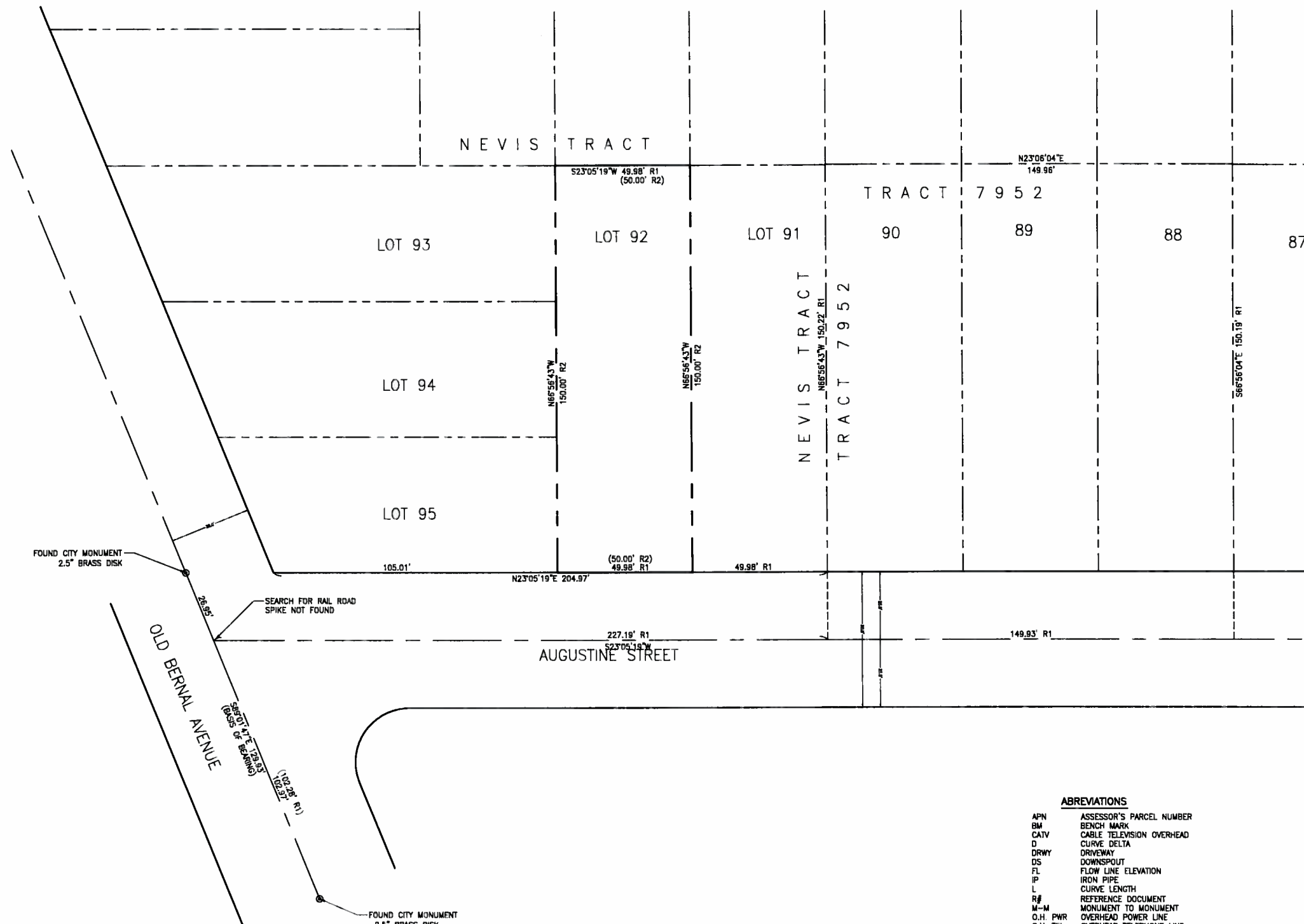


EXHIBIT B  
P15-0290

RECEIVED

JUL 15 2015

CITY OF PLEASANTON  
PLANNING DIVISION



THE BEARING NORTH 89°01'47" WEST OF THE CENTER LINE OF OLD BERNAL AVENUE AS SHOWN ON THAT MAP OF TRACT NO 7952 FILED FOR RECORD IN BOOK 327 OF MAPS PAGES 82 THROUGH 84, ALAMEDA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

- NOTES:**
- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
  - THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
  - TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.

**REFERENCES:**  
 R1 TRACT NO. 7952 327-M-82&85  
 R2 NEVIS TRACT 10-M-60

**BENCH MARK**  
 DESCRIPTION: ASSUMED BENCHMARK, SPIKE ON OPPOSITE SIDE OF STREET, NEAR THE NORTHEASTERLY CORNER OF THE LOT AS SHOWN:  
 ELEV.: 336.00'

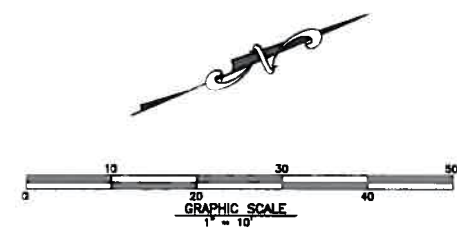
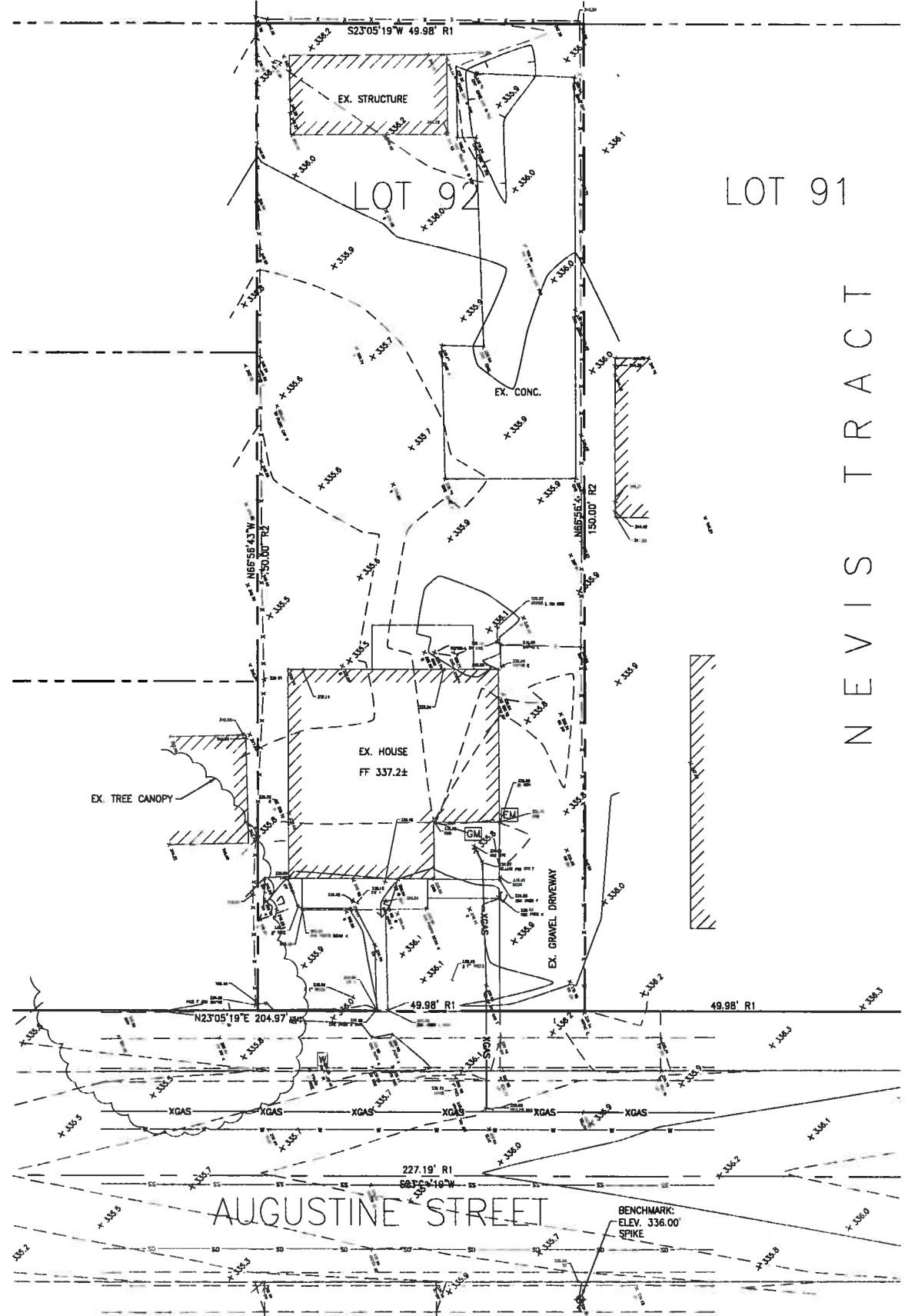
- LEGEND**
- 200--- EXISTING CONTOUR LINE
  - 200--- NATURAL GRADE CONTOUR LINE
  - ⊙ FOUND CITY MONUMENT BOX, OR AS NOTED
  - BOUNDARY OF PROPERTY SURVEYED
  - ( ) RECORD INFORMATION
  - CENTERLINE
  - △ CURB INLET
  - CURB LINE
  - DRIVEWAY APRON
  - ⊙ ELECTROLUER
  - FENCE
  - ◇ FIRE HYDRANT
  - ⊕ FLAT GRATE INLET
  - O.H. PWR OVERHEAD POWER LINE
  - O.H. TEL OVERHEAD TELEPHONE LINE
  - SANITARY SEWER LINE
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ SANITARY SEWER CLEANOUT
  - SIGN
  - STORM DRAIN LINE
  - ⊙ STORM DRAIN MANHOLE
  - ⊙ UTILITY BOX
  - ◇ UTILITY POLE
  - WATER LINE
  - ⊙ WATER METER
  - ⊙ WATER VALVE
  - ⊙ ELECTRIC METER
  - ⊙ WATER HEATER
  - ⊙ GAS

- ABBREVIATIONS**
- APN ASSESSOR'S PARCEL NUMBER
  - BM BENCH MARK
  - CATV CABLE TELEVISION OVERHEAD
  - D CURVE DELTA
  - DRWY DRIVEWAY
  - DS DOWNSPOUT
  - FL FLOW LINE ELEVATION
  - IP IRON PIPE
  - L CURVE LENGTH
  - R/R REFERENCE DOCUMENT
  - M-M MONUMENT TO MONUMENT
  - O.H. PWR OVERHEAD POWER LINE
  - O.H. TEL OVERHEAD TELEPHONE LINE
  - PCL PARCEL
  - P.M. PARCEL MAP
  - PTN PORTION
  - R RADIUS
  - SD STORM DRAIN
  - SS SANITARY SEWER
  - TC TOP OF CURB ELEVATION
  - TEMP. TEMPORARY
  - PUE PUBLIC UTILITY EASEMENT
  - WLE WATER LINE EASEMENT



DATE	4-21-15	REVISIONS	
SCALE	AS SHOWN	DRAWN BY	O. OSUNA
CHECKED BY			
SUPERVISED BY  PROFESSIONAL LAND SURVEYOR No. 8921 EXPIRES 9-30-16 STATE OF CALIFORNIA			
BOUNDARY AND TOPOGRAPHIC MAP LANDS OF YI 4745 AUGUSTINE ST PLEASANTON, CALIFORNIA			
JOB NO.	1182		
SHEET	1		
OF	2		

# NEVIS TRACT



THE BEARING NORTH 89°01'47" WEST OF THE CENTER LINE OF OLD BERNAL AVENUE AS SHOWN ON THAT MAP OF TRACT NO 7952 FILED FOR RECORD IN BOOK 327 OF MAPS PAGES 82 THROUGH 84, ALAMEDA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

**NOTES:**

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2. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
3. TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.

**REFERENCES:**  
 R1 TRACT NO. 7952 327-M-82&85  
 R2 NEVIS TRACT 10-M-60

**BENCH MARK**

DESCRIPTION: ASSUMED BENCHMARK, SPIKE ON OPPOSITE SIDE OF STREET, NEAR THE NORTHEASTERLY CORNER OF THE LOT AS SHOWN:  
 ELEV.: 336.00'

**LEGEND**

- 200--- EXISTING CONTOUR LINE
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- ⊙ FOUND CITY MONUMENT BOX, OR AS NOTED
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- UTILITY BOX
- UTILITY POLE
- WATER LINE
- ⊞ WATER METER
- ⊞ WATER VALVE
- ⊞ ELECTRIC METER
- ⊞ WATER HEATER
- ⊞ GAS

**ABBREVIATIONS**

- APN ASSESSOR'S PARCEL NUMBER
- BM BENCH MARK
- CATV CABLE TELEVISION OVERHEAD
- D CURVE DELTA
- DRWY DRIVEWAY
- DS DOWNSPOUT
- FL FLOW LINE ELEVATION
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- SD STORM DRAIN
- SS SANITARY SEWER
- TC TOP OF CURB ELEVATION
- TEMP. TEMPORARY
- PUE PUBLIC UTILITY EASEMENT
- WLE WATER LINE EASEMENT



SUPERVISED BY  
 OSCAR OSUNA  
 PROFESSIONAL LAND SURVEYOR NO. 8321  
 EXPIRES 9/30/16

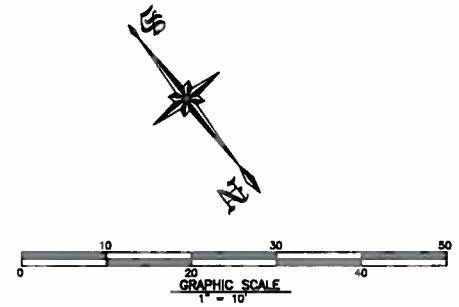
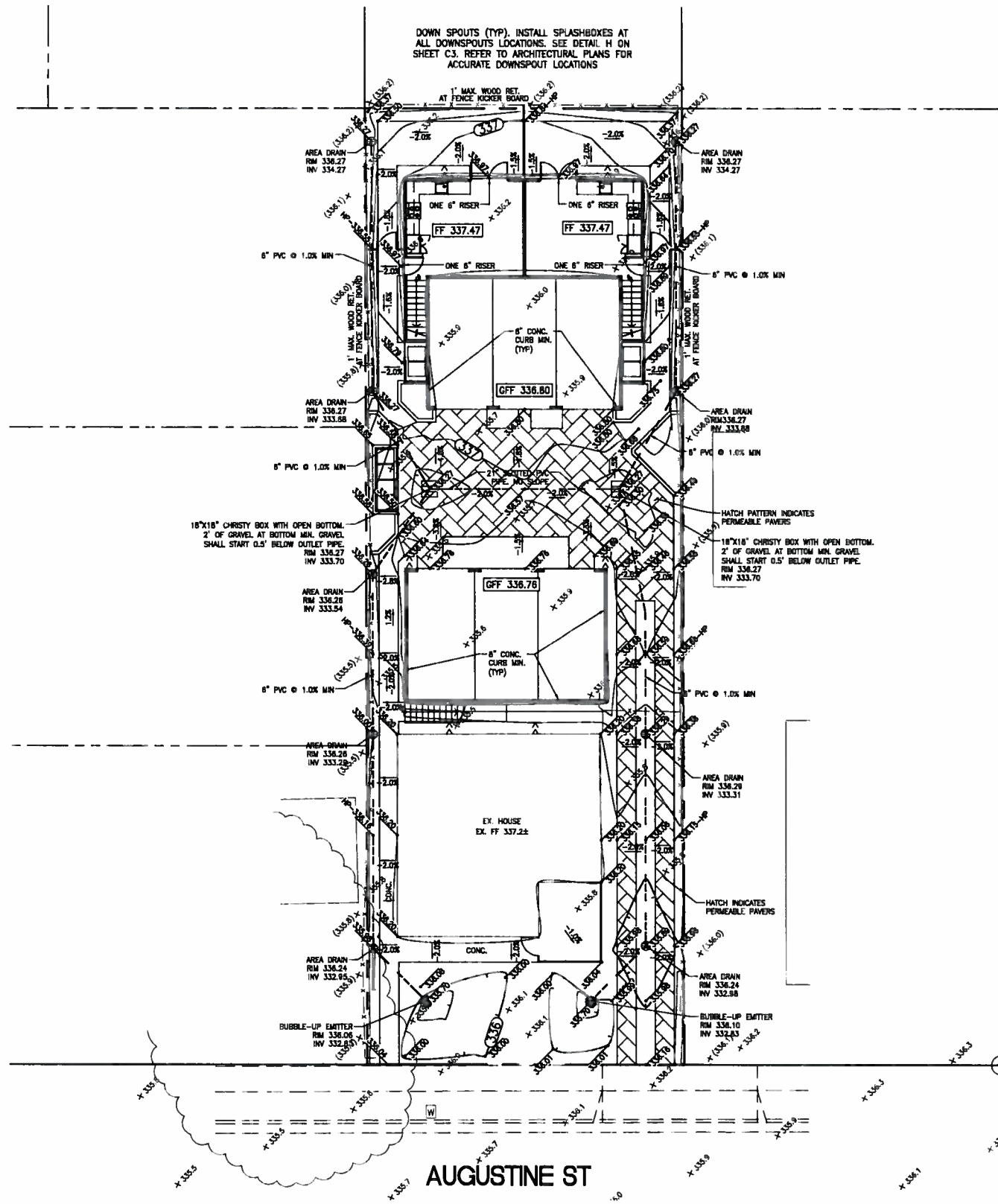
BOUNDARY AND TOPOGRAPHIC MAP  
 LANDS OF Y1  
 4745 AUGUSTINE ST  
 PLEASANTON, CALIFORNIA

JOB NO.  
 1182  
 SHEET  
 2  
 OF  
 2

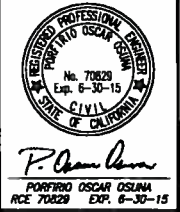
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SCALE	AS SHOWN
DRAWN BY	O. OSUNA
CHECKED BY	O.C.
REVISIONS	



CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LAURELTY PASSING FROM THE SOLE RESPONSIBILITY OF THE OWNER OR THE CONTRACTOR.



NO.	DATE	BY	CSJ	DATE	REVISIONS
1					
2					
3					
4					



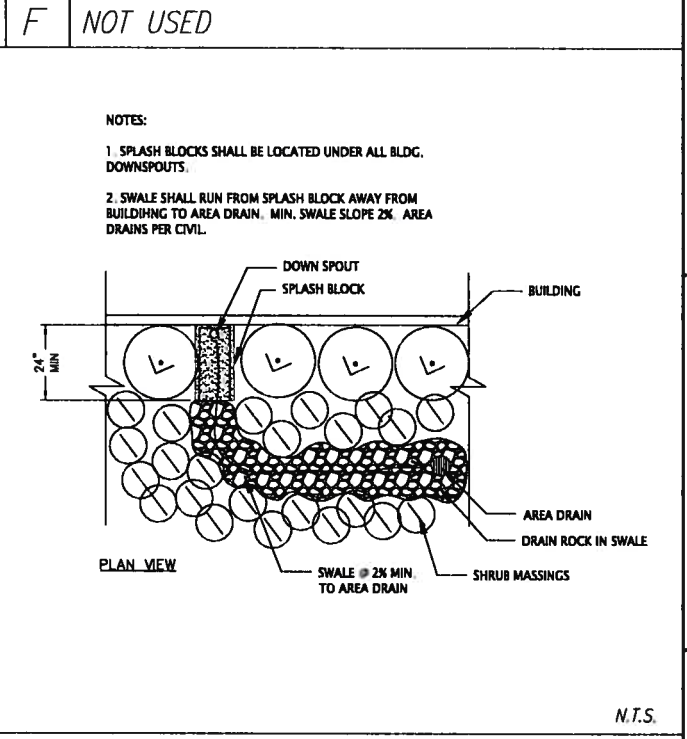
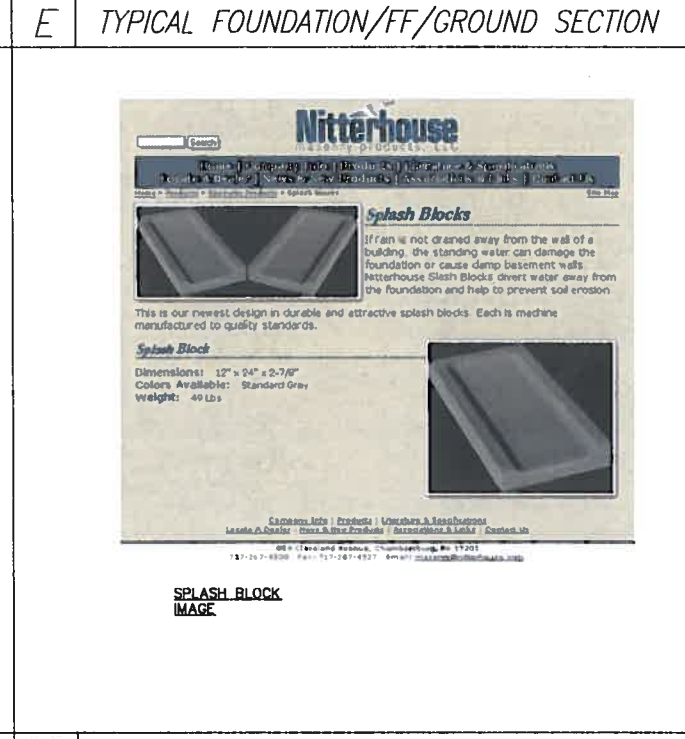
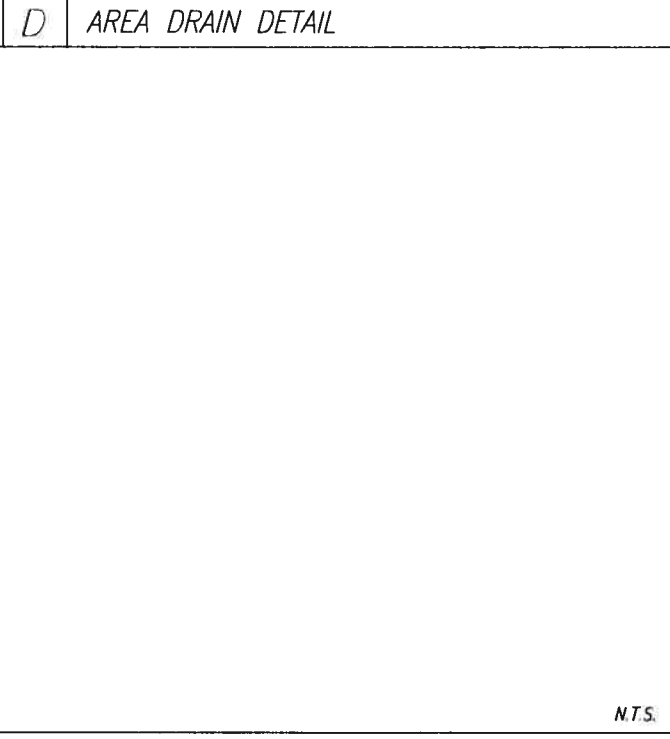
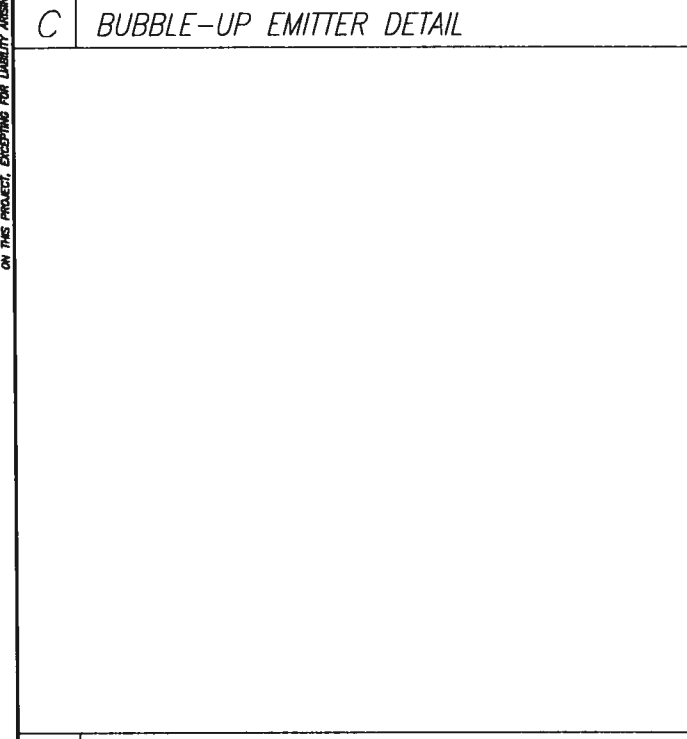
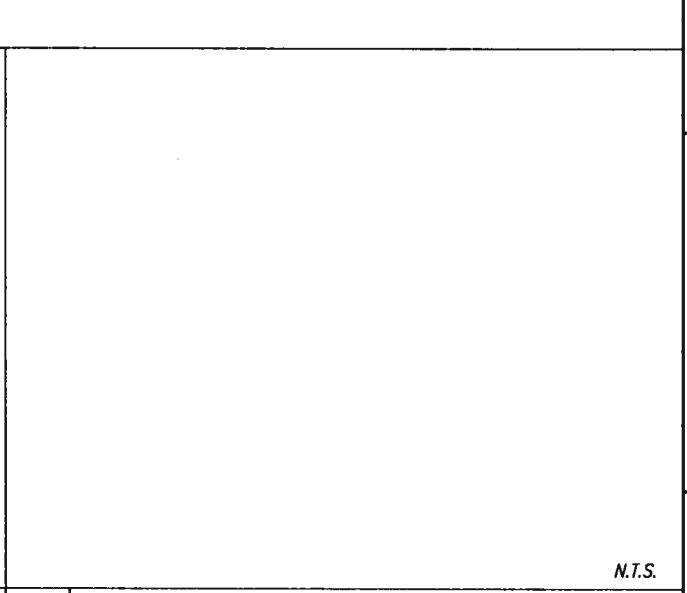
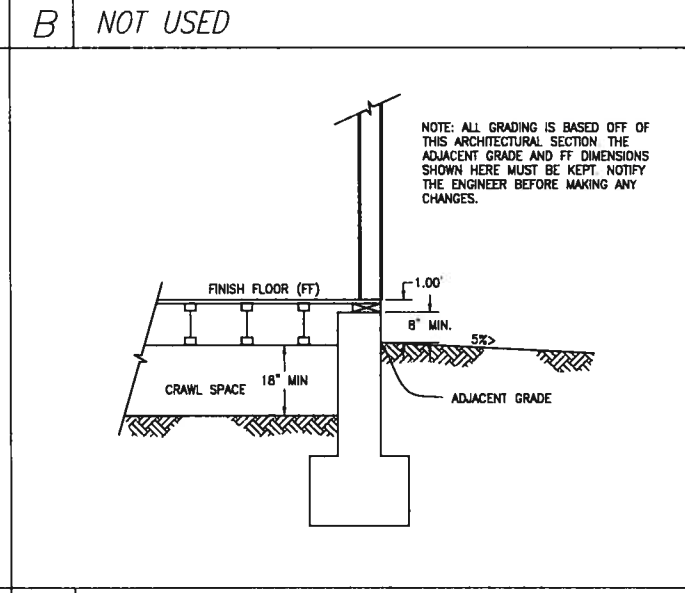
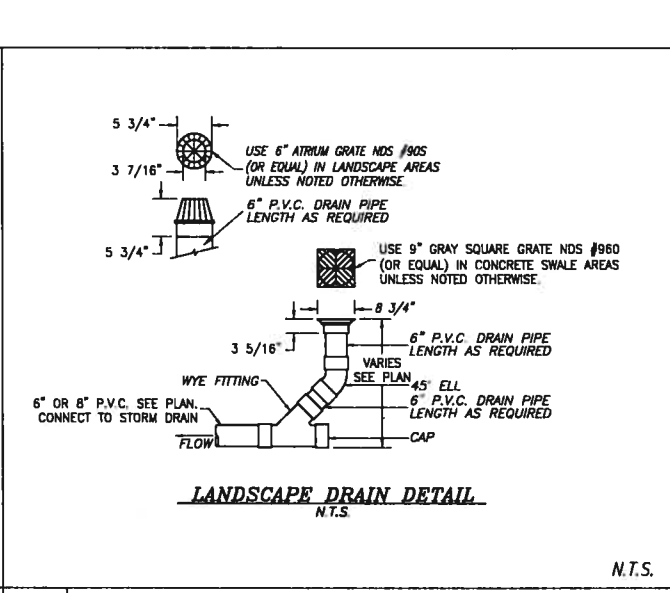
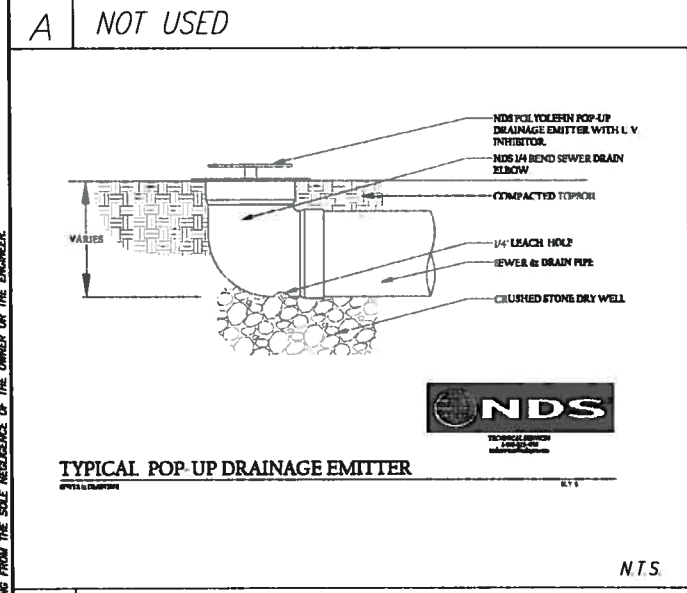
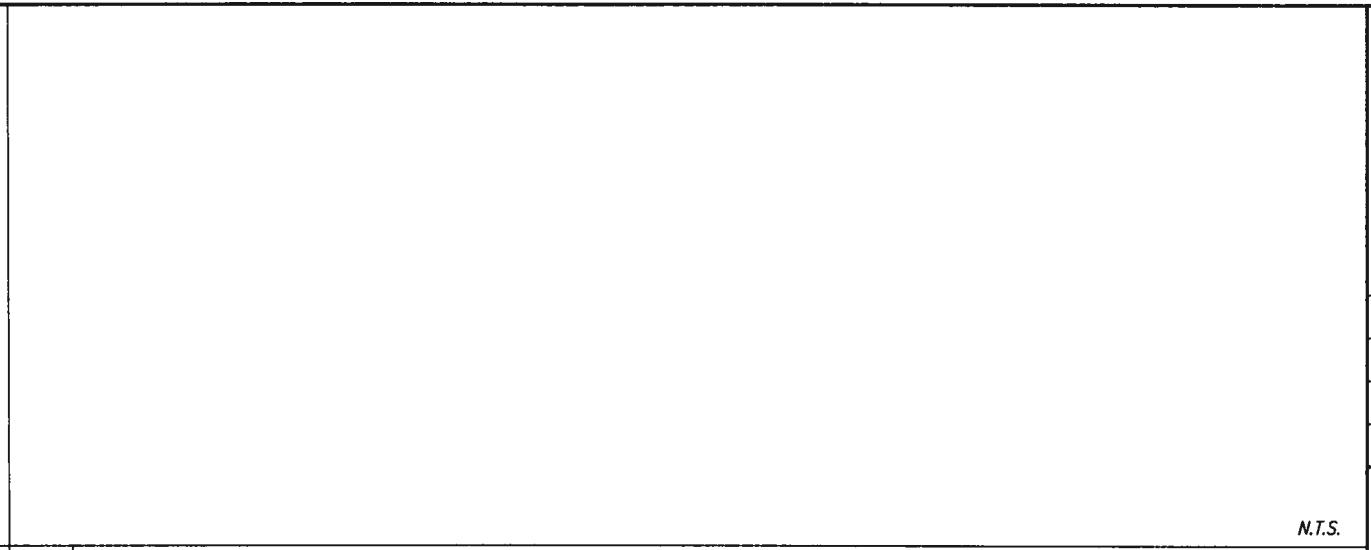
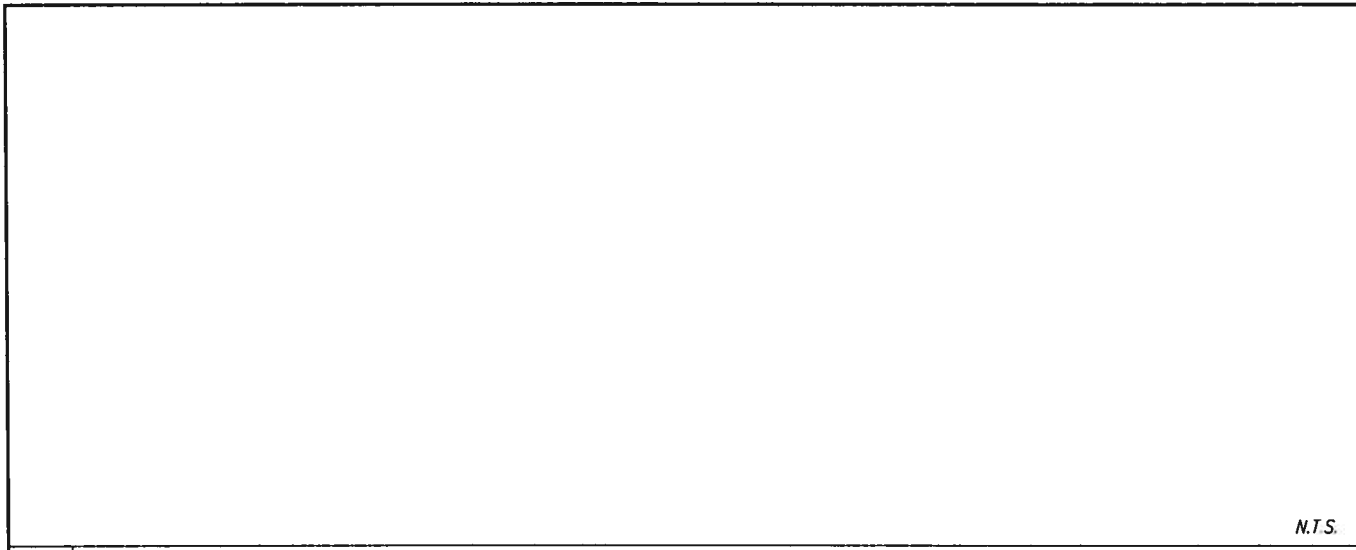
**ALOK VENTURES LLC**  
 3230 WESTBRIDGE LN.  
 PLEASANTON, CA 94566

**GreenBlueEarth Inc.**  
 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
 284 BRIMLEY CROSS DRIVE TEL: (408) 772-4381  
 SAN JOSE, CA 95119 [GreenBlueEarth@gmail.com](mailto:GreenBlueEarth@gmail.com)

**GRADING & DRAINAGE PLAN**  
 4745 AUGUSTINE ST.  
**GRADING & DRAINAGE PLAN**  
 PLEASANTON CALIFORNIA  
 Project No.: 1182 Design: O.G. Check: O.G. Date: 6/07/15

SHEET  
**C2**  
 OF 5 SHEETS

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING THE NECESSARY CONSENTS FROM THE SOLE AGENT OF THE OWNER ON THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING THE NECESSARY CONSENTS FROM THE SOLE AGENT OF THE OWNER ON THE PROJECT.



NO.	DATE	BY	CS	REVISIONS

REGISTERED PROFESSIONAL ENGINEER  
 No. 70829  
 Exp. 6-30-15  
 CIVIL  
 STATE OF CALIFORNIA

*P. Oscar Osuna*  
 OSCAR OSUNA  
 PCE 70829 EXP. 6-30-15

**ALOK VENTURES LLC**  
 3230 WESTBRIDGE LN.  
 PLEASANTON, CA 94566

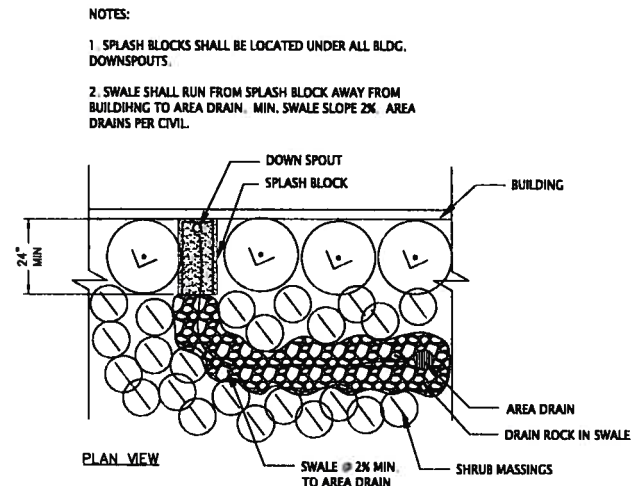
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 www.greenblueearth.com

**GRADING & DRAINAGE PLAN**  
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 SECTIONS AND DETAILS  
 PLEASANTON CALIFORNIA  
 Project No.: 1182 Design: C.G. Check: G.C. Date: 9/07/19

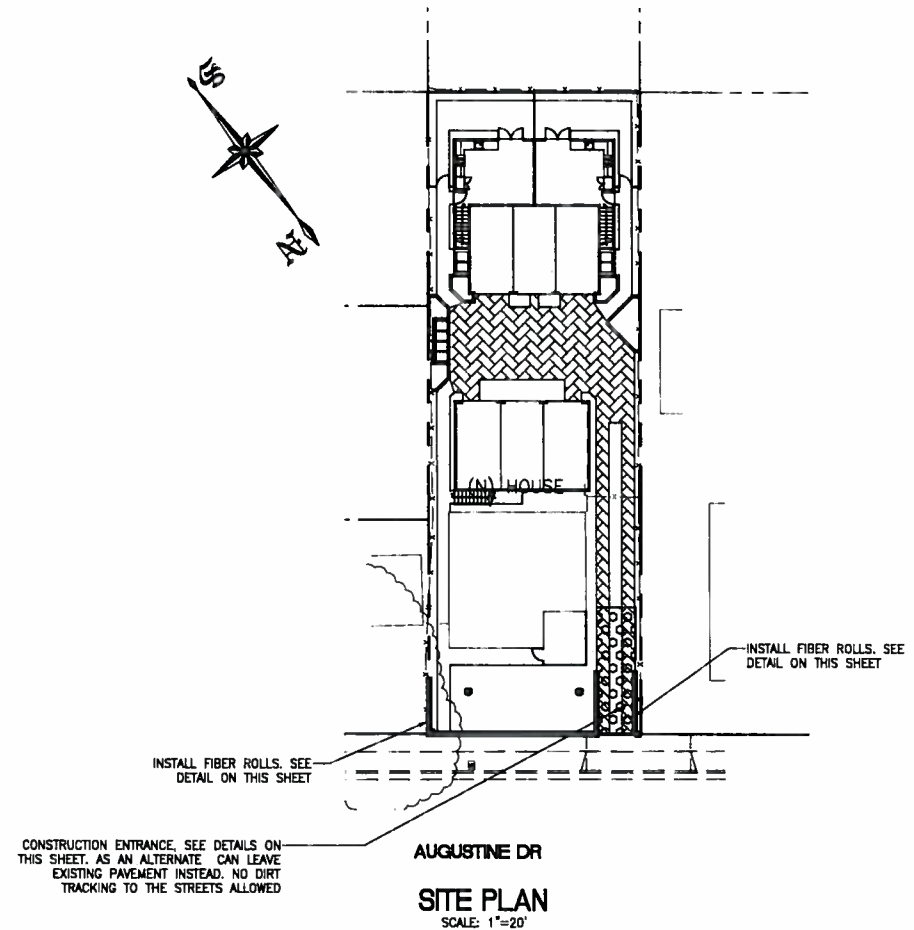
SHEET  
**C3**  
 OF 5 SHEETS



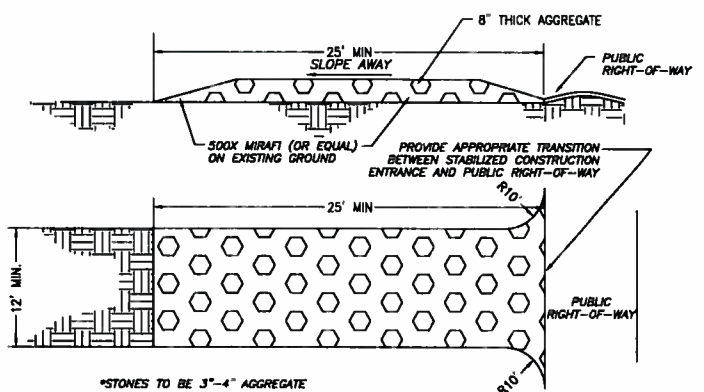
SPLASH BLOCK IMAGE



CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.



**NOTES:**  
 1. PROTECT ALL INLETS IN THE PUBLIC STREETS SURROUNDING THE SITE.  
 2. ALL ON-SITE LANDSCAPE AREA DRAINS TO BE CAPPED OR PROTECTED UNTIL LANDSCAPING IS FINISHED.



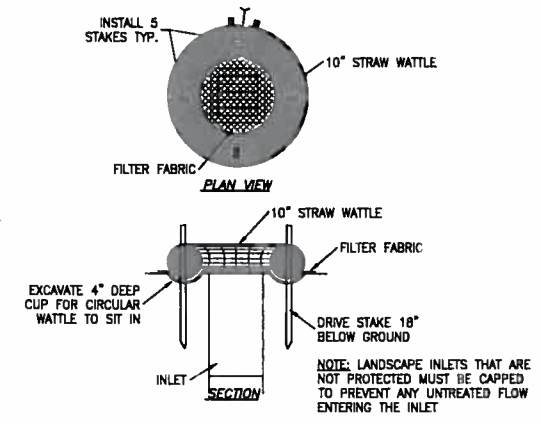
**MAINTENANCE:**  
 THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT.  
 ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.  
 WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**STABILIZED CONSTRUCTION ENTRANCE**  
 N.T.S.

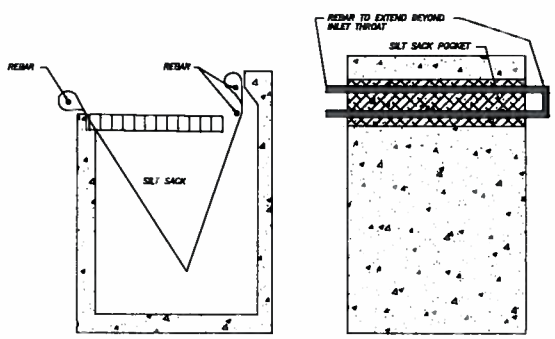
**LEGEND**

PROPOSED	DESCRIPTION
---	SITE BOUNDARY
○ ○ ○ ○ ○	STABILIZED CONSTRUCTION ENTRANCE 2"-3" ROCK (MIN)
—	FIBER ROLL

- MAINTENANCE NOTES**
- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
- REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
  - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - RILLS AND GULLIES MUST BE REPAIRED.



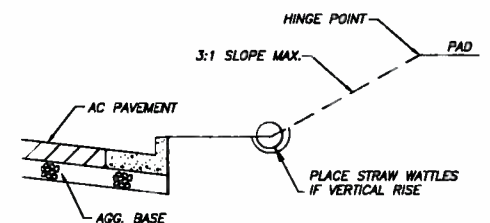
**ALTERNATE FIBER ROLL INLET PROTECTION**  
 MAY BE USED IN LANDSCAPE AREA DRAINS  
 N.T.S.



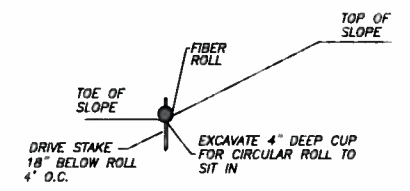
**CALIFORNIA MODIFIED SILT SACK**  
 REED & GRAHAM, INC. (OR EQUAL)  
 BEFORE & AFTER STREETS ARE PAVED  
 N.T.S.

- EROSION & SEDIMENT CONTROL NOTES**
- NOT USED
  - THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
  - ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER. SUBJECT TO REVIEW AND APPROVAL OF UNION SANITARY DISTRICT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
  - THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
  - ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR. SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
  - IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
  - DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
  - CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-4" FRACTURED STONE AGGREGATE UNLAID WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
  - INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
  - BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
  - NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G. - ALONG RIGHT-OF-WAY).
  - ALL DISTURBED AREAS INCLUDING FLAT PADS ARE TO BE TREATED WITH STRAW AND TACKIFIER AT A RATE OF 2 TONS PER ACRE APPROXIMATELY 3 INCHES THICK.

- SUPPLEMENTAL EROSION & SEDIMENT CONTROL NOTES**
- SEE STANDARD EROSION & SEDIMENT CONTROL NOTES ABOVE.
  - THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
  - CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS.
  - CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
  - INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
  - THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.



**FRONT YARD SLOPE DETAIL**  
 AFTER STREET ARE PAVED  
 N.T.S.



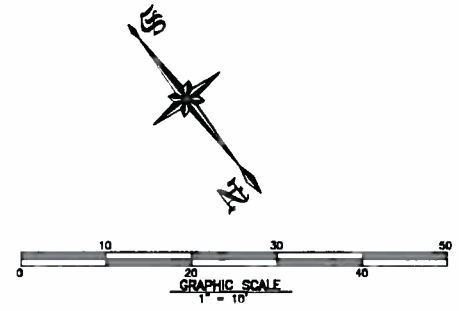
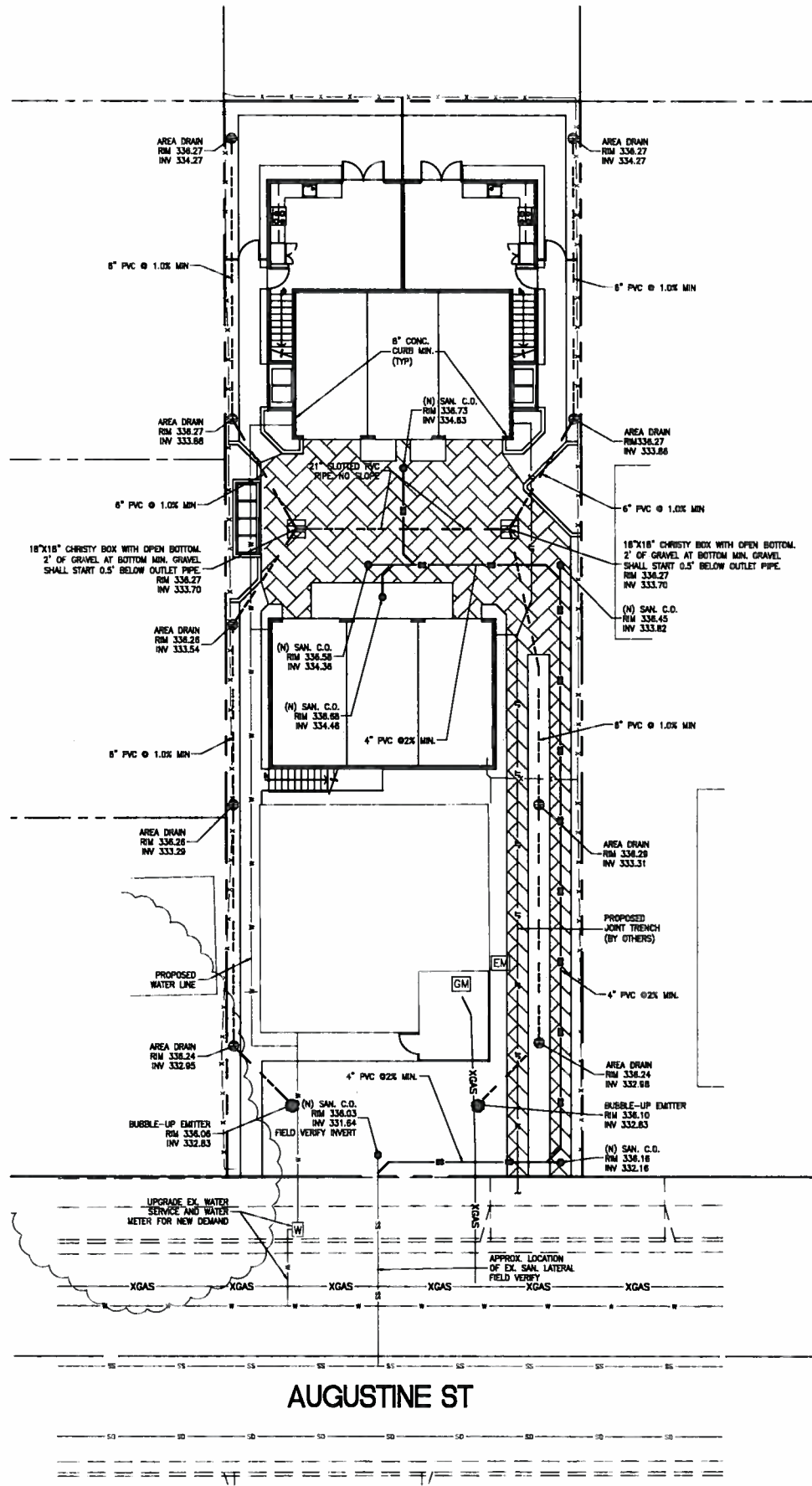
**FIBER ROLL INSTALLATION DETAIL**  
 N.T.S.

	REVISIONS
	DATE
	CS/
	BY
<b>P. Oscar Osuna</b> PROFESSIONAL ENGINEER CIVIL PORTLAND OREGON RCE 70229 EXP. 6-30-15	
<b>ALOK VENTURES LLC</b> 3230 WESTBRIDGE LN. PLEASANTON, CA 94566	
<b>GreenBlueEarth Inc.</b> CONSULTING CIVIL ENGINEERS & LAND SURVEYORS 284 BRIMLEY CROSS DRIVE SAN JOSE, CA 95119 TEL: (408) 772-4387 Email: GreenBlueEarth@gmail.com	
GRADING & DRAINAGE PLAN	CALIFORNIA Project No. 1182 Design No. 0.0 Date: 6/07/15
4745 AUGUSTINE ST. EROSION CONTROL PLAN	
SHEET <b>C4</b> OF 5 SHEETS	

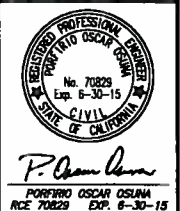




CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR ALL SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT HIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES FROM ANY AND ALL AGENCIES AND AUTHORITIES; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES FROM ANY AND ALL AGENCIES AND AUTHORITIES; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES FROM ANY AND ALL AGENCIES AND AUTHORITIES.



NO.	DATE	BY	CSJ	DATE	REVISIONS

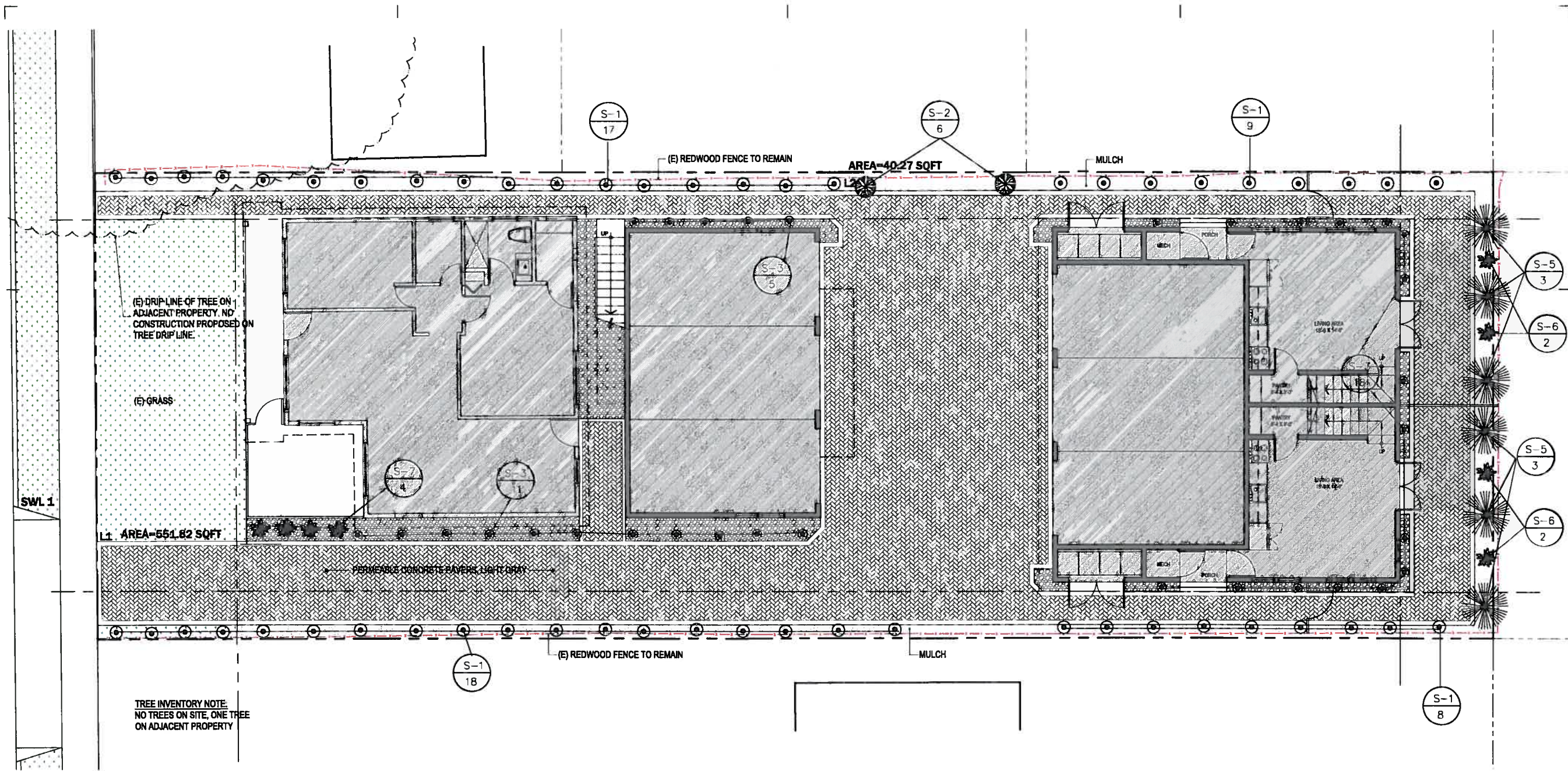


**ALOK VENTURES LLC**  
 3230 WESTBRIDGE LN.  
 PLEASANTON, CA 94566

**GreenBluEarth Inc.**  
 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
 284 BRIMLEY CROSS DRIVE  
 SAN JOSE, CA 95178  
 (408) 722-4387  
 GreenBluEarth@gmail.com

**UTILITY PLAN**  
 4745 AUGUSTINE ST.  
 PLEASANTON, CALIFORNIA  
 Project No.: 1182 | Design: G.O. | Date: 6/20/15

**SHEET 1**  
 OF 1 SHEETS



LANDSCAPING PLAN  
SCALE 3/16" = 1'-0"



**LEGEND :**

SYMBOL	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
S-1	50	5 GAL	EQUISETUM HYEMALE	HORSETAIL REED
S-2	10	5 GAL	PHORMIUM "PLATT'S BLACK"	DWARF RED FLAX
S-3	34	5 GAL	CLIVIA MINATA	KAFFIR LILY
S-4	3	5 GAL	COLEONEMA "SUNSET GOLD"	BREATH OF HEAVEN
S-5	6	5 GAL	DIFTES BI-COLOR	PEALOCK RIS
S-6	4	5 GAL	LANTANA MONTEVIDENSIS	LAVENDER LANTANA
S-7	4	5 GAL	ANIGOZANTHOS "PINK JOEY"	KANGAROO PAW

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Project No. 105-05-CA-100  
Set Date: 2015.02.13  
Drawn by: L. GALAZA  
Dep. Date: 2015.02.18

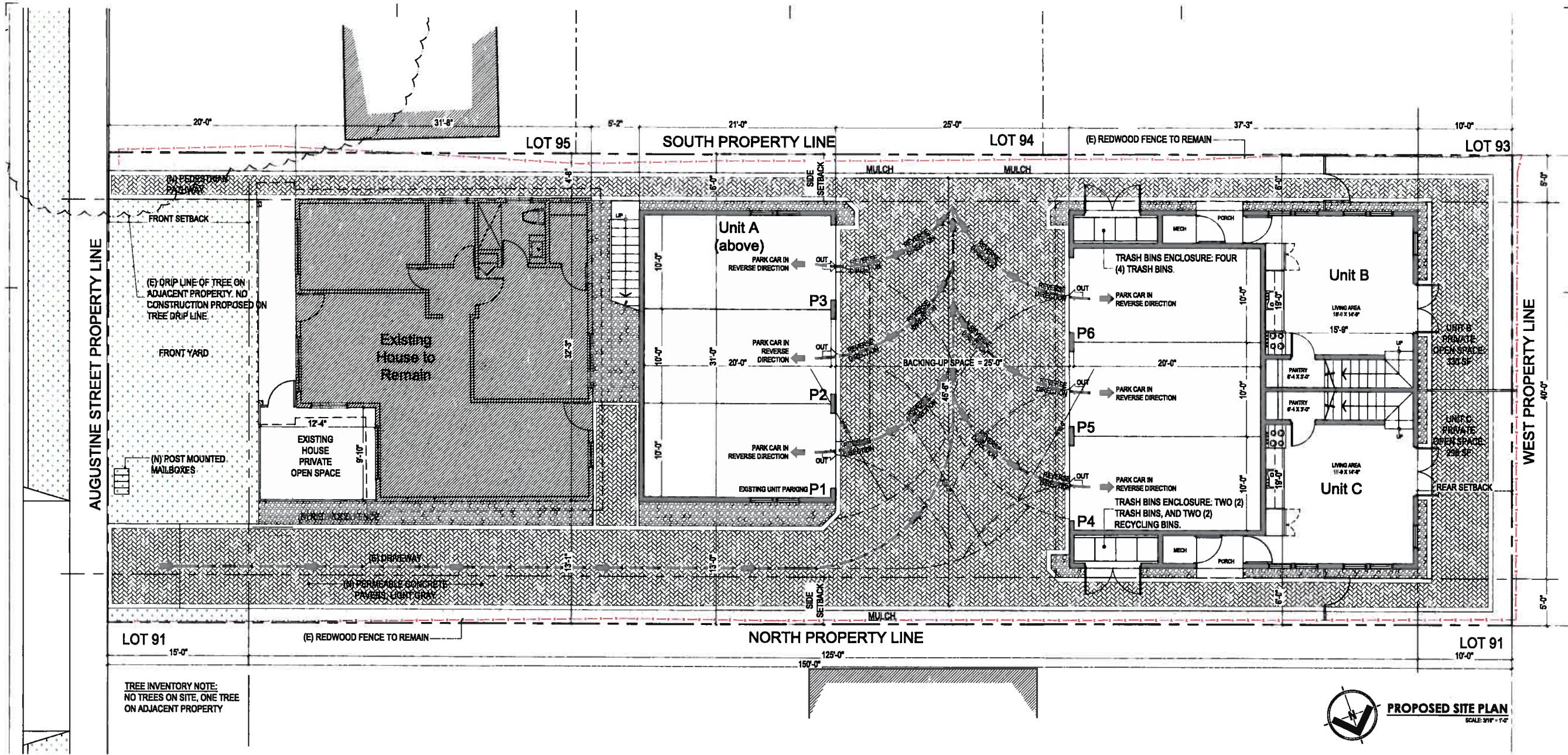
Revisions

Project Title:  
**RESIDENTIAL UNITS ADDITION**  
4745 AUGUSTINE ST., PLEASANTON, CA 94566

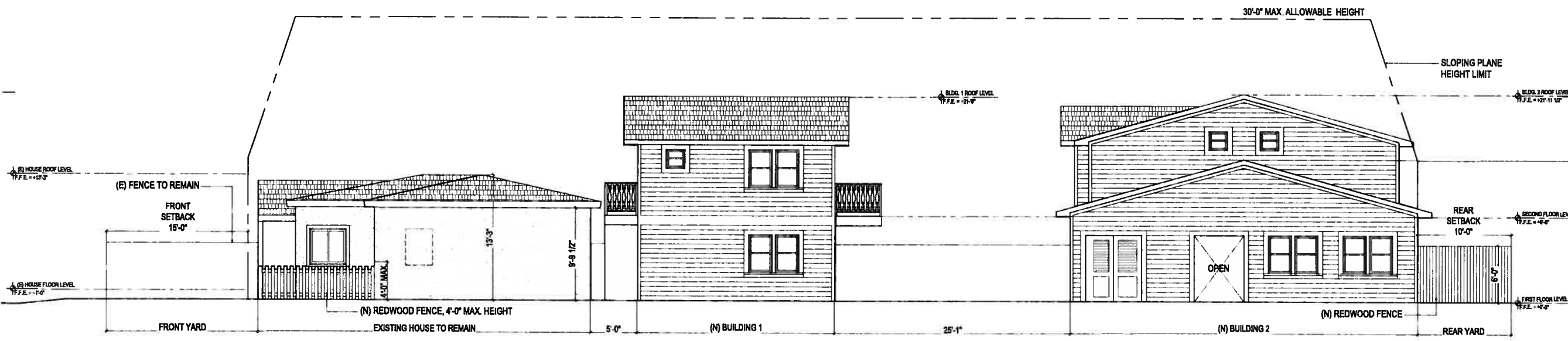
Sheet  
**L100**

Drawing Title:  
**PROPOSED LANDSCAPING PLAN**

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**PROPOSED SITE PLAN**  
SCALE 3/16" = 1'-0"



**GENERAL ELEVATION**  
SCALE 3/16" = 1'-0"

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**SHEET INFO.**  
Project No. US-05-CA-080  
Set Date: 2016.02.13  
Drawn by: L. GALANZA  
Prog. Date: 2016.02.19

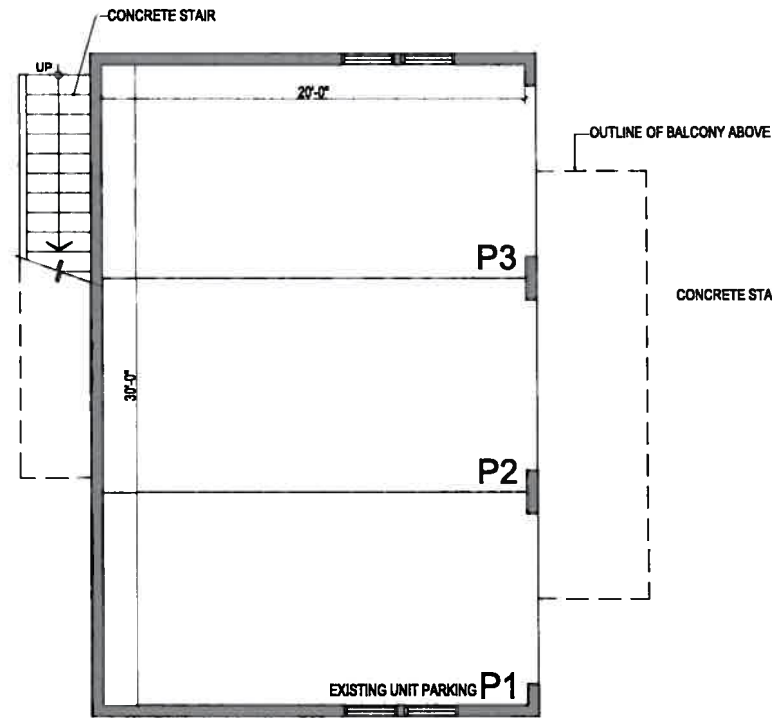
Revisions	Number	Date	Description

**RESIDENTIAL UNITS ADDITION**  
4745 AUGUSTINE ST., PLEASANTON, CA 94566

Project Title:  
Drawing Title:  
Sheet: **A100**

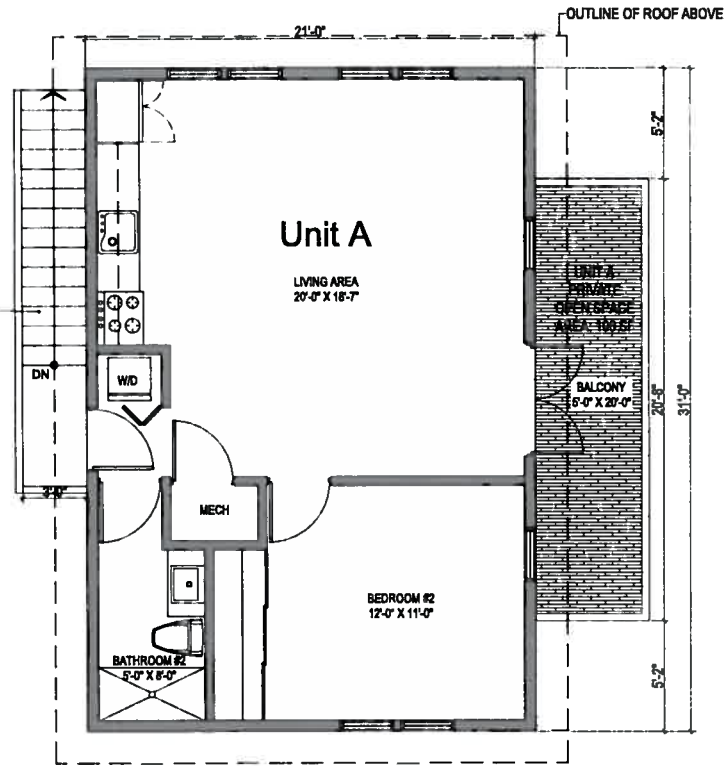
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**PROPOSED SITE PLAN & GENERAL ELEVATION**



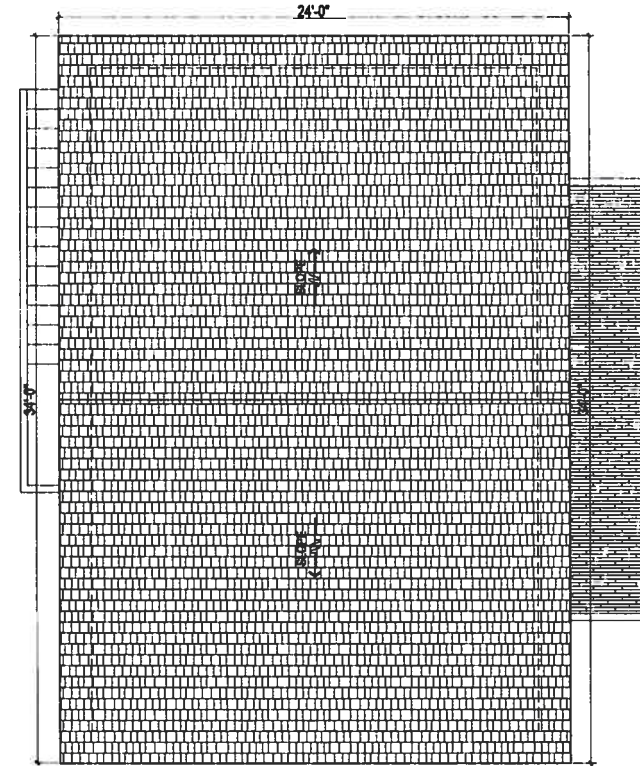
NOTES:  
1. FIRE SPRINKLER SYSTEM WILL BE INSTALLED AS REQUIRED BY CODE.

**BUILDING 1 - FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



NOTES:  
1. FIRE SPRINKLER SYSTEM WILL BE INSTALLED AS REQUIRED BY CODE.

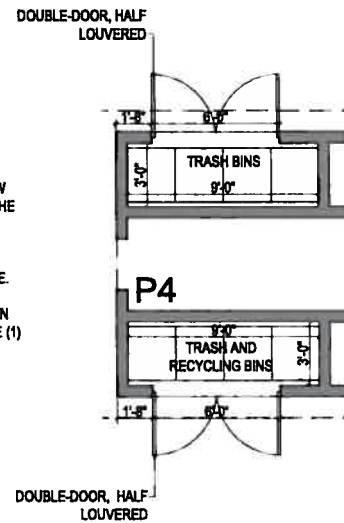
**BUILDING 1 - SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**BUILDING 1 - ROOF PLAN**  
SCALE: 1/4" = 1'-0"

NOTES:

- TRASH ENCLOSURE AREAS ALLOW FOR A TOTAL OF 8 BINS, AS PER THE PLEASANTON GARBAGE SERVICE.
- FIRE SPRINKLER SYSTEM TO BE INSTALLED AS REQUIRED BY CODE.
- TWO (2) BINS PER UNIT ONE (1) BIN FOR GARBAGE/LANDFILL AND ONE (1) BIN FOR RECYCLING



**TRASH ENCLOSURES AT BUILDING B PLANS**  
SCALE: 1/4" = 1'-0"



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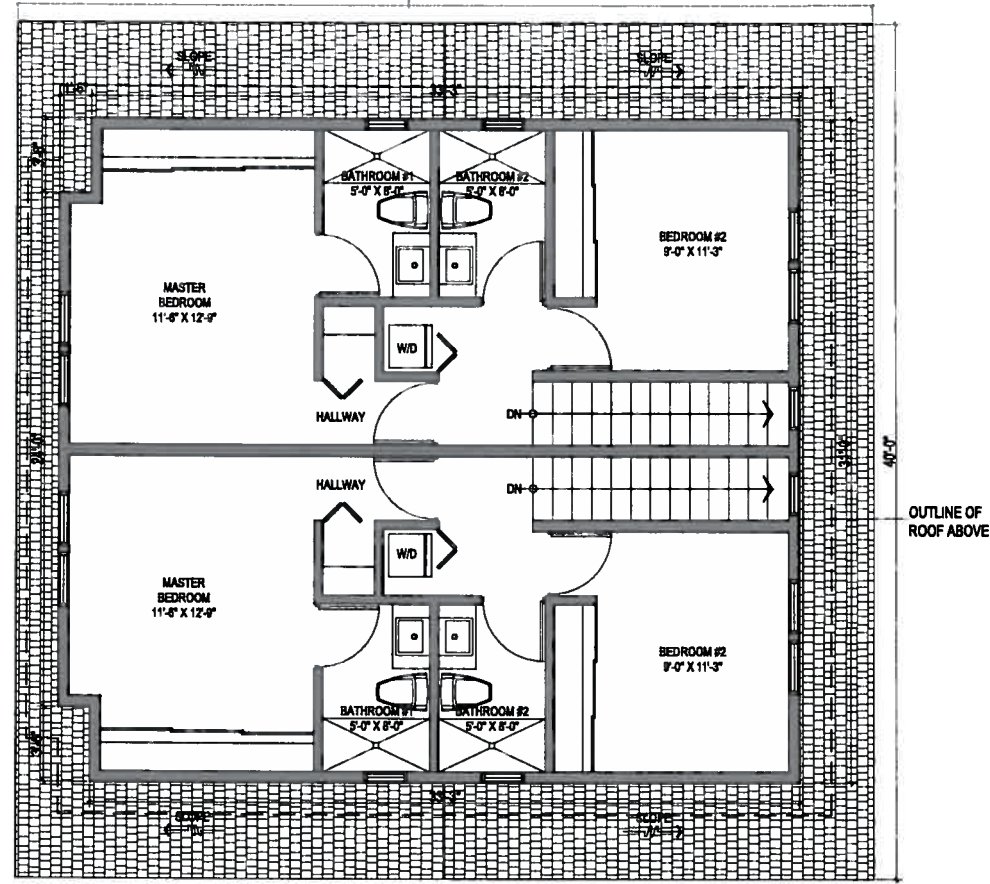
SHEET INFO  
Project No.: JUS-09-CA-000  
Set Date: 2015.08.13  
Drawn by: L. GALARZA  
Dep. Date: 2015.02.19

Revisions	Number	Date	Description

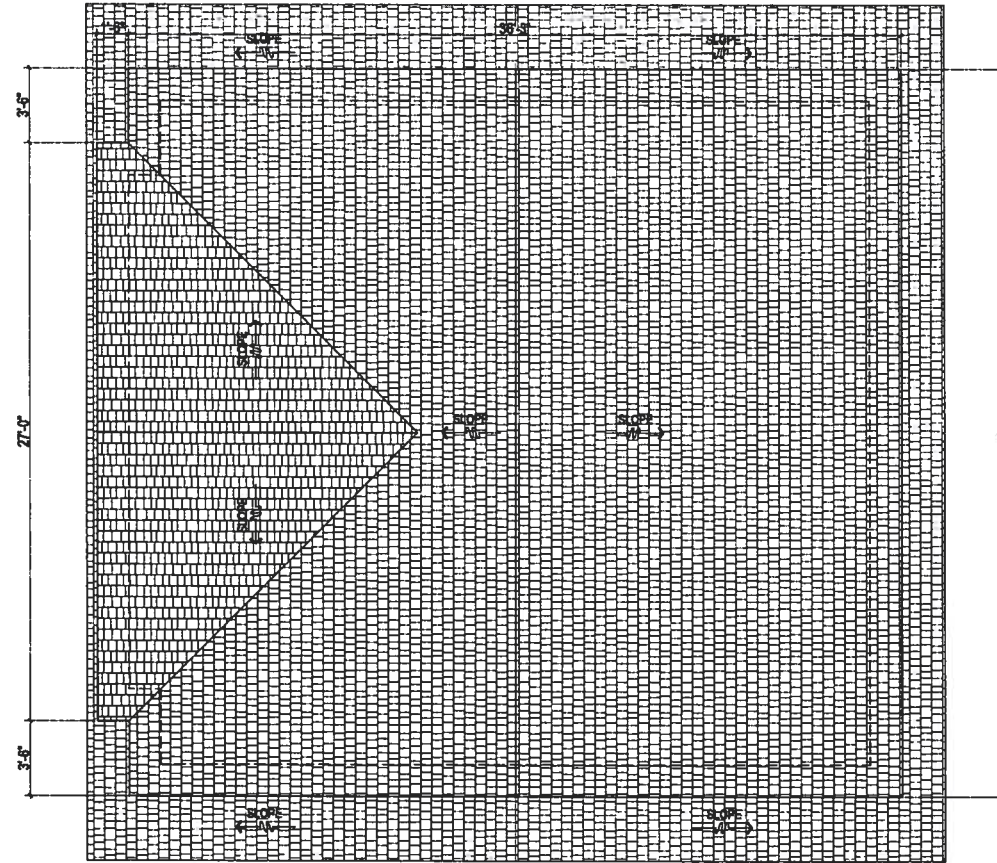
Project Title:  
**RESIDENTIAL UNITS ADDITION**  
4745 AUGUSTINE ST., PLEASANTON, CA 94566

Drawing Title:  
**PROPOSED BUILDING 1 FLOOR PLANS & TRASH ENCLOSURE**

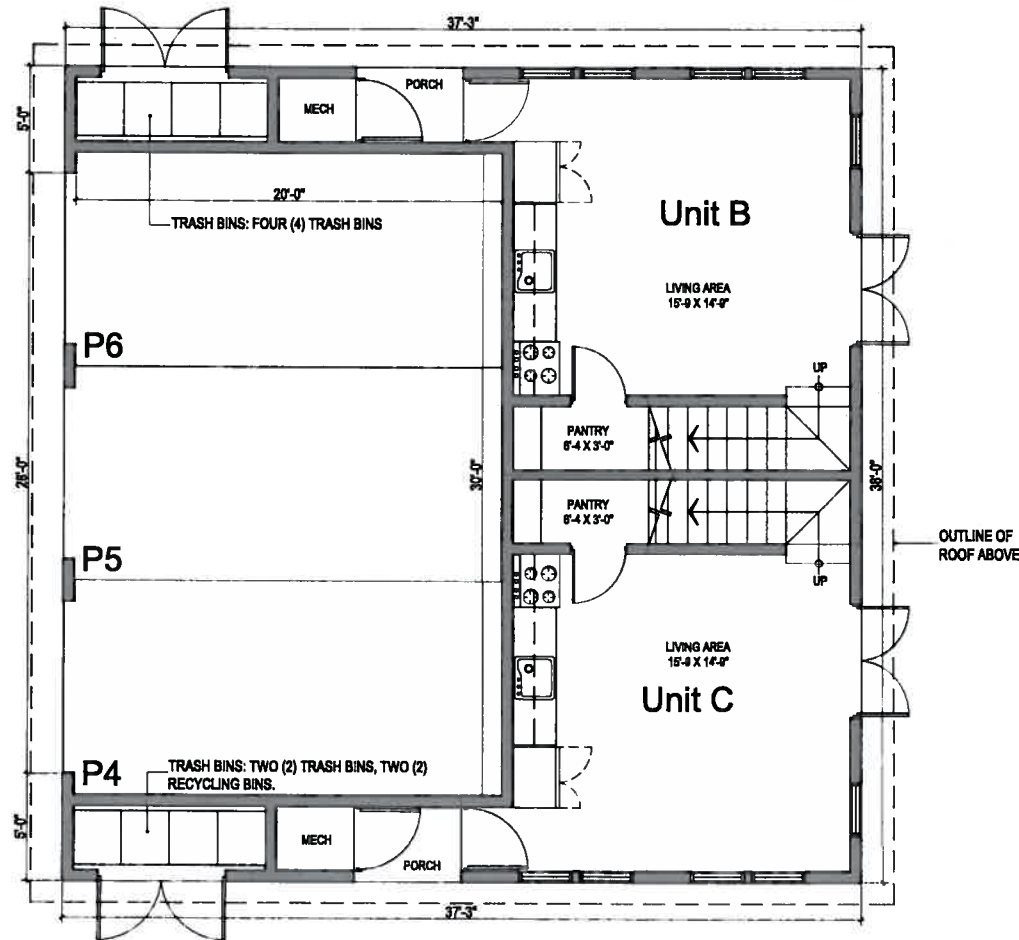
Sheet:  
**A101**



**BUILDING 2 - SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**BUILDING 2 - ROOF PLAN**  
SCALE: 1/8" = 1'-0"



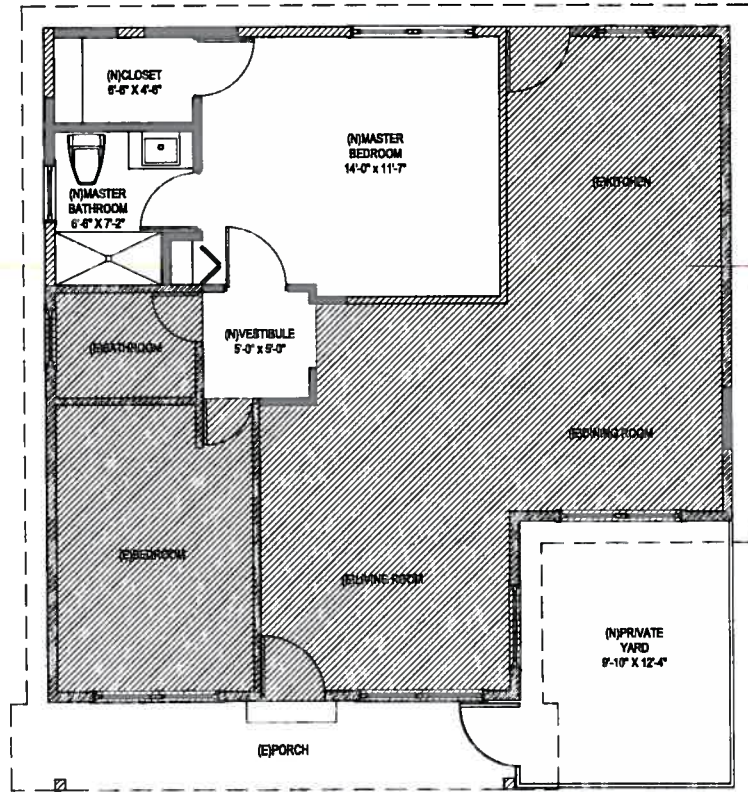
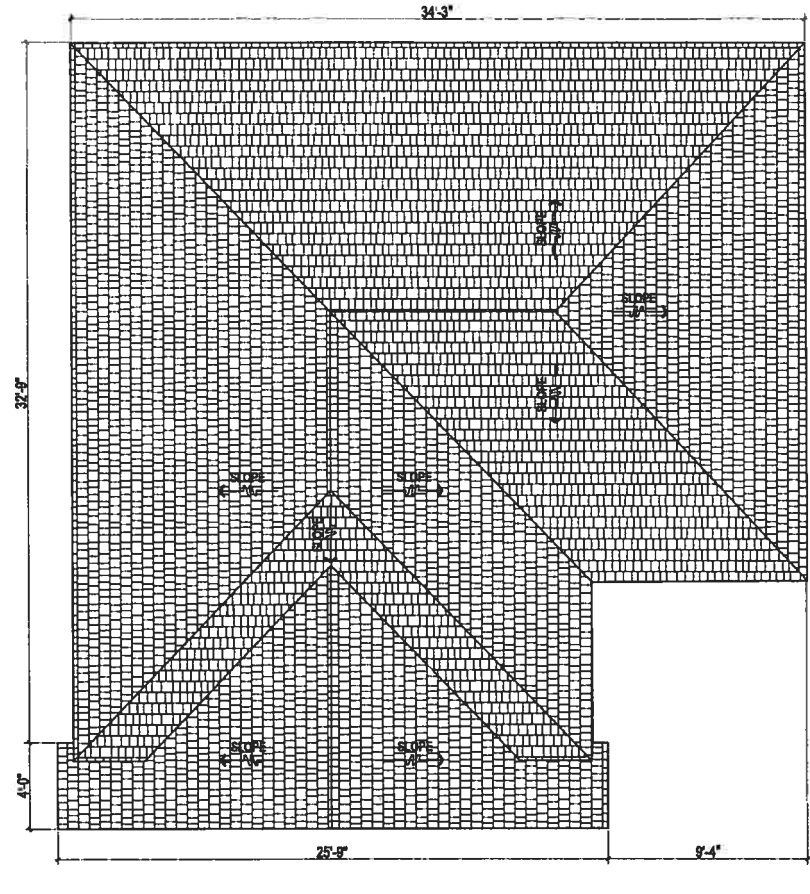
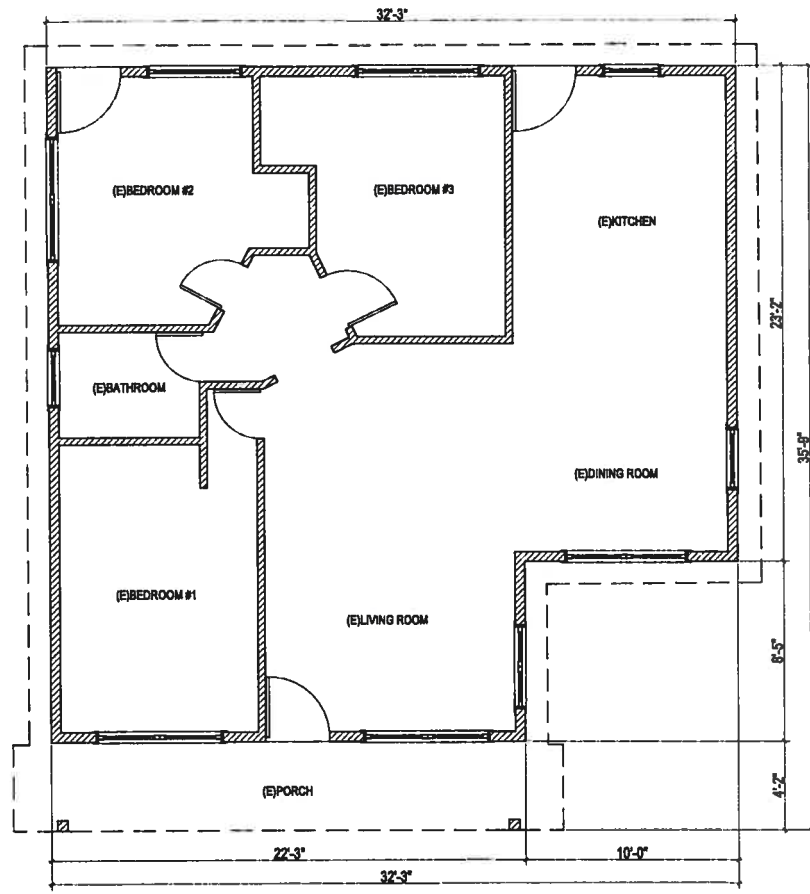
**BUILDING 2 - FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**NOTES:**  
1. FIRE SPRINKLER SYSTEM WILL BE INSTALLED AS REQUIRED BY CODE.



SHEET INFO	
Project No.	LUJ-05-CA-000
Set Date	2016.08.13
Drawn by	L. GALANZA
Dep. Date	2016.02.19

Revisions	Number	Date	Description



- NOTES:
1. ALL WALLS, EAVE PROJECTIONS AND OPENING IN EXTERIOR WILL BE FIRE RESISTIVE AS REQUIRED BY CODE.
  2. FIRE SPRINKLER SYSTEM WILL BE INSTALLED AS REQUIRED BY CODE.



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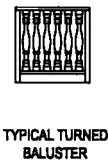
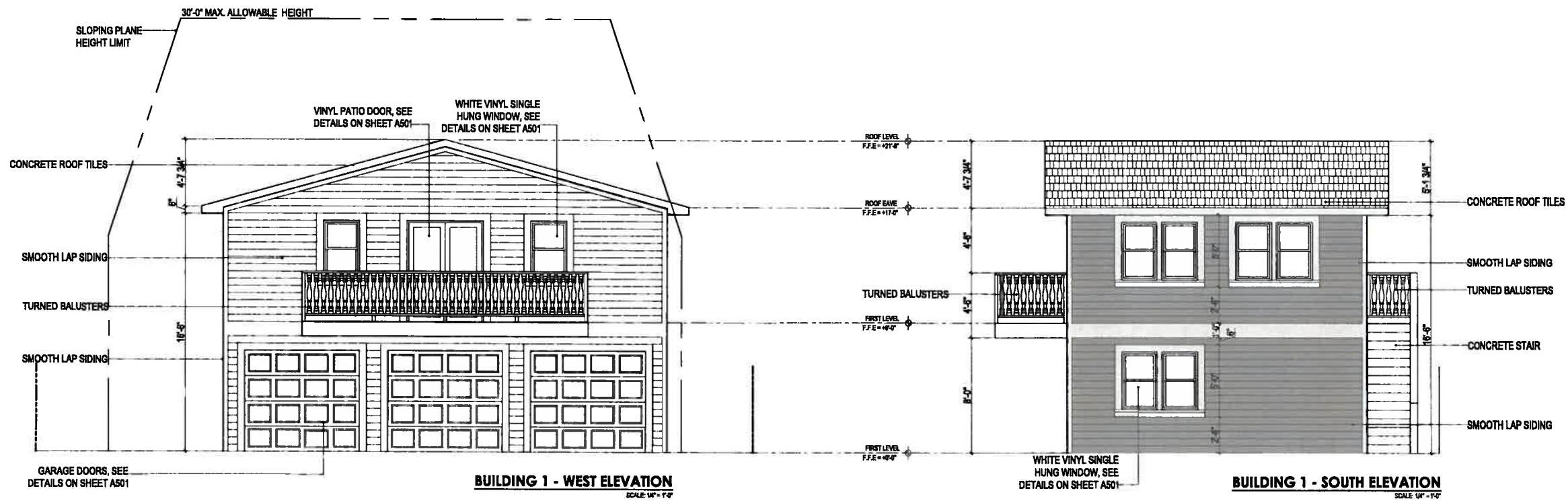
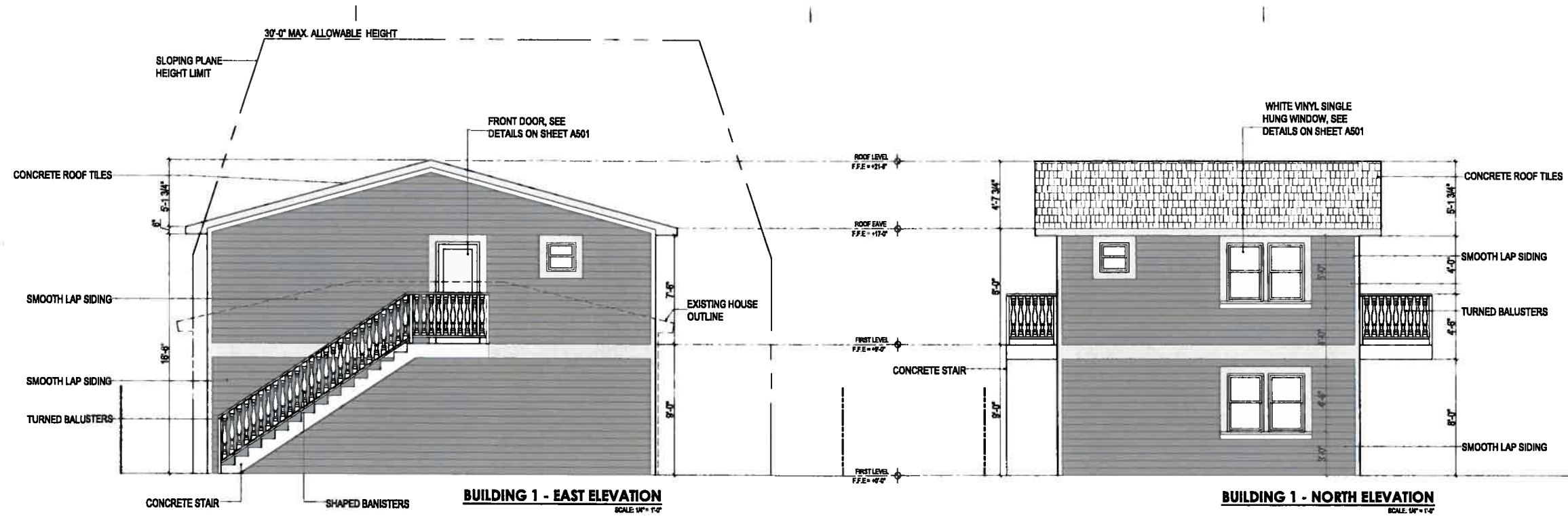
SHEET INFO  
Project No.: US-05-CA-000  
Set Date: 2015.04.13  
Drawn by: L. CALAZA  
Dwg. Date: 2015.02.19

Revisions	Number	Date	Description

Project Title:  
**RESIDENTIAL UNITS ADDITION**  
4745 AUGUSTINE ST., PLEASANTON, CA 94566

Drawing Title:  
**EXISTING HOUSE PLANS - EXISTING AND PROPOSED**

Sheet:  
**A103**



COLOR SCHEME NOTE:  
EXISTING HOUSE TO REMAIN UNCHANGED.

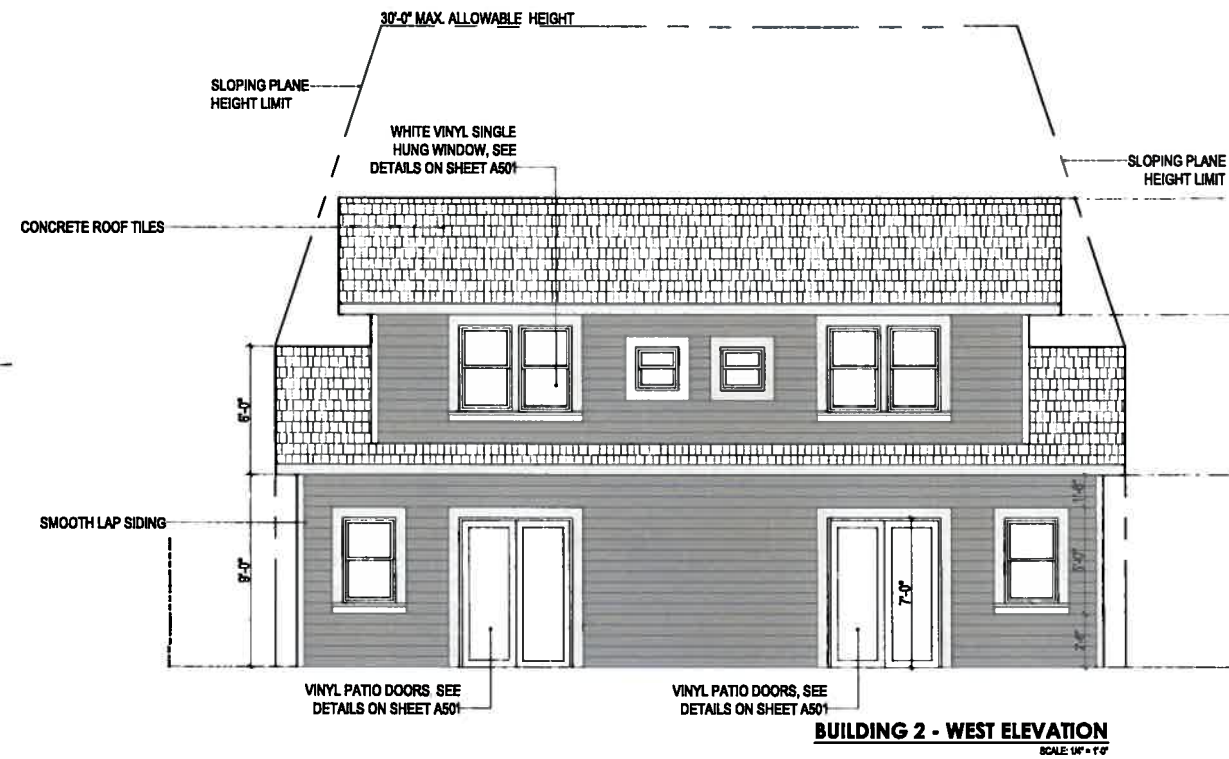
**PROPOSED COLOR SCHEME AND MATERIALS**

**SHEET INFO**

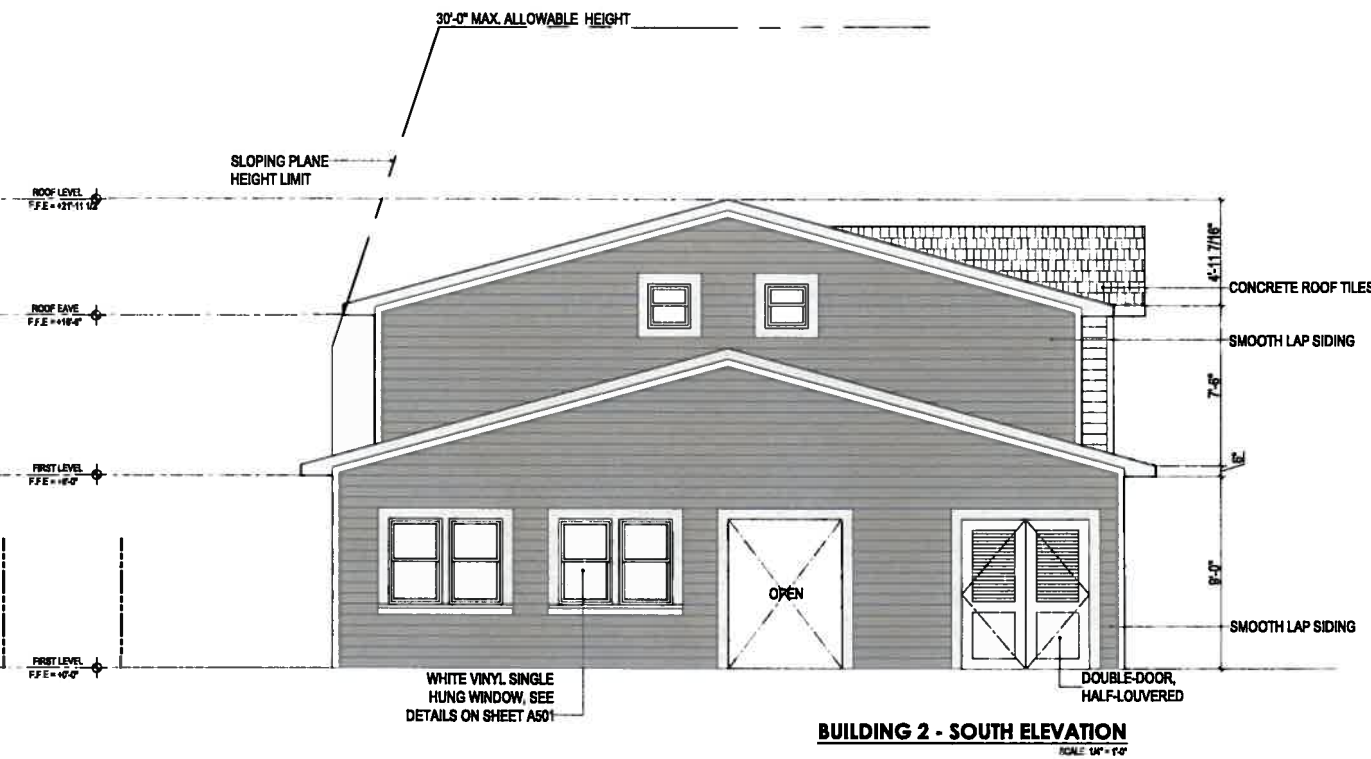
Project No.	US-05-CA-000
Set Date	2018.08.13
Drawn by	L. GALANZA
Design Date	2018.02.19

**Revisions**

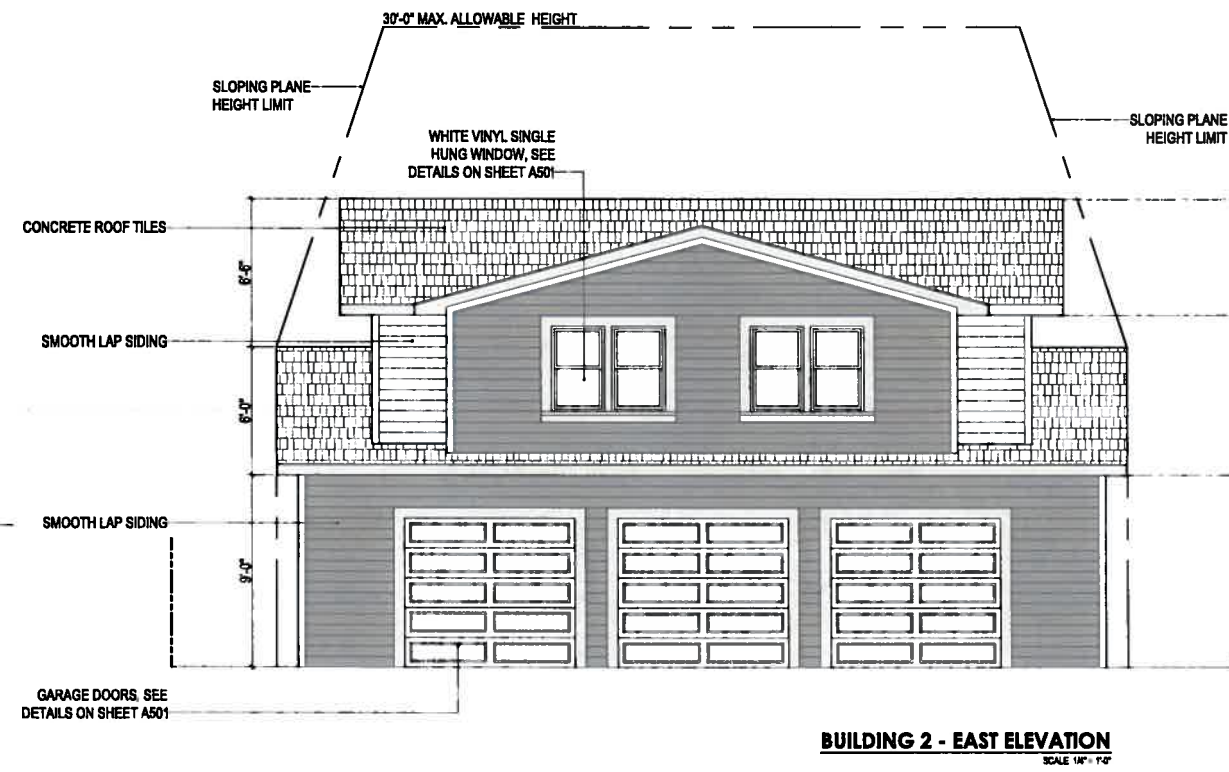
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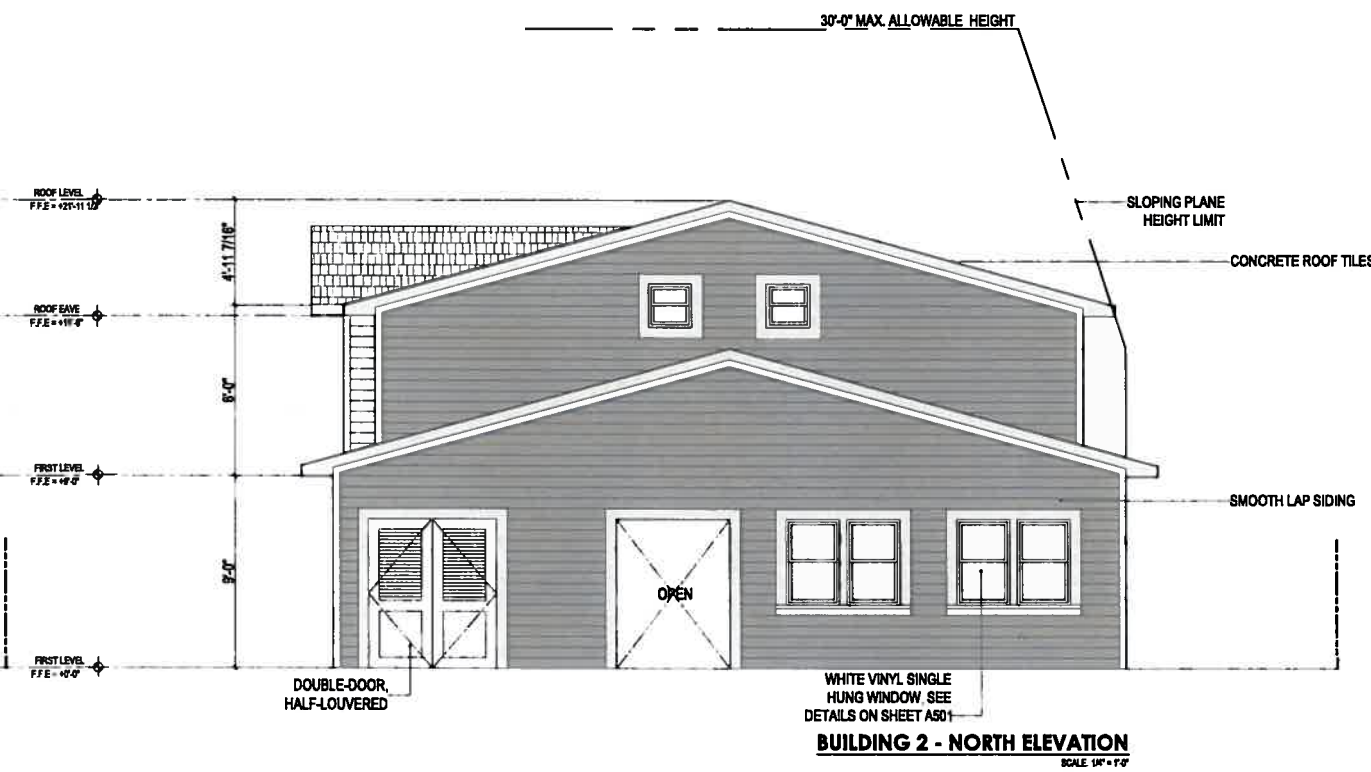
**BUILDING 2 - WEST ELEVATION**  
SCALE 1/4" = 1'-0"



**BUILDING 2 - SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"



**BUILDING 2 - EAST ELEVATION**  
SCALE 1/4" = 1'-0"



**BUILDING 2 - NORTH ELEVATION**  
SCALE 1/4" = 1'-0"

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**SHEET INFO**  
Project No.: JUS-05-CA-000  
Set Date: 2016.04.13  
Drawn by: L. GALANZA  
Dwg. Date: 2016.02.19

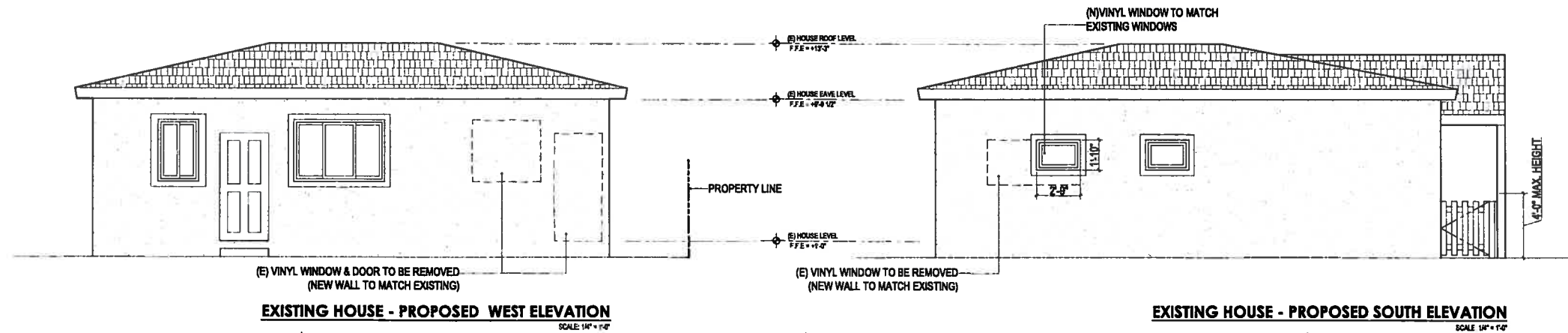
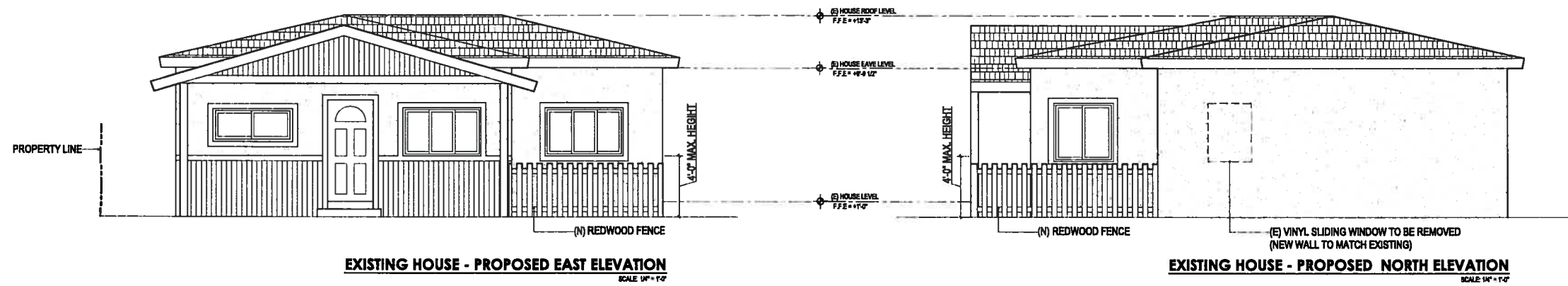
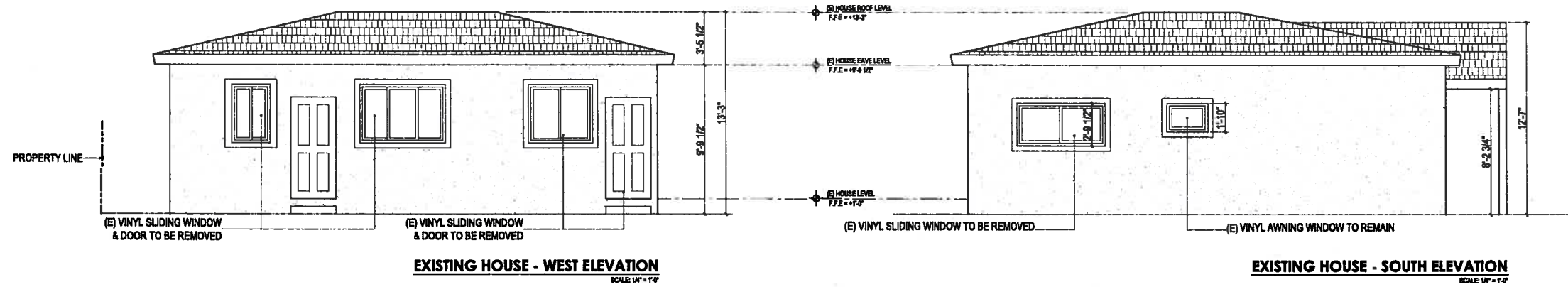
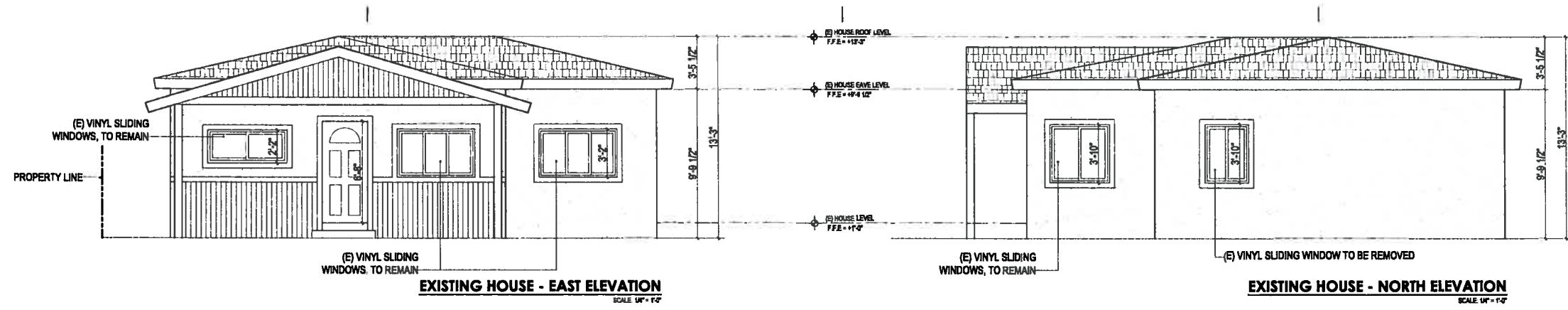
Revisions	Number	Date	Description

Project Title:  
**RESIDENTIAL UNITS ADDITION**  
4745 AUGUSTINE ST., PLEASANTON, CA 94566

Drawing Title:  
**PROPOSED BUILDING 2 ELEVATIONS**

Sheet:  
**A202**





SHEET INFO	
Project No.	18-02-CR-000
Set Date	2015.08.13
Drawn by	L. GALAZA
Dep. Date	2015.02.19

Revisions	
Number	Description

Project Title:  
**RESIDENTIAL UNITS ADDITION**  
 4745 AUGUSTINE ST., PLEASANTON, CA 94566

Drawing Title:  
**EXISTING HOUSE ELEVATIONS - EXISTING AND PROPOSED**

Number	Date	Description
1	2018.02.19	Issue for Construction

**Revisions**

Project No.	US-08-CA-000
Set Date	2018.02.13
Drawn by	L. GALARZA
Dep. Date	2018.02.19

**RESIDENTIAL UNITS ADDITION**  
 4745 AUGUSTINE ST., PLEASANTON, CA 94566

Project Title:  
**A501**

Drawing Title:  
**TYPICAL DETAILS**

Sheet:



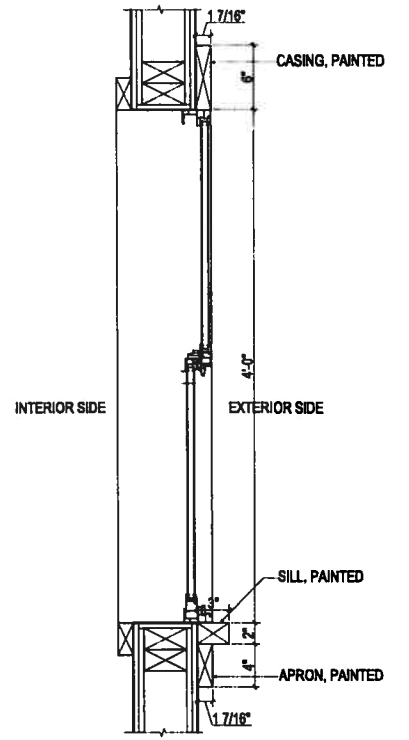
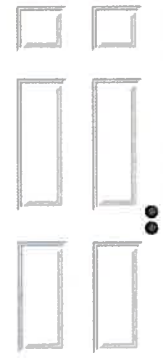
**NEW VINYL PATIO DOORS INFORMATION**

TYPE: OUT-SWING FRENCH PATIO DOOR  
 MODEL: TUSCANY SERIES  
 MANUFACTURER: MELGRAD  
 MATERIAL: VINYL  
 COLOR: WHITE  
 GLASS: CLEAR



**NEW FRONT DOORS INFORMATION**

TYPE: SINGLE, PREMIUM 6-PANEL PRIME STEEL FRONT DOOR  
 MODEL: INTERIOR & EXTERIOR DOORS (P0013)  
 MANUFACTURER: JELDEN WINDOWS AND DOORS  
 COLOR: WHITE



**NEW VINYL WINDOWS INSTALLED IN WALL SECTION**  
 SCALE: 1/2\"/>



**Colors**

**INTERIOR FRAME**



**EXTERIOR FRAME**



**NEW VINYL WINDOWS TREATMENT INFORMATION**

TYPE: SINGLE-HUNG  
 MODEL: TUSCANY SERIES  
 MANUFACTURER: MELGRAD  
 MATERIAL: VINYL  
 COLOR: WHITE

**NEW WINDOWS DETAILS**

**NEW FRONT DOOR DETAILS**

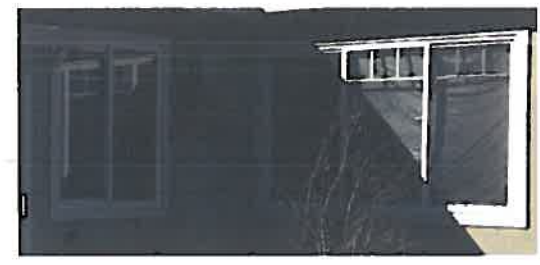
**NEW PATIO DOOR DETAILS**



**NEW GARAGE DOORS INFORMATION**

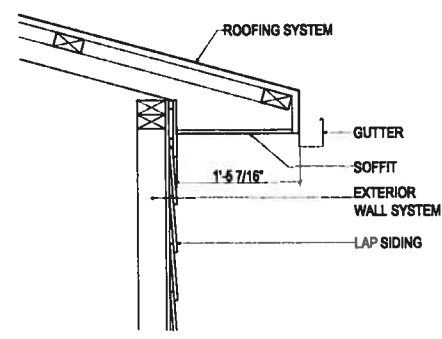
TYPE: SINGLE-HUNG  
 MODEL: TRADITIONAL LONG PANEL, CLASSIC COLLECTION  
 MANUFACTURER: CLORPHY  
 MATERIAL: 1-LAYER STEEL  
 COLOR: STANDARD WHITE

**GARAGE DOORS DETAILS**



TYPE: SLIDING, SIMULATED LIGHTS  
 MATERIAL: VINYL  
 TRIM: CASING  
 FLUSH WITH STUCCO WALL

**EXISTING WINDOWS DETAIL**



**GUTTER, EAVE AND SOFFIT DETAIL**  
 SCALE: 1\"/>

**PERMEABLE PAVERS SPECIFICATIONS**

**BELGARD**  
 Eco Dublin™  
 Environmental Collection

**Eco Dublin™**

Smart-looking style meets smart science. The classic look of cut stone and contemporary materials technology combine in Eco Dublin™, the latest addition to Belgard's Environmental Series of permeable pavers.

**Benefits of Belgard® Permeable Paving Stone Systems**

- On the U.S. Environmental Protection Agency (EPA) priority list for structural Low Impact Development (LID) BMPs
- Can contribute toward several LEED NC 2009 points
- Reduces stormwater runoff by up to 100%
- Can be used to achieve total maximum daily load (TMDL) limits for a range of pollutants
- Certified SRi colors reduce heat island effect
- Can reduce or eliminate the need for traditional drainage and detention requirements, saving space and money
- Can be designed to accommodate all native soil types
- 50-year design life based on proven field performance

**Shapes**  
 (All three shapes come in each bundle.)

**Mechanical Installation Laying Pattern**

**BELGARD**

ICPI  
 ICC-ES  
 IAPMO



NEW HOME RATING SYSTEM, VERSION 6.0

MULTIFAMILY CHECKLIST

Total Points Targeted: 60  
 Certification Level: Certified

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California. The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (2) Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (8); and meet the prerequisites CALGreen Mandatory, E5.2, H6.1, J5.1, O1, O7.

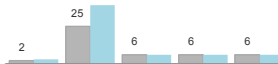
The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit [www.builditgreen.org/greenpointrated](http://www.builditgreen.org/greenpointrated)  
 Build It Green is not a code enforcement agency.

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green. This is the public version of the Checklist and cannot be used for certification.

New Home Multifamily Version 6.0.2

POINTS REQUIRED

■ Minimum Points  
 ■ Targeted Points



Project Name		Points Achieved	Possible Points					Notes
Measures			Community	Energy	IAC/Health	Resources	Water	
<b>CALGreen</b>								
TBD	CALGreen Res (REQUIRED)		1	1	1	1		
<b>A. SITE</b>								
TBD	A1. Construction Footprint				1			
TBD	A2. Job Site Construction Waste Diversion							
TBD	A2.1 65% C&D Waste Diversion (Including Alternative Daily Cover)				2			
TBD	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)				2			
TBD	A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility				1			
TBD	A3. Recycled Content Base Material				1			
TBD	A4. Heat Island Effect Reduction (Non-Roof)		1					
TBD	A5. Construction Environmental Quality Management Plan Including Flush-Out			1				
TBD	A6. Stormwater Control: Prescriptive Path							
TBD	A6.1 Permeable Paving Material					1		
TBD	A6.2 Filtration and/or Bio-Retention Features					1		
TBD	A6.3 Non-Leaching Roofing Materials					1		
TBD	A6.4 Smart Stormwater Street Design	1						
TBD	A7. Stormwater Control: Performance Path					3		
<b>B. FOUNDATION</b>								
TBD	B1. Fly Ash and/or Slag in Concrete				1			
TBD	B2. Radon-Resistant Construction			2				
Yes	B3. Foundation Drainage System	2			2			
TBD	B4. Moisture Controlled Crawlspace			1				
TBD	B5. Structural Pest Controls					1		
TBD	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections					1		
TBD	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation					1		
<b>C. LANDSCAPE</b>								
0.00%	Enter the landscape area percentage							
TBD	C1. Plants Grouped by Water Needs (Hydrozoning)					1		
Yes	C2. Three Inches of Mulch in Planting Beds	1				1		
<b>C3. Resource Efficient Landscapes</b>								
TBD	C3.1 No Invasive Species Listed by Cal-IPC				1			
Yes	C3.2 Plants Chosen and Located to Grow to Natural Size	1			1			
Yes	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	1				3		
<b>C4. Minimal Turf in Landscape</b>								
Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	0				2		
TBD	C4.2 Turf on a Small Percentage of Landscaped Area					2		
TBD	C5. Trees to Moderate Building Temperature	1	1			1		
TBD	C6. High-Efficiency Irrigation System					2		
TBD	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil					2		
TBD	C8. Rainwater Harvesting System					3		
TBD	C9. Recycled Wastewater Irrigation System					1		
TBD	C10. Submeter or Dedicated Meter for Landscape Irrigation					2		
TBD	C11. Landscape Meets Water Budget					2		
<b>C12. Environmentally Preferable Materials for Site</b>								
TBD	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing				1			
TBD	C12.2 Play Structures and Surfaces Have an Average Recycled Content ≥20%				1			
TBD	C13. Reduced Light Pollution	1						
TBD	C14. Large Stature Tree(s)	1						
TBD	C15. Third Party Landscape Program Certification					1		
TBD	C16. Maintenance Contract with Certified Professional					1		
TBD	C17. Community Garden	2						
<b>D. STRUCTURAL FRAME AND BUILDING ENVELOPE</b>								
<b>D1. Optimal Value Engineering</b>								
TBD	D1.1 Joists, Rafters, and Studs at 24 Inches on Center		1		2			
TBD	D1.2 Non-Load Bearing Door and Window Headers Sized for Load				1			
TBD	D1.3 Advanced Framing Measures				2			
TBD	D2. Construction Material Efficiencies				1			
<b>D3. Engineered Lumber</b>								
TBD	D3.1 Engineered Beams and Headers				1			
Yes	D3.2 Wood I-Joists or Web Trusses for Floors	1			1			
TBD	D3.3 Engineered Lumber for Roof Rafters				1			
TBD	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications				1			
TBD	D3.5 OSB for Subfloor				0.5			
TBD	D3.6 OSB for Wall and Roof Sheathing				0.5			
TBD	D4. Insulated Headers		1					
<b>D5. FSC-Certified Wood</b>								
TBD	D5.1 Dimensional Lumber, Studs, and Timber				6			
TBD	D5.2 Panel Products				3			
<b>D6. Solid Wall Systems</b>								
TBD	D6.1 At Least 90% of Floors				1			
TBD	D6.2 At Least 90% of Exterior Walls		1		1			
TBD	D6.3 At Least 90% of Roofs		1		1			
TBD	D7. Energy Heels on Roof Trusses		1					
TBD	D8. Overhangs and Gutters		1		1			
<b>D9. Reduced Pollution Entering the Home from the Garage</b>								
TBD	D9.1 Detached Garage				2			
TBD	D9.2 Mitigation Strategies for Attached Garage				1			

Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
No	<b>D10. Structural Pest and Rot Controls</b>						
TBD	D10.1 All Wood Located At Least 12 Inches Above the Soil	0				1	
	D10.2 Wood Framing Treating With Borates or Factory-Impregnated, or Wall Materials Other Than Wood					1	
Yes	<b>D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)</b>	2			1	1	
<b>E. EXTERIOR</b>							
TBD	<b>E1. Environmentally Preferable Decking</b>					1	
TBD	<b>E2. Flashing Installation Third-Party Verified</b>					2	
TBD	<b>E3. Rain Screen Wall System</b>					2	
TBD	<b>E4. Durable and Non-Combustible Cladding Materials</b>					1	
	<b>E5. Durable Roofing Materials</b>						
Yes	E5.1 Durable and Fire Resistant Roofing Materials or Assembly	1				1	
Yes	E5.2 Roofing Warranty for Shingle Roofing	Y	R	R	R	R	R
TBD	<b>E6. Vegetated Roof</b>		2	2			
<b>F. INSULATION</b>							
	<b>F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content</b>						
TBD	F1.1 Walls and Floors					1	
TBD	F1.2 Ceilings					1	
	<b>F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions</b>						
Yes	F2.1 Walls and Floors	1			1		
Yes	F2.2 Ceilings	1			1		
	<b>F3. Insulation That Does Not Contain Fire Retardants</b>						
TBD	F3.1 Cavity Walls and Floors				1		
TBD	F3.2 Ceilings				1		
TBD	F3.3 Interior and Exterior Insulation				1		
<b>G. PLUMBING</b>							
	<b>G1. Efficient Distribution of Domestic Hot Water</b>						
Yes	G1.1 Insulated Hot Water Pipes	1		1			
TBD	G1.2 WaterSense Volume Limit for Hot Water Distribution					1	
TBD	G1.3 Increased Efficiency in Hot Water Distribution					2	
	<b>G2. Install Water-Efficient Fixtures</b>						
TBD	G2.1 WaterSense Showerheads with Matching Compensation Valve					2	
Yes	G2.2 WaterSense Bathroom Faucets	1				1	
TBD	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams					1	
TBD	G2.4 Urinals with Flush Rate of ≤ 0.1 Gallons/Flush					1	
TBD	<b>G3. Pre-Plumbing for Graywater System</b>					1	
TBD	<b>G4. Operational Graywater System</b>					3	
Yes	<b>G5. Submeter Water for Tenants</b>	2				2	
<b>H. HEATING, VENTILATION, AND AIR CONDITIONING</b>							
	<b>H1. Sealed Combustion Units</b>						
Yes	H1.1 Sealed Combustion Furnace	1			1		
Yes	H1.2 Sealed Combustion Water Heater	2			2		
TBD	<b>H2. High Performing Zoned Hydronic Radiant Heating System</b>			1	1		
	<b>H3. Effective Ductwork</b>						
Yes	H3.1 Duct Mastic on Duct Joints and Seams	1		1			
TBD	H3.2 Pressure Balance the Ductwork System			1			
TBD	<b>H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified</b>				1		
	<b>H5. Advanced Practices for Cooling</b>						
TBD	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms			1			
TBD	H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room in 80% of Units			1			
	<b>H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality</b>						
Yes	H6.1 Meet ASHRAE Standard 62.2-2010 Ventilation Residential Standards	Y	R	R	R	R	R
TBD	H6.2 Advanced Ventilation Standards				1		
TBD	H6.3 Outdoor Air Ducted to Bedroom and Living Areas				2		
	<b>H7. Effective Range Design and Installation</b>						
TBD	H7.1 Effective Range Hood Ducting and Design				1		
TBD	H7.2 Automatic Range Hood Control				1		
<b>I. RENEWABLE ENERGY</b>							
Yes	<b>I1. Pre-Plumbing for Solar Water Heating</b>	1		1			
Yes	<b>I2. Preparation for Future Photovoltaic Installation</b>	1		1			
	<b>I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)</b>			25			
	<b>I4. Net Zero Energy Home</b>						
TBD	I4.1 Near Zero Energy Home			2			
TBD	I4.2 Net Zero Electric			4			
TBD	<b>I5. Solar Hot Water Systems to Preheat Domestic Hot Water</b>			4			
TBD	<b>I6. Photovoltaic System for Multifamily Projects</b>			12			
<b>J. BUILDING PERFORMANCE AND TESTING</b>							
TBD	<b>J1. Third-Party Verification of Quality of Insulation Installation</b>				1		
TBD	<b>J2. Supply and Return Air Flow Testing</b>				1	1	
TBD	<b>J3. Mechanical Ventilation Testing and Low Leakage</b>				1		
TBD	<b>J4. Combustion Appliance Safety Testing</b>				1		
2008	<b>J5. Building Performance Exceeds Title 24 Part 6</b>						
20.0%	J5.1 Home Outperforms Title 24	35		30			
0.0%	J5.2 Non-Residential Spaces Outperform Title 24	0		15			
TBD	<b>J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst</b>			1			
TBD	<b>J7. Participation in Utility Program with Third-Party Plan Review</b>			1			
TBD	<b>J8. ENERGY STAR for Homes</b>			1			
No	<b>J9. EPA Indoor airPlus Certification</b>				1		
<b>K. FINISHES</b>							
	<b>K1. Entryways Designed to Reduce Tracked-In Contaminants</b>						
TBD	K1.1 Entryways to Individual Units				1		
TBD	K1.2 Entryways to Buildings				1		
TBD	<b>K2. Zero-VOC Interior Wall and Ceiling Paints</b>				2		
TBD	<b>K3. Low-VOC Caulks and Adhesives</b>				1		
	<b>K4. Environmentally Preferable Materials for Interior Finish</b>						
TBD	K4.1 Cabinets					2	
TBD	K4.2 Interior Trim					2	
TBD	K4.3 Shelving					2	
TBD	K4.4 Doors					2	
TBD	K4.5 Countertops					1	
	<b>K5. Formaldehyde Emissions in Interior Finish Exceed CARB</b>						
TBD	K5.1 Doors				1		
TBD	K5.2 Cabinets and Countertops				2		
TBD	K5.3 Interior Trim and Shelving				2		
TBD	<b>K6. Products That Comply With the Health Product Declaration Open Standard</b>				2		
TBD	<b>K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion</b>				2		
No	<b>K8. Comprehensive Inclusion of Low Emitting Finishes</b>				1		
TBD	<b>K9. Durable Cabinets</b>				2		
TBD	<b>K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes</b>				1		

Project Name		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	
<b>L. FLOORING</b>								
TBD	L1. Environmentally Preferable Flooring					3		
TBD	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential				3			
TBD	L3. Durable Flooring					1		
TBD	L4. Thermal Mass Flooring			1				
<b>M. APPLIANCES AND LIGHTING</b>								
Yes	M1. ENERGY STAR® Dishwasher	1					1	
TBD	M2. CEE-Rated Clothes Washer			1			2	
TBD	M3. Size-Efficient ENERGY STAR Refrigerator			2				
<b>M4. Permanent Centers for Waste Reduction Strategies</b>								
TBD	M4.1 Built-In Recycling Center					1		
TBD	M4.2 Built-In Composting Center					1		
<b>M5. Lighting Efficiency</b>								
TBD	M5.1 High-Efficacy Lighting			2				
TBD	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant			2				
TBD	M6. Central Laundry						1	
TBD	M7. Gearless Elevator			1				
<b>N. COMMUNITY</b>								
<b>N1. Smart Development</b>								
TBD	N1.1 Infill Site		1			1		
TBD	N1.2 Designated Brownfield Site		1		1			
TBD	N1.3 Conserve Resources by Increasing Density			2		2		
TBD	N1.4 Cluster Homes for Land Preservation		1			1		
TBD	N1.5 Home Size Efficiency Enter the area of the home, in square feet Enter the number of bedrooms					9		
TBD	N2. Home(s)/Development Located Within 1/2 Mile of a Major Transit Stop		2					
<b>N3. Pedestrian and Bicycle Access</b>								
<b>N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services</b> Enter the number of Tier 1 services Enter the number of Tier 2 services								
Yes	N3.2 Connection to Pedestrian Pathways	1	1					
TBD	N3.3 Traffic Calming Strategies		2					
TBD	N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide		1					
Yes	N3.5 Bicycle Storage for Residents	1	1					
TBD	N3.6 Bicycle Storage for Non-Residents		1					
1.5 spaces per unit	N3.7 Reduced Parking Capacity	1	2					
<b>N4. Outdoor Gathering Places</b>								
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents		1					
TBD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services		1					
<b>N5. Social Interaction</b>								
TBD	N5.1 Residence Entries with Views to Callers		1					
TBD	N5.2 Entrances Visible from Street and/or Other Front Doors		1					
TBD	N5.3 Porches Oriented to Street and Public Space		1					
TBD	N5.4 Social Gathering Space		1					
<b>N6. Passive Solar Design</b>								
TBD	N6.1 Heating Load			2				
TBD	N6.2 Cooling Load			2				
<b>N7. Adaptable Building</b>								
TBD	N7.1 Universal Design Principles in Units		1		1			
TBD	N7.2 Full-Function Independent Rental Unit		1					
<b>N8. Affordability</b>								
TBD	N8.1 Dedicated Units for Households Making 80% of AMI or Less		2					
TBD	N8.2 Units with Multiple Bedrooms for Households Making 80% of AMI or Less		1					
TBD	N8.3 At Least 20% of Units at 120% AMI or Less are For Sale		1					
<b>N9. Mixed-Use Developments</b>								
TBD	N9.1 Live/Work Units Include a Dedicated Commercial Entrance		1					
TBD	N9.2 At Least 2% of Development Floor Space Supports Mixed Use		1					
TBD	N9.3 Half of the Non-Residential Floor Space is Dedicated to Community Service		1					
<b>O. OTHER</b>								
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R	
TBD	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors			0.5		1	0.5	
TBD	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs			0.5	0.5	0.5	0.5	
TBD	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals			0.5	0.5	0.5	0.5	
TBD	O5. Home System Monitors			2			1	
<b>O6. Green Building Education</b>								
TBD	O6.1 Marketing Green Building			2				
TBD	O6.2 Green Building Signage				0.5		0.5	
Yes	O7. Green Appraisal Addendum	Y	R	R	R	R	R	
TBD	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation					1		
TBD	O9. Residents Are Offered Free or Discounted Transit Passes		2					
TBD	O10. Vandalism Deterrence Practices and Vandalism Management Plan					1		
<b>P. DESIGN CONSIDERATIONS</b>								
<b>P1. Acoustics: Noise and Vibration Control</b> Enter the number of Tier 1 practices Enter the number of Tier 2 practices								
<b>P2. Mixed-Use Design Strategies</b>								
TBD	P2.1 Tenant Improvement Requirements for Build-Outs				1		1	
TBD	P2.2 Commercial Loading Area Separated for Residential Area				1			
TBD	P2.3 Separate Mechanical and Plumbing Systems				1			
<b>P3. Commissioning</b>								
TBD	P3.1 Design Phase		1	1				
TBD	P3.2 Construction Phase		1	1				
TBD	P3.3 Post-Construction Phase		1	1				
TBD	P4. Building Enclosure Testing		1	1	1			
<b>Summary</b>								
Total Available Points in Specific Categories			381	43	138	61	86	53
Minimum Points Required in Specific Categories			50	2	25	6	6	6
<b>Total Points Achieved</b>			<b>60.0</b>	<b>3.0</b>	<b>39.0</b>	<b>6.0</b>	<b>6.0</b>	<b>6.0</b>