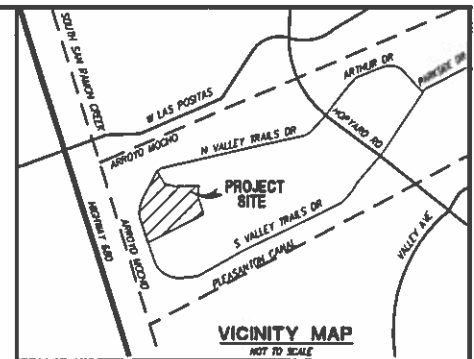


PLANNED UNIT DEVELOPMENT THE VILLAGE AT VALLEY TRAILS CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA FOR: PONDEROSA HOMES



TRACT 8254
PLU-1385/PLU-1386
RECEIVED

JUN 24 2016

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C-3	CLUB HOUSE PLOTTING PLAN
C-4	EXISTING CONDITIONS
C-5	SLOPE CLASSIFICATION MAP
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PLANNING, LANDSCAPE

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L3	PRELIMINARY TYPICAL FRONT YARD PRODUCTION LANDSCAPE
L4	PRELIMINARY LANDSCAPE DETAILS
L5	CLUBHOUSE CONCEPTUAL DESIGN - LOT 37
L6	CLUBHOUSE CONCEPTUAL DESIGN - LOT 11

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	CENTER LINE	---
---	RETAINING WALL	---
---	EASEMENT LINE	---
---	STORM DRAIN	EX 12" SD
---	SANITARY SEWER	EX 8" SS
---	WATER	EX 8" W
---	CURB & GUTTER	EX FC
---	SIDEWALK	---
---	OVERHEAD UTILITIES	---
---	JOINT POLE	---
---	EARTH OR GRASS SWALE	---
---	EXISTING UTILITY TO BE REMOVED/ABANDONED, AS NOTED	---
---	STORM WATER INLET	□
---	FIELD INLET	□
---	AREA DRAIN	□
---	MANHOLE	○
---	FIRE HYDRANT	○
---	BLOW OFF	○
---	SANITARY SEWER CLEAN OUT	○
---	WATER VALVE	○
---	STREET LIGHT	○
---	MONUMENT	○
---	TRAFFIC SIGN	○
---	STREET NAME SIGN	○
---	FENCE	---
---	BARRICADE	---
---	SLOPE	---
---	HANDICAP RAMP	---
---	CONTOUR ELEVATIONS	---
---	SPOT ELEVATION	---
---	ASPHALT PAVEMENT	---
---	BIORETENTION AREA	---

ABBREVIATIONS

AB	AGGREGATE BASE	ME	MAINTENANCE EASEMENT
AC	ASPHALT CONCRETE	MH	MANHOLE
AD	AREA DRAIN	OH	OVERHEAD UTILITIES
BC	BEGINNING OF CURVE	PL	PROPERTY LINE
BVC	BEGIN VERTICAL CURVE	PRC	POINT OF REVERSE CURVE
BO	BLOW OFF	PSDE	PRIVATE STORM DRAIN EASEMENT
BW	BOTTOM OF WALL	PSE	PUBLIC SERVICE EASEMENT
CL	CENTER LINE	PVC	POLYVINYL CHLORIDE PIPE
CMP	CORRUGATED METAL PIPE	PVI	POINT OF VERTICAL INTERSECTION
CP	CENTER POINT	RCP	REINFORCED CONCRETE PIPE
DWY	DRIVEWAY	RET	CURB RETURN
EC	END OF CURVE	RW	RIGHT OF WAY
ESMT	EASEMENT	SDE	STORM DRAIN EASEMENT
EVC	END VERTICAL CURVE	SNS	STREET NAME SIGN
EX	EXISTING	SO	SIDE OPENING INVERT
FC	FACE OF CURB	SSCO	SANITARY SEWER CLEAN OUT
FG	FINISHED GRADE	SSE	SANITARY SEWER EASEMENT
FH	FIRE HYDRANT	STA	STATION
FI	FIELD INLET	SW	STORM WATER INLET
FL	FLOW LINE	SWK	SIDEWALK
GB	GRADE BREAK	TC	TOP OF CURB
GR	GRATE	TW	TOP OF WALL
HP	HIGH POINT	WM	WATER METER
INV	INVERT ELEVATION	VC	VERTICAL CURVE
JP	JOINT POLE	VCP	VITRIFIED CLAY PIPE
LE	LANDSCAPE EASEMENT		
LP	LOW POINT		



LOCATION MAP
NOT TO SCALE

PROJECT TEAM

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PUD LOT SPECIFICATIONS SUMMARY

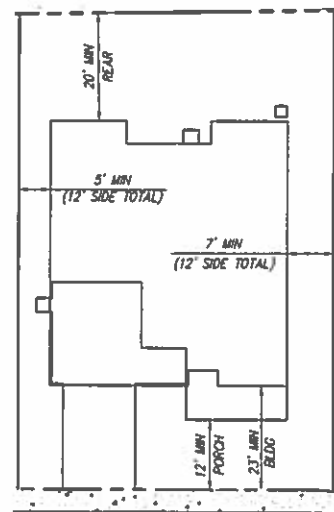
LOT	LOT SIZE (SF)	HOUSE MODEL	MAX HEIGHT	FAR	FAR W/ OPTIONAL ROOM
1	9,782	PLAN 2X	27	31.9%	33.2%
2	8,488	PLAN 3	29	39.9%	N/A
3	7,424	PLAN 1X	27	40%	N/A
4	8,511	PLAN 2X	27	33.2%	38.2%
5	6,855	PLAN 2	23	38.5%	N/A
6	7,473	PLAN 1	23	32.8%	35.6%
7	11,910	PLAN 2	23	26.2%	23.2%
8	12,656	PLAN 2X	27	24.7%	25.7%
9	8,732	PLAN 1X	27	34.4%	36.7%
10	8,497	PLAN 2	23	31.0%	32.6%
11	9,752	PLAN 3	29	34.7%	N/A
12	7,900	PLAN 1X	27	38.0%	N/A
13	9,181	PLAN 2X	27	34.0%	35.4%
14	9,402	PLAN 3	29	36.0%	N/A
15	7,979	PLAN 2X	27	39.1%	N/A
16	6,780	PLAN 1	23	36.3%	39.3%
17	9,060	PLAN 3	29	37.4%	N/A
18	8,797	PLAN 2X	27	35.5%	37.0%
19	9,875	PLAN 3	29	34.3%	N/A
20	7,686	PLAN 2	23	34.3%	36.0%
21	7,640	PLAN 1	23	32.1%	34.8%
22	8,416	PLAN 3	27	40%	N/A
23	8,597	PLAN 3	23	39.4%	N/A
24	7,235	PLAN 2	23	36.4%	38.2%
25	8,246	PLAN 2X	27	37.9%	39.4%
26	8,611	PLAN 3	29	39.3%	N/A
27	7,582	PLAN 1X	27	39.6%	N/A
28	7,497	PLAN 1X	27	40.0%	N/A
29	8,375	PLAN 2X	27	37.3%	38.8%
30	7,020	PLAN 1	23	34.9%	37.8%
31	8,158	PLAN 2X	27	38.3%	33.9%
32	8,743	PLAN 3	29	38.8%	N/A
33	8,634	PLAN 2X	27	36.2%	37.7%
34	7,028	PLAN 1	23	34.9%	37.8%
35	7,028	PLAN 2	23	37.5%	39.4%
36	7,028	PLAN 1	23	34.9%	37.8%
37	7,028	PLAN 1	23	34.9%	37.8%
OVERALL AVERAGE FAR				35.8%	35.7%

PLAN TYPE	LIVING AREA (SF)	EXT. ROOM (SF)
PLAN 1	2,451	206
PLAN 1X	3,000	206
PLAN 2	3,122	129
PLAN 2X	2,637	129
PLAN 3	3,387	N/A

* LOTS 11 OR 37 SHALL BE OPTIONAL CLUB HOUSE LOTS. SEE SHEET 3 FOR DETAILS.

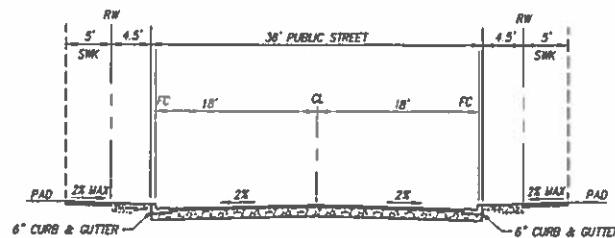
NOTES:

- FOR SPECIFIC BUILDING HEIGHTS, SEE ARCHITECTURAL PLANS.
- PRELIMINARY SQUARE FOOTAGES ARE APPROXIMATE.
- PLAN 1, PLAN 1X, PLAN 2, AND PLAN 2X CAN BE INTER-CHANGEABLE TO HAVE OPTIONAL BONUS ROOMS, LIMITED TO A MAXIMUM OF 40 PERCENT FAR. (OTHERWISE N/A FOR LOTS EXCEEDING THE LIMIT)



TYPICAL LOT SETBACK

NOT TO SCALE



STREET SECTION

NOT TO SCALE



LAND USE SUMMARY

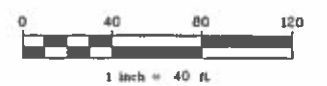
NUMBER OF NEW UNITS	36
GROSS SITE AREA	9.00 ACRES
GROSS DENSITY = 36 UNITS/9.00 AC = 4 DU/AC	
NET DENSITY = # UNITS / (TOTAL AC - OPEN SPACE - STREETS) = 36 UNITS / (9.00 - 0.23 - 1.70) = 5.09 DU/AC	
PARKING	
STREETS A, B & C	30
VALLEY TRAILS DRIVE	20
DRIVEWAYS (2 MINIMUM PER NEW RESIDENCE)	72
GARAGE (2 PER NEW RESIDENCE)	72
TOTAL	194 TOTAL

LAND USE SUMMARY

LAND USE	UNITS	ACRES	% OF SITE
MEDIUM DENSITY RESIDENTIAL (MDR) SINGLE FAMILY ATTACHED 5,500 S.F. TO 12,400 S.F. LOT SIZE	36	7.07	78.5%
RIGHT OF WAY (STREETS & SIDEWALKS)	-	1.70	18.9%
OPEN SPACE (PARCEL A & B)	-	0.23	2.6%
TOTAL	36	9.00	100.0%

COMMON LOT AREAS

PARCEL A:	5,106 SF
PARCEL B:	4,953 SF



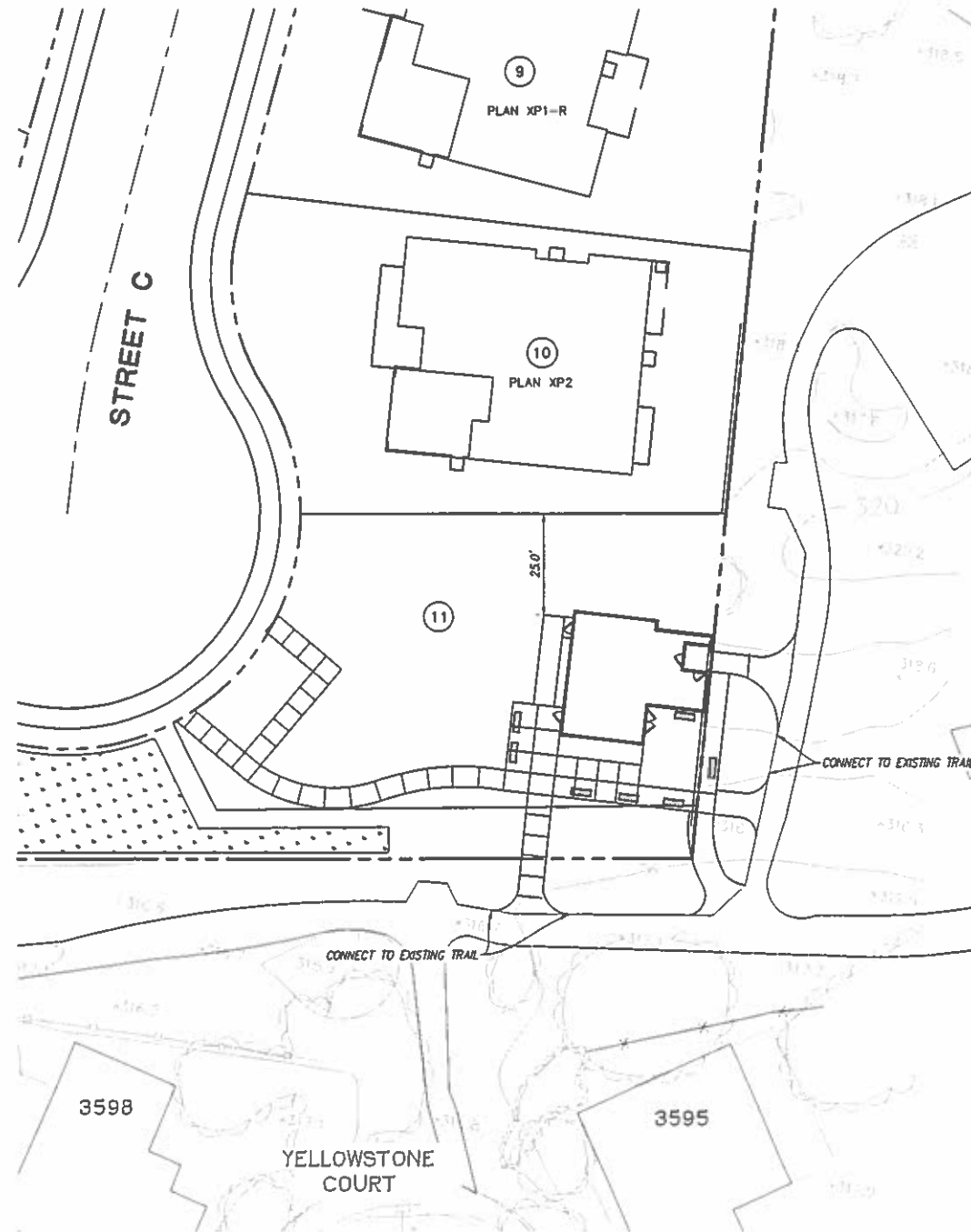
SITE DEVELOPMENT PLAN
THE VILLAGE AT VALLEY TRAILS
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
 FOR: PONDEROSA HOMES

RJA
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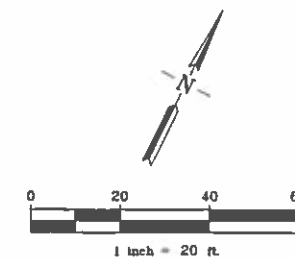
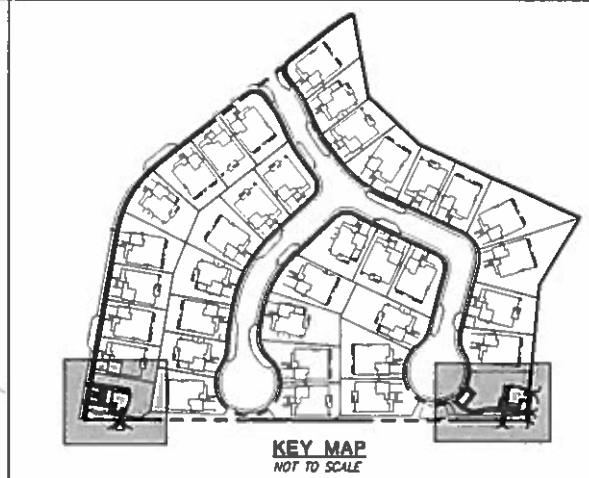
10/25/16
C:\Users\j\Documents\CLUB HOUSE PLOTTING - 10/25/16 - 10/25/16.dwg 4/23/2016 8:36:30 AM RJA



WEST CLUB HOUSE OPTION 1



WEST CLUB HOUSE OPTION 2



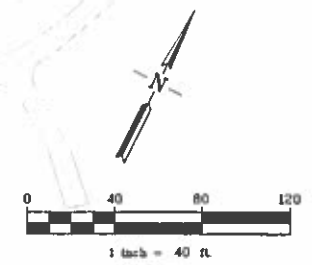
**CLUB HOUSE PLOTTING PLAN
THE VILLAGE AT VALLEY TRAILS**
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
FOR: PONDEROSA HOMES

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APN 941-0903-057-00
GROSS AREA=9.00± AC

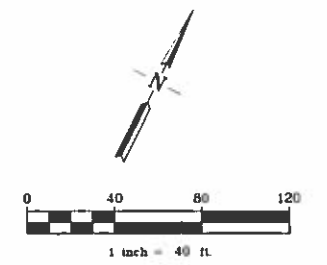
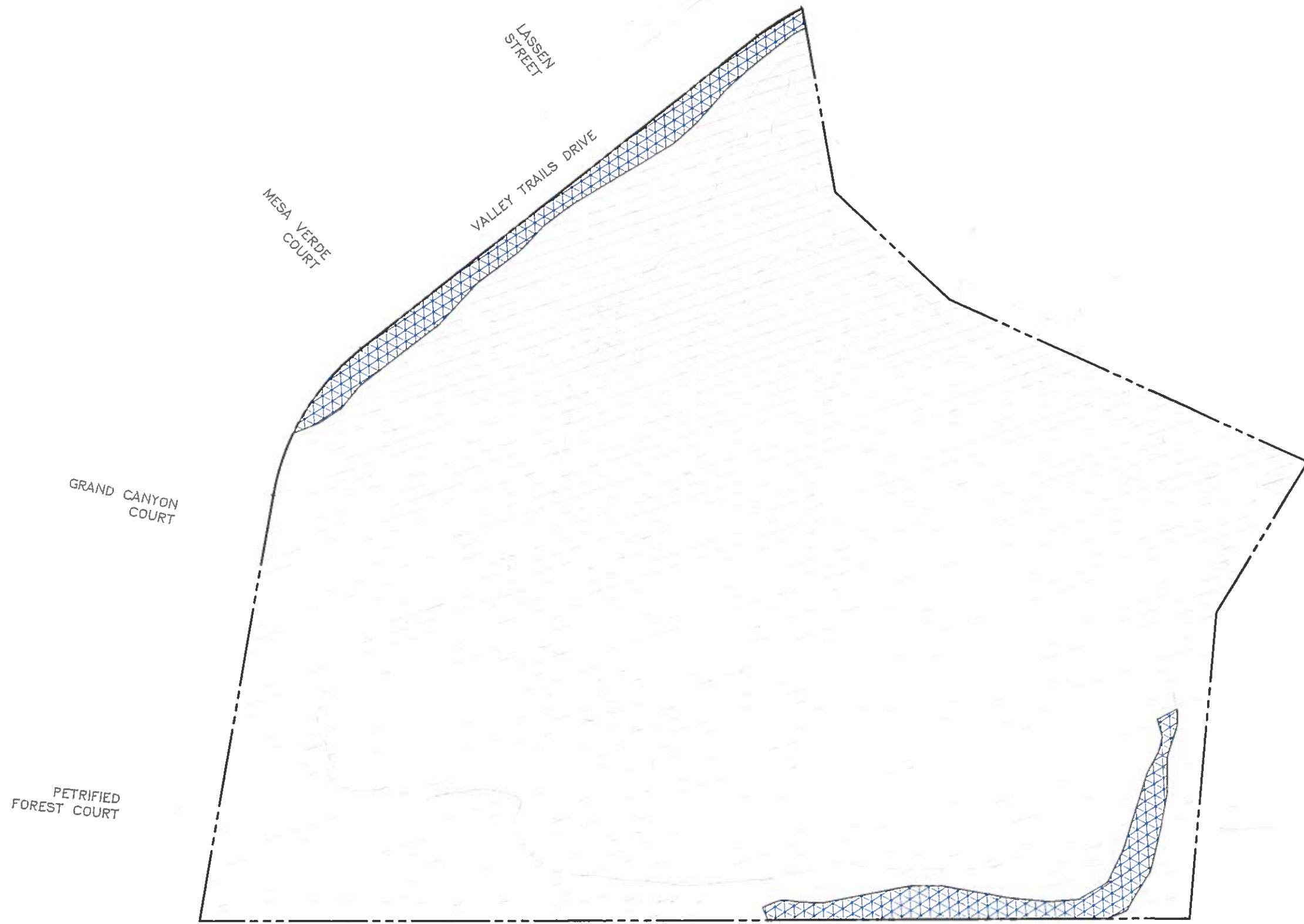
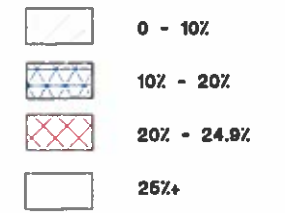
EXISTING CONDITIONS
THE VILLAGE AT VALLEY TRAILS
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
FOR: PONDEROSA HOMES



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6. L:\2016\141097\CAD FILES\141097-057-00\141097-057-00.dwg 7/27/2016 2:42:16 AM ERM PONG

LEGEND:



SLOPE CLASSIFICATION MAP
THE VILLAGE AT VALLEY TRAILS

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
FOR: PONDEROSA HOMES

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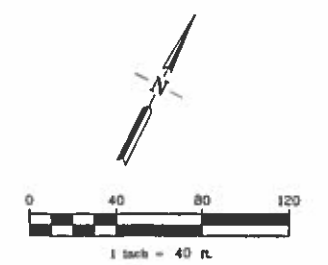
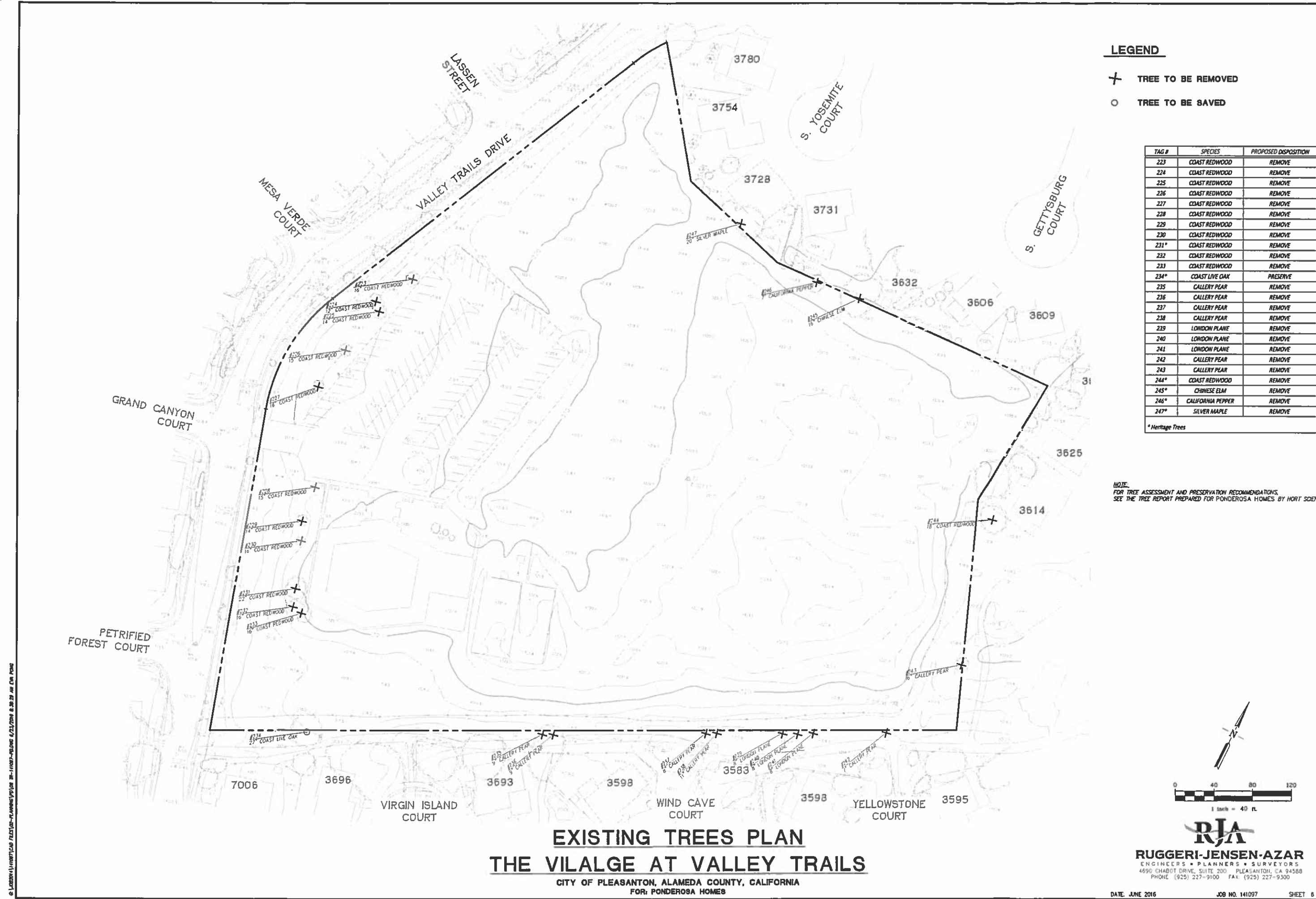
LEGEND

- + TREE TO BE REMOVED
- TREE TO BE SAVED

TAG #	SPECIES	PROPOSED DISPOSITION
223	COAST REDWOOD	REMOVE
224	COAST REDWOOD	REMOVE
225	COAST REDWOOD	REMOVE
226	COAST REDWOOD	REMOVE
227	COAST REDWOOD	REMOVE
228	COAST REDWOOD	REMOVE
229	COAST REDWOOD	REMOVE
230	COAST REDWOOD	REMOVE
231*	COAST REDWOOD	REMOVE
232	COAST REDWOOD	REMOVE
233	COAST REDWOOD	REMOVE
234*	COAST LIVE OAK	PRESERVE
235	CALLERY PEAR	REMOVE
236	CALLERY PEAR	REMOVE
237	CALLERY PEAR	REMOVE
238	CALLERY PEAR	REMOVE
239	LONDON PLANE	REMOVE
240	LONDON PLANE	REMOVE
241	LONDON PLANE	REMOVE
242	CALLERY PEAR	REMOVE
243	CALLERY PEAR	REMOVE
244*	COAST REDWOOD	REMOVE
245*	CHINESE ELM	REMOVE
246*	CALIFORNIA PEPPER	REMOVE
247*	SILVER MAPLE	REMOVE

* Heritage Trees

NOTE:
FOR TREE ASSESSMENT AND PRESERVATION RECOMMENDATIONS,
SEE THE TREE REPORT PREPARED FOR PONDEROSA HOMES BY HORT SCIENCE



EXISTING TREES PLAN
THE VILALGE AT VALLEY TRAILS

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
FOR: PONDEROSA HOMES

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Plan 2XB
Bungalow

Plan 3AR
Cottage

Plan 1C
Ranch

NOTE: Artist's conception, colors, materials and application may vary.
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VALLEY TRAILS
PLEASANTON, CA

CONCEPTUAL STREETSCENE



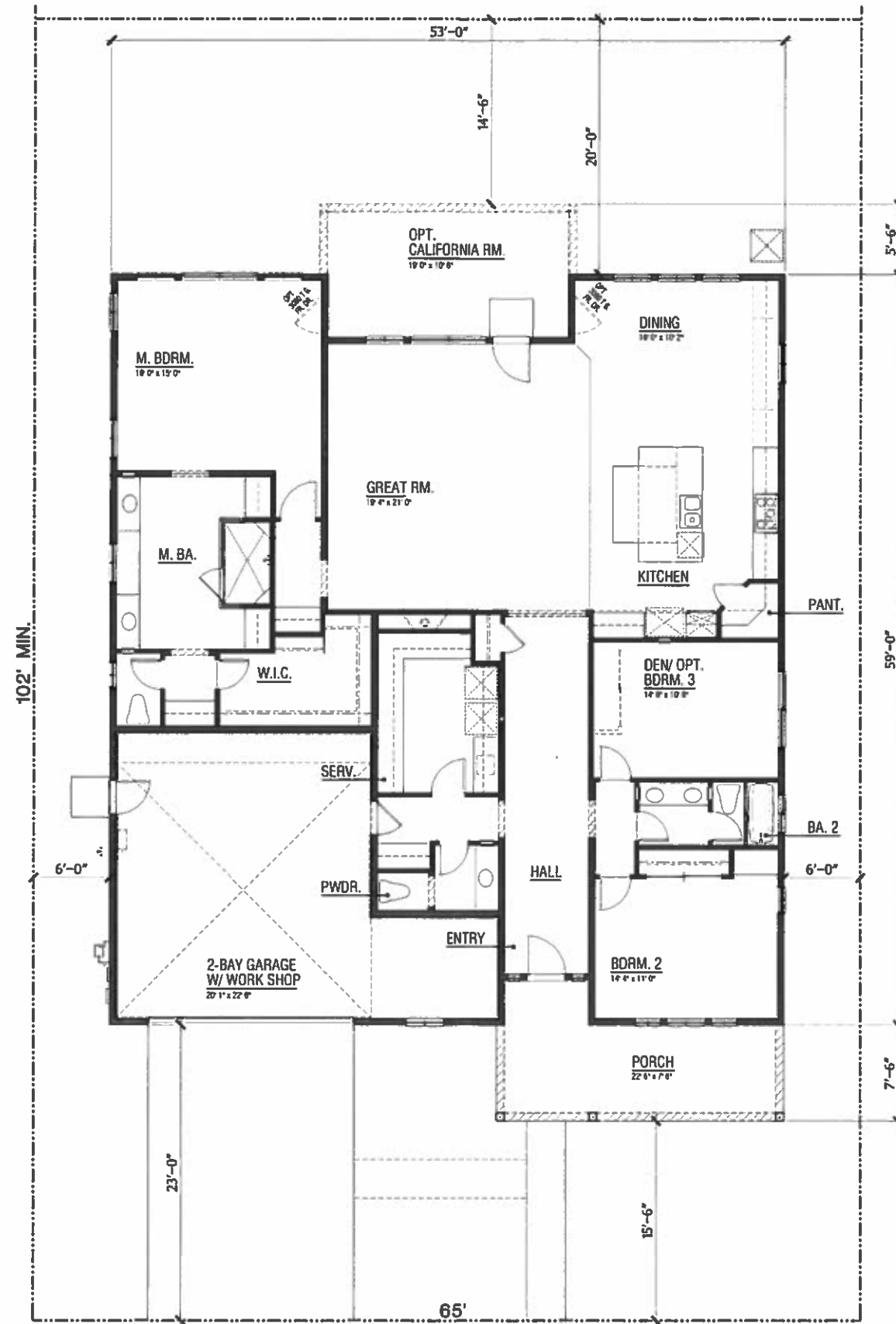
PONDEROSA
HOMES



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SS
0 4 8 16
3/16" SCALE
2015211 • 04-04-16

Plan 1C (One-Story)
 2451 SF
 2 Bdrms/2.5 Baths/ Den/ Opt. Bdrm. 3
 2 Car Garage w/ Work Shop





Elevation A - Cottage



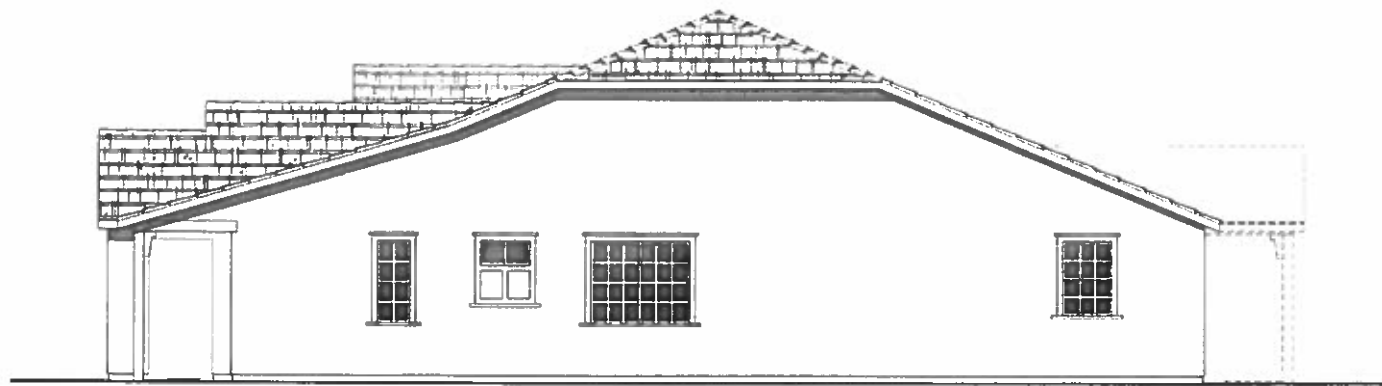
Elevation B - Bungalow



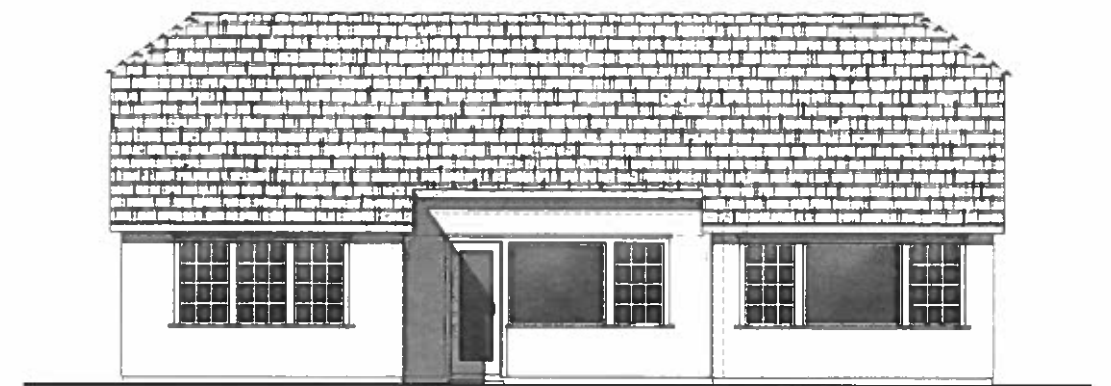
Elevation C - Ranch

NOTE: Artist's conception, colors, materials and application may vary.
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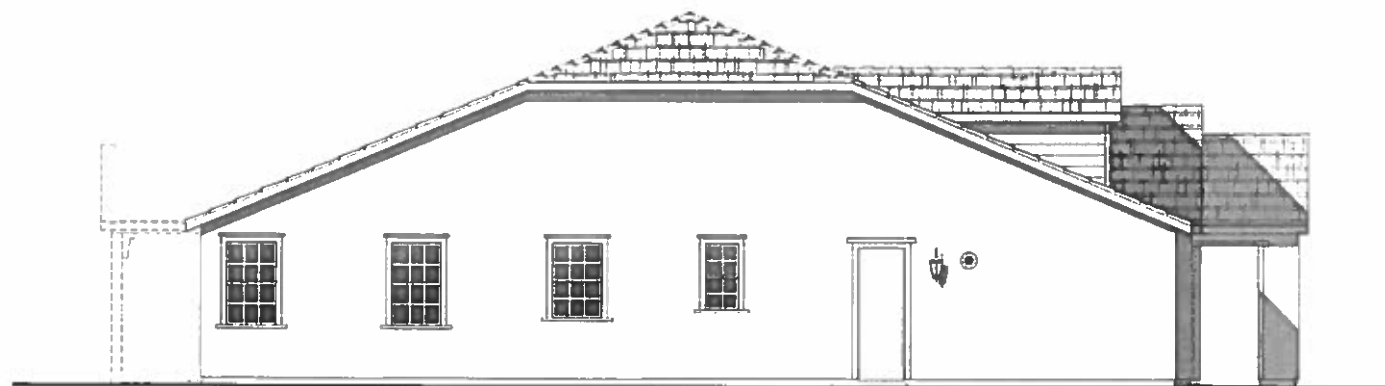




Right



Rear



Left



Front

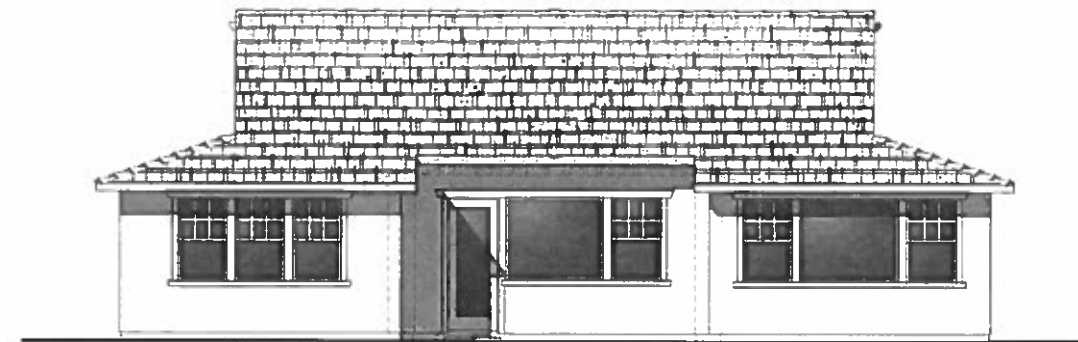
COTTAGE MATERIALS:

ROOF: CONCRETE FLAT TILE
 FASCIA: 2X6 WOOD
 BARGE BOARD: 2X6 WOOD
 GABLE DETAIL: CEMENTITIOUS HORIZONTAL LAP SIDING
 WALL: STUCCO

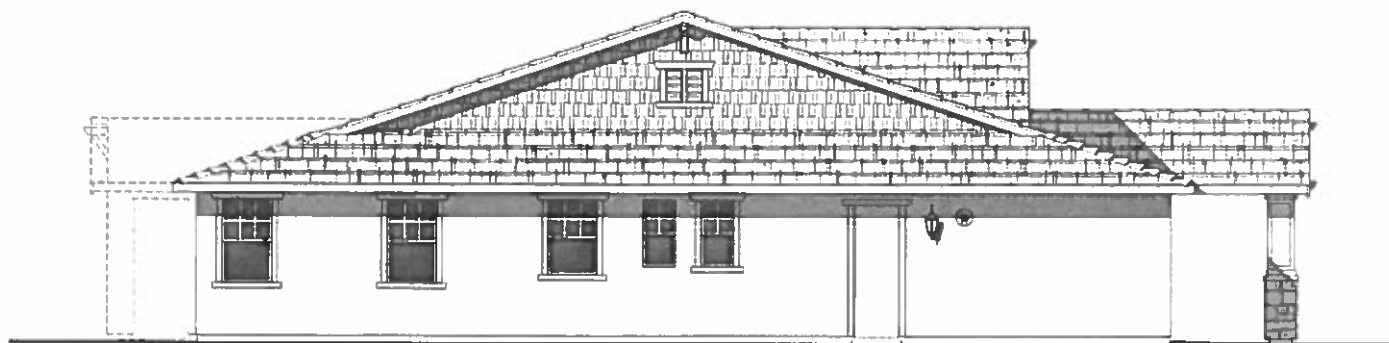
TRIM: STUCCO OVER FOAM
 WINDOWS: WHITE VINYL
 ACCENTS: DECORATIVE SHUTTERS PER ELEVATION STYLE, WOOD OR FIBERGLASS, WOOD POSTS WITH CORBEL AT PORCH METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL
 GARAGE DOOR: METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL



Right



Rear



Left



Front

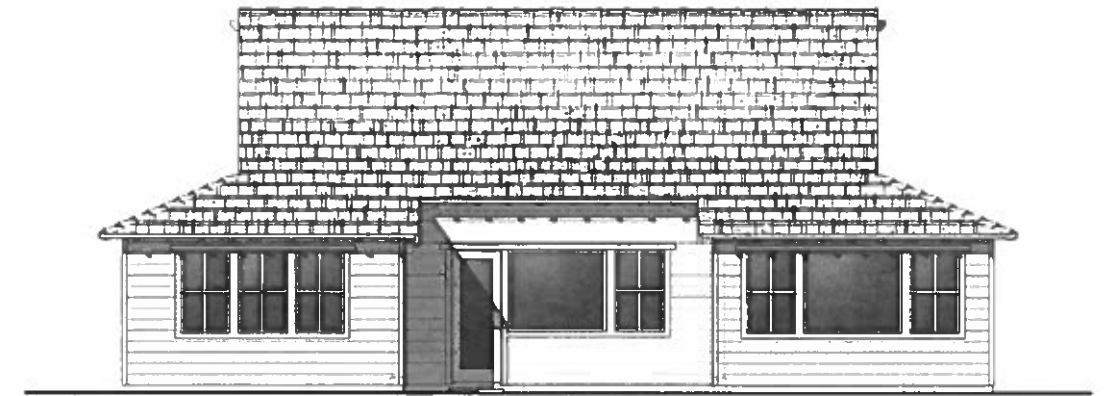
BUNGALOW MATERIALS:

ROOF: CONCRETE FLAT TILE
 FASCIA: 2X6 WOOD
 BARGE BOARD: 2X6 WOOD
 OUTLOOKERS: WOOD OR FIBERGLASS
 GABLE: CEMENTITIOUS SHINGLE SIDING
 WALL: STUCCO

TRIM: STUCCO OVER FOAM
 WINDOWS: WHITE VINYL
 ACCENTS: WOOD POSTS WITH STONE VENEER BASE
 GARAGE DOOR: METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL
 VENEER: MANUFACTURED STONE VENEER



Left



Rear



Right



Front

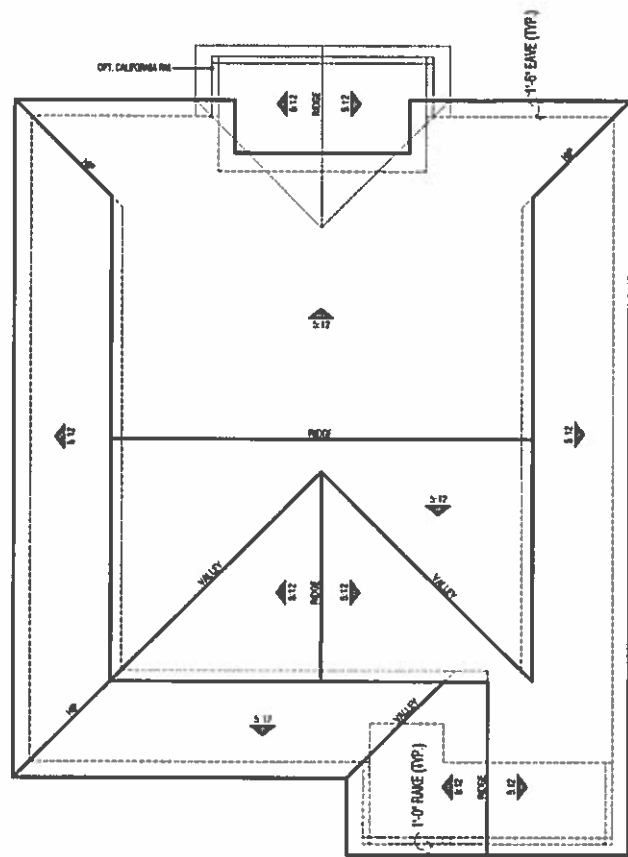
RANCH MATERIALS:

ROOF: CONCRETE FLAT TILE
 FASCIA: 2X3 WOOD WITH 3X6 RAFTER TAILS
 GABLE: CEMENTITIOUS HORIZONTAL LAP SIDING WITH ACCENT VENT
 OUTLOOKERS: WOOD OR FIBERGLASS
 WALL: STUCCO/ CEMENTITIOUS HORIZONTAL LAP SIDING WITH CORNER BOARDS

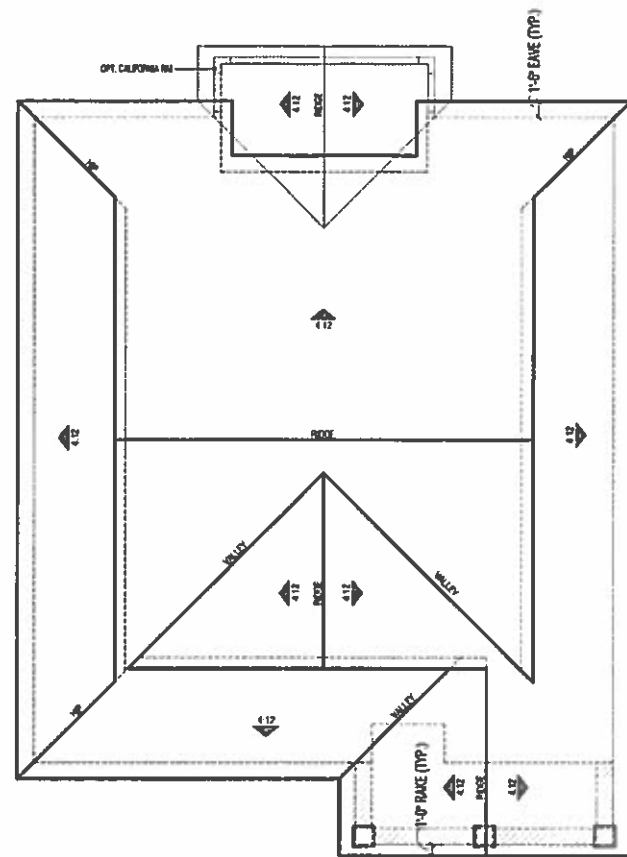
TRIM:

WINDOWS: WHITE VINYL
 ACCENTS: DECORATIVE SHUTTERS PER ELEVATION STYLE (WOOD OR FIBERGLASS)
 GARAGE DOOR: WOOD POSTS WITH BRACE AT PORCH METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL

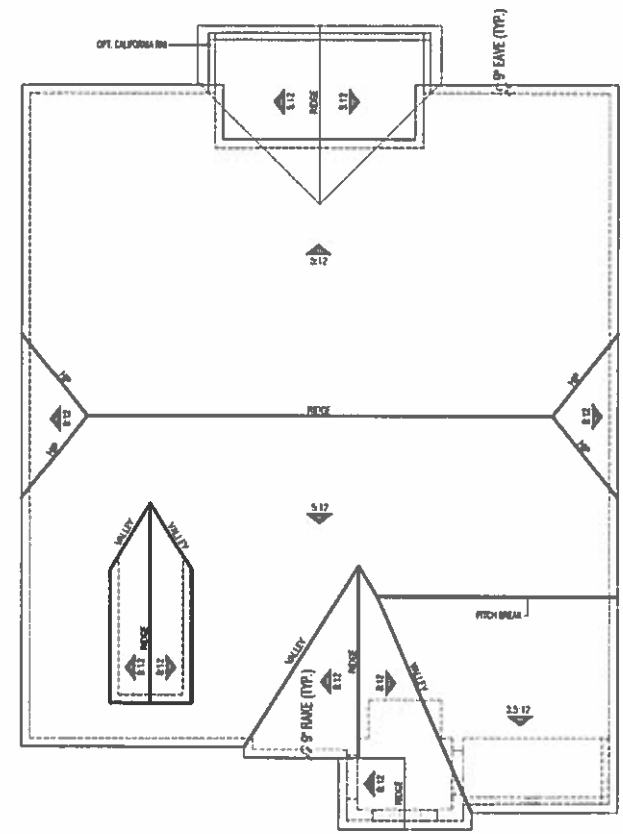




Roof Plan 1C - Ranch
Single Story



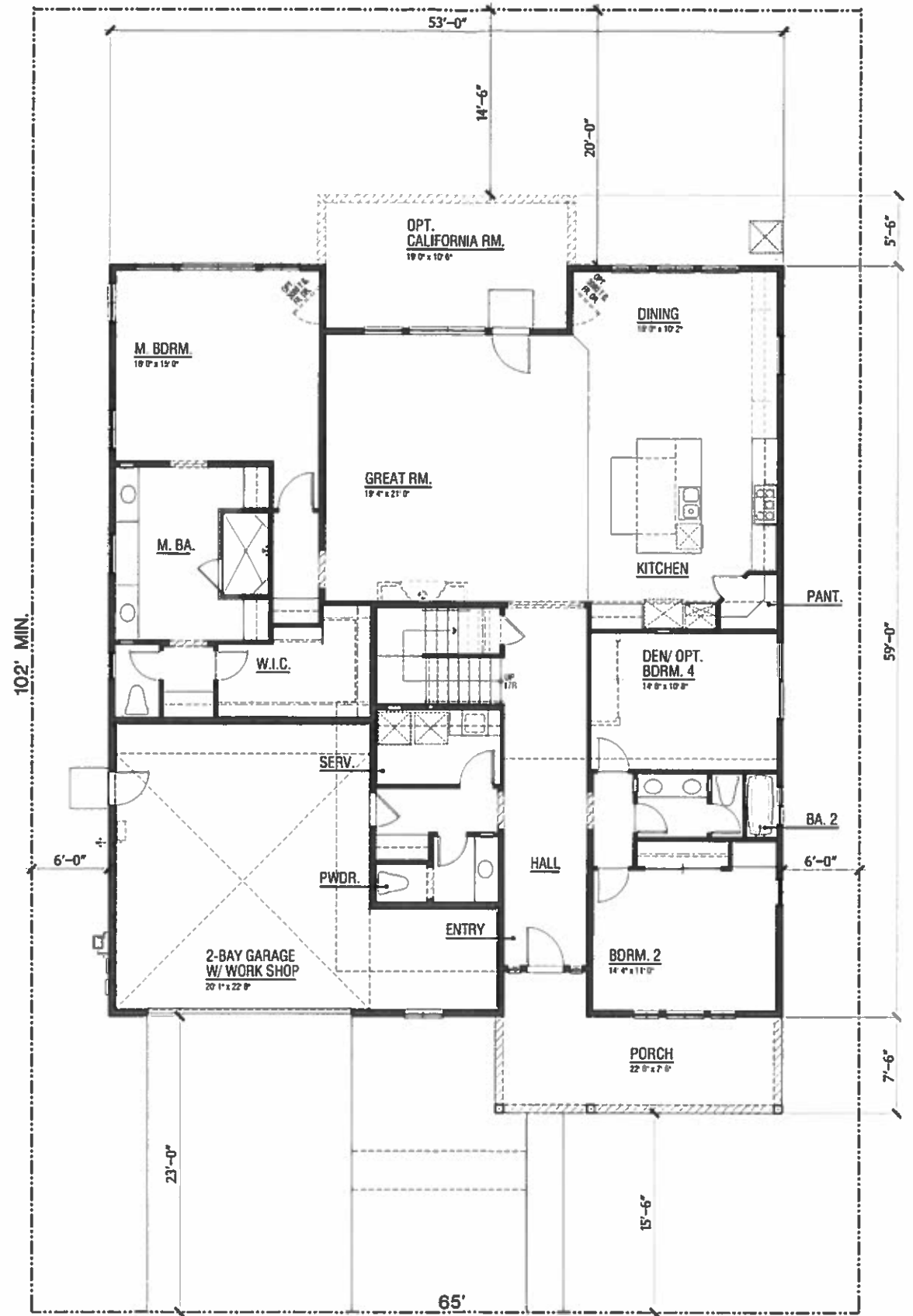
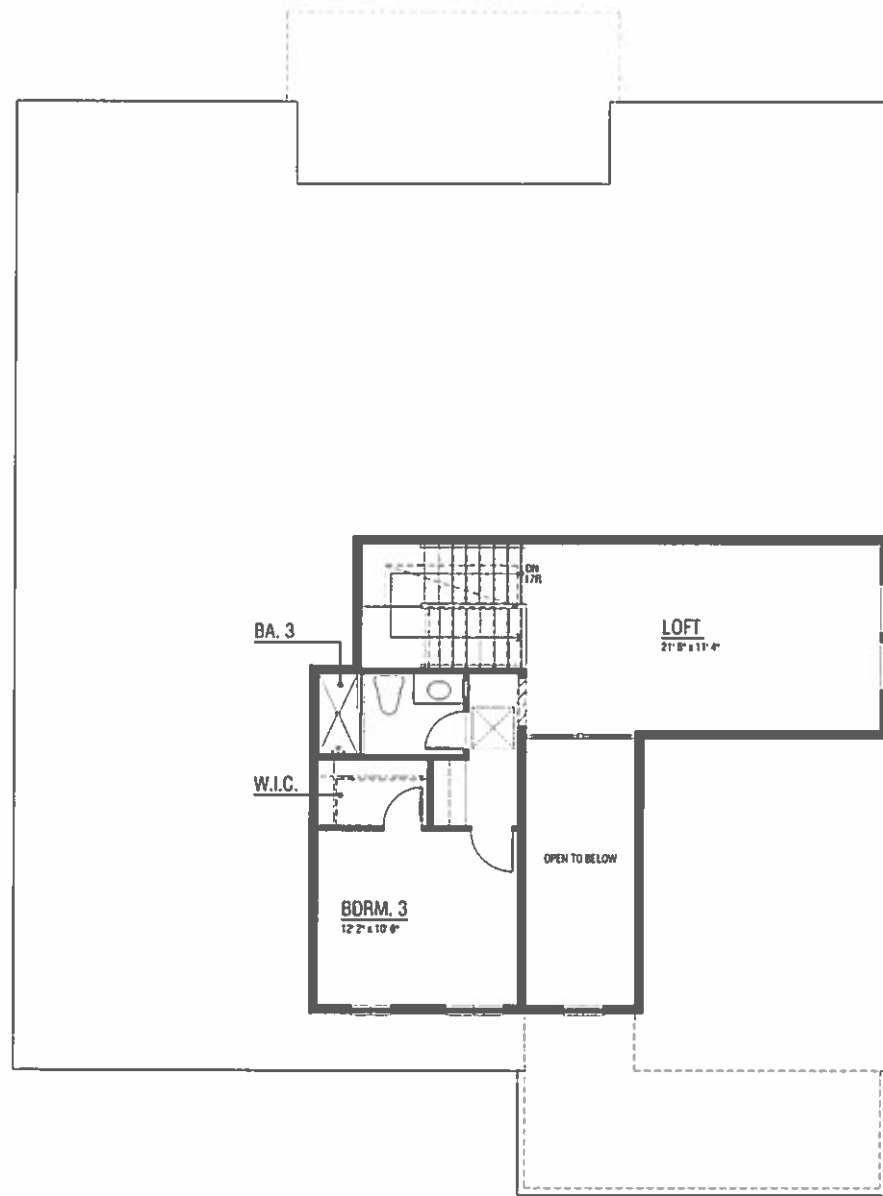
Roof Plan 1B - Bungalow
Single Story



Roof Plan 1A - Cottage
Single Story

NOTE: Artist's conception; colors, materials and application may vary.
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Plan 1XC (Two-Story)
 3000 SF
 3 Bdrms/3.5 Baths/ Loft
 Den/ Opt. Bdrm. 4
 2 Car Garage w/ Work Shop

NOTE: Artist's conception; colors, materials and application may vary.
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Elevation A - Cottage



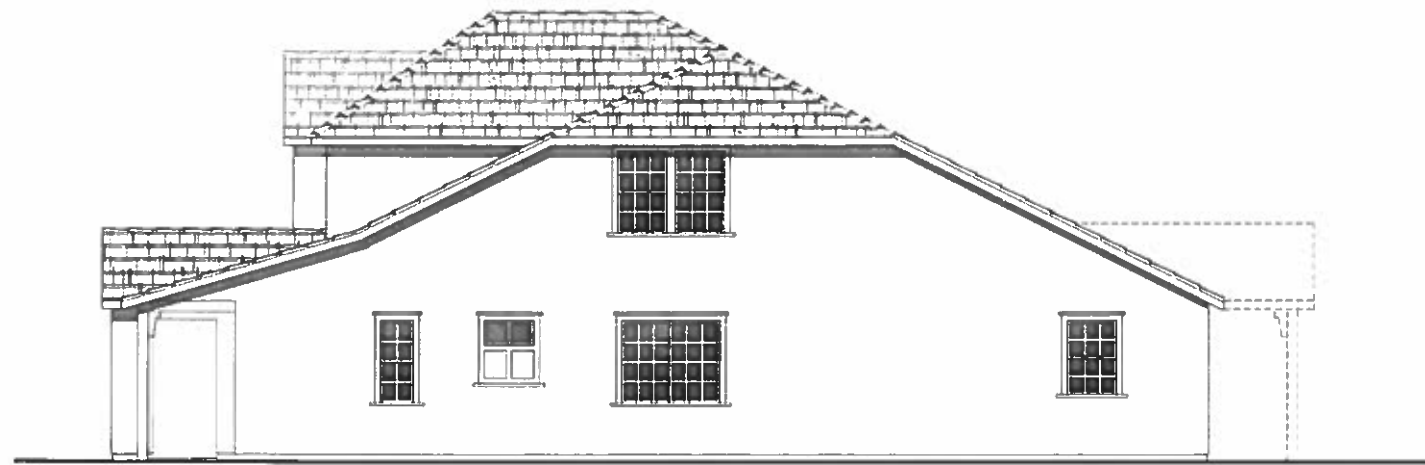
Elevation B - Bungalow



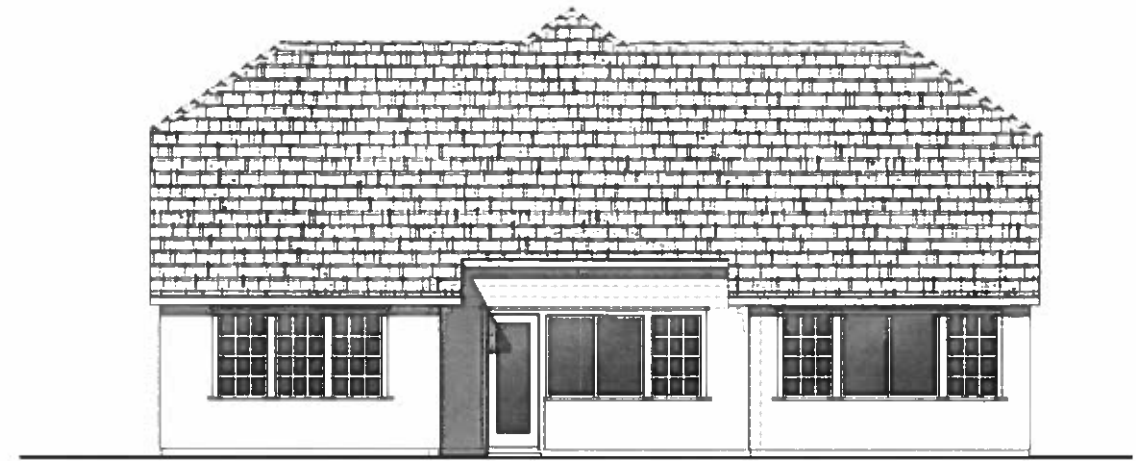
Elevation C - Ranch

NOTE: Artist's conception; colors, materials and application may vary.
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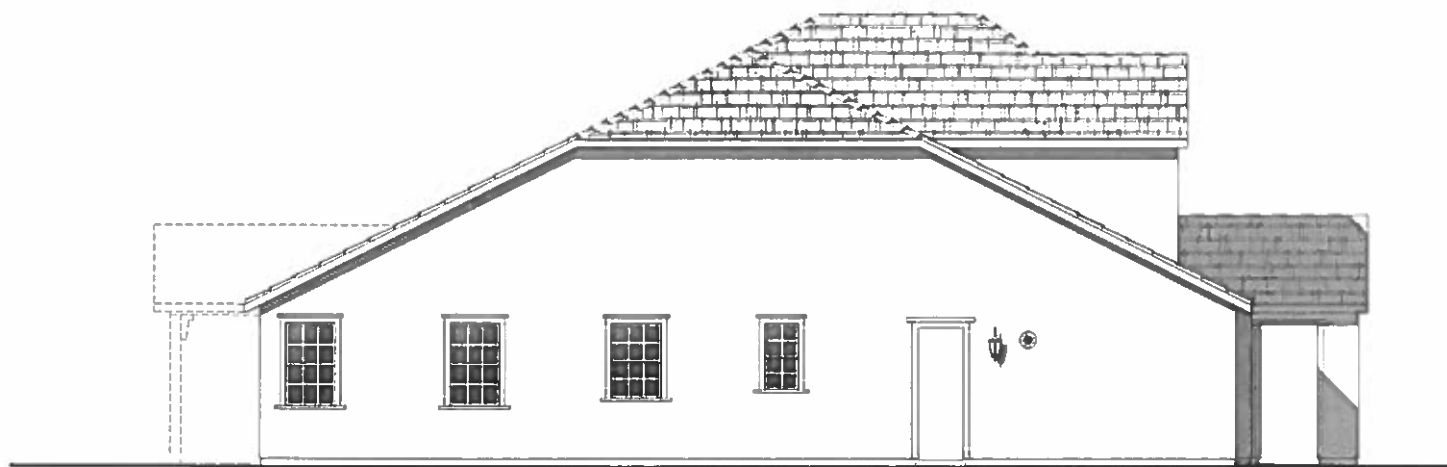




Right



Rear



Left



Front

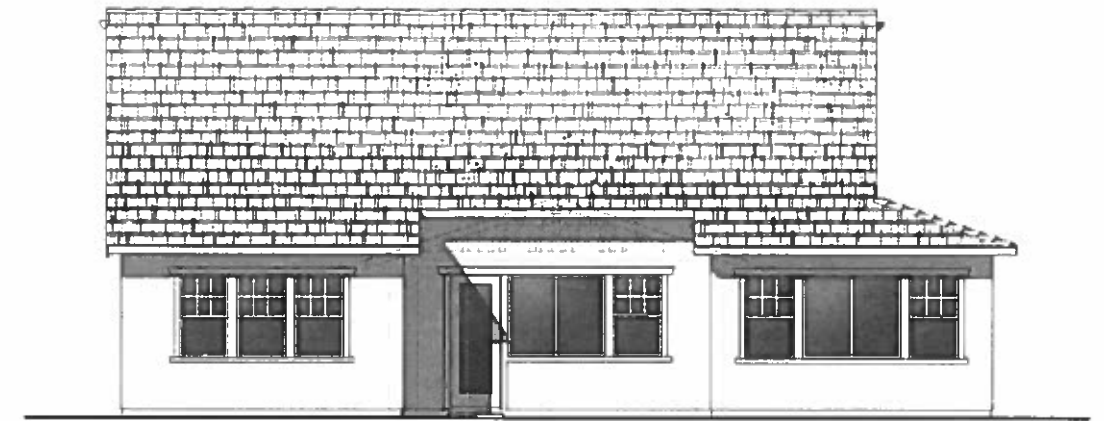
COTTAGE MATERIALS:

ROOF: CONCRETE FLAT TILE
 FASCIA: 2X6 WOOD
 BARGE BOARD: 2X6 WOOD
 GABLE DETAIL: CEMENTITIOUS HORIZONTAL LAP SIDING
 WALL: STUCCO

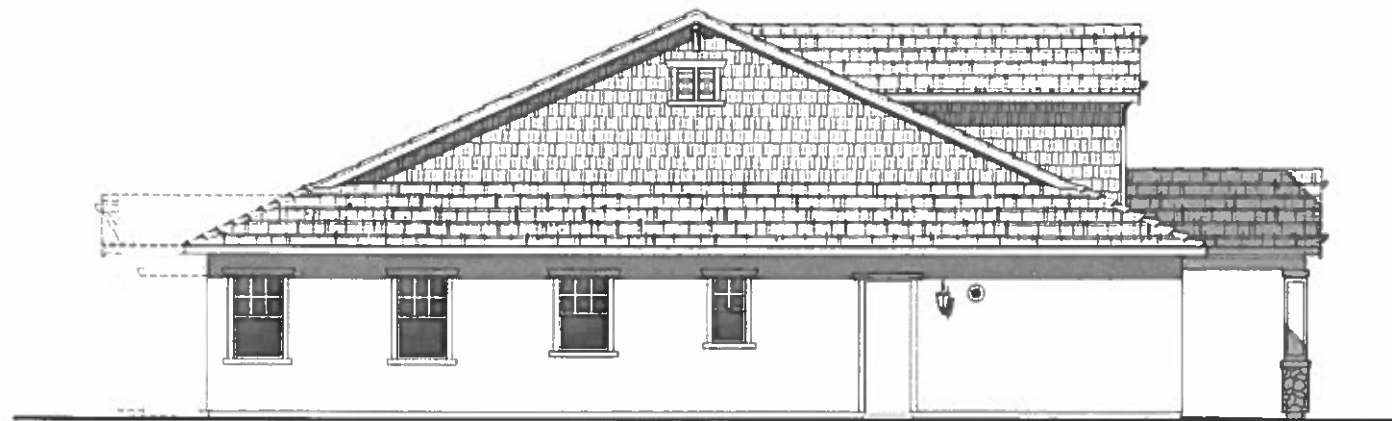
TRIM: STUCCO OVER FOAM
 WINDOWS: WHITE VINYL
 ACCENTS: DECORATIVE SHUTTERS PER ELEVATION STYLE
 GARAGE DOOR: WOOD OR FIBERGLASS, WOOD POSTS WITH CORBEL AT PORCH
 METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL



Right



Rear



Left



Front

BUNGALOW MATERIALS:		TRIM:	
ROOF:	CONCRETE FLAT TILE	WINDOWS:	STUCCO OVER FOAM/ WOOD OR CEMENTITIOUS
FASCIA:	2X6 WOOD	ACCENTS:	WHITE VINYL
BARGE BOARD:	2X6 WOOD	GARAGE DOOR:	WOOD POSTS WITH STONE VENEER BASE
OUTLOOKERS:	WOOD OR FIBERGLASS	VENEER:	METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL
GABLE:	CEMENTITIOUS SHINGLE SIDING		MANUFACTURED STONE VENEER
WALL:	STUCCO/ CEMENTITIOUS SHINGLE SIDING		



Right



Rear



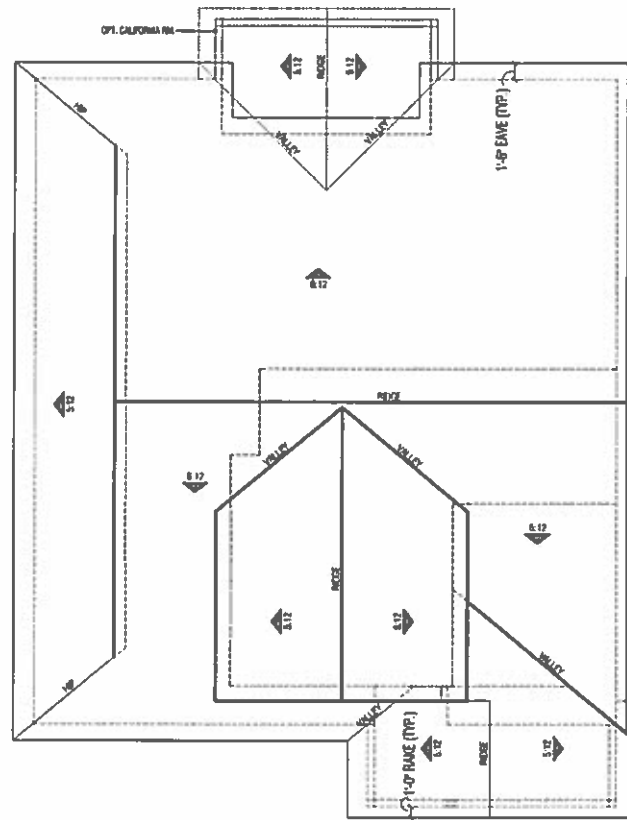
Left



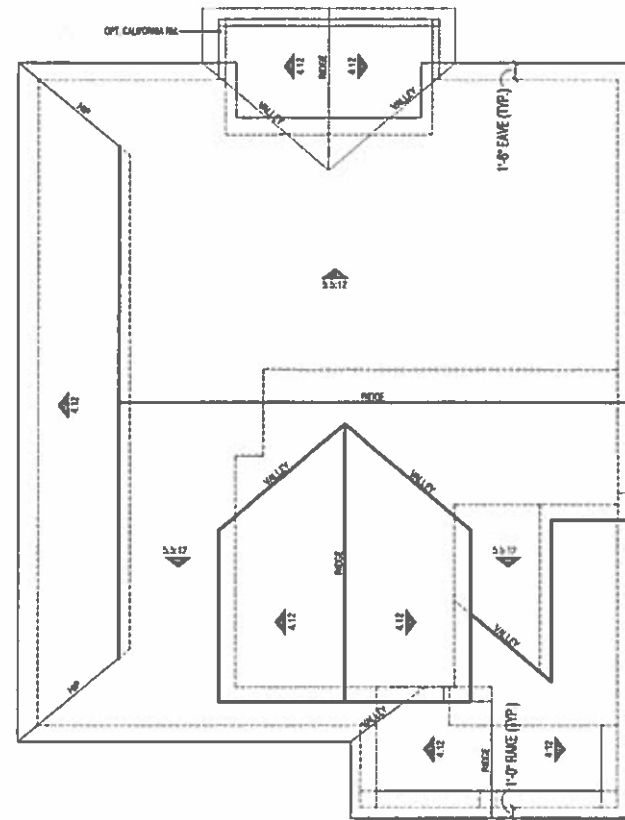
Front

- | | | | |
|------------------|---|--------------|---|
| RANCH MATERIALS: | | TRIM: | STUCCO OVER FOAM/ WOOD OR CEMENTITIOUS |
| ROOF: | CONCRETE FLAT TILE | WINDOWS: | WHITE VINYL |
| FASCIA: | 2X3 WOOD WITH 3X6 RAFTER TAILS | ACCENTS: | DECORATIVE SHUTTERS PER ELEVATION STYLE (WOOD OR FIBERGLASS) |
| GABLE: | CEMENTITIOUS HORIZONTAL LAP SIDING WITH ACCENT VENT | GARAGE DOOR: | WOOD POSTS WITH BRACE AT PORCH |
| OUTLOOKERS: | WOOD OR FIBERGLASS | | METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL |
| WALL: | STUCCO/ CEMENTITIOUS HORIZONTAL LAP SIDING WITH CORNER BOARDS | | |

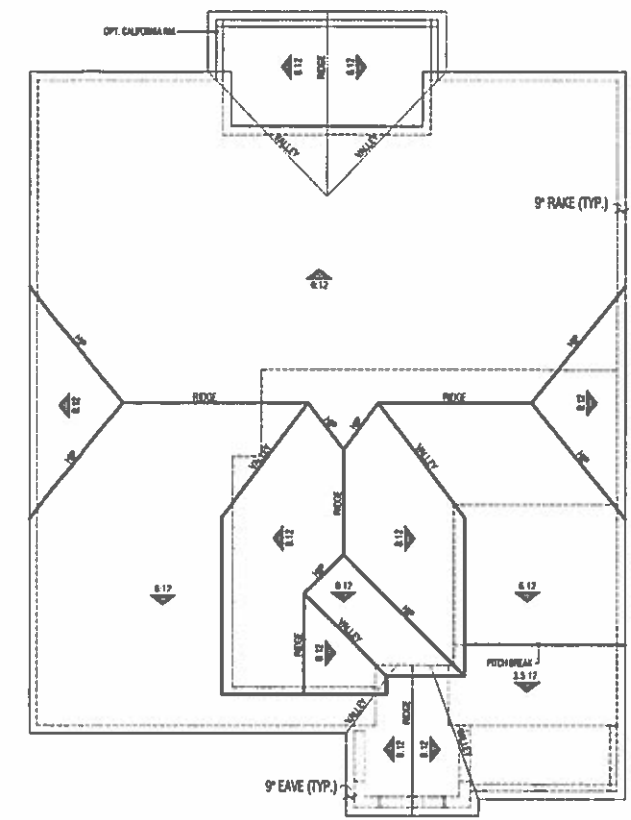




Roof Plan 1XC - Ranch
Two Story



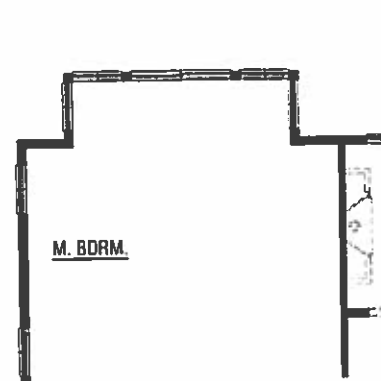
Roof Plan 1XB - Bungalow
Two Story



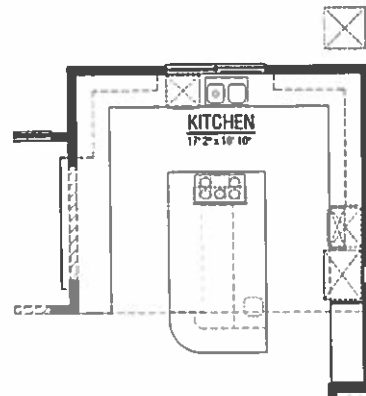
Roof Plan 1XA - Cottage
Two Story

NOTE: Artist's conception; colors, materials and application may vary.
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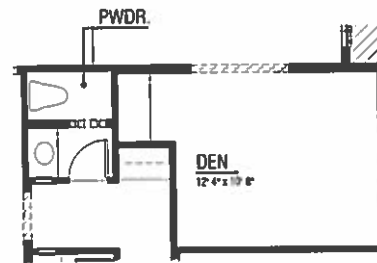




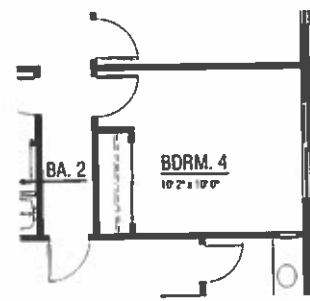
Retreat at Master
(at deeper lots)



Extended Kitchen
(at deeper lots)

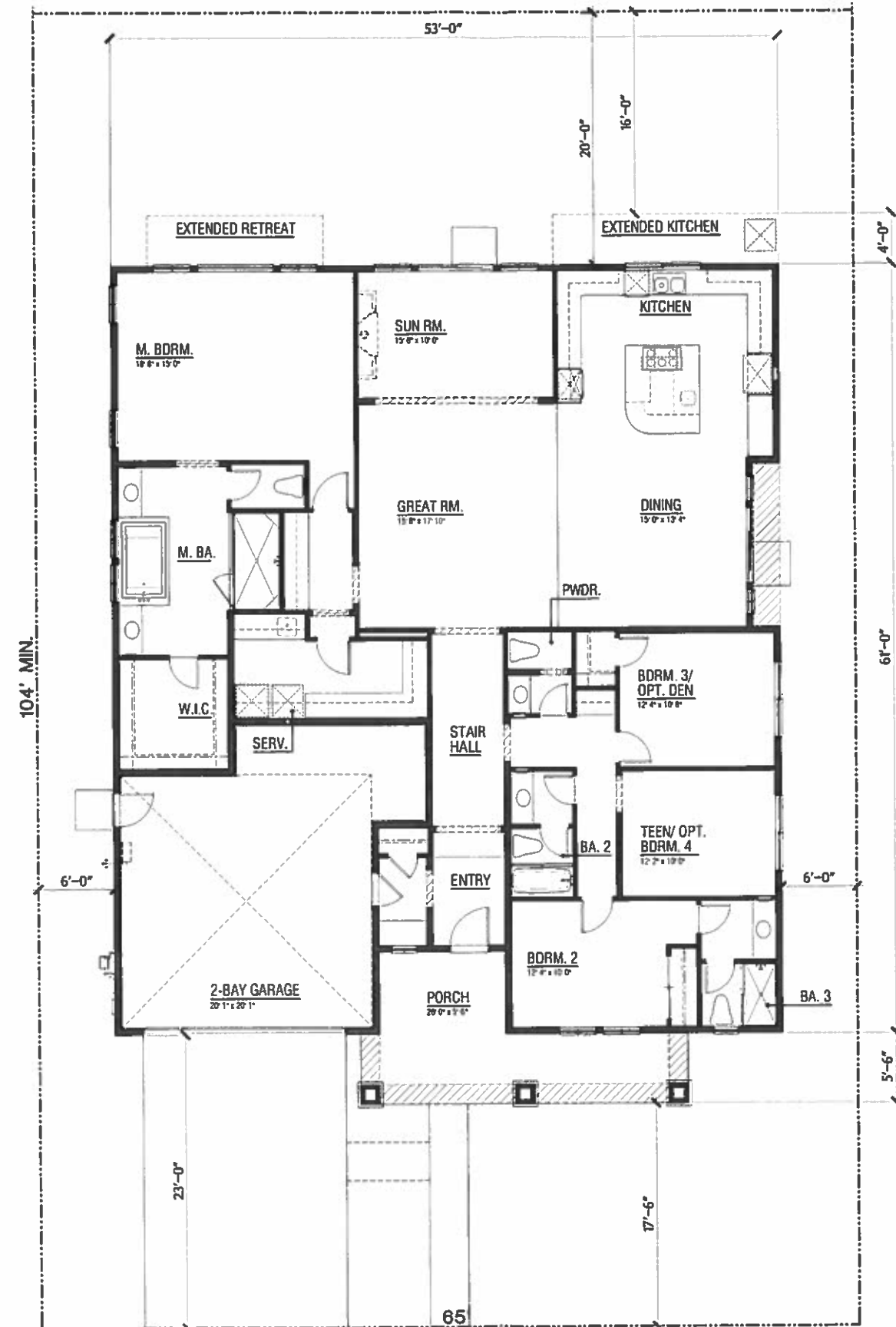


Optional Den



Optional Bedroom 4

Plan 2B (Single Story)
2637 SF
3 Bdrms/3.5 Baths/ Teen Rm./
Opt. Den & Opt. Bdrm 4 Rm.
2 Car Garage w/ Storage



NOTE: Artist's conception; colors, materials and application may vary.
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PLAN 2B - FLOOR PLANS



PONDEROSA
HOMES

WH
WILLIAM HEZMALHALCH
ARCHITECTS, INC.
2880 REDHILL AVENUE, SUITE 200, SANTA ANA, CA 92705-6643
949 250 0907 www.aharchitects.com Tel: 949 250 1329
5000 EXECUTIVE PRIMO SUITE 375 SAN RAMON, CA 94583-4210
925 463 1700 Tel: 949 250 1329

A2.1
3/16" SCALE
2015211 • 04-04-16



Elevation A - Cottage

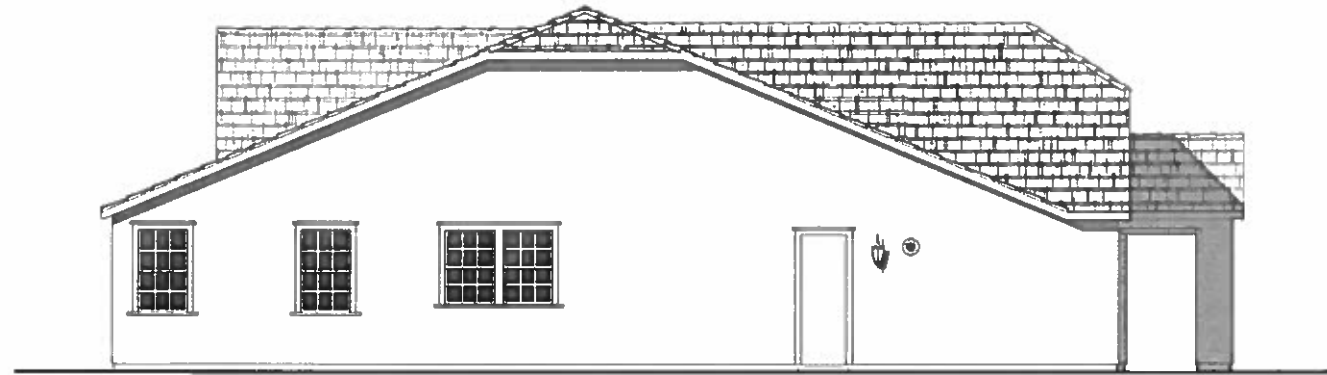


Elevation B - Bungalow

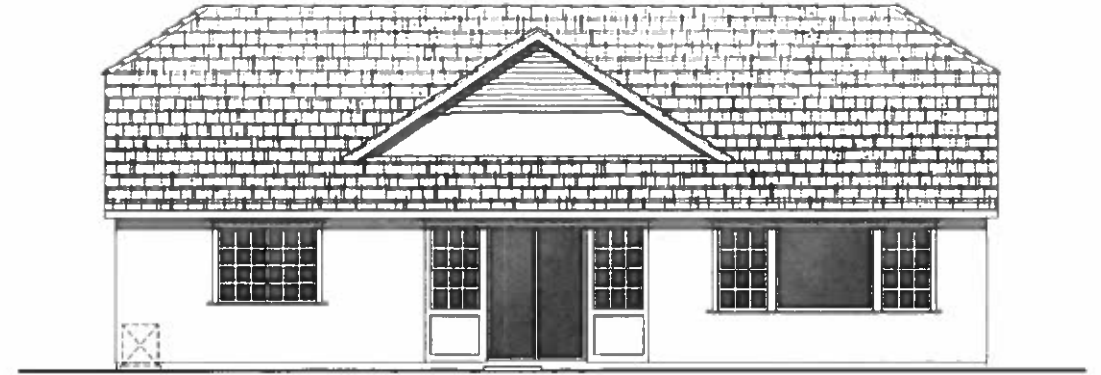


Elevation C - Ranch

NOTE: Artist's conception; colors, materials and application may vary.
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Left



Rear



Right



Front

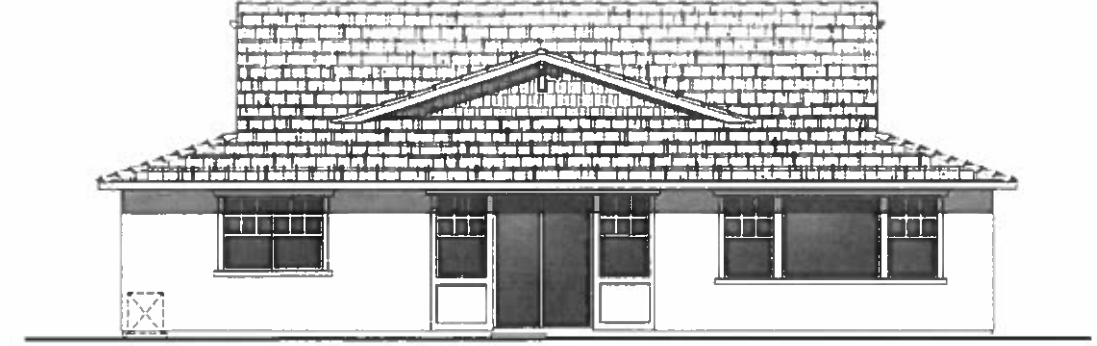
COTTAGE MATERIALS:

ROOF: CONCRETE FLAT TILE
 FASCIA: 2X6 WOOD
 BARGE BOARD: 2X6 WOOD
 GABLE DETAIL: CEMENTITIOUS HORIZONTAL LAP SIDING
 WALL: STUCCO

TRIM: STUCCO OVER FOAM
 WINDOWS: WHITE VINYL
 ACCENTS: DECORATIVE SHUTTERS PER ELEVATION STYLE; WOOD OR FIBER GLASS, WOOD POSTS WITH CORBEL AT PORCH
 GARAGE DOOR: METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL



Left



Rear



Right



Front

BUNGALOW MATERIALS

ROOF: CONCRETE FLAT TILE
 FASCIA: 2X6 WOOD
 BARGE BOARD: 2X6 WOOD
 OUTLOOKERS: WOOD OR FIBERGLASS
 GABLE: CEMENTITIOUS SHINGLE SIDING WITH ACCENT VENT
 WALL: STUCCO

TRIM: STUCCO OVER FOAM/ WOOD OR CEMENTITIOUS
 WINDOWS: WHITE VINYL
 ACCENTS: WOOD POSTS WITH STONE VENEER BASE
 GARAGE DOOR: METAL ROLL-UP PER ELEVATION STYLE, WITH GLASS LITES AT TOP PANEL
 VENEER: MANUFACTURED STONE VENEER





Left



Rear



Right



Front

HEIGHT TO FINISH
ROOF MATERIAL

12'-0"

1'-0"

RANCH MATERIALS:

ROOF: CONCRETE FLAT TILE
 FASCIA: 2X3 WOOD WITH 3X6 RAFTER TAILS
 OUTLOOKERS: WOOD OR FIBERGLASS
 WALL: STUCCO/ CEMENTITIOUS HORIZONTAL LAP SIDING WITH CORNER BOARDS

TRIM: STUCCO OVER FOAM/ WOOD OR CEMENTITIOUS
 WINDOWS: WHITE VINYL
 ACCENTS: DECORATIVE SHUTTERS PER ELEVATION STYLE (WOOD OR FIBERGLASS)
 GARAGE DOOR: WOOD POSTS WITH BRACE AT PORCH
 METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL

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VALLEY TRAILS
 PLEASANTON, CA

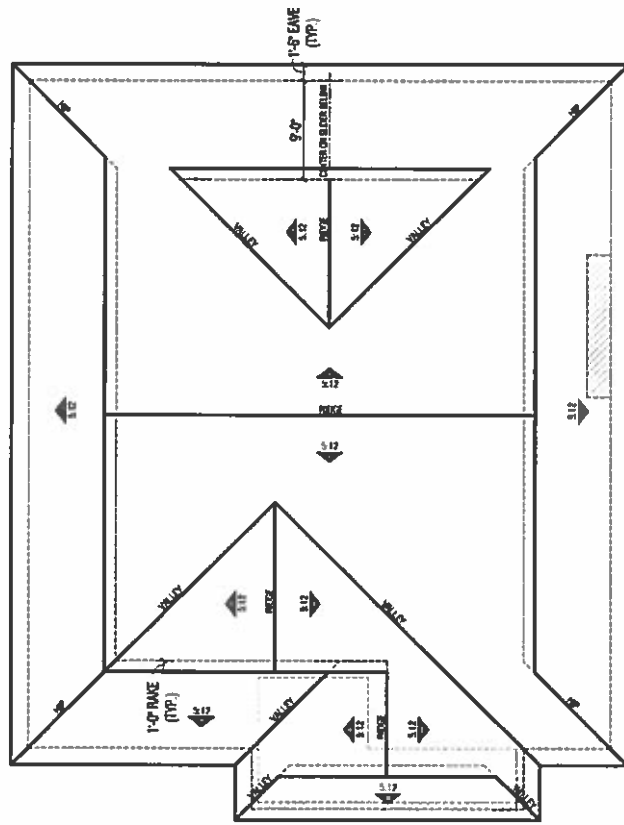
PLAN 2C - RANCH ELEVATIONS



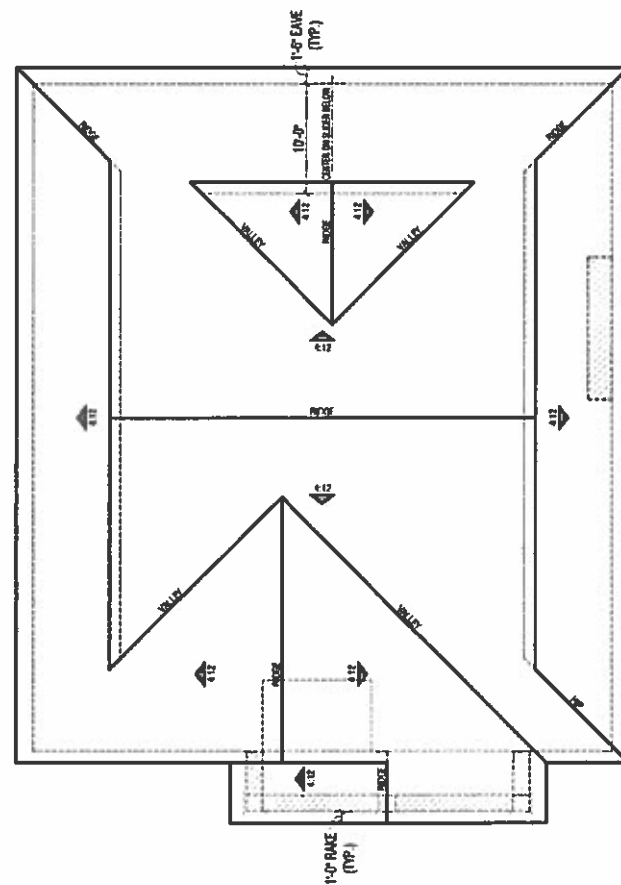
PONDEROSA
 HOMES

WH
 WILLIAM HEZMALHALCH
 ARCHITECTS INC
 200 REDHILL AVENUE SUITE 200 SANTA ANA CA 92708-8843
 949 250 0807 www.ponderosahomes.com fax 949 250 1529
 5010 DELICADRE PROMY SUITE 375 SAN RAMON CA 94583-4210
 925 463 1700 fax 949 250 152 9

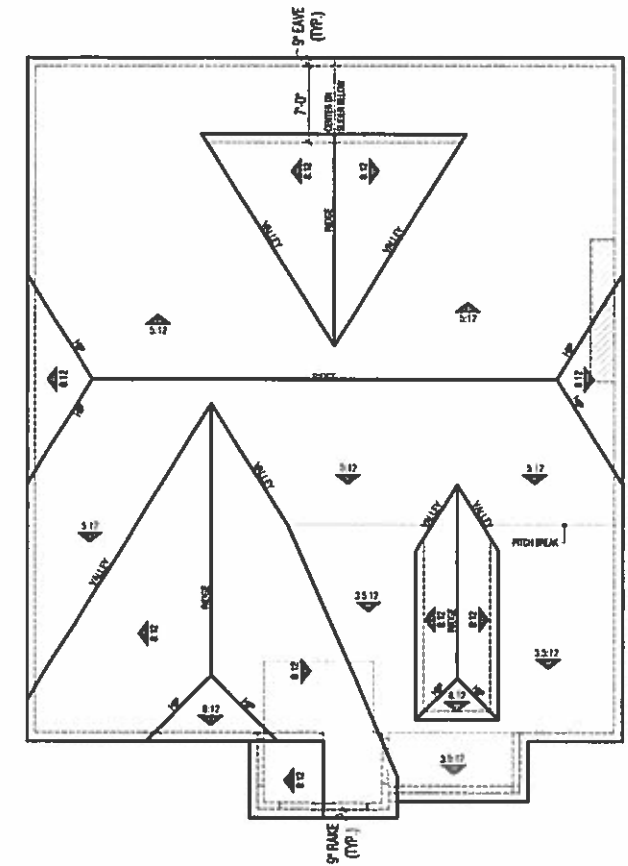
A2.5
 0 4 8 16
 3/16" SCALE
 2015211 • 04-04-16



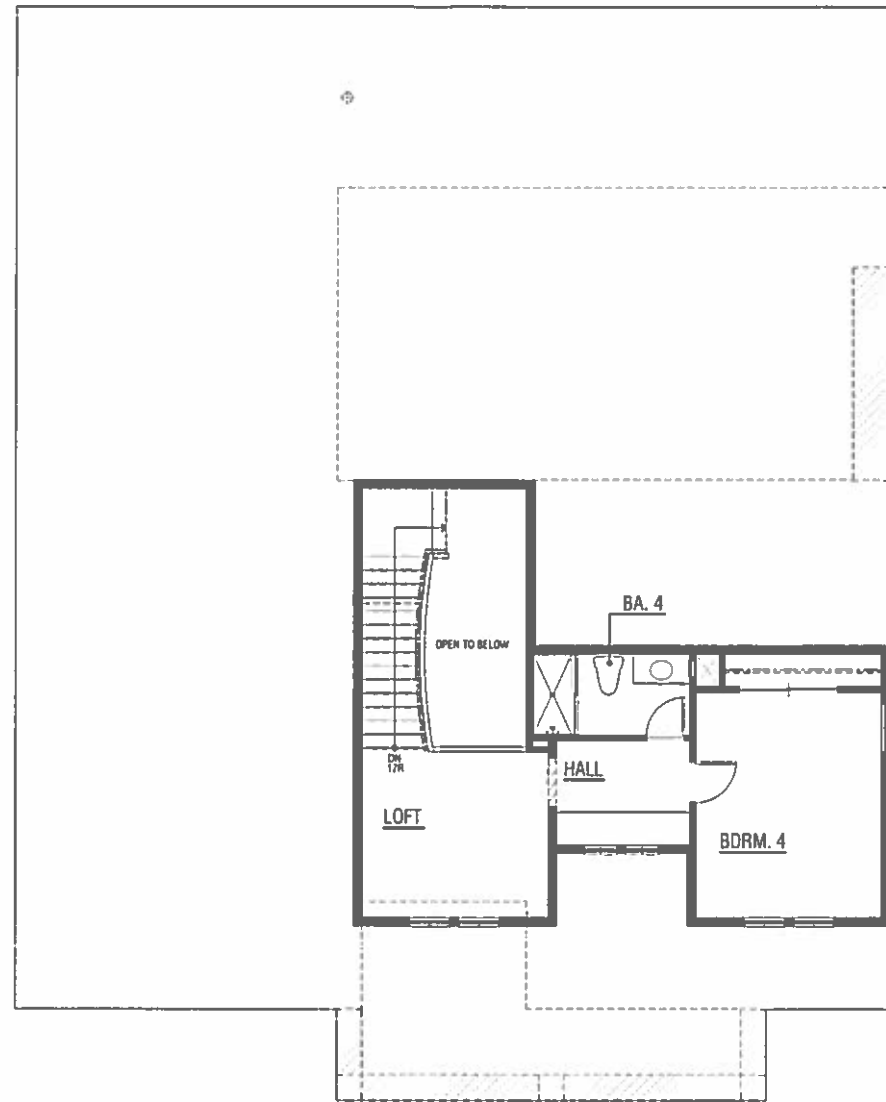
Roof Plan 2C - Ranch
Single Story



Roof Plan 2B - Bungalow
Single Story

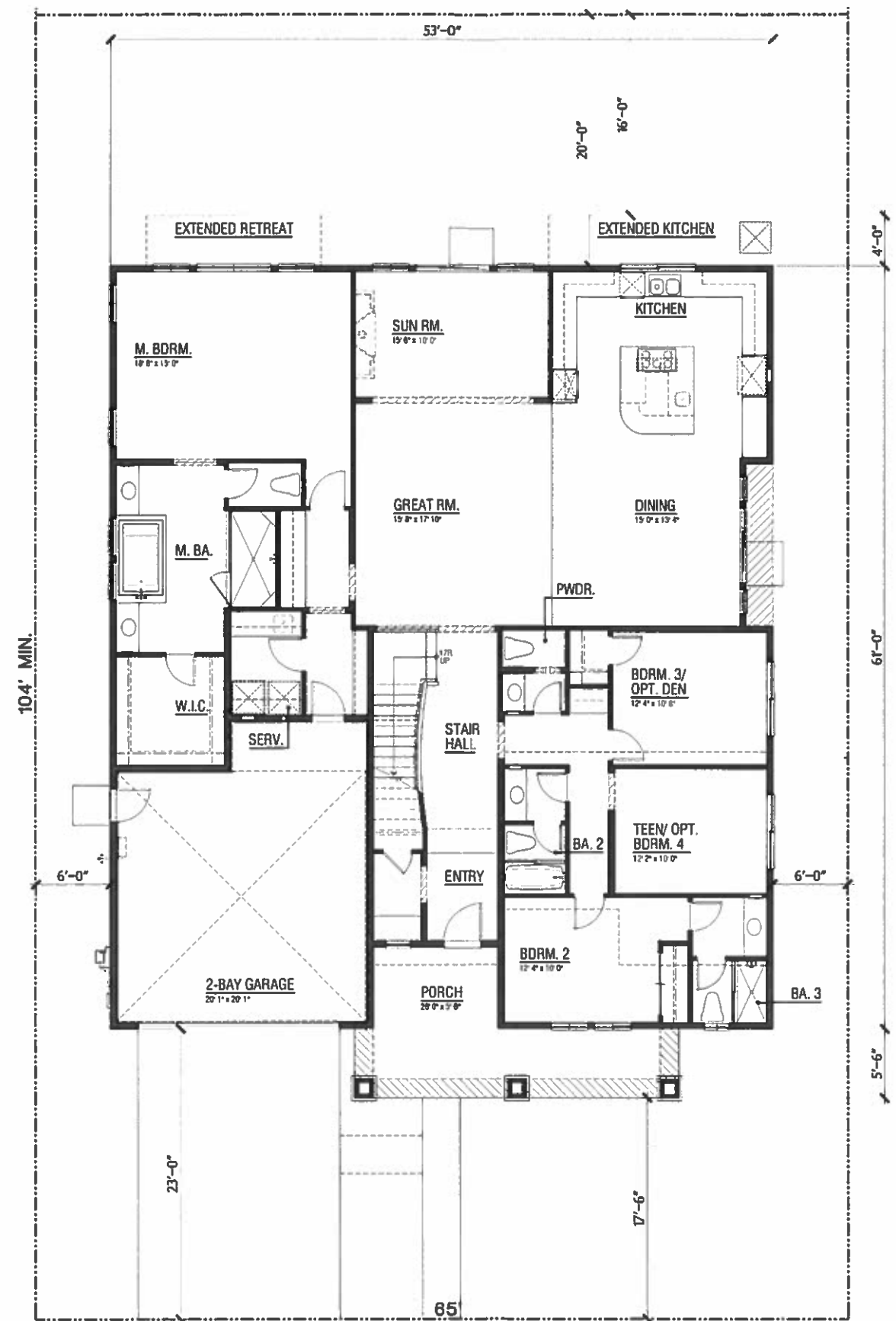


Roof Plan 2A - Cottage
Single Story



NOTE:
SEE PLAN 2 FOR
FLOOR PLAN OPTIONS

Plan 2XB (Two Story)
3122 SF
5 Bdrms/4.5 Baths/ Loft/ Teen Rm./
Opt. Den & Opt. Bdrm 5
2 Car Garage w/ Storage



NOTE: Artist's conception; colors, materials and application may vary.
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Elevation A - Cottage



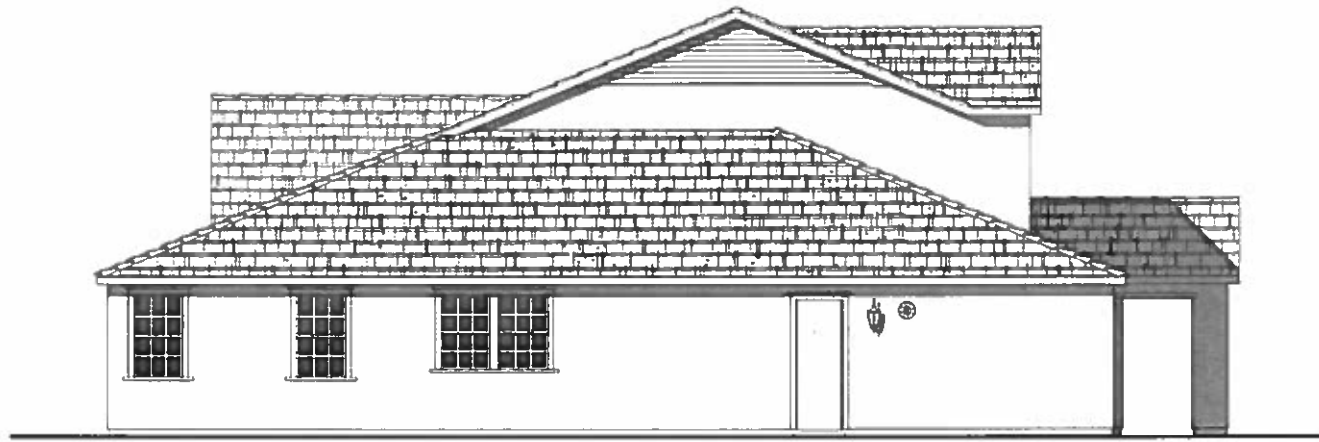
Elevation B - Bungalow



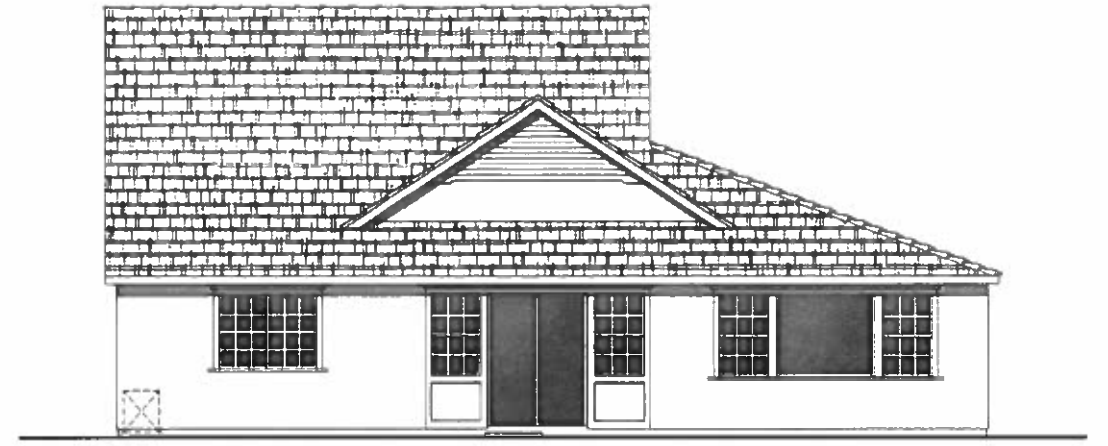
Elevation C - Ranch

NOTE: Artist's conception, colors, materials and application may vary
 © 2016 WILLIAM HEZMALHALCH ARCHITECTS, INC.





Left



Rear



Right



Front

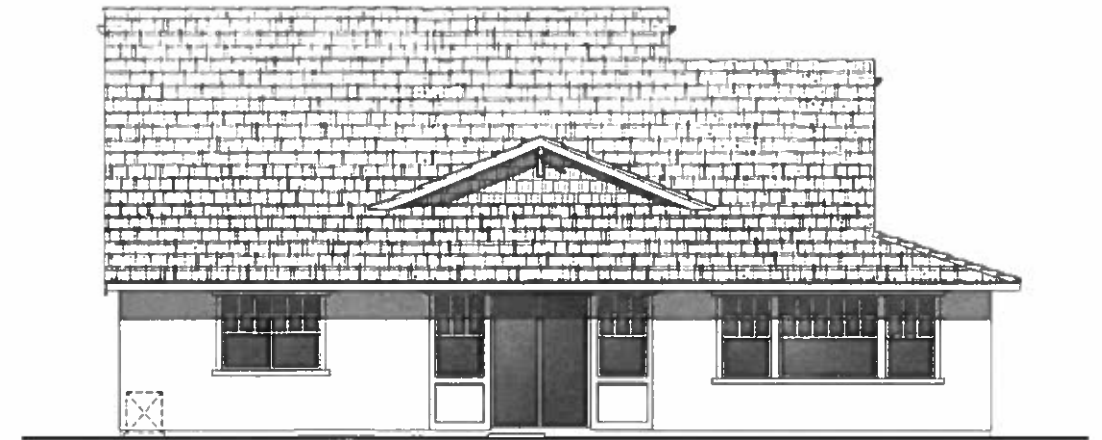
COTTAGE MATERIALS:

ROOF: CONCRETE FLAT TILE
 FASCIA: 2X6 WOOD
 BARGE BOARD: 2X6 WOOD
 GABLE DETAIL: CEMENTITIOUS HORIZONTAL LAP SIDING
 WALL: STUCCO

TRIM: STUCCO OVER FOAM
 WINDOWS: WHITE VINYL
 ACCENTS: DECORATIVE SHUTTERS PER ELEVATION STYLE; WOOD OR FIBERGLASS. WOOD POSTS WITH CORBEL AT PORCH AT FRONT PORCH
 GARAGE DOOR: METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL



Left



Rear



Right



Front

BUNGALOW MATERIALS:

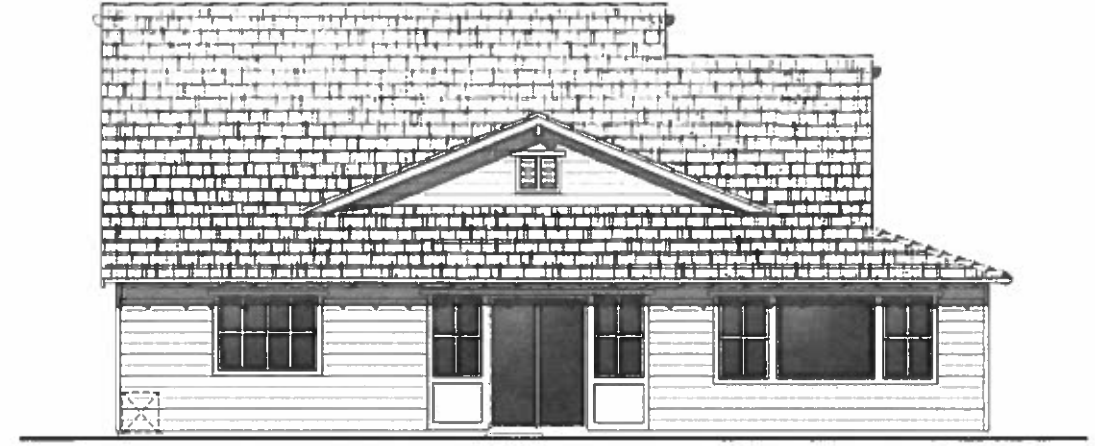
ROOF: CONCRETE FLAT TILE
 FASCIA: 2X6 WOOD
 BARGE BOARD: 2X6 WOOD
 OUTLOOKERS: WOOD OR FIBERGLASS
 GABLE: CEMENTITIOUS SHINGLE SIDING
 WALL: STUCCO/ CEMENTITIOUS SHINGLE SIDING

TRIM: STUCCO OVER FOAM/ WOOD OR FIBER CEMENT
 WINDOWS: WHITE VINYL
 ACCENTS: WOOD POSTS WITH STONE VENEER BASE AT PORCH
 GARAGE DOOR: METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL
 VENEER: MANUFACTURED STONE VENEER





Left



Rear



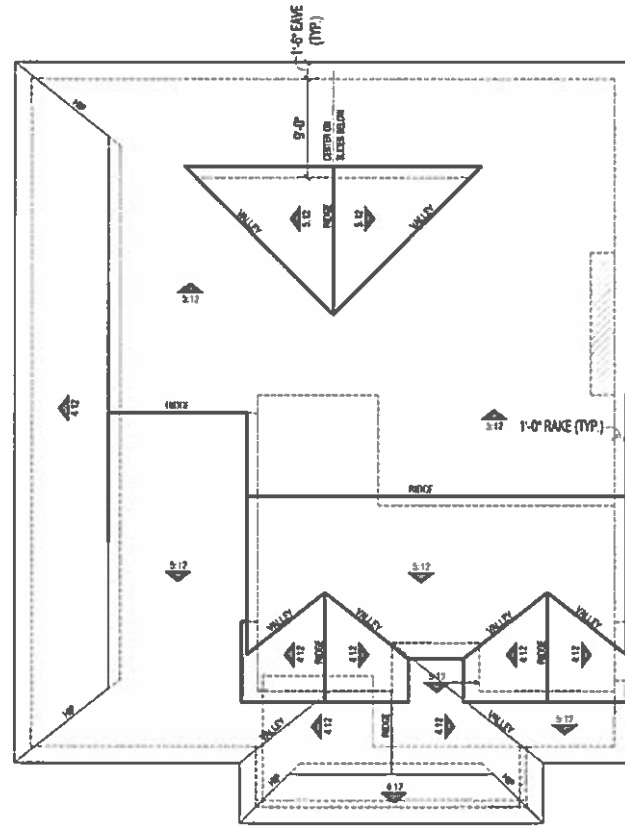
Right



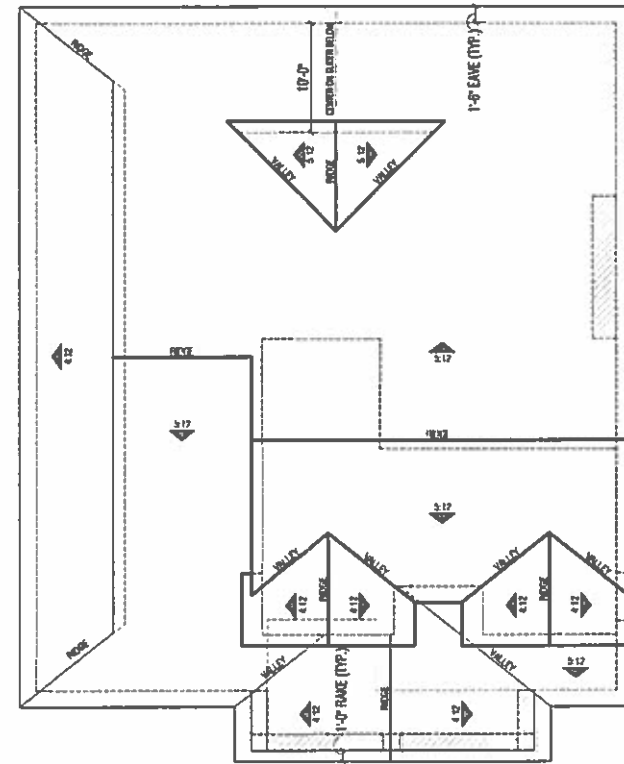
Front

- | | | | |
|------------------|---|--------------|--|
| RANCH MATERIALS: | | TRIM: | STUCCO OVER FOAM/ WOOD OR CEMENTITIOUS |
| ROOF: | CONCRETE FLAT TILE | WINDOWS: | WHITE VINYL |
| FASCIA: | 2X3 WOOD WITH 3X6 RAFTER TAILS | ACCENTS: | DECORATIVE SHUTTERS PER ELEVATION STYLE (WOOD OR FIBERGLASS) |
| OUTLOOKERS: | WOOD OR FIBERGLASS | GARAGE DOOR: | WOOD POSTS WITH BRACE AT PORCH |
| WALL: | STUCCO/ CEMENTITIOUS HORIZONTAL LAP SIDING WITH CORNER BOARDS | | METAL ROLL-UP PER ELEVATION STYLE WITH WINDOWS WITH GLASS LITES AT TOP PANEL |

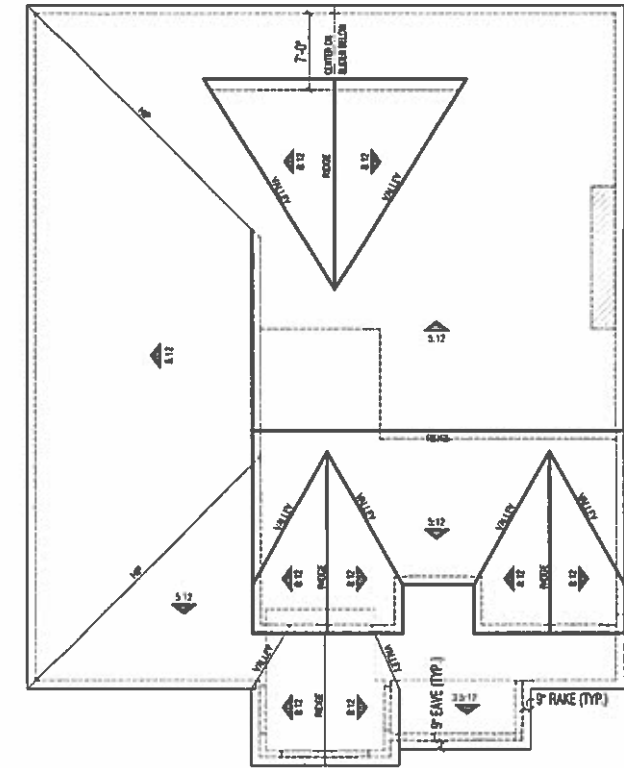




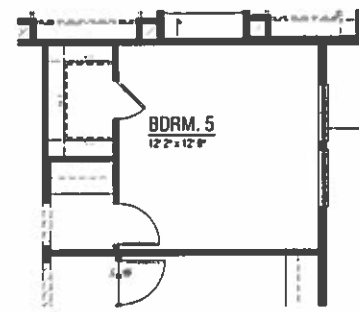
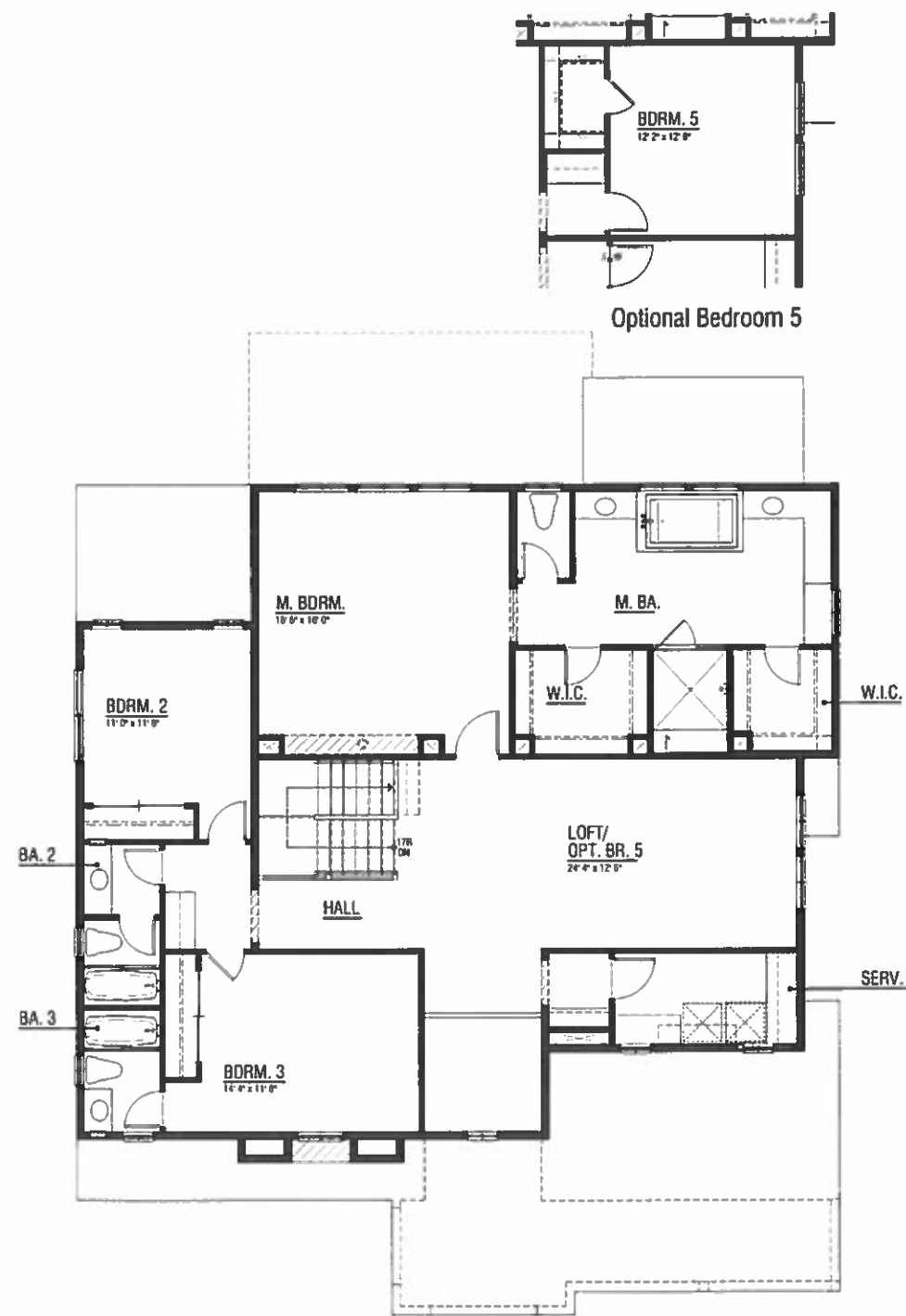
Roof Plan 2XC - Ranch
Two Story



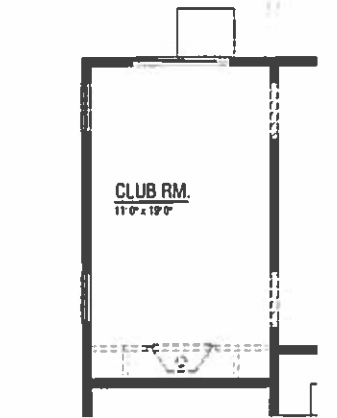
Roof Plan 2XB - Bungalow
Two Story



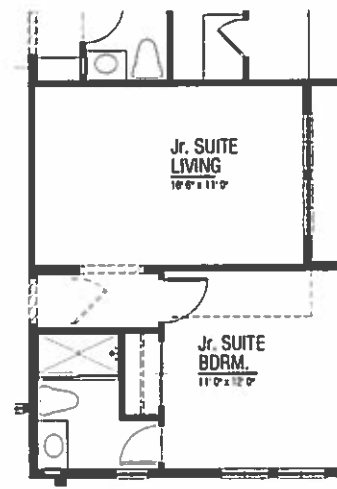
Roof Plan 2XA - Cottage
Two Story



Optional Bedroom 5

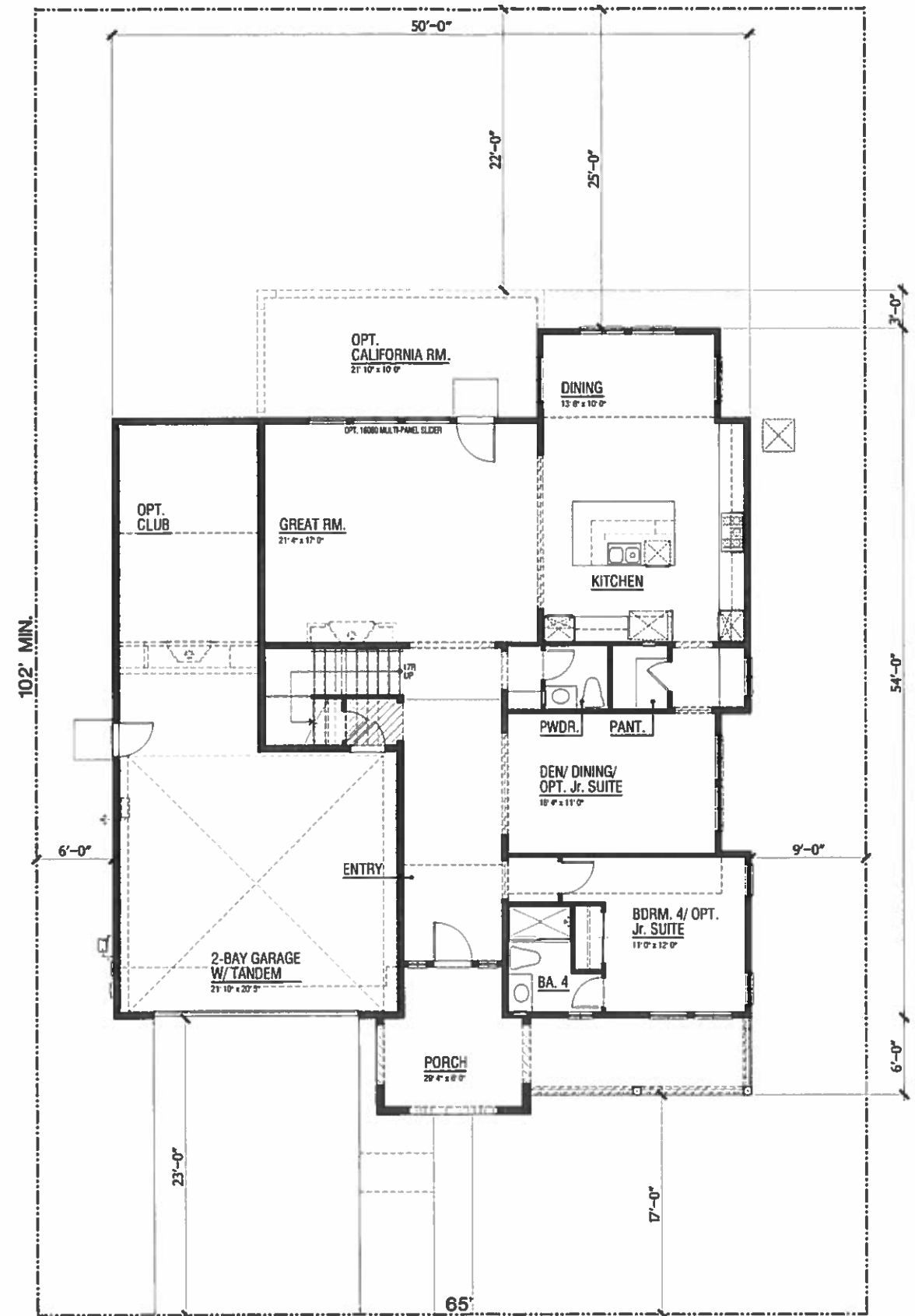


Optional Club Room
(+229 SF)



Optional Jr. Suite at Bdrm. 4

Plan 3A
3387 SF
4 Bdrms/4.5 Baths/ Den/ Loft
Opt. Jr. Suite/ Opt. Club Rm./
Opt. Bdrm. 5
2 Car Garage w/ Tandem





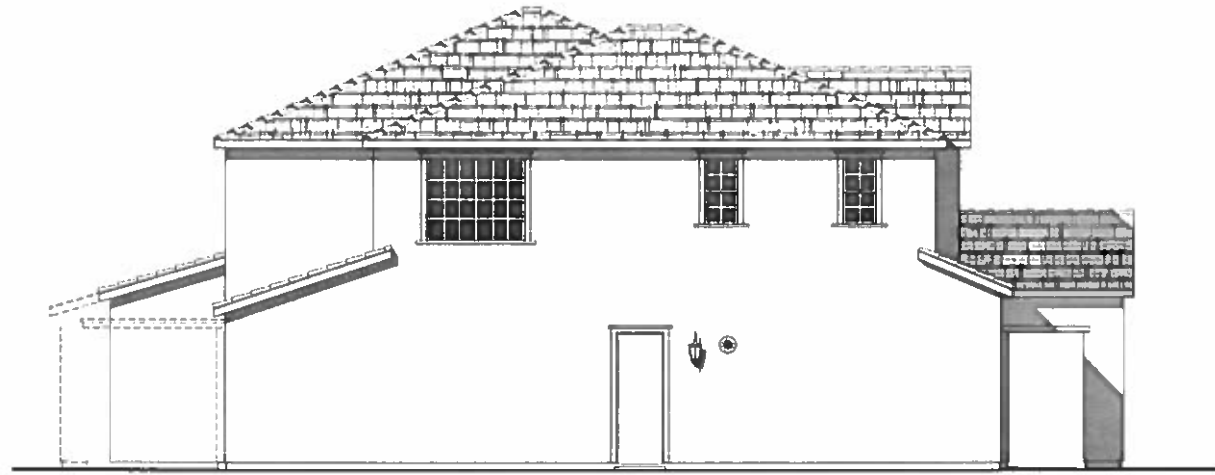
Elevation A - Cottage



Elevation B - Bungalow

NOTE: Artist's conception, colors, materials and application may vary.
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Left



Rear



Right



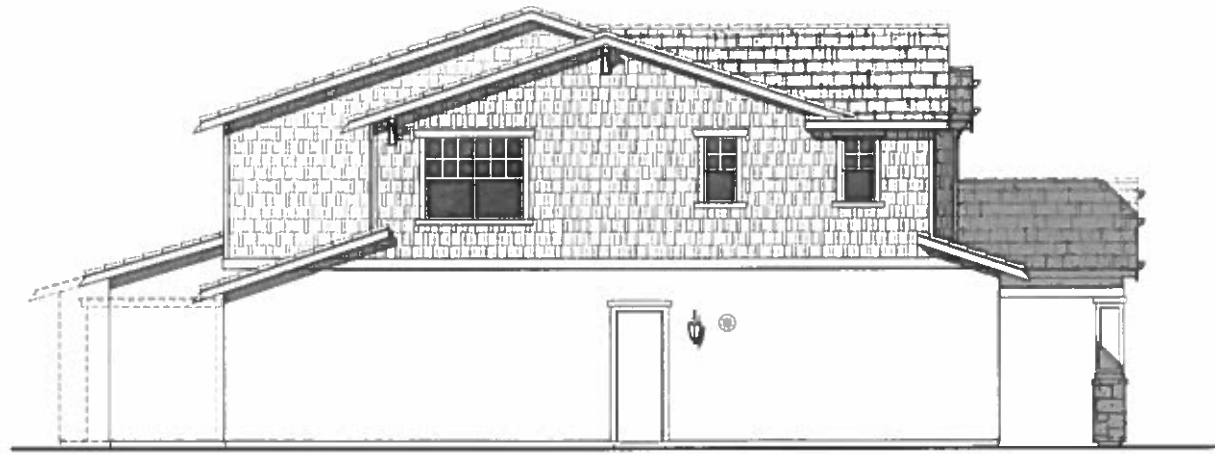
Front

COTTAGE MATERIALS:

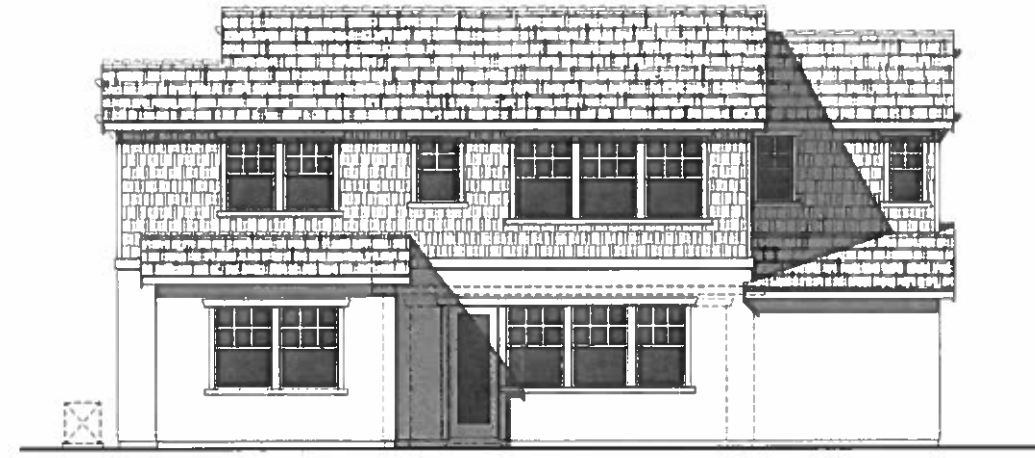
ROOF: CONCRETE FLAT TILE
 FASCIA: 2X6 WOOD
 BARGE BOARD: 2X6 WOOD
 GABLE DETAIL: HORIZONTAL LAP SIDING
 WALL: STUCCO

TRIM: STUCCO OVER FOAM/WOOD OR CEMENTITIOUS
 WINDOWS: WHITE VINYL
 ACCENTS: DECORATIVE SHUTTERS PER ELEVATION STYLE, WOOD OR FIBERGLASS, WOOD POSTS WITH CORBEL WITH RAILING AT PORCH
 GARAGE DOOR: METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL





Left



Rear



Right



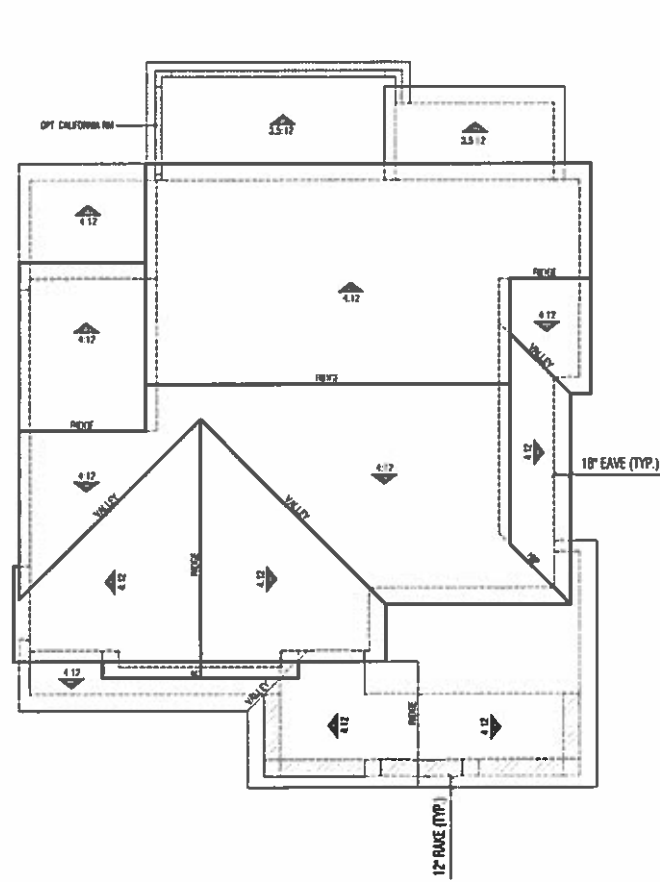
Front

BUNGALOW MATERIALS:

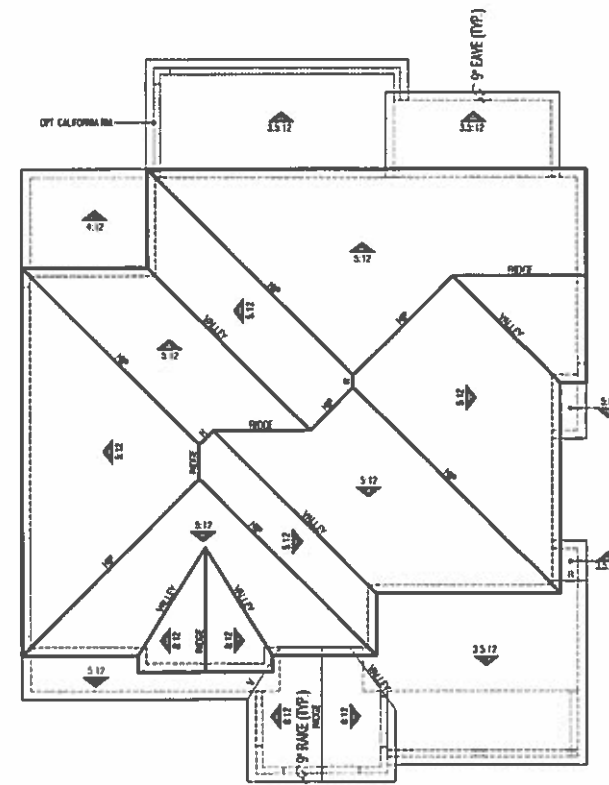
ROOF: CONCRETE FLAT TILE
 FASCIA: 2X6 WOOD
 BARGE BOARD: 2X6 WOOD
 OUTLOOKERS: WOOD OR FIBERGLASS
 GABLE: CEMENTITIOUS SHINGLE SIDING
 WALL: STUCCO/ CEMENTITIOUS SHINGLE SIDING

TRIM: STUCCO OVER FOAM/ WOOD OR FIBER CEMENT
 WINDOWS: WHITE VINYL
 ACCENTS: WOOD POSTS WITH STONE VENEER BASE AT PORCH
 GARAGE DOOR: METAL ROLL-UP PER ELEVATION STYLE WITH GLASS LITES AT TOP PANEL
 VENEER: MANUFACTURED STONE VENEER



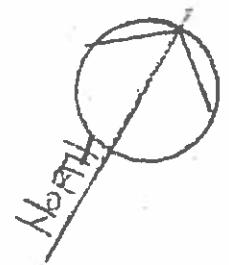
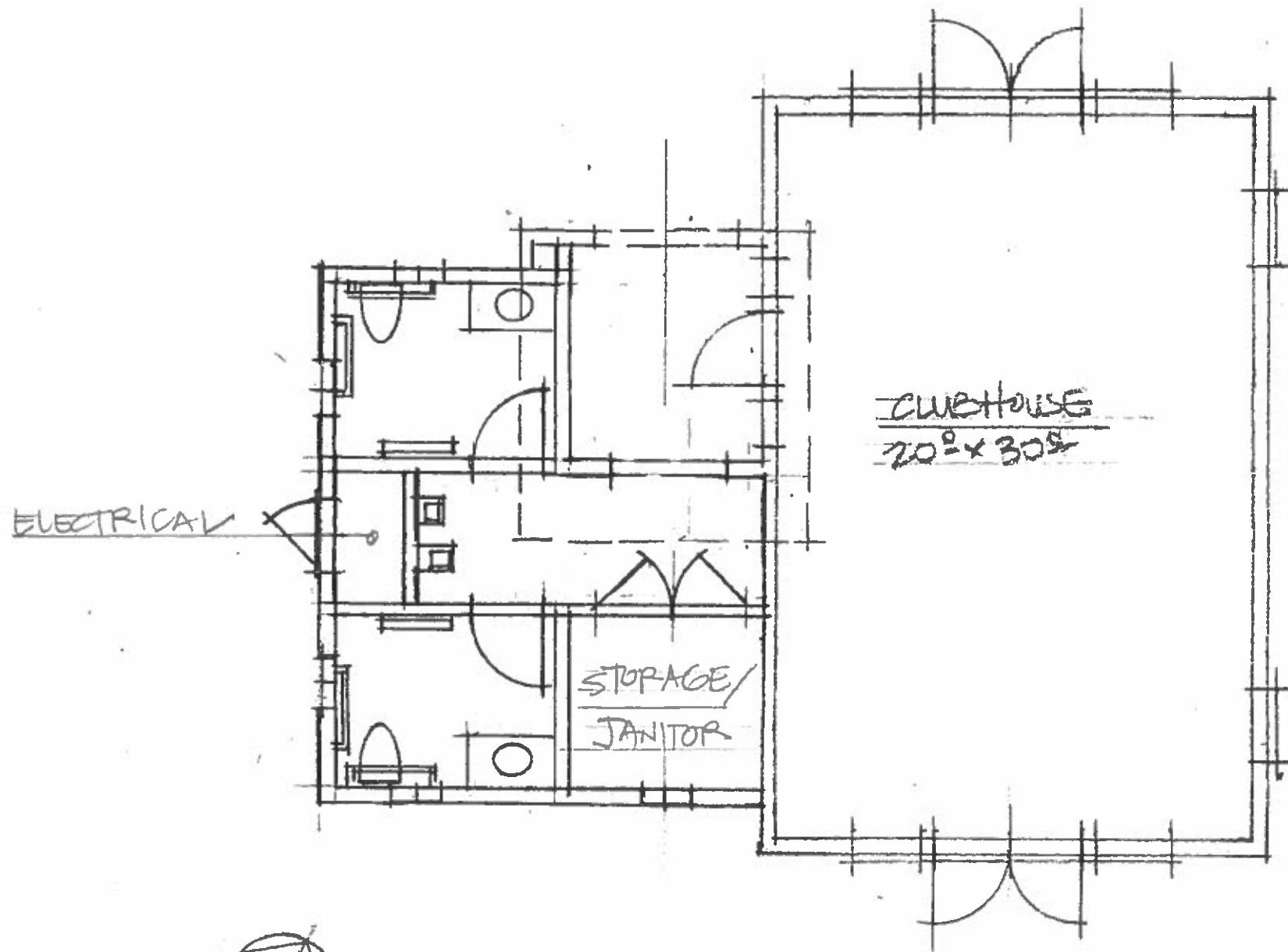


Roof Plan 3B - Bungalow



Roof Plan 3A - Cottage





CLUBHOUSE
(945 SF)

© WHA
2016

VALLEY TRAILS - PLEASANTON - PONDEROSA HOMES

201521100

1/8" = 1'-0" SCALE

MARCH 2, 2016

B1.1 - CLUB HOUSE - FLOOR PLAN

PRELIMINARY TREE PALETTE

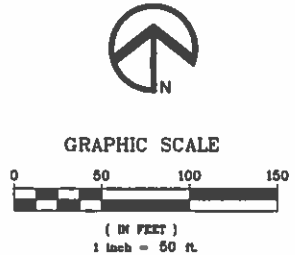
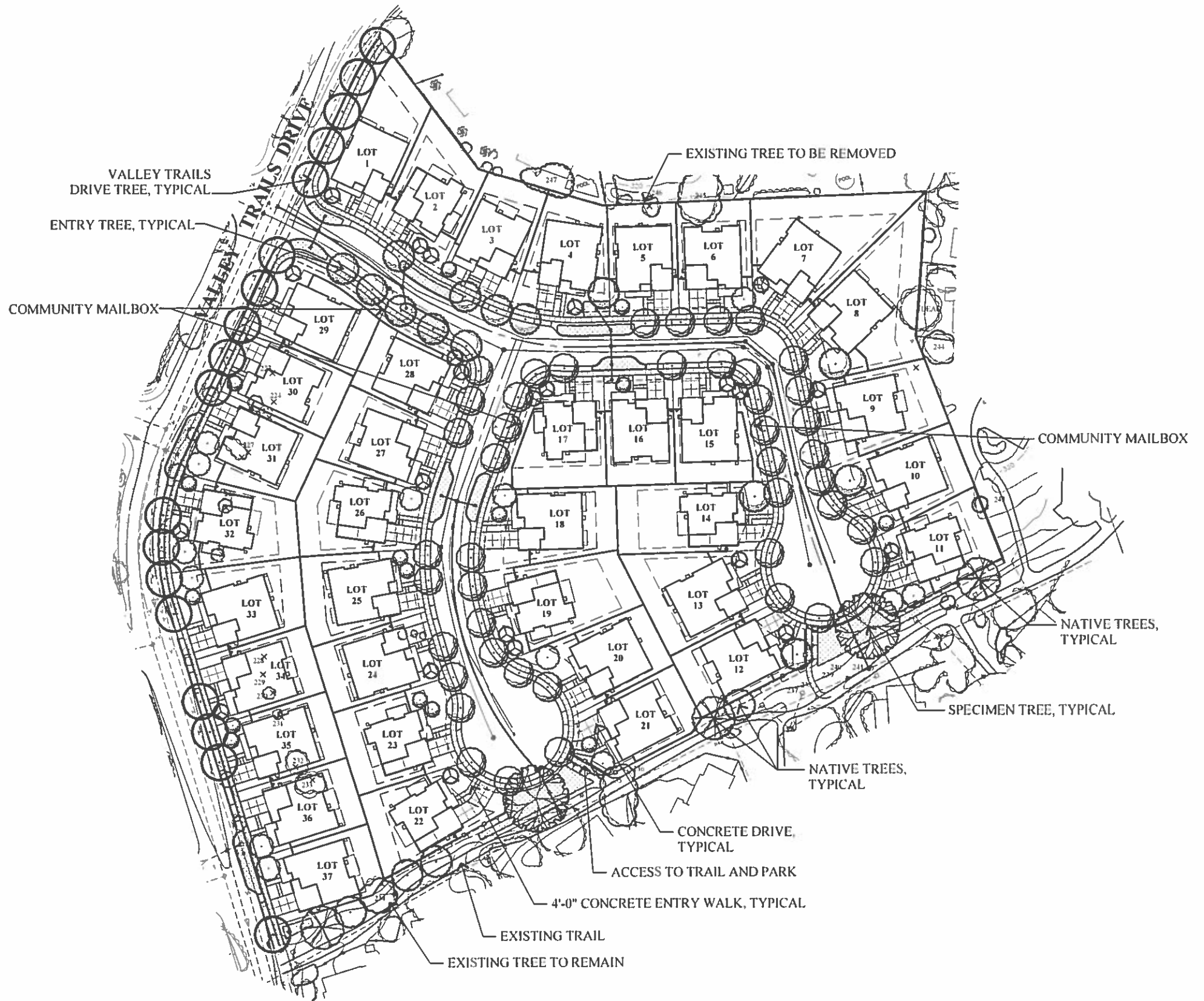
BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
	EXISTING TREES TO REMAIN		
	EXISTING TREES TO BE REMOVED		
	VALLEY TRAIL DRIVE STREET TREE		
ARBUS 'MARINA'	MARINA STRAWBERRY TREE	24" BOX	LOW
	SPECIMEN TREE		
QUERCUS LOBATA	VALLEY OAK	24" BOX	LOW
	ENTRY TREE		
PRUNUS SERRULATA 'AKEBONO'	FLOWERING CHEERY	24" BOX	MEDIUM
	STREET TREES		
LAURUS N. 'SARATOGA'	SARATOGA LAUREL	15 GALLON	LOW
PSTACHIA CHINENSIS	CHINESE PISTACHE	15 GALLON	LOW
	ACCENT TREES		
CERCIS OCCIDENTALIS	WESTERN REDBUO	15 GALLON	LOW
LAGERSTROEMIA INDICA	CAPE MYRTLE	15 GALLON	LOW
PRUNUS C. 'KRAUTER VESUVIUS'	PURPLE-LEAF PLUM	15 GALLON	LOW
	NATIVE TREES		
AESCLUS CALIFORNICA	CALIFORNIA BUCKEYE	15 GALLON	LOW
QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GALLON	LOW

BIO RETENTION AREA SHRUB PALETTE

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
SHRUBS - BIO-RETENTION AREAS			
ARISTIDA PURPUREA	PURPLE THREE-AWN	1 GALLON	LOW
Buddleia DAVIDI	BUTTERFLY BUSH	5 GALLON	LOW
CHONDRPETALUM TECTORUM	CAPE RUSH	5 GALLON	LOW
DESCHAMPSIA CESPITOSA	TUFTED HANGGRASS	1 GALLON	LOW
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1 GALLON	LOW
JUNCUS PATENS	CALIFORNIA RUSH	1 GALLON	LOW
NIMULUS AURANTIACUS	STICKY MONKEYFLOWER	1 GALLON	LOW
PENSTEMON 'MARGARITA BOP'	BEARDED TONGUE	1 GALLON	LOW
ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GALLON	LOW
SALVIA SONOMENSIS	CREeping SAGE	1 GALLON	LOW

GENERAL NOTES

1. ALL STREET TREES TO BE PLANTED WITH ROOT BARRIERS PER CITY OF PLEASANTON STANDARD DETAILS.
2. ALL TREES TO RECEIVE TREE STAKES PER CITY OF PLEASANTON STANDARD DETAILS.
3. ALL PLANTING TO CONFORM TO CITY OF PLEASANTON WATER EFFICIENT LANDSCAPE ORDINANCE.
4. SEE SHEET L2 FOR FULL PROPOSED PRELIMINARY PLANT PALETTE.

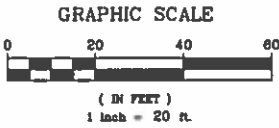
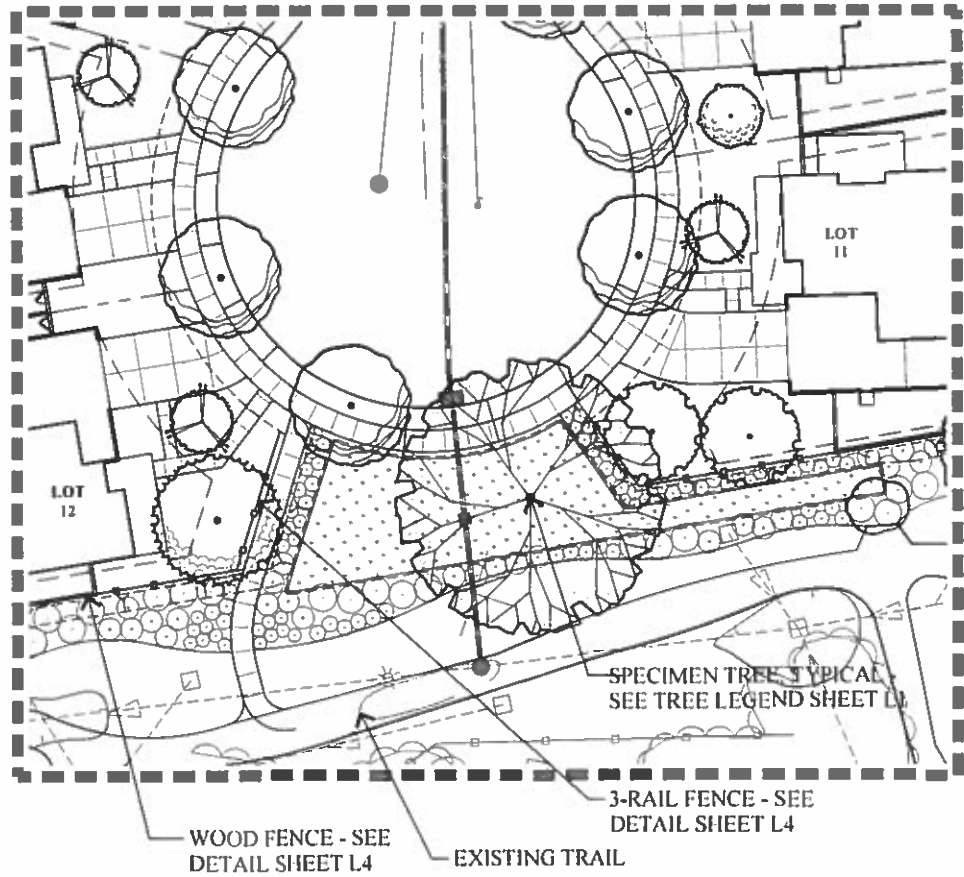
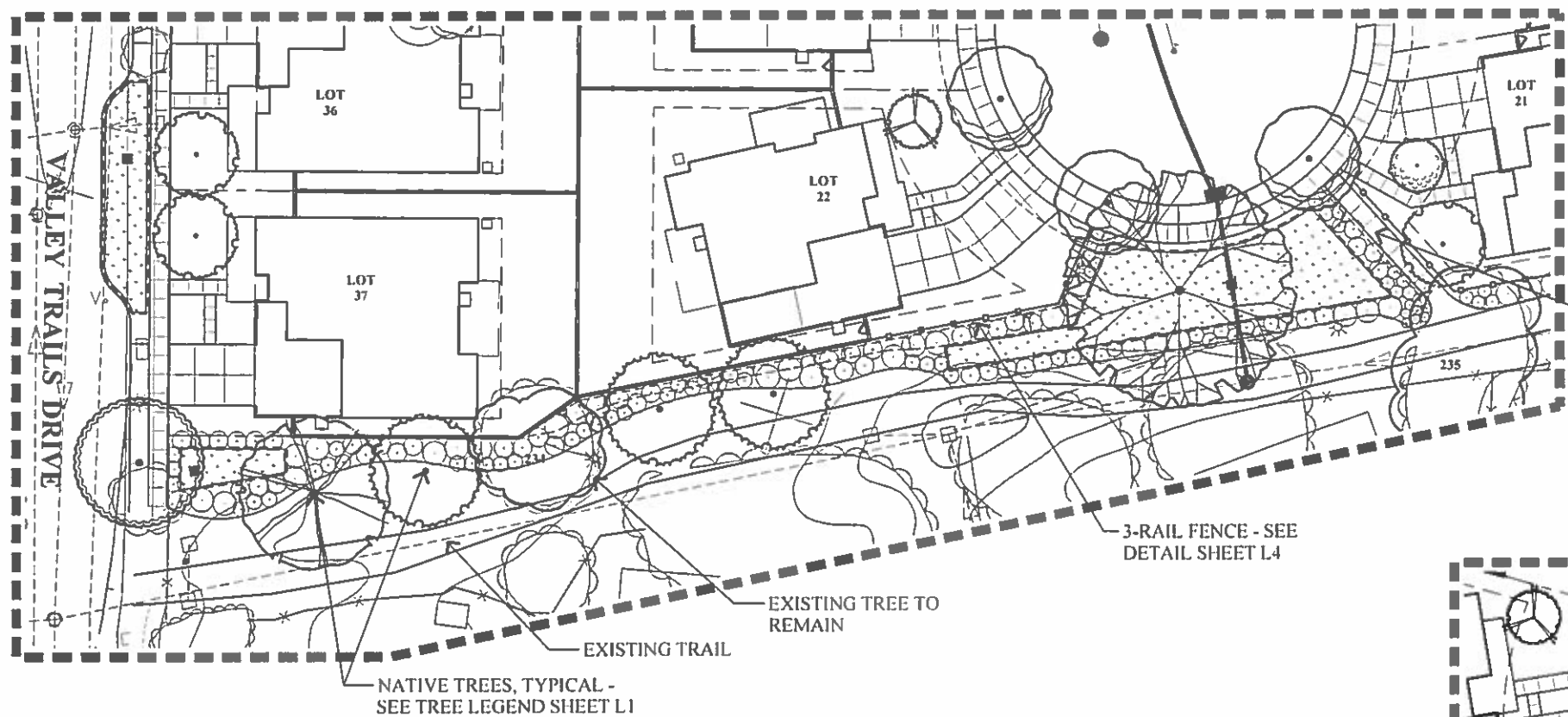


RIPLEY DESIGN
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 1615 BONANZA STREET
 SUITE 314
 WALNUT CREEK, CA 94596
 TEL. 925 938 7377
 FAX 925 938 7436

PONDEROSA HOMES
Preliminary Landscape Plan

Valley Trails
 Pleasanton, California

June 24, 2016



RIPLEY
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 1615 BONANZA STREET
 SUITE 314
 WALNUT CREEK, CA 94596
 TEL 925 938 7377
 FAX 925 938 7436

☒ PONDEROSA HOMES ☒

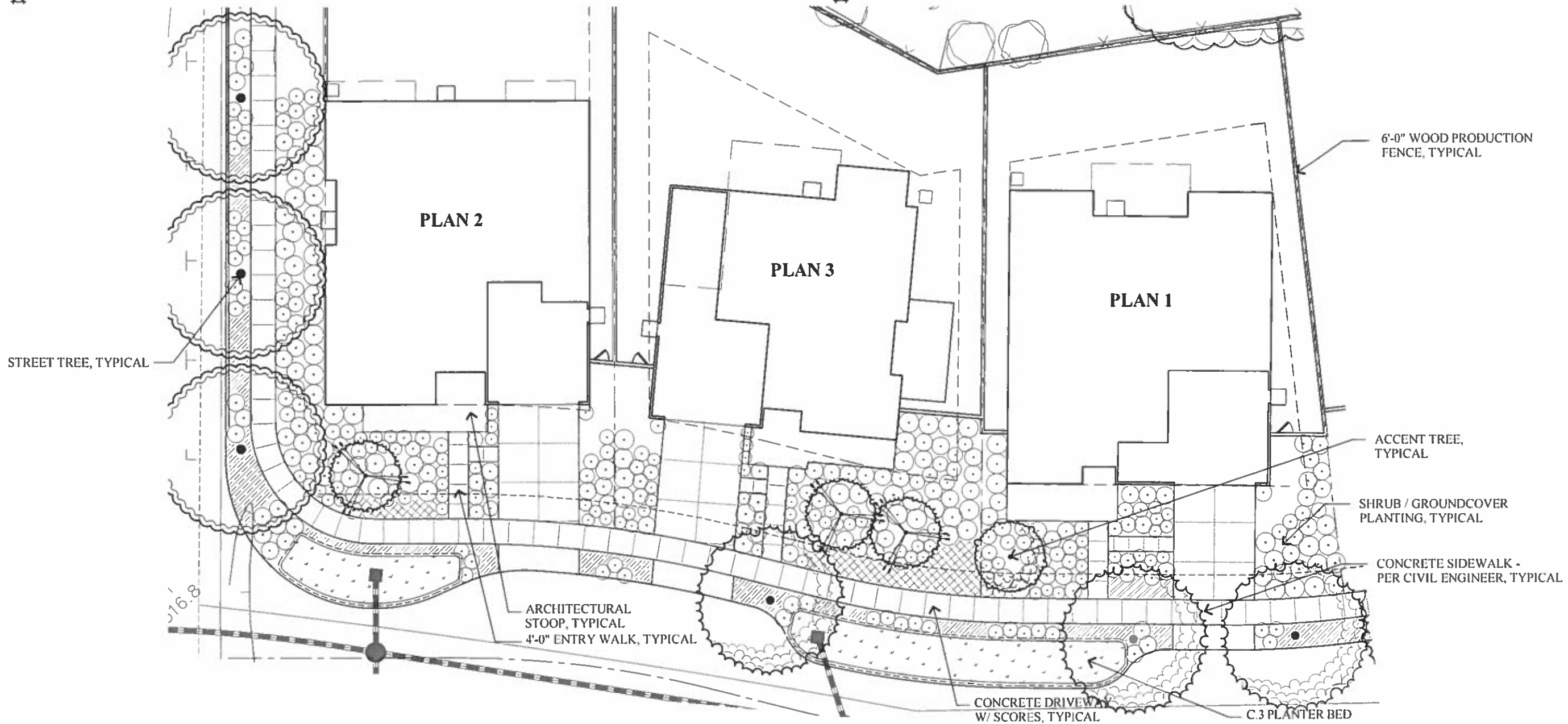
Preliminary Trail Enlargement Plans

Valley Trails

Pleasanton, California

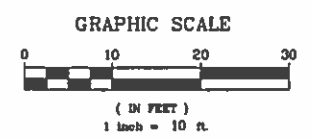
June 24, 2016

L2



GENERAL NOTES

1. ALL STREET TREES TO BE PLANTED WITH ROOT BARRIERS PER CITY OF PLEASANTON STANDARD DETAILS
2. ALL TREES TO RECEIVE TREE STAKES PER CITY OF PLEASANTON STANDARD DETAILS
3. ALL PLANTING TO CONFORM TO CITY OF PLEASANTON WATER EFFICIENT LANDSCAPE ORDINANCE



PRELIMINARY PROPOSED PLANT PALETTE

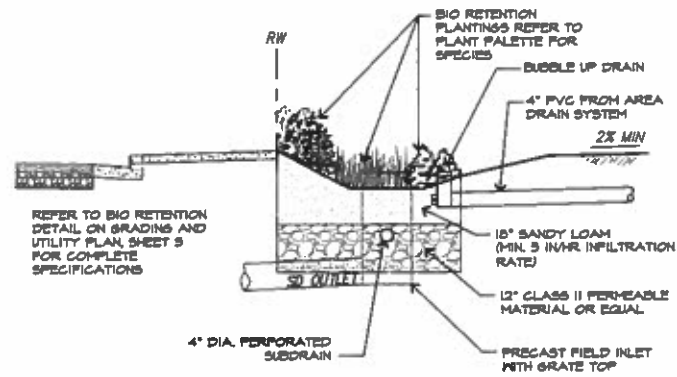
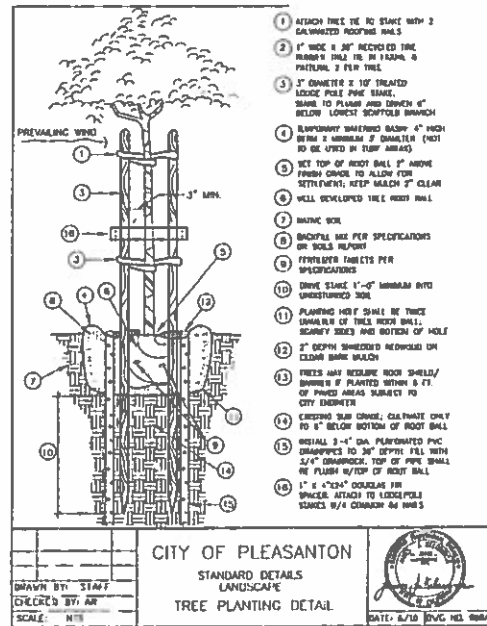
BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
STREET TREES											
LAURUS N. 'SARATOGA'	SARATOGA LAUREL	15 GALLON	LOW	EURYTOPS P. 'MUNCHKIN'	DWARF EURYTOPS	1 GALLON	LOW	SHRUBS - BIO-SWALE			
PISTACHIA CHINENSIS	CHINESE PISTACHE	15 GALLON	LOW	FELDA SELLDWANA	PINEAPPLE GUAVA	5 GALLON	LOW	ARISTIDA PURPUREA	PURPLE THREE-AWN	1 GALLON	LOW
ACCENT TREES											
CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GALLON	LOW	HELVETOTRICHON SEMPERVIRENS	BLUE FESCUE	1 GALLON	LOW	BUDDLEJA DAVIDII	BUTTERFLY BUSH	5 GALLON	LOW
LAGERSTROEMIA INDICA	CRAPE MYRTLE	15 GALLON	LOW	KOPHOPHIA UVARIA	WOOLY GREVILLEA	5 GALLON	LOW	CHONDROPETALUM TECTORUM	CAPE RUSH	5 GALLON	LOW
PRUNUS C. 'KRAUTER VESUVIUS'	PURPLE-LEAF PLUM	15 GALLON	LOW	LANTANA MONTEVIDENSIS	RED HOT POKER	1 GALLON	LOW	DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	1 GALLON	LOW
SHRUBS - FRONT YARD											
ACACIA COGNATA 'COUSIN IT'	COUSIN IT ACACIA	5 GALLON	LOW	LAVATERA MARITIMA	TRAILING LANTANA	5 GALLON	LOW	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1 GALLON	LOW
AGAPANTHUS INAPERTUS MAJOR	LILY OF THE NILE	1 GALLON	LOW	LAVANDULA A. 'MUNSTEAD'	TREE MALLOW	1 GALLON	LOW	JUNCUS PATENS	CALIFORNIA RUSH	1 GALLON	LOW
AGAVE ATTENUATA	FOX TAIL AGAVE	5 GALLON	LOW	LOROPETALUM C. 'RAZZLEBERRY'	ENGLISH LAVANDER	1 GALLON	LOW	MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	1 GALLON	LOW
ARBUBUS U. 'COMPACTA'	COMPACT STRAWBERRY TREE	5 GALLON	LOW	MUHLBERGIA REGENS	SPANISH LAVANDER	1 GALLON	LOW	PENSTEMON 'MARGARITA BOY'	BEARDED TONGUE	1 GALLON	LOW
ARCTOSTAPHYLOS 'HOWARD MCMINN'	MANZANITA	1 GALLON	LOW	MYRTUS C. 'COMPACTA'	RED FRINGE FLOWER	5 GALLON	LOW	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GALLON	LOW
BUDDLEJA DAVIDII	BUTTERFLY BUSH	5 GALLON	LOW	NANDINA D. 'GULF STREAM'	DEER GRASS	5 GALLON	LOW	SALYIA SONNENSIS	CREeping SAGE	1 GALLON	LOW
CAREX 'TUMULUCOLA'	BERKELEY SEDGE	1 GALLON	LOW	NEPETA FAASSENII	DWARF MYRTLE	1 GALLON	LOW	VINES			
CISTUS HYBRIDUS	ROCKROSE	5 GALLON	LOW	OLEA E. 'LITTLE OLLIE'	GULF STREAM BAMBOO	1 GALLON	LOW	MACFADYENA UNGUIS-CATI	YELLOW TRUMPET VINE	5 GALLON	LOW
COLONEMA P. 'SUNSET GOLD'	GOLDEN BREATH-OF-HEAVEN	5 GALLON	MEDIUM	PHORRHUM 'DARK DELIGHT'	TEXAS NEEDLE GRASS	1 GALLON	LOW	ROSA BANKSIAE	LADY BANKS ROSE	5 GALLON	LOW
DIETES BICOLOR	FORTNIGHT LILY	1 GALLON	LOW	PHORRHUM T. 'MAJOR MAJORE'	CATMINT	1 GALLON	LOW	GROUNDCOVERS			
DIETES IRIDIODES	FORTNIGHT LILY	1 GALLON	LOW	OLEA E. 'LITTLE OLLIE'	DWARF OLIVE	5 GALLON	LOW	ARCTOSTAPHYLOS D. 'EMERALD CARPET'	BEARBERRY	1 GALLON	LOW
ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GALLON	LOW	PHORRHUM 'DARK DELIGHT'	NEW ZEALAND FLAX	1 GALLON	LOW	ROSA BANKSIAE	LADY BANKS ROSE	5 GALLON	LOW
EUONYMUS J. 'GREEN SPIRE'	GREEN SPIRE EDONYMUS	1 GALLON	LOW	PITTIOSPORUM 'WHEELER'S DWARF'	NEW ZEALAND FLAX	1 GALLON	LOW	GROUNDCOVERS			
				RHAPHOLEPIS I. 'BALLERINA'	DWARF TOBIIRA	1 GALLON	LOW	ARCTOSTAPHYLOS D. 'EMERALD CARPET'	BEARBERRY	1 GALLON	LOW
				ROSA 'CECILE BRUNNER'	INDIA HAWTHORN	1 GALLON	LOW	MYOPORIUM PARYFOLIUM	MYOPORIUM	1 GALLON @ 36" O.C.	LOW
				ROSMARINUS OFFICINALIS	CECILE BRUNNER ROSE	5 GALLON	LOW	SCAEVOLA 'MAUVE CLUSTERS'	FAN FLOWER	1 GALLON @ 36" O.C.	LOW
				ROSA REGUSA	ROSEMARY	1 GALLON	LOW				
				SALYIA 'LIME LIGHT'	REGUSA ROSE	5 GALLON	LOW				
				SANTOLINA CHAMACYPARISUS	LIME LIGHT SAGE	1 GALLON	LOW				
				STACHYS BYZANTINA	LAVANDER COTTON	1 GALLON	LOW				
				TULBAGHIA VIOLACEA	LAMB'S EAR	1 GALLON	LOW				
					SOCIETY GARLIC	1 GALLON	LOW				

RIPLEY DESIGN
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 1615 BONANZA STREET
 SUITE 314
 WALNUT CREEK, CA 94596
 TEL 925 938 7377
 FAX 925 938 7436

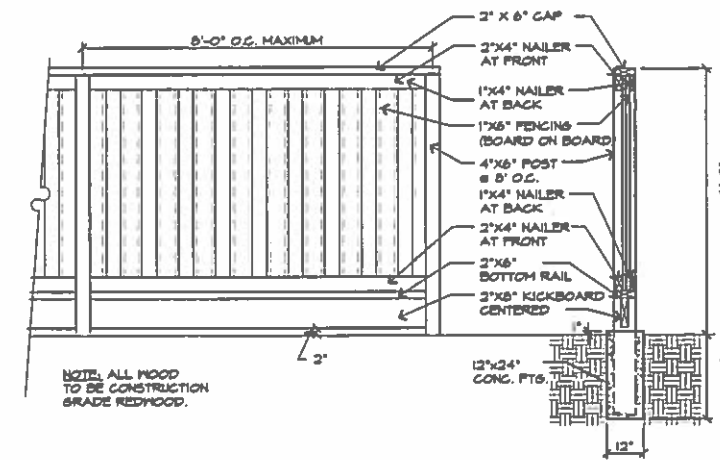
✠ PONDEROSA HOMES ✠
**Preliminary Front Yard Typical
 Production Landscape**

Valley Trails
 Pleasanton, California

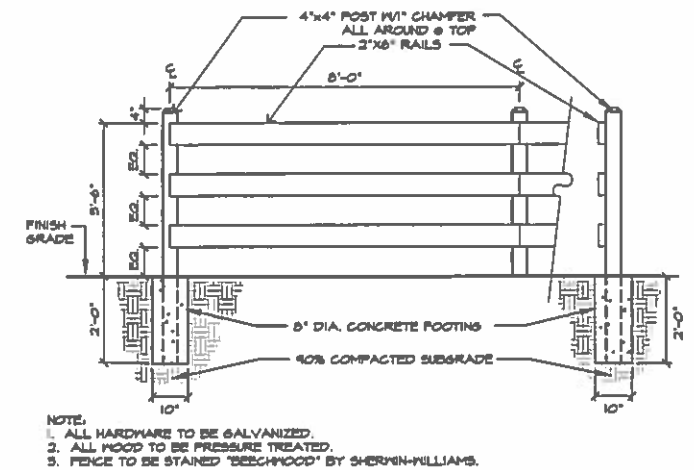
June 24, 2016



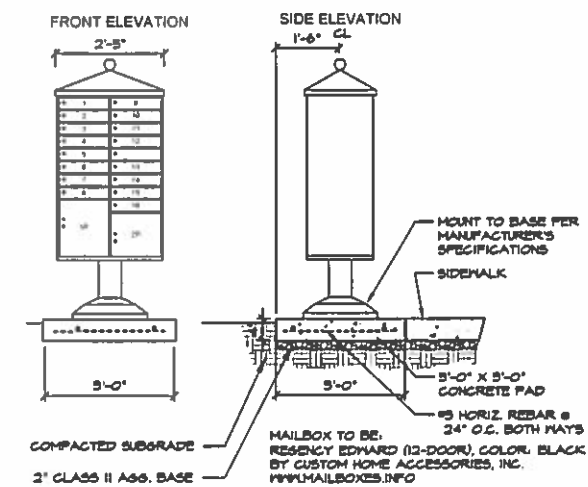
A BIO-RETENTION PLANTING SCALE: 3/8" = 1'-0"



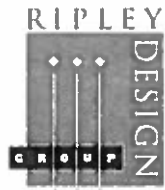
B WOOD FENCE W/KICKERBOARD SCALE: 1/2" = 1'-0"



C 3-RAIL FENCE SCALE: 1/2" = 1'-0"

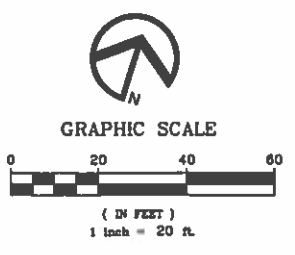
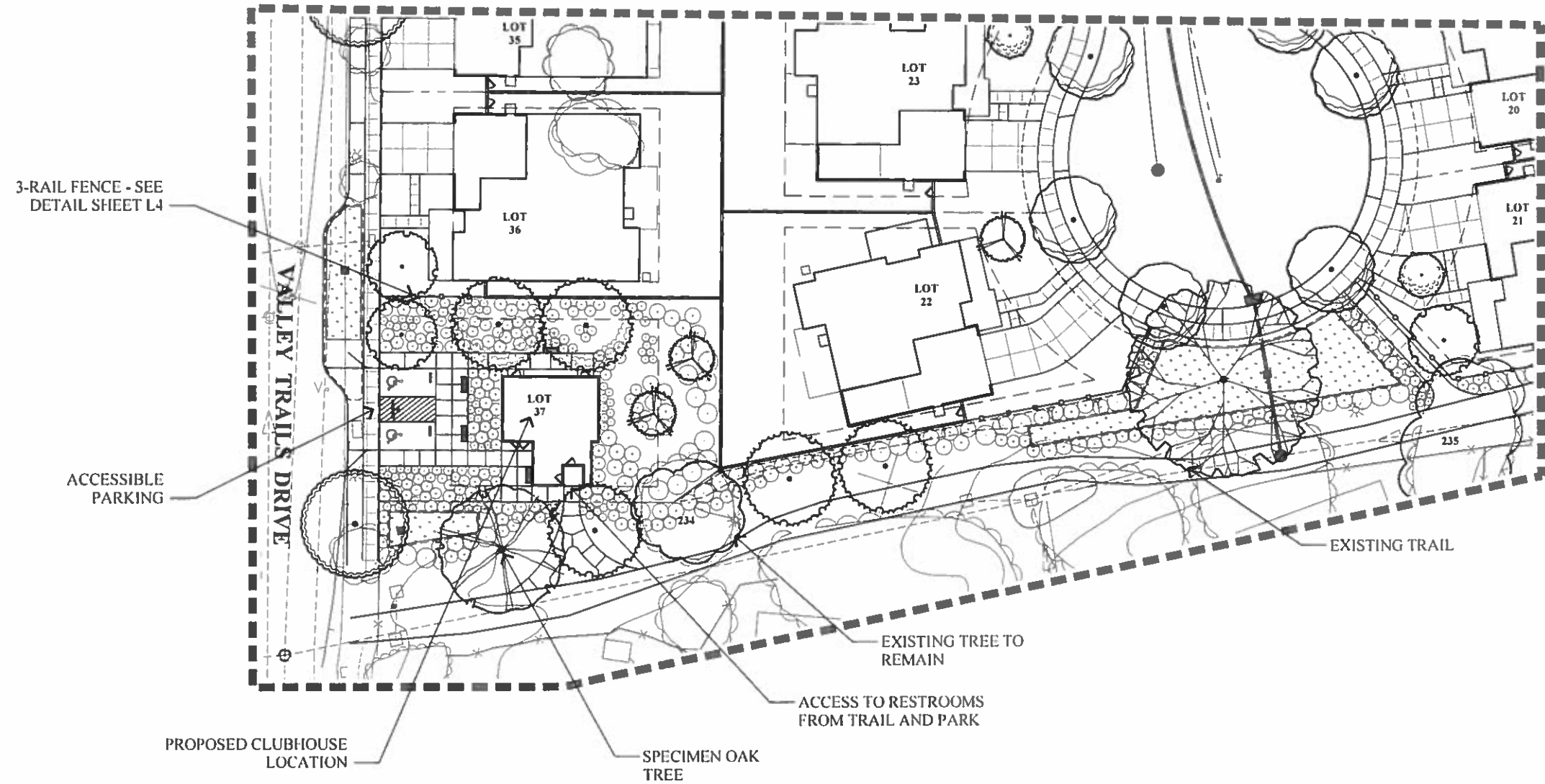


D COMMUNITY MAILBOXES



LANDSCAPE ARCHITECTURE
LAND PLANNING
1615 BONANZA STREET
SUITE 314
WALNUT CREEK, CA 94596
TEL 925 938 7377
FAX 925 938 7436

Preliminary Landscape Details



RIPLEY
DESIGN
GROUP

LANDSCAPE ARCHITECTURE
 LAND PLANNING
 1615 BONANZA STREET
 SUITE 314
 WALNUT CREEK, CA 94596
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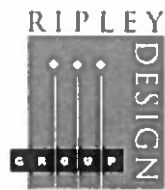
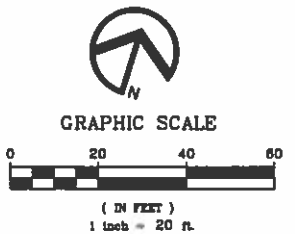
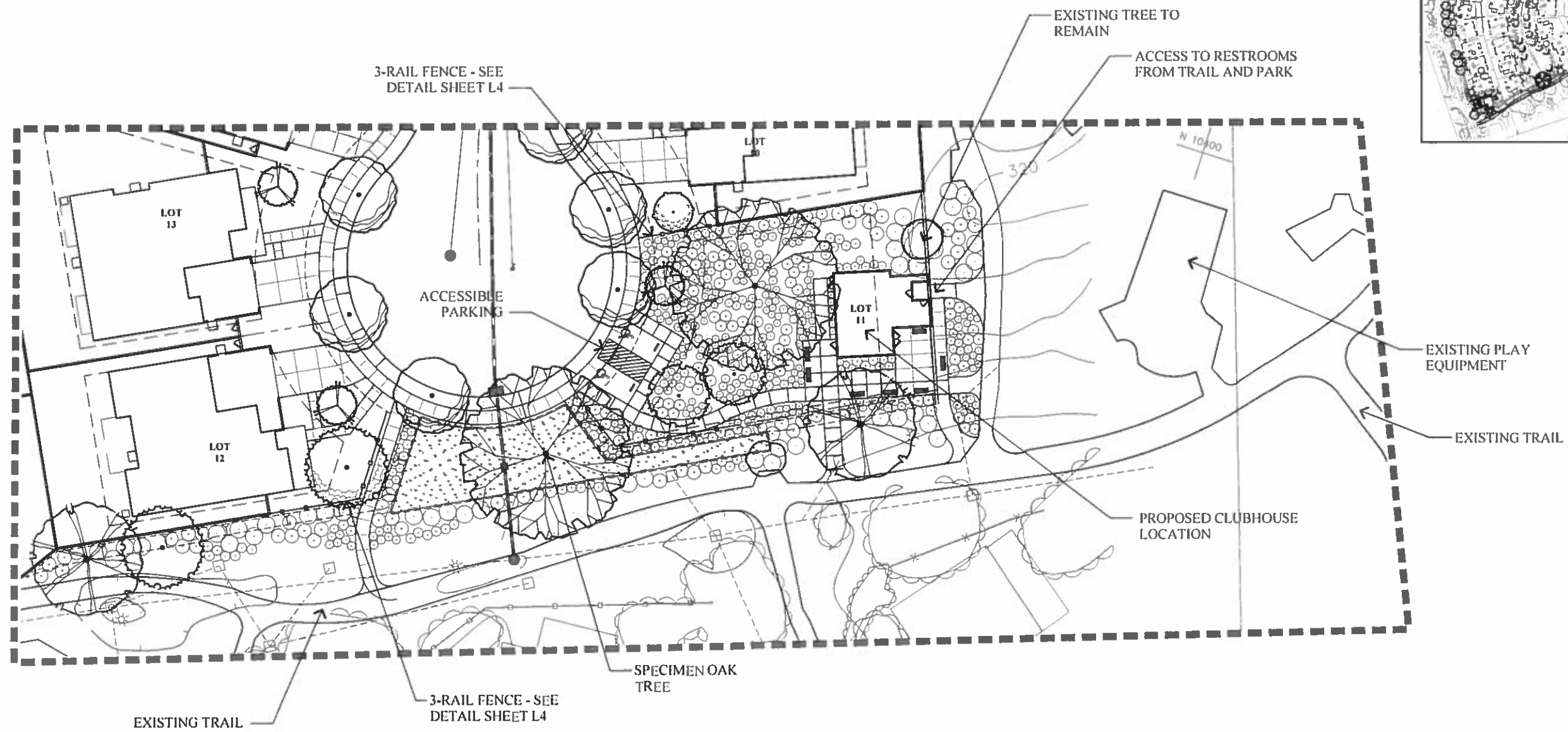
PONDEROSA HOMES

Clubhouse Conceptual Design - Lot 37

Valley Trails
 Pleasanton, California

June 24, 2016

L5



RIPLEY DESIGN
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 1615 BONANZA STREET
 SUITE 314
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P O N D E R O S A H O M E S

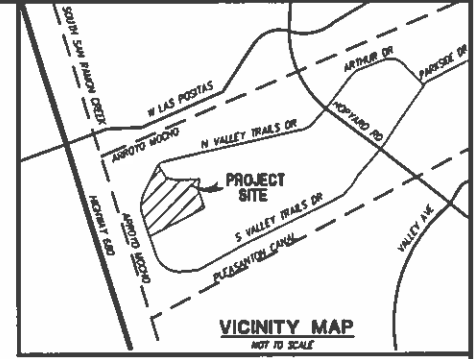
Clubhouse Conceptual Design - Lot 11

Valley Trails
 Pleasanton, California

June 24, 2016

VESTING TENTATIVE MAP TRACT 8259 - THE VILLAGE AT VALLEY TRAILS

CITY OF PLEASANTON, COUNTY OF ALAMEDA, CALIFORNIA
FOR: PONDEROSA HOMES



PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	CENTER LINE	---
---	RETAINING WALL	---
---	EASEMENT LINE	---
---	STORM DRAIN	EX 12" SD
---	SANITARY SEWER	EX 8" SS
---	WATER	EX 8" W
---	CURB & GUTTER	EX FE
---	SIDEWALK	---
---	OVERHEAD UTILITIES	---
---	JOINT POLE	---
---	EARTH OR GRASS SWALE	---
---	CONCRETE DITCH	---
---	EXISTING UTILITY TO BE REMOVED/ABANDONED, AS NOTED	---
■	STORM WATER INLET	□
○	FIELD INLET	□
○	AREA DRAIN	□
○	MANHOLE	□
○	FIRE HYDRANT	□
○	BLOW OFF	□
○	SANITARY SEWER CLEAN OUT	□
○	WATER VALVE	□
○	STREET LIGHT	□
○	MONUMENT	□
+	TRAFFIC SIGN	+
+	STREET NAME SIGN	+
---	FENCE	---
---	BARRICADE	---
---	SLOPE	---
---	HANDICAP RAMP	---
---	CONTOUR ELEVATIONS	---
---	SPOT ELEVATION	---
---	ASPHALT PAVEMENT	---
---	BIORETENTION AREA	---

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
BC	BEGINNING OF CURVE
BVC	BEGN VERTICAL CURVE
BO	BLOW OFF
BW	BACK OF WALK
CL	CENTER LINE
DWY	DRIVEWAY
EC	END OF CURVE
ESMT	EASEMENT
EX	EXISTING
FG	FINISHED GRADE
FH	FIRE HYDRANT
FI	FIELD INLET
FL	FLOW LINE
GB	GRADE BREAK
GR	GRATE
HP	HIGH POINT
INV	INVERT ELEVATION
LP	LOW POINT
MH	MANHOLE
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVE
PSDE	PRIVATE STORM DRAIN EASEMENT
PSE	PUBLIC SERVICE EASEMENT
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
RET	CURB RETURN
RW	RIGHT OF WAY
SSCO	SANITARY SEWER CLEAN OUT
SSE	SANITARY SEWER EASEMENT
SW	STORM WATER INLET
SWK	SIDEWALK
TC	TOP OF CURB
TFC	TOP OF FLUSH CURB
TRC	TOP OF ROLLED CURB
TW	TOP OF WALL



LOCATION MAP
NOT TO SCALE

SHEET INDEX

SHEET NO.	DESCRIPTION
TM1.0	TITLE SHEET
TM2.0	PRELIMINARY LOTTING PLAN
TM3.0	PRELIMINARY GRADING AND UTILITY PLAN
TM4.0	PRELIMINARY STORMWATER CONTROL PLAN
TM5.0	SECTIONS AND DETAILS

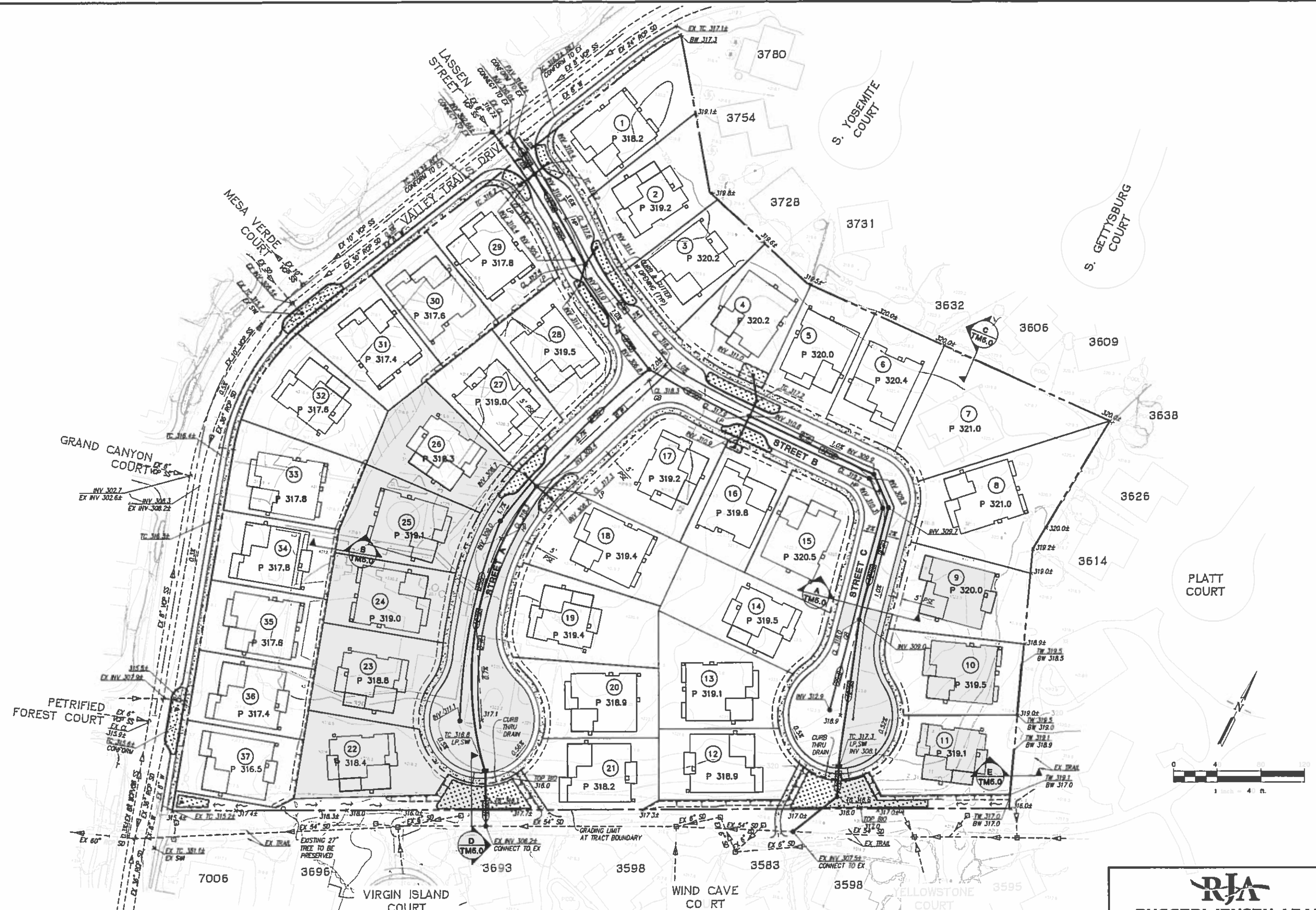
GENERAL NOTES

- OWNER: VALLEY TRAILS CHURCH
C/O PONDEROSA HOMES
8130 STONERIDGE MALL ROAD, #185
PLEASANTON, CA 94588
TEL (925) 460-8910
CONTACT: JEFF SCHROEDER
- DEVELOPER: PONDEROSA HOMES II, INC
8130 STONERIDGE MALL ROAD, #185
PLEASANTON, CA 94588
TEL (925) 460-8910
CONTACT: JEFF SCHROEDER
- CIVIL ENGINEER: RUGGERI-JENSEN-AZAR
4690 CHABOT DRIVE, SUITE 200
PLEASANTON, CA 94588
TEL (925) 227-9100
CONTACT: MARK FALGOUT
- GEOTECHNICAL ENGINEER: CORNERSTONE EARTH GROUP
2737 N MAIN STREET, SUITE 10
WALNUT CREEK, CA 94597
TEL (925) 988-9500
CONTACT: JOHN DYE
- ARCHITECT: WILLIAM HEZMALHALGH ARCHITECTS, INC
2850 REDHILL AVENUE, SUITE 200
SANTA ANA, CA 92705
TEL (949) 250-0807
CONTACT: ROBERT LEE
- LANDSCAPE ARCHITECT: RIPLEY DESIGN GROUP
1615 BONANZA STREET, SUITE 314
WALNUT CREEK, CA 94596
TEL (925) 938-7377
CONTACT: ANNA CARPENTER
- PROPERTY DESCRIPTION: BEGINNING AT THE INTERSECTION OF THE SOUTHEASTERN LINE OF VALLEY TRAILS DRIVE WITH THE SOUTHWESTERN LINE OF LOT 45, AS SAID STREET AND LOT ARE SHOWN ON THE MAP ENTITLED, TRACT 3070, ETC., FILED DECEMBER 18, 1968, IN BOOK 59 OF MAPS, PAGES 45 THROUGH 50, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, CALIFORNIA
- ASSESSOR'S PARCEL NUMBER: 941-0903-057
- CURRENT USE: CHURCH SITE
- PROPOSED USE: SINGLE-FAMILY DETACHED
- EXISTING ZONING: R-1-85 SINGLE FAMILY RESIDENTIAL
- PROPOSED ZONING: PUD
- GROSS SITE AREA: 9.00± ACRES
- SMALLEST LOT AREA: 5,304 SQUARE FEET
- TOTAL NUMBER OF PROPOSED LOTS: 36
- UTILITIES:
 - a. WATER: CITY OF PLEASANTON
 - b. SANITARY SEWER: CITY OF PLEASANTON
 - c. STORM DRAIN: CITY OF PLEASANTON
 - d. FIRE: LIVERMORE-PLEASANTON FIRE DEPARTMENT
 - e. GAS AND ELECTRIC: PACIFIC GAS AND ELECTRIC
 - f. TELEPHONE: AT&T
 - g. CABLE TV: COMCAST
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AERIAL TOPOGRAPHIC SURVEY PREPARED IN 2005.
- THIS PROPERTY LIES OUTSIDE FLOOD ZONE X (AREAS OF 0.2% ANNUAL CHANCE FLOOD).
- THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS.

RJA
RUGGERI-JENSEN-AZAR
ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
PHONE (925) 227-9100 FAX (925) 227-9300


DATE: JUNE 2016	SHEET NO.
JOB NO.: 141097	TM1.0 SHEET 1 OF 5

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PRELIMINARY GRADING AND UTILITY PLAN
TRACT 8259 - THE VILLAGE AT VALLEY TRAILS

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
 FOR: PONDEROSA HOMES

 RUGGERI-JENSEN-AZAR ENGINEERS • PLANNERS • SURVEYORS 690 CHABOT DRIVE, SUITE 200 • PLEASANTON, CA 94588 PHONE (925) 227-9100 FAX (925) 227-9300	
DATE: JUNE 2016	SHEET NO:
JOB NO: 141097	TM3.0
	SHEET 3 OF 5

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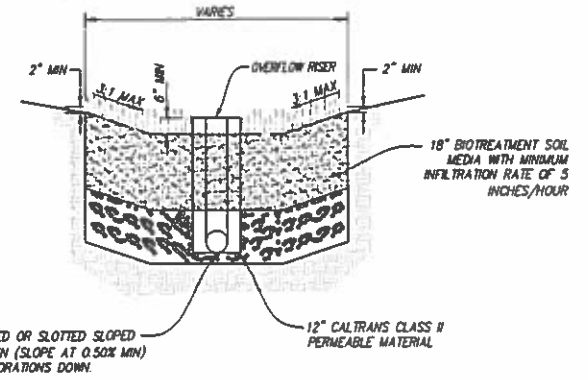
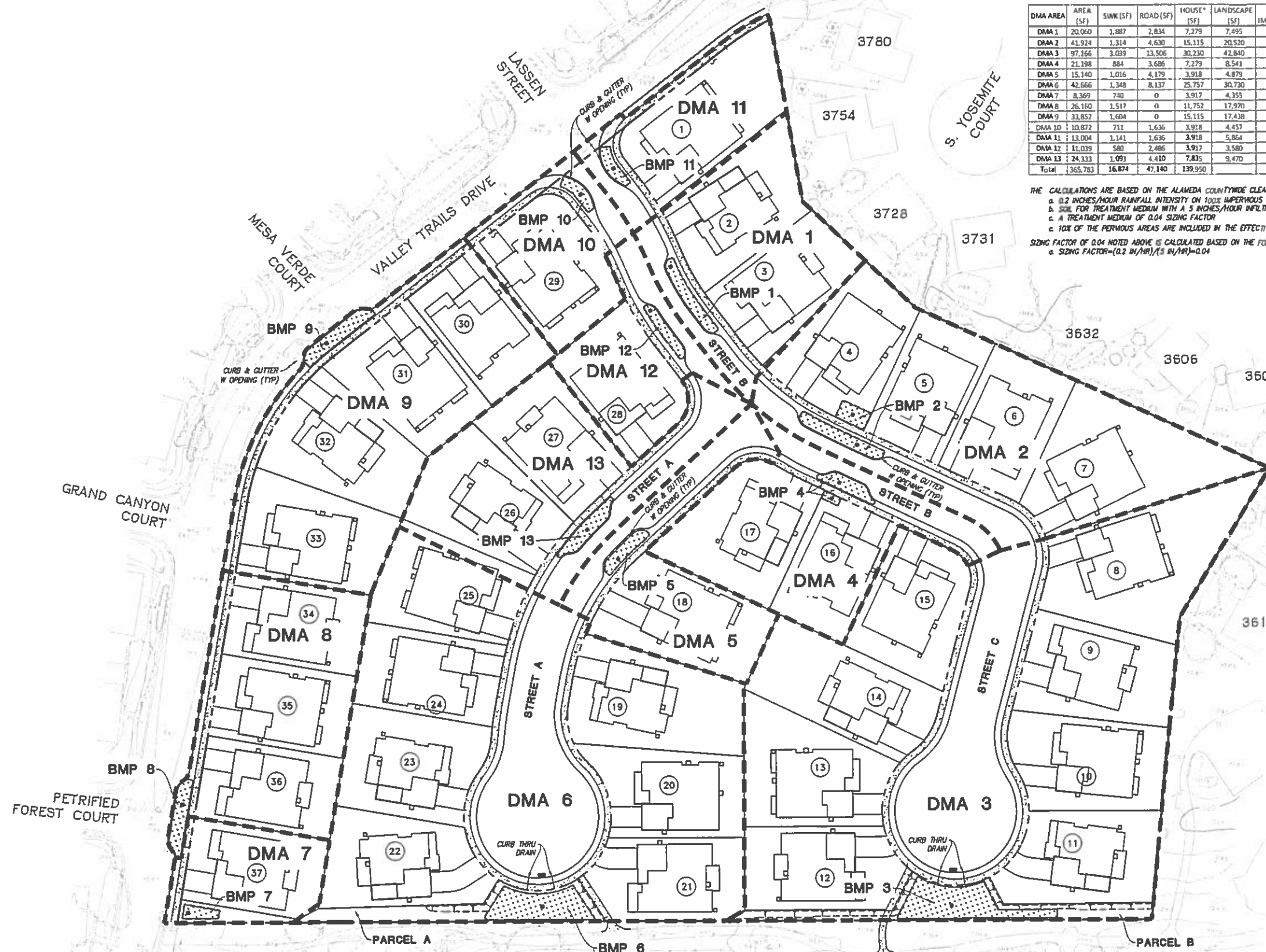
PRELIMINARY STORMWATER TREATMENT CALCULATION

DMA AREA	AREA (SF)	SWK (SF)	ROAD (SF)	HOUSE* (SF)	LANDSCAPE (SF)	EFFECTIVE IMPERVIOUS AREA	4% MIN BIORETENTION AREA REQUIRED (SF)	BIORETENTION AREA PROVIDED (SF)	BIORETENTION AREA ID
DMA 1	20,060	1,887	2,834	7,279	7,495	12,750	510	560	BMP 1
DMA 2	41,924	1,314	4,630	15,115	20,520	23,111	924	975	BMP 2
DMA 3	97,166	3,039	13,506	30,230	42,840	51,059	2,042	2,095	BMP 3
DMA 4	21,198	884	3,686	7,279	8,541	12,703	508	510	BMP 4
DMA 5	15,140	1,016	4,179	3,918	4,879	9,601	384	405	BMP 5
DMA 6	42,666	1,348	8,137	25,757	30,730	38,315	1,533	1,630	BMP 6
DMA 7	8,369	740	0	3,917	4,355	5,093	204	275	BMP 7
DMA 8	26,160	1,517	0	11,752	17,970	15,066	603	605	BMP 8
DMA 9	33,852	1,604	0	15,115	17,438	18,463	739	750	BMP 9
DMA 10	10,872	711	1,636	3,918	4,457	6,711	268	285	BMP 10
DMA 11	13,004	1,141	1,636	3,918	5,864	7,281	291	295	BMP 11
DMA 12	11,039	580	2,486	3,917	3,580	7,341	294	355	BMP 12
DMA 13	24,333	1,093	4,410	7,835	9,470	14,285	571	575	BMP 13
Total	365,783	16,874	47,140	139,950					

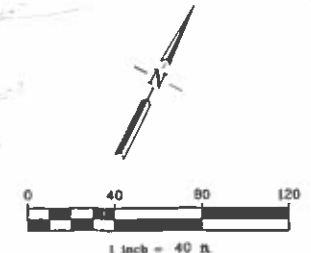
THE CALCULATIONS ARE BASED ON THE ALAMEDA COUNTYWIDE CLEAN WATER PROGRAM, C.3 STORMWATER TECHNICAL GUIDANCE, DATED JANUARY 1, 2015, AND THE FOLLOWING CRITERIA:
 a. 0.2 INCHES/HOUR RAINFALL INTENSITY ON 100% IMPERVIOUS AREA.
 b. SOIL FOR TREATMENT MEDIUM WITH A 5 INCHES/HOUR INFILTRATION RATE.
 c. A TREATMENT MEDIUM OF 0.04 SIZING FACTOR.
 d. 10% OF THE PERVIOUS AREAS ARE INCLUDED IN THE EFFECTIVE IMPERVIOUS AREA.
 SIZING FACTOR OF 0.04 NOTED ABOVE IS CALCULATED BASED ON THE FOLLOWING CRITERIA:
 e. SIZING FACTOR = (0.2 IN/HR) / (5 IN/HR) = 0.04

LEGEND:

-  DRAINAGE AREA BOUNDARY
-  BIO-RETENTION AREA



- NOTE:**
1. CONTRACTOR SHALL PROTECT DEEPEMED CURB IN PLACE DURING CONSTRUCTION.
 2. NO VEHICLES OR HEAVY EQUIPMENT SHALL BE ALLOWED WITH 5' OF CURB PRIOR TO BACKFILL.
 3. THE LOWEST 18" OF THE CURB FOOTING SHALL BE POURED AGAINST UNDISTURBED SOIL AS SHOWN.
 4. NO MORE THAN 25 LINEAR FEET OF CURB SHALL BE EXPOSED DURING EXCAVATION AND BACKFILL OF BIO-RETENTION FILL.



TRACT 8259 - THE VILLAGE AT VALLEY TRAILS

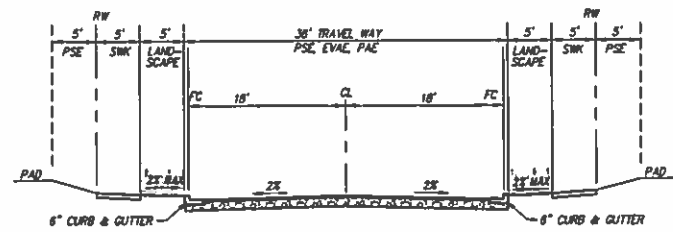
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
 FOR: PONDEROSA HOMES

RJA
RUGGERI-JENSEN-AZAR
 ENGINEERS • PLANNERS • SURVEYORS
 4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
 PHONE (925) 227-9100 FAX (925) 227-9300

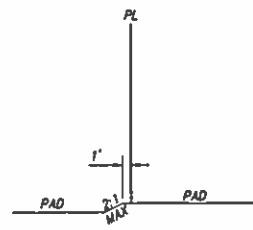
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 JOB NO.: 141097

SHEET NO.
TM4.0
 SHEET 4 OF 5

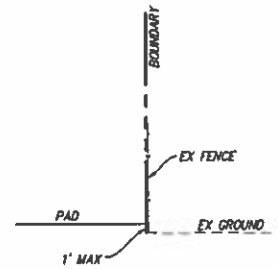
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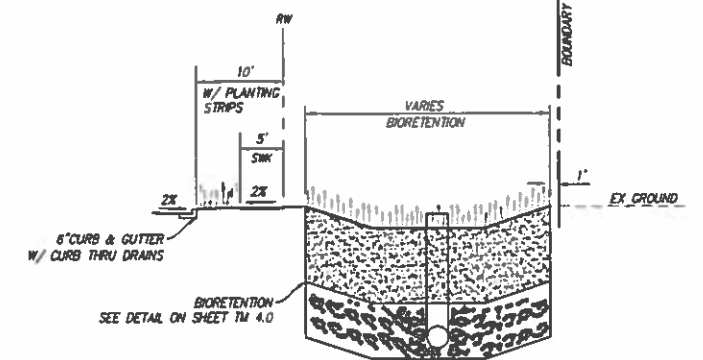
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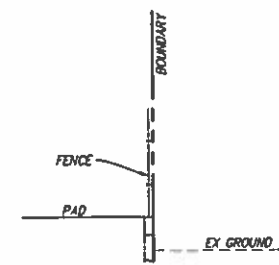
B GRADING DETAIL
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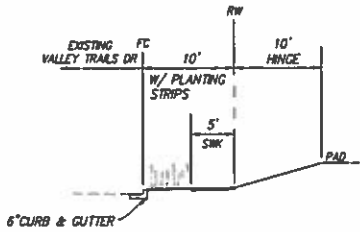
C GRADING SECTION
NOT TO SCALE



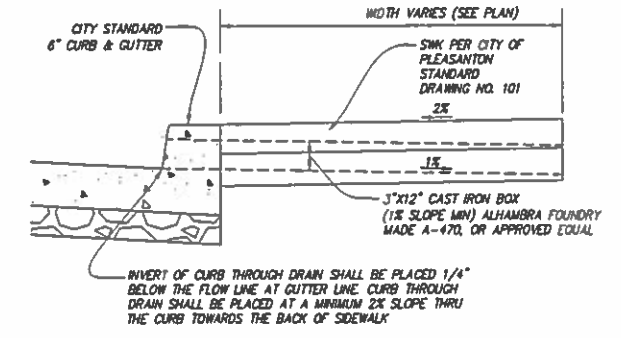
D GRADING SECTION
NOT TO SCALE



E GRADING DETAIL
NOT TO SCALE

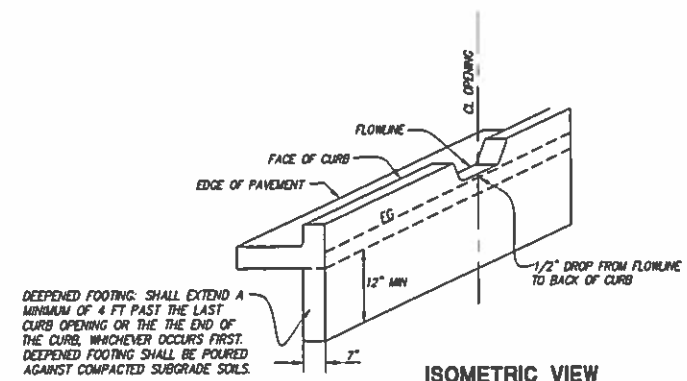


F VALLEY TRAILS DRIVE
NOT TO SCALE

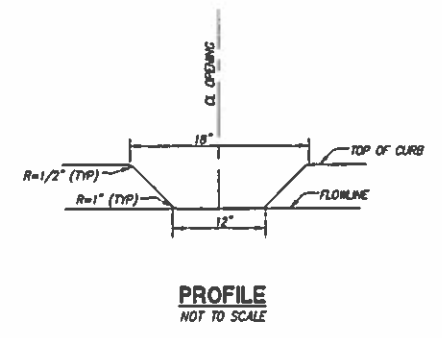


NOTE: 2" MAX DIAMETER COBBLE SHALL BE PLACED AT DRAIN DISCHARGE BEHIND SIDEWALK (18"x18")

G CURB THRU DRAIN DETAIL
NOT TO SCALE



H ISOMETRIC VIEW
NOT TO SCALE



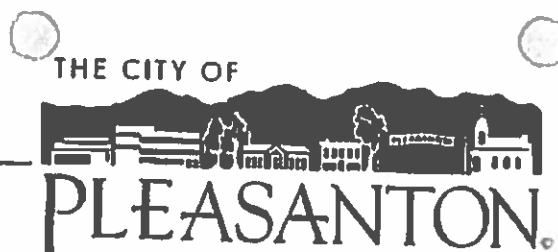
H PROFILE
NOT TO SCALE

H CURB & GUTTER WITH CURB OPENINGS
NOT TO SCALE

SECTIONS AND DETAILS
TRACT 8259 - THE VILLAGE AT VALLEY TRAILS
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
FOR: PONDEROSA HOMES

RIA RUGGERI-JENSEN-AZAR ENGINEERS • PLANNERS • SURVEYORS 4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588 PHONE (925) 227-9100 FAX (925) 227-9300	
DATE: JUNE 2016	SHEET NO.
JOB NO.: 141097	TM5.0 SHEET 5 OF 5

6/14/2016 11:02:17 CAD PLT37 (06-PL-000001) BDT-JJA/TLS/LDT-11/097/200 4/20/2016 3:11:52 PM DWG POND



September 8, 2015

Ponderosa Homes
 Attention: Pamela Hardy
 6130 Stoneridge Mall Road, Suite 185
 Pleasanton, California 94588

Re: PUD-113

Applications for: 1) rezoning of an approximately 9-acre site at 6900 Valley Trails Drive from R-1-6,500 (One-Family Residential) District to PUD-MDR (Planned Unit Development – Medium Density Residential) District and for PUD Development Plan approval to demolish the existing religious building and construct 43 detached single-family age-restricted homes with related site improvements; and 2) Vesting Tentative Map Approval to subdivide the approximately 9-acre parcel into 43 single-family residential parcels and 6 common lot parcels.

Dear Ms. Hardy:

Thank you for submittal of the Planned Unit Development (PUD) and Vesting Tentative Map applications referenced above and for meeting with City staff to review some of the key elements of the applications. The comments below incorporate those comments that have previously been provided to you via email or verbally from the divisions within the Community Development Department and other City departments prior to August 31, and thereafter.

Generally speaking, staff believes that the configuration of the proposed residences, roadway network, and other elements of the project should be substantially redesigned to more effectively integrate into the Valley Trails neighborhood. As currently proposed the project would be segregated and walled-off from the surrounding neighborhood and park, and would detract from the quality of its surroundings. Staff is providing you with the following comments in an effort to work with you on developing a proposal that will be compatible with the existing neighborhoods.

The following information was not included with the submittal package and is required for processing a PUD application:

1. **Climate Action Plan (CAP)** – A CAP checklist is required with submittal of PUD development plan applications. Please find enclosed a CAP checklist for your completion.
2. **Color and Material Board** – A color and material board for all proposed colors and materials is required. Please note that staff will not return the color and

COMMUNITY DEVELOPMENT

P. O. BOX 520, Pleasanton, CA 94566-0802

Planning 200 Old Bernal Ave (925) 931-5600 Fax: 931-5483	Building & Safety 200 Old Bernal Ave (925) 931-5300 Fax: 931-5478	Engineering 200 Old Bernal Ave (925) 931-5650 Fax: 931-5479	Traffic 200 Old Bernal Ave 925) 931-5650 Fax: 931-5479	Inspection 157 Main Street (925) 931-5600 Fax: 931-5484
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material board(s) as they need to remain on file with the City. Staff will also need 13 copies of the color and material information prior to scheduling the project for a formal hearing. Please be aware that additional copies will be required for the City Council hearing.

3. Green Building – Each unit is required to comply with the City's Green Building Ordinance. As required by the ordinance, the project will need to achieve a "Green Home" rating using the current version of Build It Green's Single-Family Residential GreenBuilding Checklist. Along with the Checklist's minimum category point requirements, each unit will need to achieve a minimum of 50 total points. The Checklist and a worksheet with an analysis of each credit claimed will need to be submitted for pre-approval by the Planning Division.
4. Grading and Drainage Plan – Please incorporate grading and drainage plans with future PUD plan submittals.
5. Utility Plan – Please incorporate utility plan sheets with future PUD plan submittals.

Planning Division

6. Density - The subject site has a zoning designation of R-1-6,500 (One-Family Residential) and a General Plan designation of Medium Density Residential, two to eight dwelling units per gross developable acre. The proposed 43 single-family lots on an approximately 9-acre site would yield a density of 4.47 dwelling units (du)/acre(ac). The Pleasanton General Plan has a density range between 2 du/ac and 8 du/ac for medium density residential land uses, with a midpoint density of 5 du/ac. Policy 11 of the General Plan Land Use Element requires Low- and Medium-Density projects which proposed densities greater than the midpoint to contain sufficient public amenities to justify a higher density.

As proposed, Ponderosa's proposal does not exceed the midpoint but is proposing to dedicate to the City a portion of "open space" land, designated as Parcel A on the proposed plans, adjacent to Valley Trails Park. Staff would like to continue to discuss the dedicated land and type of improvements (e.g., landscaping, bathroom, etc.) to determine what will best serve this and adjacent established developments.

7. Inclusionary Zoning Ordinance (IZO) - New single-family residential projects of 15 units or more, such as this project, require at least 20 percent of the project's dwelling units to be affordable to very low, low, and/or moderate income households (Article II (Zoning Requirements), Section 17.44.040 (General

requirements/applicability) of the Pleasanton Municipal Code). Please address whether the project will include affordable housing or if Ponderosa will be pursuing an alternative to constructing affordable housing (i.e., credit transfer). Staff encourages the provision of affordable units within the project site.

You had been working with the City Manager's Office regarding using the remaining Inclusionary Unit Credits (IUCs) from the Ironwood Development instead of providing the required affordable housing units for the CenterPoint project and this proposed development. Please contact Brian Dolan, Assistant City Manager, if you are proposing to use the IUCs instead of providing the required affordable units. If you are not planning to use the remaining IUCs, please state how the proposed development would meet the IZO. Please be aware that the use of IUCs for this project is subject to City Council approval.

8. **Circulation** – The General Plan Circulation Element has the following policy and programs which apply to the proposed project:

Policy 7: Adhere to City design standards for streets in new developments.

Program 7.1: Incorporate City design standards for arterials, collectors, neighborhood collectors, and local public and private streets as part of the City's review of new developments.

Program 7.2: Provide more than one access road for emergency vehicle routes to new developments, whenever feasible.

Program 7.3: Design complete streets serving pedestrians, bicyclists, motorists, and transit riders of all ages and abilities, except where infeasible. Complete streets may include: alternative intersection control where appropriate; requiring bicycle and pedestrian connections from cul-de-sacs to adjacent streets, trails, bicycle paths, and neighborhoods; and incorporating appropriate traffic calming measures.

Program 7.4: Discourage new gated communities.

As proposed, the layout of the development does not meet the policy and programs outlined above. Staff does not support gating the community and the development will need to be redesigned such that it meets the City's Complete Streets Policy and City standards. Please be aware that this may require the development to have public streets and courts. Staff strongly encourages the

*Applicant: Pamela Hardy
Project Address: 6900 Valley Trails Dr
Record Number: PUD-113
September 8, 2015*

removal of dead-end courts and the incorporation of roadways/streets that are more connected.

To increase walkability, all sidewalks should be separated from the street with a landscape strip of at least 5 feet. In addition, staff suggests that an additional park connection be provided to allow for enhanced access between Valley Trails Park and the project.

9. Site Plan –

- a. The proposed layout of lots does not integrate with the surrounding neighborhood as the layout/configuration of the development plan is not consistent with the surrounding development pattern. In particular, the development is walled-off from the surrounding neighborhood and park. Lots adjacent to Valley Trails Drive should be orientated such that they front Valley Trails Drive. While the project is within the allowed density, smaller building footprints are encouraged to allow for more open space between properties (existing and new) and a better transition with Valley Trails Park. Staff strongly encourages you to explore design/layout solutions that better transition with the park/green space and existing development such that the proposed development functions as a unified neighborhood. Proposed residential units should either front portions of Valley Trails Park, or include park-facing backyards with low walls. The project as currently proposed would establish a masonry (or stucco) wall at the terminus of the park, obstructing views of the Pleasanton Ridge and creating "dead space" in the western portion of the park.
- b. The proposed perimeter wall does not integrate with the surrounding neighborhood and would result in visual impacts that can be addressed by substituting traditional good neighbor wood fencing. The development gate is not supported and staff urges you to remove it from the proposal. A gated community is not appropriate in Valley Trails and is inconsistent with the City's General Plan (see General Plan Circulation Program 7.4 on page 3 of this correspondence). An 8-foot tall masonry wall is too massive and should be replaced, particularly along the Valley Trails Drive and park frontages of the site.
- c. Air conditioning unit locations need to be shown on each residential lot.
- d. Provide additional open space and tree plantings along the trail to the south of the project site.

- e. The proposed location of the mailbox kiosks will need to be shown on the plans.
- f. A separated sidewalk parallel to the street curb, consisting of a five-foot wide sidewalk and a five-foot wide landscape area between the sidewalk and back of curb for shade trees should be provided along all new streets. The separated sidewalk along Valley Trails Drive should be preserved and enhanced.
- g. Staff strongly encourages you to locate the bioswales on community parcels/lots, similar to parcels B, C and D, and not on private parcels/lots (please refer to lots 1, 5, 22, 23, 28, and 29).

10. Setbacks –

- a. The site plan shows front yard setbacks ranging from 20 feet (lot 1) to 40 feet (lot 9). The setbacks shown on the plans are taken from the curb to the garage. The depth of the driveways will need to be a minimum of 22 feet, measured from the interior side of the sidewalk to the garage. House setbacks will need to be measured from building wall to the property line. Staff may support reduced front yard setbacks, excluding the driveway depth, where usable porches are provided. Spacious porches facing the street should be provided at least on Valley Trails Drive.
- b. The rear yard setback shown on the plans ranges from 10 feet (lot 34) to 56 feet (lot 1). The rear yard setback should be a minimum of 20 feet for all lots in order to provide a usable and functional outdoor area that provides for light and open space access for the residents.
- c. One side yard setback was noted on the plans (lot 15). Overall, the site plan layout does not offer a great deal of separation between buildings (i.e., lots 41 and 42). The homes should be reduced to a square-footage size that would provide more separation between the buildings or the lot sizes should be increased to allow for more separation between structures.

Please revise the plans to address the setback comments noted above.

- 11. Floor Area Ratio (FAR) –** The proposal does not address additions and/or Class I or II accessory structures (i.e., pools, spas, sheds, gazebos, trellises). If additions and accessory structures are desired, submittal of the proposed

development standards (i.e., types of structures allowed, setbacks, height limits) should be incorporated into the project/plans, as additions and some accessory structures are counted towards FAR.

12. Floor Plans –

- a. Please incorporate universal design principles into the project and provide adaptable units.
- b. Please ensure the garages will have minimum unobstructed interior dimensions of 20' wide by 20' deep. The garage main doors should swing into the home or yard spaces and not into the garage (e.g., on sheet A2.1, the main door should swing into the side yard, not the garage).

13. Architecture –

- a. Four architectural styles with six elevation variations are proposed for the project. The proposed front elevations show material variation and design detailing; the side and rear elevations should incorporate similar detailing. Staff recommends that the degree of material variation and design detailing on the front elevations be applied to the rear and side building elevations to achieve a four-sided building design. Furthermore, please incorporate usable porches and/or front courtyard gathering spaces into the architecture to enhance the design quality of the proposed project, particularly along Valley Trails Drive and adjacent to Valley Trails Park. Porches provide transitions to the street and opportunities for social encounters, which are of critical importance in age-restricted residential projects.
- b. The garages visually dominate the front elevations. Staff recommends that you look at ways to reduce/minimize the visual prominence of the garages (e.g., set the garages further back from the front of the house, utilize side-entry or stand-alone backyard garages, where feasible, etc.).
- c. Corner lot homes should have enhanced architecture on the street side-facing elevations.

- 14. Parking –** Residential neighborhoods should have at least one standard size street parking space per home for guest parking. It is not clear whether the proposed on-street spaces are standard (see comment No. 21 on page 8). Therefore, staff cannot confirm if the proposed development provides such guest parking spaces.

15. Landscape and Fencing–

- a. Staff appreciates that the landscaping plan does not have any lawn area and includes plants that have low water needs. Please be aware that all landscaping would need to meet the State of California's Model Water Efficient Landscape Ordinance and Bay Friendly Basics requirements.
- b. Staff would like to continue the dialogue of providing more open space and extending the park along the existing trail on the south side of the project site to create a more comfortable pedestrian connection.
- c. Staff encourages you, where feasible, to preserve the trees along the southern portion of the site.
- d. Please provide a fencing plan for all lots and the minimum fence setback from the street-side property line (for corner lots). The Pleasanton Municipal Code requires the first 15 feet of the street-side side yard fence to be located a minimum of 10 feet from the street-side side property line; the remaining side yard fence may be located a minimum of five feet from the street-side side property line until the fence reaches the rear property line. Staff recommends this fence setback requirement be applied to the corner lots.
- e. As previously mentioned, the perimeter wall is not supported by staff. Traditional wood fencing would more effectively integrate the project with the adjacent neighborhood and park. Fencing adjacent to the park should be low-slung and constructed out of natural materials such as wood, similar to other walls in the area. Walls should allow for casual surveillance of the park, to increase security for residents.
- f. As mentioned in the General Plan section of this correspondence, staff does not support gating the development. Furthermore, staff does not support gating the public trail connection at Parcel D. Please remove the gates from future plan submittals and incorporate design features to enhance security and resident safety (e.g., front porches, security cameras).
- g. Please provide a detail of Parcel D and all proposed improvements.
- h. Please show how the proposed trail will connect to the existing City trail. It is not clear whether split-rail fencing along the public trail side will be used, how wide the trail connection will be, and what the trail will be constructed of (e.g. concrete).

16. **Homeowners Association** – A Homeowners Association needs to be established to assume ownership and maintenance of the bio-retention areas, landscaping, etc.
17. **Vesting Tentative Tract Map** – The Vesting Tentative Tract Map will need to be revised to reflect the development plan comments within this letter. Please be aware that the Pleasanton Municipal Code prohibits processing the Vesting Tentative Tract Map until a development plan has been approved. Staff will work with you to process the Vesting Tentative Tract Map such that it will be considered by the Planning Commission during the second reading of the PUD development plan by the City Council.

Traffic Division

18. Americans with Disability Act (ADA) accessible ramps at all crossing locations will be required and need to be shown on the plans.
19. Emergency vehicle and truck (i.e., garbage) turning template plans need to be provided to the City for review with future plan submittals.
20. The on-street parallel parking will need to meet the Pleasanton Municipal Code requirement of 8'x20' with a four-foot buffer in-between stalls. The other side of the streets and courts without parking shown will need to be marked with no parking signs. Please provide on-street parking stall dimensions on future plan submittals.
21. All driveways will need to be a minimum of 22 feet in length, measured from front of the garage to the interior side of the sidewalk.
22. The project will be required to provide a minimum of 5-foot sidewalks on both sides of all streets and courts.

Should you have any questions regarding the Traffic Division comments, please contact Matthew Nelson, Traffic Engineer, at (925) 931-5671 or via email at manelson@cityofpleasantonca.gov.

Engineering Division

23. Please submit a project plan sheet, as stated in the stormwater requirement checklist (page 3, last paragraph) showing: (1) existing impervious surface area; (2) impervious surface area to be removed and replaced; (3) any other

impervious surface area to be created. Additional information may be required after an initial analysis by City Staff. Incorrect impervious area calculations may delay a project application(s) and/or permit(s)."

24. Lots that contain bioretention facilities shall include a private storm drain easement that is acceptable to the City. The easement shall be shown on all future plan submittals.
25. The water and sewer mains in the streets and courts will need to be public. Please identify the utilities as such on future plan submittals.
26. Please provide streetlight locations and details (height, style, etc.), if proposed. The streetlights will be required to be private and owned and maintained by the developments HOA. Streetlights, if proposed, will not be allowed to impact ADA path of travel within the sidewalk.
27. Sanitary sewer, potable water and irrigation demand calculations are required. Please submit sanitary sewer and water demand calculations including minimum and maximum velocities in the sewer main and laterals.
28. The development entry gate is not supported and all streets and courts within the new development will be required to be public and meet the City's Complete Streets Policy requirements.
29. Should you decide to pursue the perimeter wall, details of the height of the wall (fished grade to the top of the wall) on Valley Trails Drive (please refer to Section D and E) are required with future plan submittals.
30. Staff recommends using a 12-inch wide vertical curb. The height of the vertical curb will need to be shown/noted on future plan submittals.
31. Please be aware that trash receptacles on Courts A, B, and C may impact street parking and vehicular traffic.

Should you have any questions regarding the Engineering Division comments, please contact Daniel Sequeira, Senior Civil Engineer, at (925) 931-5656 or via email at dsequeira@cityofpleasantonca.gov.

Building and Safety Division

32. The project will be required to meet all applicable California Building Codes.

Applicant Pamela Hardy
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33. The new trail for Parcel D, and its connection to the existing City trail, will be required to meet ADA (Americans with Disabilities Act) requirements.

Should you have any questions regarding the Building and Safety Division comments, please contact Frank Rainone, Plan Checker, at (925) 931-5300 or via email at frainone@cityofpleasantonca.gov.

Livermore-Pleasanton Fire Department (LPFD)

34. Please provide a truck exhibit which shows circulation of streets A-E.

35. Show the locations of all proposed on-street residential trash, recycling, and green waste cans/bins and on-street parking.

36. The radii in the roundabout are smaller than the inside turn and outside sweep of a LPFD truck. Please revise the plans to accommodate LPFD truck inside turn and outside sweep.

37. Red curb will be required for 20 feet on both sides of all proposed hydrants. Please be aware that 26 feet of unobstructed road width for 40 feet is required at each hydrant location. Please address this on future plan submittals.

38. Please provide an emergency vehicle access gate from Court A and Court C onto Valley Trails Drive.

Should you have any questions regarding the LPFD comments, please contact Ryan Rucker, Fire Marshal, at (925) 454-2330 or via email at rrucker@lpfire.org.

Operation Services Center (OSC) – Environmental Services

39. If approved, a condition of approval will be added to the project requiring the submittal of an Operation and Maintenance (O&M) agreement for stormwater treatment.

40. The bioswales need to be located on community property and controlled by the HOA and not located on private parcels/lots. Please revise the plans accordingly to reflect this comment.

Should you have any questions regarding the OSC Environmental Services comments, please contact Scott Walker, Supervisor of Environmental Compliance, at (925) 931-5527 or via email at swalker@cityofpleasantonca.gov.

OSC – Utilities

41. A sewer capacity analysis is required to determine the impact to the existing City utilities.
42. The PUD development and Vesting Tentative Tract Map plans do not show where the connection to the existing water main will be made. Please revise the plans to show this connection.
43. Details on sewer and water line valvings are required and need to be addressed on the plans and submitted for review.
44. No City utilities will be allowed to run under the landscape circle (roundabout); and all utilities will need to run in the streets and courts.

Should you have any questions regarding the OSC Utilities comments, please contact Eric Amaro, Lead Utilities System Operator, at (925) 931-5529 or via email at eamaro@cityofpleasantonca.gov.

Outside Agency - Wheels

45. An existing Wheels bus stop is located on northbound Valley Trails Drive, near Mesa Verde Court, that would be affected by the proposed development. This bus stop will need to be preserved in or near its current location, and sidewalk upgrades should be made to include an accessible pad between the sidewalk and the curb, including sufficient ADA clearances and intersections/driveway curb ramps in the immediate vicinity of the bus stop area.

Should you have any questions regarding the comment above, please contact Cyrus Sheik, Senior Transit Planner, at (925) 455-7555.

Outside Agency – Zone 7

46. Groundwater Management – Zone 7 recognizes one monitoring well located on-site. If other wells are found within the project site, they will need to be reported to Zone 7. All unused or “abandoned” wells must be properly destroyed, or assigned “Statement of Future Well Use” must be filled out and filed with Zone 7 if there are plans to use the well in the future. Any planned new well, soil boring or well destruction must be permitted by Zone 7 prior to commencement of work.

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47. Flood Control – Developments creating new impervious areas within the Livermore-Amador Valley are subject to the assessment of the Development Impact Fee for Flood Protection and Storm Water Drainage. These fees are collected for Zone 7 by the City: 1) upon approval of a final map for public improvements creating new impervious areas; and/or 2) upon issuance of a building or use permit required for site improvements creating new impervious areas. Fees are dependent on whether post-project impervious area conditions are greater than pre-project conditions and/or whether fees have previously been paid. Ponderosa will need to show a plan that identifies both existing impervious areas and post-project impervious areas, to determine any differences.

Should you have any questions regarding the comments above, please contact Steven J. Ellis, Associate Civil Engineer, at (925) 454-5000.

Processing

We have tried to provide comprehensive comments on the plans submitted. However, because substantial changes to the site plan are needed, staff may have additional comments after receiving revised plans and/or additional information, which cannot be anticipated at this time. After staff has had an opportunity to review and respond to the revised plans, staff encourages you to have a neighborhood meeting. The project will be scheduled for a Planning Commission workshop after Ponderosa has had a neighborhood meeting and the application is deemed complete.

Please be aware that a CD of all documents and plans will be required once the application is deemed complete and prior to scheduling a formal public hearing.

Should you have any questions regarding the aforementioned, please do not hesitate to contact me at (925) 931-5613 / namos@cityofpleasantonca.gov.

Kindest regards,



Natalie Amos
Associate Planner

Enclosures: CAP Checklist
Complete Streets Policy

Project Name:

Project Address:

Case No.: Residential Units:

Sqft. of Com./Office/Mixed-Use Area: N/A

Project Aspects that reduce Greenhouse Gas (GHG) Emissions		Yes	No	N/A	Comments
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LU1: Support Infill and High Density Development

LU1 2	Project is infill development within the existing urban fabric that helps complete, reinforce, and repair the surrounding area.				
LU1 3	Project is mixed-use development which incorporates higher density and affordable residential units consistent with the Downtown Specific Plan with easy access to activity areas. (Applies to projects in the downtown area only.)				
LU1 4	Project is transit-oriented development near BART station along transportation corridors, in business parks, and/or in the downtown area.				
LU1 5	Project is high density development near and/or around transportation hubs and employment centers.				
LU1 6	Project is TOD (transit-oriented development), located within 1/4 mile of commuter rail, BART, and other transportation hubs.				
LU1 7	Project incorporates affordable housing on a vacant infill site.				

LU2: Support Mixed-use Infill and New Development near Local-serving Commercial Areas

LU2 1	Project is located within convenient walking distance to work, residences, and services.				
LU2 2	Project provides new housing and/or new employment located within 1/2-mile walking/biking proximity of complementary land uses, including retail, employment, institutional, or recreational.				
LU2 4	Project reconnects streets and adds streets, minimizes parking to below code requirements, and includes attractive and functional urban plazas. (Applies to development near Pleasanton BART station in Hacienda and development near West Pleasanton BART.)				
LU2 9	Project includes live-work units.				
LU2 10	Project incorporates elements of LEED for Neighborhood Development (LEED ND).				

LU3: Improve Transportation Efficiency through Design Improvements

LU3 1	Project provides key services within a 1/2-mile walking distance of residential clusters or areas. (Applies to non-residential projects.)				
LU3-2	Project provides building, landscape, and streetscape development design features that encourage transit, bicycle, and pedestrian access.				
LU3 3	Project encourages transit use and provides pedestrian and bicycle facilities.				
LU3-4	Project provides infrastructure to facilitate "NextBus" technologies for tracking buses and predicting arrival times. (Applies to projects that include two or more bus shelters.)				
LU3-5	Project provides street improvements that meet the municipal street standards and AB 1358 Complete Streets and increase the safety, convenience, and efficiency of pedestrians, bicyclists, motorists, and transit riders.				
LU3 6	Project includes pedestrian and bicycle access through cul-de-sacs in new projects except where prohibited by topography.				
LU3 7	Project includes neighborhood traffic calming to slow traffic speeds, reduce cut-through traffic and traffic-related noise, improve the aesthetics of the street, and increase safety for pedestrians, bicyclists, and vehicles.				

TR1: Improve and Increase Transit Ridership with Incentives, Partnerships, and Related Investments

TR1 1	The project offers discounted transit passes as part of HOA amenities, payable through the HOA dues. (Applies to residential development within 1/2 mile of transit.)				
Project Aspects that reduce Greenhouse Gas (GHG) Emissions		Yes	No	N/A	Comments
TR1 1	The project includes a condition of approval to limit diesel vehicle idling. (Applies to projects with associated bus or truck traffic.)				

NM1: Enhance and Maintain a Safe, Convenient, and Effective System for Pedestrians and Bicyclists

NM1 1	Project provides a community trail, bike lane, staging area, or other facility consistent with the Community Trails Master Plan or the Pedestrian and Bicycle Master Plan.				
NM1 4	Project provides bicycle-related improvements (i.e., work place provision for showers, bicycle storage, bicycle lanes, etc.).				

NM1 5	Project provides bike parking (Applies to non-residential and multi-family projects)				
NM1 7	Project provides bicycle detection at signalized intersections				
NM1 8	Project provides safe and convenient bike racks (Applies to private schools, business and office projects)				
NM1 9	Project completes a section of the Iron Horse Trail (Applies to developments adjacent to the trail location)				
NM1 10	Project contributes to the bicycle/pedestrian underpass at 580/680 interchange (Johnson Drive canal) for connection to Dublin (Applies to new projects in the immediate vicinity)				

TDM1: Use Parking Policy/Pricing to Discourage Single Occupancy Vehicle (SOV) Travel

TDM1-1	Project shares parking with adjacent use to reduce paved areas that contribute to urban heat islands and reduce stormwater infiltration				
TDM1-2	Project separates fee-based parking from home rents/purchase prices or office leases (Applies to projects within 1/2 mile of BART stations to increase housing and office affordability for those without a car or cars)				
TDM1-3	Project tenants will participate in the City's TSM program to reduce auto trips (Applies to non-residential projects)				
TDM1-5	Project will participate in a parking demand management program				
TDM1-6	Project provides one or more electric charging stations for plug-in vehicles				
TDM1-7	Project provides motorcycle or scooter parking (Applies to projects located in Downtown)				

TDM2: Promote Alternatives to Work and School Commutes

TDM2-4	Project provides a neighborhood telecommuting center				
TDM2 7	Project provides transit passes or other transit use incentives for an interim period to establish transit use patterns for employees (Applies to new non-residential projects of more than 20,000 sq ft within 1/4 mile of transit)				
TDM2 10	Project provides dedicated parking spaces for carpool, vanpool, alternative fuel and car share vehicles				
TDM2 11	Project incorporates a car sharing service				

EC1: Use City Codes, Ordinances and Permitting to Enhance Green Building, Energy Efficiency, and Energy Conservation

EC1 1	Project meets LEED Certified rating level and achieves 25% above T-24, and incorporates new requirements for shade trees, cool roofs and landscape lighting (Applies to civic projects and commercial projects over 20,000 sq ft)				
EC1 2	Project meets the City's residential green rating standard including 25% above T-24, and incorporates new requirements for shade trees, cool roofs and landscape lighting (Applies to residential projects)				
EC1 3	Project provides light colored paving material for roads and parking areas, as well as parking lot shade trees				

Project TAGs will be able to meet the City's Green Building Ordinance		Yes	No	NA	Unsure
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EC4: Develop Programs to Increase Energy Efficiency and Conservation

EC4-4	Project incorporates solar tubes, skylights, and other daylighting systems within the design				
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ER1: Implement Local Ordinances and Permitting Processes to Support Renewable Energy

ER1 1	Project provides residential renewable energy installations (e.g., wind turbines) (Applies to residential projects)				
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ER2: Develop Programs to Promote On-Site Renewable Energy in the Community

ER2 3	Project incorporates distributed generation, especially PV, solar thermal, solar hot water, and solar cooling and/or providing bloom box or other fuel cell technologies				
ER2 5	Project includes a solar grid to power one or more EV charging stations				

SW2: Increase Recycling, Organics Diversion, and Waste Reduction Associated with the Entire Community

SW2 12	Project provides adequate space and logistics for handling of recyclable and compostable materials (Applies to commercial and multifamily residential projects)				
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WA1: Conserve Community Water through Building and Landscape Design and Improvements

WA 1 7	Project incorporates a water saving landscape plan that includes xeriscaping and drought resistant planting in lieu of lawns				
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WA 1 8	Project limits lawn areas to designated play areas				
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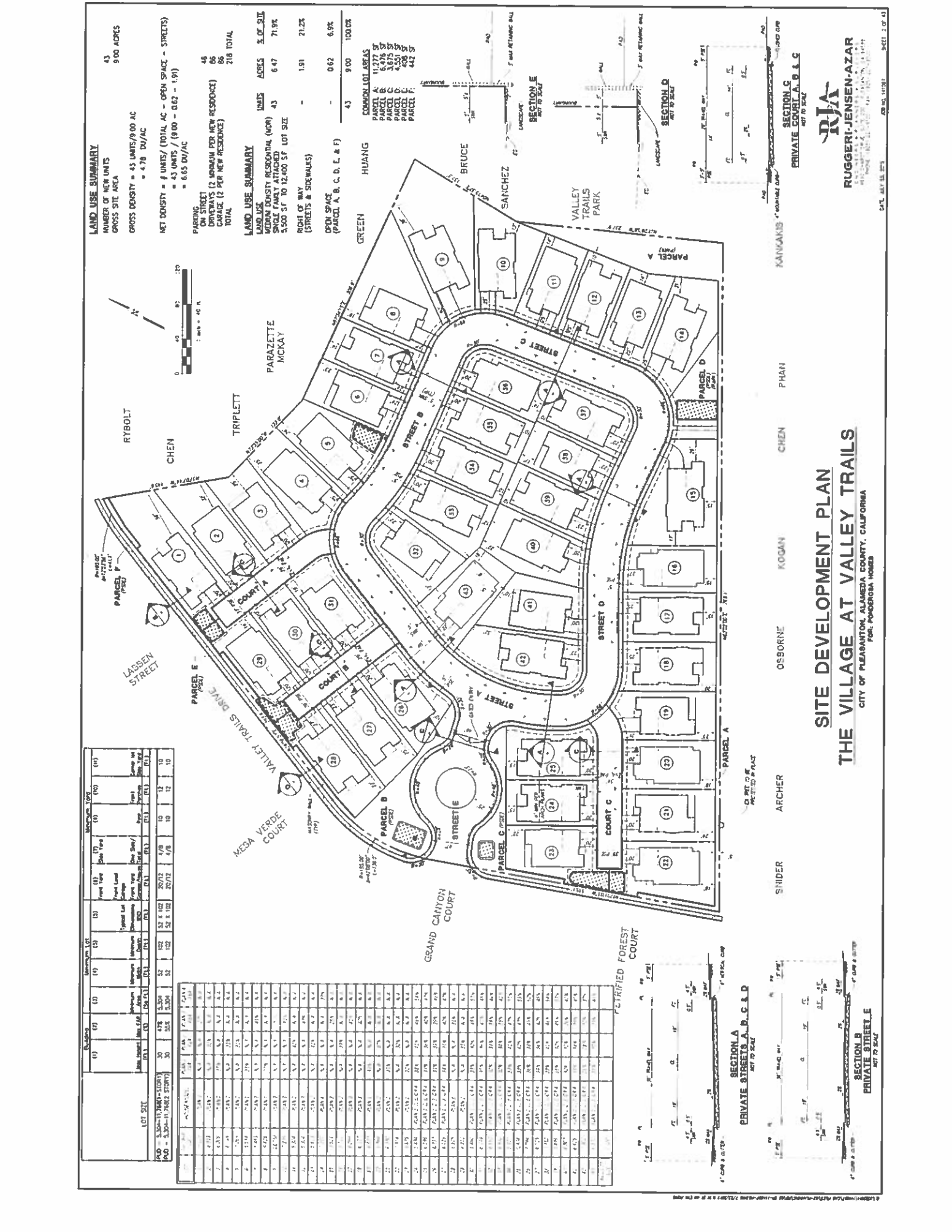
WA3: Increase or Establish use of Reclaimed/Grey Water Systems

WA3-2	Project utilizes reclaimed wastewater				
WA3-4	Project incorporates rain harvesting				

LOT SIZE	Minimum Lot				Minimum Lot				Minimum Lot				Minimum Lot				
	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)	(14)	(15)	(16)	(17)
3,500-11,940 (STORY)	30	475	3,500	32	122	13	8	102	2072	478	10	12	10	10	12	10	10
PAO = 3,500-11,940 (STORY)	30	475	3,500	32	122	13	8	102	2072	478	10	12	10	10	12	10	10
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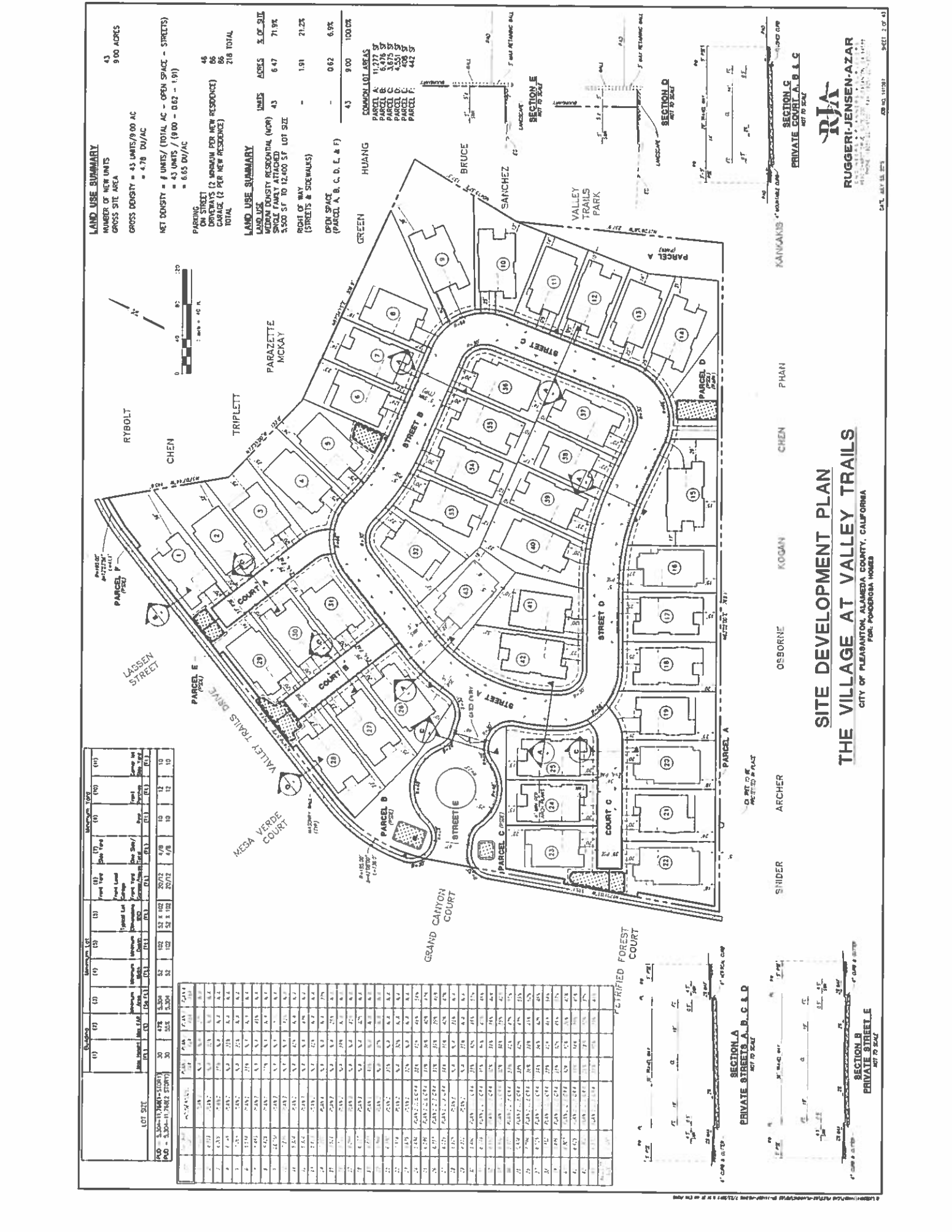
LAND USE SUMMARY
 NUMBER OF NEW UNITS 43
 GROSS SITE AREA 9,000 ACRES
 GROSS DENSITY = 43 UNITS/9,000 AC
 = 4.78 DU/AC
 NET DENSITY = # UNITS / TOTAL AC - OPEN SPACE - STREETS
 = 43 UNITS / (9,000 - 0.62 - 1.91)
 = 6.65 DU/AC
PARKING
 ON STREET (5 SPACES PER NEW RESIDENCE) 66
 OFF STREET (2 PER NEW RESIDENCE) 86
 TOTAL 152
LAND USE SUMMARY
 LAND USE UNITS ACRES % OF SITE
 MEDIUM DENSITY RESIDENTIAL (MDR) 43 6.47 71.9%
 SINGLE FAMILY ATTACHED 5,900 SF TO 12,400 SF LOT SIZE
 FRONT OF WAY (STREETS & SIDEWALKS) - 1.91 21.2%
 OPEN SPACE (PARCEL A, B, C, D, E, & F) - 0.62 6.9%
 TOTAL 43 9.00 100.0%

COMMON LOT AREAS	UNITS	ACRES	% OF SITE
PARCEL A	11,277 SF	0.25	2.8%
PARCEL B	6,476 SF	0.15	1.7%
PARCEL C	3,675 SF	0.08	0.9%
PARCEL D	1,000 SF	0.02	0.2%
PARCEL E	410 SF	0.01	0.1%
PARCEL F	442 SF	0.01	0.1%
TOTAL	22,800 SF	0.52	5.8%



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SITE DEVELOPMENT PLAN
THE VILLAGE AT VALLEY TRAILS
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
 FOR POSSIBLE HOUSES

SECTION A
 PRIVATE STREETS A, B, C, D
 NOT TO SCALE

SECTION B
 PRIVATE STREET E
 NOT TO SCALE

SECTION C
 PRIVATE COURT A, B, C, D
 NOT TO SCALE

SECTION D
 PRIVATE COURT A, B, C, D, E, F
 NOT TO SCALE