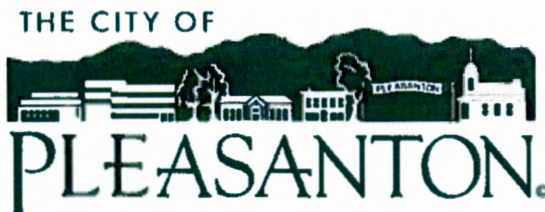


EXHIBIT A

PUD-93-02-16M 2001 Ruby Hill Boulevard Discussion Points

1. Does the Commission support the proposed uses/level of intensity of this proposal? If not, please provide guidance on what uses/level of intensity would be acceptable on this site.
2. Does the Commission support the proposed site layout, parking and access?
3. Does the Commission support the proposed design of the buildings (including size and mass)?



August 30, 2016

Hakam Misson
6951 South Front
Livermore, CA 94551

RE: PUD-93-02-16M/PUD-122
Application for Planned Unit Development Major Modification and development plan to construct an approximately 20,419-square-foot 42-room lodging facility and an approximately 62,175-square-foot 672-person event center and restaurant located at 2001 Ruby Hill Boulevard

Dear Mr. Misson:

Thank you for the above-referenced applications. The current proposal is similar to the one submitted in the preliminary review application that staff previously reviewed and commented on (and did not support). The proposal would add a significant amount of square footage to the existing two-story building and construct a new, approximately 62,175 square foot three-story hospitality center with a basement area that would hold events for up to 672 people.

Staff previously commented that the proposed project is too large in scale for the area and requested that the size of the proposed development be reduced to be generally consistent with the previous approval. The current proposal includes a 42-room lodging facility, which is a significant increase from the previously-proposed 20-room lodging facility. Staff did not support the 20-room proposal and encouraged you to reduce the size of the project. Staff did not support the previously-proposed hospitality center of similar size. The proposed hospitality center is significantly larger than the previously-approved, approximately 4,200-square-foot restaurant with a full basement. Staff again urges you to redesign the project so that the size of the proposed development would be generally consistent with the previous approval. Staff cannot support the development intensity as proposed, as it would compromise the rural and residential character of the surrounding neighborhood.

If you would like to continue to pursue the project as proposed without staff's support, the following information is needed for staff to deem your application complete. When the application is complete (i.e., when all the required information is provided), staff will then comment on the plans.

COMMUNITY DEVELOPMENT

P. O. BOX 520, Pleasanton, CA 94566-0802

Planning	Building & Safety	Engineering	Traffic	Inspection
200 Old Bernal Ave. (925) 931-5600 Fax: 931-5483	200 Old Bernal Ave. (925) 931-5300 Fax: 931-5478	200 Old Bernal Ave. (925) 931-5650 Fax: 931-5479	200 Old Bernal Ave. (925) 931-5650 Fax: 931-5479	157 Main Street (925) 931-5680 Fax: 931-5484

Planning Division

1. The Ruby Hill development approval, which includes the project site, required a large amount of acreage to be dedicated to viticultural uses. As such, the recorded Deed of Perpetual Agricultural Conservation Easement between Wente Bros. and the South Livermore Valley Agricultural Land Trust (SLVALT) allows a 2.5-acre portion of the project site be used for development, including residential structures, wineries, access road from a public right-of-way, restaurant, and lodging; the remainder of the site was required to be preserved for agricultural/viticultural uses. Please clearly outline on the site plan this 2.5-acre area. Please submit a copy of the proposal to Tri-Valley Conservation (TVC, formerly SLVALT) for review of the easement area and provide a letter indicating TVC's approval.
2. Revise the narrative to include the following information:
 - a. All proposed activities that would be held at the hospitality center, both indoors and outdoors. Include details on the hours of operation, alcohol service, entertainment (live and/or recorded music), etc.
 - b. Functions that would be scheduled during televised sports events in the wine cellar. Please specify the type of functions, how often they would be held, the areas where patrons would gather for sports events, maximum number of attendees, and the amount of floor area that would be used for sports events. The same information needs to be provided for conferences/educational events.
 - c. Proposed activities for the lounge area.
 - d. Proposed spa hours.
 - e. Maximum capacity (guests and staff) at the proposed hospitality center. The written narrative indicates the hospitality center could accommodate 150-672 people. Please indicate the maximum number of employees that would staff the event center at any one time.
 - f. Whether events would be for private parties, booked by reservation, and/or be open to the general public, and whether tickets would be sold in advance and/or at the door.
 - g. Identify uses/activities for the large "roof garden" area of the hospitality center building
 - h. The narrative mentions "Function Center." Please be consistent when describing the various buildings/uses.
 - i. Define what a "major function" is.

3. Revise the plans to include the following:
 - a. An arborist report prepared by a certified arborist acceptable to the City (please see the attached list) will be required if there will be any proposed improvements (e.g., construction, grading, paving, trenching, etc.) located below the dripline of an existing tree with a diameter of six inches or greater or if any trees with a diameter of six inches or greater are proposed to be removed. The report must specify the precise location, size, and species of the existing trees on the site, including any trees off the property with driplines that overhang into the proposed construction. The report must determine the health and value of the existing trees, the effects of the proposed development on the trees, and recommendations for any special precautions necessary for their preservation. Any trees that are proposed to be removed or pruned must be clearly indicated in the report and on the plans.
 - b. Clearly show on the site plan if any existing vineyards would be removed and if any new vineyards are proposed.
 - c. Note the lounge area on the floor plan.
 - d. Show the trash enclosure areas and elevations. Please note, in order to meet stormwater requirements, that the trash enclosure area needs to be roofed and connected to the sanitary sewer system.
 - e. Please submit a copy of the plans to Alameda County Environmental Health for review and approval.
 - f. Show the HVAC locations for both buildings.
 - g. Provide details and elevations of the proposed "ejection station."
 - h. Identify the existing building and additions on the lodging facility's site and floor plans.
 - i. Identify the uses of all rooms/areas on the floor plans for both buildings.
 - j. Provide a color/material board and identify the materials and colors on the elevations. Colored elevations are required. Additionally, please provide photo simulations along Vineyard Avenue., Ruby Hill Boulevard, and Ruby Hill Drive.
 - k. Provide roof plans for both buildings.
 - l. A creek is located to the west of the proposed hospitality center. Please note the setback from the creek to the building. Creek setback should be taken from the top of the creek bank.
 - m. Show on the landscape plan what is replacing the existing driveway that would be removed.
 - n. Indicate the proposed amount of cut/fill and the volume (in cubic yards) of off haul.
4. The grading and drainage plan shows surface drainage through the vineyards. Please clarify if this is an existing drainage flow or if additional vineyards would be removed and grades would be changed.

Traffic Division

5. Please provide the total number of trips for both directions on Vineyard Avenue traffic generation numbers for a typical Friday PM (4:00-6:00 p.m.) peak hour.
6. Please note parking stall and drive aisle dimensions on the plan.
7. Please show the existing bike lanes along Vineyard Avenue on the site plan.
8. Please provide the distance between the project entrance and the bend on Vineyard Avenue for staff to review and determine if the project would have adequate sight distance at the project entrance.
9. Please provide an eastbound right-turn deceleration lane from Vineyard Avenue to the project access point and a westbound left-turn lane from Vineyard Avenue to the project access point. The length of the turning lane pockets will be determined by Traffic Engineering based on trip generation numbers.

For questions regarding the comments from the Traffic Engineering Division, please contact Matthew Nelson at 925.931.5671, or email at: mnelson@cityofpleasantonca.gov.

Engineering Department

10. Please complete the Stormwater Requirements Checklist, available at <http://www.cityofpleasantonca.gov/pdf/Stormwater-Req-Chklist-3-7-2014.pdf>. The checklist would assist staff in determining if the proposed project would be subject to any stormwater requirements per California Regional Water Quality Control Board San Francisco Bay Region stormwater requirements. Please provide hydro-modification calculations if it is required by the checklist.
11. The proposed civil plans need to include the following:
 - a. Please show fire service, potable water service, and irrigation services per the City's Standard Specifications and Details, 701A, 706 and 708.
 - b. Please show the Fire Department's double check detector check with Public Service Easement (PSE) along Vineyard Avenue and Ruby Hill Boulevard per City detail 708. The water main on site shall be private with private fire hydrants as required by the Fire Marshall.
 - c. Please provide sanitary sewer two-way clean-out per City standard detail.
 - d. Please show water connection to the water main.

- e. Please provide calculations for sizing of each Drainage Management Area (DMA).
- f. Please provide potable water and sanitary sewer demand calculations for each building.
- g. Please note the closing of the existing access from Ruby Hill Boulevard.
- h. Please provide a copy of the Title Report and a copy of the updated plan showing all existing easements of record.
- i. Please show the proposed off-site water, sewer, storm drain and joint trench intent plan.

The City's Standard Specifications and Details are available at: <http://www.cityofpleasantonca.gov/civicax/filebank/blobdload.aspx?BlobID=24443>

For questions regarding the comments from Engineering Department, please contact Daniel Sequeira at 925.931.5656, or email at: dsequeira@cityofpleasantonca.gov.

Livermore-Pleasanton Fire Department

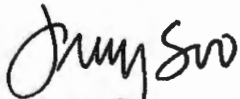
12. Please show on the site plan the location of existing fire hydrants.

13. Please show on the site plan the turning radius and turn-around area for fire trucks.

For questions regarding the comments from Livermore-Pleasanton Fire Department, please contact Ryan Rucker, 925.454.2361, or email at: rucker@lpfire.org

If you have any questions, please call me at (925) 931-5615, or contact me via email at: jsoo@cityofpleasantonca.gov

Sincerely,



Jenny Soo
Associate Planner

Cc: Laura Mercier, Executive Director, Tri-Valley Conservancy, 1457 First Street
Livermore, CA 94550
Katherine Fonte, Association Manager, Ruby Hill Community Center, 2900 E. Ruby
Hill Drive, Pleasanton, CA 94566



PRESERVE LAND. CONNECT COMMUNITIES. ENRICH LIFE.



Board of Directors

Jeff Williams, Chair
Ryan Callahan, Vice Chair
Connie Campbell, Secretary
Michael Fredrich, Treasurer
David Doyle
Jeff Cranor
Matt Ford
Arthur Jeannot
Lori Souza
Norm Petermeier
Chris Schlies

Executive Director

Laure Mercier

October 17, 2016

Mr. Hakam Misson
6951 Southfront Road,
Livermore, CA 94550

Dear Mr. Misson:

Tri-Valley Conservancy received the attached plans for your proposed project at 2001 Ruby Hill Drive in Pleasanton. The plans show a building envelope area of 108,507 sq. ft., which is within the 108,900 sq. ft. building envelope allowed by the Conservation Easement.

The proposed building envelope revision requires an Amendment to the Conservation Easement for the property. (If you don't already have a copy of Tri-Valley Conservancy's Amendment policy, I have attached it.) I have also attached a Memorandum of Understanding (MOU), which is required to begin the amending process.

The process and timeframe for amending process follows:

- Once a signed copy of the MOU and amendment fee are received at TVC, an amendment will be drafted, reviewed by TVC's legal counsel, and presented to the landowner. **The amendment requires a legal description of the proposed building envelope. (Please contact TVC for specifications regarding the legal description.)
- After the amendment is approved by the landowner and TVC staff, it will be presented to the Land Conservation Committee at one of their monthly meetings.
- If approved, the amendment will be presented to the Board of Directors for their approval. They meet every other month.
- With TVC board approval, the amendment will be executed.

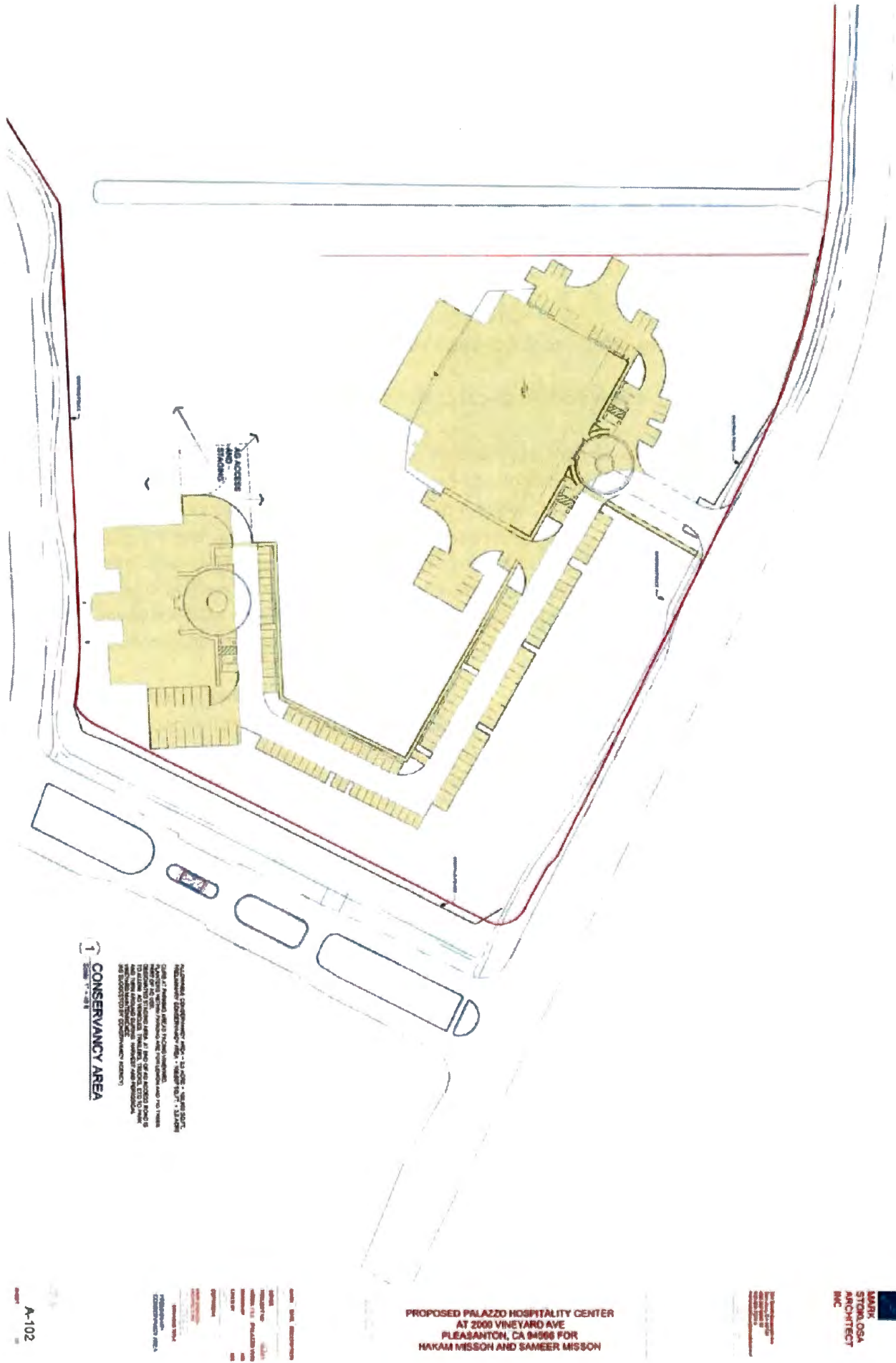
We look forward to working with you to complete this process and seeing your project realized. Please don't hesitate to contact me with any questions.

Sincerely,

A handwritten signature in cursive script that reads "Carolyn Newton".

Carolyn Newton
Land Conservation Associate

Cc Jenny Soo, City of Pleasanton



NO ACCESS
AND
STORAGE

1
CONSERVANCY AREA

PROPOSED PALAZZO HOSPITALITY CENTER
AT 2000 VINEYARD AVE
PLEASANTON, CA 94566 FOR
HAKAM MISSION AND SAMEER MISSION

MARK
STON, OSA
ARCHITECT
INC.

MEMORANDUM OF UNDERSTANDING

Between

Tri-Valley Conservancy (TVC)

And

Hakam Misson and Sameer Misson

Name of Landowner(s)

The purpose of this Memorandum of Understanding is to affirm the timeframe and associated fees for an Amendment to the **Misson Property 10c** Conservation Easement.

Property Name CE #

This first amendment request requires a **\$2,000 fee, payable to Tri-Valley Conservancy.**

Hakam Misson and Sameer Misson will be notified in writing, of the date when the amendment

Name of Landowners

to identify the building envelope is approved by the Tri-Valley Conservancy Board of Directors.

Description of amendment

If the aforementioned amendment is not executed within one year of approval by the Board of Directors, the amendment is void. A ____ month extension could be granted by TVC, for an additional fee of \$_____.

Any future amendment requests will be considered to be "subsequent" and subject to the following applicable fees*:

2nd Amendment \$4,000

3rd Amendment \$8,000

4th [and subsequent] Amendment(s) \$12,000

** This fee schedule only applies to requests which are not subject to the special polices for an "Amendment With Alleged Existing Violation".*

The Property Owner shall be responsible for all third party costs including, but not limited to, surveyor fees and costs, legal fees and costs, monument fees and costs, and any other, similar third party fees or costs incurred by TVC as a result of the requested amendment. Additionally, the Property Owner shall be responsible for extraordinary TVC staff costs as determined by the BOD; ordinary TVC staff costs are contemplated in the general application fee.

We agree to the terms of this Memorandum of Understanding.

TVC Signature Date Landowner Signature Date

Landowner Signature Date

Tri-Valley Conservancy Policy Guideline Amending Conservation Easements

Adopted August 14, 2003

Revised policy June 18, 2009

Revised and adopted December 9, 2010

Amended Policy February 24, 2016

BACKGROUND POLICY STATEMENT

The Tri-Valley Conservancy (“TVC”) acquires and holds conservation easements in order to protect agricultural, recreational and open space values for the benefit of present and future generations. Because conservation easement acquisitions are accomplished through voluntary agreements with landowners, the success of the program depends upon the confidence of these owners that the TVC will meet its obligations to monitor and enforce the agreements. This confidence would be seriously eroded if the TVC allowed amendments to the conservation easements except in unusual circumstances. Amendments could also raise problems with the Internal Revenue Service, both for the TVC in terms of its tax-exempt status and for donors of conservation easements in terms of any charitable deduction, which may have been claimed for a gift.

Therefore, TVC will only consider amendments that will not adversely impact the conservation value(s) of the original easement. While TVC may consider, in its sole and absolute discretion, amendments that will have a neutral impact on the easement, all amendment requests will be considered as opportunities to optimize and enhance the conservation values of the easement. Under no circumstances will TVC consider proposed amendments that impair or threaten the conservation values of an easement.

A. Amendment Without a Violation

Any request for an amendment to an existing easement where no violation or alleged violation is present will be reviewed according to procedures set forth in this policy statement and will be implemented only when the Board of Directors determines that:

1. The requested modification is consistent with the goals of the TVC and will not undermine the TVC’s obligation to monitor and enforce conservation easements it has accepted;
2. It is warranted under one or more of the purposes set forth in Section C below;
3. There are no feasible alternatives available to achieve that purpose;
4. It is the minimum change necessary to achieve that purpose;
5. There is no private inurement or impermissible private benefit given;
6. There is compliance with any funder requirements; and
7. It is in compliance with the TVC’s conflict of interest policy.

B. Amendment With Alleged Existing Violation

If the requested amendment relates to an alleged existing violation of the existing easement, the grantor shall be subject to conditions dictated by TVC Board of Directors. Such conditions shall be considered on a case by case basis and may include, but not limited to:

- a. implementation of additional fees, costs or other charges,
- b. implementation of a detailed review process to determine the viability of the proposed amendment, or
- c. outright denial of the proposed amendment.

Unless specifically waived by the Board of Directors, the requestor shall pay all staff costs pertaining to reviewing the change, whether or not the request is approved. Additionally, the Board may condition the approval of an amendment request upon payment to the Endowment Fund of an amount sufficient to offset any increased monitoring obligations.

C. Acceptable Reasons for Amendment Requests

TVC will consider amendments to easements under the following circumstances:

1. **Prior Agreement.** In a few cases, a conservation easement may have a specific provision allowing modification of the easement at a future date under specific circumstances. Such agreements must be set forth in the conservation easement document or in a separate document incorporated into the conservation easement and signed by both parties at the time the conservation easement was executed. The amendment must be consistent with the terms and conservation intent of the original agreement.
2. **Correction of an Error or Ambiguity.** TVC may authorize an amendment to correct an error or oversight made at the time the conservation easement was executed. This may include correction of a legal description, inclusion of standard language that was unintentionally omitted or clarification of an ambiguity in the terms of the restrictions in order to avoid litigation over the interpretation of the document in the future.
3. **Settlement of Condemnation Proceedings.** Conservation easements and other interests TVC holds in land use may be subject to condemnation for public purposes, such as highways and schools. Where it appears that the condemnation power will be properly exercised, TVC may enter into a settlement or related agreement that may include an amendment of the conservation easement in order to avoid the expense of litigation. In reaching such an agreement, TVC shall attempt to preserve the intent of the original conservation agreement to the greatest extent possible.
4. **Amendments Consistent with Conservation Purpose and Values.** TVC may authorize other modifications of a conservation easement if the modification is consistent with the intent of the original parties and with the statement of purpose contained in the easement document, and if the new level of protection of conservation values provided by the amended easement is the same or greater than that provided by the easement before the amendment.

If an amendment involves the creation of a new building envelope, the size of the existing building envelope must be decreased, the use of the new building envelope must promote the conservation values, and the total combined acreage of the two building envelopes must be less (by an amount determined by TVC) than the acreage of the original building envelope. This reflects the fact that the creation of two building envelopes has a greater impact on conservation values than the creation of just one building envelope even where the total combined building envelope acreage of the two building envelopes is the same as the acreage of the original building envelope.

For example, the location of a building envelope may be changed if the new location will have the same or less impact on the conservation values the easement was enacted to protect.

5. To clarify or upgrade old easements to current format. *Example but not limited to...*

1. A Conservation Easement (CE) covers multiple parcels. Should any of the property owners request an amendment that meets the requirements of the above listed acceptable reasons (items 1-4), all parcel owners must agree to the proposed amendment.

One solution to resolve this requirement is for “all” the property owners to agree to extinguish the one Conservation Easement and *execute a Conservation Easement for each parcel*, therefore removing the requirement for all property owners to approve any future amendments regarding other properties than their own.’

Amendment Procedure:

An amendment may be proposed by either a Grantor or TVC staff.

If the amendment is not executed within one year of approval by the Board of Directors, it becomes void. An extension may be granted, for an additional fee. Any future amendment requests will be considered to be “subsequent” and subject to the applicable fees, (see below).

Grantor:

Any Grantor seeking a modification to an existing conservation easement must present to TVC a request in writing stating what change is being sought and the specific reasons why it is needed or warranted. The request shall be accompanied by all appropriate maps and other supporting documentation together with a non-refundable application fee as shown below:

First amendment request by Grantor will require a \$2,000 fee*.

The fee* for each additional amendment request by a Grantor owning the land subject to the conservation easement at the time of a prior request for amendment will increase for each subsequently requested amendment - see example below:

2nd Amendment \$4,000
3rd Amendment \$8,000
4th [and subsequent] Amendment(s) \$12,000

A new owner of land subject to the conservation easement shall pay the \$2,000 fee on the first occasion an amendment is sought by that owner even if prior ownership of the same land may have previously sought one or more amendments.

** Note this fee schedule only applies to requests which are not subject to the special polices under Section B above.*

The Grantor shall be responsible for all third party costs including, but not limited to, surveyor fees and costs, legal fees and costs, monument fees and costs, and any other, similar third party fees or costs incurred by TVC as a result of the requested amendment. Additionally, the Grantor shall be responsible for extraordinary TVC staff costs as determined by the BOD; ordinary TVC staff costs are contemplated in the general application fee.

TVC Staff:

When TVC is seeking a modification to an existing conservation easement, TVC staff must present to the TVC Board of Directors a request in writing, stating what change is being sought and the specific reasons why it is needed or warranted. The request shall be accompanied by all appropriate maps and other supporting documentation.

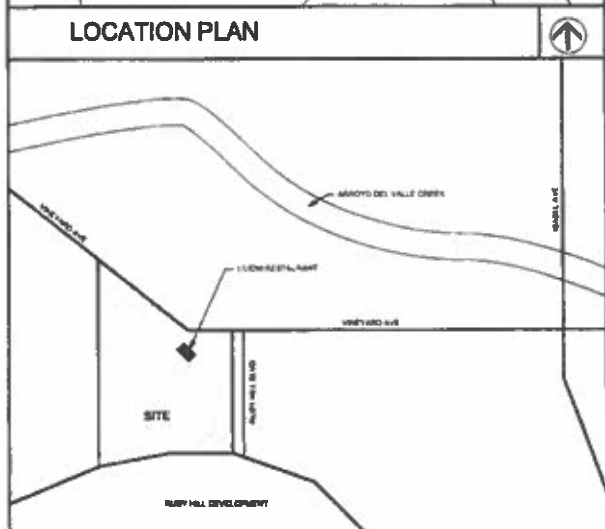
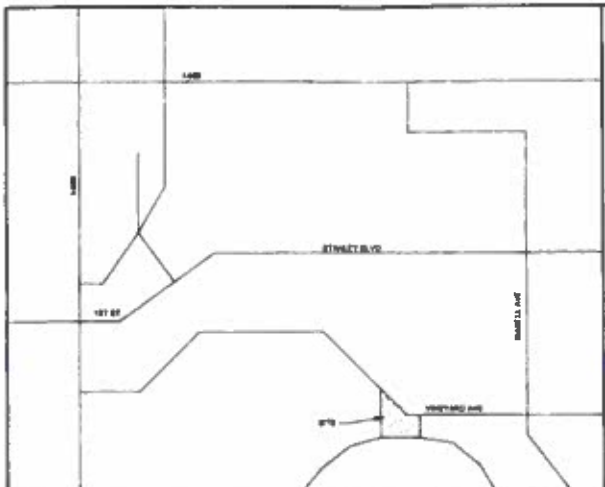
All requests presented to the TVC Board of Directors shall include an amendment evaluation prepared by TVC Staff for each proposed amendment including discussions of the following items:

- Conservation values protected by the original easement;
- Effect of amendment request on the Conservation values
- Costs of the amendment and who will pay.
- A Memorandum of Understanding affirming the timeframe and associated fees for the Amendment, signed by TVC and the property owner prior to TVC Board approval.

The Executive Director shall review all requests and, conduct or oversee a mandatory Stewardship site visit(s). Evaluation of all requests will include contacting any third party beneficiaries, and reasonable efforts to contact other principal parties to the original transaction.

EXHIBIT E





DESIGN DATA

OWNER:
BARNABAS NAGY
201 BURY HILL ROAD
PLEASANTON, CA 94609

SITE AREA:
36 ACRES

DEVELOPMENT AREA:
2.5 ACRES

BUILDING AREA:
EA2140
FA2140 = 11,202 sq ft
SH2140 = 28,202 sq ft

USE:
F&B DINING RESTAURANT

PERMITS:
80 STAIRS
8 HAND CAP INCL. (DEPT 1010)

FORMS:
PUD

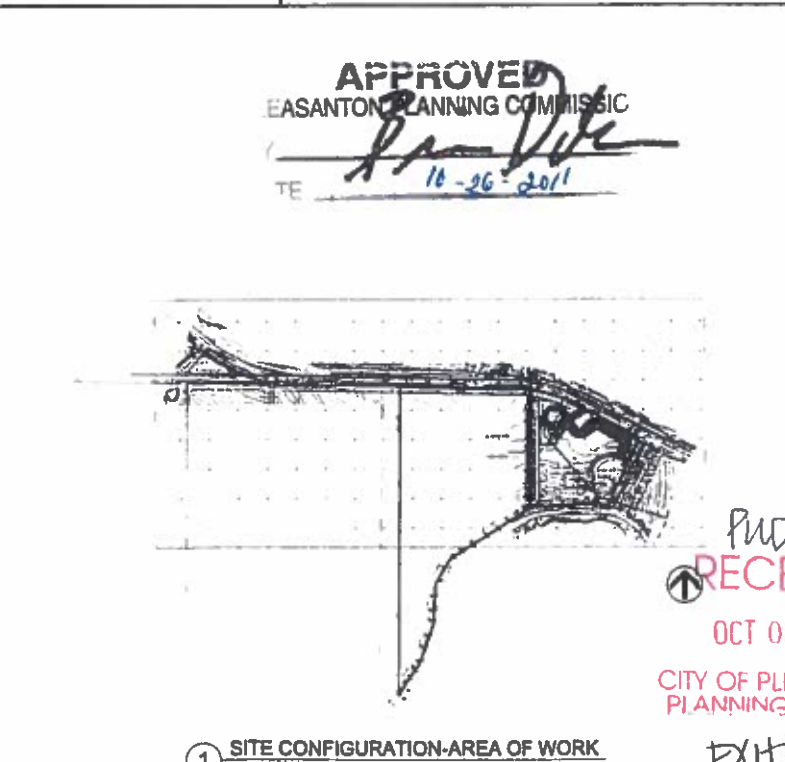
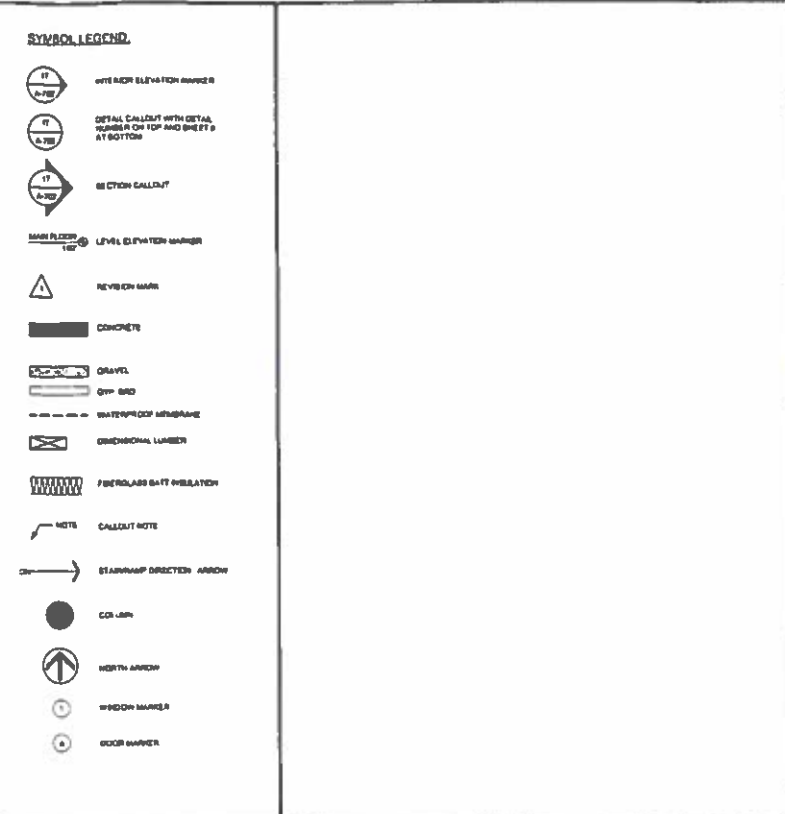
OCCUPANCY:
A-111 (REST & RET) (1)
B (OFF & BUS) (1)
S-1 (STORE) (1)

CONSTRUCTION TYPE:
m-h BRICK/CMU

TOTAL OCCUPANCY LOADS PER PLANNING DEPARTMENT ESTIMATION:
189 PATRONS

GENERAL NOTES:

1. GENERAL CONDITIONS: THE CONTRACTOR SHALL COMPLY WITH THE CONDITIONS AND REQUIREMENTS OF THE CONTRACT AND THE CONTRACT DOCUMENTS. THIS DOCUMENT SHALL FORM PART OF THE SPECIFICATIONS SET FORTH HEREIN.
2. SAFETY MEASURES: BUILDINGS WORKED ON AND OTHER PROPERTIES SHALL BE PROTECTED CONTINUOUSLY. OCCUPANTS AND OTHERS SHALL BE PROTECTED FROM ANY HAZY OR HEALTH HAZARD. ALL SAFETY CODES AND ORDINANCES SHALL BE OBSERVED AND ENFORCED.
3. CONSTRUCTION CONTROL: THE CONTRACTOR SHALL SUPERVISE AND DIRECT WORK, USING THE CONTRACTOR'S BEST SKILL AND ABILITIES AS WELL AS ATTENTION TO CONSTRUCTION DOCUMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM THE CONSTRUCTION. PROVIDE THE MEANS OF CONSTRUCTION METHODS, PROCEDURES, TECHNIQUES AND CO-ORDINATE ALL WORK UNDER THE CONTRACT.
4. WORK LOCATION: 3032 VINEYARD AVE, PLEASANTON, CA 94606 (AT BURY HILL)
5. CODES: CONTRACTOR SHALL COMPLY WITH ALL LAWS, CODES AND ORDINANCES AND NOT LIMITED TO ITEMS LISTED BELOW.
CALIFORNIA CODES FOR BUILDING CONSTRUCTION: CALIFORNIA ADMINISTRATIVE CODE TITLE 9 WITH LATEST EDITION. ANY POLUTION REGULATIONS TITLE 24 CALIFORNIA ENERGY CODE 2008 CEC 301, CEC 303, CEC 305, CEC 307, CFC 301, CPC 301 AND ALL EQUIVALENT LSC, LMC, LEC, LFC AND PERMANENT COUNTY ORDINANCES.
6. THERE IS A CONFLICT BETWEEN CODES MORE RESTRICTIVE ORDINANCE SHALL PREVAIL. IN CASE OF A VARIANCE BETWEEN CODES AND ORDINANCES, THE CONTRACTOR SHALL NOTIFY THE CONSULTANT RIGHT AWAY.
7. SITE VISIT, INSPECTIONS AND VERIFICATION: SCHEDULED CONSULTANT'S SITE VISITS SHALL BE CO-ORDINATED WITH THE OWNER AND THE CONSULTANT CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS TO INSURE PROPER FIT AND TIE BETWEEN NEW AND EXISTING CONSTRUCTION.
8. SUBSTITUTES: NO SUBSTITUTES FOR MATERIALS, METHODS PROCESSES ETC. SPECIFIED OR SHOWN ON PLANS SHALL BE MADE BY THE CONTRACTOR WITHOUT AUTHORIZATION IN WRITING BY THE CONSULTANT. THERE WILL BE ONLY A SEVEN DAY PERIOD ALLOWED FOR THE CONTRACTOR TO SUBMIT NECESSARY DATA SUPPORTING SUBSTITUTIONS IF ANY.
9. PROTECTION AND PROPERTY CARE: DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL PROPERTY, INCLUDING LANDSCAPE AREAS. IN CASE OF DAMAGE, THE CONTRACTOR SHALL MAKE GOOD OF IT AT NO COST TO OWNER OR CONSULTANT. IN CASE ANY UNOCCUPIED CONDITION IS ENCOUNTERED, WHICH MAY INTERRUPT ANY SERVICES, THE WORK IN EACH AREA SHALL STOP. PROMPT INFORMATION TO THE PROJECT MANAGER IS MANDATORY IN ORDER TO PROCEED FURTHER WITH WORK. ALL COMMUNICATION SHALL BE CONDUCTED IN WRITING. PROTECTION OF ALL SHOWN AND NOT SHOWN ON PLANS UTILITIES SHALL BE MANDATORY.
10. CONTRACT REQUIREMENTS: CONTRACTOR SHALL BECOME FAMILIAR WITH THE DRAWINGS AND SPECIFICATIONS. IN CASE OF ANY ERRORS NOTIFY THE CONSULTANT PRIOR TO ANY SUBMITTAL. WRITE IN DIMENSIONS ONLY IN OVER SCALED DIMENSIONS AND BLEES. IT IS THE INTENTION OF THESE DRAWINGS AND SPECIFICATIONS TO INCLUDE ALL NECESSARY TO PERFORM THE WORK. HOWEVER NOT EVERY ITEM NECESSARY FOR WORK IS MENTIONED OR SHOWN. ALL SYSTEMS AND EQUIPMENT SHALL BE COMPLETE AND OPERABLE.
11. SCHEDULE: THE CONTRACTOR SHALL SUBMIT TO THE OWNER AN ITENAZED WORK SCHEDULE SEVEN DAYS AFTER THE AWARD OF CONTRACT.
12. RETROFIT: DO ALL CUTTING, FITTING AND PATCHING IN ORDER TO COMPLETE THE WORK. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THIS WORK AND MAKE GOOD ANY DAMAGE CAUSED.
13. CLEAN UP: CLEARING OF DEMOLITION AREA AND REFUSE EVACUATION SHALL BE PERFORMED ON A DAILY BASIS. IF THE OWNER REQUIRES ADDITIONAL CLEAN UP THE CONTRACTOR MUST CLEAN UP ALL EXPOSED SURFACES OF ALL DIRT, DUST, GREASE, ETC. CAUSED DURING AND UPON COMPLETION OF THE WORK OR THE PROJECT.
14. SUBSTANTIAL COMPLETION: MEANS THAT THE WORK WAS PERFORMED IN ACCORDANCE TO SPECIFICATIONS, DRAWINGS, ANY CHANGE ORDERS AND THE PREMISES ARE READY FOR USE INTEND.
15. CO-ORDINATION OF CONTRACTOR'S WORK: CO-ORDINATION OF ALL WORK AND SUBCONTRACTORS AND ANY OTHER CONSTRUCTION ACTIVITIES ON THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. INTERUPTION OF WORK: THE WORK SHALL BE PERFORMED WITHOUT INTERRUPTION TO THE OWNER'S ACTIVITIES IN CASE THE PROJECT IS AN RETROFIT, REMODEL, ADDITION OR TENANT IMPROVEMENT.
17. SIGNAGE: NO SIGNAGE OF ANY SORT IS PERMITTED, EXCEPT CONTRACTOR'S LOGO LOCATED AT FRONT YARD OF THE BUILDING SITE.
18. DOWN TIME SCHEDULES: CONTRACTOR NEEDS TO CO-ORDINATE WITH THE OWNER DOWN TIME SCHEDULES AT LEAST THREE (3) WEEKS IN ADVANCE FOR THE SERVICES AFFECTED.
19. PERMITS: THE CONTRACTOR SHALL PAY FOR THE BUILDING AND TRADE PERMITS AND SECURE REQUIRED SIGN OFFS AND FINAL AUTHORITY HAVING JURISDICTION APPROVALS.
20. TESTING: UPON COMPLETION OF WORK THE CONTRACTOR SHALL PERFORM TESTING OF IMPROVEMENTS TO DEMONSTRATE PROPER OPERATION OF THE BUILDING SYSTEMS AND COMPONENTS. IN CASE OF DIFFICULTIES THE WORK ON MATERIALS SHALL BE CONNECTED AT NO COST TO THE OWNER.
21. OPERA TIVE DATA: EQUIPMENT MAINTENANCE DATA AND OPERATION MANUALS SHALL BE SUBMITTED TO THE OWNER IN THREE (3) COPIES.
22. REMOVAL OF DEBRIS AND REFUSE: THE OWNER TO CO-ORDINATE AND DESIGNATE WHERE THE REFUSE WOULD BE DISPOSED OF.
23. PAINTING: PRIOR TO PAINTING WORK THE CONTRACTOR SHALL VERIFY COLOR SAMPLES WITH THE OWNER.
24. FIRE STOPPING: PENETRATIONS THROUGH RATED WALLS AND FLOORS SHALL BE SEALED WITH MATERIALS ABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECT TO THE REQUIREMENTS OF THE TEST STANDARD SPECIFIC FOR FIRE STOPPING ASTM-814.
25. ELECTRICAL LIGHTING: ALL ELECTRICAL LIGHTING AND HVAC SHALL CONFORM TO TITLE 24 REQUIREMENTS.
26. NEW CONSTRUCTION: DO ALL NEW CONSTRUCTION IN ACCORDANCE TO DRAWINGS AND SPECIFICATIONS AND GOOD CONSTRUCTION PRACTICES.



DRAWING LIST:

ARCHITECTURAL PLANS:
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A-102 SITE PLAN
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STRUCTURAL PLANS:
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S-2 FIRST FLOOR FLOORING PLAN
S-3 FIRST FLOOR FRAMING PLAN
S-4 ROOF PLAN
S-5 STRUCTURAL DETAILS
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Mechanical, Electrical, Plumbing (MEP) PLANS:
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MARK STOKLOSA ARCHITECT INC.

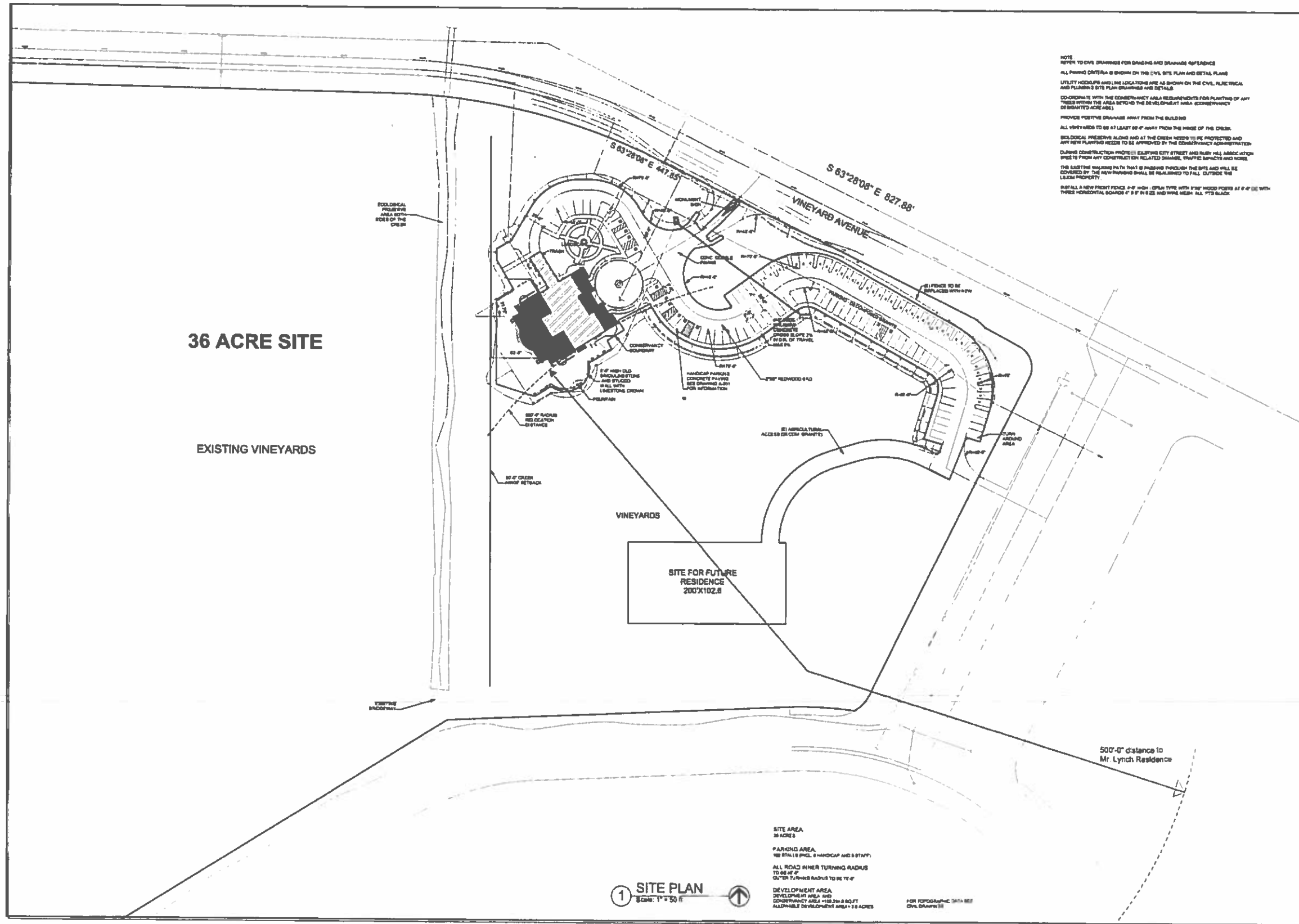
188 BARRY DRIVE
PLEASANTON, CA 94609
925-861-2011

**LILJOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY**

CITY PLANNING DEPARTMENT STAMP:

CITY BUILDING DEPARTMENT STAMP:

DATE: 10-13-11
SCALE:
DRAWN BY: MS
PROJECT #: 01-117
DRAWING #: A-101



NOTE
 REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE SPECIFICATIONS
 ALL FINISH CRITERIA IS SHOWN ON THE CIVIL SITE PLAN AND DETAIL PLANS
 UTILITY HOODLIPS AND LINE LOCATIONS ARE SHOWN ON THE CIVIL ELECTRICAL
 AND PLUMBING SITE PLAN DRAWINGS AND DETAILS
 COORDINATE WITH THE CONSERVANCY AREA REQUIREMENTS FOR PLANTING OF ANY
 TREES WITHIN THE AREA BEYOND THE DEVELOPMENT AREA (CONSERVANCY
 DEEMATED ACRES)
 PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING
 ALL VINEYARDS TO BE AT LEAST 80' AWAY FROM THE HOUSE OF THE CREEK
 BIOLOGICAL PRESERVE ALONG AND AT THE CREEK NEEDS TO BE PROTECTED AND
 ANY NEW PLANTING NEEDS TO BE APPROVED BY THE CONSERVANCY ADMINISTRATION
 DURING CONSTRUCTION PHASES. CONTACT THE CITY STREET AND HIGHWAY AGENCIES
 PRIOR TO ANY CONSTRUCTION RELATED CHANGE, TRAFFIC IMPACTS AND NOISE
 THE EXISTING DRIVING PATH THAT IS PASSING THROUGH THE SITE AND WILL BE
 COVERED BY THE NEW PARKING SHALL BE REALIGNED TO FALL OUTSIDE THE
 LILLOM PROPERTY
 INSTALL A NEW FRONT FENCE 4'-0" HIGH, COPED TYPE WITH 6"X6" WOOD POSTS AT 6'-0" ON WITH
 THREE HORIZONTAL BOARDS 4" X 6" IN SIZE AND WIRE MESH ALL 1/2" BLACK

36 ACRE SITE

EXISTING VINEYARDS

① SITE PLAN
 Scale: 1" = 30'

SITE AREA
 36 ACRES
 PARKING AREA
 100 STALLS (INCL. 8 HANDICAP AND 8 STAFF)
 ALL ROAD INNER TURNING RADIUS
 TO BE 40'-0"
 OUTER TURNING RADIUS TO BE 70'-0"
 DEVELOPMENT AREA
 DEVELOPMENT AREA = 118,294.8 SQ. FT.
 CONSERVANCY AREA = 118,294.8 SQ. FT.
 ALLOWABLE DEVELOPMENT AREA = 118 ACRES
 FOR TOPOGRAPHIC DATA SEE
 CIVIL DRAWING 02

CITY	15
SUBDIVISION	15

MARK STOKLOSA ARCHITECT INC

800 EAST JOHN STREET
 SUITE 202
 PLEASANTON, CA 94566
 925 464 3800
 925 464 9917

LILLOM FINE DINING CUISINE RESTAURANT
 AT 36 ACRE VINEYARD ACREAGE IN PLEASANTON
 FOR BARNABAS NAGY

SITE PLAN

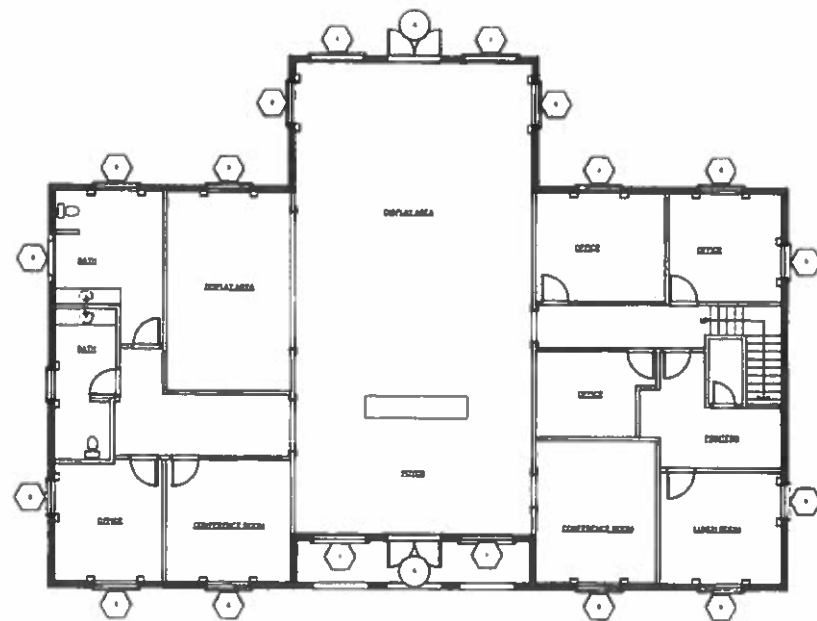
DATE: 10-13-07

SCALE:

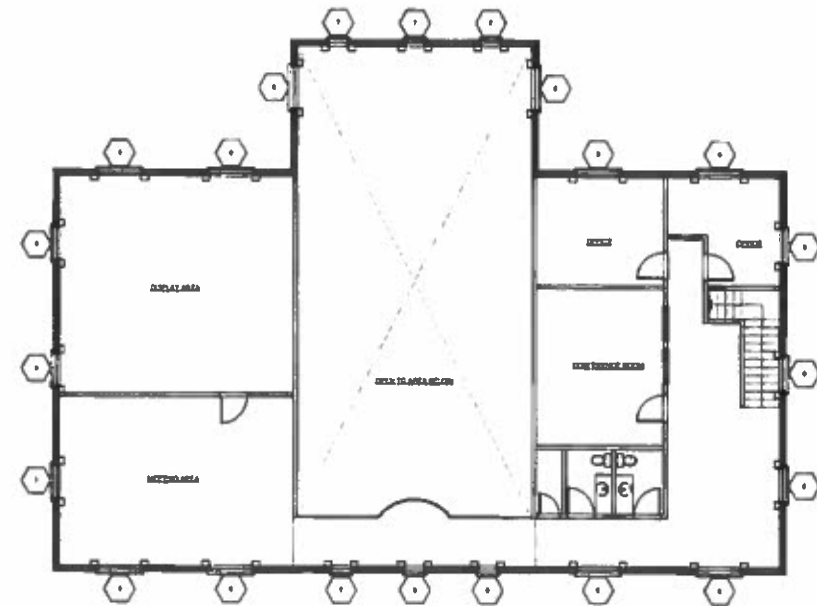
DRAWN BY: MS

PROJECT #: 07-017

Sheet #
 A-102



1 (E) MAIN FLOOR PLAN
Scale: 1/8" = 1'-0"
1118 0071



2 (E) 2 ND FLOOR PLAN
Scale: 1/8" = 1'-0"

DATE	18-10-20
SCALE	AS SHOWN
PROJECT	07-011
DRAWING	0

MARK STOKLOSA ARCHITECT INC









100 EAST JONES STREET
SUITE 200
PLEASANTON CA 94566
925-863-8811

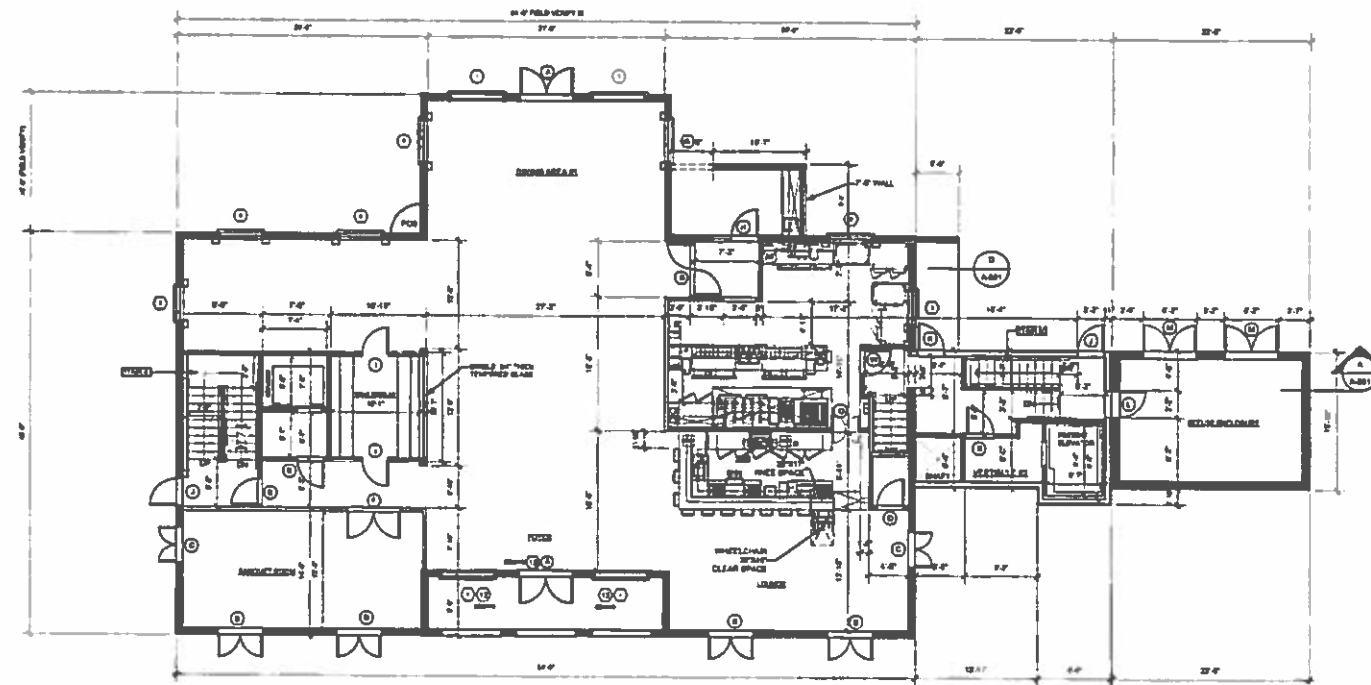
LILJOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

EXISTING FLOOR PLANS

DATE	18-10-20
SCALE	AS SHOWN
PROJECT	07-011
DRAWING	0

A-202

- LEGEND**
-  EXTERIOR INTERIOR WALL
6" STYP BRD TYPE 2
2" X 4" WOOD STUDS AT 16" OC
6" STYP BRD TYPE 2
 -  EXTERIOR EXTERIOR WALL
STUCCO
SUN DOME PAPER
6" STYP BRD TYPE 2
2" X 4" WOOD STUDS AT 16" OC
R-13 INSULATION
6" STYP BRD TYPE 2
(FIELD HEIGHT WALL COMPONENTS)
 -  12" CONCRETE WALL
 -  NEW INTERIOR WALL
6" STYP BRD TYPE 2
2" X 4" WOOD STUDS AT 16" OC
6" STYP BRD TYPE 2
 -  NEW TYPICAL COLUMN
12" DIAMETER CONCRETE
AS FURNISHED WITH FIBERGLASS
PROVIDE BRIDGES FOR THE
COLUMN PAINTED WHITE
TWO PIECE CONCRETE
PILE IN JOINT TO ACHIEVE SMOOTH
COLUMN FACE
 -  HIGHLIGHT BOLD HANDRAIL 2" X 4" HIGH
WITH 1/2" DIA BALLTOPS AT 4" OC
HANDRAIL TO BE 2" DIA THROUGH FROM
BARNABAS TO BE PAINTED
 -  2" X 4" NEW WALL WITH WOOD CAP
6" STYP BRD TYPE 2 EACH SIDE OF
2" X 4" WOOD STUDS AT 16" OC
 -  1/2" X 1/2" DIA LAMINATE 2" X 4" WOOD POST CLAD IN TWO 6" X
6" OYPHELM BOARD TYPE 2



1 MAIN FLOOR PLAN
Scale: 1/8" = 1'-0"

DATE	10/13/07
SCALE	1/8" = 1'-0"
DRAWN BY	MS
CHECKED BY	MS

MARK STOKLOSA ARCHITECT INC

36 BAYT JOHN STREET SUITE 202 PLEASANTON CA 94566 (925) 461-9141

LILJOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

NEW MAIN FLOOR

DATE	10/13/07
SCALE	1/8" = 1'-0"
DRAWN BY	MS
CHECKED BY	MS

A-301

CITY	01-18	01
CITY	01-18	01

MARK STOKLOSA ARCHITECT INC








100 EAST JOHN STREET
SUITE 202
PLEASANTON, CA 94566
925.464.2884
925.464.8817

LIL'OM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

2ND FLOOR PLAN

DATE	10-12-21
SCALE	1/8" = 1'-0"
DRAWN BY	MS
PROJECT #	07-011
DRAWING #	

A-302

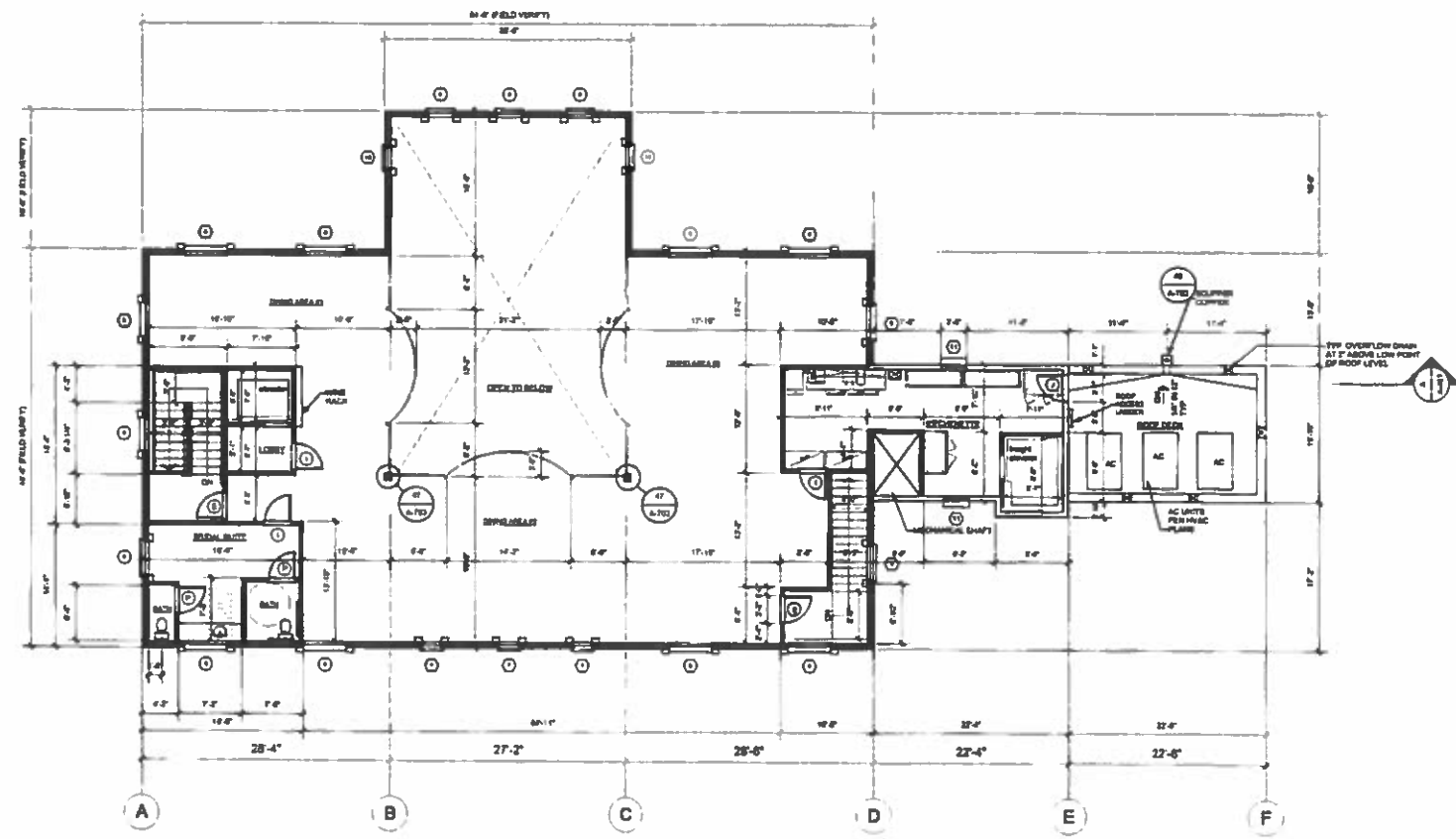
- LEGEND**
-  EXISTING EXTERIOR WALL
6" GFY BRK TYPE-A
2" GFY WOOD STUDS AT 16" OC
6" GFY BRK TYPE-A
 -  EXISTING EXTERIOR WALL
STUCCO
BUILDING PAPER
6" GFY WOODS
2" GFY WOOD STUDS AT 16" OC
R-11 INSULATION
6" GFY BRK TYPE-A
FIELD VERIFY WALL COMPOSITIONS
 -  12" CONCRETE WALL
 -  NEW INTERIOR WALL
6" GFY BRK TYPE-A
2" GFY WOOD STUDS AT 16" OC
R-11 INSULATION
6" GFY BRK TYPE-A
 -  NEW 12" X 12" COLUMN PAINTED WHITE
6" GFY WOOD POST CLAD IN (2) 6" GFY
GYPSUM BOARD TYPE-X
 -  WROUGHT IRON HANDRAIL, 3" DIA HIGH
WITH 1/2" DIA BALLTIPS AT 1" OC
HANDRAIL TO BE 2" DIA WOOD, VARNISHED
HANDRAIL TO BE PAINTED BLACK
 -  2" DIA HIGH WALL WITH WOOD CAP
6" GFY BRK TYPE-A EACH SIDE OF
2" GFY WOOD STUDS AT 16" OC

NOTES

INSTALL ROOF BOLTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE PLUMBING CODE.
OVERFLOW DRAINS TO BE INSTALLED AND OBSERVED PER DEC 1388.

VERIFY ALL ON-SITE EXISTING BUILDING CONDITIONS TO ENSURE PROPER FIT AND
TR BETWEEN EXISTING AND NEW CONSTRUCTION.

FOR BATHROOMS SEE SHEET 4-08



2ND FLOOR PLAN
Scale: 1/8" = 1'-0"

ROOF VENTING:
FIELD VERIFY POSITIVE ROOF VENTING EXISTS ON THE EXISTING ROOF.
ROOF VENTS TO BE AT EAVES (CONTINUOUS) AND ON SLOPED ROOF CLOSE TO RIDGE EVENLY DISTRIBUTED AS MIN. 12" X 12" IN SIZE.
ROOF VENT AREA TO BE 1/180 OF THE ROOF AREA.

ROOF VENTING AT FLAT ROOF WITH RIGID INSULATION IS NOT REQUIRED, PROVIDING THE INSULATION IS SHUJ TO ROOF SHEATHING AND RAFTERS (NO AIR GAPS).

INSTALL INSECT SCREENS TO ALL ROOF VENTS.
ROOF VENTS SHALL NOT LEAK.
PAINT VENTS TO MATCH ADJACENT SURFACES.

ROOF INSULATION:
VERIFY IN FIELD EXISTING INSULATION. ROOF INSULATION TO BE R-38 FIBERGLASS BATS, INSTALLED IN TRUSS SPACE. IN NEW ROOF AREAS INSTALL INSULATION SIMILAR TO MAIN ROOF. INSULATION TO BE PLACED AT BOTTOM CHORDS OF TRUSSES AND/OR BOTTOM OF RAFTERS. MAKE SURE TO MAINTAIN AN AIR SPACE ABOVE INSULATION FOR VENTING.

AT FLAT ROOFS INSTALL RIGID INSULATION FILLING UP ENTIRE RAFTER SPACE.
THE RIGID INSULATION SHALL BE SHUJ TO ROOF PLYWOOD SHEATHING. INSULATION TO BE R-38.

PROTECT INSULATION FROM WATER.

ROOF COVERING:
ALL NEW SLOPED ROOF TILE TO MATCH EXISTING ROOF TILE.
THE FLAT ROOF ROOF COVERING TO BE A SINGLE MEMBRANE ROOFING MEMBRANE, CLASS-A INSTALLED PER MANUFACTURER'S SPECIFICATIONS. AS AN ALTERNATE USE SBS MODIFIED BITUMEN ROOF MEMBRANE CLASS-A INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

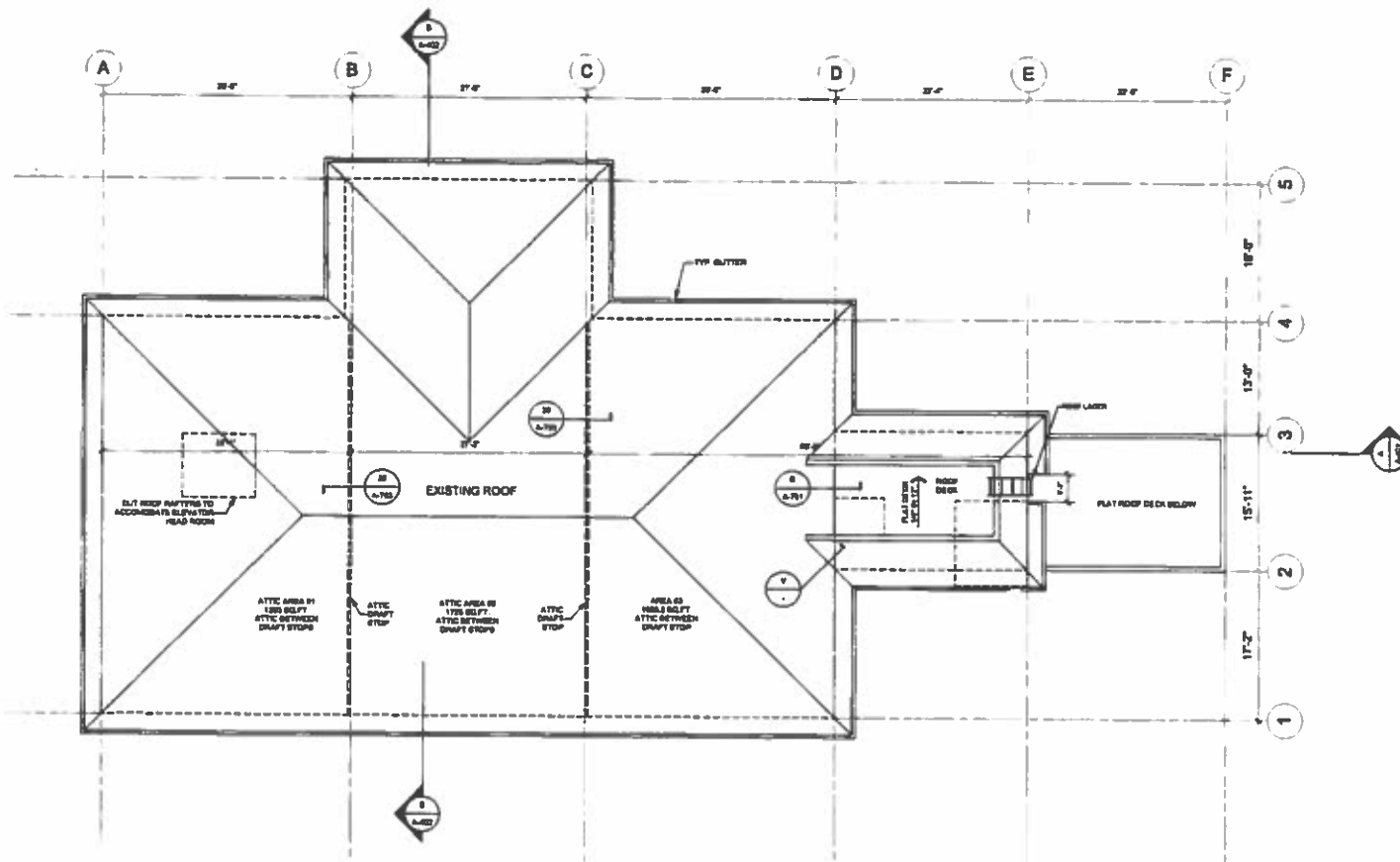
GUTTERS:
ALL GUTTERS TO BE METAL 6" DIAMETER, PAINTED BLACK.
GUTTERS TO DISCHARGE WATER TO METAL DOWNSPOUTS AND THROUGH SPASH PADS ONTO THE NATURAL GRADE.
DOWNSPOUTS TO BE PAINTED TO MATCH EXTERIOR WALL.

ROOF FASCIAS:
FIELD VERIFY CONDITION OF EXISTING FASCIAS. REPLACE WHERE DAMAGED WITH SIMILAR SIZE AND MATERIAL WITH FINISH MATCHING EXISTING.
PAINT FASCIAS BLACK (E) AND (N).
NEW FASCIAS TO MATCH EXISTING SHAPE AND STYLE.
USE CEDAR OR REDWOOD FOR FASCIA MATERIAL. FINISH GRADE.

DRAFT STOP:
DRAFT STOPS TO BE INSTALLED IN THE ATTIC SPACE AS SHOWN ON PLAN. THE DISTANCE TO DRAFT STOP TO BE NOT MORE THAN 80" DRAFT STOP TO BE 1/2" PLYWOOD ATTACHED TO THE SIDES OF EXISTING TRUSSES.

ANY PENETRATIONS THROUGH THE DRAFT STOP TO BE VIA SELF CLOSING DOOR WITH THE LATCH.

ANY DUCT PENETRATIONS THRU DRAFT STOP TO HAVE FIRE AND SMOKE DAMPERS.



3 ROOF PLAN
Scale: 1/8" = 1'-0"

1	REV	DATE
2	REV	DATE

MARK STOKLOSA ARCHITECT INC

800 EAST 30th STREET
SUITE 200
PLEASANTON, CA 94609
925-461-2000
WWW.MSA-INTL.COM

LIJOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

ROOF PLAN

DATE 10-12-07

SCALE 1/8" = 1'-0"

DRAWN BY ACS

PROJECT # 07-017

DRAWING #

A-303

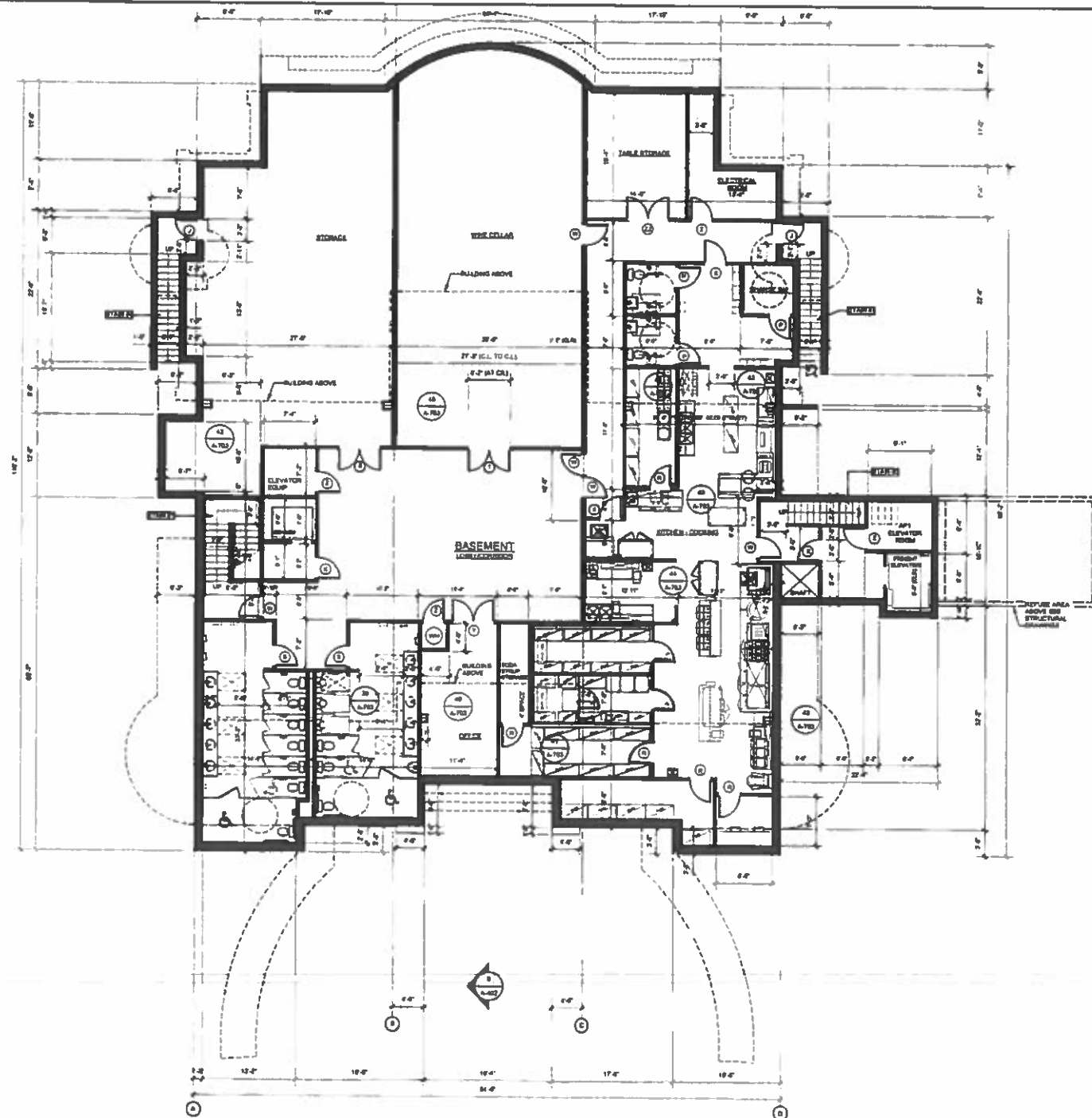
LEGEND

- 1/2" SIPRUM BOARD TYPE A
 3/8" HOOD STUDS AT 12" OC
 1/2" SIPRUM BOARD TYPE A
- 1" CONCRETE RETAINMENT BASEMENT WALL
 SMOOTH FINISH INSIDE
 ON OUTSIDE INSTALL WATERPROOF MEMBRANE
 1/4" PROTECTION BOARD AND 1" GRAVEL TRENCH
 AT BOTTOM OF THE FOUNDATION INSTALL 2" DIA
 PERFORATED PVC DRAIN LINE IN DRAIN FABRIC
- 1" CONCRETE RETAINMENT BASEMENT WALL
 ON INSIDE INSTALL 1/2" SIPRUM BOARD TYPE A
 AND 1/2" SIPRUM BOARD TYPE A
 ON OUTSIDE INSTALL WATERPROOF MEMBRANE
 1/4" PROTECTION BOARD AND 1" GRAVEL TRENCH
 AT BOTTOM OF FOUNDATION INSTALL 2" DIA
 PERFORATED PVC DRAIN LINE IN DRAIN FABRIC

NOTE:
 FOUNDATION DRAIN LINES TO BE CLEANED AND
 DISCHARGED PER CIVIL DRAWINGS PREPARED
 BY THE CIVIL ENGINEER

COORDINATE WITH KITCHEN EQUIPMENT AND
 PLUMBING DRAWINGS LOCATION OF ALL
 FLOOR DRAINS AND FLOOR SINKS AND PROVIDE
 REQUIRED FLOOR SURFACE SLOPE
 1/4" IN 12" TO THESE DRAINS

IN THE ELEVATOR PIT PROVIDE DRAIN WITH
 BACK FLOW PREVENTER AND ELEVATOR PUMP
 LUMBER IN CONTACT WITH CONCRETE TO BE
 PRESERVE TREATED WOOD
 FOR BATHROOMS SET A-604



1 BASEMENT PLAN
 SCALE: 1/8" = 1'-0"

- BASEMENT AREA:**
- 1 STORAGE
 - 2 KITCHEN AUXILIARY FUNCTIONS
 - 3 OFFICE FOR THE RESTAURANT
 - 4 WINE CELLAR
 - 5 BATHROOMS

MARK STOKLOSA ARCHITECT INC

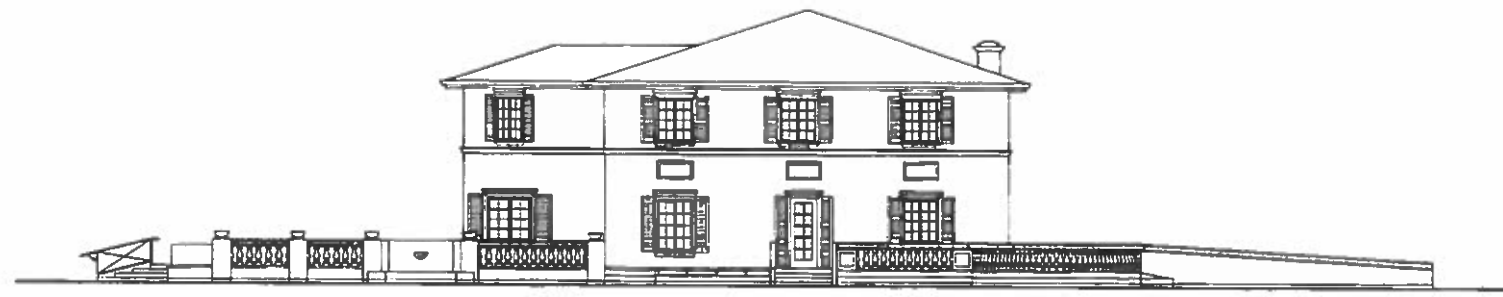
808 BART JOHN STREET
 SUITE 201
 PLEASANTON, CA 94566
 925 862 8800
 WWW.MSTOKLOSA.COM

**LILJOM FINE DINING CUISINE RESTAURANT
 AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
 FOR BARNABAS NAGY**

BASEMENT PLAN

DATE:	05-13-07
SCALE:	
DRAWN BY:	MS
PROJECT #:	07-017

A-304



③ LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



④ REAR ELEVATION
SCALE: 1/8" = 1'-0"

MARK
STOKLOSA
ARCHITECT
INC

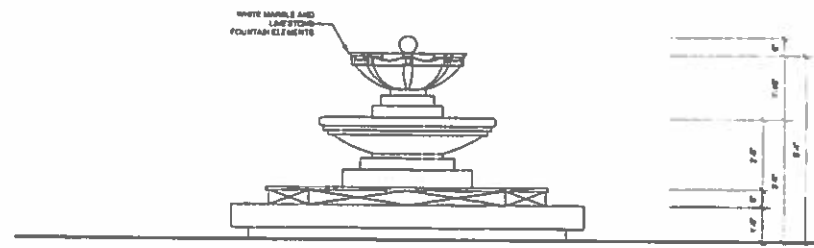
100 EAST JOHN STREET
SUITE 200
PLEASANTON, CA 94566
925-464-3300
925-464-3311

LILJOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

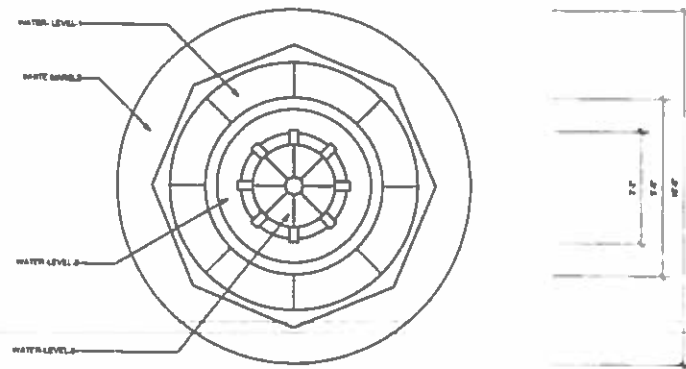
ELEVATION LA 100
SIDE

DATE: 10-13-07
SCALE: 1/8" = 1'-0"
DRAWN BY: MS
PROJECT #: 07-017

DRAWING #
A-401

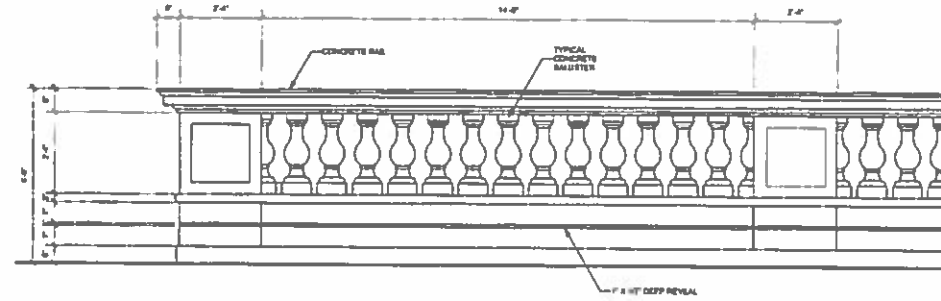


① ELEVATION
Scale: 1/2" = 1'-0"

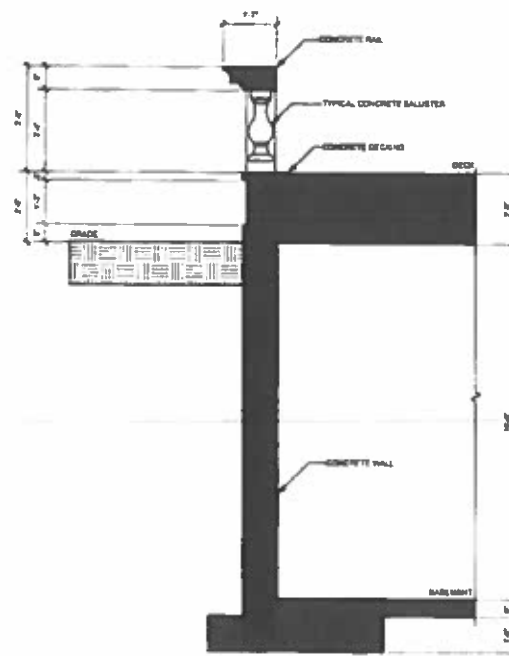


② PLAN
Scale: 1/2" = 1'-0"

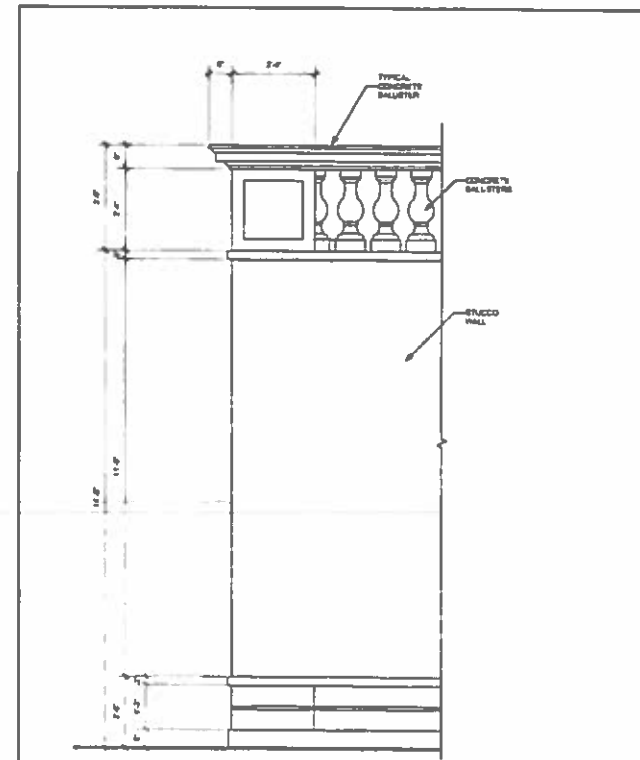
NOTE
FOUNTAIN TO BE MANUFACTURED WITH PROVIDER SHOP DRAWINGS FOR OWNER AND ARCHITECT REVIEW
ALL TECHNICAL DATA NEEDS TO BE FORWARDED TO THE MECHANICAL ENGINEER
TO ALLOW FOR APPROPRIATE SCHEDULE TO POWER AND WATER SOURCES
FOUNTAIN SHALL BE CLAD IN LAFSTONE AND SHALL HAVE THE LEAKS TO PREVENT WATER LEAKAGE TO OUTSIDE
MOTOR TO CONSERVE ENERGY AND WATER IN THE FOUNTAIN ASSEMBLY



① DECK RAILING ELEVATION
Scale: 1/2" = 1'-0"



② DECK RAILING
Scale: 1/2" = 1'-0"



① ROOF DECK RAILING
Scale: 1/2" = 1'-0"

MARK
STOKLOSA
ARCHITECT
INC

140 EAST JOHN STREET
SUITE 200
PLEASANTON, CA 94606
925 466 8800
925 466 8117

LILJOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

FOUNTAIN AND DECK
RAILINGS

DATE 10-13-07

SCALE

DRAWN BY MB

PROJECT # 07-017

DRAWING #

A-802

EAST WALL - SEE SHEET A-802



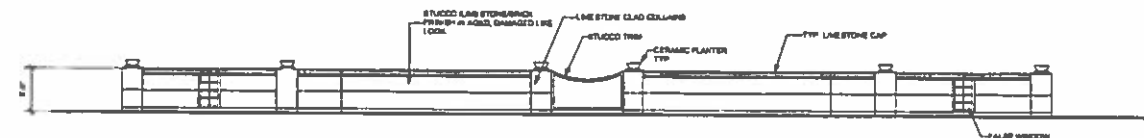
① EAST ELEVATION
Scale: 1/8" = 1'-0"



② NORTH ELEVATION
Scale: 1/8" = 1'-0"



③ SOUTH ELEVATION
Scale: 1/8" = 1'-0"



④ WEST ELEVATION
Scale: 1/8" = 1'-0"

WEST WALL - SEE SHEET A-802



Ⓐ EAST ELEVATION
Scale: 1/8" = 1'-0"

Ⓐ WEST ELEVATION
Scale: 1/8" = 1'-0"

DATE	15-10-07
SCALE	
DRAWN BY	MS
PROJECT #	07-011
DRAWING #	A-803

MARK STOKLOSA ARCHITECT INC

608 SAINT JOHN STREET
SUITE 202
PLEASANTON, CA 94566
925 468 8888
925 468 8917

LILJOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

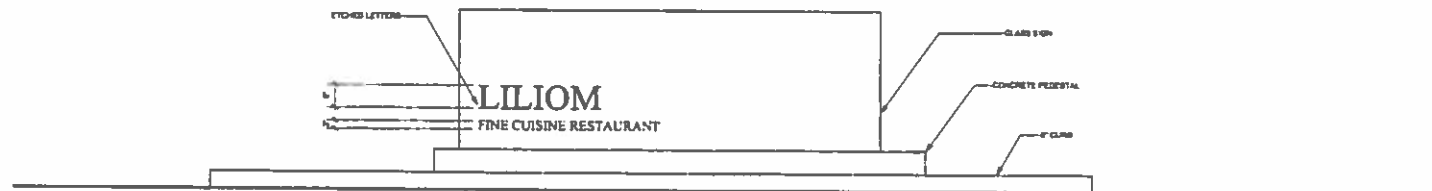
WALLS

DATE	15-10-07
SCALE	
DRAWN BY	MS
PROJECT #	07-011
DRAWING #	A-803

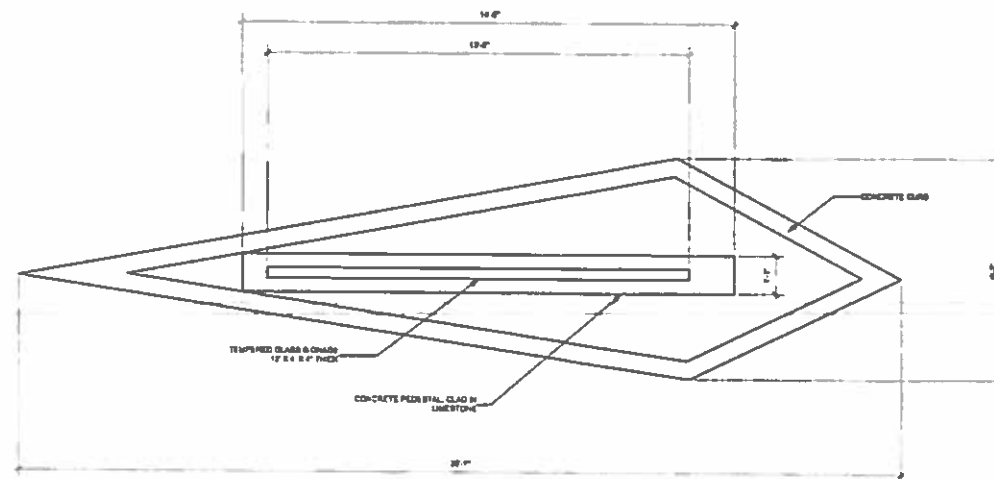
A-803



① WEST ELEVATION
Scale: 1/2" = 1'-0"



② EAST ELEVATION
Scale: 1/2" = 1'-0"



③ SIGN PLAN
Scale: 1/2" = 1'-0"

PROVIDE SHOP DRAWINGS FOR THE SIGN

NOTE:
 PROVIDE SHOP DRAWINGS FOR THE SIGNAGE MOUNTAGE
 PROVIDE LIGHT SUBMITTALS IN THE CONCRETE UNDERGRADE
 PROVIDE POWER SUPPLY FOR THE SIGNAGE
 VERIFY SIGNAGE FOUNDATION AND DESIGN WITH THE STRUCTURAL ENGINEER TO INSURE SIGNAGE STABILITY
 OBTAIN PERMIT FROM ALL AGENCIES TO INSTALL THE SIGNAGE

MARK STOKLOSA ARCHITECT INC

405 EAST JOHN STREET
 SUITE 202
 PLEASANTON, CA 94588
 925.461.2000
 925.461.8817

LILIOM FINE DINING CUISINE RESTAURANT
 AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
 FOR BARNABAS NAGY

TITLE

DATE 10-10-07

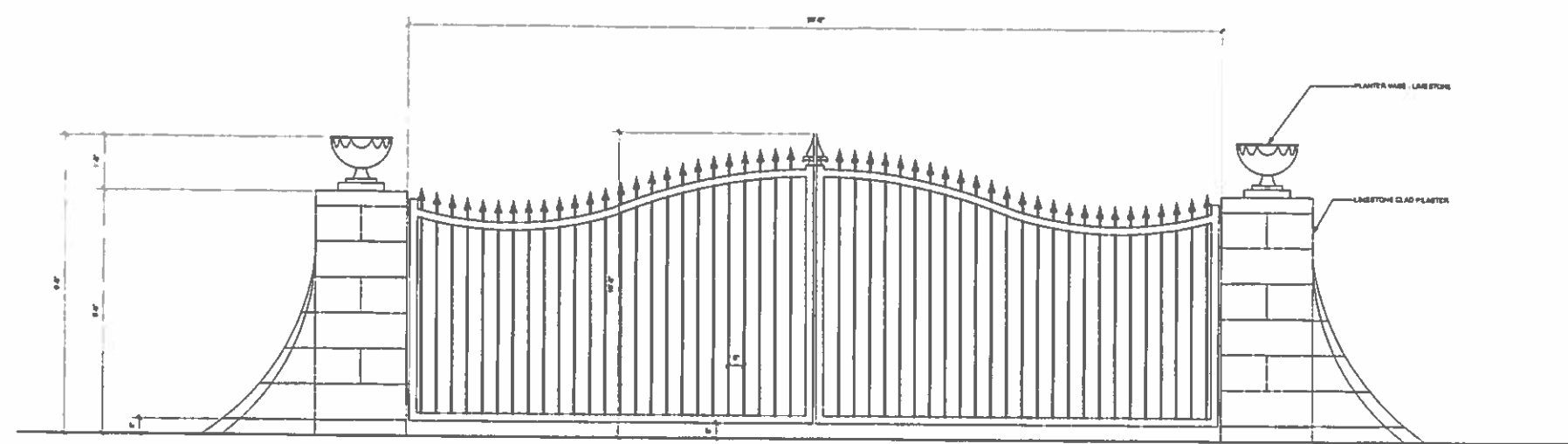
SCALE

DRAWN BY MS

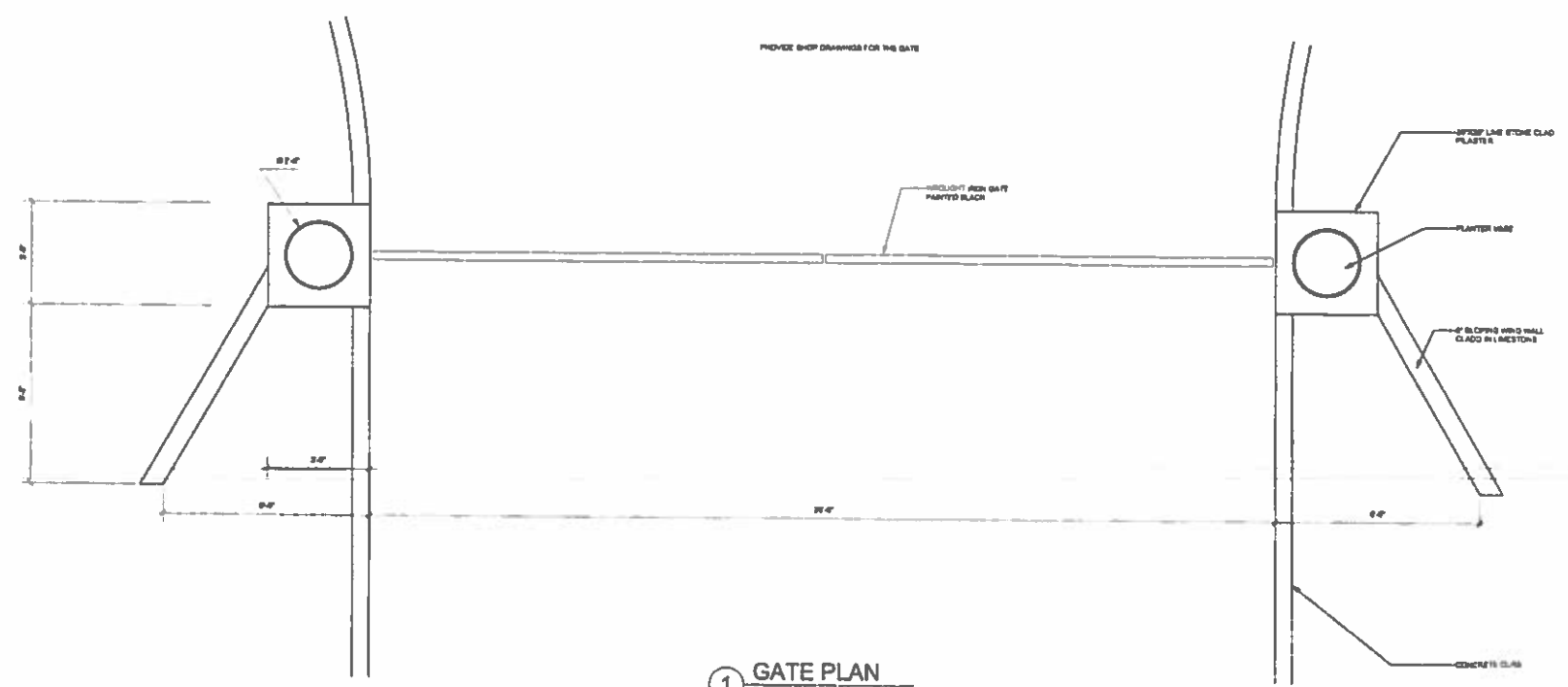
PROJECT # 07-017

DRAWING #

A-804



② GATE ELEVATION
Scale: 1/2" = 1'-0"



① GATE PLAN
Scale: 1/2" = 1'-0"

NOTE:
PROVIDE SHOP DRAWINGS FOR THE ARCHITECT AND
ENGINEER REVIEW PRIOR TO GATE ORDERING AND INSTALLATION

MARK
STOKLOSA
ARCHITECT
INC

400 SAINT JOHN STREET
SUITE 200
PLEASANTON, CA 94609
925-466-8844
800-466-8817

LILJOM FINE DINING CUISINE RESTAURANT
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON
FOR BARNABAS NAGY

GATE DETAILS

DATE	10-13-07
SCALE	
DRAWN BY	MQ
PROJECT #	07-017
DRAWING #	

A-805

From: James Masterson
Sent: Monday, June 05, 2017 4:04 PM
To: Jenny Soo
Subject: 2001 Ruby Hill Boulevard

Jenny as a 17 year resident of Ruby Hill I appreciate our community and its surrounding amenities but believe the last thing we need is yet another event center, particularly one as extensive as what is being proposed.
Thank you for listening.

Best regards,
James Masterson
██████ Gravina Place
Pleasanton, CA. 94566

From: Marjorie Wallace
Sent: Monday, June 05, 2017 4:59 PM
To: Jenny Soo
Subject: PUD 93-02-16 M

Hello Jenny,

Re: PUD 93-02-16M Hakam Mission

My husband and I live in Ruby Hill. We think it is a terrible idea to allow this proposal to go forward. The traffic, noise and the carbon footprint would be very detrimental to the peace and harmony of our community. We vote NO.

Thank you,

Marjorie and Ron Wallace

Marjorie Wallace
Better Homes & Garden Tri Valley

From: Rosanne Hoffman
Sent: Monday, June 05, 2017 6:15 PM
To: Jenny Soo
Subject: PUD-93-02-16M Hakam Mission, 2001 Ruby Hill Boulevard

Ms. Soo:

I am writing in response to the Notice of Public Hearing on the above project. I will be unable to attend the meeting, but as a 19 year resident of Ruby Hill I would like to record my protest to this project. This site was never intended for the proposed kind of use or activity, and its sheer size would pose a disturbance to the community in terms of noise, congestion, and potentially, crime, disrupting the quite enjoyment of the surrounding community by its residents.

I have never protested something before and am not sure if I need to do or say more to be sure to be on record as vehemently opposing this project.

Thank you for your time.

Rosanne Hoffman
[REDACTED] Spumante Place
Ruby Hill

Rosanne Hoffman

From: Joe Hartley ·
Sent: Monday, June 05, 2017 6:35 PM
To: Jenny Soo
Subject: Opposition to PUD-93-02-16M

I will not be in the country when the full report becomes available on line nor will I be here during the public hearing.

Based solely on the description on the yellow card that arrived in my mailbox today I am amazed that a development of this scale would even be considered as being consistent with Agriculture/Open Space/Low Density. We already have 2 conventions centers accessible on Vineyard and the increased traffic, noise pollution, air pollution, light pollution.

I don't see how this is consistent with the general plan of the City of Pleasanton.

Joe



From: Nisha Nagdev
Sent: Monday, June 05, 2017 9:32 PM
To: Jenny Soo
Subject: NO to hotel and conference center at Ruby Hill

I live in Ruby Hill. I am very opposed to a 42 room hotel and 672 person conference center being built in my residential area. Traffic getting to my house is ridiculous right now as it is. Isabel is always backed up and I don't see it easing up even after the construction is finished. Our only way home is Isabel or Vineyard.

We have two event centers already. But allowing a hotel and facility like the one proposed is turning the area into a commercial zone. The event centers have controlled hours and impact is minimal. The proposed center will be one that is accessed all the week and at all hours.

Also, I understood that the area was to be kept as agricultural space to maintain the open wine country setting. A hotel and 672 person space does not belong here.

Nisha Nagdev
[REDACTED] Pint Place
Pleasanton CA 94566

From: Manu Chauhan
Sent: Monday, June 05, 2017 / 9:38 PM
To: Jenny Soo
Subject: Against PUD-93-02-16M

Hi Jenny,

I am a resident of Ruby Hill. I respectfully ask you to deny the application for Hotel/Conference Center on 2001 Ruby Hill Blvd.

This will increase a lot of traffic and negatively affect the privacy of the community. Furthermore, it will negatively affect home values.

As a resident, I am voicing my opinion to deny this application.

Manu Singh

█ Grappa Pl

Pleasanton, CA 94566

From: Jackie Simone
Sent: Monday, June 05, 2017 3:49 PM
To: Jenny Soo
Subject: Hotel/conference Center in Ruby Hill

While I do not live in Ruby Hill I do live near the Concannon/Isabel intersection. This idea has to be one of the worst ideas ever. I absolutely am opposed to this idea and will do everything I can to make sure that other surrounding neighborhoods are informed of your proposal and join me in opposition.

Jackie Simone

From: Meihui Su
Sent: Monday, June 05, 2017 9:57 PM
To: Jenny Soo
Subject: Hotel on Ruby hill and vineyard

Hello

We got a notice about a hotel and conference center being built near our house. We live at [REDACTED] Zenato place. Pleasanton, CA.

We oppose the building because it will make our neighborhood more susceptible to noise and traffic. The hotel and conference center will also attract a lot of strangers near residential areas with families and small kids. The current traffic during rush hour is pretty bad already.

Thanks,
Meihui

From: Vinay Pohray
Sent: Monday, June 05, 2017 10:07 PM
To: Jenny Soo
Subject: Proposal : PUD-93-02-16M : Strongly Opposed.

Dear Jenny,

I am strongly opposed to the new proposal and urge the city to reject it forthwith. The location was been a small sales office and was not a 80,000+ sq feet facility. There are already several event centers in close proximity (namely Rubino, Ruby Hill Golf Club and Ruby Hill Winery).

- An additional ***672 attendees*** conference center right outside our door step means noise, pollution and event / weddings and constant traffic jams every weekend and Saturdays / Sunday with 600+ people attending daily.
- A 42-room hotel and bar means constant in and out traffic day and night, with a constant churn out of town strangers and potentially unwanted seediness catering to their 'night life' in a suburban family friendly neighborhood. We do not want a 2nd downtown here.
- Above proposal is the equivalent of a 1000+ people and cars trudging through our front yard every day and more on weekends. The proximity to our community's entrance of post wedding event, late night drunk revelers and bar patrons will mean a potential traffic and accident nightmare for our families and us residents.

We residents of Ruby Hill do not want to let our beautiful neighborhood vineyard turn into a parking lot and its sylvan character and our quiet, peaceful way of life be decimated.

Sincerely

Vin Pohray
[REDACTED] Rosso Ct

From: Nisha Nagdev
Sent: Monday, June 05, 2017 10:10 PM
To: Jenny Soo
Subject: Can not attend june 14 meeting

I can not attend the June 14th Planning commission meeting because I will be out of town. Please note my opposition to the hotel at the meeting.

Nisha Nagdev

From: Lisa Hartley
Sent: Monday, June 05, 2017 10:12 PM
To: Jenny Soo
Subject: Ruby Hill conference center with a capacity for 672

We are long time ruby hill residents and just got the notice of this proposed zoning change. We see absolutely no upside for the residents of Ruby Hill. Why would we want the extra traffic and congestion in an area not zoned for this commercial operation. As a 20 year resident I just wanted to share my concerns. We will be out of town for the planning meeting but please note we are not in support of this proposal. Thanks, Lisa Hartley

■■■■ Orvieto Court, Pleasanton CA 94566

From: Anel M. Abreu
Sent: Monday, June 05, 2017 11:11 PM
To: Jenny Soo
Subject: Proposed Ruby Hill Hotel

Hello Ms. Soo,

I was just made aware of the proposal to build a hotel in front of Ruby Hill. As a resident and homeowner of Ruby Hill I would like to make you aware to my opposition of this project. We do not see any benefit to us as residents of Ruby Hill, but instead see the risks of increasing traffic congestion as well as the potential of unwanted guests.

Thank you for your consideration.

Anel M. Abreu, D.O., M.S.

NOTICE: This E-mail contains information which is privileged, confidential and solely for the person or entity named above. If you are not the intended recipient or the person responsible for delivering this message to the intended recipient, be aware that any disclosure, copying, distribution or use of this information is STRICTLY PROHIBITED. If you have received this e-mail in error, please notify us by telephone, mail or e-mail, and destroy this communication. Thank you.

From: Lara T. Abreu
Sent: Monday, June 05, 2017 11:32 PM
To: Jenny Soo
Subject: Proposal : PUD-93-02-16M : Strongly Opposed.

To Whom It May Concern:

"I am strongly opposed to the new proposal and urge the city to reject it forthwith. The location had been a small sales office and not the currently proposed 80,000+ sq feet facility. There are already several event centers in close proximity (namely Rubino, Ruby Hill Golf Club and Ruby Hill Winery).

· An additional *672 attendees* conference center right outside our door step means noise, pollution from the event / weddings and constant traffic jams every weekend and Saturdays / Sunday with 600+ people attending daily.

· A 42-room hotel and bar means constant in and out traffic day and night, with a constant churn out of town strangers and potentially unwanted seediness catering to their 'night life' in a suburban family friendly neighborhood. We do not not want a 2nd downtown here.

· The above proposal is the equivalent of a 1000+ people and cars trudging through our front yard every day and more on weekends. The proximity to our community's entrance of post wedding event, late night drunk revelers and bar patrons will mean a potential traffic and accident nightmare for our families and us residents.

We residents of Ruby Hill do not want to let our beautiful neighborhood vineyard turn into a parking lot and its sylvan character and our quiet, peaceful way of life be decimated. I am strongly opposed to this new proposal and urge the city to reject it forthwith."

Sincerely,

Lara Abreu

From: Sharon ·
Sent: Monday, June 05, 2017 11:42 PM
To: Jenny Soo
Cc: Dick Tietgens
Subject: PUD-93-02-16M, Hakam Mission, 2001 Ruby Hill Blvd

Dear Ms Soo,

It would be a mistake to allow this project to be developed in Ruby Hill.

Our gate is already a backed up mess these days with all the weekend weddings, and other events. This project would surely make things worse.

Furthermore, a hotel with a sports bar would be a source of noise traffic, and drinking problems.

Please consider saying no to this project.

Thank You,

Sharon & Richard Tietgens

Ruby Hill residents since 1998

Sharon's iPhone ♥

From: Doris Hank
Sent: Tuesday, June 06, 2017 7:19 AM
To: Jenny Soo
Subject: 2001 Ruby Hill Blvd

Jenny

We are against the proposed development.

Doris and Jeff Hank
[REDACTED] Spotorno Court
Pleasanton
Sent from my iPad

From: stefan ·
Sent: Tuesday, June 06, 2017 7:46 AM
To: Jenny Soo
Subject: Proposal : PUD-93-02-16M : Strongly Opposed.

Dear Jenny Soo (Associate Planner),

I live in Ruby Hill.

"I am strongly opposed to the new proposal and urge the city to reject it forthwith. The location had been a small sales office and not the currently proposed 80,000+ sq feet facility. There are already several event centers in close proximity (namely Ruby Hill Golf Club and Ruby Hill Winery and Rubino).

- An additional *672 attendees* conference center right outside our door step means noise, pollution from the event / weddings and constant traffic jams every weekend and Saturdays / Sunday with 600+ people attending daily.

- A 42-room hotel and bar means constant in and out traffic day and night, with a constant churn out of town strangers and potentially unwanted seediness catering to their 'night life' in a suburban family friendly neighborhood. We do not want a 2nd downtown here.

- Above proposal is the equivalent of a 1000+ people and cars trudging through our front yard every day and more on weekends. The proximity to our community' s entrance of post wedding event, late night drunk revelers and bar patrons will mean a potential traffic and accident nightmare for our families and us residents.

We residents of Ruby Hill do not want to let our beautiful neighborhood vineyard turn into a parking lot and its winery/woods character and our quiet, peaceful way of life be decimated. i am strongly opposed to this new proposal and urge the city to reject it forthwith."

Thanks

Stefan Nohl

From: Steven Sun ·
Sent: Tuesday, June 06, 2017 8:13 AM
To: Jenny Soo
Subject: Proposed development at rubyhill gate - 2001 Rubyhill Blvd

Dear Jenny:

I am strongly opposed to the new proposal and urge the city to reject it forthwith. The location had been a small sales office and not the currently proposed 80,000+ sq feet facility. There are already several event centers in close proximity (namely Rubino, Ruby Hill Golf Club and Ruby Hill Winery). Hotels are abundant along 580. Such a development would mean a steep deterioration of life for Rubyhill residents. We will see you on 14th.

Thank you for your attention.

Steve Sun

Sent from my iPhone

Sent from my iPhone

From: Nancy Lee
Sent: Tuesday, June 06, 2017 11:02 AM
To: Jenny Soo
Subject: Proposal : PUD-93-02-16M : Strongly Opposed.

Dear Jenny

"I am strongly opposed to the new proposal and urge the city to reject it forthwith. The location had been a small sales office and not the currently proposed 80,000+ sq feet facility. There are already several event centers in close proximity (namely Rubino, Ruby Hill Golf Club and Ruby Hill Winery).

- An additional *672 attendees* conference center right outside our door step means noise, pollution from the event / weddings and constant traffic jams every weekend and Saturdays / Sunday with 600+ people attending daily.
- A 42-room hotel and bar means constant in and out traffic day and night, with a constant churn out of town strangers and potentially unwanted seediness catering to their 'night life' in a suburban family friendly neighborhood. We do not want a 2nd downtown here.
- Above proposal is the equivalent of a 1000+ people and cars trudging through our front yard every day and more on weekends. The proximity to our community's entrance of post wedding event, late night drunk revelers and bar patrons will mean a potential traffic and accident nightmare for our families and us residents.

We residents of Ruby Hill do not want to let our beautiful neighborhood vineyard turn into a parking lot and its sylvan character and our quiet, peaceful way of life be decimated. i am strongly opposed to this new proposal and urge the city to reject it forthwith."

Nancy lee

Sent from my iPhone

From: X. Shaw Li
Sent: Tuesday, June 06, 2017 11:27 AM
To: Jenny Soo
Subject: Re: PUD-93-02-16M, Hakam Mission, 2001 Ruby Hill Blvd`

Good morning Jenny,

My name is Shaw and I want to write to you to raise the concern about this proposal.

With the size of the hotel, the event center, spa facility and sports bar and 167 parking parking and capacity for 672 people, there will be loud noise at night, heavy in and out traffic along vineyard ave and Ruby Hill drive during the day. And the hotel is too close to Ruby Hill community (literally next to the sidewalk and Ruby Hill east gate.

I particularly concern the smoke and smell generated by cooking from the restaurant and its proximity to the residential area and walkway people walk by and jogging. It will definitely affect the people live in the community.

Lastly, the alcohol serving sport bar is too close to residential area and may have negative influence for those kids living in the community.

I strongly recommend the city of Pleasanton to not approve the plan and ask Kakam Mission to revise the plan to address those concerns.

Thank you so much for your time,
Shaw

From: Denise Lair
Sent: Tuesday, June 06, 2017 1:50 PM
To: Jenny Soo
Subject: proposed plan on Vineyard

I received a notice regarding PUD-93-02-16M, Hakam Mission, 2001 Ruby hill Blvd.

I have lived at [REDACTED] Zenato Place for 21 years. I have always known that the surrounding land would be built up. However, I have some concerns regarding this proposed plan.

1. There are already 3 event centers within a mile of my house. It seems that should be plenty for the immediate area.
2. On top of that, add a a conference center (huge non-natural structure in the vineyard setting) and a noisy sports bar in my front yard.
3. I can live with the restaurant and the spa because they will be closed by 10-11PM. However, a 42-room hotel and its parking lot will be active nonstop 24 hours per day. Maybe a small boutique hotel with 10-12 rooms would be more fitting for the neighborhood.

This is a monster sized development, Please ask the city planners to rethink this proposal.

Thank you, Denise Lair

From: surjeet singh
Sent: Tuesday, June 06, 2017 2:50 PM
To: Jenny Soo
Cc: Mumma Arora 🌟
Subject: PUD930216m

Dear Jenny Soo & City Planning Committee,
We are residents of rubyhill and would like to urge you to deny the application for PUD-93-02-16M, Hakam Misson, 2001 Ruby Hill Boulevard.
There are numerous reasons that we believe the recommended PUD is not in the best interest of the RH residents, we've listed a few below:

Construction Concerns

- More construction (we've already been living through the 84 expansion, and the CEMEX dust & debris)
- Concern over the current sewer and water infrastructure and what would be needed to support such a large project (especially since Livermore and Pleasanton would need to be involved as RH residents pay sewer to both cities)
- Concern over the expansion of Vineyard in order to accommodate the increased traffic

Neighborhood / Safety Concerns

- Negative impact on the privacy we have in this community
- Negative impact on home values
- There are already 3 event spaces in a 2.5 mile radius
 - Ruby Hill Golf Club: 3400 W Ruby Hill Dr, Pleasanton, CA 94566
 - Casa Real: 410 Vineyard Ave, Pleasanton, CA 94566
 - Palm Event Center: 1184 Vineyard Ave, Pleasanton, CA 94566
- Constant churn of out of town strangers and potentially unwanted seediness catering to their 'night life' in a suburban family friendly neighbourhood. We do not want a 2nd downtown here.
- The proximity to our community's entrance of post wedding event, late night drunk revelers and bar patrons will mean a potential traffic and accident nightmare for us residents
- Increased break-ins due to increased activity (similar to what has been going on in the Campo de Bocce center)

Traffic Concerns

- Increased traffic, noise and carbon footprint
- Above proposal is the equivalent of a 1000+ people and cars trudging through our front yard every day and more on weekends.
 - A ***672 attendees*** conference center means events / weddings and constant traffic jams every weekend and Saturdays / Sunday with 600+ people
 - A 42-room hotel and bar means constant in and out traffic day and night

The residents of Ruby Hill do not want to let our beautiful neighborhood vineyard turn into a parking lot and its sylvan character and our quiet, peaceful way of life be decimated.

We are strongly opposed to this new development.

Sincerely,

Surjeet and Sonia

via di Salerno

Pleasanton CA 94566

From: jmhope
Sent: Tuesday, June 06, 2017 3:27 PM
To: Jenny Soo
Subject: PUD-93-02-16M, 2001 Ruby Hill Boulevard

We received your Notice of Public Hearing regarding PUD-93-02-16M at 2001 Ruby Hill Boulevard. As long time residents of Ruby Hill Community we are vehemently opposed to the mere possibility of this proposal. The massive expansion of the existing structure and development of a 42 room hotel and conference center at the entrance of our homes is so wrong for this property. Where the city would think that this would even be acceptable is beyond belief. The amount of traffic and strangers coming into our private peaceful community is like putting this in the middle of any developed neighborhood and thinking it is okay. Our property values would plummet. We already have homeless coming into the gated community and sleeping in bushes (yes that happened recently and I saw it personally) coming in off of Vineyard and now with additional cars and strangers it is only the next logical thought that our safety and security will be brought into question. This proposal in its entirety must be rejected by the city.

Sincerely

Jan and Craig Hope
Pomino Way
Ruby Hill

From: Yen Lee
Sent: Tuesday, June 06, 2017 3:55 PM
To: Jenny Soo
Subject: Planned Development at 2001 Ruby Hill Boulevard

Dear Mrs. Soo,

I have been a Ruby Hill resident since 2004 and I strongly oppose the development plan for 2001 Ruby Hill Boulevard. We currently have the Palm Event Center and Casa Real right outside our gates for events so I don't think we need anymore event centers. In the last few years we have seen a significant increase in traffic and noise in our area. Currently, I get stuck in traffic when returning from Livermore on the 84 and Vineyard junction! Many days, it feels that we are landlocked in our own community and have no options to just get home in a hurry.

I understand that people gravitate to Ruby Hill because it is a beautiful living environment surrounded by vines. Residents here are proud of their surroundings and cherish what we have. Sadly, with continued highway expansions and planned developments like the aforementioned project, our community will no longer enjoy the peaceful living which has attracted countless home buyers over the years.

I believe Pleasanton has been careful with city planning and this has helped this city become such a coveted place to live in. Please do not let the monetary return of the planned development change the strong stance Pleasanton has always had about over development.

Sincerely yours,

Yen and Andrew Lee
Residents of [REDACTED] Via Di Salerno,
Pleasanton, CA

From: Karen
Sent: Tuesday, June 06, 2017 4:41 PM
To: Jenny Soo
Subject: Proposed hotel and event site near Ruby Hill

We are 8 year residents of Pleasanton and Ruby Hill neighborhood. We moved to this area of Pleasanton for the golf club, beautiful neighborhood, and quiet vineyard-studded pathways. And in doing so we gave up the conveniences of living closer to town. If we had know that the private land that housed the sales office would be turned into a bar, hotel and event center, we would have bought elsewhere.

As it is, there is already massive congestion in the Ruby Hill area with golf club events, two nearby wineries with event centers and endless construction on Isabel, Vallecitos, and Hwy 84.

We are for steady, measured growth for Pleasanton, however this development would be a horrific addition and drive many people from the area.

We implore you not approve this development.

Thank you.

Phil & Karen Brace
[REDACTED] Torlano Place

From: Daniel Sonsino -
Sent: Tuesday, June 06, 2017 5:15 PM
To: Jenny Soo
Subject: Proposal : PUD-93-02-16M : Strongly Opposed.

Hello Jenny I am a 7 year resident in Pleasanton residing in Ruby Hill. I am strongly opposed to the new proposal and urge the city to reject it immediate . The location had been a small sales office and not the currently proposed 80,000+ sq feet facility. There are already several event centers in close proximity (namely Rubino, Ruby Hill Golf Club and Ruby Hill Winery).

- An additional *672 attendees* conference center right outside our door step means noise, pollution from the event / weddings and constant traffic jams every weekend and Saturdays / Sunday with 600+ people attending daily.
- A 42-room hotel and bar means constant in and out traffic day and night, with a constant churn out of town strangers and potentially unwanted seediness catering to their 'night life' in a suburban family friendly neighborhood. We do not want a 2nd downtown here.
- Above proposal is the equivalent of a 1000+ people and cars trudging through our front yard every day and more on weekends. The proximity to our community's entrance of post wedding event, late night drunk revelers and bar patrons will mean a potential traffic and accident nightmare for our families and us residents.

We residents of Ruby Hill do not want to let our beautiful neighborhood vineyard turn into a parking lot and its sylvan character and our quiet, peaceful way of life be decimated. i am strongly opposed to this new proposal and urge the city to reject it forthwith.

I will be at the hearing and will make my voice heard at the hearing and at the elections

Thanks

Daniel Sonsino

From: Kendra Yamasaki
Sent: Tuesday, June 06, 2017 5:18 PM
To: Jenny Soo
Cc: Kendra Yamasaki
Subject: Zoning Change 2001 Ruby Hill Blvd

Dear Jenny,

We are residents of Pleasanton and live at [REDACTED] Germano Way in Ruby Hill. I am writing to express my strong concerns for any change in the zoning for the property in question. We oppose such a change due to the serious traffic congestion that this will create, and the fact that another event center/hotel, is not needed in Pleasanton. The proposal would severely alter the residential surroundings of our community and could possibly create a safety hazard for the residents and children living in the neighboring community. Please support our view and oppose any change to the zoning of this property. If you require any further comment from us please do not hesitate to call.

Thank You

Steve & Kendra Yamasaki

From:
Sent: Tuesday, June 06, 2017 5:35 PM
To: Jenny Soo
Subject: Ruby Hill Development

The purpose of this message is express opposition to the proposed hotel, event center and sports bar at the old Ruby Hill sales office.

Everyone including me opposes the use of this property for this purpose.

1. There are already 5 event centers (Casa Real, Rubino, Campo di Bocce) within walking distance of Ruby including 2 inside the gates.
2. Traffic at the main gate to Ruby is already bad with visitors, contractors and property owners.
3. Ruby Hill is a residential community. A medium size commercial development right next door will reduce the property values and was never part of the original community plan.

While it is not a scientific poll, I cannot find one person (at least 40 are against it including our board).

Thank you for your support in not approving this proposal.

Alan Welco
Campinia Place

Sent from [Mail](#) for Windows 10

From: Kevin Woo
Sent: Tuesday, June 06, 2017 6:04 PM
To: Jenny Soo; JudyWoo; kwoo4424@gmail.com
Subject: Vote NO to PUD Major Modification to the Ruby Hill

Jenny,

As a resident of Ruby Hill community, I advise a resounding NO vote to the planned proposed PUD to expand the existing former RH sales office in order for a 42 room Hotel / Restaurant/ spa facility/ sports bar/ art gallery/ conference center for 672 attendees and 176 space parking lot to be built.

Ruby Hill is a quiet bedroom community of Pleasanton. Crime is low and the nights are tranquil.

There is really no reason for this PUD other than for someone's capital venture.

There already exists a nearby restaurant/sports facility (i.e. Campo Di Bocce --which by the way has recently has gained recent infamy for its spate of car breakins). There exists 2 rather large conference center venues literally mile from each other on Vineyard Ave, and on event nights the traffic on Vineyard is most aggravating.

By increasing the burgeoning traffic and noise pollution and not to mention the safety/security issues; these are all not warranted for this unnecessary venture.

Jenny, please respect the wishes of the populace this PUD would affect. Check the poll numbers.

Kevin and Judy Woo

From: SUSAN ·
Sent: Tuesday, June 06, 2017 6:52 PM
To: Jenny Soo
Cc: Livermore Independent
Subject: Proposed Ruby Hill project

Dear Ms. Soo,

We just received information on Nextdoor that the City of Pleasanton is considering allowing a large event center to be constructed near the gate at Ruby Hill. While our home is located in Livermore in the Los Olivos neighborhood, we believe that given our close proximity to the proposed project (less than 3 miles) individuals in the surrounding Livermore areas should also be given both notice and an opportunity to comment on the project. We know first hand from the on-going construction by CalTrans that increased traffic on Vineyard has greatly impacted the residents of both Livermore and Pleasanton.

Please advise if the City of Pleasanton intends to expand its future notice of the proposed Ruby Hill project to individuals in the surrounding Livermore neighborhoods. At the very least, wouldn't it be in good form to publish notice of the meetings in The Independent, the local Livermore weekly paper?

Thank you,
Susan J. Sherrill, Esq.

P.s. - I've cc'd The Independent with this email, so that you will have its contact info.

From: Ken <
Sent: Tuesday, June 06, 2017 7:39 PM
To: Jenny Soo
Subject: Ruby Hill Hotel

As a Pleasanton resident I would like to let you know I oppose building a hotel in the Ruby Hill area traffic and congestion is bad enough already.

Sincerely,
Ken Coffey

Sent from my iPad

From: Cathe
Sent: Tuesday, June 06, 2017 7:52 PM
To: Jenny Soo
Subject: Ruby Hill hotel

Please say "NO" to a hotel at Ruby Hill. We don't need it or want it.

Sent from my iPhone



From: craigersh
Sent: Tuesday, June 06, 2017 8:23 PM
To: Jenny Soo
Subject: Signed petition against Proposed Ruby Hill Hotel
Attachments: RubyHillResponsetoPUD-93-02-16M.docx; ATT00001.txt

Attached please find a petition regarding the building of a hotel adjacent to Ruby Hill subdivision. My wife stopped in earlier today to get the proposed plans. After discussing the impact on our neighborhood, we and our neighbors are opposed to this proposal.

Thank you for paying attention to this petition and we look forward to the right decision being made - not allowing this development to proceed.

Respectfully yours,

Craig Halberstadt
Merrilyn Robinson
█ Forenza Ct
Pleasanton, CA. 94566

From: Melinda Chou -
Sent: Tuesday, June 06, 2017 9:01 PM
To: Jenny Soo
Subject: Ruby Hill Response to PUD-93-02-16M

Ruby Hill Response to PUD-93-02-16M

Dear Jenny Soo & City Planning Committee,

The residents of Ruby Hill, as signed below, would like to urge you to deny the application for PUD-93-02-16M, Hakam Misson, 2001 Ruby Hill Boulevard.

There are numerous reasons that we believe the recommended PUD is not in the best interest of the RH residents, we've listed a few below:

Construction Concerns

- More construction (we've already been living through the 84 expansion, and the CEMEX dust & debris)
- Concern over the current sewer and water infrastructure and what would be needed to support such a large project (especially since Livermore and Pleasanton would need to be involved as RH residents pay sewer to both cities)
- Concern over the expansion of Vineyard in order to accommodate the increased traffic

Neighborhood / Safety Concerns

- Negative impact on the privacy we have in this community
- Negative impact on home values
- There are already 3 event spaces in a 2.5 mile radius
 - Ruby Hill Golf Club: 3400 W Ruby Hill Dr, Pleasanton, CA 94566
 - Casa Real: 410 Vineyard Ave, Pleasanton, CA 94566
 - Palm Event Center: 1184 Vineyard Ave, Pleasanton, CA 94566
- Constant churn of out of town strangers and potentially unwanted seediness catering to their 'night life' in a suburban family friendly neighbourhood. We do not want a 2nd downtown here.
- The proximity to our community's entrance of post wedding event, late night drunk revelers and bar patrons will mean a potential traffic and accident nightmare for us residents
- Increased break-ins due to increased activity (similar to what has been going on in the Campo de Bocce center)

Traffic Concerns

- Increased traffic, noise and carbon footprint
- Above proposal is the equivalent of a 1000+ people and cars trudging through our front yard every day and more on weekends.
 - A ***672 attendees*** conference center means events / weddings and constant traffic jams every weekend and Saturdays / Sunday with 600+ people
 - A 42-room hotel and bar means constant in and out traffic day and night

The residents of Ruby Hill do not want to let our beautiful neighborhood vineyard turn into a parking lot and its sylvan character and our quiet, peaceful way of life be decimated.

We are strongly opposed to this new development.

Sincerely,

Eryka & Brad Wetherall [REDACTED] Sangro Ct, Pleasanton, CA 94566
Judy & Brian Howard [REDACTED] Nicosia Ct., Pleasanton, CA 94566
Diana & Joe Repac [REDACTED] Varese Ct, Pleasanton, CA 94566
Christine & Dominic Ruso [REDACTED] Pomezia Ct., Pleasanton, CA 94566
Dinesh and Savita Shrimali [REDACTED] Via Di Salerno, Pleasanton, CA
94566
Nisha and Sunil Nagdev [REDACTED] Pineto Place, Pleasanton, CA 94566
Muvjot Singh [REDACTED] Grappa Pl Pleasanton, CA 94566
Amit Shah [REDACTED] Gravina Pl, Pleasanton, CA 94566
Vin Pohray [REDACTED] Rosso Ct, Pleasanton, CA 94566
Jen Lee [REDACTED] Trebbiano Pl. Pleasanton, CA 94566
Sudha & Murali Peruvemba [REDACTED] E Ruby Hill Dr, Pleasanton, CA
Marie and Paul Gaynor [REDACTED] East Ruby Hill Dr., Pleasanton, CA 94566
Shagun and Sunil Popli [REDACTED] Via Di Salerno, Pleasanton, Ca 94566
Archana and Nitin Bhandari [REDACTED] Germano Way, Pleasanton, CA 94566
Jack and Denise Kudale [REDACTED] Varese Ct., Pleasanton CA 94566
Paul and Linda Salsgiver [REDACTED] Varese Ct., Pleasanton, CA 94566
James & Mary Masterson [REDACTED] Gravina Place, Pleasanton, CA 94566
Joe & Lisa Hartley [REDACTED] Orvieto Court, Pleasanton CA 94566
Matt Mantaro [REDACTED] Raboli Street, Pleasanton, CA 94566
Audrey Charles [REDACTED] Raboli Street, pleasanton CA. 94566
Chuck and Ann May [REDACTED] Armondo Ct. Pleasanton, CA
Debbie & JB Orecchia [REDACTED] Germano Way, Pleasanton
Alan and Elaine Welco [REDACTED] Campinia Place, Pleasanton, CA
Carol & Larry Sparks [REDACTED] Paladin Way, Pleasanton
Andrew & Kerri Hunter [REDACTED] Romano Circle, Pleasanton, CA 94566
Richard and Teri Pledereder [REDACTED] Zenato Place, Pleasanton, CA
94566 [REDACTED]
Kuok Ling and SUk Yong [REDACTED] Vetta Dr, Livermore, CA 94550
Leo & Patty Scrivner [REDACTED] Varese Ct. Pleasanton, CA 94566
Jack & Carol Sum [REDACTED] Avio Ct., Pleasanton, CA 94566
Craig Halberstadt & Merrillyn Robinson [REDACTED] Forenza Ct., Pleasanton, CA 94566
Alexey Krasnoriadtsev [REDACTED] Trebbiano Pl, Pleasanton, CA 94566
Joulia Tchembrovskaja [REDACTED] Trebbiano Pl, Pleasanton, CA 94566
Tom and Madelyn Arthur [REDACTED] Sorano Court, Pleasanton, Ca 94566
Melinda Chou [REDACTED] Gravina Pl, Pleasanton, CA [REDACTED]

From: George
Sent: Tuesday, June 06, 2017 9:34 PM
To: Jenny Soo
Subject: Proposed Hotel, Event Center, etc. near Ruby Hill

Too Whom it May Concern,

I live in the Prima Neighborhood in Livermore and we frequently go to Downtown Pleasanton for Dinner. It is felt that the proposed development is not a good idea. Presently there are restaurants in downtown area that are closed out of business.

Adding a complex of this nature would only add to the All Ready Heavy Traffic in the area of Ruby Hill and the South Livermore residential Areas.

I plan on attending the meeting at the Planning Commission on June 14th @ 7:00 PM.

Regards,

George Hastings

Sent from my iPhone

From: Sunil Nagdev
Sent: Tuesday, June 06, 2017 9:34 PM
To: Jenny Soo
Subject: ruby hill

it would be a disaster to have a hotel outside of Ruby. This is not what we signed up for when we moved here 19 years ago. We love the community and having a hotel will change the atmosphere of the community.

--
Thanks,

Sunil

From: Scott Yoo ·
Sent: Tuesday, June 06, 2017 9:48 PM
To: Jenny Soo
Subject: PUD-93-02-16M
Attachments: Planning Commission 6.6.2017.docx

Dear Ms. Soo: Yesterday I left you a voice mail message expressing my strong opposition to the application for the Major Modification to the Ruby Hill PUD. As you may remember, I have visited your office several times to educate myself about this proposed development since I learned about the original PUD from the disclosures in the sales documents for the Ruby Hill home I purchased back in 2012. You have always been so helpful and professional.

I am attaching a letter formally opposing the newly proposed hospitality and event center and the related bar, restaurant, spa and hotel. I tried to articulate specific concerns that should be considered by the Planning Commission in their deliberations on this matter. For good reason, I am suspicious of the applicants. I hope that this latest excessive application is not just a ruse to get a smaller, but still objectionable, project approved by the Commission. In any event, would you please ensure that the Commission receives my letter in advance of the June 14 hearing on the matter. I do plan to be in attendance. Thank you so much. Richard (Scott) Yoo

From: Bonirussak
Sent: Tuesday, June 06, 2017 10:15 PM
To: Jenny Soo
Subject: Hotel in Ruby hill

I think it sounds wonderful as long as approach is not through main gate but off Vineyard Avenue Sincerely Bonnie
Russak RH Club member

Sent from my iPhone



From: Grant Moore
Sent: Tuesday, June 06, 2017 10:42 PM
To: Jenny Soo
Subject: Hakam Mission

>
> Jenny
>
> I am a Ruby Hill homeowner and am opposed to the proposed hotel and conference center. There are already multiple wineries with conference centers in the neighborhood. The parking lot would take away from the landscape, the traffic gets bad already and adding another significant traffic congestion , noise etc make this completely unacceptable.
>
> A few years ago they were trying to put a five star restaurant in the location which I thought would be nice but hotel and conference center makes no sense to me
>
> Thank you
>
> Grant Moore
> [REDACTED] Romano Cir
> Pleasanton
>
> Sent from my iPhone 7 Plus
>
>
> Sent from my iPhone 7 Plus

From: Abha <
Sent: Tuesday, June 06, 2017 11:28 PM
To: Jenny Soo
Subject: Hotel and conference center at Ruby Hill and Vineyard

Hi Jenny,

I do not support the building of the hotel and conference center at this intersection of Ruby Hill and vineyard. This is going to cause immense traffic congestion in an already extremely congested situation on vineyard and 84

Abha

Sent from my iPhone





June 6, 2017

Sent US Mail & Email to: Jsoo@cityofpleasanton.ca.gov

Jenny Soo
City of Pleasanton
200 Old Bernal Ave
Pleasanton, CA 94566

Re: Ruby Hill Owners' Association Concerns
Palazzo Hospitality Center – 2001 Ruby Hill Blvd, Pleasanton, CA 94566

Dear Sirs/Madams:

This letter is being sent on behalf of the Board of Directors of the Ruby Hill Owners' Association located in Pleasanton, CA. We understand that you have a regular scheduled meeting June 14, 2017 and a workshop has been tentatively placed on the agenda for the proposed development plans at 2001 Ruby Hill Blvd (Palazzo Hospitality Center).

The Board of Directors would like to share a few of their concerns for your thoughtful consideration:

- **Traffic Impact on Vineyard Avenue** - with the main entrance to the Ruby Hill Community being on Vineyard Avenue, as well as two (2) other existing event centers, the additional traffic from a third event center on Vineyard will be virtually unmanageable. The Main Gate entrance alone receives upwards of 3000 trips per day (without any special events).
- **Ingress and Egress** - the applicant's site improvement plans show its only entrance to the property with a right in and right out. We are unable to determine if there is a deceleration and loader lane provided for vehicles traveling towards downtown Pleasanton. Additionally, we believe the proposed development entrance is located too close in proximity to the sweeping curve on Vineyard Ave; Vineyard Ave is a high-speed road. The Board feels very strongly that a comprehensive traffic study should take place to analyze if the proposed entrance is a safety risk as well as a potential traffic nightmare for this very important intersection.
- **Noise** – there are several homes in close proximity to the existing building (proposed B&B). Sound does carry in Ruby Hill, perhaps more than in other areas, and the noise generated by a 600 person event center would undoubtedly interfere with the peace and enjoyment of the surrounding neighbors.
- **Water and sewer lines** – we understand the applicant is proposing to tie into a sewer connection at or near the fire department. Does the applicant also intend to get their domestic water supply from that location? The Owners' Association would not be in a position to grant any utility tie-ins for sewer or water from our existing infrastructure.
- **Proposed on-site parking (lack of parking and overflow)** – the plans lack the number of adequate and required parking spaces for the proposed development.



- **Land use and restrictions** - this piece of property was restricted to 2.5 acres of developable land. The proposed plans far exceed this restriction. In addition, the use was limited to functions directly and exclusively relating to agricultural/wine grapes.
- **Mass and style of structure** – the sheer mass of the proposed structure (event center) is not in harmony with the surrounding architecture.
- **Landscaping** - the applicant is attempting to supplement its landscaping improvements by stating that the beauty of the grapevines will be its theme. We would like to point out that grape vines go dormant from November thru March every year and provide no value towards landscaping during that period. The vineyard corridor is one of the most beautiful areas in the City of Pleasanton. The applicants overall landscape design is unattractive looking & inconsistent with surrounding properties.

As you are aware, documents were put in place years ago to ensure the commercial properties along Vineyard Avenue preserved the aesthetic and historical developmental intent for this part of the City. The development plans for the Palazzo Hospitality Center are not in line with those documents.

The Board of Directors does not speak for or represent the views of all residents within the community as they have not been a part of the review process. However, the Board has a fiduciary responsibility to look after the interests of the Ruby Hill Community as a whole. We believe that this development would detract from the rural appeal of the neighborhood and would have a negative effect on property values.

From our experience with other proposed developments at this location, this development would not be viewed favorably by the residents of Ruby Hill.

Thank you for your time and consideration of our concerns.

Sincerely,
For the Board of Directors, Ruby Hill Owners' Association

Katherine Fonte
Association Manager

cc: Board of Directors
Association Files
Nelson Fialho, City Manager - nfialho@cityofpleasantonca.gov
Gerry Beaudin, Director of Community Development - gbeaudin@cityofpleasantonca.gov
City Council Members
Planning Commission Members

From: Michelle Seabrook
Sent: Wednesday, June 07, 2017 9:27 AM
To: Jenny Soo
Subject: PUD-93-02-16M Hakam Mission, 2001 Ruby Hill Blvd

Dear Jenny,
I have read your Notice for the 2001 Ruby Hill Blvd and want to submit to you my objection for such a huge project. Just a 20,419 sq ft Hotel seems to much, but for sure I do not want a 62,175 sq ft facility with bar and conference center. For sure 176 space parking lot will be a eye- sore too. Please do not approve.
Sincerely,
Michelle Seabrook
Property Owner at Ruby Hill

From: Mel H
Sent: Wednesday, June 07, 2017 9:59 AM
To: Jenny Soo
Subject: PUD-93-02-16M 2001 Ruby Hills Blvd

Hello,

I am writing to you to voice my disapproval for the proposed hotel and spa development at the corner of Vineyard Ave and Ruby Hills Blvd. I have lived in this area for two decades and the traffic on Vineyard and Isabel avenue has become totally unbearable. This hotel would compound the issues. There would be a huge increase in traffic if this construction were to be approved. There would also be a noise issue with the hotel being built. I say "no" to any development in that area.

Melanie Henshaw

Jenny Soo

From: Karin Bunnell
Sent: Wednesday, June 07, 2017 10:03 AM
To: Jenny Soo
Subject: PUD-93-02-16M

Hello Jenny: This email is just to say that we are very opposed to the extensive plans for this PUD. We understand something needs to go there and a small restaurant as was originally planned will not impede traffic or cause undue challenges for surrounding residents and existing businesses. However a hotel and, in particular another event center where we already have 3 large ones within the same 1/2 mile area, would.

Please register our concern.

Thank you,

Karin Bunnell
Anthony Bettencourt
Via di Salerno
Pleasanton, CA 94566

From: Marleine Bechwati
Sent: Wednesday, June 07, 2017 10:14 AM
To: Jenny Soo
Cc: Joseph Bechwati
Subject: NO HOTEL/CONFERENCE CENTER AT RUBY HILL AND VINEYARD!

Hi Jenny,

Given the amount of crazy people in this era where we can't even leave our kids unattended for a second to play outside anymore...If it was your neighborhood, that you moved to in order to be able to raise your children in a safe environment would you allow this? We are completely against having something like this built in our area...!

I can go on with 100 reasons why we are against this minus stating the obvious which is higher crime, more traffic, more threats to our children and not to mention killing the elegance of the vineyard feel.

NO HOTEL/CONFERENCE CENTER AT RUBY HILL AND VINEYARD!

Help stop the proposed "42 room hotel" and "conference center with a capacity for 672" at the Ruby Hill and Vineyard intersection.

Both my husband and I will be at the meeting and will be against this.

Thank You,

Marleine Bechwati
CFO/Executive VP of Operations

From: [REDACTED]
Sent: Wednesday, June 07, 2017 11:20 AM
To: Jenny Soo
Cc: Scott, Meckenstock
Subject: PUD - 93-02-16M-Hakam Mission, 2001 Ruby Hill Blvd., Pleasanton, CA 94566

Attention Jenny Soo and City Planning Members,

I am a resident of Ruby Hill Development and have lived here for 4 years. I moved to this development to enjoy a less crowded town than the town I previously lived in and feel that this proposed development will effect my quite enjoyment and livelihood. I strongly oppose this development for some of the following reasons, but mainly because this development will change the reason I bought a home in Ruby Hill:

Construction Concerns

- More construction (we've already been living through the 84 expansion, and the CEMEX dust & debris)
 - Concern over the current sewer and water infrastructure and what would be needed to support such a large project (especially since Livermore and Pleasanton would need to be involved as RH residents pay sewer to both cities)
 - Concern over the expansion of Vineyard in order to accommodate the increased traffic
- Neighborhood / Safety Concerns
- Negative impact on the privacy we have in this community

Negative impact on home values

- There are already 3 event spaces in a 2.5 mile radius
 - Ruby Hill Golf Club: 3400 W Ruby Hill Dr, Pleasanton, CA 94566 (I am a member of this club and do not need another venue so close to where I live)
 - Casa Real: 410 Vineyard Ave, Pleasanton, CA 94566
 - Palm Event Center: 1184 Vineyard Ave, Pleasanton, CA 94566
- Constant churn of out of town strangers and potentially unwanted seediness catering to their 'night life' in a suburban family friendly neighbourhood. We do not want a 2nd downtown here.
- The proximity to our community's entrance of post wedding event, late night drunk revelers and bar patrons will mean a potential traffic and accident nightmare for us residents
- Increased break-ins due to increased activity (similar to what has been going on in the Campo de Bocce center)

Traffic Concerns

- Increased traffic, noise and carbon footprint. Above proposal is the equivalent of a 1000+ people and cars trudging through our front yard every day and more on weekends.

*** 672 attendees *** conference center means events / weddings and constant traffic jams every weekend and Saturdays / Sunday with 600+ people

○ A 42-room hotel and bar means constant in and out traffic day and night

Thank you in advance for your addressing my concerns as well as other residents in our beautiful, peaceful and quiet community of Ruby Hill. We enjoy the beautiful scenery around our community with hills and vineyards and do not need our community to become a Destination Resort Area!

Sincerely,

Brenda Meckenstock

From: Anoop Judge
Sent: Wednesday, June 07, 2017 12:00 PM
To: Jenny Soo
Subject: Application for PUD-93-02-16M

Dear Jenny Soo & City Planning Committee,

I'm writing to urge you to deny the application for PUD-93-02-16M, Hakam Misson, 2001 Ruby Hill Boulevard.

There are numerous reasons that we believe the recommended PUD is not in the best interest of the RH residents, we've listed a few below:

Construction Concerns

- More construction (we've already been living through the 84 expansion, and the CEMEX dust & debris)
- Concern over the current sewer and water infrastructure and what would be needed to support such a large project (especially since Livermore and Pleasanton would need to be involved as RH residents pay sewer to both cities)
- Concern over the expansion of Vineyard in order to accommodate the increased traffic

Neighborhood / Safety Concerns

- Negative impact on the privacy we have in this community
- Negative impact on home values
- There are already 3 event spaces in a 2.5 mile radius
 - Ruby Hill Golf Club: 3400 W Ruby Hill Dr, Pleasanton, CA 94566
 - Casa Real: 410 Vineyard Ave, Pleasanton, CA 94566
 - Palm Event Center: 1184 Vineyard Ave, Pleasanton, CA 94566
- Constant churn of out of town strangers and potentially unwanted seediness catering to their 'night life' in a suburban family friendly neighbourhood. We do not want a 2nd downtown here.
- The proximity to our community's entrance of post wedding event, late night drunk revelers and bar patrons will mean a potential traffic and accident nightmare for us residents
- Increased break-ins due to increased activity (similar to what has been going on in the Campo de Bocce center)

Traffic Concerns

- Increased traffic, noise and carbon footprint
- Above proposal is the equivalent of a 1000+ people and cars trudging through our front yard every day and more on weekends.
 - A ***672 attendees*** conference center means events / weddings and constant traffic jams every weekend and Saturdays / Sunday with 600+ people
 - A 42-room hotel and bar means constant in and out traffic day and night

The residents of Ruby Hill do not want to let our beautiful neighborhood vineyard turn into a parking lot and its sylvan character.



Anoop Ahuja Judge

Award-winning Author /Blogger/T.V. Anchor



From: Salima Wahab
Sent: Wednesday, June 07, 2017 12:18 PM
To: Jenny Soo
Subject: Protest against building of hotel

Hi,
I am a resident of Ruby Hill and would like to voice that I am against the building of a hotel in vineyard outside Ruby Hill .
Please do consider that it would make our community a lot more unsafe , not to mention the traffic congestion & commotion .

Sincerely ,
Salima wahab
██████ Via Di Salerno
Pleasanton
94566

Sent from my iPhone

From: Chuck May
Sent: Wednesday, June 07, 2017 12:20 PM
To: Jenny Soo
Subject: Ruby Hill area Hotel

Jenny,

I would like to take a moment to express our strong opposition to the proposed hotel project near the Ruby Hill main gate. As residents of Ruby Hill we do not want the added problems that this commercial property would bring for the neighborhood. This land was not zoned for a hotel and we certainly would not have moved to this area if there was a hotel there.

The problems with this proposal include increased traffic congestion and disorder in an area that is already being hit hard with road construction, lane expansion on 84, Cemex dust and gravel trucks that create a mess and damage vehicles on the road. We also have new warehouse distribution locations along 84 and the weekend congestion for wine tasting and increase criminal activity in Campo Di Bocce location.

This proposal will only hurt the residents of Pleasanton and make the area less desirable.

Respectfully,
Chuck and Ann May

From: JACK E SUM
Sent: Wednesday, June 07, 2017 3:04 PM
To: Jenny Soo
Subject: 2001 Ruby Hill Blvd.

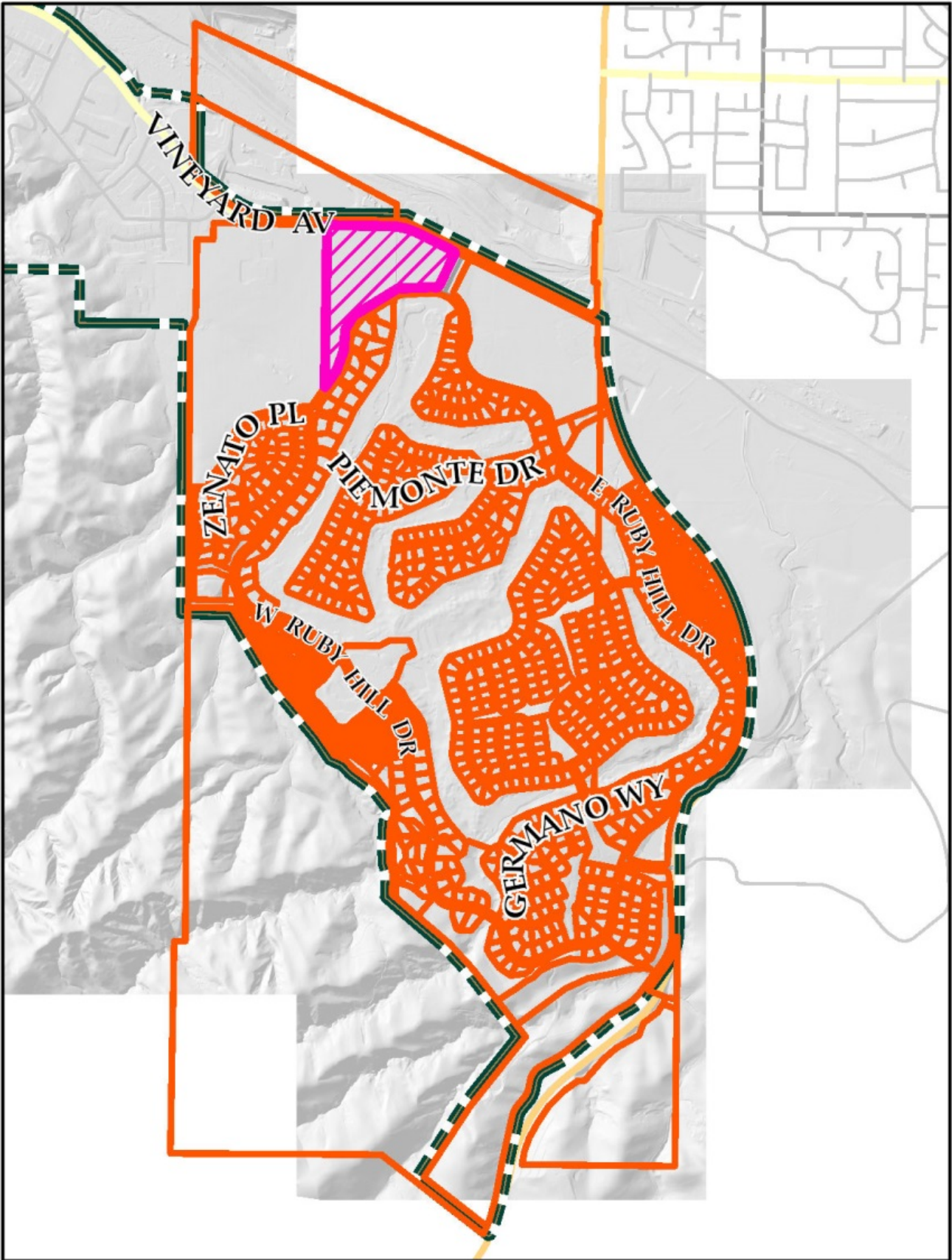
Hi Jenny,

As a Ruby Hill resident who lives .2 of a mile from this proposed project, I strongly object to it. I thought this matter was put to rest several years ago when the event center was voted down. There are already 3 event centers within 2 miles of each other. In addition, this building would also house a sports bar and a conference center which would bring in people who then would be free to enter our neighborhood. We bought our home here 22 years ago so that we would not be faced with this situation. A hotel is absolutely out of the question. Since this area is an agricultural zone, this whole project does not fit the parameters, and should be rejected.

Thank you,

Carol Sum

■ Avio Ct.



LOCATION AND NOTIFICATION MAP
PUD-93-02-16M
2001 Ruby Hill Boulevard