

NARRATIVE**PALAZZO HOSPITALITY CENTER**

Proposed Palazzo Hospitality Center Project is located at 2001 Ruby Hill Boulevard, Pleasanton on the 36 acre Site with the Development confined to 2.5 Allowable Area.

The Proposed Facility will be a Multipurpose Entity providing variety of Hospitality related activities serving Tri-Valley area and Greater Bay Area. It is intended to provide services inclusive and exclusive of one another.

The Owners intend to build the Project within 2.5 acre allowable Conservancy area. That area was reserved for development consistent with the South Livermore Valley Agricultural Land Trust that allows this 2.5 acre portion to be used for such development.

The Development being confined to this 2.5 acres constitutes a small fraction of 36 acre site. Currently the site for development is cleared of vine rows. Some small additional area may require removal of grape vines. However the replanting task is very simple to accomplish and replanting can be done after the Project is completed. In addition entire frontage of the site that is not covered by vines along Vineyard Avenue/Ruby Hill Blvd will be planted with new rows of Vines. On balance after the Project is built there will be more vine growth that it is presently on site.

Two Structures proposed by the development are spaced around the allowable area (2.5 acres), surrounded by vineyards and set back far from the Street. Since the parking drives the size of the Project, its volume will be insignificant compared to site size nor different from adjacent facilities that were approved in the past and their presence is enjoyed by both visitors and staff.

The Project will be distributed over two structures: New Hospitality Center and Existing Building modified to house Bed and Breakfast. New Hospitality Center will include a Main Function Area (subdivide-able to smaller areas), Spa, Lounge / Restaurant and Wine Cellar (serving local varieties), Meeting Rooms and Roof Parks with outdoors Art Expositions.

Main Function may include Conferences, Training Venues, Weddings, Wine related Gatherings, Presentations, etc.

Bed and Breakfast will be located in enlarged existing building, slightly remote from the Hospitality Center, providing 42 rooms. It intends to provide adequate and comfortable accommodation for Hospitality Center Function participants.

Parking was designed reasonably at a distance from the Street using currently not covered by vines land. A sizable strip of new vine rows will hide cars and paving from Street views. The Parking is aligned with vineyard property corner.

Parking study on the sheet A-601 in the drawing set outlines proposed Hospitality Center and Bed and Breakfast Function with Parking criteria.

Some Parking Stalls overhang 24" beyond paved area, which is allowable by the Tri-Valley Conservancy and the City Standard.

Tri-Valley Conservancy allowed us to use parking Driveway as an Agricultural Access therefore it does not need to count to a total of 2.5 acres. This gives the Development more area for parking and required Fire Apparatus access.

Landscaping will be very minimal. The goal is to use actual Vineyards as a natural landscape and lush background for the Hospitality Center and Bed & Breakfast. Any new landscaping in planters between Parking Stalls will use Agricultural type trees anyway to stay consistent with the intent of the Agriculture Related Use of the Property.

Access to Palazzo site is from Vineyard Avenue. Current access from Ruby Hill Boulevard will be deleted and closed-off permanently, paving will be removed and area planted with vine rows.

Most of the Utilities are at the property. Sewage line will be build in conjunction with the subsurface Ejection Station on site. It will have approximately 2000 lineal feet of sewer line towards existing Fire Station along Vineyard Avenue.

Bed & Breakfast:

This function will be included within existing Building and enlarged to accommodate appropriate room count to stay fiscally possible as well improving the building proportions.

Proposed addition to an existing building creates contextual expansion in a form of a Courtyard with new "Porte-Cochere", which creates a sense of entrance into B&B, a human scale pleasing experience. Most of the addition/expansion is on the first floor with only a small expansion at the second floor. Such configuration allows for a human scale transition to the second floor at the background, further away. A good design principle here is by stepping levels from human vantage to existing second floor. Currently the building does not have such transition.

When major Functions are scheduled at the Hospitality Center, B&B will provide service only to Function Guests. On days without Functions, B&B can accommodate guests visiting Pleasanton, Livermore and Dublin. This is an important feature since in realty Tri-Valley lacks hotel room capacity.

B&B will be opened 24/7. It is a compatible function to Ruby Hill residential uses. It is ventured that it would be much quieter than Single Family residential development due to its intended use as a sleeping facility not day long driving trips and activities of family functions. Breakfast may be offered since the B&B has a small kitchen to prepare simple breakfasts for guests. No alcohol will be served. Its number of rooms is small and non intrusive to the neighborhood where the nearest homes are about 500 feet to the B&B. Size of the building is close to some of the residences at the Ruby Hill Development.

Hospitality Center:

The building area is distributed on 4 levels, one underground, three above ground. The height is reasonable within many residential district height limits. By distributing areas over separate levels footprint of the building is reduced not to mention visual volume size.

Building has a collection of layout elements in order to be able properly provide a first class service for participants of variety of venues that may be offered in the facility.

Main Level:

Pre function is meant for participants to gather together/mingle and prepare for the function-gathering as well as co-ordinate participants before the function.

Hospitality Area/Main Function, 10,000 sq. ft. is intended to accommodate single or more than one functions since it can be subdivided by movable partitions should such need arise.

Maximum number of guests could be up to 672 with approximate 10 staff tending to guests. Functions would be Private, reserved in advance, no tickets sold at the door.

No live music is proposed.

Lounge/Restaurant will operate daily and will be closed at any Major Function times/days. The times of operation are proposed below and we welcome additional input into these.

Lounge/Restaurant/Hospitality Center will serve full course meals, water, teas, coffees, wine and beer. Lounge will be part of proposed Restaurant and will act as a pre function to that Restaurant in a traditional sense. Considering difficulty of obtaining Liquor License, Owners do not envision hard liquor being served. This may change should the license for such be available, this is however a remote possibility. The goal of Hospitality Center is to serve local wines to promote local vintners. No live music is proposed. Restaurant and Lounge may accommodate approximately 154 guests.

Kitchen with staff of approximately 19 will serve Pre Function, Functions and Lounge/Restaurant.

Office will provide general administration and scheduling of Functions at the Hospitality Center. Office will have approximately 3 occupants.

Mezzanine:

SPA located on the Mezzanine Level will serve scheduled Function Guests and B&B guests. When there are no Functions in the Hospitality Center, the SPA may provide services to Pleasanton/Livermore public at large. No food nor alcohol will be served. The SPA occupancy will be determined during the working drawings phase at this point we may estimate that it may accommodate approximately 20-38 customers and staff.

2nd Floor:

Reception Area/Function Areas are envisioned as a "spill over" from a major Function. Alternately this space will be used as stand alone for smaller gathering venues, when major Functions are not scheduled. Outside of Major Function, this space, a combination of two areas, can hold classes, conferences or gatherings. Space may accommodate approximately 42 participants with staff.

Decks:

The decks are mostly used as platform for Building utility such as HVAC with small park like areas adorned by seasonal plants in pots/planters intertwined by local artist art exhibition presented by Tri-Valley talents. Ownership may also hold art contests for the Bay area Artists and Students of Art to be than exhibited in the park. This is only as an accessory function to the main gatherings and visits to the Hospitality Center. It is also intended to facilitate education and awareness of artistic /cultural heritage at large. Wine or Beer may be served along appetizers.

Cellar:

Wine cellar is located in the basement and will be complementary to a particular Function or stand alone when there are no other major Functions taking place. Wine Cellar can be used for gatherings during Super Bowl season. That would be only occasional and incidental to such televised programs. Cellar will serve limited food, Wine and beer. Wine Cellar may accommodate approximately 213 guests and staff. Since it is an underground facility, noise will be sealed from escaping to outdoors therefore a live music could be considered for a gathering. However remote.

Inner Service:

B&B Guests will be brought to Hospitality Center via on site service. Some may stroll along vineyards on the paved path. The Owners will at some major Function provide a valet service for car parking.

Hospitality Center is self contained and will operate as a Hospitality Business with outreach to the Community.

Style and Ambiance:

Style of the Palazzo Hospitality Center follows already established style created by the Bed & Breakfast Building as well as general required by HOA styles within the Ruby Hill area. Roof will have similar Concrete Tile to the one on existing Building and walls will resemble color scheme of an existing building as well.

Palazzo Project intends to add ambiance to fast growing Livermore Valley Wine Country. Its hospitality venue will attract and facilitate high level of service in the wonderful setting.

Our plan for the Project is to become a Destination and enhance/combine other facilities already there. Sort of being part of that general destination in the area. Also as a place to go to and enjoy opportunities similar to Napa Valley Wine Country, which has been very successful over decades.

The Project as proposed will be an asset to the City of Pleasanton, Neighborhood and Public in general.

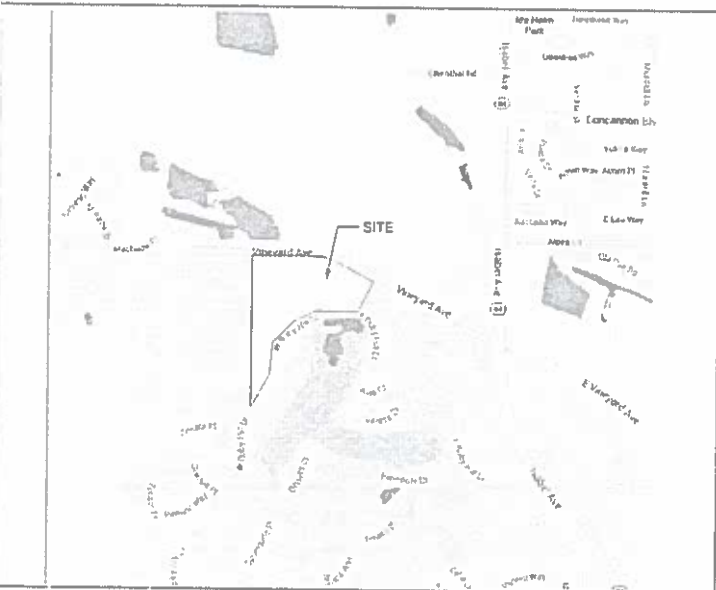
We kindly request City's support of the Proposal.

Hours of operation:

1. **Hospitality Center:** Anytime during the day (10:00AM through 10:00PM) as scheduled ahead of time, low impact on neighbors-all function indoors. Accommodating 150 to 672 guests. Several of these Functions per year dependent on demand. Most likely Saturdays and Sundays (104 per year) plus possibly one a week during weekdays (52 functions)
2. **Restaurant:** Daily Lunch 10:00AM through 2:00PM , Dinner 5:00PM through 10:00PM. Not available when Major Function is taking place.
3. **Lounge:** Part of the Restaurant, Daily 10:00AM through 10:00PM including Tea Time as requested by Ruby Hill Residents. Not available when Major Function takes place.
4. **Wine Cellar:** During Televised Sports Events or for small Conferences/Educational Venues, During the day from 10:00AM through 10:00PM. Opened only when scheduled for such functions.
5. **B&B:** Stand Alone facility Opened to public when no Functions are scheduled. Alternately serving guests at a Major Function at the Hospitality Center.
6. **SPA:** Spa will be opened for service primarily to guests of the particular, scheduled Function at the Hospitality Center. On days when Functions are not held Spa will operate from 9AM through 5 PM.



LOCATION PLAN



VICINITY PLAN

OWNER:
MR. HAKAM MISSON AND MR. SAMEER MISSON
2001 RUBY HILL BLVD
PLEASANTON, CA 94566

SITE AREA:
36 ACRES

ZONING:
PUD

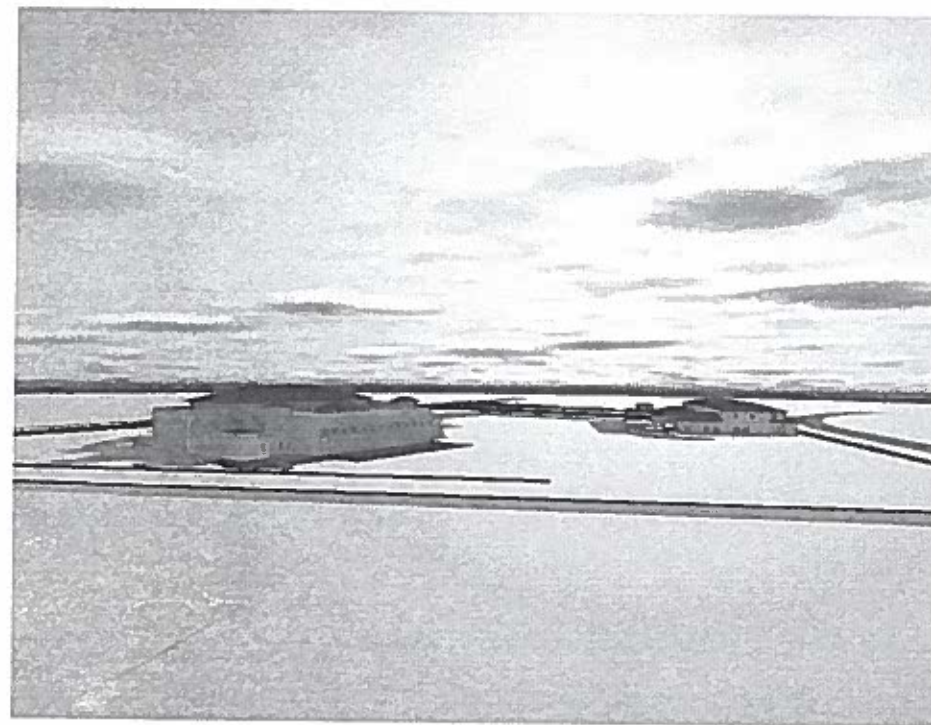
BUILDING AREA:
2.5 ACRES 108,900 SQ FT

BUILDING AREA:
BB = 20,419 SQ.FT. (12,409 SF MAIN + 8010 SF 2ND)
HOSPITALITY CENTER = 62,175 SQ.FT. (13,176 + 27,977+12,048+8,074)
SITE FEATURE AREAS - ON PLAN A-103

PARKING: 176 STALLS (INCLUDING 38 COMPACT STALLS AND 6 ACCESSIBLE STALLS)
DETAIL ON PLAN A-601 FOR AREA DATA AND PARKING STUDY

FAR:
SITE AREA=36 ACRES
BUILDING GROSS AREA=82,615 SQ.FT.
82,615 / 36 ACRES = 0.052
DETAILED INFORMATION ON PLAN A-103

DESIGN DATA



PLANNING DEPARTMENT STAMP

BUILDING DEPARTMENT STAMP

**PUD-93-02-16M/PUD-122
RECEIVED NOVEMBER 22, 2016
EXHIBIT B**

PLAN LEGEND:

- ARCHITECTURAL PLANS:**
A-001 COVER SHEET
A002 NARRATIVE
A-101 SITE PLAN
A-102 CONSERVANCY AREA PLAN
A-103 SITE AREAS
A-201 EXISTING BUILDING PLANS
A-202 EXISTING AREAS
A-203 B&B FLOOR PLANS
A-203.1 B&B ROOF PLAN
A-204 B&B AREAS
A-205 B&B ELEVATIONS
A-206 B&B ELEVATIONS
A-207 B&B VIEW
A-301 BASEMENT PLAN
A-302 MAIN FLOOR
A-303 MEZZANINE
A-304 2ND FLOOR
A-304.1 ROOF PLAN
A-305 FLOOR AREAS
A-306 FLOOR AREAS
A-307 BUILDING AREAS
A-401 SECTIONS
A-501 ELEVATIONS
A-502 ELEVATIONS
A-601 SCHEDULES
A-701 DETAIL VIEWS
A-702 FIRE TRUCK ROAD RADIUS
A-801 SITE VIEW
A-802 PHOTOMONTAGE

- CIVIL PLANS:**
01 OVERALL SITE PLAN
02 GRADING AND DRAINAGE PLAN-WEST
03 GRADING AND DRAINAGE PLAN-SOUTH
04 STORM WATER CONTROL PLAN
05 SANITARY LAYOUT

- LANDSCAPE PLANS:**
L-1 OVERALL LANDSCAPE PLAN
L-2 PLANTING PLAN
L-3 PLANTING PLAN
L-4 IRRIGATION PLAN
L-5 IRRIGATION PLAN
L-6 HYDROZONE PLAN

MARK STOKLOSA ARCHITECT INC

351 South Baywood Ave
San Jose, CA 95128
408 260 6850 W
925 368 7270 C
markstoklosa@pgoocal.net

PROPOSED PALAZZO HOSPITALITY CENTER
AT 2001 VINEYARD AVE
PLEASANTON, CA 94566 FOR
HAKAM MISSON AND SAMEER MISSON

MARK DATE DESCRIPTION

SCALE
PROJECT NO 16-001
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DRAWING TITLE
DESIGN DATA

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A-001
SHEET OF



MARK
STOKLOSA
ARCHITECT
INC

251 South Baywood Ave
San Jose, CA 95128
408.264.8406 W
833.369.7270 C
mark.stoklosa@stocproba.net

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NARRATIVE

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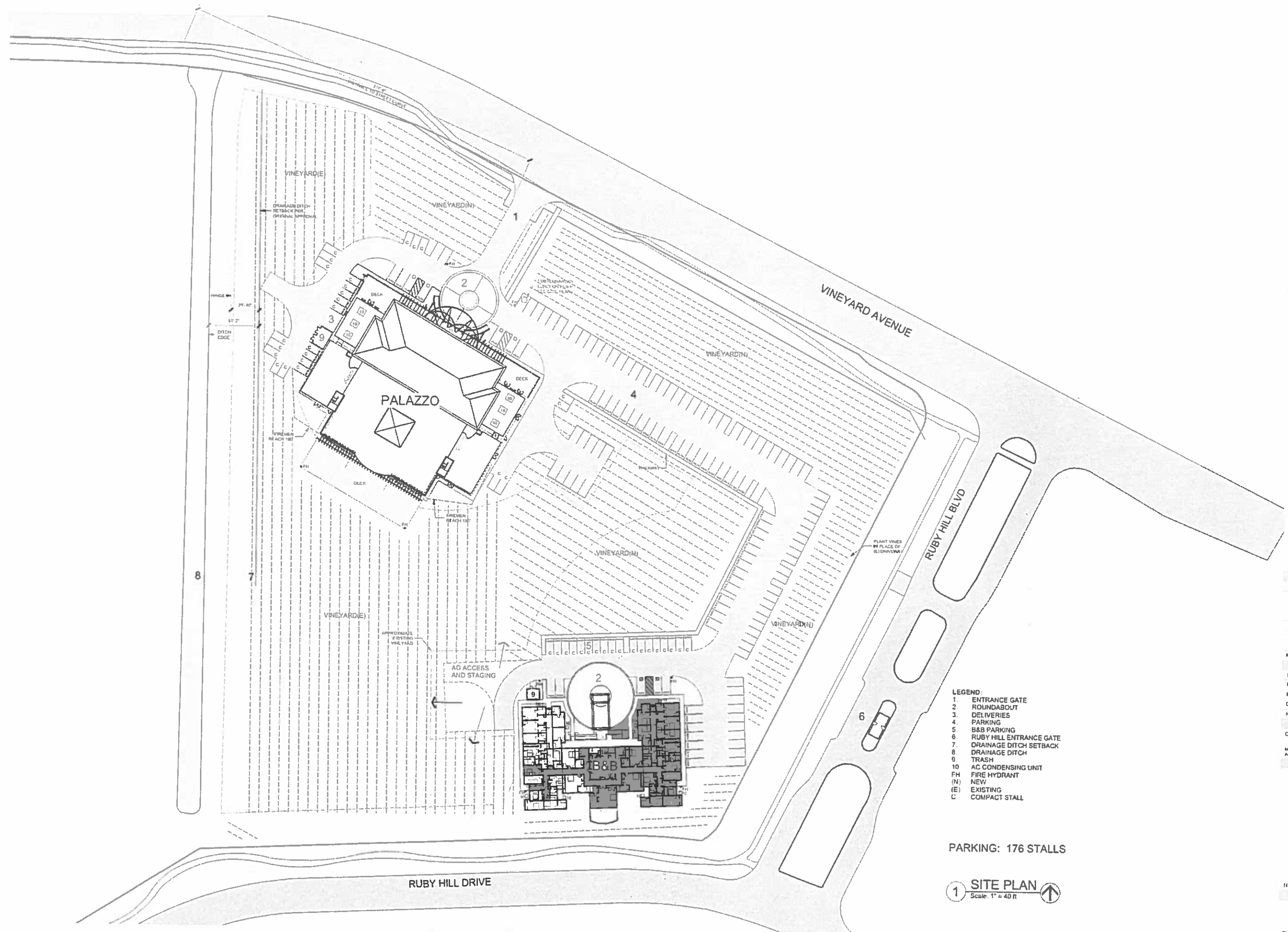
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MARK	DATE	DESCRIPTION
SCALE		
PROJECT NO.	16-001	
MODEL FILE	PALAZZO.VWX	
DRAWN BY	MS	
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MARK STOKLOSA ARCHITECT INC		
DRAWING TITLE		
NARRATIVE		

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AT 2001 VINEYARD AVE
PLEASANTON, CA 94566 FOR
HAKAM MISSON AND SAMEER MISSON**



- LEGEND:**
- 1. ENTRANCE GATE
 - 2. ROUNDBOUT
 - 3. DELIVERIES
 - 4. PARKING
 - 5. B&B PARKING
 - 6. RUBY HILL ENTRANCE GATE
 - 7. DRAINAGE DITCH SETBACK
 - 8. DRAINAGE DITCH
 - 9. TRASH
 - 10. AC CONDENSING UNIT
 - FH. FIRE HYDRANT
 - (N). NEW
 - (E). EXISTING
 - C. COMPACT STALL

PARKING: 176 STALLS

1 SITE PLAN
Scale: 1" = 40'

MARK	DATE	DESCRIPTION

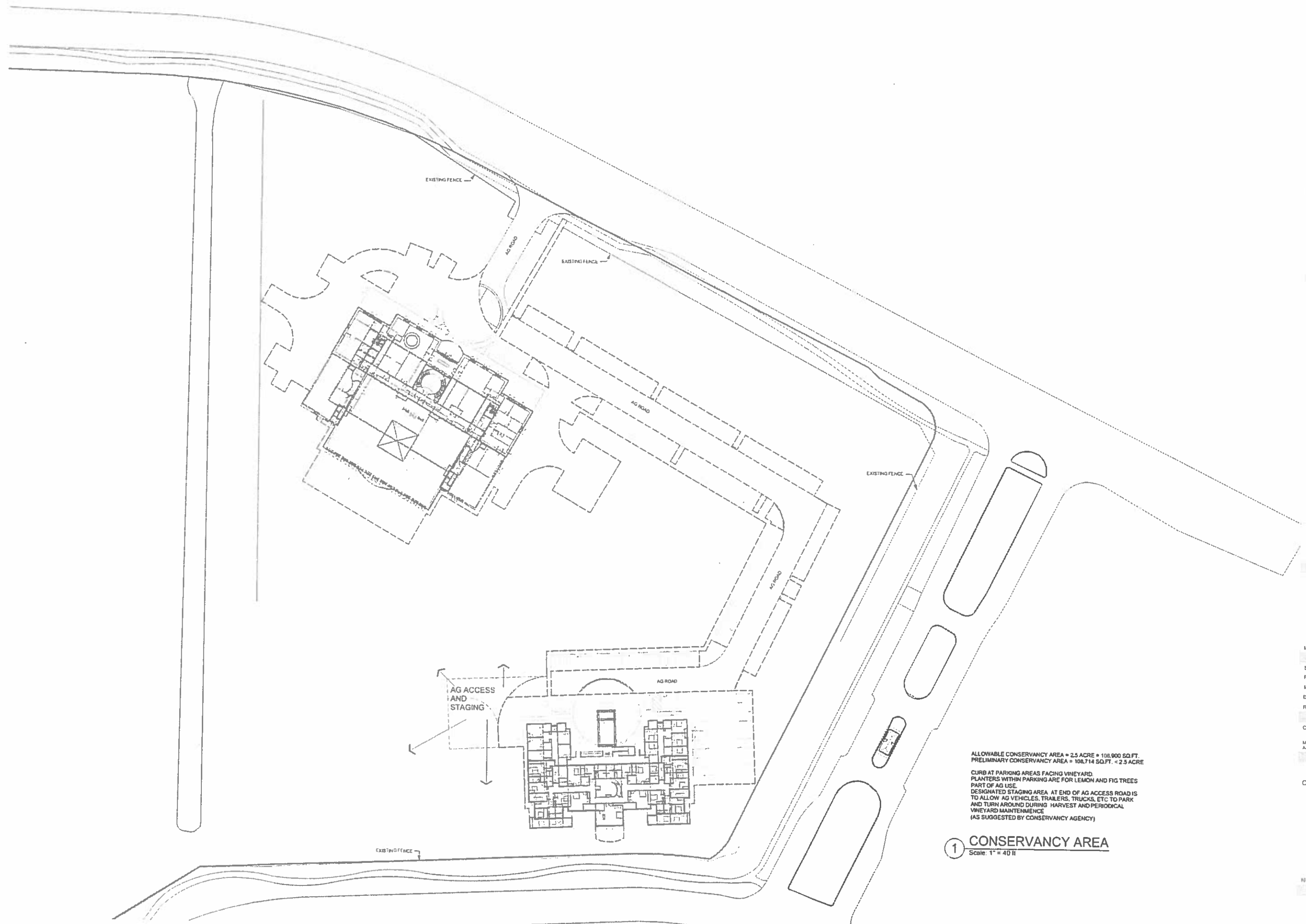
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MODEL FILE	PALAZZO.VWK
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DRAWING TITLE
SITE PLAN

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AT 2001 VINEYARD AVE
PLEASANTON, CA 94566 FOR
HAKAM MISSON AND SAMEER MISSON**



ALLOWABLE CONSERVANCY AREA = 2.5 ACRE = 108,900 SQ.FT.
PRELIMINARY CONSERVANCY AREA = 108,714 SQ.FT. < 2.5 ACRE

CURB AT PARKING AREAS FACING VINEYARD
PLANTERS WITHIN PARKING ARE FOR LEMON AND FIG TREES
PART OF AG USE
DESIGNATED STAGING AREA AT END OF AG ACCESS ROAD IS
TO ALLOW AG VEHICLES, TRAILERS, TRUCKS, ETC TO PARK
AND TURN AROUND DURING HARVEST AND PERIODICAL
VINEYARD MAINTENANCE
(AS SUGGESTED BY CONSERVANCY AGENCY)

1 CONSERVANCY AREA
Scale: 1" = 40' II

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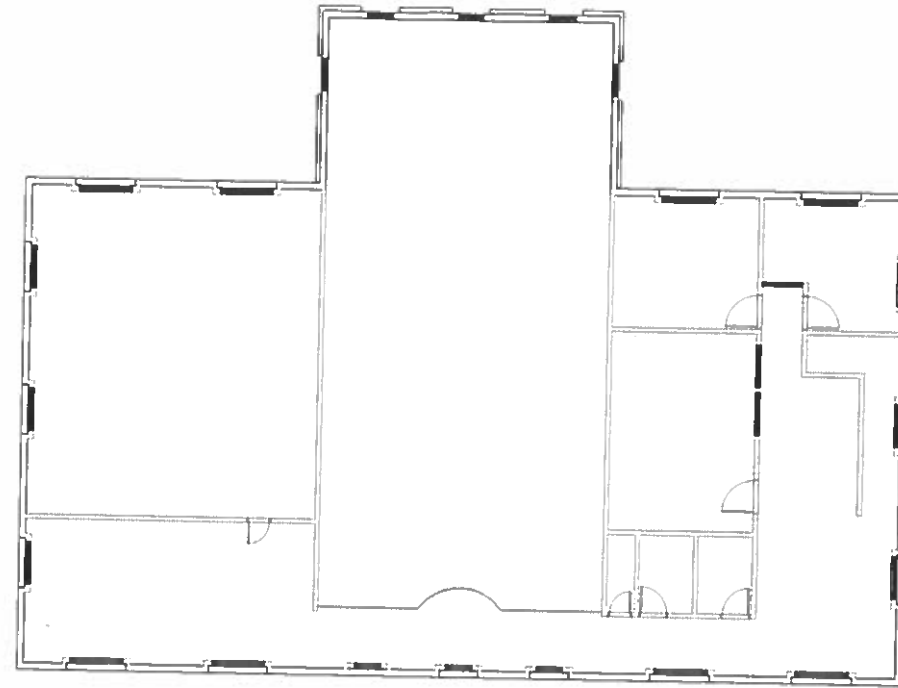
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CONSERVANCY AREA

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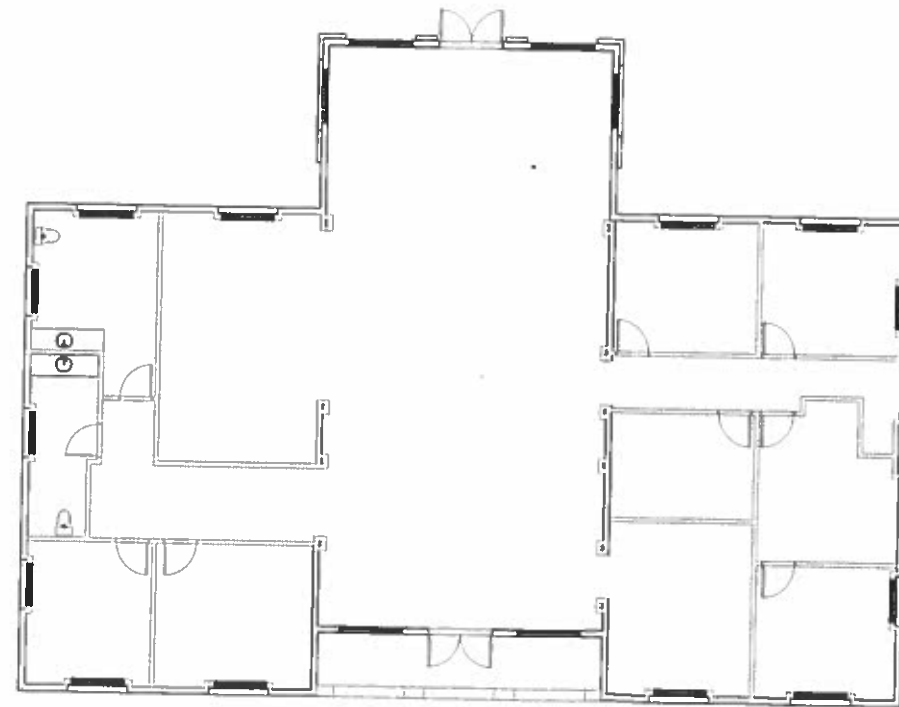


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INC

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San Jose, CA 95128
408 270 6596 W
925 369 7270 C
mark@stoklosa@stoklosa.com



2 EXISTING 2ND FLOOR
Scale: 1/8" = 1'-0"



1 BB-EXIST FLOOR PLAN
Scale: 1/8" = 1'-0"

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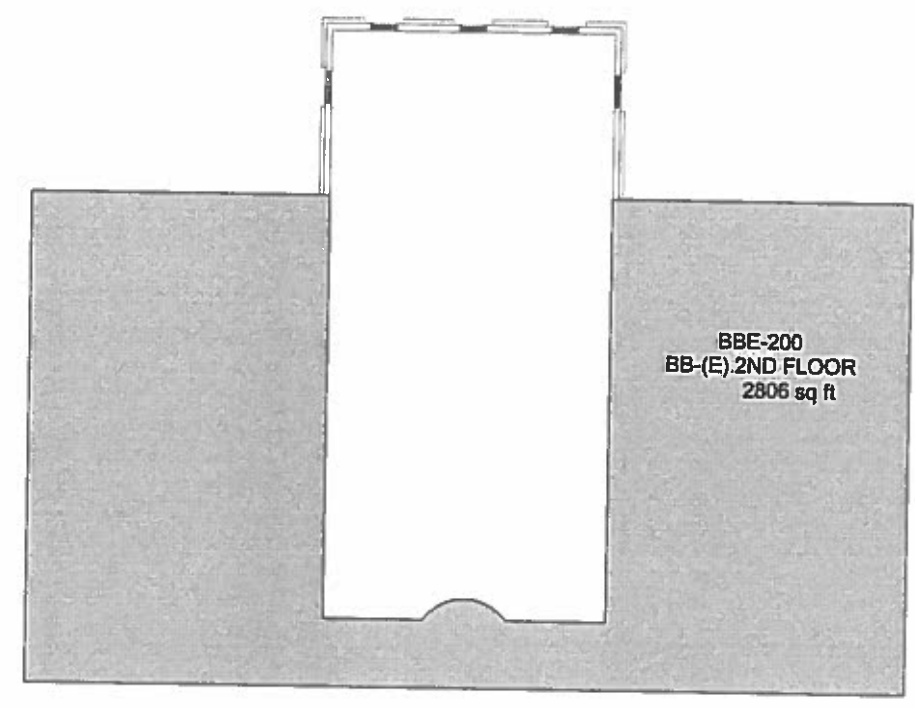
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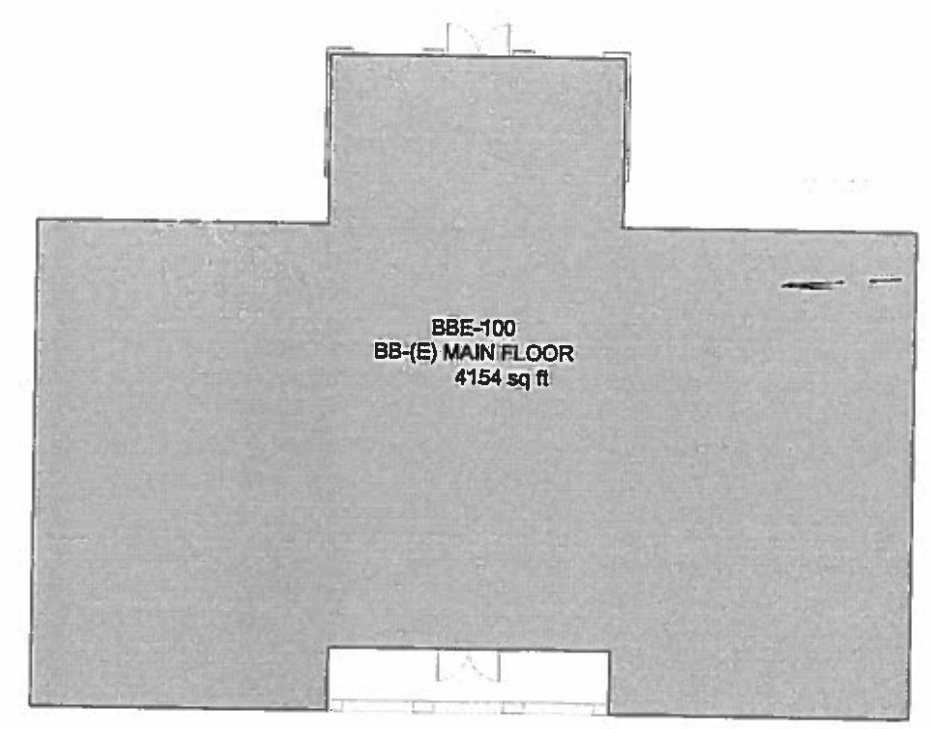
MARK STOKLOSA
ARCHITECT INC

DRAWING TITLE
EXISTING
FLOOR PLANS

NOT FOR CONSTRUCTION



2 **BB-(E) 2ND FLOOR AREA**
 Scale: 1/8" = 1'-0"



1 **BB-(E) MAIN AREA**
 Scale: 1/8" = 1'-0"

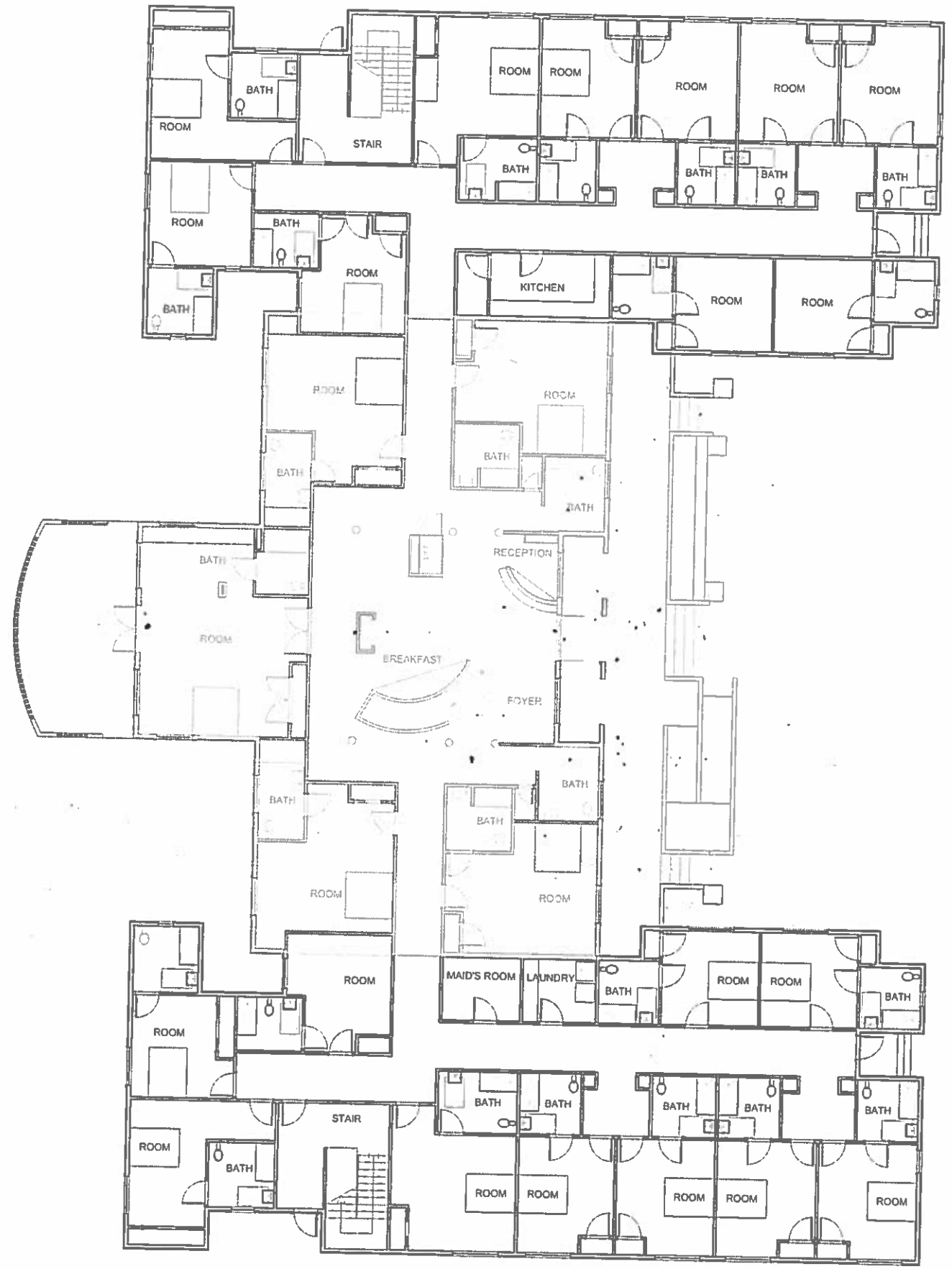
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MODEL FILE	PALAZZO.VWX	
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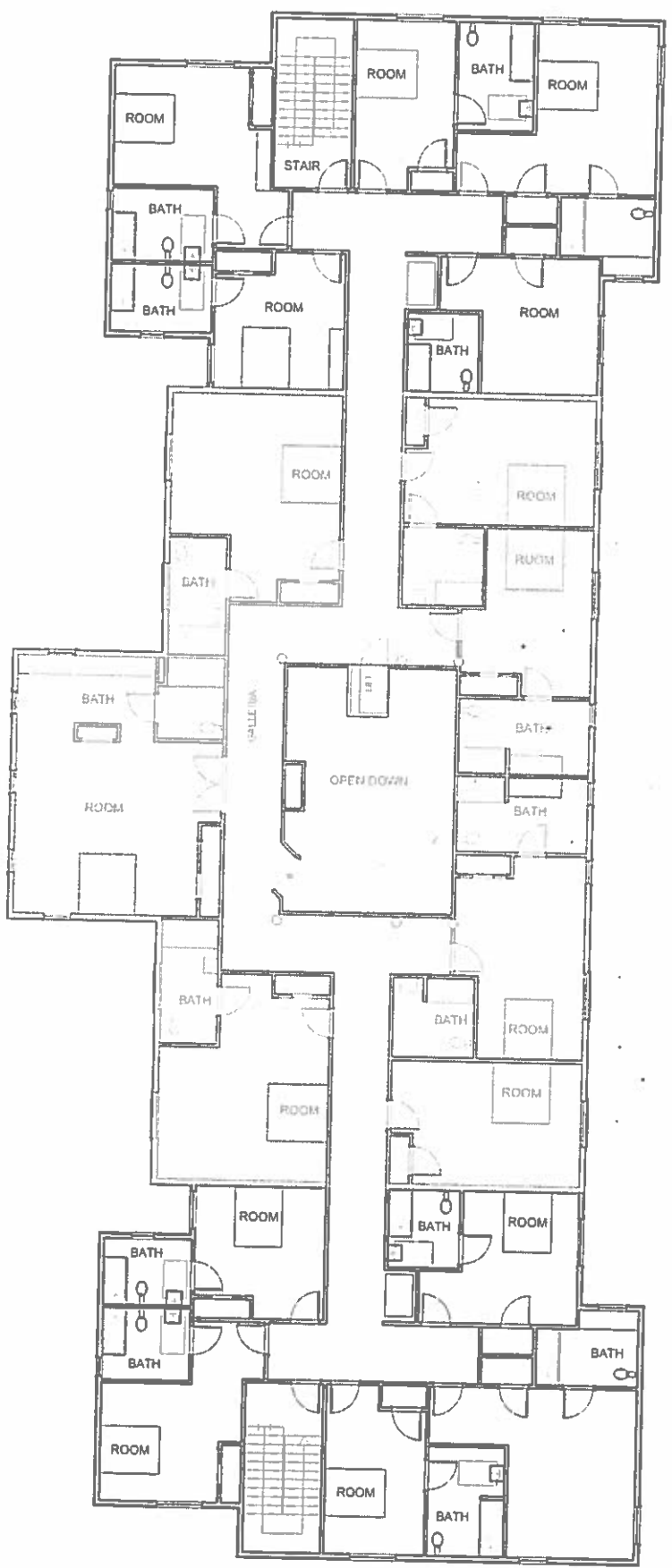
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 EXISTING AREAS
 GROSS

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1 BB MAIN FLOOR
Scale: 1/8" = 1'-0"

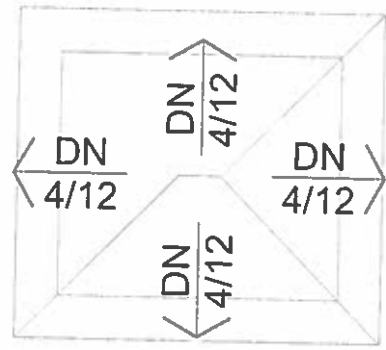


2 BB SECOND FLOOR
Scale: 1/8" = 1'-0"

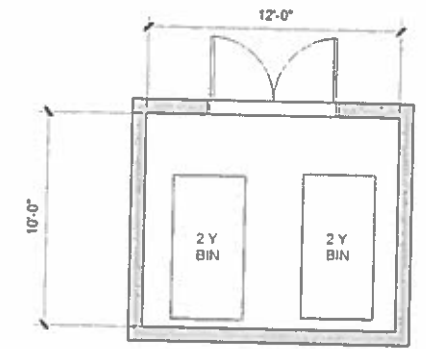
NOTE:
SHADED AREA DEPICTS
EXISTING BUILDING

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SCALE		
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MODEL FILE	PALAZZO.VVX	
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B&B FLOOR PLANS		

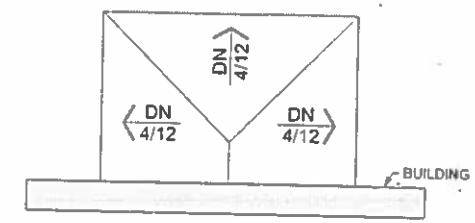
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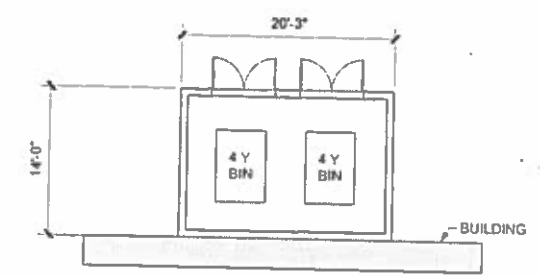
2 TRASH ROOF PLAN
Scale: 1/4" = 1'-0"



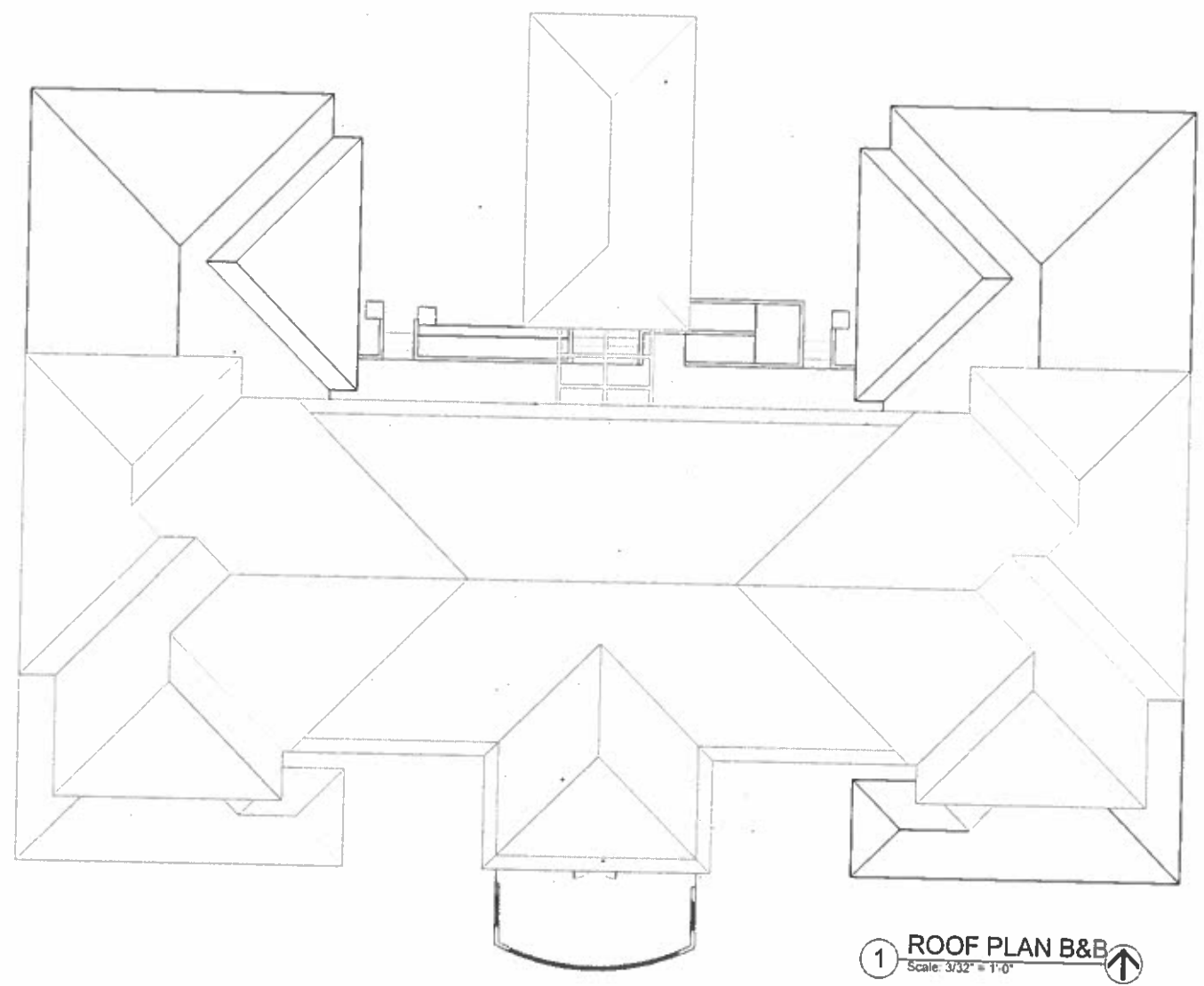
3 TRASH PLAN
Scale: 1/4" = 1'-0"



4 HOSPITALITY CENTER TRASH
Scale: 1/8" = 1'-0"



5 HOSPITALITY CENTER TRASH
Scale: 1/8" = 1'-0"



1 ROOF PLAN B&B
Scale: 3/32" = 1'-0"

MARK	DATE	DESCRIPTION
SCALE		
PROJECT NO	16-001	
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ROOF PLANS
B&B
B&B TRASH AND
HC TRASH

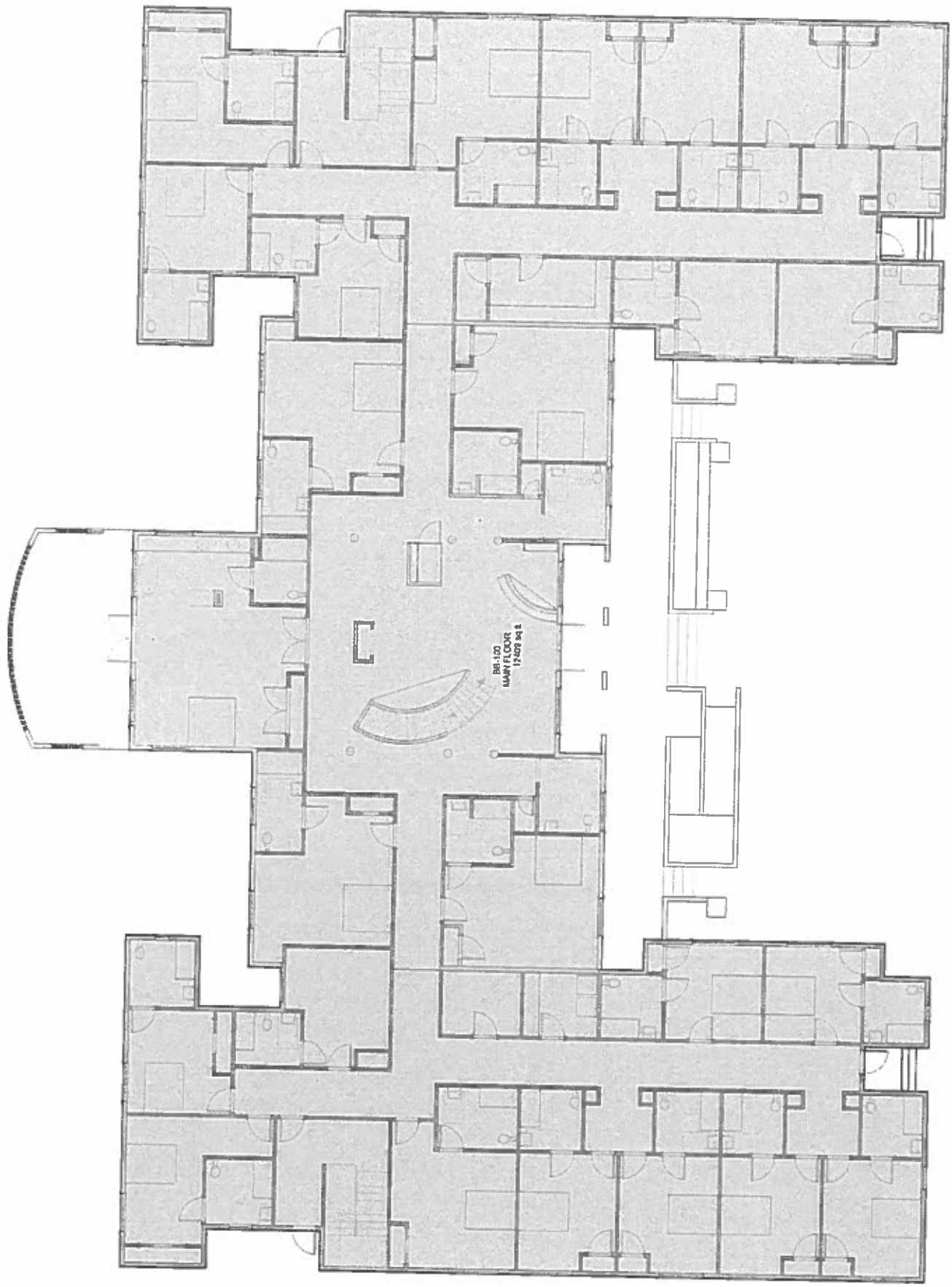
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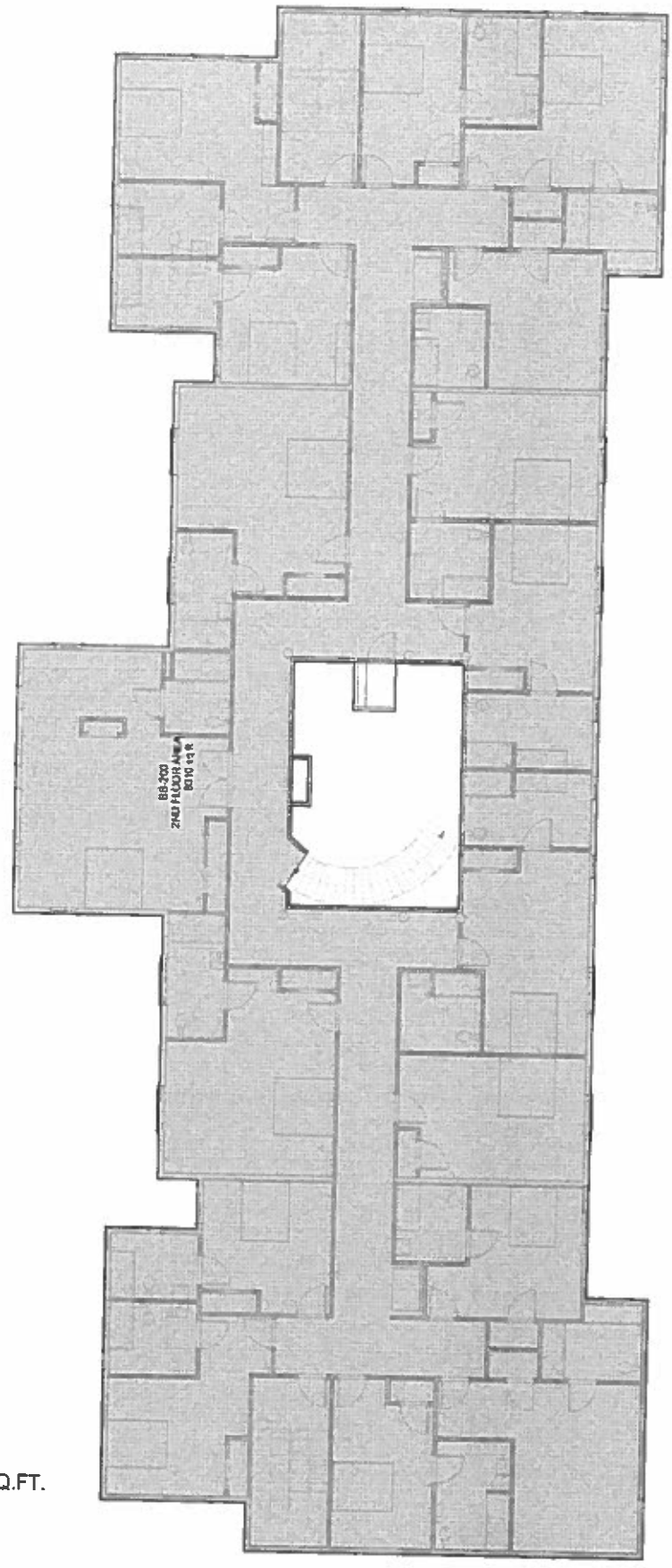
DRAWING TITLE
 B&B
 GROSS
 FLOOR AREAS

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1 BB GROSS MAIN FLOOR AREA
 Scale: 1/8" = 1'-0"

TOTAL GROSS AREA = 20,419 SQ.FT.



2 BB GROSS 2ND FLOOR AREA
 Scale: 1/8" = 1'-0"

EXTERIOR FINISHES:

ROOF:
 CONCRETE TILE, BY MICHELE TAPPALIERI, SARDINIA, ITALY
 8" X 12" (NO BURLING)

WALLS:
 STUCCO ON 1/2" UP WALL MATCHING EXTERIOR
 1/2" UP WALL TO 12" OVERDOOR 3-48 BY LA HABRA

PLASTER:
 WHITE STUCCO - SAME AS THE HYSTAL WHITE 1-50 BY LA HABRA

SPINDLES:
 CONCRETE COLOR SPINER TO LA HABRA X 36 UNYSTAL WHITE

DOOR AND WINDOW TRIM:
 WOOD PAINTED SIMILAR TO BURN PAINT
 1 1/2" WIDE RIGHT TO CORNER JOISTING

TRELLIS:
 WOOD PAINTED WITH OIL SEMI TO BURN PAINT
 1 1/2" WIDE RIGHT TO CORNER JOISTING

FRONT DECK FACE:
 CUT STONE VENEER SIMILAR TO ELDERBERRY STONE
 1/2" TYPICAL LEDGE COLOR TO COLOR

FRONT CANOPY AND POSTS:
 METAL, PAINTED SIMILAR TO BURN PAINT
 1 1/2" WIDE RIGHT TO CORNER JOISTING

FRONT ENTRANCE PAVERS:
 CONCRETE SQUARES 4' X 4'

OUTER PERILS:
 METAL PAINTED WHITE SIMILAR TO
 BURN PAINT 1 1/2" WIDE RIGHT TO CORNER JOISTING



1 RIGHT SIDE ELEVATION
 Scale: 1/8" = 1'-0"



3 FRONT ELEVATION-BB
 Scale: 1/8" = 1'-0"

PROPOSED PALAZZO HOSPITALITY CENTER
 AT 2001 VINEYARD AVE
 PLEASANTON, CA 94566 FOR
 HAKAM MISSON AND SAMEER MISSON

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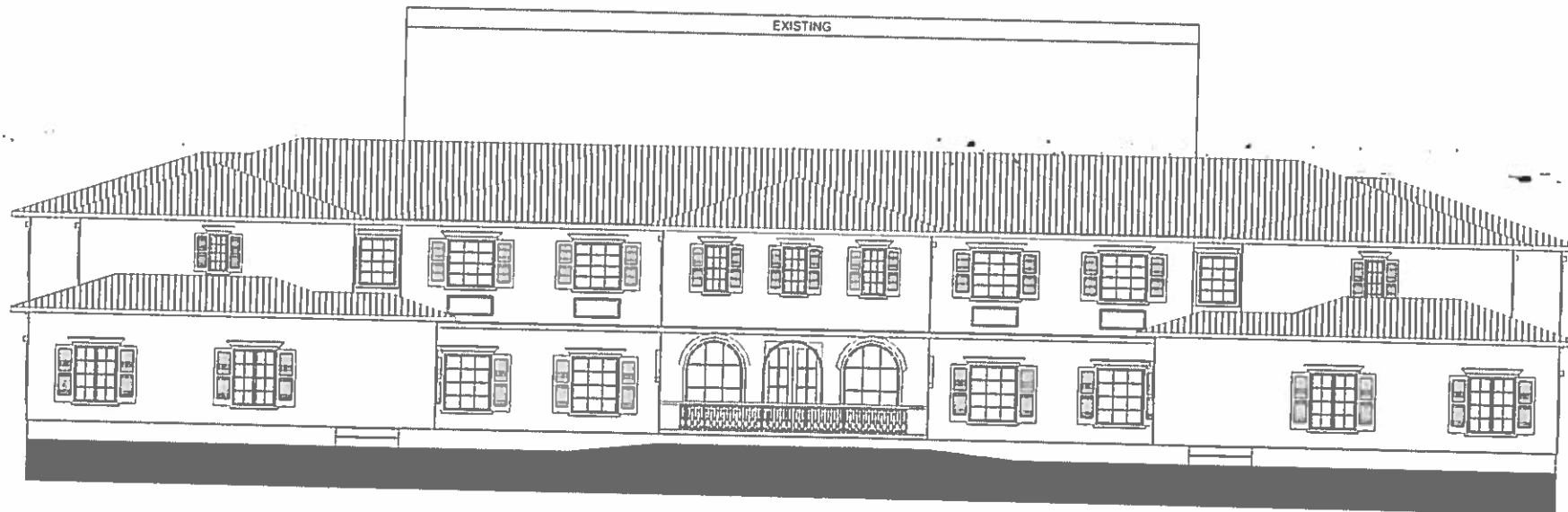


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2 LEFT ELEVATION
Scale: 1/8" = 1'-0"



1 BACK ELEVATION
Scale: 1/8" = 1'-0"

PROPOSED PALAZZO HOSPITALITY CENTER
AT 2001 VINEYARD AVE
PLEASANTON, CA 94566 FOR
HAKAM MISSON AND SAMEER MISSON

MARK DATE DESCRIPTION

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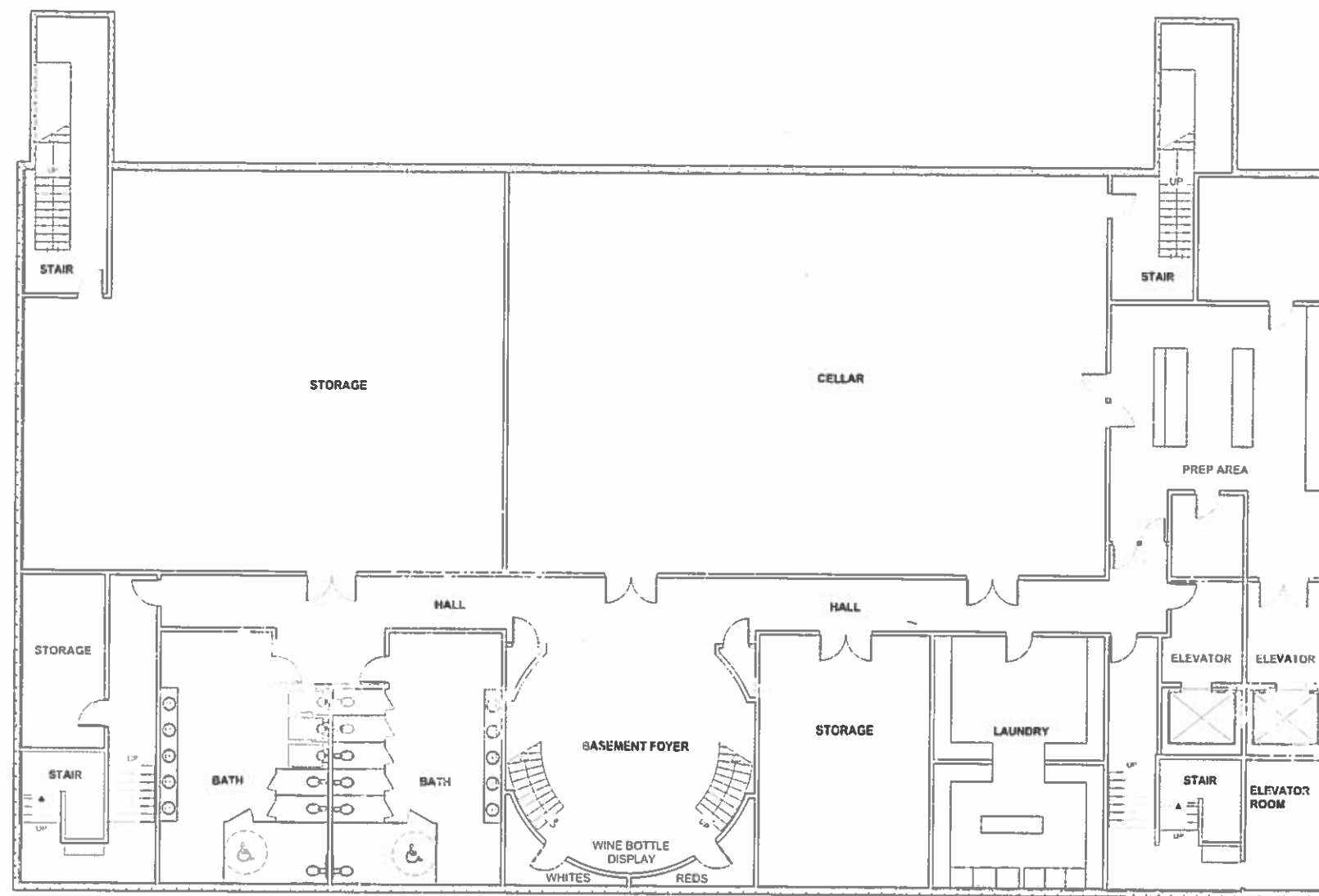
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ELEVATIONS

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A-206

SHEET OF



1 BASEMENT PLAN
 Scale: 1/8" = 1'-0"

MARK DATE DESCRIPTION

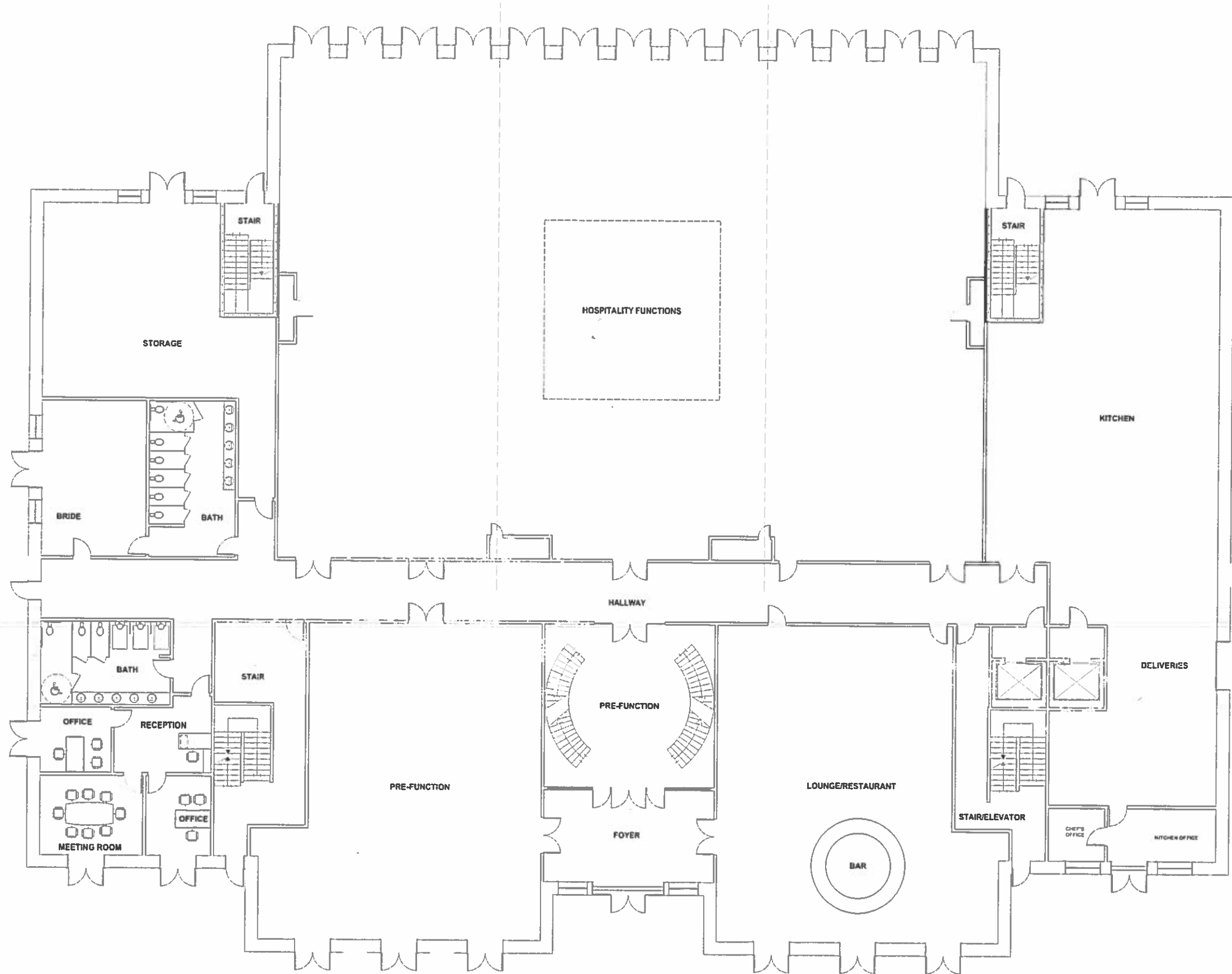
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DRAWING TITLE
 BASEMENT PLAN

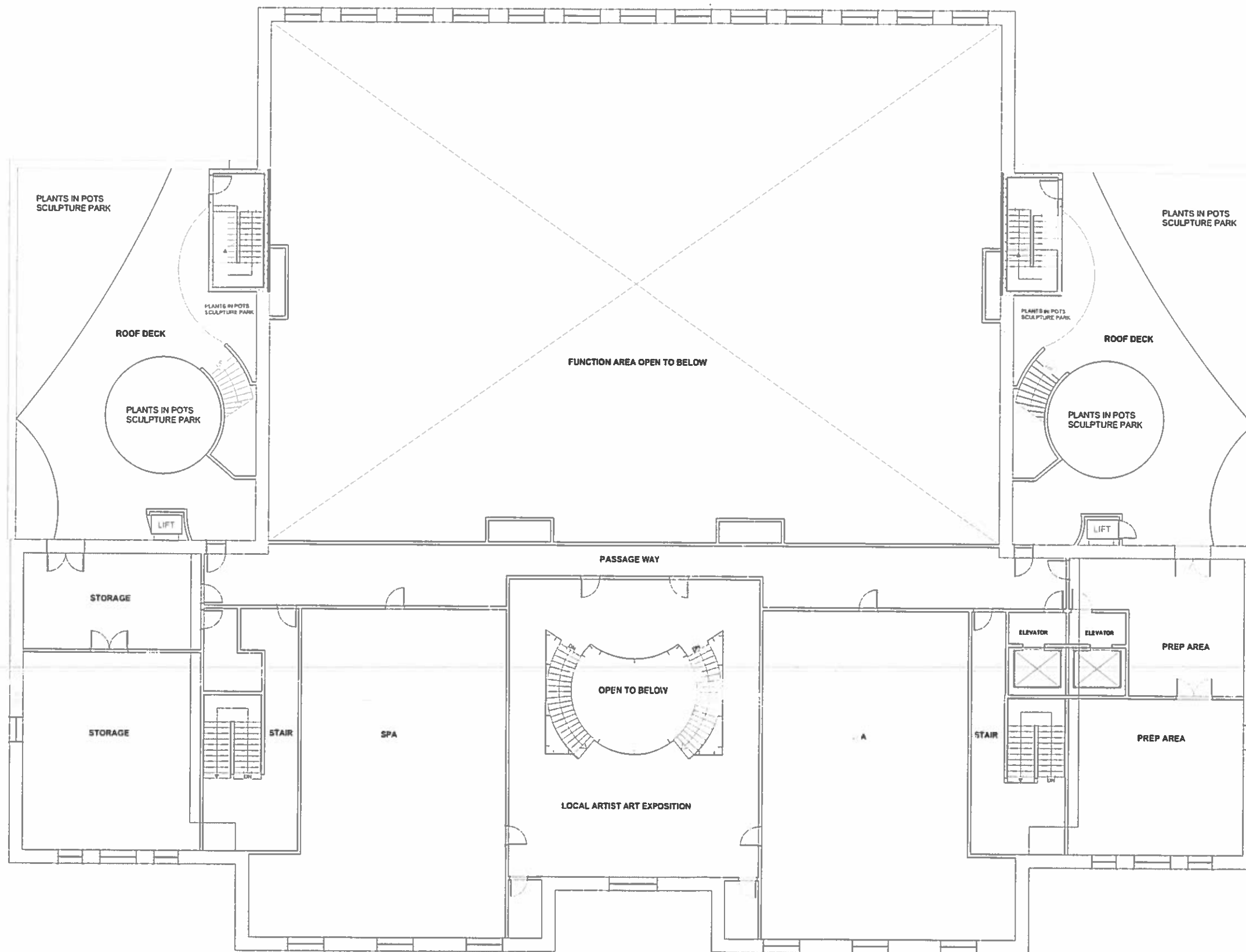
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SCALE		
PROJECT NO.	16-001	
MODEL FILE	PALAZZO.VWX	
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DRAWING TITLE		
SCHEMATIC MAIN FLOOR PLAN		

1 MAIN LEVEL PLAN
 Scale: 1/8" = 1'-0"

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1 MEZZANINE
Scale 1/8" = 1'-0"

MARK DATE DESCRIPTION

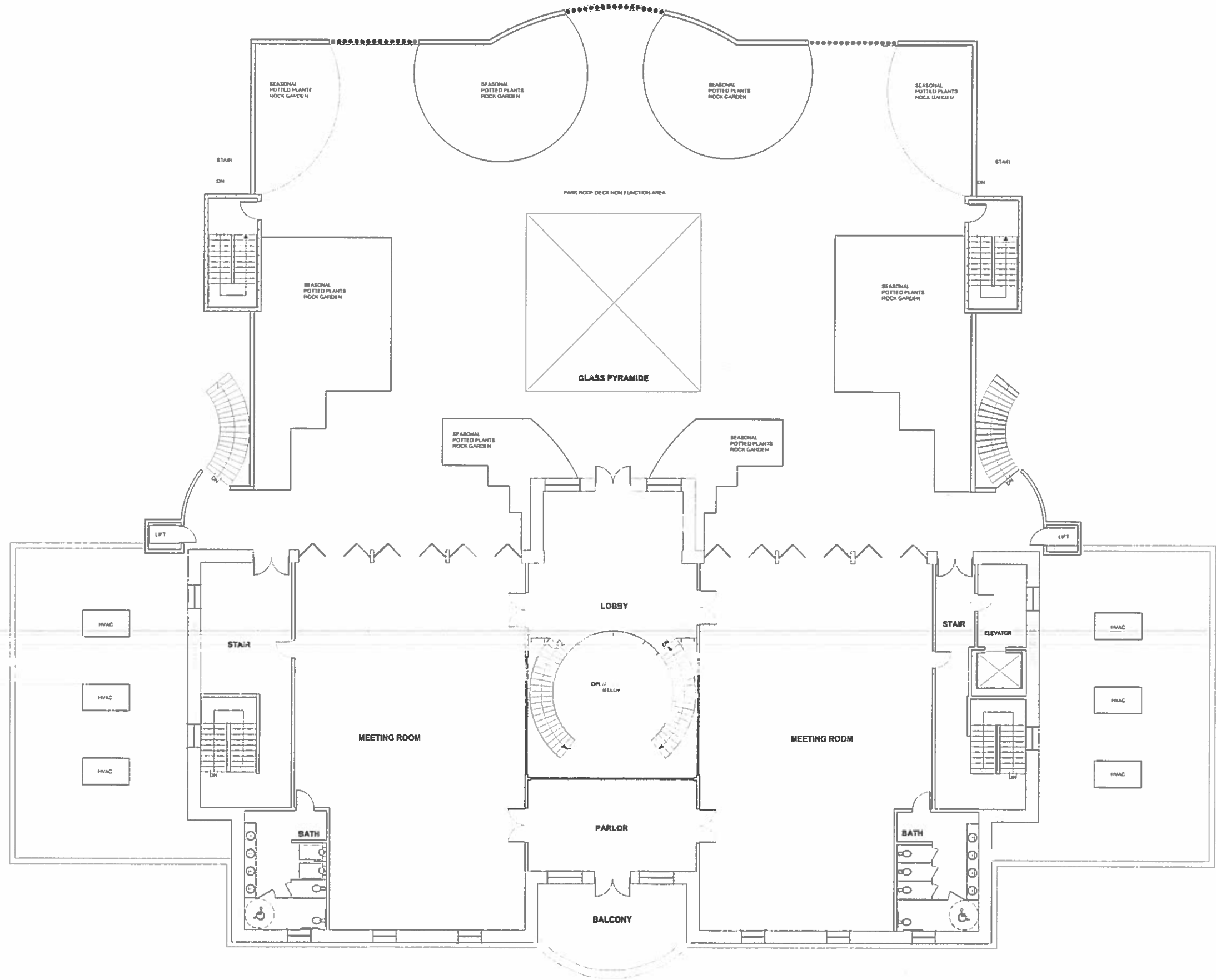
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DRAWING TITLE
MEZZANINE PLAN

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1 2ND FLOOR PLAN
Scale: 1/8" = 1'-0"

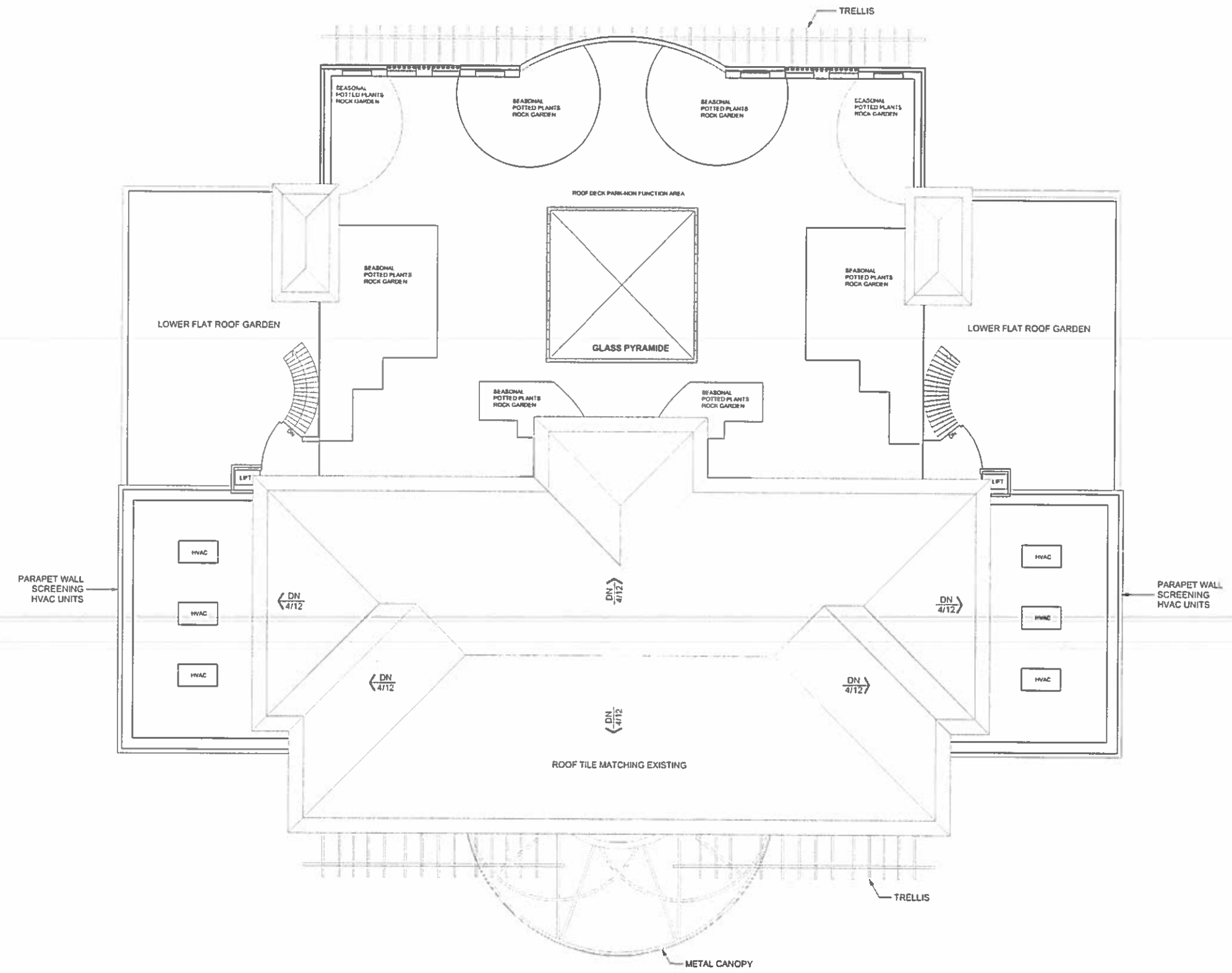
MARK	DATE	DESCRIPTION

SCALE	
PROJECT NO	16-001
MODEL FILE	PALAZZO.VWX
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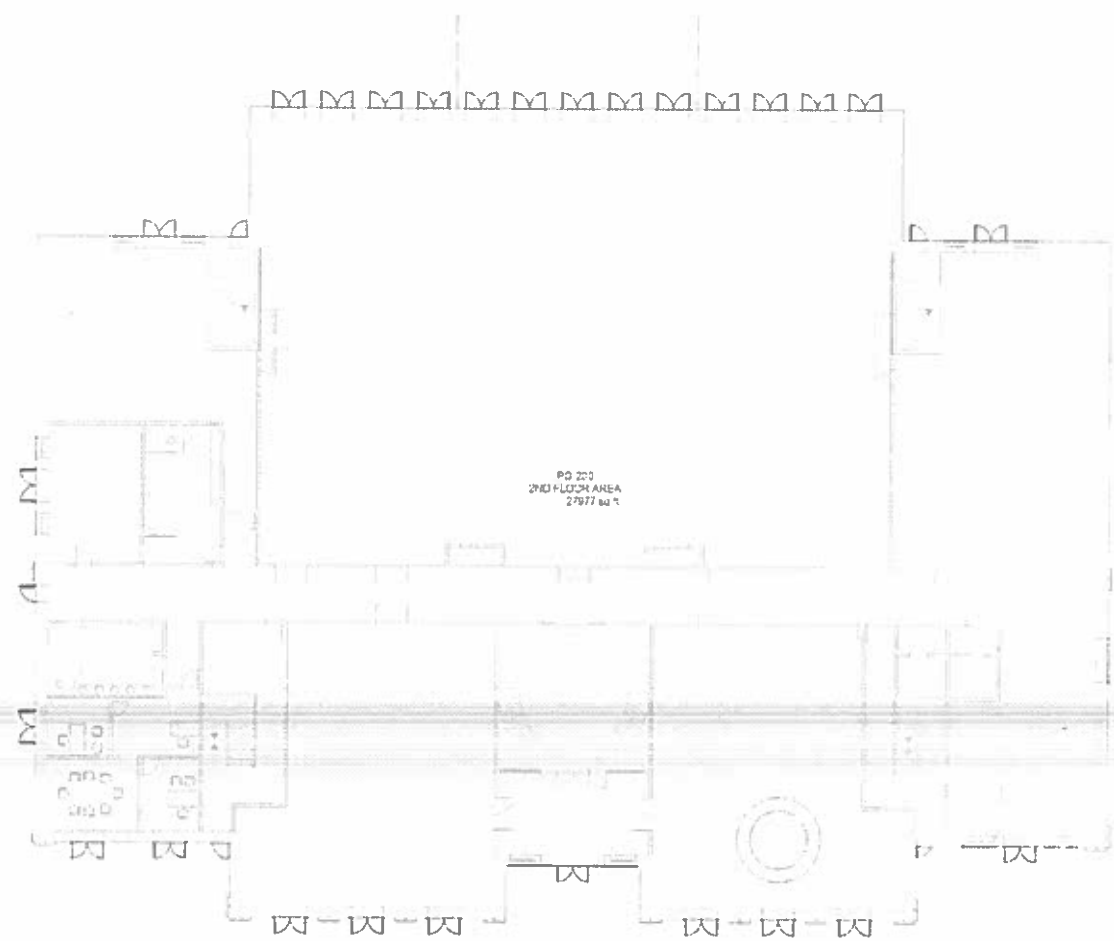
DRAWING TITLE
2ND FLOOR PLAN

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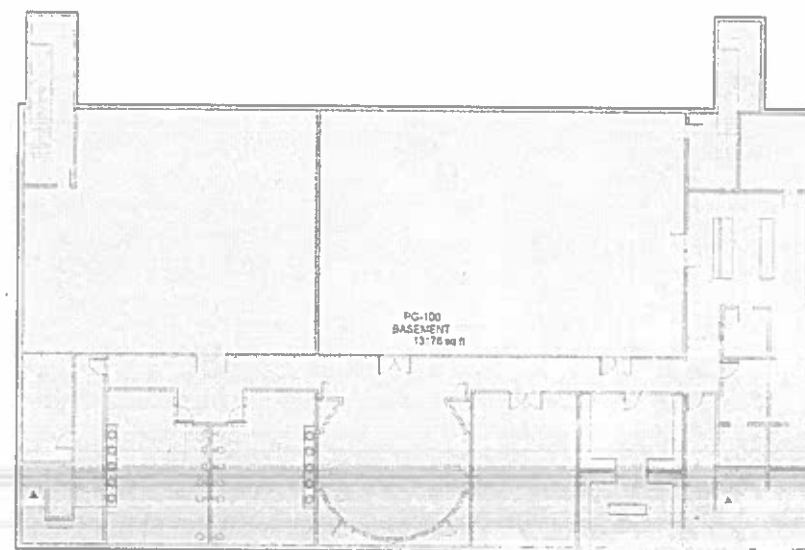


1 ROOF PLAN
 Scale: 3/32" = 1'-0"
 0 4 8 12 FT

MARK	DATE	DESCRIPTION
SCALE		
PROJECT NO	16-001	
MODEL FILE	PALAZZO.VWX	
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HOSPITALITY CENTER ROOF PLAN		



2 MAIN FLOOR AREA GROSS
 Scale: 1/16" = 1'-0"



1 BASEMENT AREA GROSS
 Scale: 1/16" = 1'-0"

PROPOSED PALAZZO HOSPITALITY CENTER
 AT 2001 VINEYARD AVE
 PLEASANTON, CA 94566 FOR
 HAKAM MISSON AND SAMEER MISSON

MARK DATE DESCRIPTION

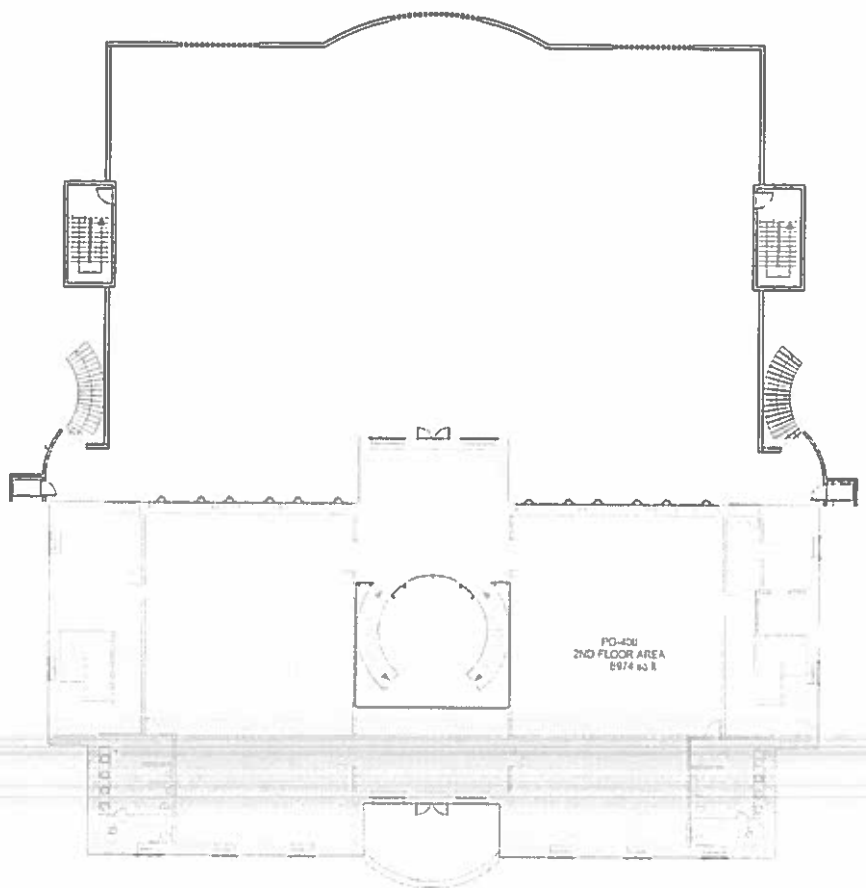
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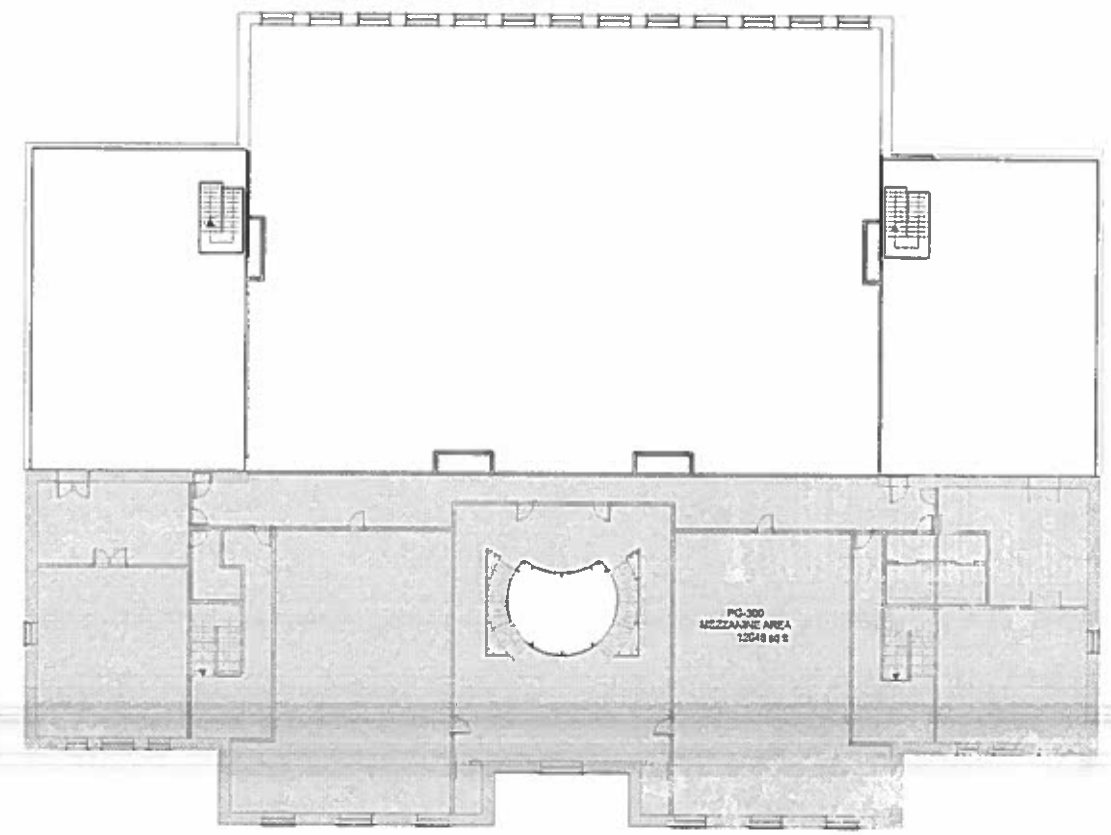
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DRAWING TITLE
 BASEMENT AND
 MAIN FLOOR AREAS
 GROSS

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2 2ND FLOOR AREA GROSS
 Scale: 1/16" = 1'-0"



1 MEZZANINE AREA GROSS
 Scale: 1/16" = 1'-0"

PROPOSED PALAZZO HOSPITALITY CENTER
 AT 2001 VINEYARD AVE
 PLEASANTON, CA 94566 FOR
 HAKAM MISSON AND SAMEER MISSON

MARK	DATE	DESCRIPTION

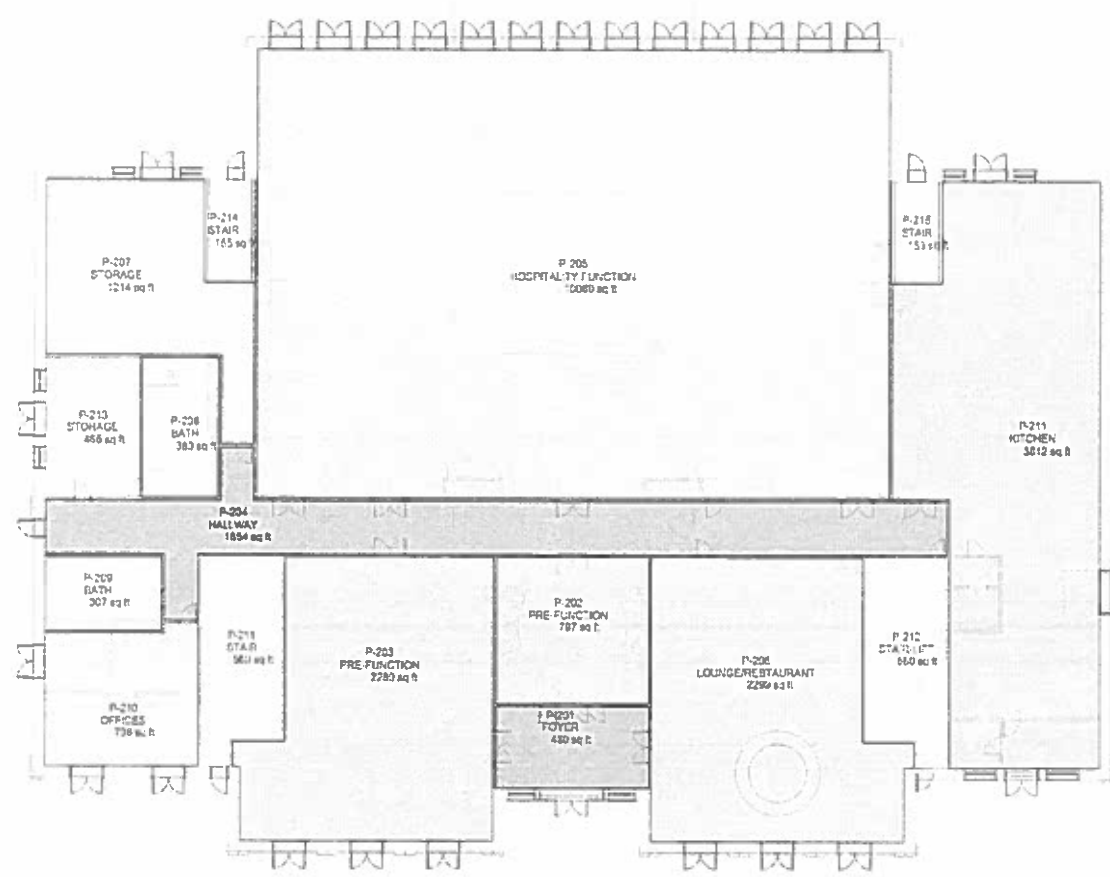
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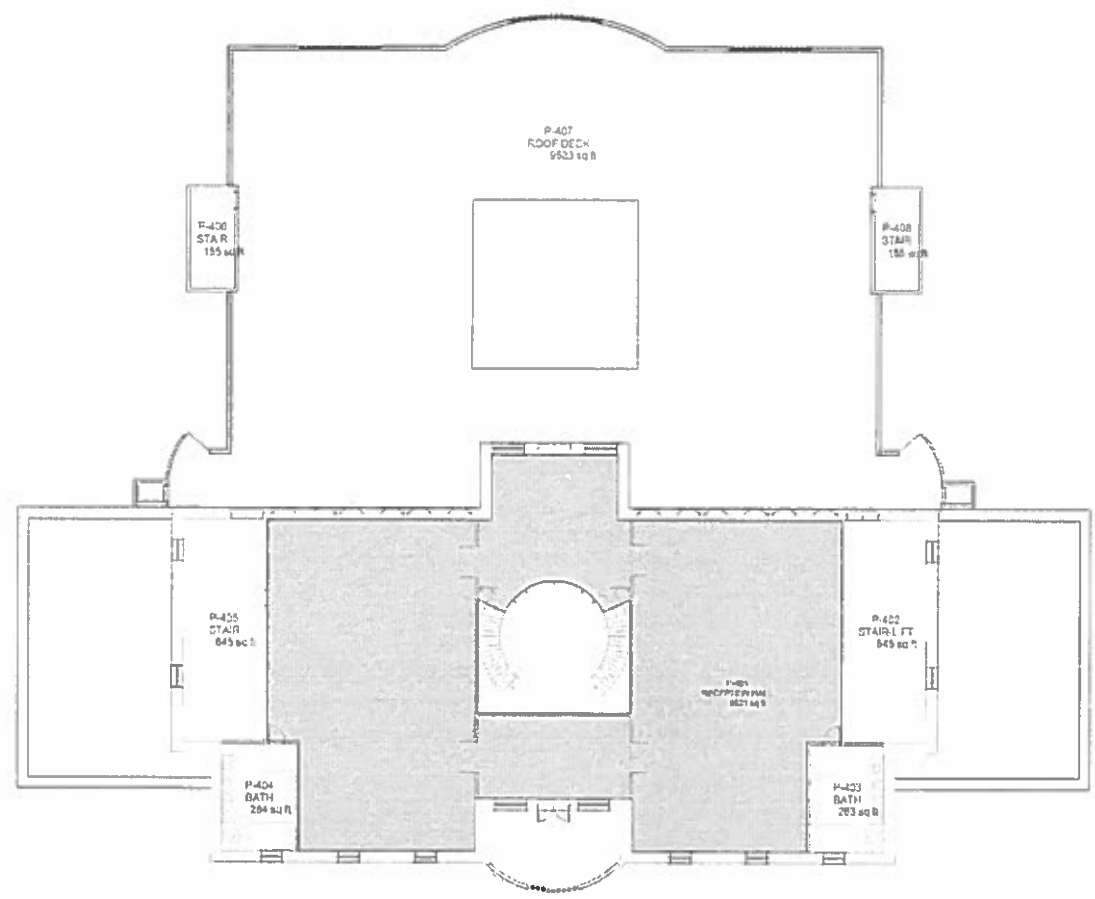
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DRAWING TITLE
 MEZZANINE
 AREA

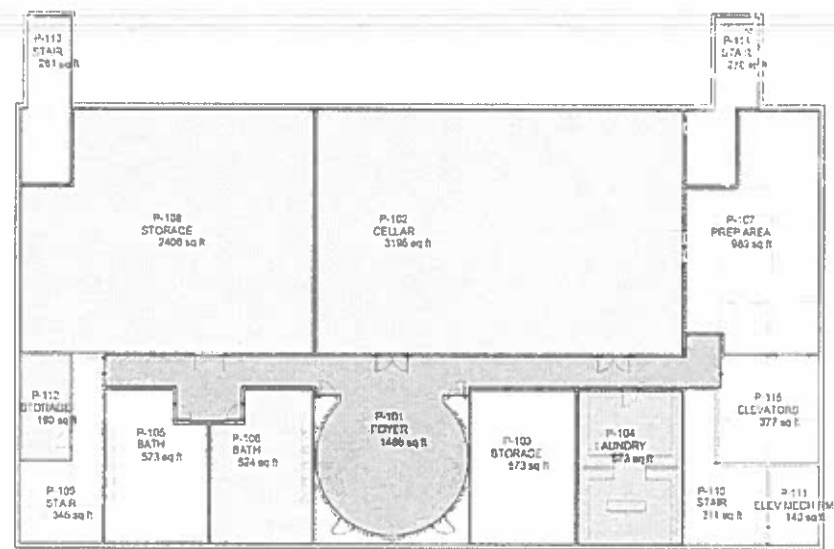
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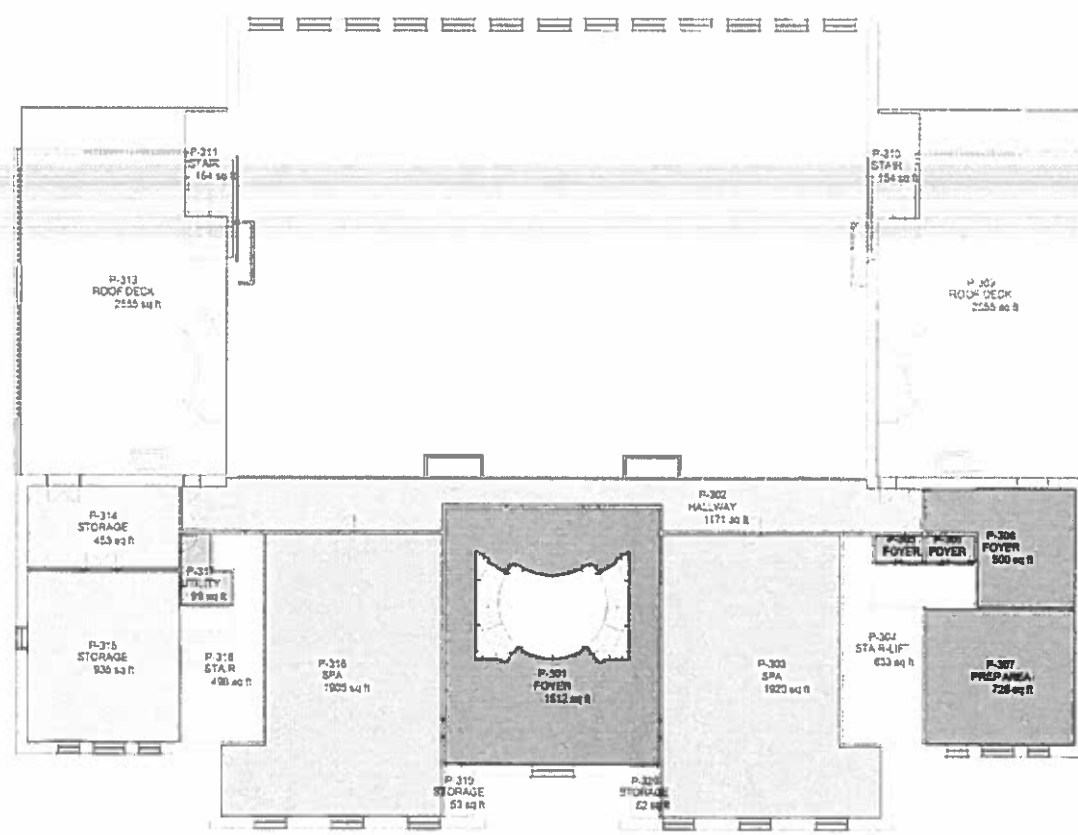
2 MAIN FLOOR NET AREAS
Scale: 1/16" = 1'-0"



4 2ND FLOOR NET AREAS
Scale: 1/16" = 1'-0"



1 BASEMENT NET AREAS
Scale: 1/16" = 1'-0"



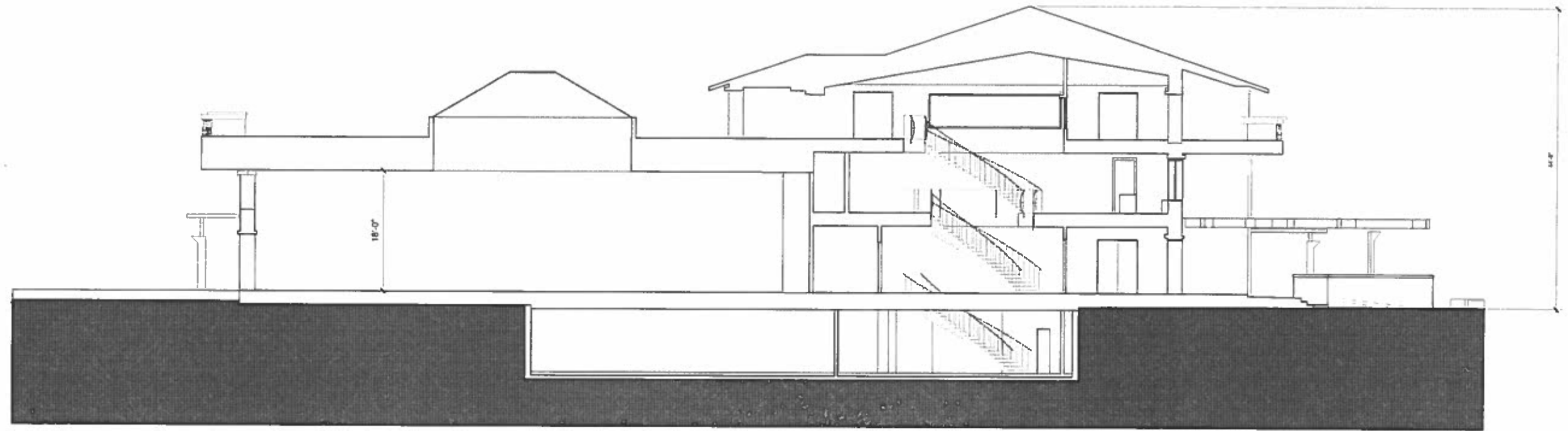
3 MEZZANINE AREAS
Scale: 1/16" = 1'-0"

MARK	DATE	DESCRIPTION
SCALE		
PROJECT NO	16-001	
MODEL FILE	PALAZZO.VWX	
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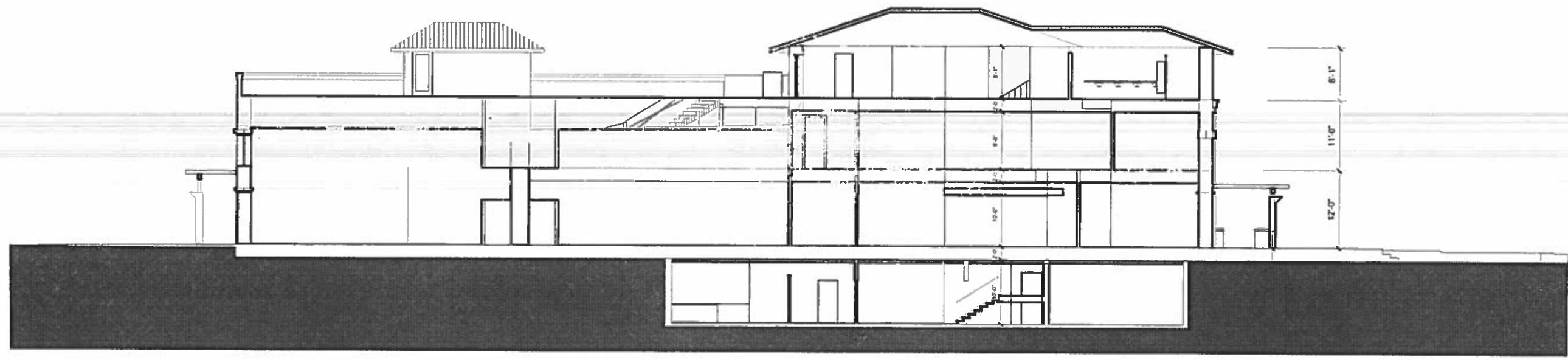
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DRAWING TITLE
NET ROOM AREAS
MEZZANINE

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2 SECTION
 Scale: 1/8" = 1'-0"



1 SECTION-CENTER
 Scale: 1/8" = 1'-0"

PROPOSED PALAZZO HOSPITALITY CENTER
 AT 2001 VINEYARD AVE
 PLEASANTON, CA 94566 FOR
 HAKAM MISSON AND SAMEER MISSON

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SCALE		
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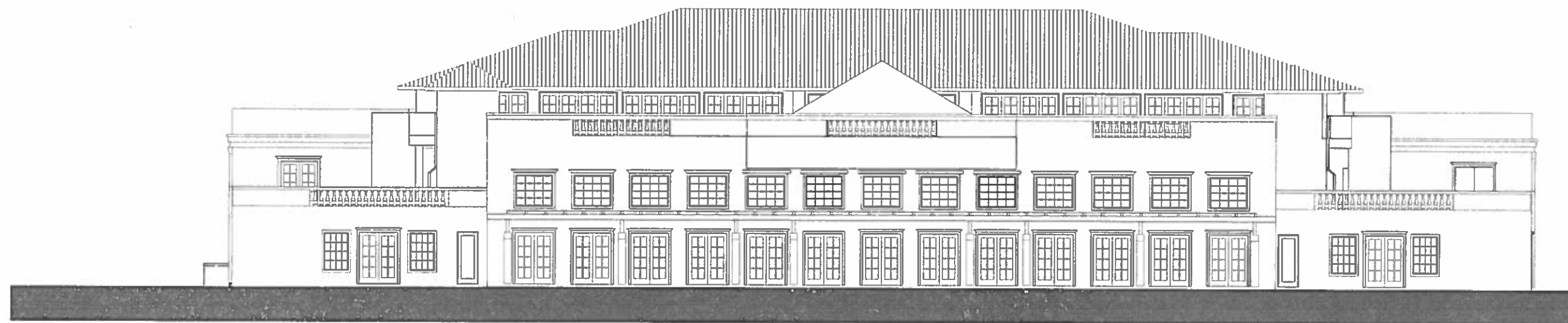
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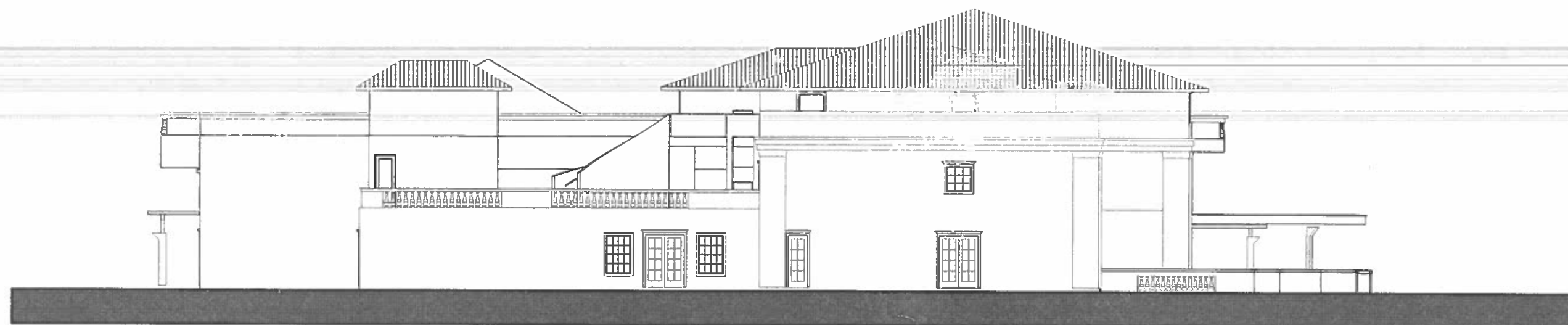
MARK
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351 South Baywood Ave
San Jose, CA 95128
408 260 6886 W
025 308 7270 C
mark.stoklosa@stocpaal.net



1 BACK ELEVATION
Scale: 1/8" = 1'-0"

PROPOSED PALAZZO HOSPITALITY CENTER
AT 2001 VINEYARD AVE
PLEASANTON, CA 94566 FOR
HAKAM MISSON AND SAMEER MISSON



2 LEFT SIDE ELEVATION
Scale: 1/8" = 1'-0"

MARK DATE DESCRIPTION

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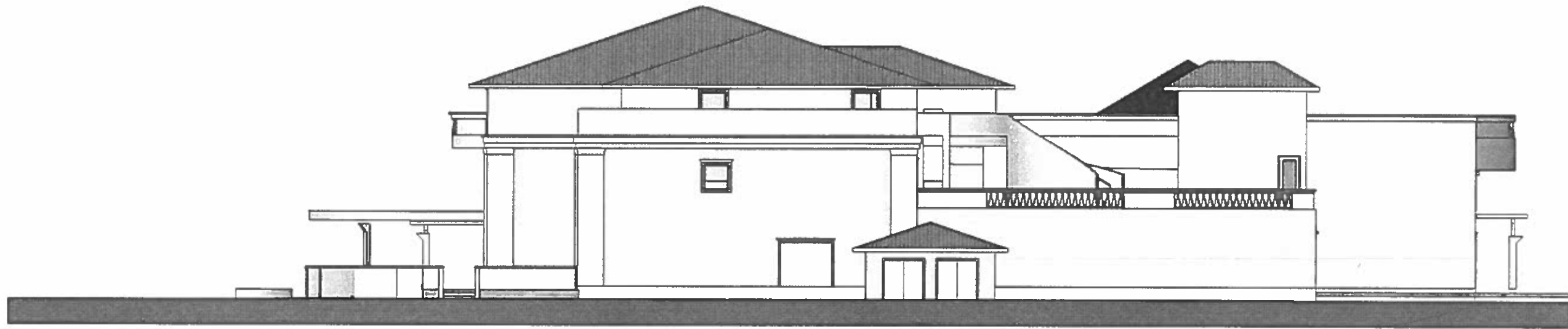
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ELEVATIONS

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A-501

SHEET OF



2 RIGHT ELEVATION
Scale: 1/8" = 1'-0"

- EXTERIOR FINISHES:**
- ROOF: CONCRETE T.E. BY MOHBI THIRACOTTA, MATCHING EXISTING BUILDING
 - WALLS: STUCCO ON TILT UP WALL MATCHING EXISTING SAMPLE TO MEDONBENDOR 3-IN BY LA FABRICA
 - PLASTER: WHITE STUCCO SIMILAR TO CRYSTAL WHITE 6-90 BY LA FABRICA
 - SPINDLES: CONCRETE, COLOR SEJALAH (D) LA HABRA 4-81 (CRYSTAL WHITE)
 - DOOR AND WINDOW TRIM: WOOD PAINTED SIMILAR TO BERRY PAINT TL-W19 NIGHT BLOOMING JASMINE
 - TRELLIS: WOOD PAINTED WITH SAGE AC (C) BERRY PAINT TL-W19 NIGHT BLOOMING JASMINE
 - FRONT DEER FACE: (C) STONE, CAMEL LAMINATE TO ELDONADO 8170H, HRA 16-LEGO, COLOR SEJALAH
 - FRONT CANOPY AND POSTS: METAL, PAINTED SIMILAR TO BERRY PAINT TL-W19 NIGHT BLOOMING JASMINE
 - FRONT ENTRANCE PAVERS: CONCRETE CORBELLS 4'x4'
 - OUTERDOOR LIGHTING: METAL PAINTED WHITE SIMILAR TO BERRY PAINT TL-W19 NIGHT BLOOMING JASMINE



1 FRONT ELEVATION
Scale: 1/8" = 1'-0"

MARK DATE DESCRIPTION

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PALAZZO HOSPITALITY CENTER - CONSERVANCY AREA			
SPACE #	SPACE NAME	AREA	
CA-101	CONSERVANCY AREA	108714 sq ft	

PALAZZO HOSPITALITY CENTER PARKING REQUIREMENT

TITLE 18 ZONING 18.88 OFF STREET PARKING FACILITY SECTION D

NOT ALL AREAS CONTRIBUTE TO PARKING COUNT SINCE THEY ARE AS ACCESSORY.

BASEMENT:
 CELLAR - PLACE OF ASSEMBLY - 1STALL PER 6 SEATS OR 1/60 SQ.FT.
 SEATS ARE NOT FIXED
 3195 SQ FT / 15 (CBC 2013) = 213.
 213 / 6 = 35.5 = 36 STALLS
 OR
 3195 / 60 SQ.FT = 53.2 = 53 STALLS

CELLAR IS ACCESSORY TO HOSPITALITY FUNCTION OR STAND ALONE WITHOUT HOSPITALITY FUNCTION

MAIN FLOOR:
 ASSEMBLY AREA = 10080 SQ.FT - PLACE OF ASSEMBLY =
 SEATS ARE NOT FIXED
 10080 SQ FT / 15 (CBC 2013) = 672.
 672 / 6 = 35.5 = 112 STALLS
 OR
 10080 / 60 SQ.FT = 168 STALLS

LOUNGE / RESTAURANT - SECTION C8
 1/3 SEATS OR 1/200 WHICHEVER IS GREATER
 2320 SQ.FT / 15 = 154
 154 / 3 = 51 STALLS OR 2320 / 200 = 11.6
 RESTAURANT WILL BE A STAND ALONE FACILITY NOT USED DURING THE HOSPITALITY FUNCTION

MEZZANINE:
 SPA (SECTION C-3)
 1/300 = 3825 (1405 AND 1920) / 300 = 12.75 = 13 STALLS
 FACILITY ACCESSORY TO ONLY FOR HOSPITALITY FUNCTION PATRONS OR STAND ALONE WHEN THERE IS NO HOSPITALITY FUNCTION TAKING PLACE.

2ND FLOOR RECEPTION AREA (ACCESSORY TO HOSPITALITY FUNCTION):
 ASSEMBLY AREA
 5921/15=394 (CBC 2013)
 394 / 6 = 65.6 = 66 STALLS
 1/60SQ.FT. = 5921 / 60 = 98 STALLS

DISCUSSION AND CONCLUSION:

HOSPITALITY CENTER PROVIDES ADEQUATE PARKING AT 176 STALLS THAT CAN BE EXPANDED TO 200 STALLS CONSIDERING ADDITIONAL AVAILABLE SPACE IN BETWEEN VINE LINES FOR OVERFLOW (ALLOWABLE BY TRI-VALLEY CONSERVANCY).

AT MAXIMUM HOSPITALITY FUNCTION OF 672 PATRONS WILL REQUIRE 168 STALLS < 176 AVAILABLE

THE TIMES OF HOSPITALITY FUNCTIONS WITHIN PALAZZO HOSPITALITY CENTER WILL BE STAGGERED TO ACCOMMODATE ALL OCCUPANTS AND THIS CAN BE PART OF THE APPROVAL SYSTEM
 HOSPITALITY FUNCTION OF UP TO 672 OCCUPANTS WOULD PRECLUDE USE OF OTHER FACILITIES ON THE PREMISES

PALAZZO B&B AREAS			
SPACE #	SPACE NAME	GROSS AREA	
BB-100	MAIN FLOOR	12409 sq ft	
BB-200	2ND FLOOR AREA	8010 sq ft	
BBE-100	BB-(E) MAIN FLOOR	4154 sq ft	
BBE-200	BB-(E) 2ND FLOOR	2806 sq ft	

PALAZZO HOSPITALITY B&B - PARKING REQUIREMENT

42 ROOMS

TITLE 18 ZONING 18.88 OFF STREET PARKING FACILITY SECTION A5

1 PARKING PER ROOM = 42 STALLS
 PLUS
 1 PARKING FOR EMPLOYEE PER SHIFT
 3 EMPLOYEES = 3 STALLS
 TOTAL FOR B&B = 45 STALLS (INCLUDING ONE ACCESSIBLE STALL)

B&B WILL BE USED EXCLUSIVELY FOR A HOSPITALITY FUNCTION GUESTS OR ONLY FOR GUESTS WHEN THERE IS NO HOSPITALITY FUNCTION.

PALAZZO HOSPITALITY CENTER ROOM AREAS			
SPACE #	SPACE NAME	NET AREA	
P-101	FOYER	1488 sq ft	
P-102	CELLAR	3195 sq ft	
P-103	STORAGE	573 sq ft	
P-104	LAUNDRY	573 sq ft	
P-105	BATH	523 sq ft	
P-106	BATH	524 sq ft	
P-107	PREP AREA	989 sq ft	
P-108	STORAGE	2406 sq ft	
P-109	STAIR	345 sq ft	
P-110	STAIR	311 sq ft	
P-111	ELEV MECH RM	140 sq ft	
P-112	STORAGE	190 sq ft	
P-113	STAIR	281 sq ft	
P-114	STAIR	278 sq ft	
P-115	ELEVATORS	377 sq ft	
P-201	FOYER	450 sq ft	
P-202	PRE-FUNCTION	797 sq ft	
P-203	PRE-FUNCTION	2280 sq ft	
P-204	HALLWAY	1854 sq ft	
P-205	HOSPITALITY FUNCTION	10080 sq ft	
P-206	LOUNGE/RESTAURANT	2299 sq ft	
P-207	STORAGE	1214 sq ft	
P-208	BATH	383 sq ft	
P-209	BATH	307 sq ft	
P-210	OFFICES	1738 sq ft	
P-211	KITCHEN	13612 sq ft	
P-211	STAIR	560 sq ft	
P-212	STAIR-LIFT	560 sq ft	
P-213	STORAGE	485 sq ft	
P-214	STAIR	155 sq ft	
P-215	STAIR	153 sq ft	
P-301	FOYER	1512 sq ft	
P-302	HALLWAY	1171 sq ft	
P-303	SPA	1820 sq ft	
P-304	STAIR-LIFT	833 sq ft	
P-305	FOYER	489 sq ft	
P-306	FOYER	488 sq ft	
P-307	PREP AREA	1726 sq ft	
P-308	FOYER	1500 sq ft	
P-309	ROOF DECK	2555 sq ft	
P-310	STAIR	154 sq ft	
P-311	STAIR	154 sq ft	
P-313	ROOF DECK	2555 sq ft	
P-314	STORAGE	453 sq ft	
P-315	STORAGE	935 sq ft	
P-316	STAIR	498 sq ft	
P-317	Custom	99 sq ft	
P-318	SPA	11805 sq ft	
P-319	STORAGE	53 sq ft	
P-320	STORAGE	52 sq ft	
P-401	RECREATION HALL	8921 sq ft	
P-402	STAIR-LIFT	645 sq ft	
P-403	BATH	283 sq ft	
P-404	BATH	284 sq ft	
P-405	STAIR	845 sq ft	

PALAZZO HOSPITALITY-FLOOR GROSS AREAS

SPACE #	SPACE NAME	GROSS AREA
PG-100	BASEMENT	13175 sq ft
PG-200	2ND FLOOR AREA	27877 sq ft
PG-300	MEZZANINE AREA	12049 sq ft
PG-400	2ND FLOOR AREA	8074 sq ft

NOTE:
 FOR PAVING AND LANDSCAPING AREAS SEE A-103



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 925.262.7270 C
 mark@stoklosa.com

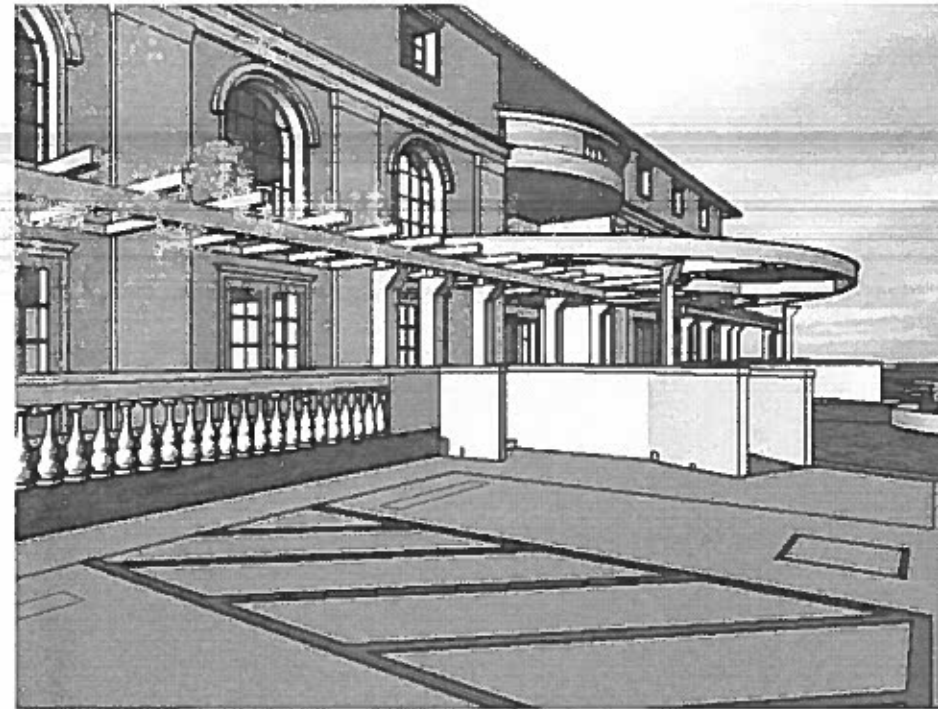
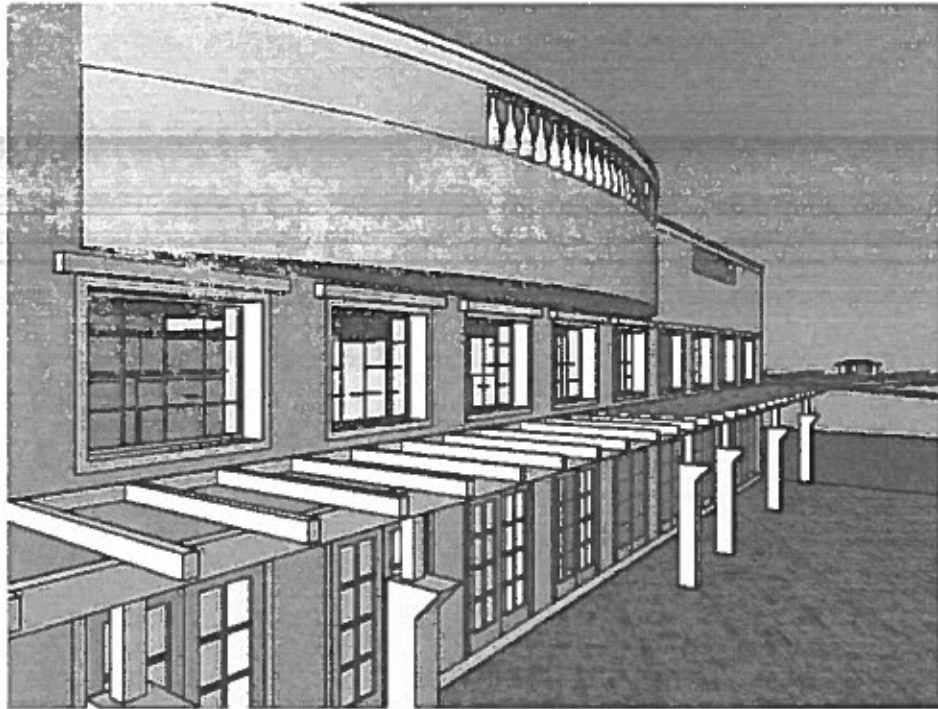
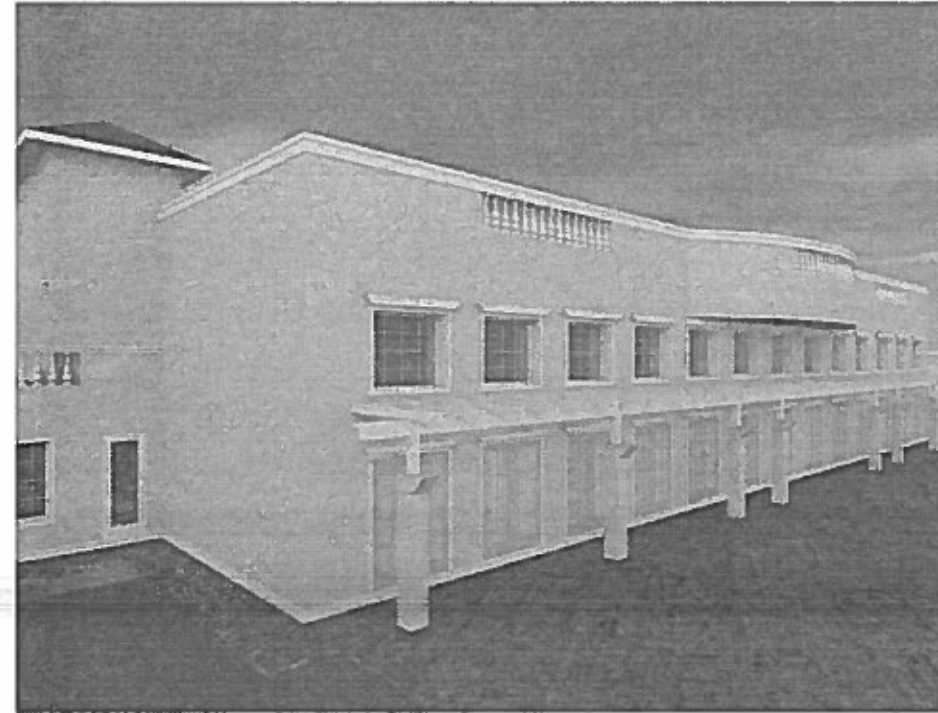
PROPOSED PALAZZO HOSPITALITY CENTER
 AT 2001 VINEYARD AVE/
 PLEASANTON, CA 94566 FOR
 HAKAM MISSON AND SAMEER MISSON

MARK	DATE	DESCRIPTION

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 415 369 7270 F
 mark@stoklosa.com

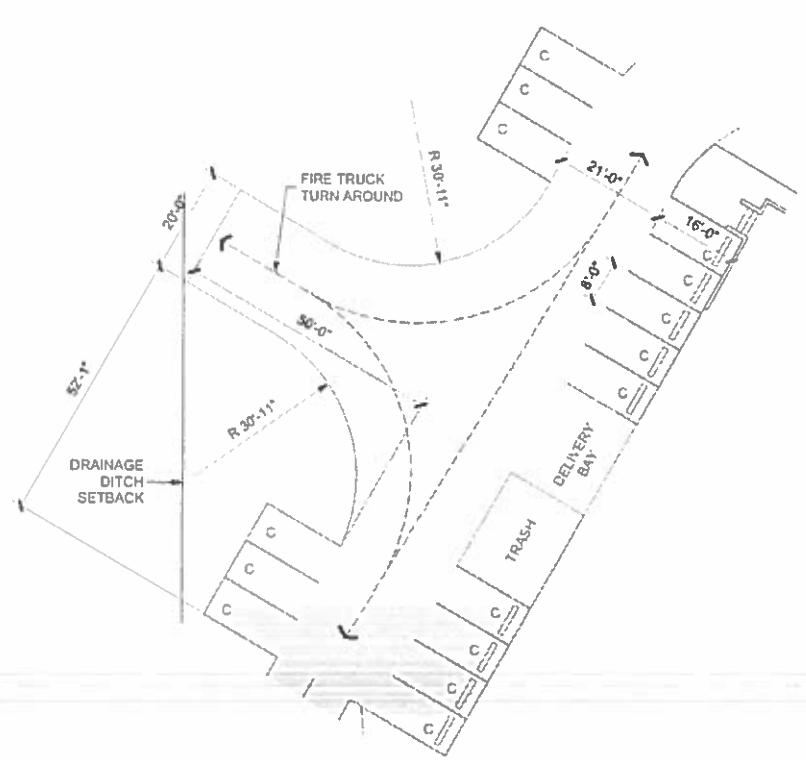
PROPOSED PALAZZO HOSPITALITY CENTER
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MARK	DATE	DESCRIPTION
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MODEL FILE	PALAZZO.VVX	
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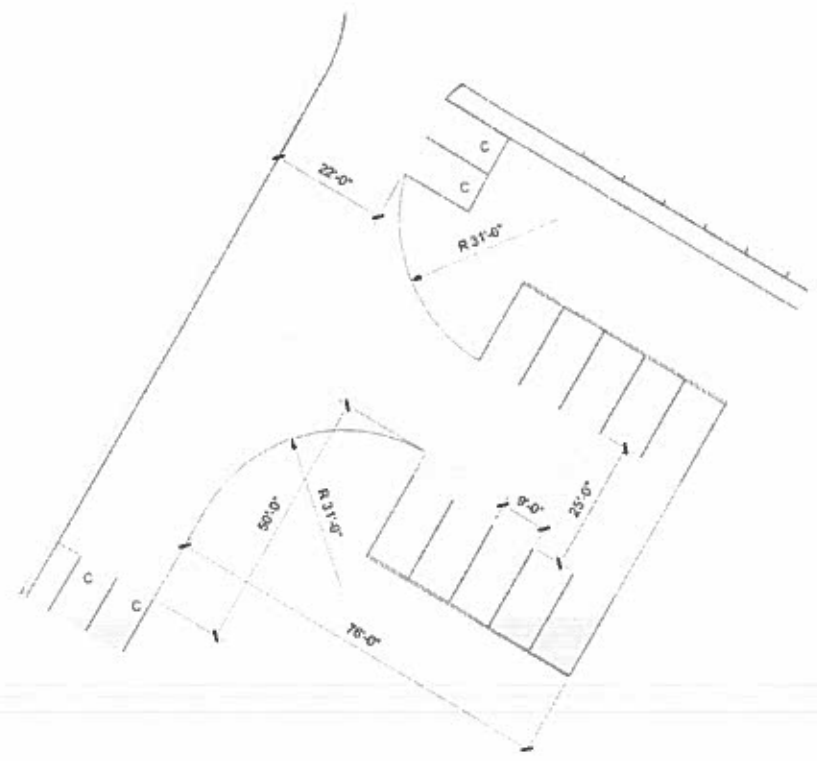
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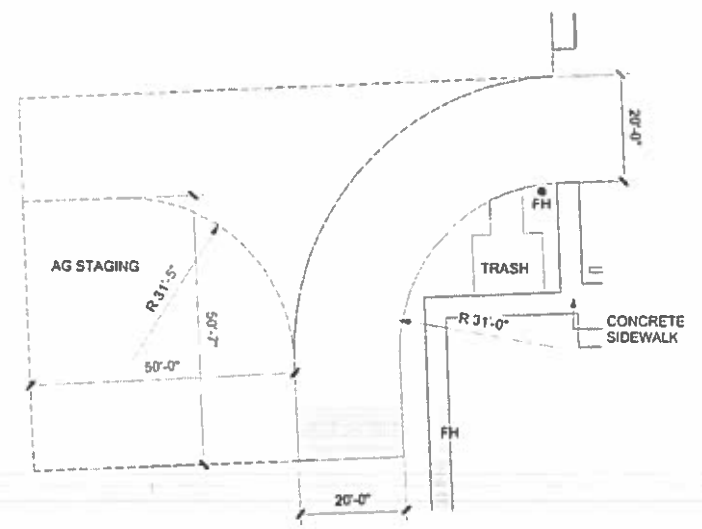
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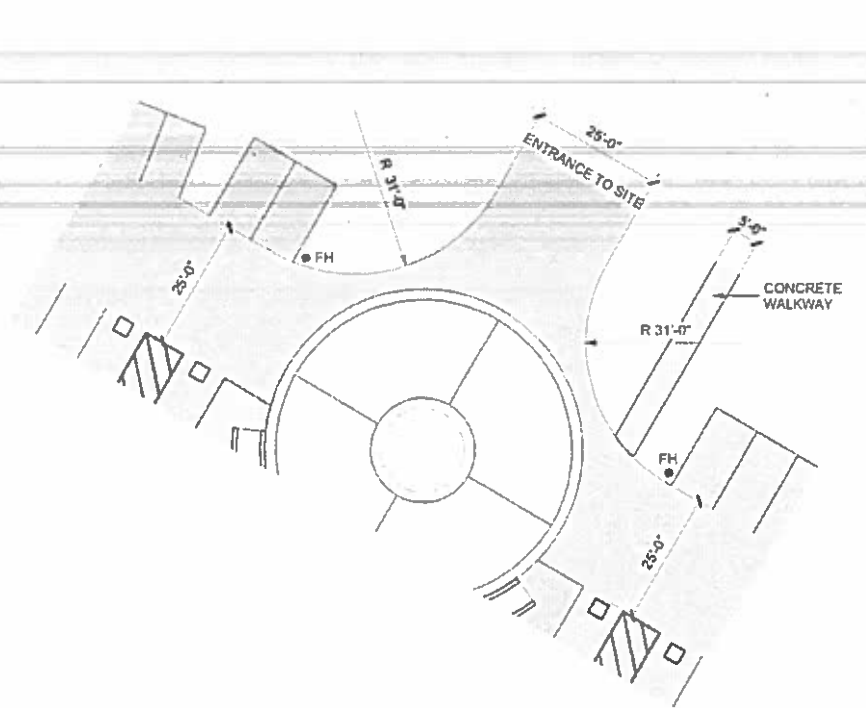
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 AT WEST SIDE OF HOSPITALITY CENTER



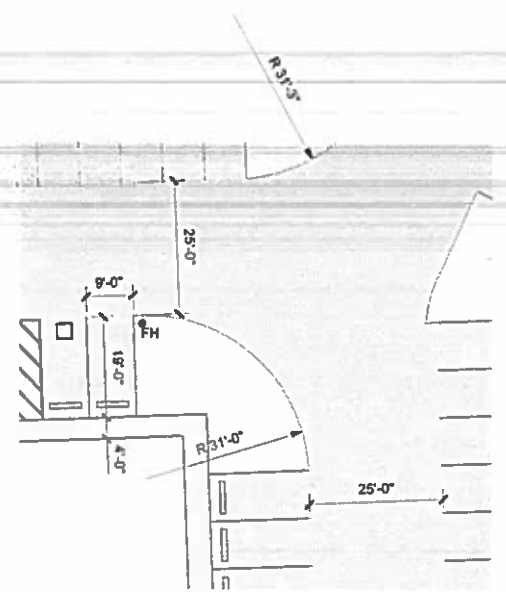
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 Scale: 1/16" = 1'-0"
 AT EAST SIDE OF HOSPITALITY CENTER



3 TURN AROUND-3
 Scale: 1/16" = 1'-0"



4 TURN AROUND-4
 Scale: 1/16" = 1'-0"



5 TURN AROUND-5
 Scale: 1/16" = 1'-0"

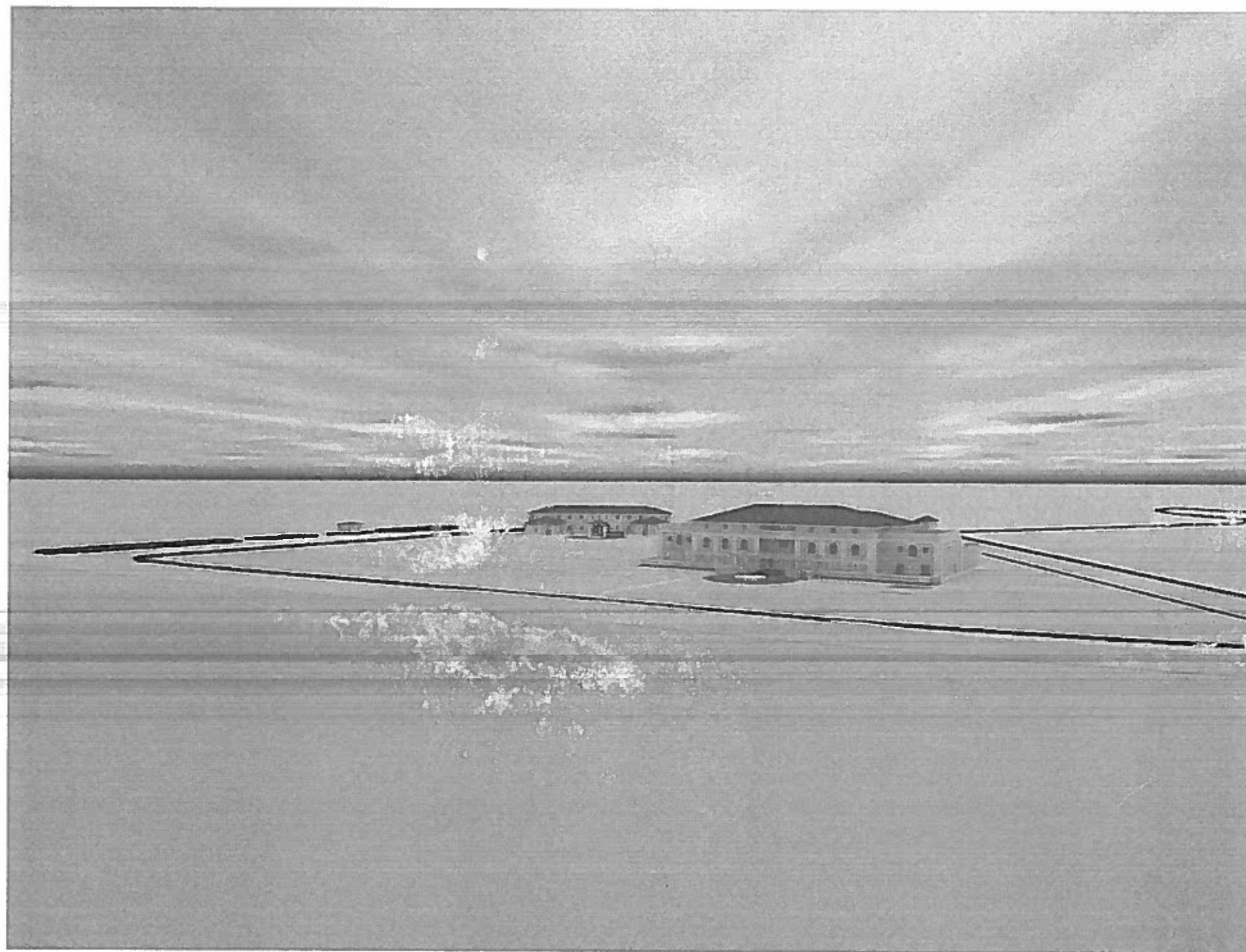
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TURN AROUND DETAILS		

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PROPOSED PALAZZO HOSPITALITY CENTER
AT 2001 VINEYARD AVE
PLEASANTON, CA 94566 FOR
HAKAM MISSON AND SAMEER MISSON

MARK DATE DESCRIPTION

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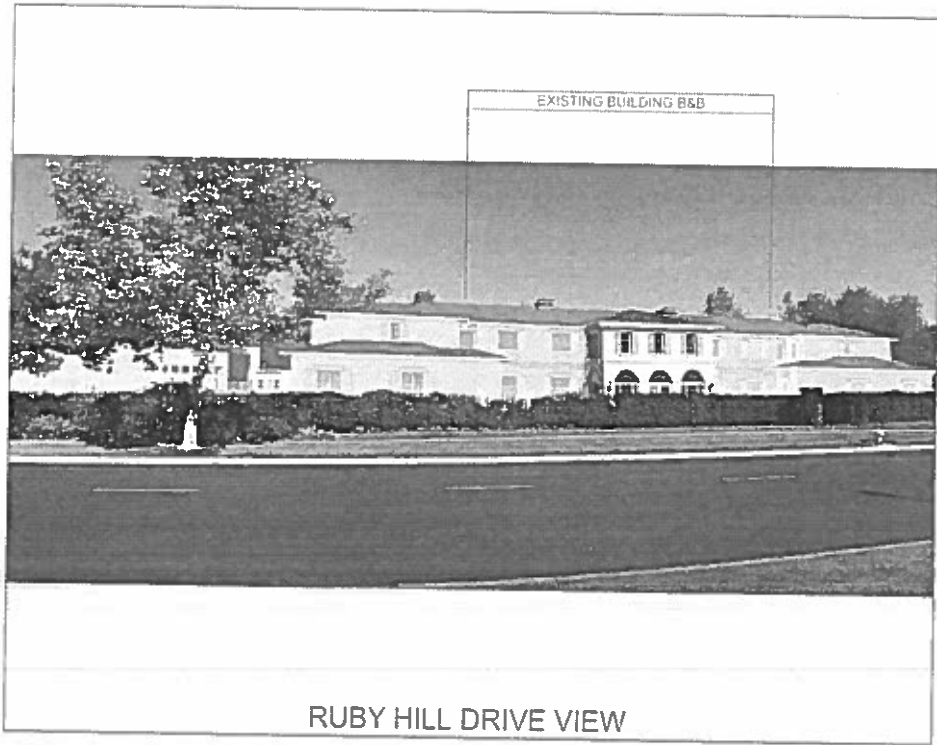
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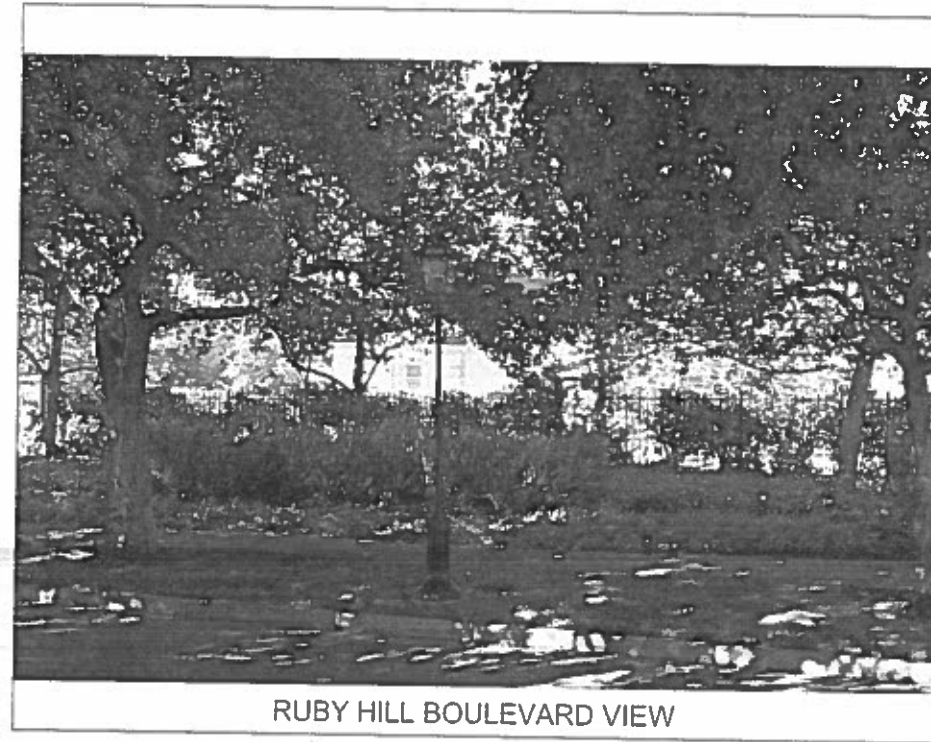


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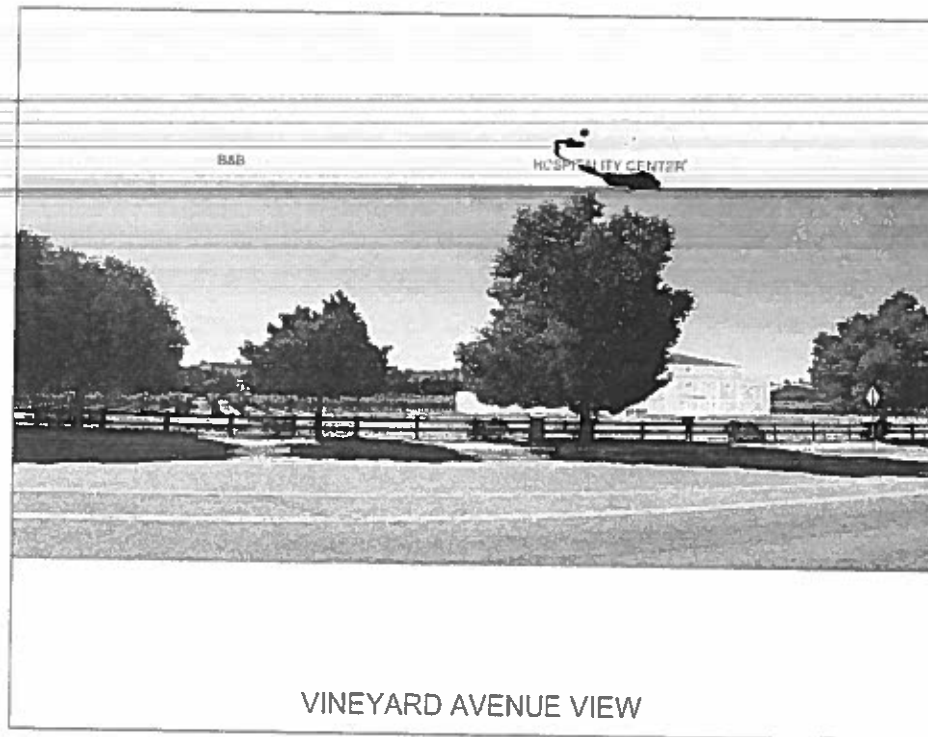
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RUBY HILL DRIVE VIEW



RUBY HILL BOULEVARD VIEW



VINEYARD AVENUE VIEW

PROPOSED PALAZZO HOSPITALITY CENTER
AT 2001 VINEYARD AVE
PLEASANTON, CA 94566 FOR
HAKAM MISSON AND SAMEER MISSON

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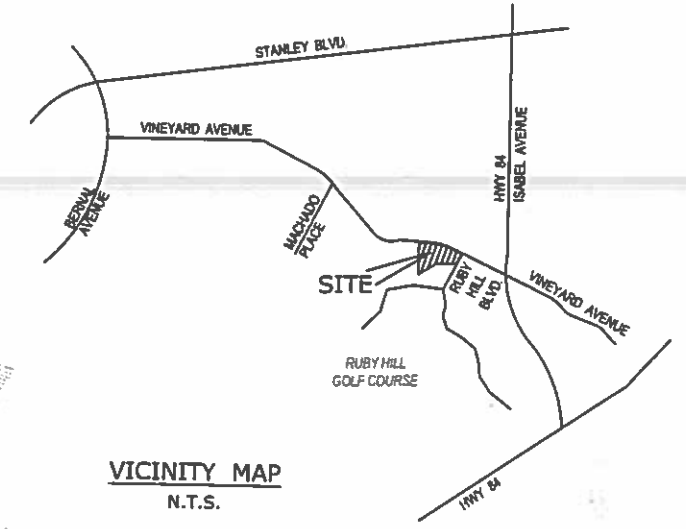
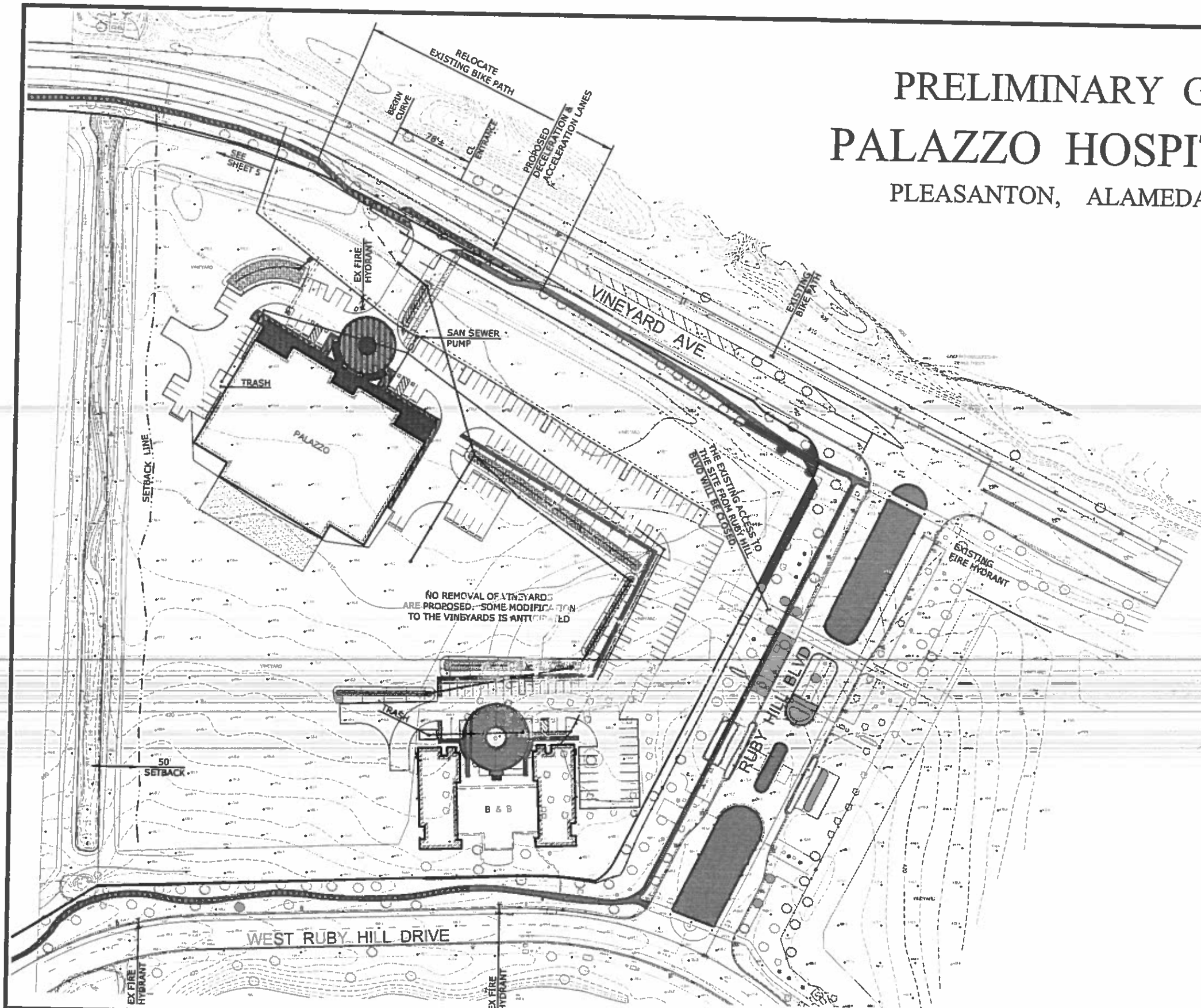
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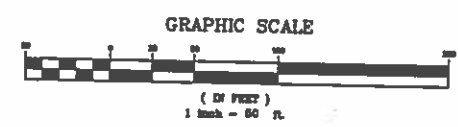
PRELIMINARY GRADING PLANS

PALAZZO HOSPITALITY CENTER

PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



SHEET INDEX	
SHEET NO.	DESCRIPTION
1	OVERALL SITE PLAN
2	PRELIMINARY GRADING PLAN - WEST
3	PRELIMINARY GRADING PLAN - SOUTH
4	PRELIMINARY STORM WATER CONTROL PLAN
5	OFF-SITE SANITARY SEWER



OVERALL SITE PLAN

2000 VINEYARD AVENUE

CITY OF PLEASANTON

ALAMEDA COUNTY

CALIFORNIA

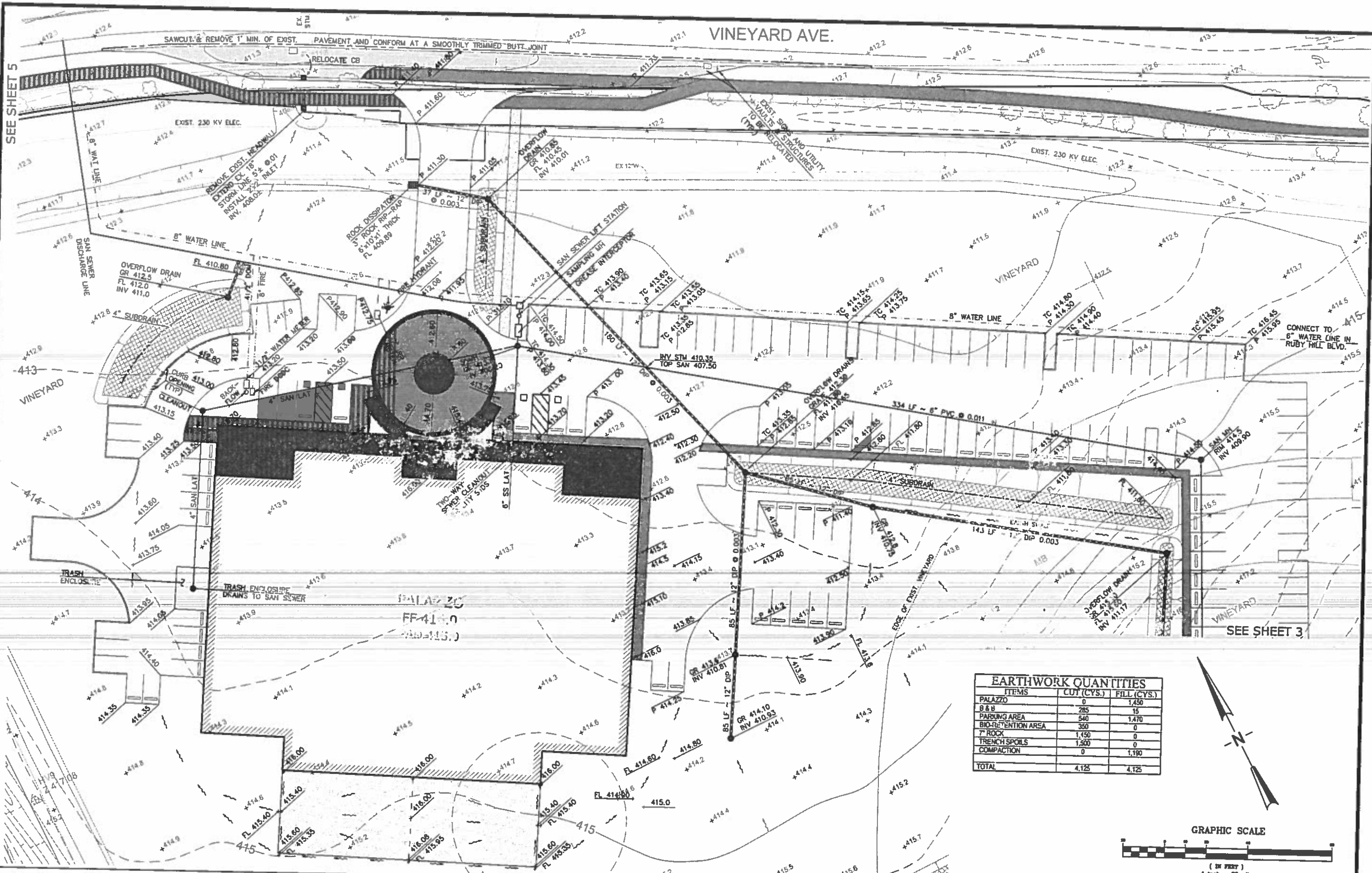
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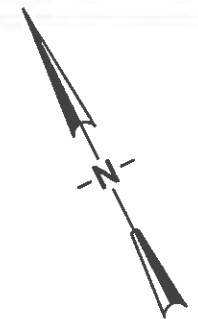


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 Tel: 925/837-3780
 Fax: 925/837-4378
 debolcivil@earthlink.net

Date: 11/18/2016
 Scale: 1" = 50'
 By: JED / Job No.: 16177



EARTHWORK QUANTITIES		
ITEMS	CUT (CY'S.)	FILL (CY'S.)
PALAZZO	0	1,450
B & B	285	15
PARKING AREA	540	1,470
BIO-RETENTION AREA	350	0
7" ROCK	1,450	0
TRENCH SPOILS	1,500	0
COMPACTION	0	1,190
TOTAL	4,125	4,125



**PRELIMINARY
GRADING and DRAINAGE PLAN / WEST**

2000 VINEYARD AVENUE

CITY OF PLEASANTON ALAMEDA COUNTY CALIFORNIA

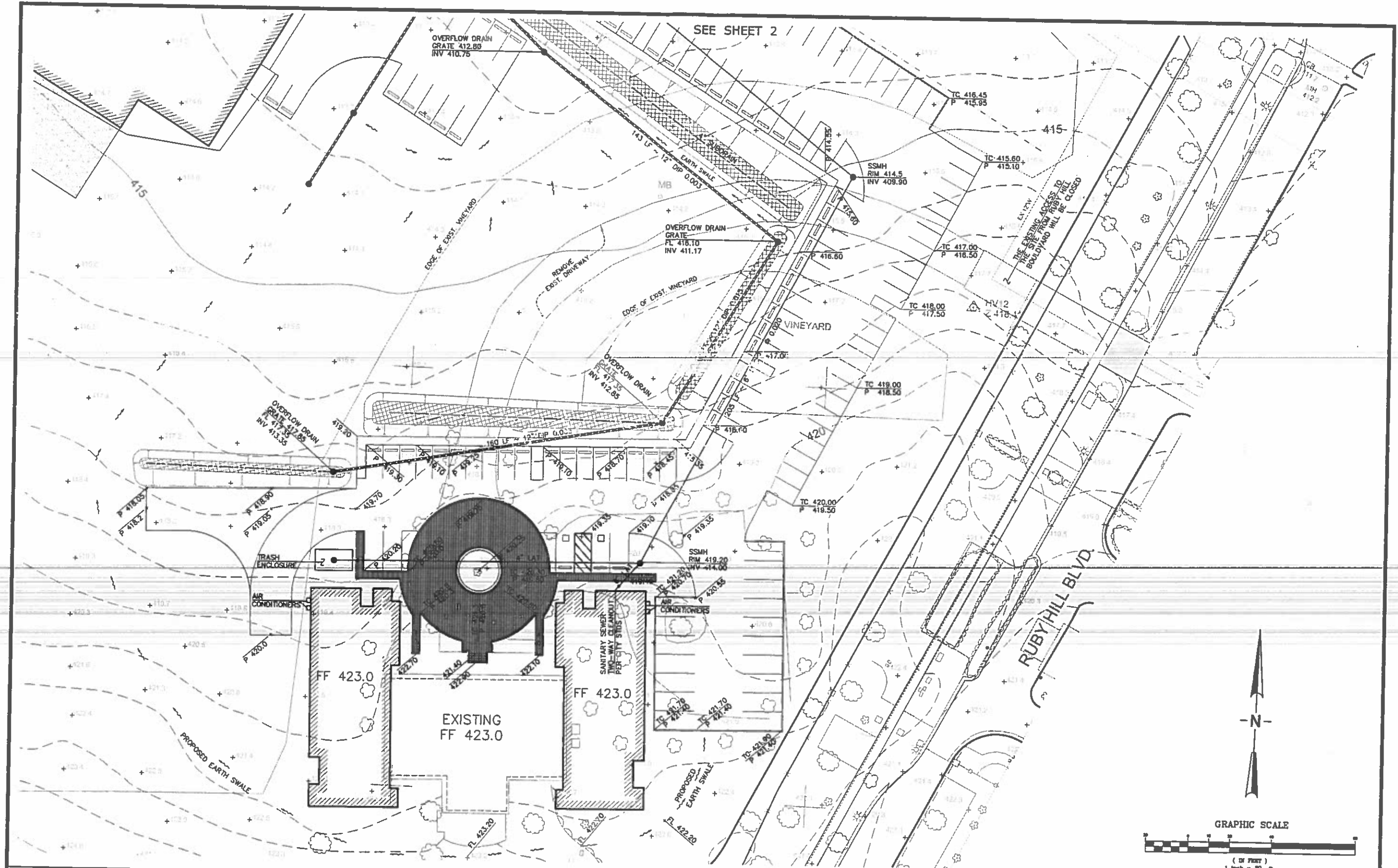
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RENEWAL DATE: 03/1/18

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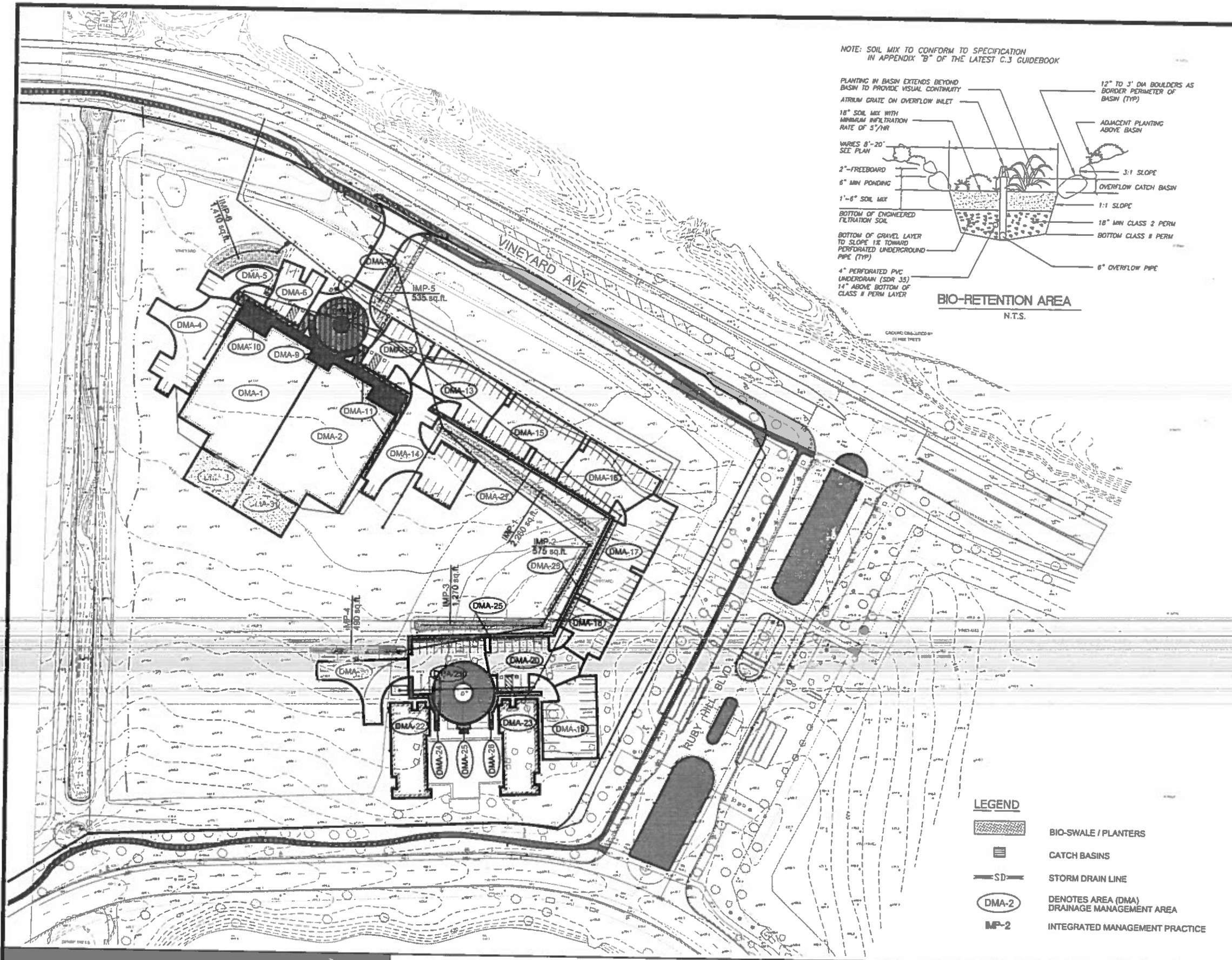


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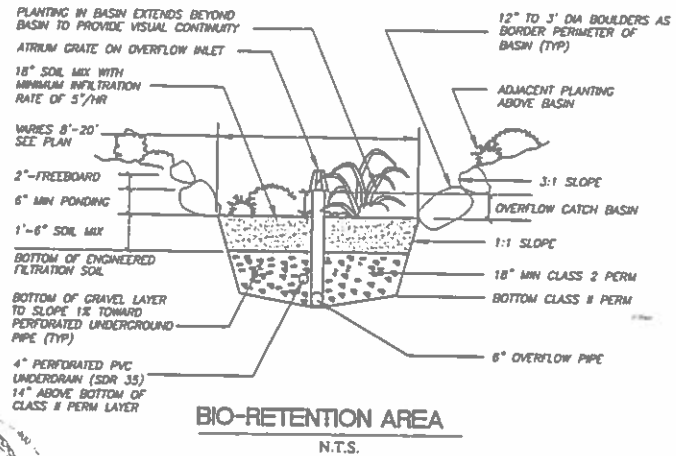
Date: 11/18/2016
Scale: 1" = 20'
By: JED / Job No.: 16177



<p>PRELIMINARY GRADING and DRAINAGE PLAN / SOUTH</p>	<p>2000 VINEYARD AVENUE</p>																			
CITY OF PLEASANTON	ALAMEDA COUNTY	CALIFORNIA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>REVISIONS</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>			#	REVISIONS	DATE												
#	REVISIONS	DATE																		
<p>JAMES E. DIGGINS - R.C.E. 27818 RENEWAL DATE: 03/31/18</p>			<p>DeBolt Civil Engineering 811 San Ramon Valley Boulevard Danville, California 94526 Tel: 925/837-3780 Fax: 925/837-4378 deboltcivil@earthlink.net</p>																	
			<p>Date: 5/26/2016 Scale: 1" = 20' By: JED / Job No.: 16177</p>																	



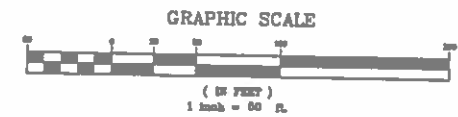
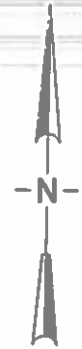
NOTE: SOIL MIX TO CONFORM TO SPECIFICATION
IN APPENDIX "B" OF THE LATEST C.J. GUIDEBOOK



DMA	AREA	SURFACE
1	14,285 sq.ft.	ROOF
2	14,400 sq.ft.	ROOF
3	2,465 sq.ft.	CONCRETE
4	6,010 sq.ft.	ASPHALT
5	1,911 sq.ft.	ASPHALT
6	2,594 sq.ft.	ASPHALT
7	4,209 sq.ft.	ASPHALT
8	2,501 sq.ft.	ASPHALT
9	3,646 sq.ft.	CONCRETE
10	650 sq.ft.	CONCRETE
11	999 sq.ft.	CONCRETE
12	3,032 sq.ft.	ASPHALT
13	5,016 sq.ft.	ASPHALT
14	6,967 sq.ft.	ASPHALT
15	5,645 sq.ft.	ASPHALT
16	5,205 sq.ft.	ASPHALT
17	6,974 sq.ft.	ASPHALT
18	2,684 sq.ft.	ASPHALT
19	4,930 sq.ft.	ASPHALT
20	4,631 sq.ft.	ASPHALT
21	6,914 sq.ft.	ASPHALT
22	4,109 sq.ft.	ROOF
23	4,109 sq.ft.	ROOF
24	324 sq.ft.	CONCRETE
25	114 sq.ft.	CONCRETE
26	354 sq.ft.	CONCRETE
27	966 sq.ft.	CONCRETE
28	569 sq.ft.	CONCRETE
29	710 sq.ft.	CONCRETE
30	3,445 sq.ft.	ASPHALT
31	2,465 sq.ft.	CONCRETE

IMP	SIZE
1	2,260 sq. ft.
2	575 sq. ft.
3	1,270 sq. ft.
4	490 sq. ft.
5	535 sq. ft.
6	1,410 sq. ft.

- LEGEND**
- BIO-SWALE / PLANTERS
 - CATCH BASINS
 - STORM DRAIN LINE
 - DENOTES AREA (DMA) DRAINAGE MANAGEMENT AREA
 - INTEGRATED MANAGEMENT PRACTICE



**PRELIMINARY
STORM WATER CONTROL PLAN**

2000 VINEYARD AVENUE

CITY OF PLEASANTON

ALAMEDA COUNTY

CALIFORNIA

JAMES E. DIOGNS - R.C.E. 27810
RENEWAL DATE: 03/1/18

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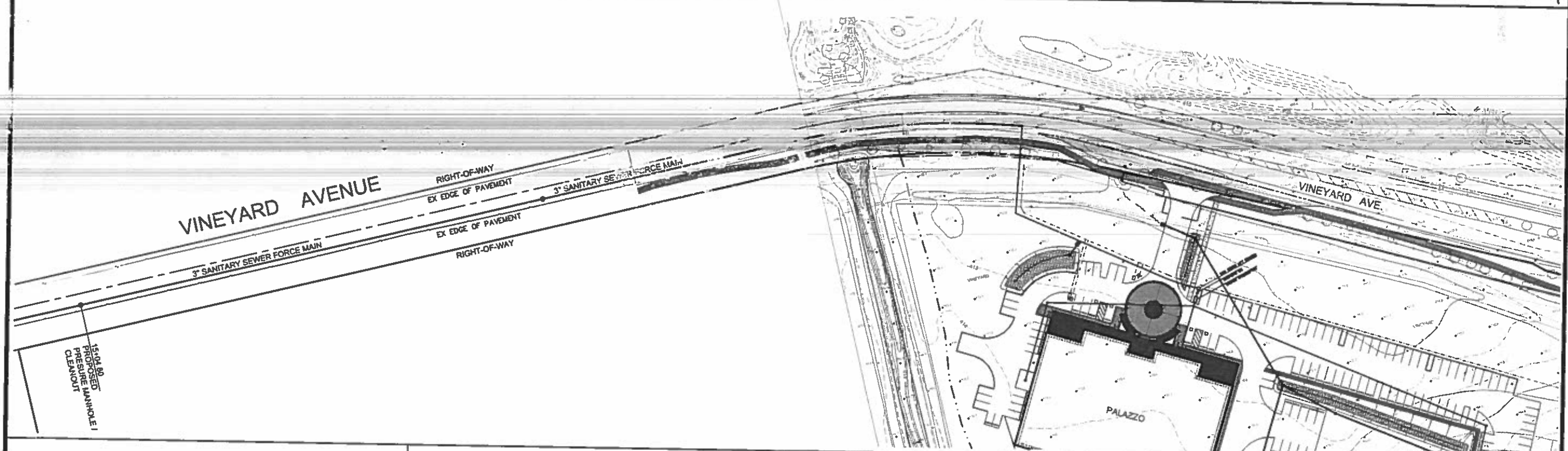
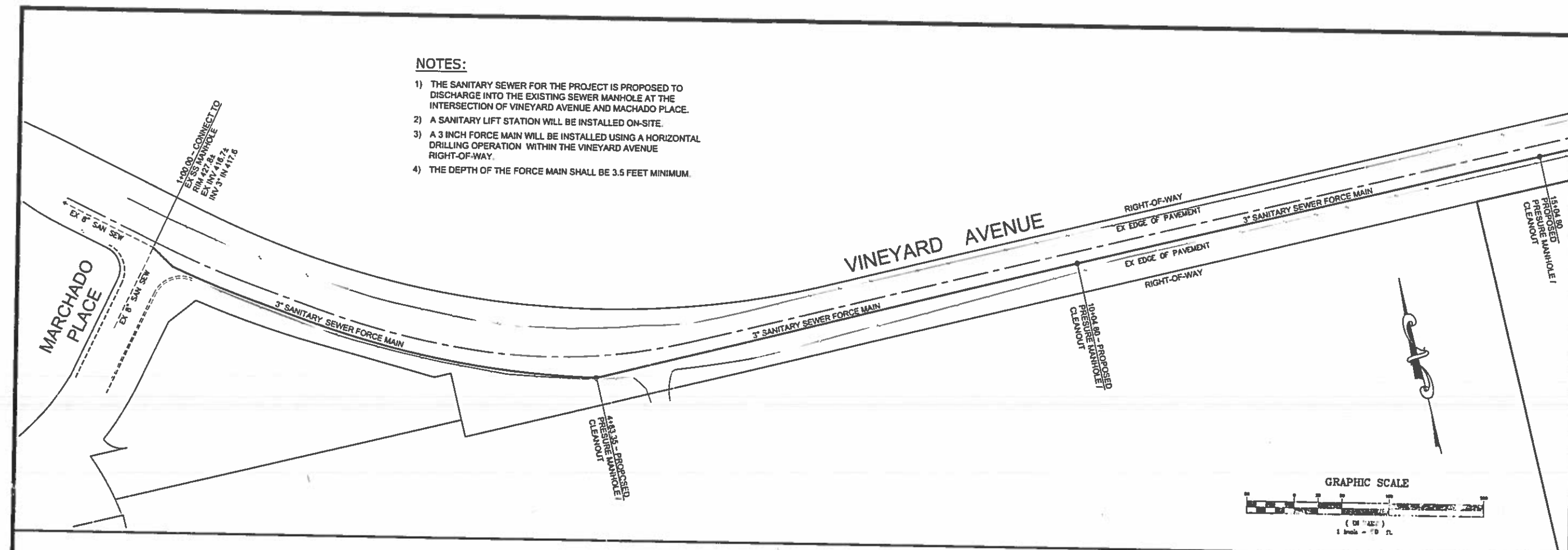


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Date: 11/18/2016
Scale: 1" = 50'
By: JED
Job No: 16177

NOTES:

- 1) THE SANITARY SEWER FOR THE PROJECT IS PROPOSED TO DISCHARGE INTO THE EXISTING SEWER MANHOLE AT THE INTERSECTION OF VINEYARD AVENUE AND MARCHADO PLACE.
- 2) A SANITARY LIFT STATION WILL BE INSTALLED ON-SITE.
- 3) A 3 INCH FORCE MAIN WILL BE INSTALLED USING A HORIZONTAL DRILLING OPERATION WITHIN THE VINEYARD AVENUE RIGHT-OF-WAY.
- 4) THE DEPTH OF THE FORCE MAIN SHALL BE 3.5 FEET MINIMUM.



**PRELIMINARY
OFF-SITE SANITARY SEWER PLAN**

2000 VINEYARD AVENUE

CITY OF PLEASANTON ALAMEDA COUNTY CALIFORNIA

JAMES E. DODDINS - R.C.E. 27818
RENEWAL DATE: 03/31/18

#	REVISIONS	DATE



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Date: 11/18/2016
 Scale: 1" = 50'
 By: JED
 Job No.: 16177

W. JEFFREY HEID
Landscape Architect
C-2255

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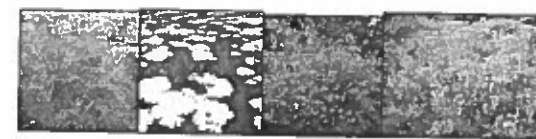
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REVISED 7/29/16
REVISED 7/30/16
REVISED 11/11/16

PLANT LEGEND AND NOTES

Symbol	Species	Size	Water
	<i>Festuca californica</i> / California Fescue @ 36" oc at all low retention zones	1 gallon	low
	<i>Achillea Millefolium</i> / Yarrow @ 36" oc	1 gallon	low
	<i>Nepeta faassenii</i> / Catmint @ 36" oc	1 gallon	low
	<i>Epilobium caryocarpum</i> / California Fuchsia @ 36" oc	1 gallon	low
A	<i>Cupressus sempervirens</i> / Italian Cypress	15 gallon	low
B	Rosa White Carpet Rose	5 gallon	low
C	Lawendia Fat Puz/ Lavender	5 gallon	low
D	Diates vechia/ Fatnight Lily	5 gallon	low
V-1	Wolera stricta on trellis	15 gallon	medium
T-1	Citrus aurantium Sweet Hill multi/ Olive	36" box	low
T-2	Citrus aurantium Lemon	24" box	low

- 1) Verify placement of all plant material in field.
- 2) Contractor shall take sample of soil to lab for fertility analysis and organic soil preparation recommendations for ornamental plants.
- 3) Spread 2" layer of wood chip mulch at planting beds.
- 4) 75% of proposed plant selections are low water need and have a WUCOLS rating of 3 or under.
- 5) "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan".



FESTUCA ACHILLEA NEPETA EPILOBIUM



CUPRESSUS LAVANDULA ROSA DIATES WOLERA



CITRUS CITRUS

P. LAZARO
HOSPITAL CENTER

for:
HAKAM MISSON AND
SAMEER MISSON
2000 VINEYARD RD.
PLEASANTON, CA 94566

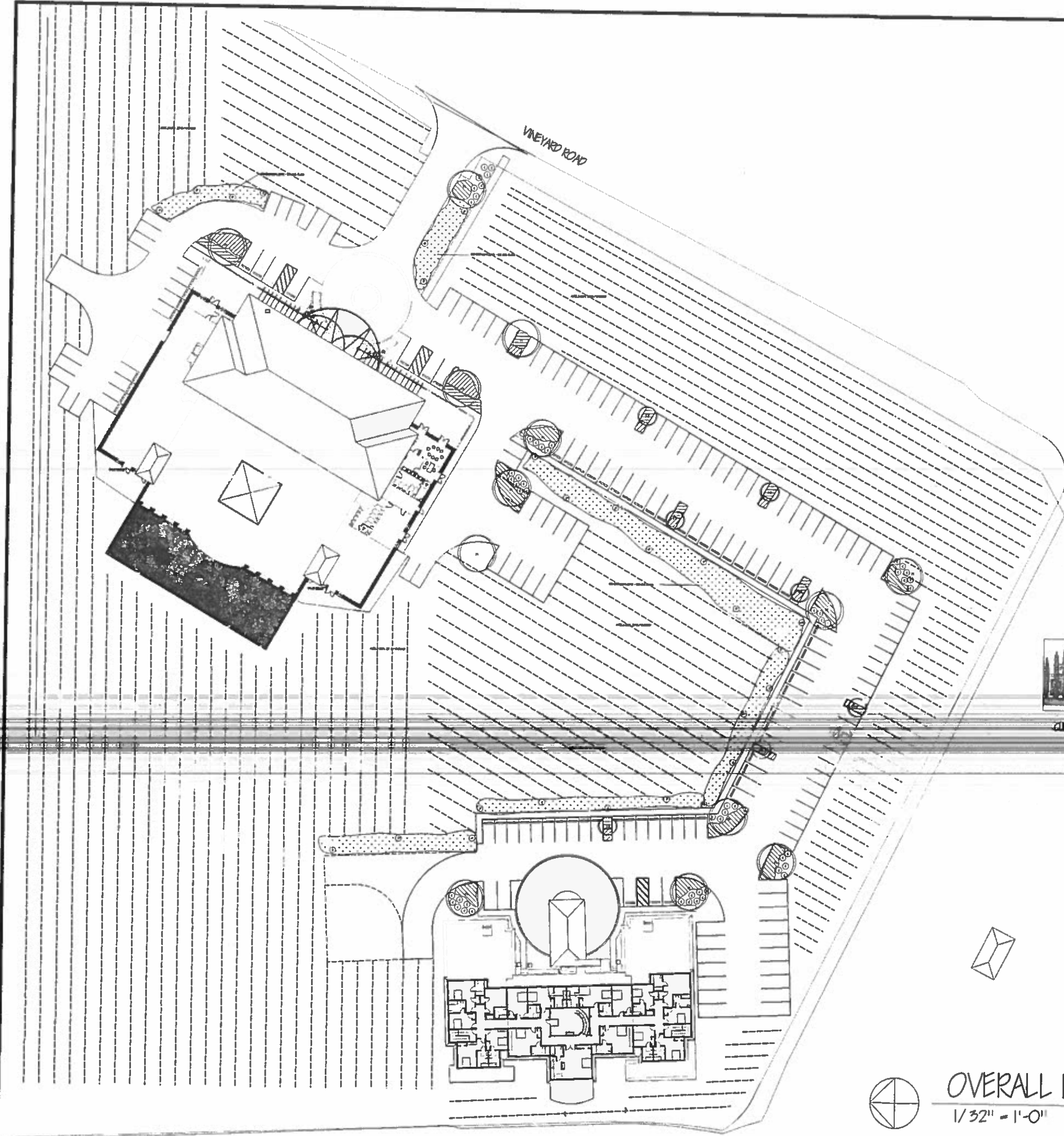
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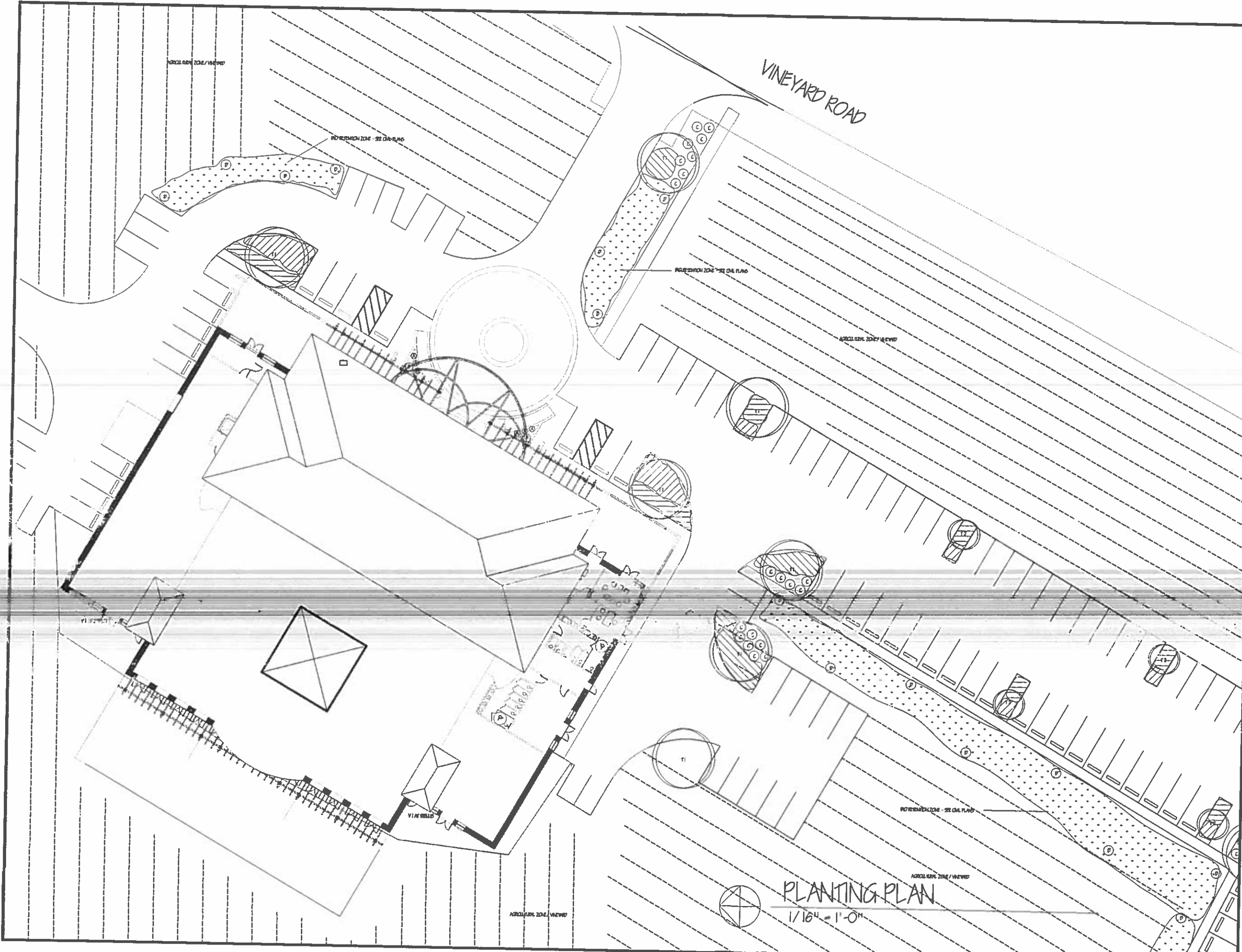
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drawn by: WJH
job no. 21624
sheet

of 6 shts

OVERALL LANDSCAPE PLAN

1/32" = 1'-0"





W. JEFFREY HEID
Landscape Architect
C-2235

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for:
HAKAM MISSION AND
SAMEER MISSION
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PLEASANTON, CA 94566

PLANTING PLAN

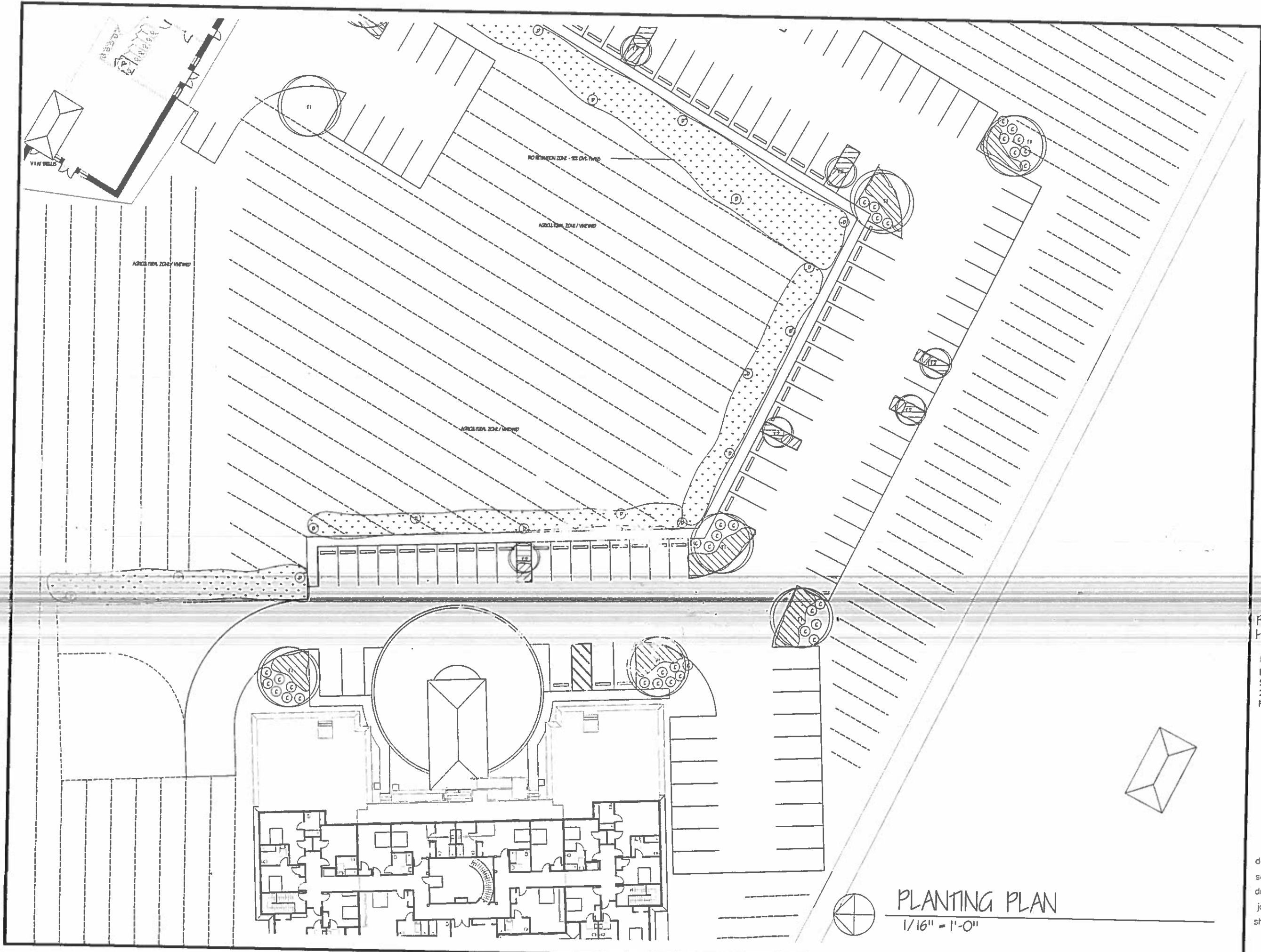
PLANTING PLAN

1/16" = 1'-0"

date 7/27/16
scale NOTED
drawn by WJH
job no. 21624
sheet

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of 6 shts



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PLANTING PLAN

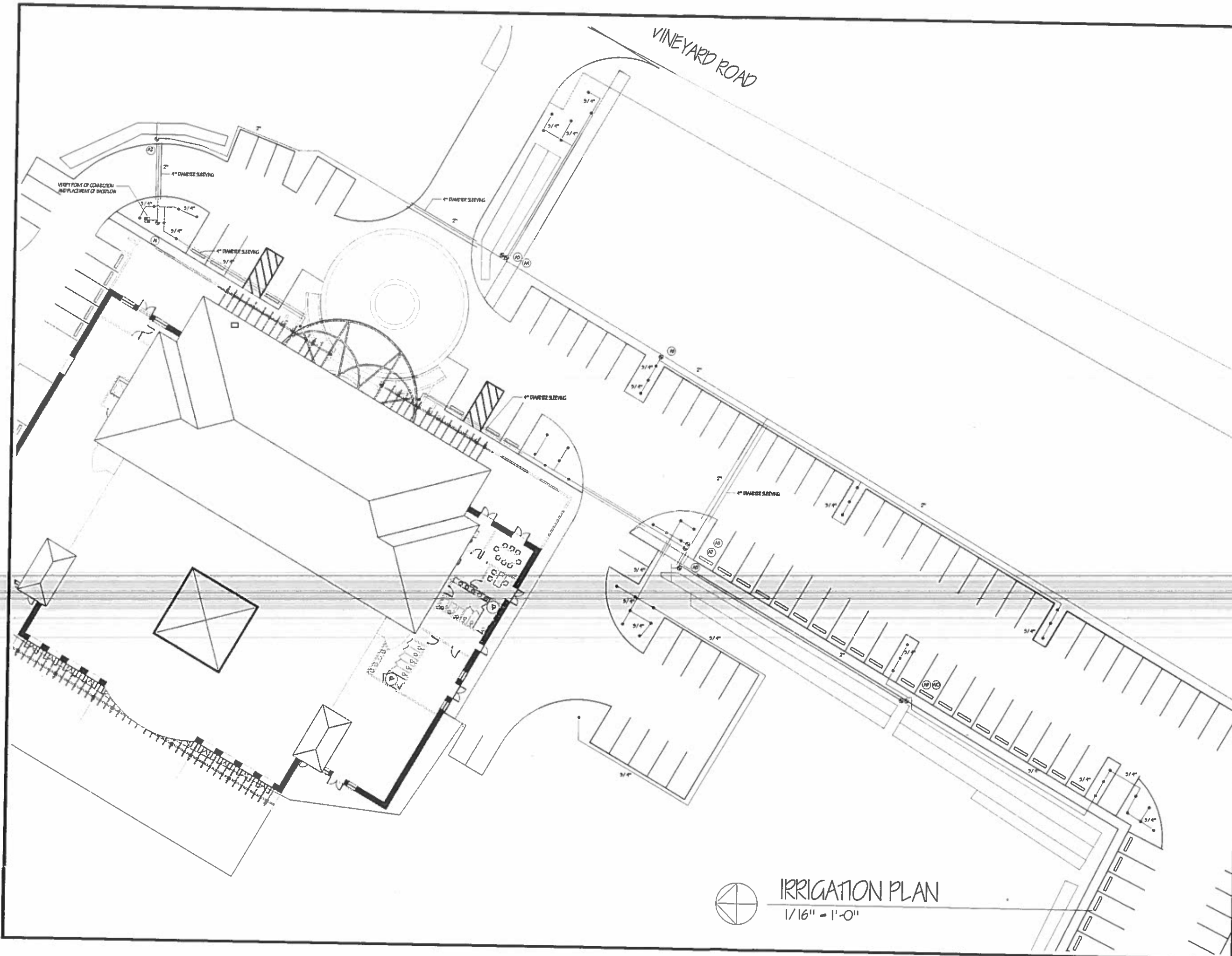
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sheet

PLANTING PLAN

1/16" = 1'-0"

L 3

of 6 sheets



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for:
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SAMEER MISSON
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IRRIGATION PLAN

date: 7/29/16
scale: NOTED
drawn by: WJH
job no. 21624
sheet
L 4
of 6 shts

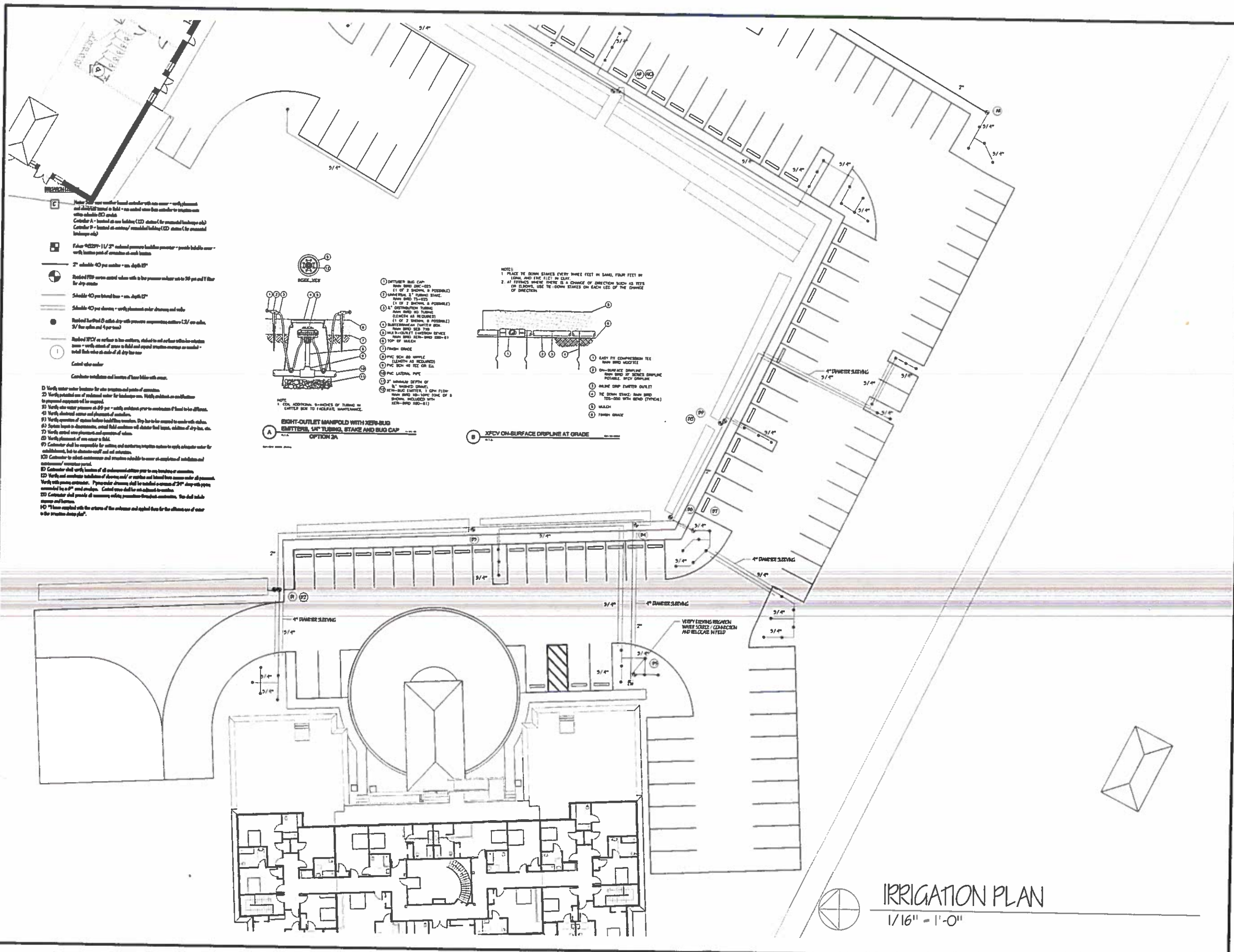
IRRIGATION PLAN
1/16" = 1'-0"

W. JEFFREY HEID
Landscape Architect
C-2235

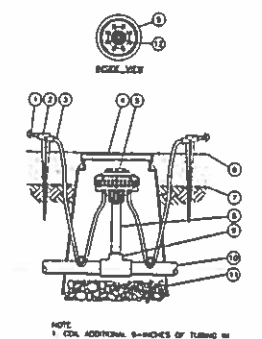
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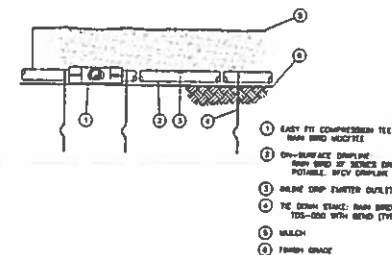
REVISED 11/11/16



- 1. Verify water meter location for site improvement portion of construction.
- 2. Verify placement of meter and location of meter for landscape use. Verify minimum construction to prevent exposure of meter.
- 3. Verify water pressure at 50 psi - verify minimum prior to construction if land to be different.
- 4. Verify electrical service and placement of meter.
- 5. Verify operation of system before landscape installation. Dig for water service to verify water meter.
- 6. System layout to determine, correct field conditions and check final layout, addition of dry line, etc.
- 7. Verify correct site placement and operation of valves.
- 8. Verify placement of main meter in field.
- 9. Contractor shall be responsible for setting and maintaining irrigation system to apply adequate water for establishment, but to determine depth and soil saturation.
- 10. Contractor to select contractor and irrigation schedule to cover all completion of installation and maintenance/seasonal period.
- 11. Contractor shall verify location of all underground utilities prior to any landscape or construction.
- 12. Verify and coordinate installation of electrical and/or water and buried lines across under all pavement. Verify with paving contractor. Pave/prepare driveway shall be installed to minimum of 2\"/>



NOTE: 1. COIL ADDITIONAL 9-INCHES OF TUBING IN LITTER BOX TO FACILITATE MAINTENANCE.
EIGHT-OUTLET MANIFOLD WITH RISER-BUG SYSTEMS, 1/2\"/>



XPCV ON-SURFACE DRIPLINE AT GRADE

- 1. DIFFUSER BAG CAP - RAIN BIRD 200-023 (1 OF 2 SHOWN, 8 POSSIBLE)
- 2. UNIVERSAL 2\"/>
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NOTES:
1. PLACE THE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE THE DOWN STAKES ON EACH LEG OF THE DEVICE OF DIRECTION.



IRRIGATION PLAN
1/16" = 1'-0"

PALAZZO
HOSPITALITY CENTER

for:
HAKAM MISSION AND
SAMEER MISSION
2000 VINEYARD RD.
PLEASANTON, CA. 94566

IRRIGATION PLAN

date: 7/29/16
scale: NOTED
drawn by: WJH
job no. 21624
sheet L5

of 6 shts

