

Existing residence

Fence not shown for clarity



New apartments

View looking Northwest

# Harrison Street Apartments

4722 Harrison Street

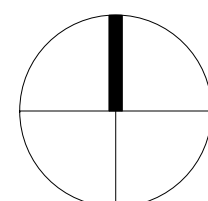
Pleasanton, California

## Vicinity Map



**JOHNSON LYMAN ARCHITECTS**

1375 LOCUST ST #202, WALNUT CREEK, CA 94596  
 PHONE: 925.930.9690 FAX: 925.930.9039  
 WEB PAGE: WWW.JOHNSONLYMAN.COM  
 EMAIL: STAFF@JOHNSONLYMAN.COM



## Project Summary

Site Area:	7,509 SF +/-	Parking Provided:	5 stalls
Site Coverage	34.8%		
Floor Area Ratio (Excluding Garage)	45.3%		
APN:	94-155-20		
Existing Building Area:			
Residence:	1,042 SF +/-		
Garage:	400 SF +/-		
Proposed Building Area:			
Residence:	1,042 SF +/- (Existing)		
Garages	439 SF		
Unit 1			
First Floor	566 SF		
Second Floor	630 SF		
Unit 2			
First Floor	566 SF		
Second Floor	598 SF		
Total	3,841 SF		

## Project Team

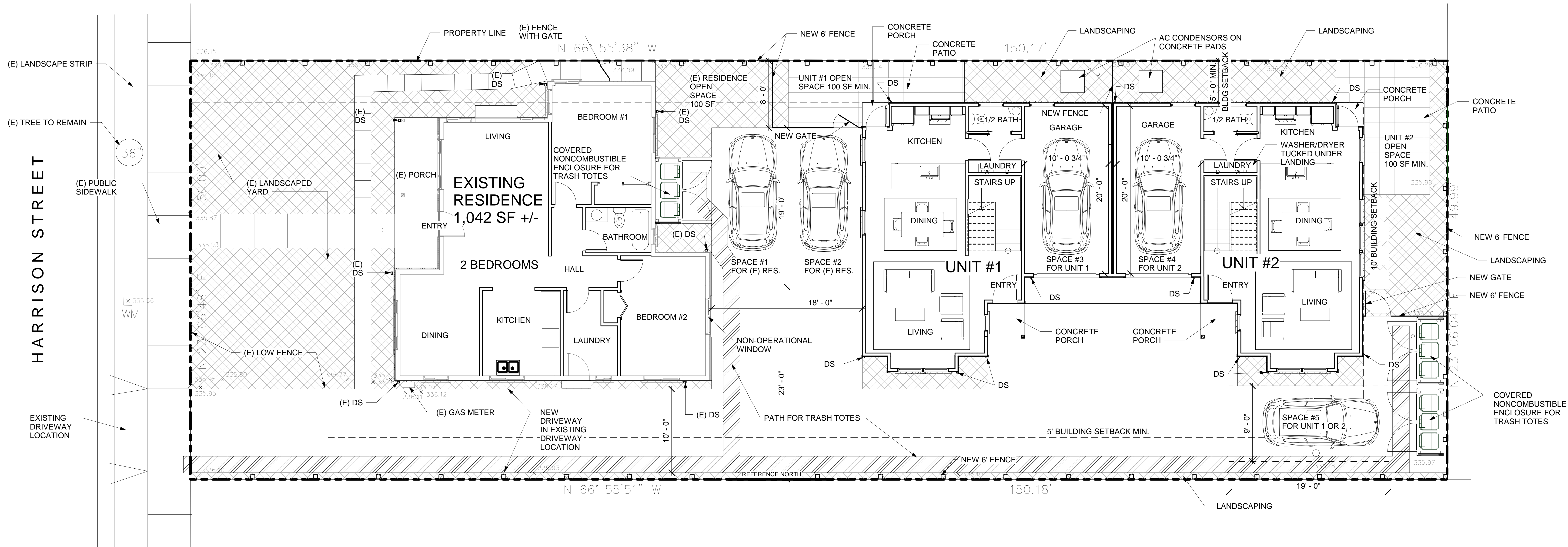
<b>Owner</b> Dennis Winslow & Bonnie Waters 286 Rickenbacker Circle Livermore, CA 94551	<b>Architect</b> Johnson Lyman Architects 1375 Locust Street Suite 202 Walnut Creek, CA 94596 925.930.9690 Attn: Robert Lyman Robert@JohnsonLyman.com
<b>Civil Engineer</b> Humann Company, Inc. 1021 Brown Avenue Lafayette, CA 94549 510.283.5000 Attn: Hany Naom humann@pacbell.net	<b>Landscape Architect</b> Thomas Baak & Associates 1620 North Main Street Walnut Creek, CA 94596 925.933.2583 Attn: Rick Stover rstover@tbaak.com

## Sheet Index

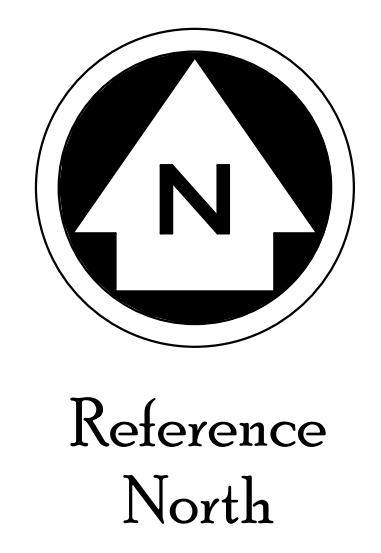
A0	Cover Sheet	CB	Colors & Materials
P1	Renderings	L1	Preliminary Landscape Plan
D1	Demo Plan	C01	Grading and Drainage Plan
A1.1	First Floor Plan	C02	Utility Plan
A1.2	Second Floor Plan	C03	Existing Conditions
A3	Roof Plan		
A4.1	Elevations		
A4.2	Elevations		
A5	Details		
A6	Car Turns		

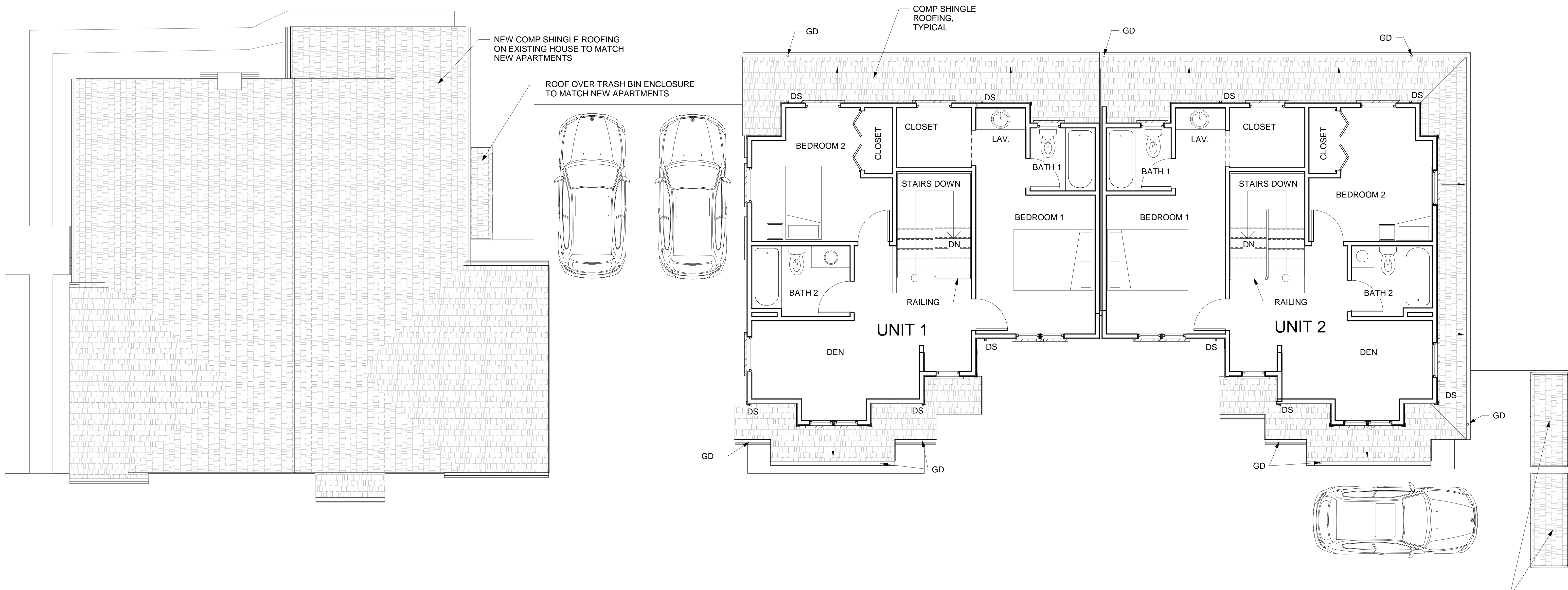
**A0**

1-10-18



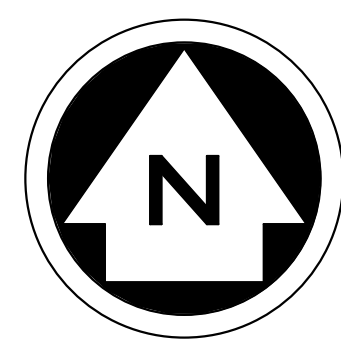
1 1ST FLOOR PLAN  
3/16" = 1'-0"





1 2ND FLOOR PLAN  
1/4" = 1'-0"

ROOF OVER TRASH BIN ENCLOSURE TO MATCH NEW APARTMENTS



Reference  
North

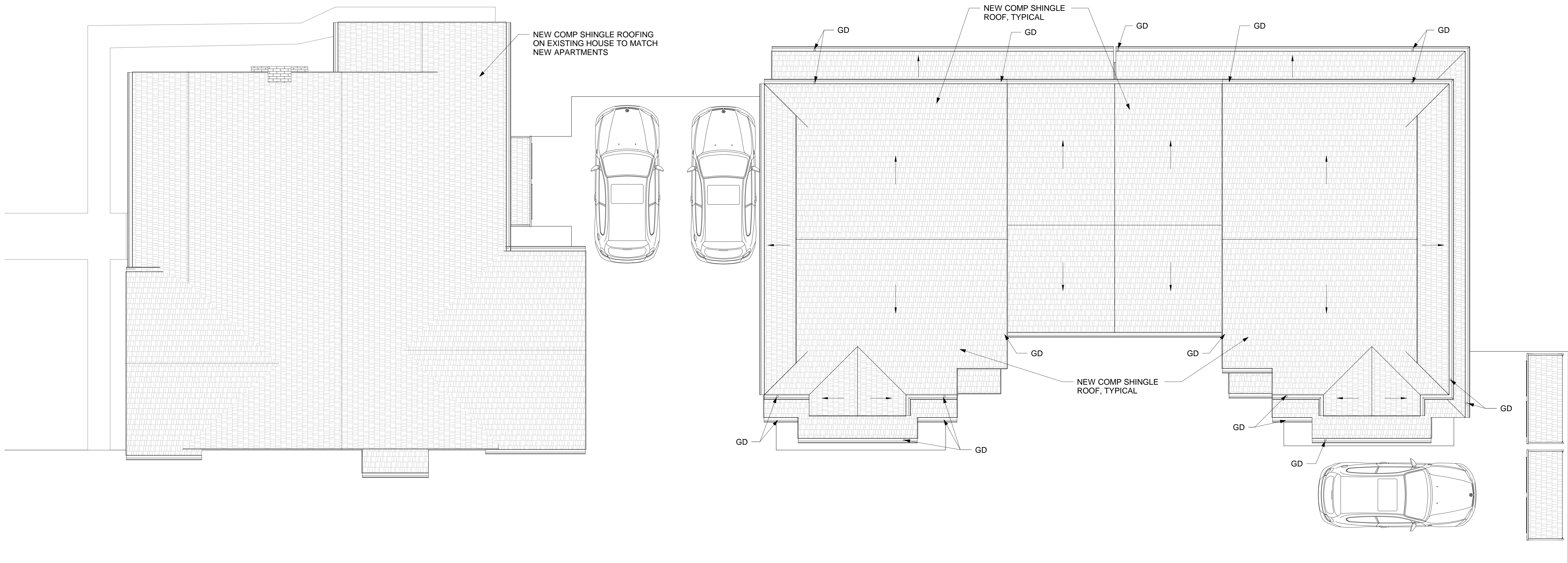
# Harrison Street Apartments

4722 Harrison Street  
Pleasanton, California

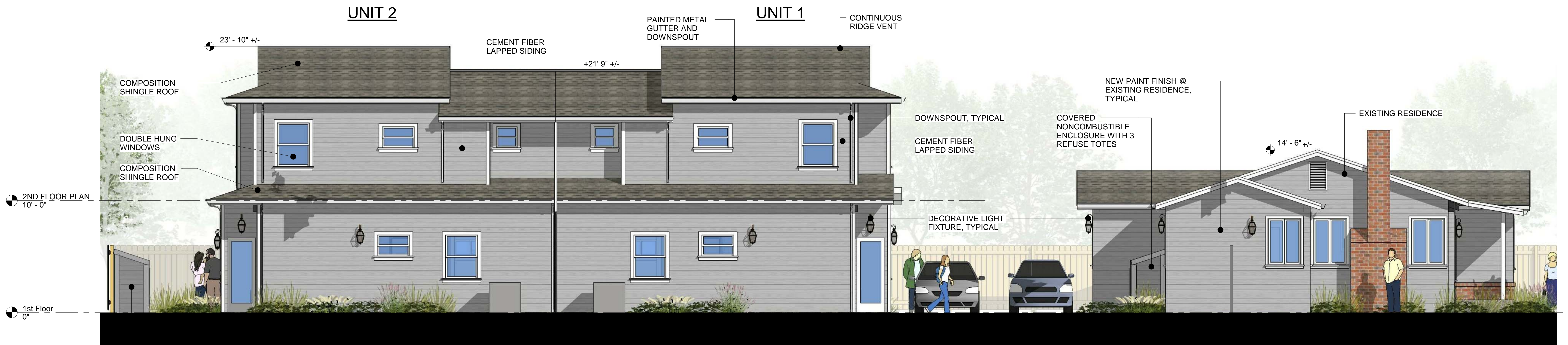
2nd Floor Plan

A1.2

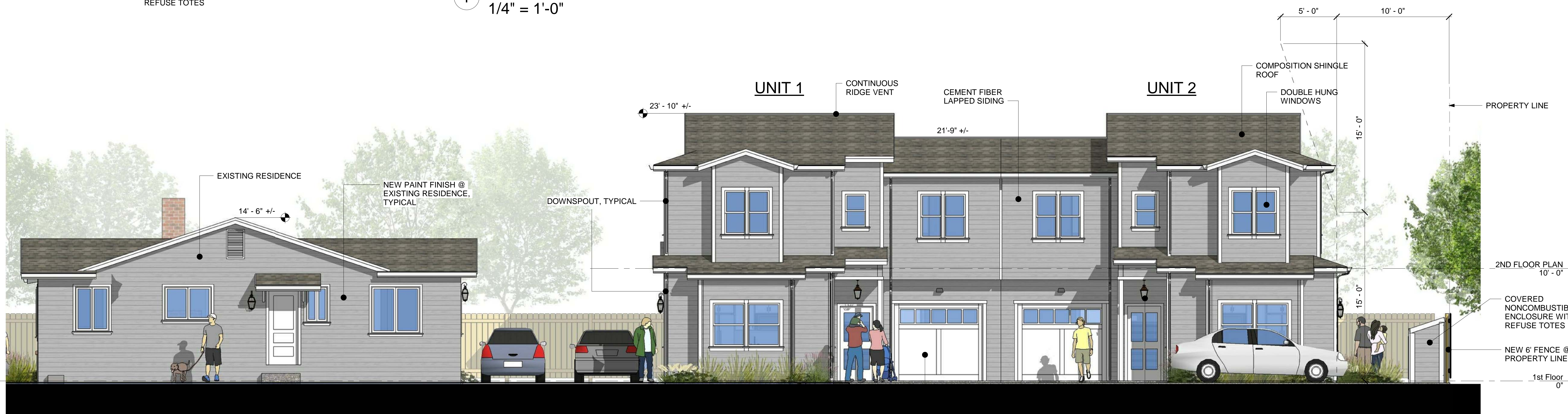
1-10-18



1 ROOF PLAN  
1/4" = 1'-0"



1 NORTH ELEVATION  
1/4" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"

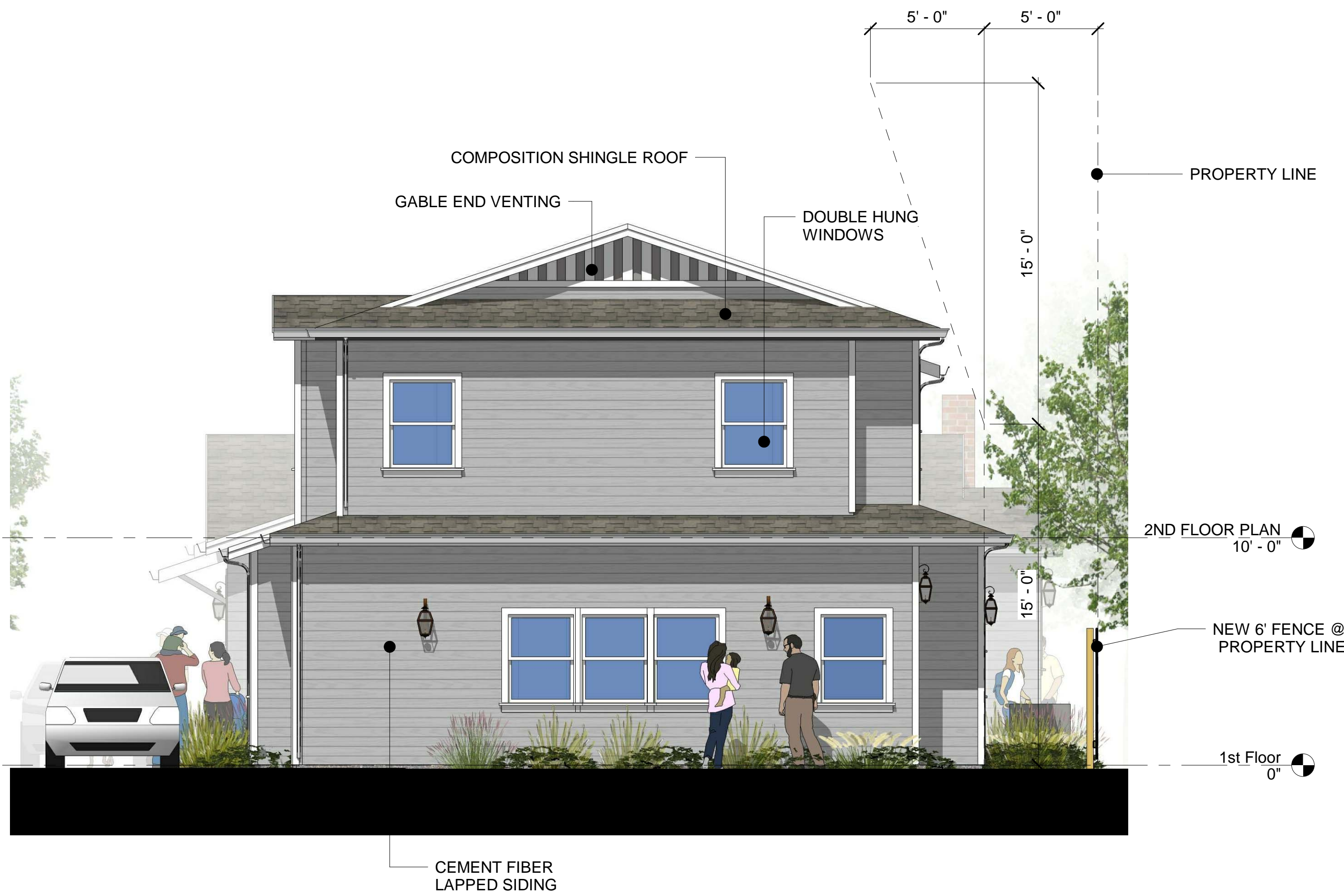


1 WEST ELEVATION - (E) HOUSE  
1/4" = 1'-0"

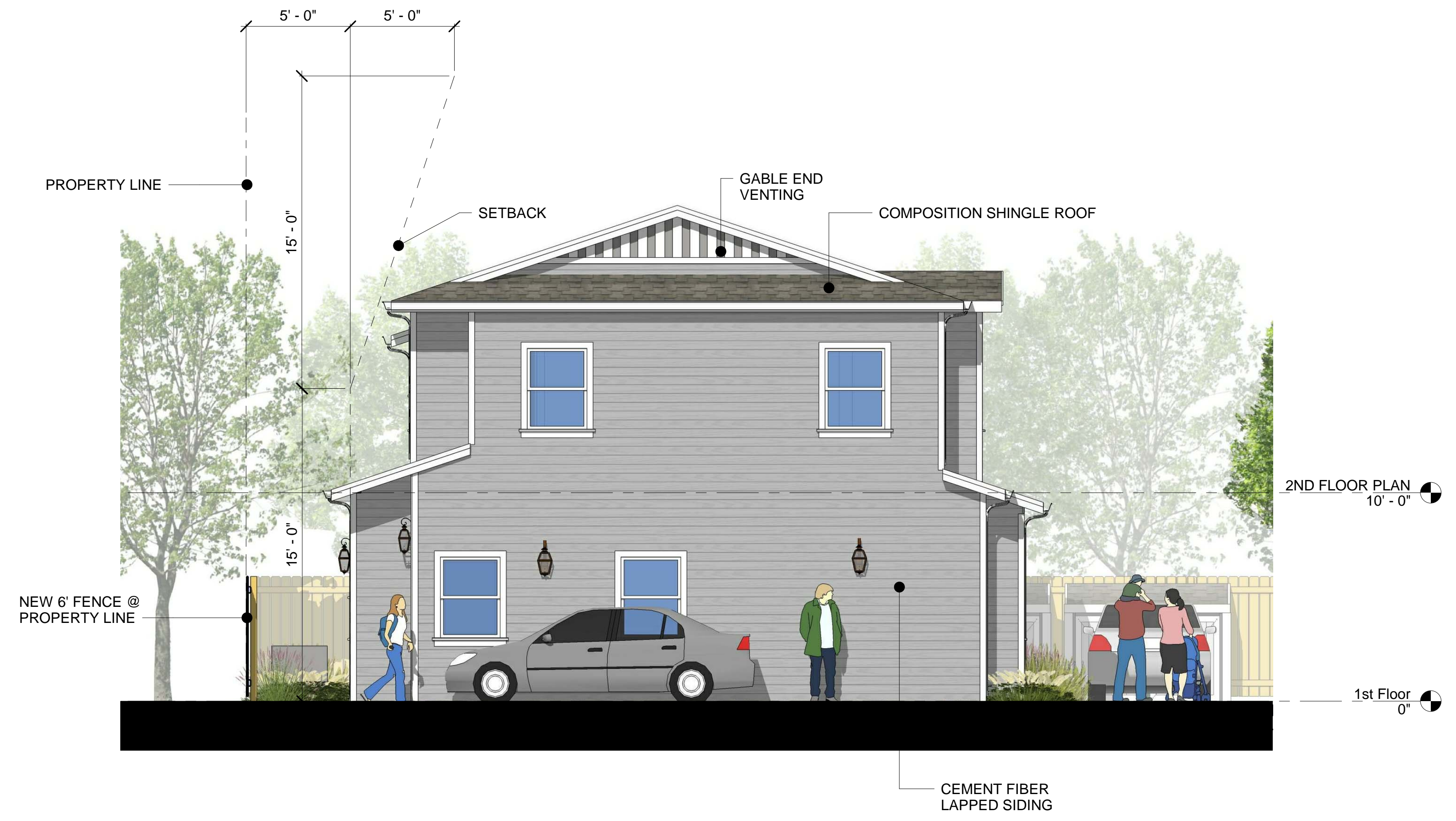


2 EAST ELEVATION - (E) HOUSE  
1/4" = 1'-0"

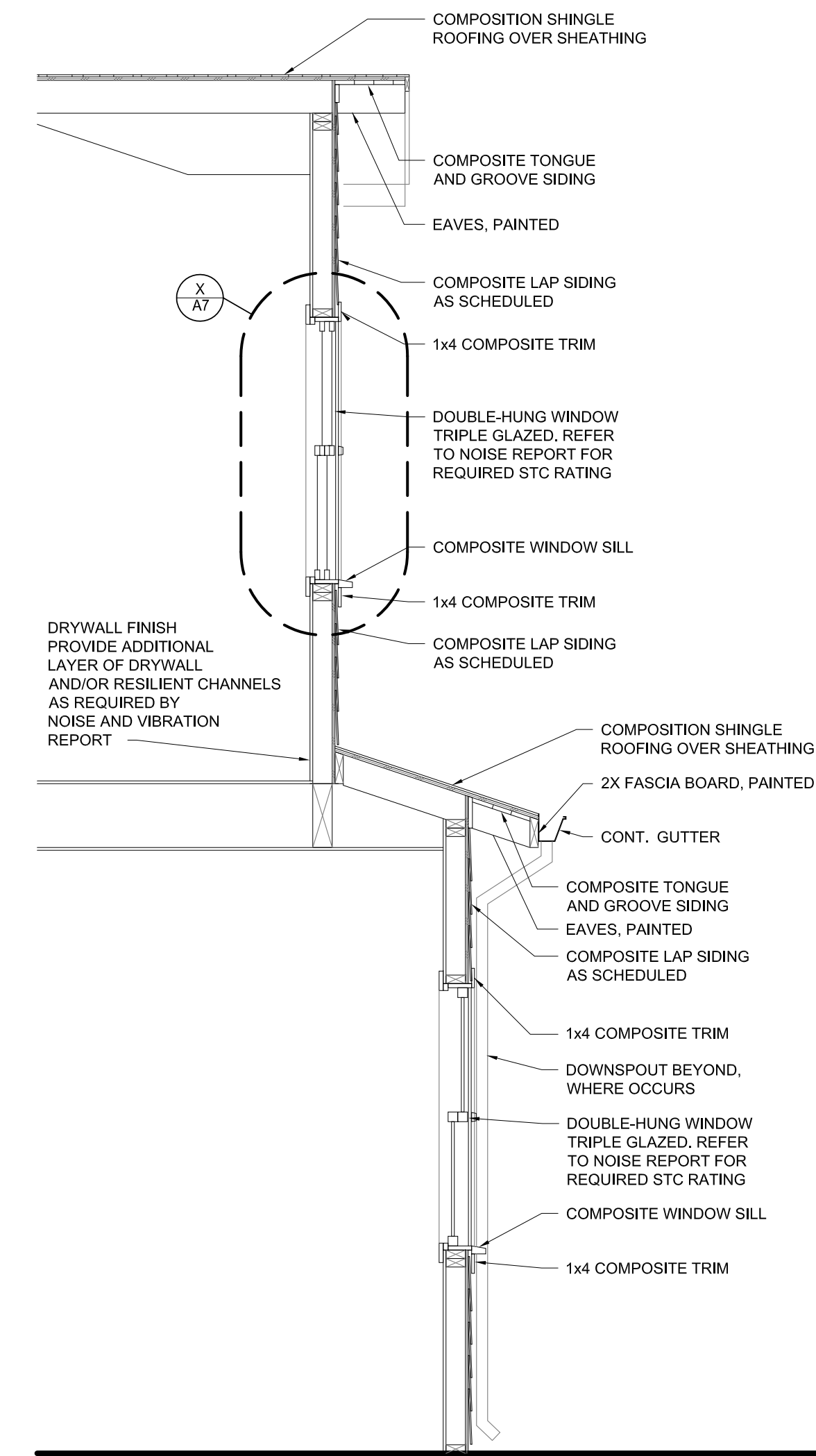
COVERED NONCOMBUSTIBLE ENCLOSURE WITH 3 REFUSE TOTES



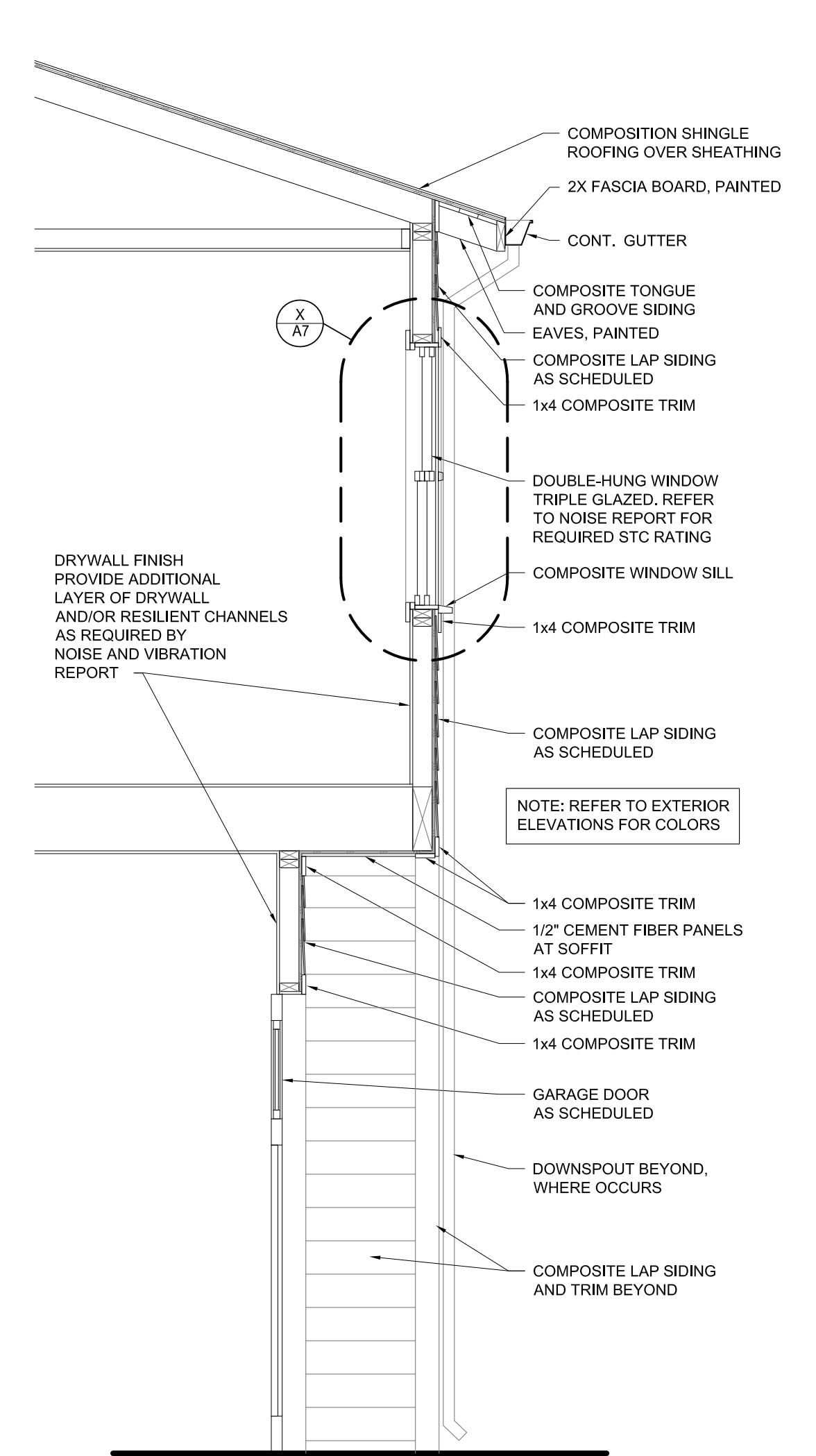
3 EAST ELEVATION - UNIT 2  
1/4" = 1'-0"



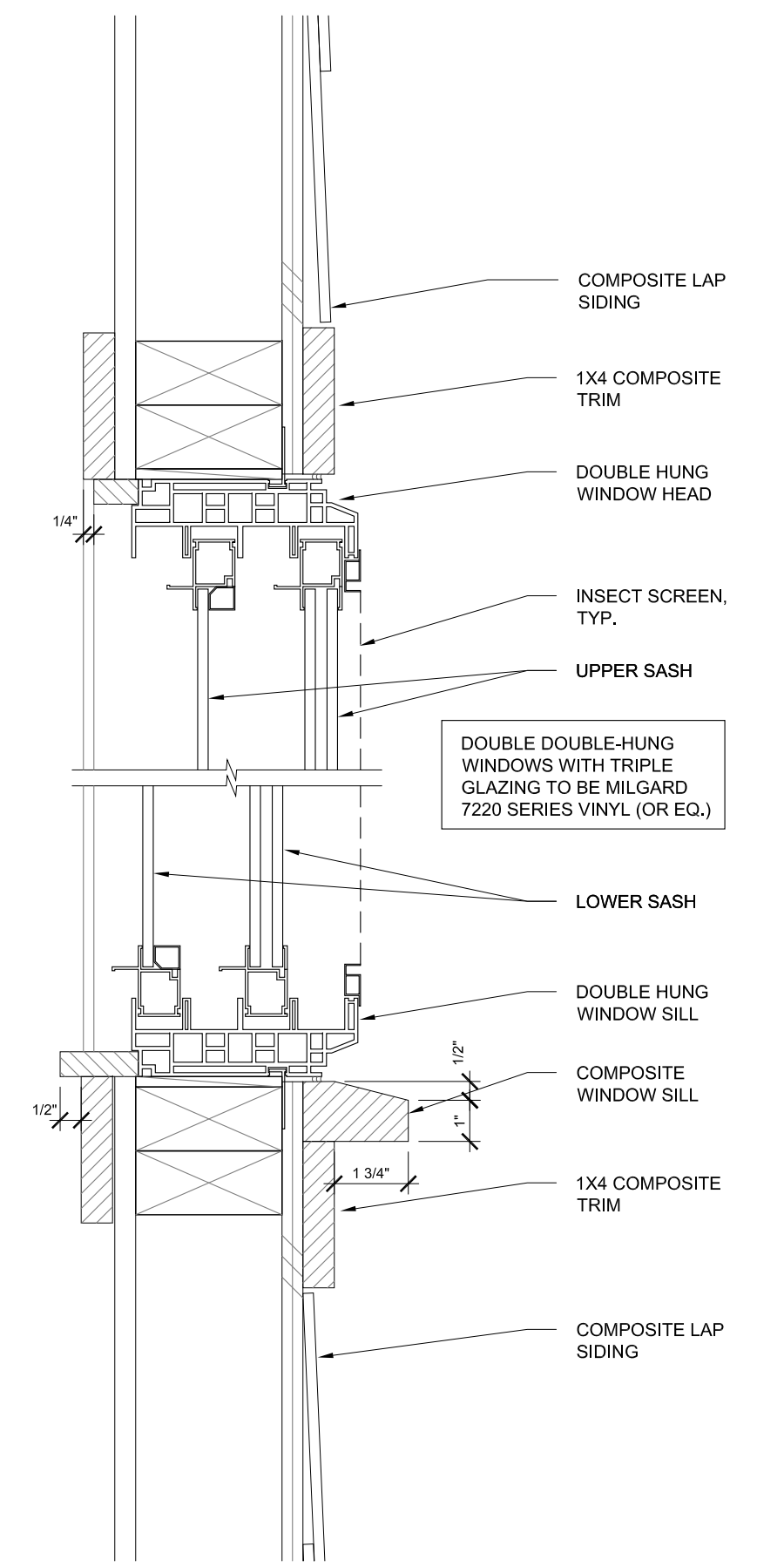
4 WEST ELEVATION - UNIT 1  
1/4" = 1'-0"



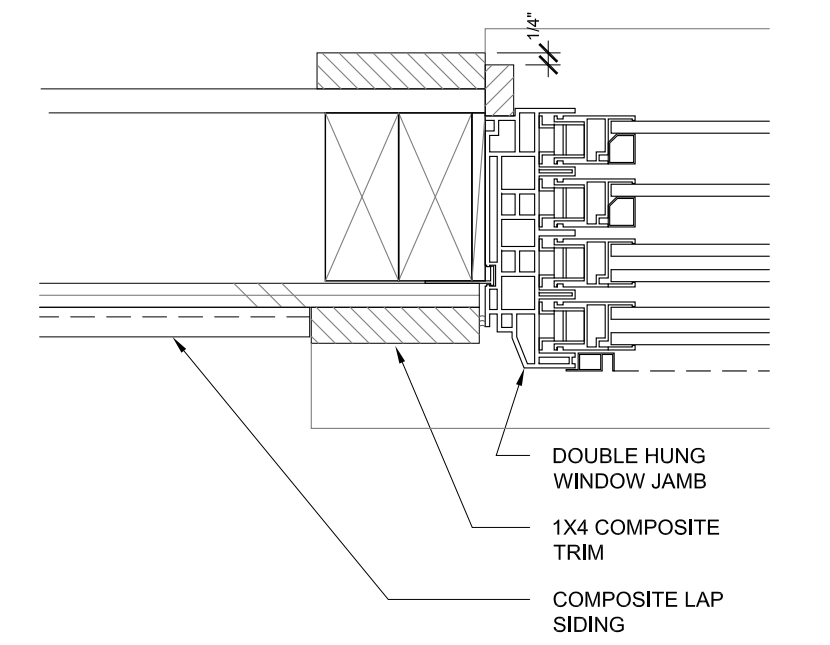
1 EXTERIOR WALL SECTION  
 1/2" = 1'-0"



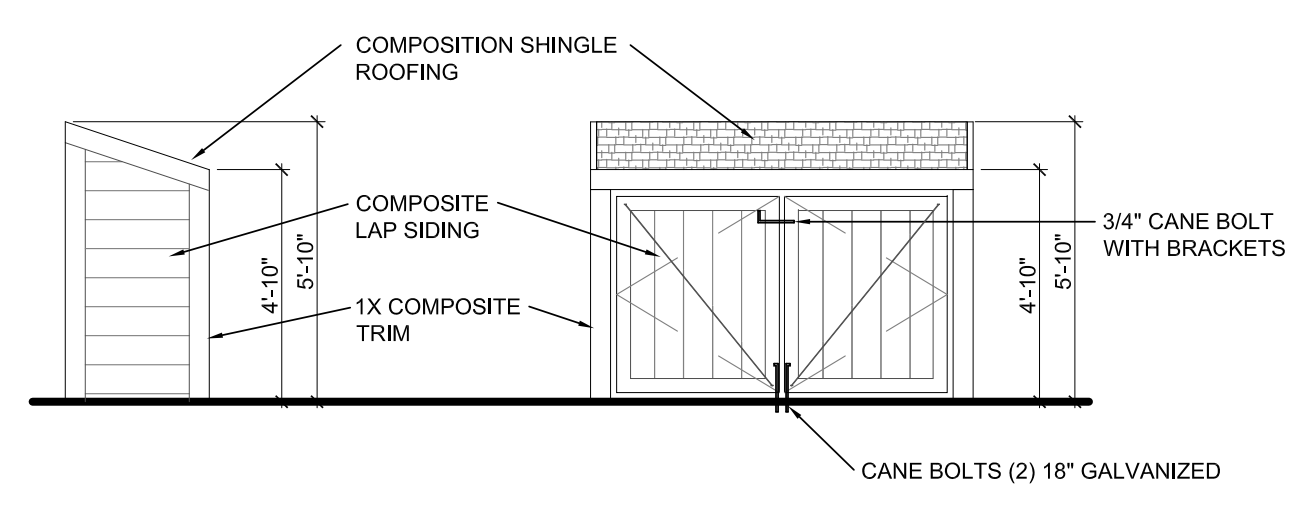
2 EXTERIOR WALL SECTION  
 1/2" = 1'-0"



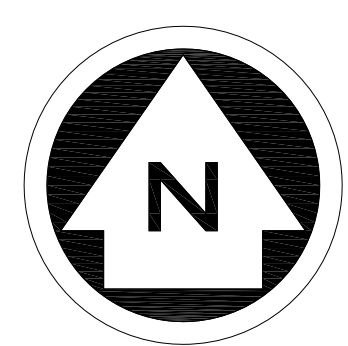
X SECTION AT WINDOW  
 3" = 1'-0"



X JAMB AT WINDOW  
 3" = 1'-0"



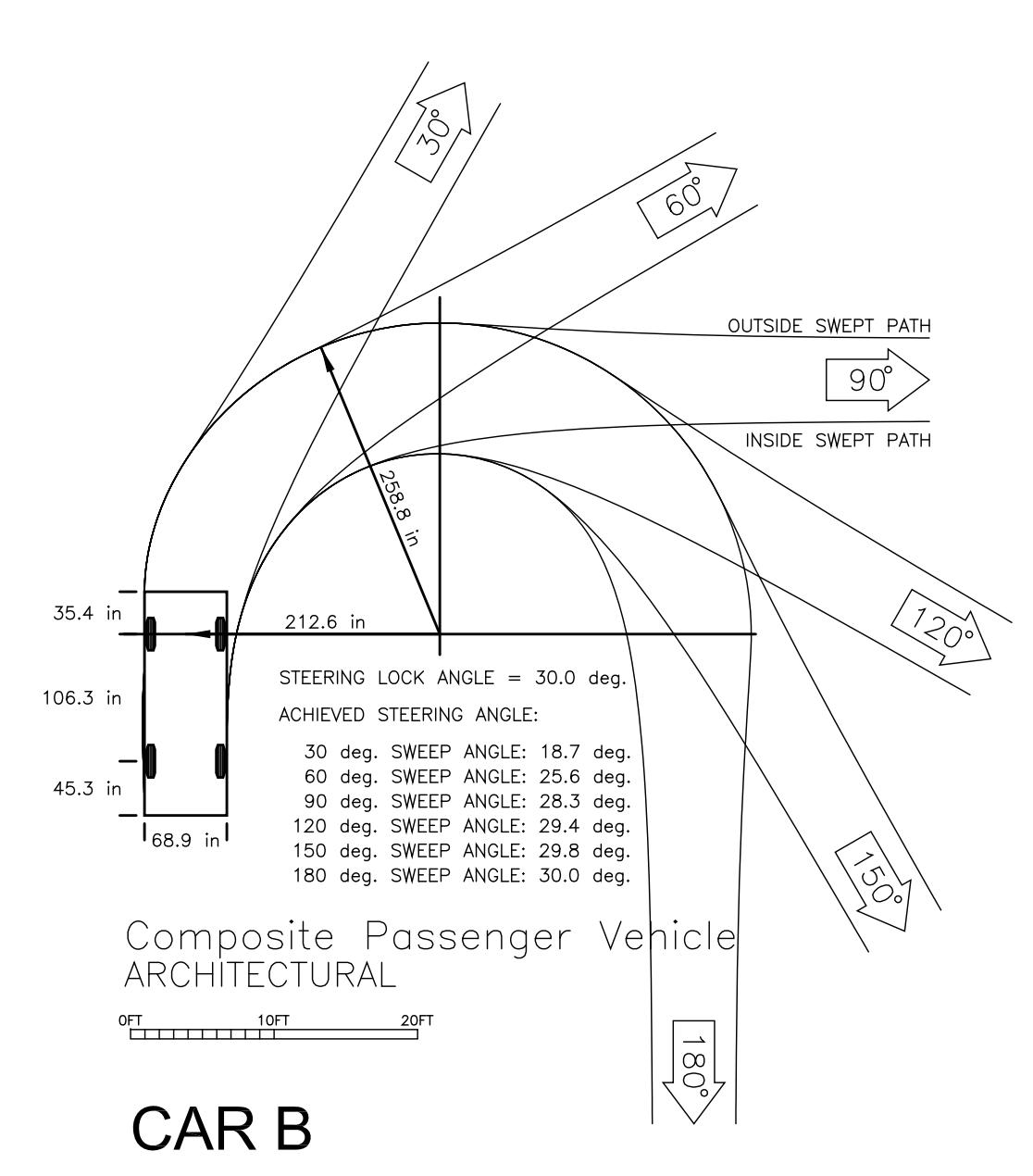
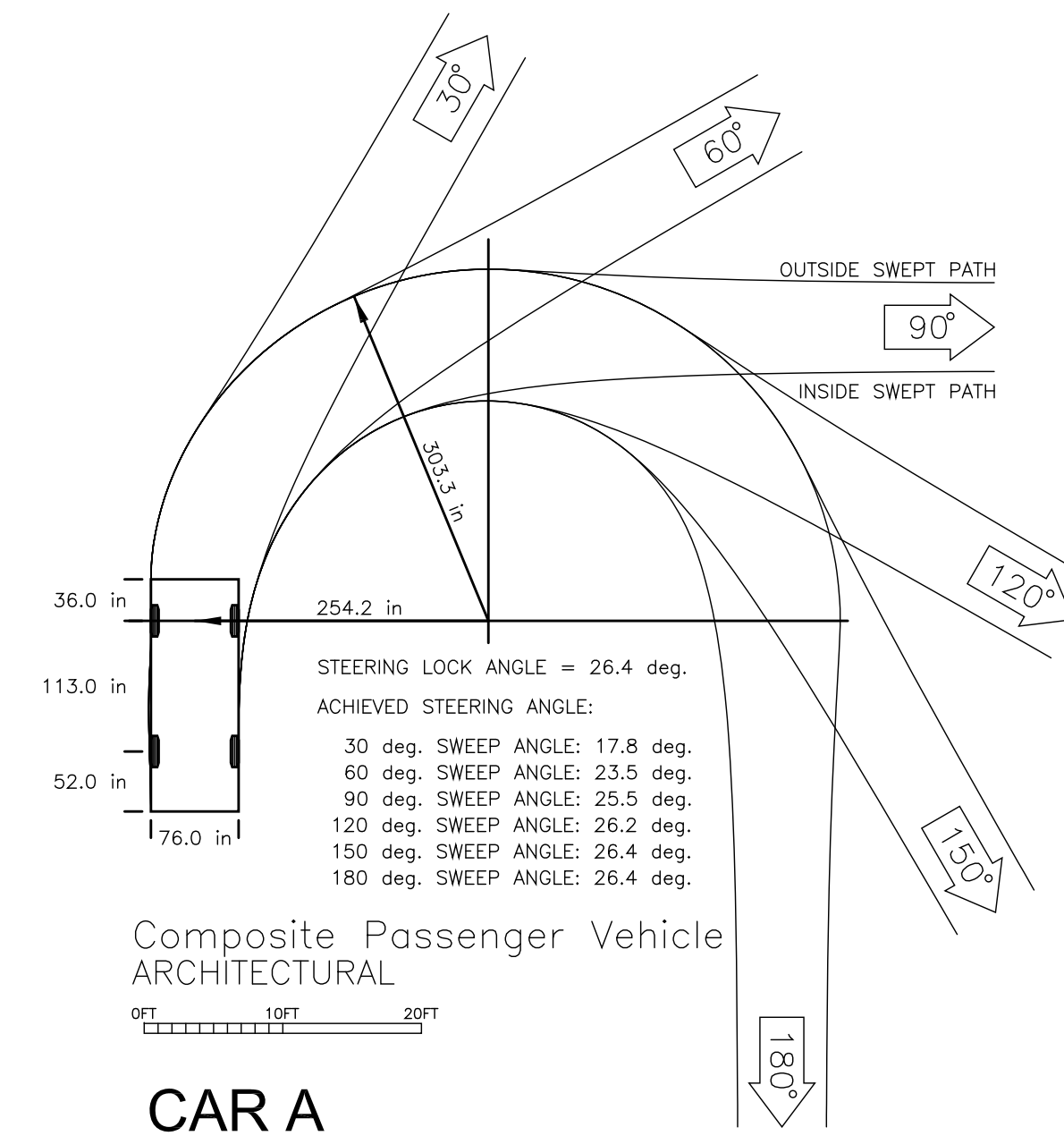
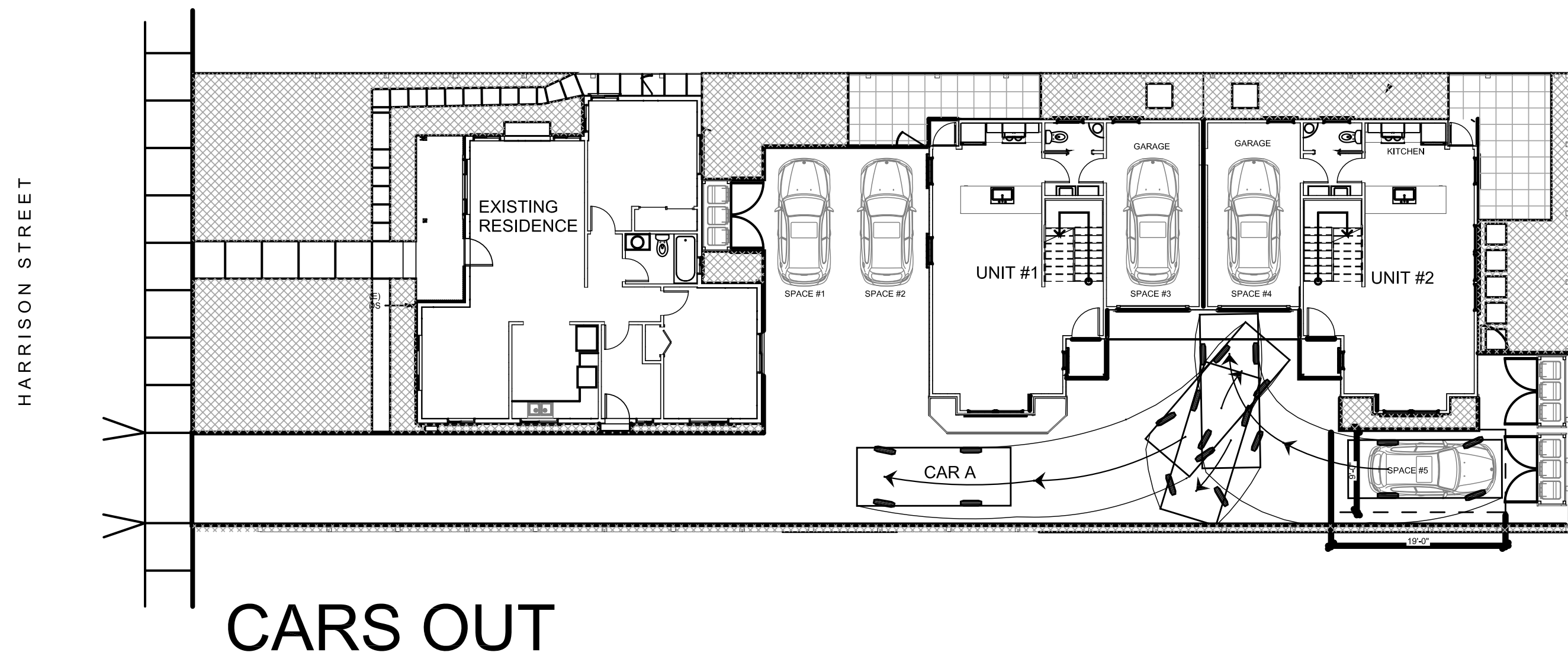
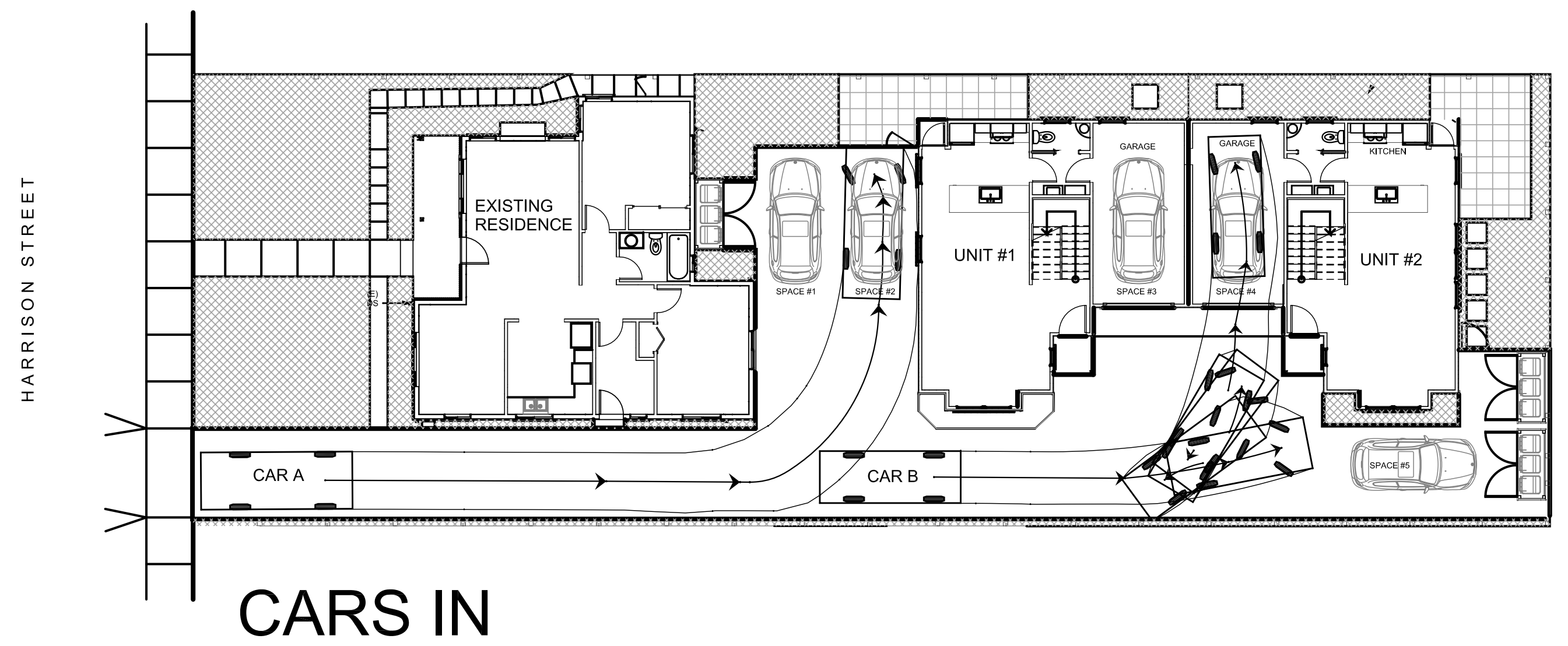
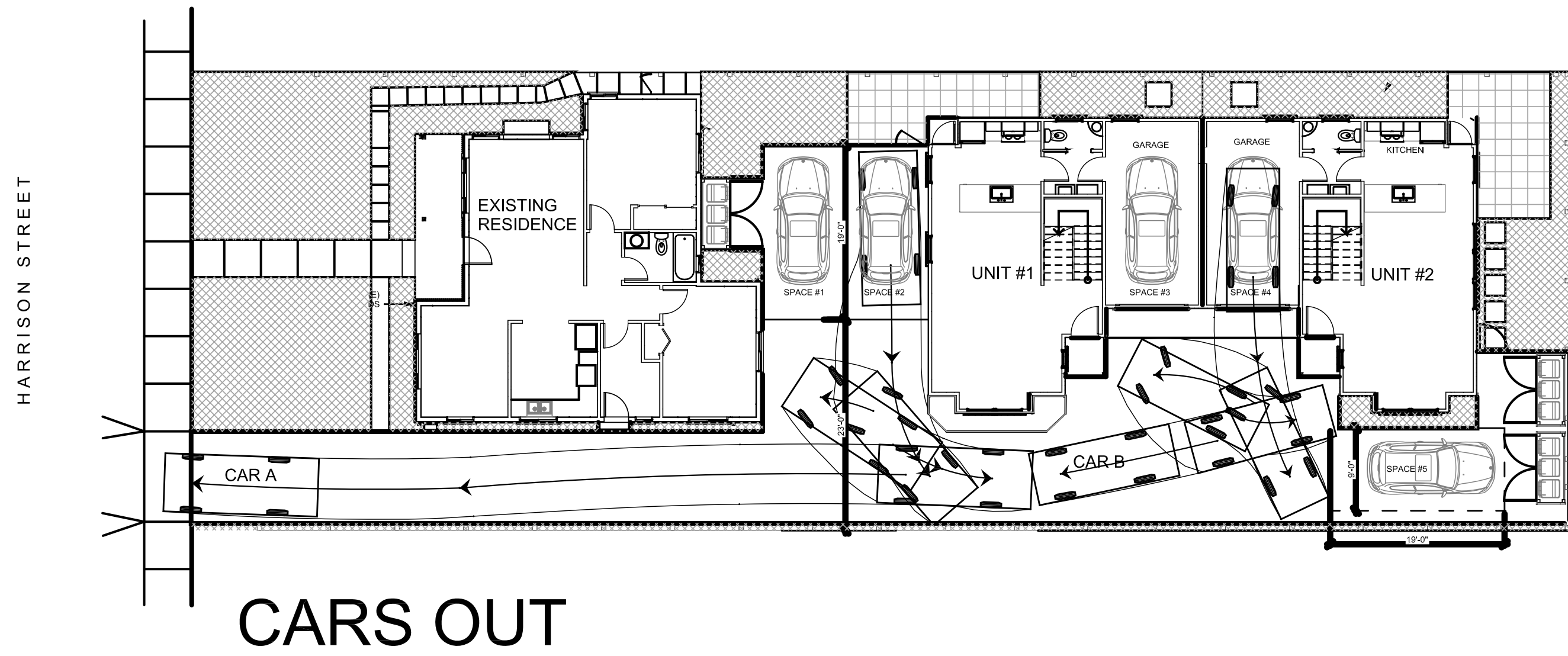
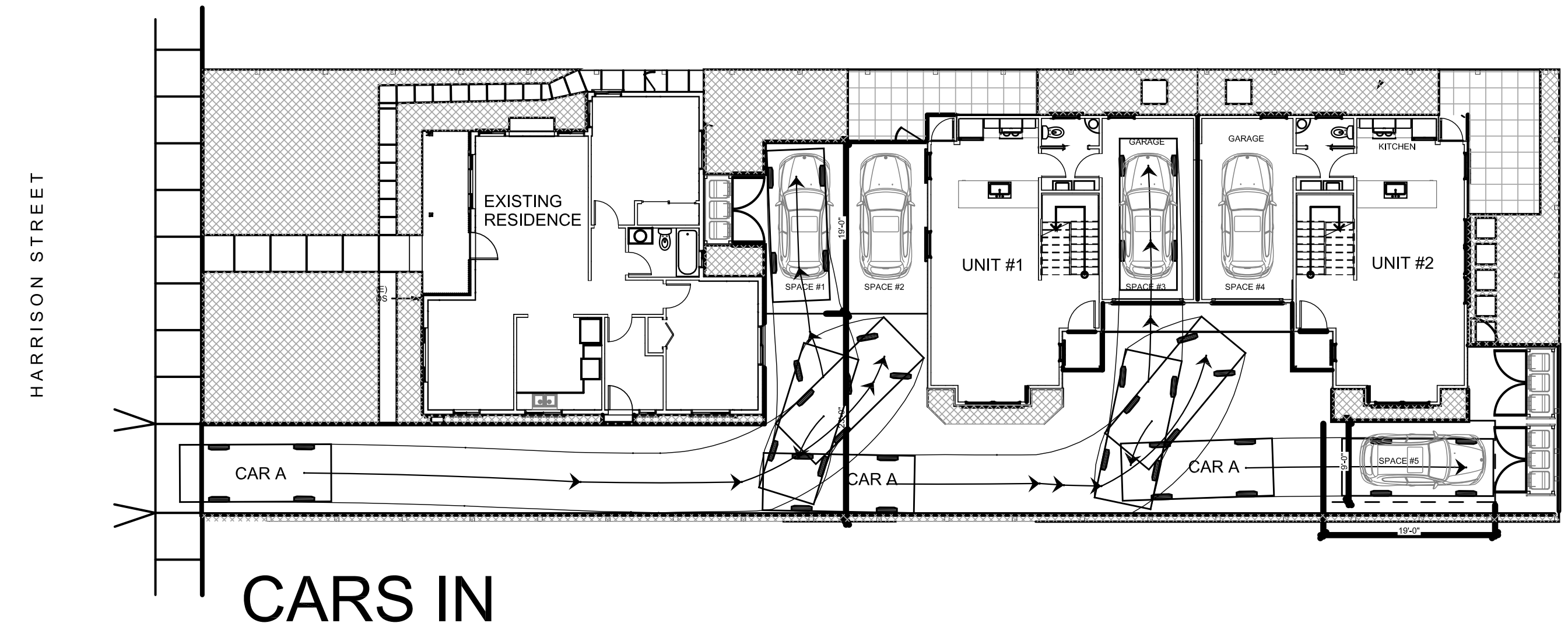
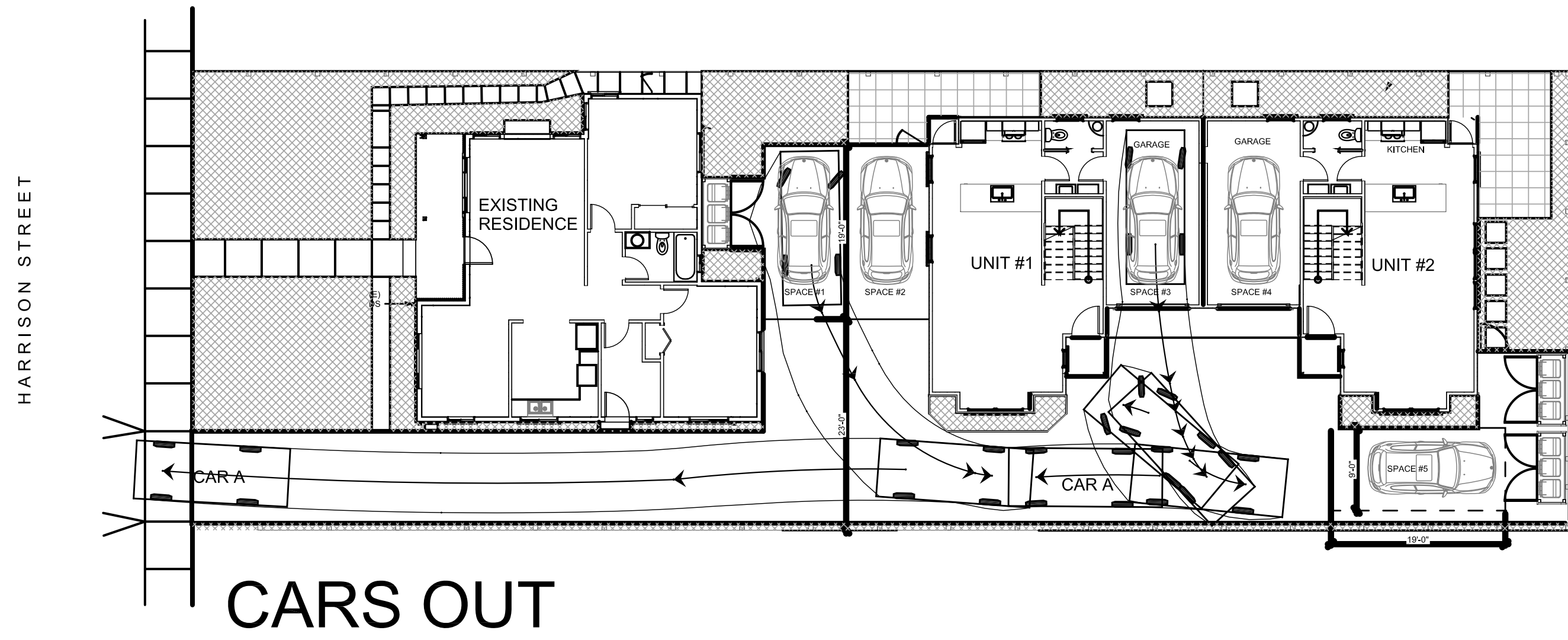
X TRASH ENCLOSURE ELEVATIONS  
 1/4" = 1'-0"



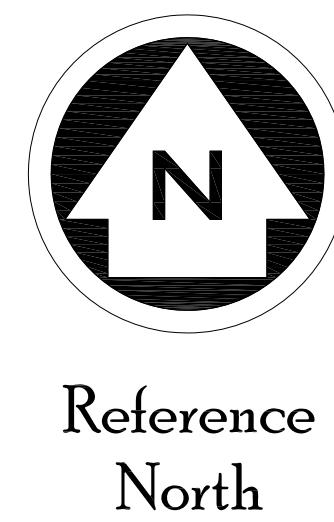
Reference  
 North

# Harrison Street Apartments

4722 Harrison Street  
 Pleasanton, California



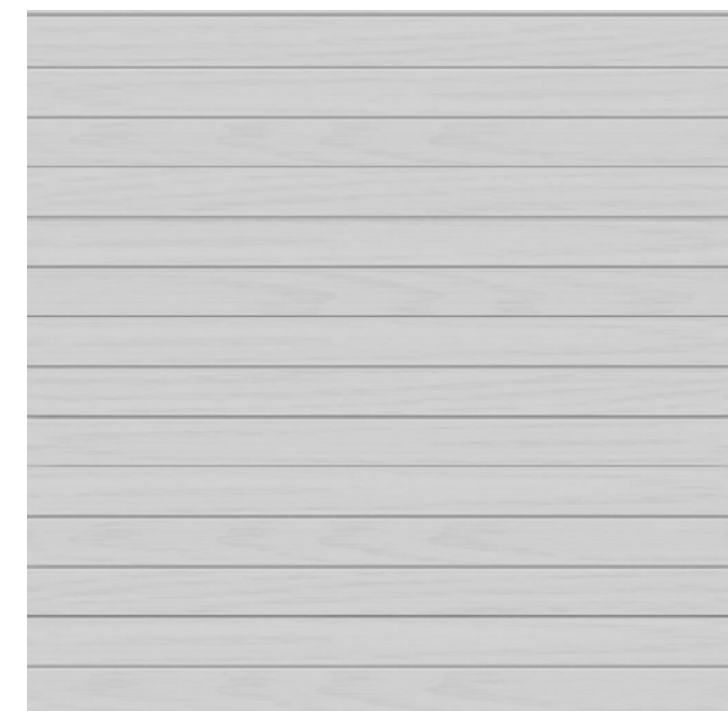
**CAR TURNS**  
NOT TO SCALE



**Harrison Street Apartments**  
4722 Harrison Street  
Pleasanton, California

**Car Turns**





Composite siding ~  
smooth texture  
Certainteed  
Granite Gray



Trim  
Certainteed  
Vanilla White/Snow



Composition shingle roofing  
Timberline Ultra HD  
Slate

## Color & Materials

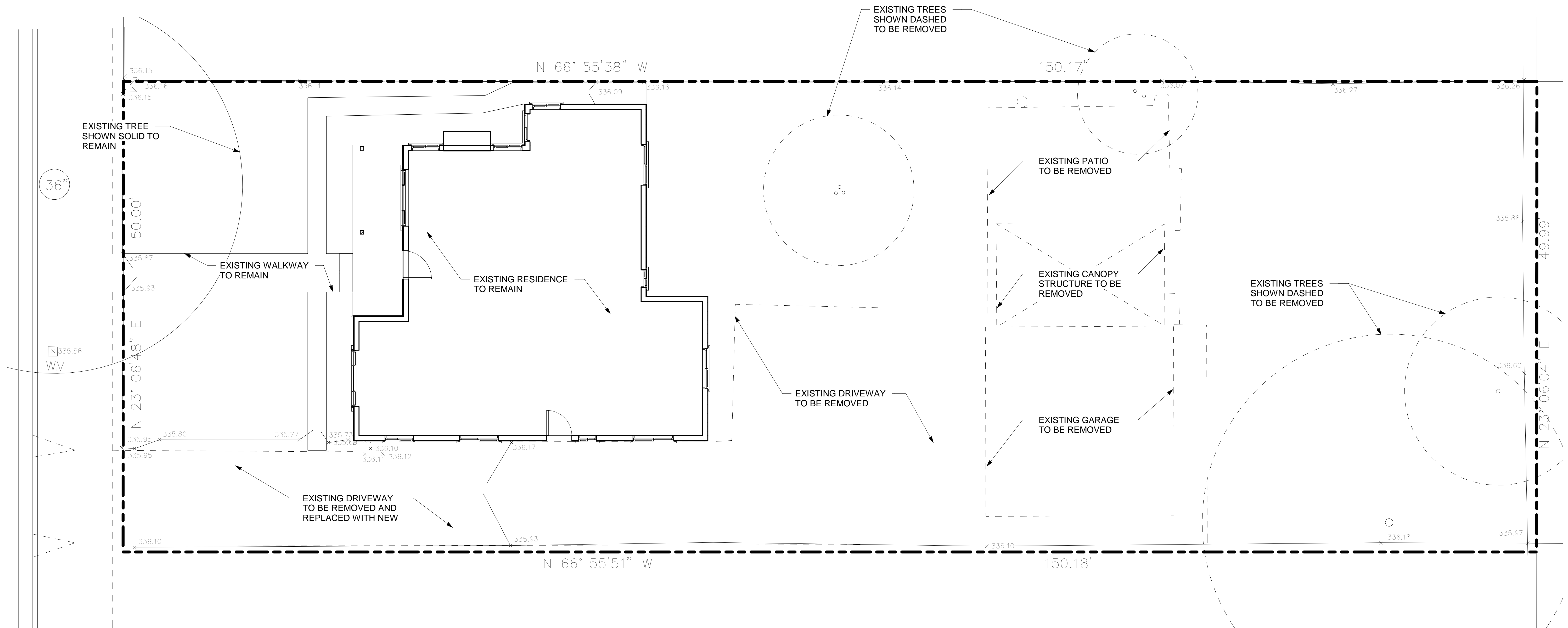


1 EAST ELEVATION  
1/4" = 1'-0"



2 PHOTO REAL RENDERING

EXISTING DRIVEWAY  
EXISTING RESIDENCE



1 DEMO PLAN  
 3/16" = 1'-0"



View looking Northeast



View looking Southeast

# Harrison Street Apartments

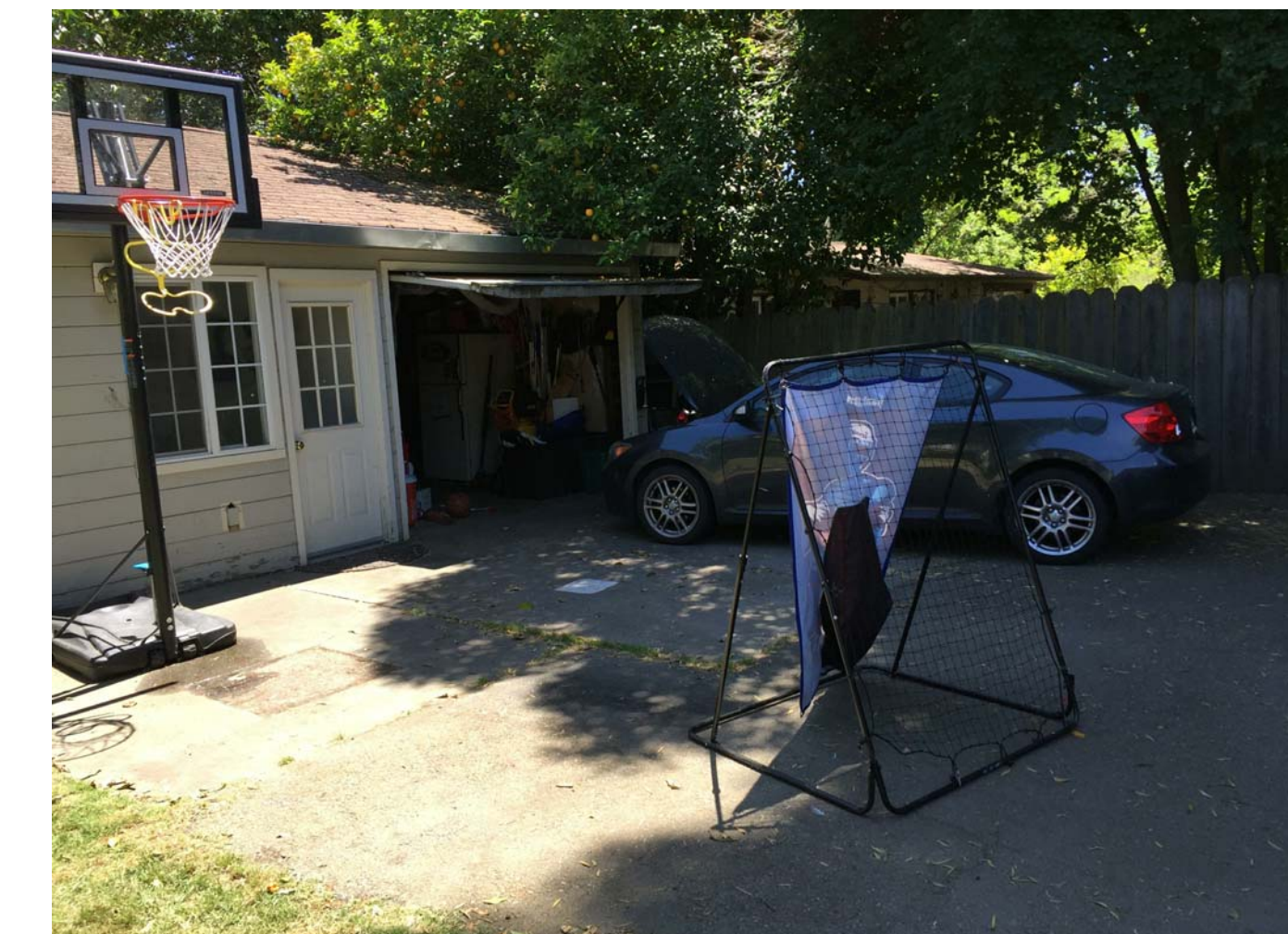
4722 Harrison Street

Pleasanton, California

Renderings

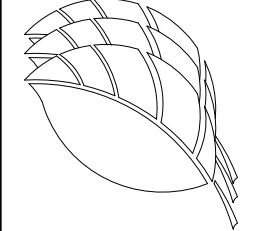
P1

1-10-18



NO.	REVISIONS

Thomas Baak & Associates, LLP  
 Landscape Architects  
 1620 North Main Street, Suite 4  
 Walnut Creek, CA 94596  
 Ph: 925.933.2583

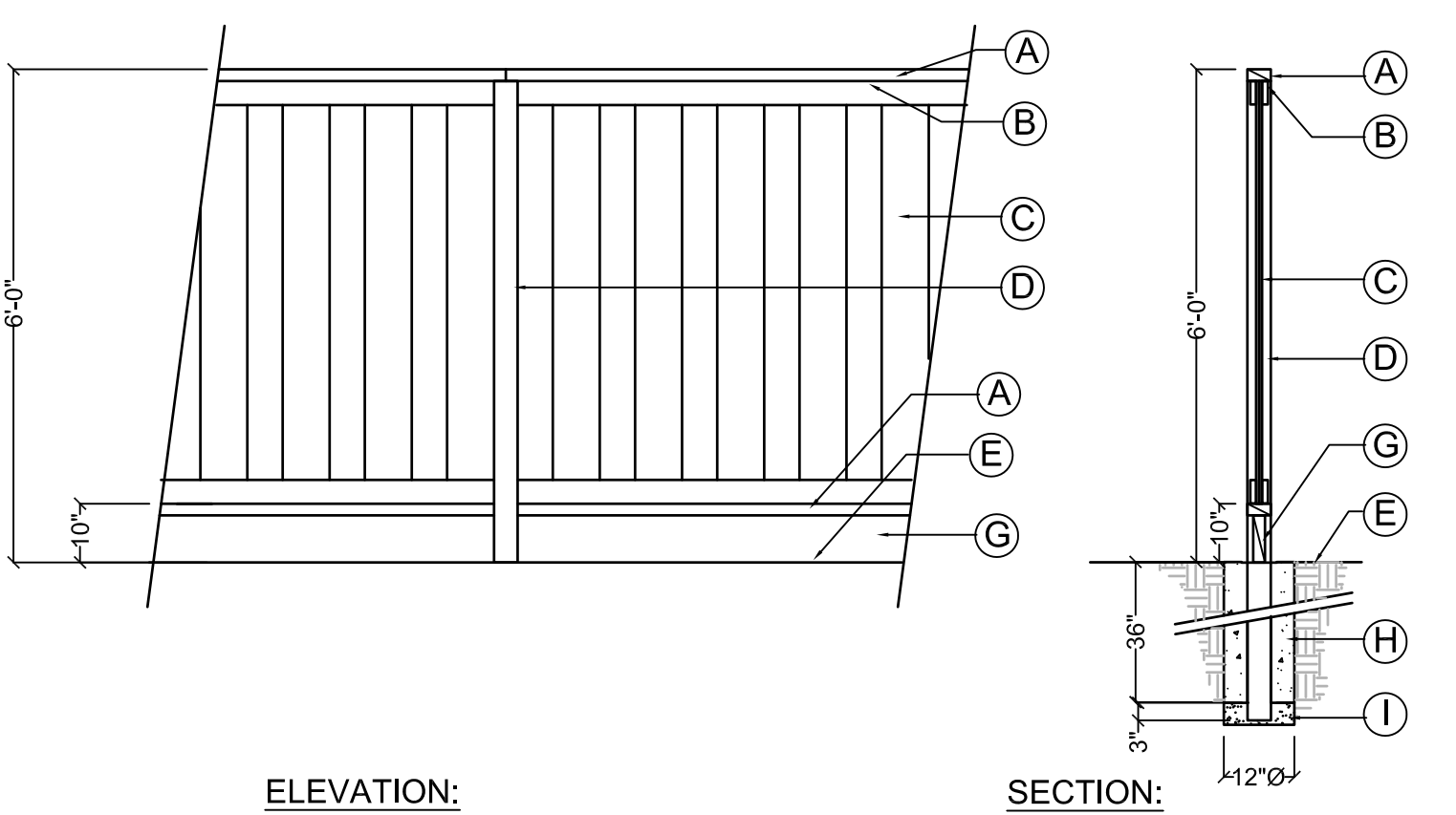
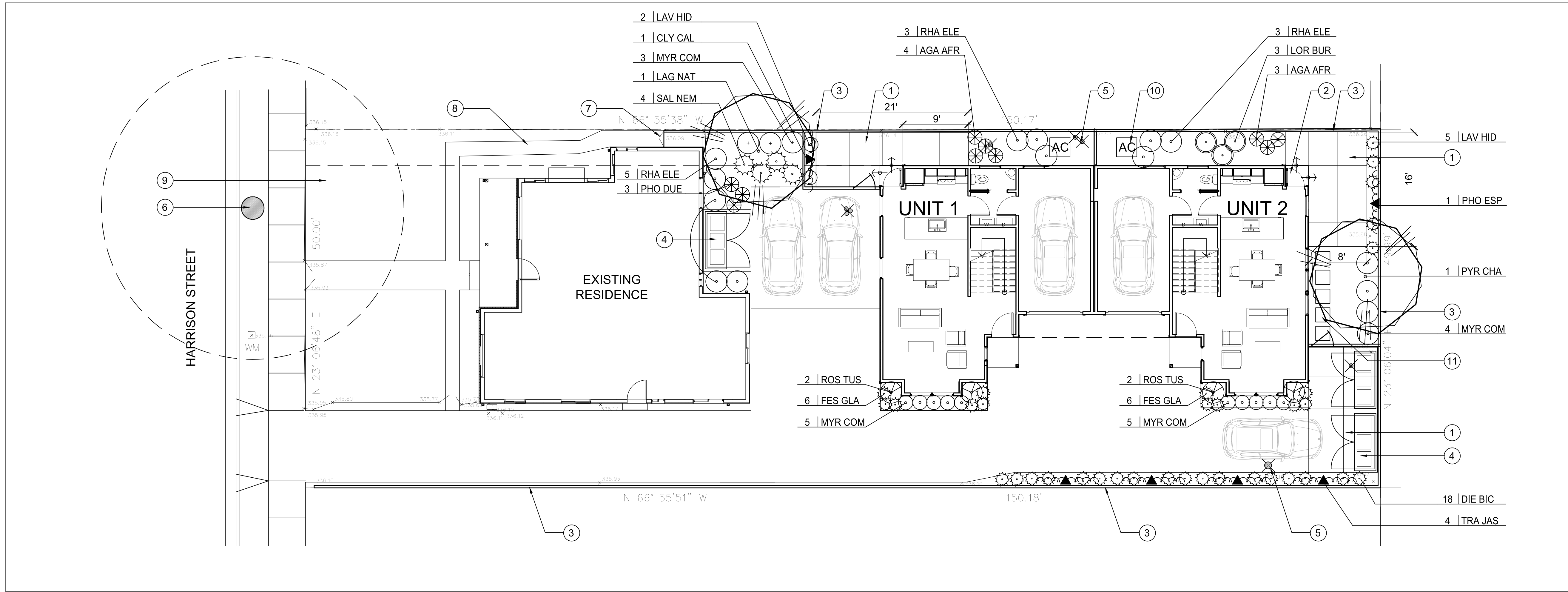


**NEW APARTMENTS  
 4722 HARRISON STREET**  
 PLEASANTON, CALIFORNIA

**PRELIMINARY  
 LANDSCAPE  
 PLAN**

DESIGNED: RS    DRAWN: XX  
 CHECKED:    JOB NO:  
 DATE  
 10-10-17  
 SCALE  
 NOTED

SHEET  
**L1**  
 OF X SHEETS



**SOLID WOOD FENCE DETAIL**  
 NO SCALE

**DESCRIPTION:**  
 A - 2x4 TOP, BOTTOM AND RAILS (HOLD LEVEL)  
 B - 1x4 RSDF DOUBLE CLEATS AT RAILS  
 C - 1x8 RSDF VERTICAL BOARDS, OVERLAP 1"  
 D - 4x4 PTDIF POSTS AT 8 FT. SPACING (MAX.)  
 E - FINISH GRADE  
 F - 1x2 VERTICAL STAKES SELF-SPACED, W/ 1" NAIL STRIPS  
 G - 2x8 PTDIF KICKER BETWEEN TALL POSTS, EXTEND OVER LOW POSTS  
 H - 18" DIAMETER x 36" DEEP CONCRETE FOOTING AT POSTS  
 I - WOOD POSTS EXTEND 3" THRU BOTTOM OF CONCRETE FOOTING INTO 4" DEEP CLEAN SAND BASE

**NOTES:**  
 1. ALL POSTS TO BE PRESSURE TREATED DOUGLAS FIR, ALL OTHER WOOD MEMBERS TO BE ROUGH SAWN DOUGLAS FIR.  
 2. HOLD TOP RAILS LEVEL, STEP FENCE & ALTER PANEL WIDTH AS NECESSARY TO CONFORM TO GRADES.  
 3. ALL METAL FASTENERS SHALL BE GALVANIZED.

- SITE AMENITIES LIST:**
- CONCRETE PAVING: 4" THICK CONCRETE WITH REINFORCING AND BASE MATERIAL PER GEOTECH SOILS REPORT; PROVIDE SAWCUTS (OR 1/4" WIDE x 1/2" DEEP SCORE LINES) AS SHOWN; PROVIDE MEDIUM BROOM FINISH.
  - CONCRETE STOOP AT REAR DOORS; FINISH TO MATCH CONCRETE PAVING.
  - 6 FT. HEIGHT SOLID WOOD FENCE; SEE DETAIL THIS SHEET. PROVIDE HEAVY-DUTY (BLACK METAL) HINGES AND SELF-LATCHING MECHANISM AT 3 FT. WIDE GATES.
  - TRASH TOTE ENCLOSURES; REFER TO ARCHITECTURAL DRAWINGS.
  - TYPICAL EXISTING TREE TO BE REMOVED; REFER TO ARBORIST REPORT FOR TREE DESCRIPTIONS, TREE REMOVAL/REMAIN STATUS AND ALL TREE PROTECTION MEASURES.
  - EXISTING TREE TO REMAIN REFER TO ARBORIST REPORT FOR TREE DESCRIPTIONS, TREE REMOVAL/REMAIN STATUS AND ALL TREE PROTECTION MEASURES.
  - EXISTING WOOD GATE TO REMAIN.
  - EXISTING PRIVATE PATHWAY TO REMAIN.
  - EXISTING FRONT YARD LANDSCAPING TO REMAIN, UNDISTURBED.
  - PROPOSED A.C. CONDENSER UNITS; ONE FOR EACH PROPOSED RESIDENCE.
  - 24" SQ. PRECAST CONCRETE STEPPERS; SEAT SOLID

**PLANT MATERIALS**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER-USE
<b>TREES:</b>				
CER OCC	CERCIS OCCIDENTALIS (LOW-BRANCH)	WESTERN REDBUD	15 GA	LOW
PYR CHA	PYRUS CHANTICLEER	FLOWERING PEAR	15 GA	MEDIUM
<b>SHRUBS:</b>				
LOR BUR	LOROPETALUM CHINENSIS 'BURGUNDY'	FRINGE FLOWER	5 GA	LOW
MYR COM	MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE	5 GA	LOW
NAN COM	NANDINA 'COMPACTA'	COMPACT NANDINA	5 GA	LOW
PIT VAR	PITTIOSPORUM T. 'VARIEGATA'	VARIEGATED TOBIRA	5 GA	LOW
RHA ELE	RHAPHIOLEIS INDICA 'ELEANOR TABOR'	INDIAN HAWTHORN	5 GA	LOW
ROS TUS	ROSMARINUS 'TUSCANY'	TUSCAN BLUE ROSEMARY	5 GA	LOW
SAL NEW	SALVIA NEMEROSA 'OSTFRIESLAND'	PURPLE SAGE	5 GA	LOW
<b>PERENNIALS &amp; GRASSES:</b>				
AGA AFR	AGAPANTHUS AFRICANUS	LILY-OF-THE-NILE	1 GA	MEDIUM
FES GLA	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GA	LOW
LAV HID	LAVANDULA A. 'HIDCOTE'	ENGLISH LAVENDER	1 GA	LOW
PHO DUE	PHORMIUM 'DUET'	DWARF FLAX	1 GA	LOW
<b>ESPALEERS:</b>				
CLY CAL	CLYTOSTOMA CALLESTEGIOIDES	LAVENDER TRUMPET VINE	5 GA	MEDIUM
PHO ESP	PHOTINIA FRASERI	PHOTINIA	5 GA	MEDIUM
TRA JAS	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GA	MEDIUM

**GENERAL NOTES:**

- ALL PLANTING TO BE IRRIGATED BY A SINGLE, FULLY AUTOMATIC, WATER-CONSERVING IRRIGATION SYSTEM, BASED ON WEATHER-OPERATION, CONNECTED TO DOMESTIC WATER SUPPLY; APPLICATION TO BE DRIP AND BUBBLERS.
- ALL PROPOSED PLANTED AREAS ARE TO RECEIVE A 3" LAYER OF FIRBARK MULCH DRESSING.
- REFER TO ARBORIST REPORT AND CIVIL DRAWINGS FOR ALL EXISTING TREE DESCRIPTIONS, EXISTING TREE REMOVAL/REMAIN STATUS, AND ALL EXISTING TREE PROTECTION MEASURES.

**WATER EFFICIENT LANDSCAPE WORKSHEET**

REFERENCE EVAPOTRANSPIRATION (ET<sub>o</sub>): 46.2

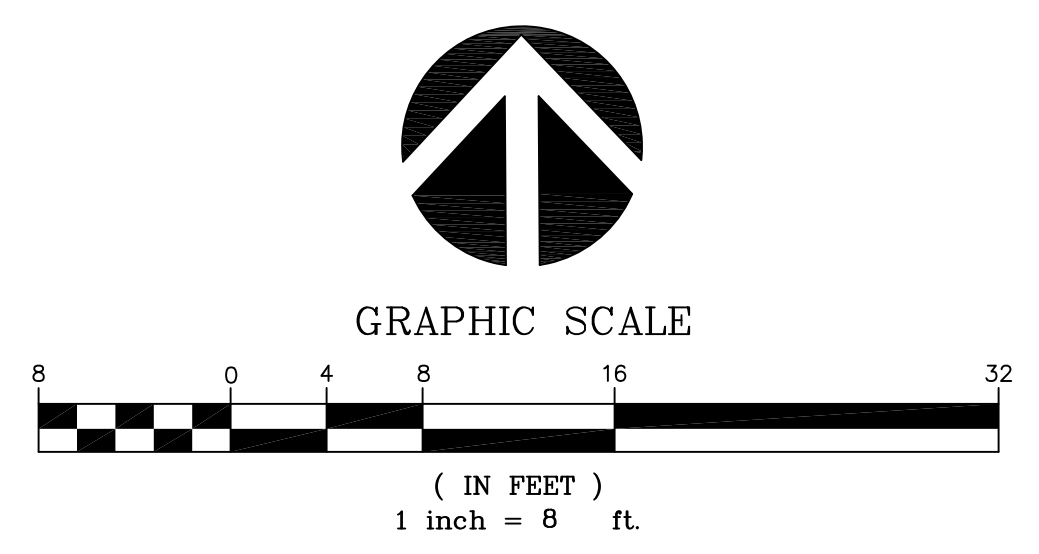
HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
<b>REGULAR LANDSCAPE AREAS:</b>							
LOW WATER USE	0.3	DRIP	0.81	0.3703703	625	231.4814375	6630.6
MEDIUM WATER USE	0.5	DRIP	0.81	0.6172839	101	62.3496739	1785.8
MEDIUM WATER USE	0.5	BUBBLER	0.81	0.6172839	18	11.1111102	318.3
<b>TOTALS:</b>						744	305
<b>SPECIAL LANDSCAPE AREAS:</b>							
REC. AREA					0	0	0
WATER FEATURE 1					0	0	0
WATER FEATURE 2					0	0	0
<b>TOTALS:</b>						0	0
<b>ETWU TOTAL:</b>							8,735
<b>MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):</b>							11,721
<b>ETAF CALCULATIONS:</b>							
<b>REGULAR LANDSCAPE AREAS:</b>							
TOTAL ETAF x AREA	305						
TOTAL LANDSCAPE AREA	744						
AVERAGE ETAF	0.41						
<b>ALL LANDSCAPE AREAS:</b>							
TOTAL ETAF x AREA	305						
TOTAL LANDSCAPE AREA	744						
SITEWIDE ETAF	0.41						

NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.

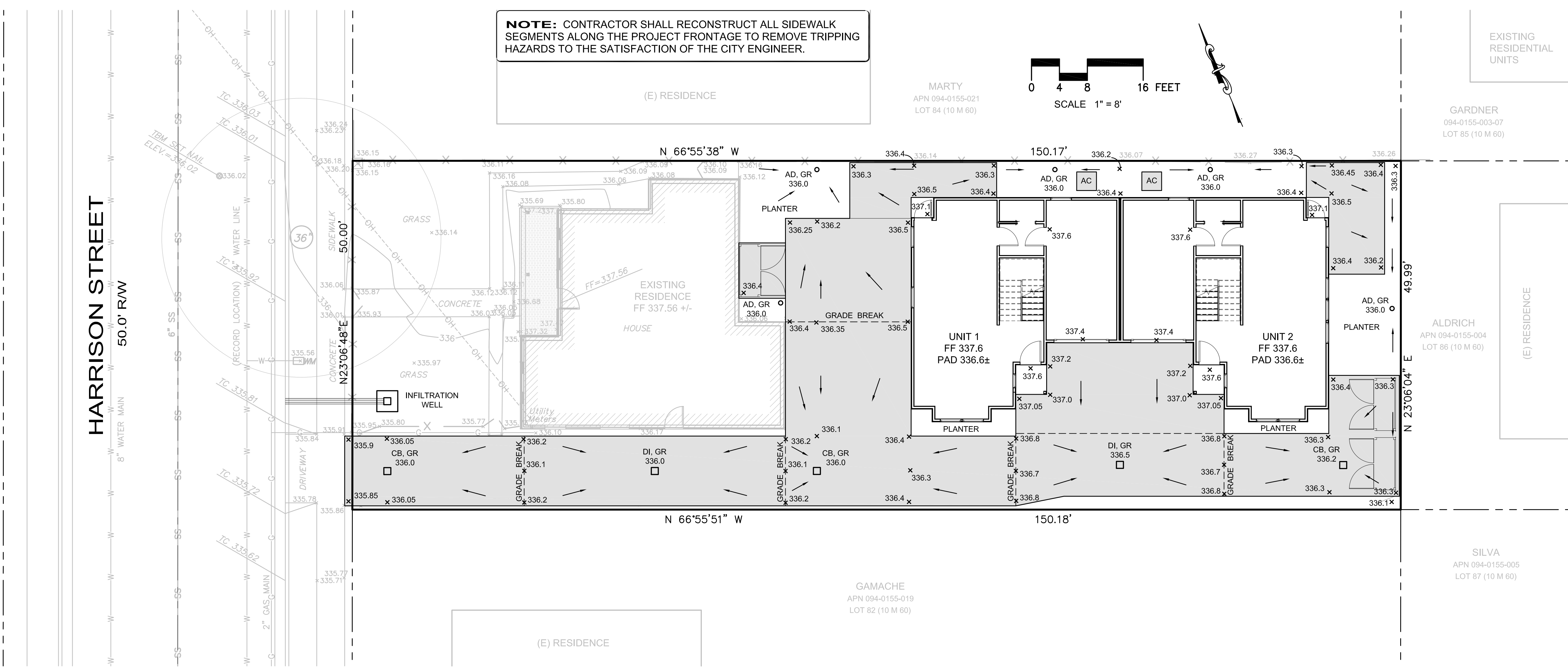
THE SOLID WOOD FENCE AS SHOWN IN THE DETAIL ABOVE IS PROPOSED FOR INSTALLATION ON THE PROPERTY LINE AT THE PERIMETER OF THE SITE. BY PROVIDING A SIGNATURE ON THE FOLLOWING LINES, THE ADJACENT NEIGHBORS/PROPERTY OWNERS HAVE REVIEWED THE DETAIL AND APPROVE THE PROPOSED FENCE FOR CONSTRUCTION.

1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_

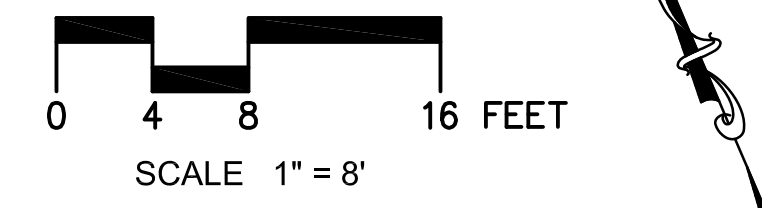
**NEW APARTMENTS  
 4722 HARRISON STREET  
 PLEASANTON, CA 94566**



HARRISON STREET  
50.0' R/W



**NOTE:** CONTRACTOR SHALL RECONSTRUCT ALL SIDEWALK SEGMENTS ALONG THE PROJECT FRONTAGE TO REMOVE TRIPPING HAZARDS TO THE SATISFACTION OF THE CITY ENGINEER.

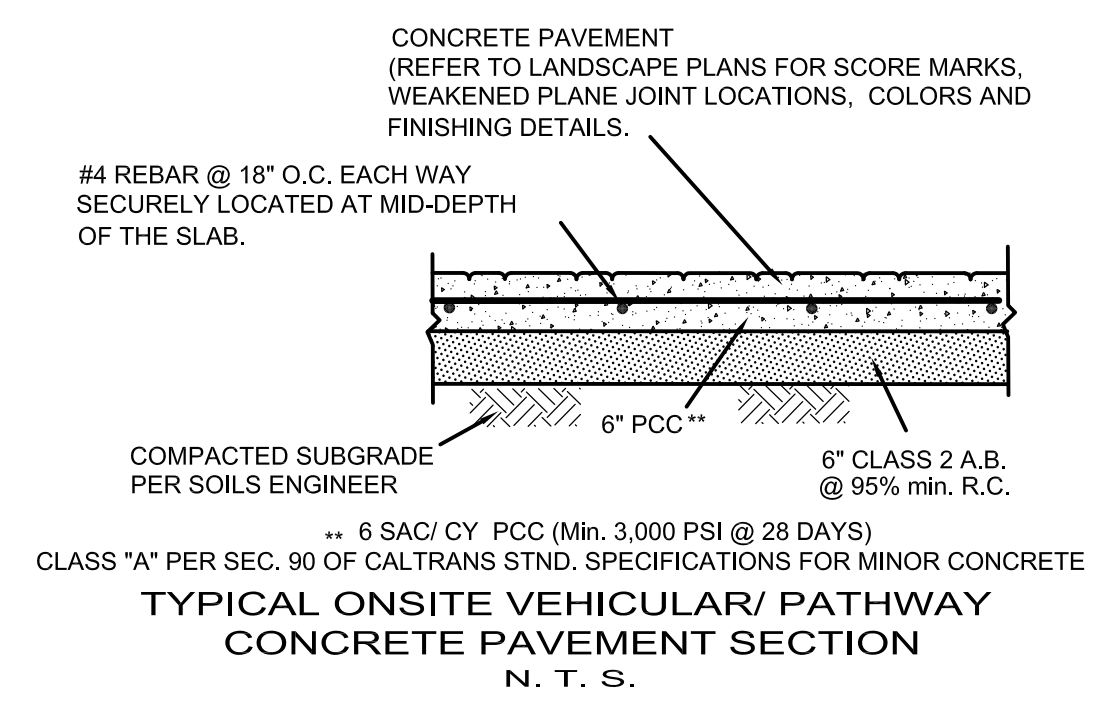


**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
—	—	PROPERTY LINE
—	—	JOINT POLE
—SS—	—SS—	SANITARY SEWER LINE
—SD—	—SD—	STORM DRAIN LINE
—W—	—W—	STORM DRAIN TIE TO DOWNSPOUT
—	—	WATER LINE
—JT—	—JT—	JOINT TRENCH
—	—	DRAIN INLET/CATCH BASIN
—	—	FIRE HYDRANT
—	—	FORCED MAIN
—	—	JOINT TRENCH
—	—	WATER MAIN & GATE VALVE
—	—	SPOT ELEVATION
—	—	OVERHEAD UTILITY
—	—	SIGN
—	—	EXISTING TREE
—	—	STANDARD CITY MONUMENT
—	—	WATER SERVICES & METER
—	—	ELECTRIC BOX
—	—	STREET LIGHT
—	—	PG&E BOX
—	—	CABLE TELEVISION BOX

**ABBREVIATIONS**

AB	AGGREGATE BASE	LD	LANDSCAPE DRAIN
AC	ASPHALT CONCRETE	LG	LIP OF GUTTER
AD	AREA DRAIN	LP	LOW POINT
APPROX	APPROXIMATE	LT	LEFT
BC	BEGINNING OF CURVE	MH	MANHOLE
BCC	BEGIN OF COMPOUND CURVE	MON	MONUMENT
BFP	BACKFLOW PREVENTOR	N.T.S.	NOT TO SCALE
BJT	BOTTOM JOINT TRENCH ELEV.	PCC	PORTLAND CEMENT CONCRETE
BM	BENCH MARK	PERF	PERFORATED SUBDRAIN
BO	BLOWOFF	PRC	POINT OF REVERSE CURVE
BOV	BLOWOFF VALVE	PROP	PROPOSED
BVC	BEGIN VERTICAL CURVE	PT	POINT
BW	BOTTOM OF WALL ELEVATION	PUE	PUBLIC UTILITY EASEMENT
BWK	BACK OF WALK	PVC	POLYVINYL CHLORIDE
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
CO	CLEANOUT	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	RIM	RIM ELEVATION
DI	DRAIN INLET	RP	REDUCED PRESSURE
DCD	DOUBLE CHECK DETECTOR	RT	RIGHT
DWY	DRIVEWAY	RW	RIGHT OF WAY
E	ELECTRIC	SD	STORM DRAIN
EC	END OF CURVE	SHT	SHEET
EF	ENTRY FINISH FLOOR	SL	STREET LIGHT
ELEV	ELEVATION	SRV	SERVICE
EP	EDGE OF PAVEMENT	SS	SANITARY SEWER
EVC	END VERTICAL CURVE	SSE	SANITARY SEWER EASEMENT
EX	EXISTING	ST	STREET
FC	FACE OF CURB	STA	STATION
FD	FLOOR DRAIN	STD	STANDARD
FF	FINISHED FLOOR ELEVATION	SW	SIDEWALK
FG	FINISHED GRADE	T	TELEPHONE
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOW LINE	TEMP	TEMPORARY
FS	FINISHED SURFACE	TJT	TOP OF JOINT TRENCH UTILITY ELEV.
G	GAS	TS	TOP OF SOIL
GB	GRADE BREAK	TW	TOP OF WALL ELEVATION
HC	HANDICAP	TYP	TYPICAL
HP	HIGH POINT	VC	VERTICAL CURVE
INV	INVERT	W	WATER LINE
IRR	IRRIGATION	WM	WATER MAIN
JT	JOINT TRENCH	WV	WATER VALVE



**THICKENED CONCRETE PAVING EDGE**  
N.T.S.

PAVING USE	T	D**	W
VEHICULAR	6	10	8
NON-VEHICULAR	4	8	6

**EARTH QUANTITIES:**  
EARTH QUANTITIES TO BE VERIFIED BY CONTRACTOR  
CUT 20± CU. YDS.  
FILL 25± CU. YDS.

**AREA DISTURBED:**  
4,800± SF (±0.11 ACRE)



PRELIMINARY NOT FOR CONSTRUCTION

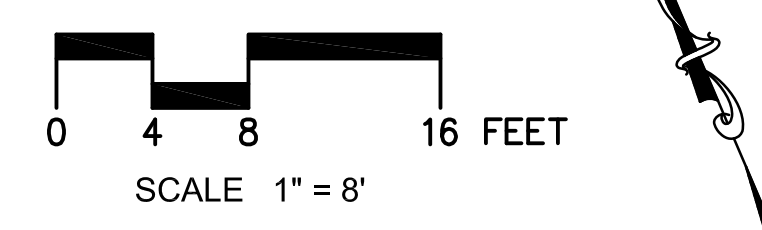
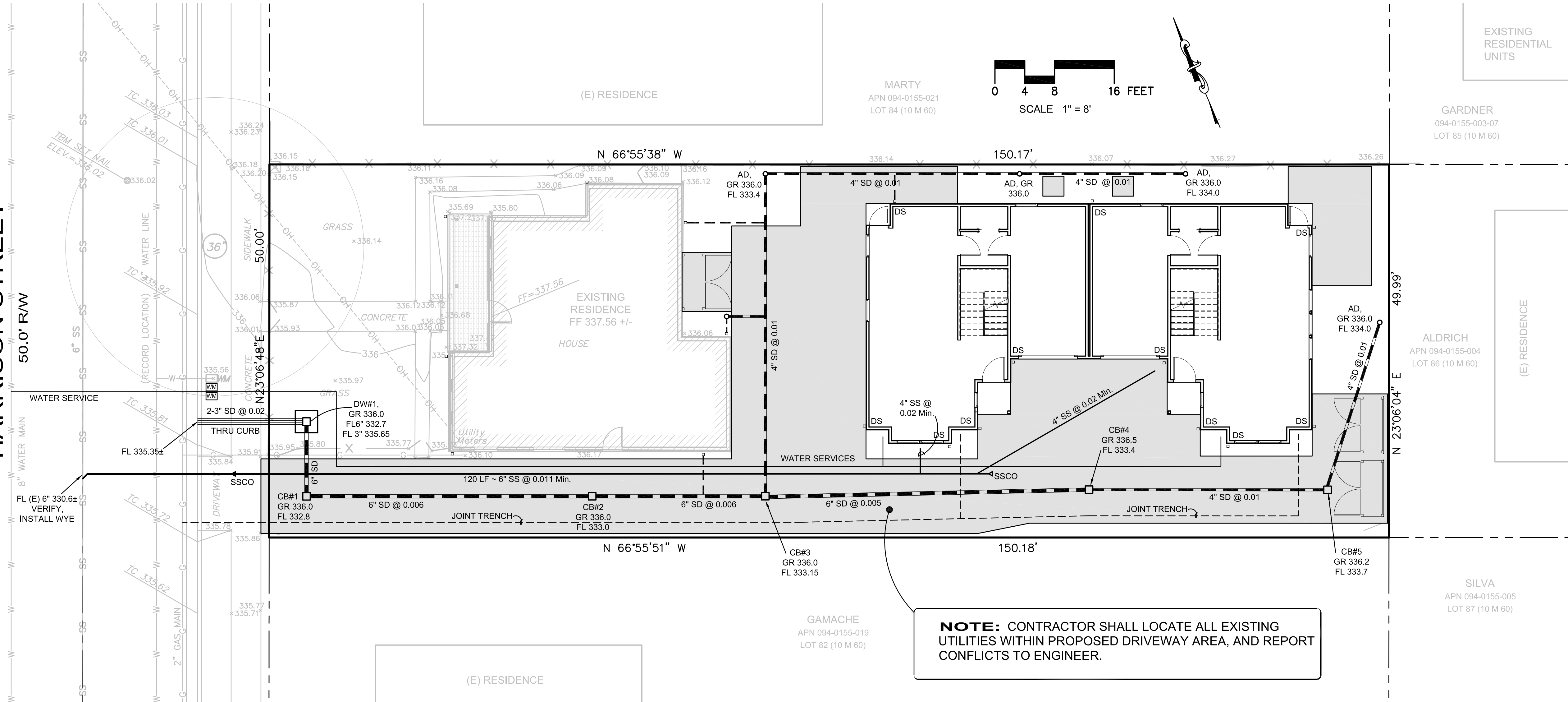
REVISIONS	SCALE	DATE	ENGINEER	H. N.	JOB NO.
	1"=8"	12/07/2017			17090

**GRADING AND DRAINAGE PLAN**  
**WINSLOW PROPERTY**  
APN 094-0155-020 - LOT 85 (10 M 60)  
4722 HARRISON STREET  
PLEASANTON CALIFORNIA

**HUMANN COMPANY INC.**  
ENGINEERING - SURVEYING  
10000 W. 14TH AVE., SUITE 200  
DENVER, CO 80202  
PH (303) 750-5000 FAX (303) 750-8576

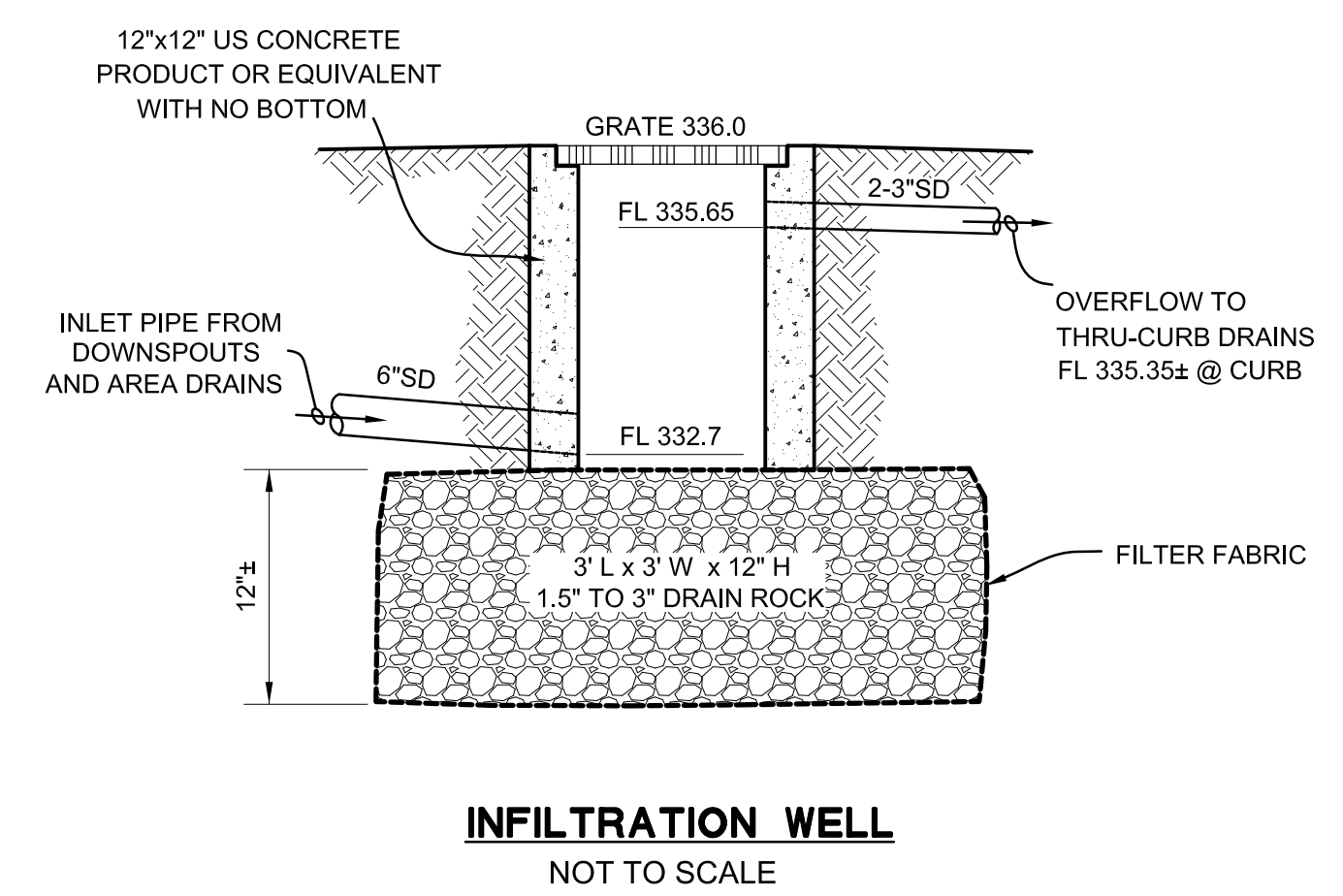
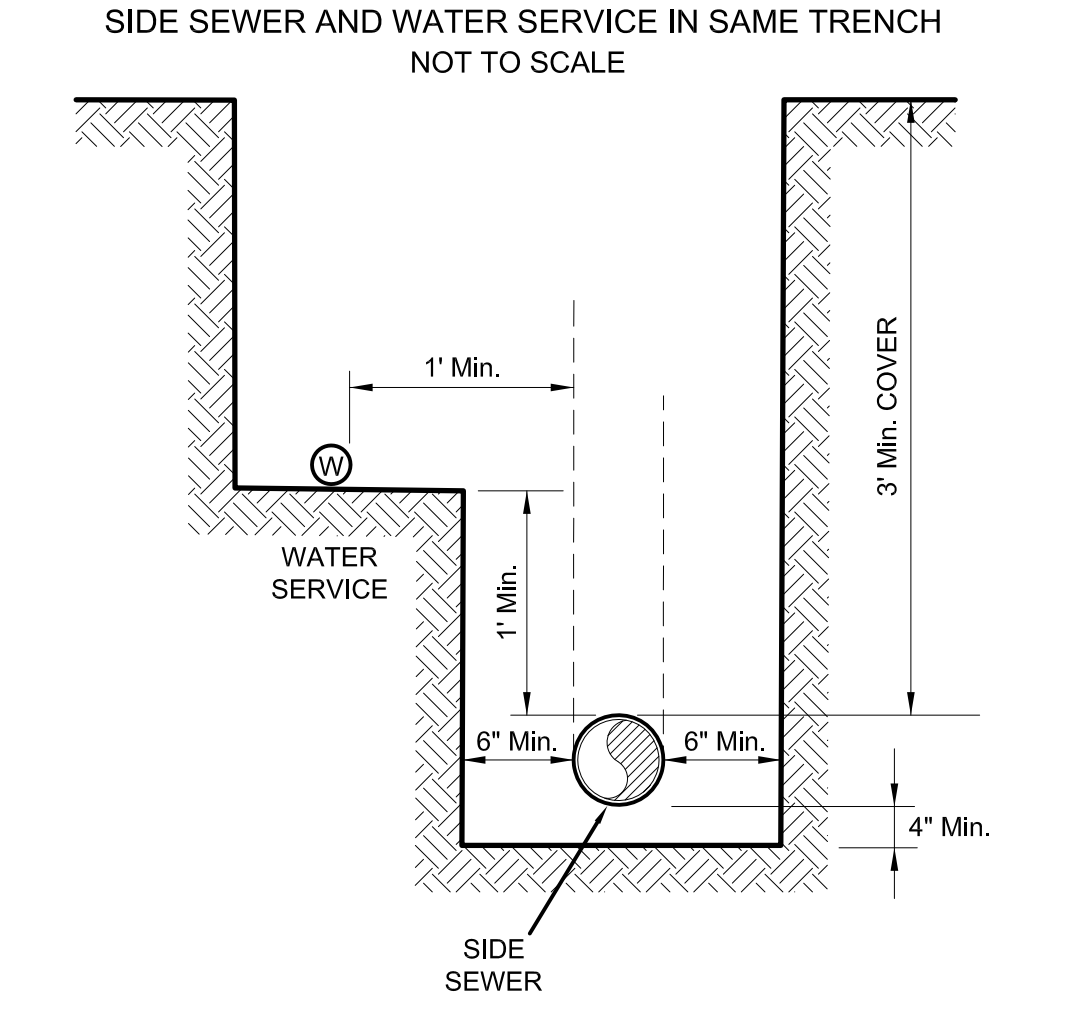
SHEET **C01**  
OF 4 SHEETS  
JOB NO. 17090

HARRISON STREET  
50.0' RAW



**NOTE:** CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WITHIN PROPOSED DRIVEWAY AREA, AND REPORT CONFLICTS TO ENGINEER.

**JOINT UTILITY TRENCH SEPARATION DETAIL**



**STORM DRAIN NOTES**

- UNLESS OTHERWISE NOTED, ALL PRIVATE STORM DRAIN PIPE SHALL BE PVC SDR 35 OR SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (CONFORM TO AASHTO M252 & M294 TYPE S).
- ALL EXISTING AND PROPOSED ON-SITE STORM DRAIN INLETS SHALL BE STENCILED WITH "NO DUMPING DRAINS TO BAY" USING THERMOPLASTIC TAPE.
- PROVIDE CLEANOUTS FOR STORM DRAIN AND PERFORATED SUBDRAIN TO MAINTAIN THE SYSTEMS PER BUILDING CODE REQUIREMENTS.
- REFER TO THE PROJECT GEOTECHNICAL REPORT AND STRUCTURAL PLANS FOR ANY ADDITIONAL SUB-DRAIN LOCATIONS, INFORMATION AND DETAILS.

STORM DRAIN SCHEDULE	
INLET #	DESCRIPTION
DW#1	12"x12" US Concrete Model CB1212 "W/out Bottom" or Equal w/ Non Traffic Grate
CB#1 THRU #4	12"x12" US Concrete Model CB1212 or Equal w/ Traffic Grate
CB#5	12"x12" US Concrete Model CB1212 or Equal w/ Non Traffic Grate
ALL ADs	Per Landscape Plans
** REFER TO LANDSCAPE PLANS FOR ANY ADDITIONAL AREA DRAIN LOCATIONS AND TYPE.	

**SANITARY SEWER NOTES:**

- ALL WORK SHALL BE IN CONFORMANCE WITH CITY OF PLEASANTON SANITARY DEPARTMENT.
- THE SAFETY REQUIREMENTS OF THE OSHA ACT FOR TRENCHING, SHORING AND BRACING SHALL BE COMPLIED WITH WHERE APPLICABLE.
- ALL LATERALS CONNECTING PROPERTY LINE CLEANOUTS TO THE CITY'S SEWER LINES SHALL BE 4" MIN. IN DIAMETER UNLESS OTHERWISE NOTED.
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE REQUIREMENTS OF THE DIVISION OF INDUSTRIAL SAFETY PERTAINING TO "CONFINED SPACES". ANY MANHOLE, CULVERT, DROP INLET OR TRENCH WHICH COULD CONTAIN AIR WHICH IS NOT READILY VENTILATED MAY BE CONSIDERED A "CONFINED SPACE". THE CONTRACTOR SHALL PROVIDE THE NECESSARY SAFETY OR TESTING EQUIPMENT AND PERSONNEL.



IZZAT S. NASHASHIBI R.C.E. 29528

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS	
SCALE	1"=8'
DATE	12/07/2017
ENGINEER	H. N.
JOB NO.	17090

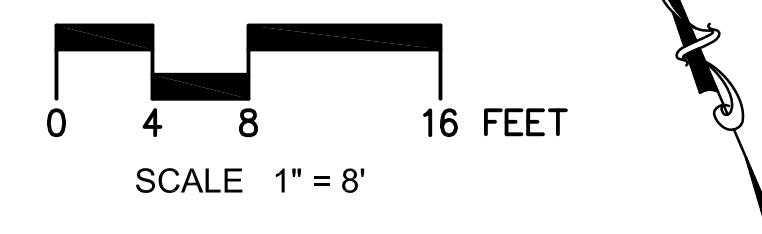
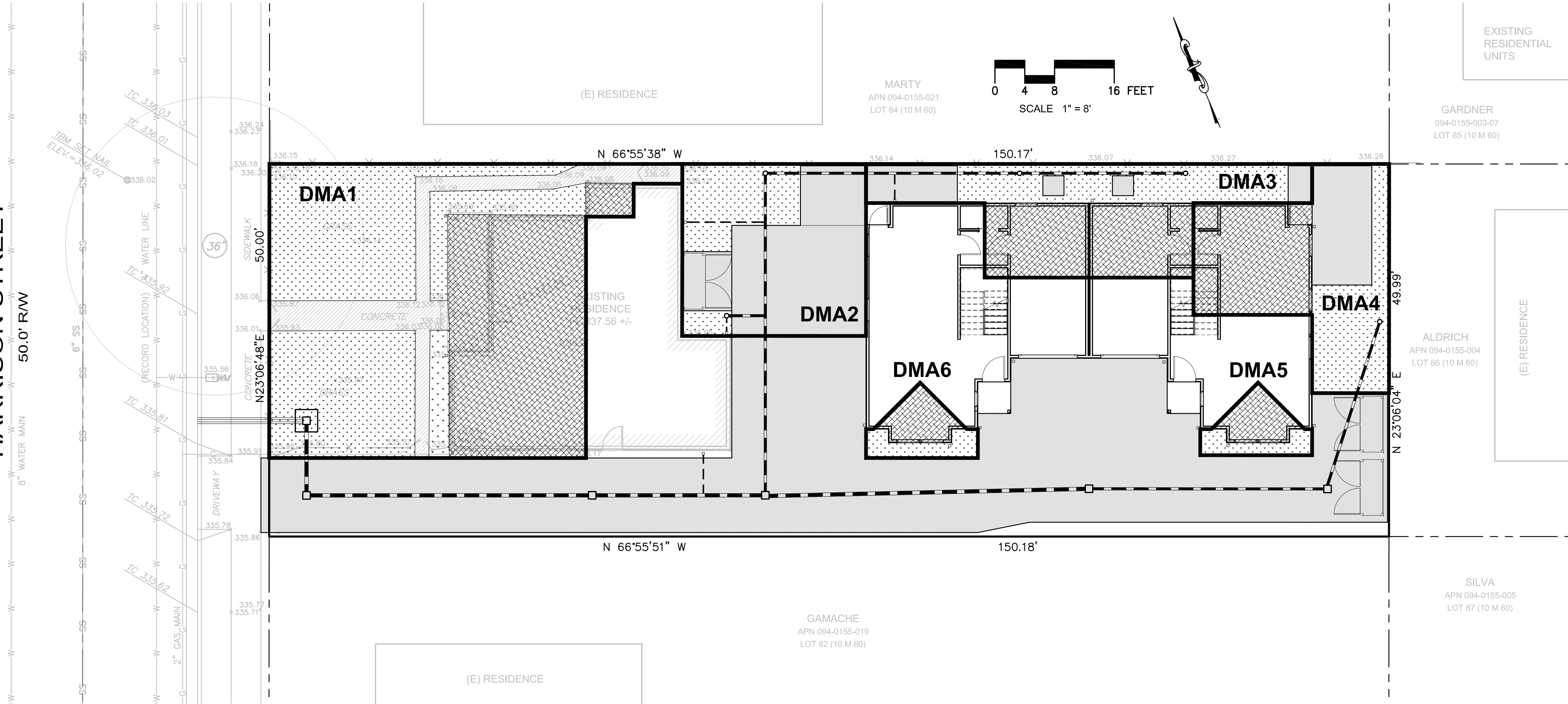
**UTILITY PLAN**  
**WINSLOW PROPERTY**  
APN 094-0155-020 - LOT 85 (10 M 60)  
4722 HARRISON STREET  
PLEASANTON CALIFORNIA

**HUMANN COMPANY INC.**  
REGISTERED PROFESSIONAL ENGINEER  
ENGINEERING - SURVEYING  
10251 265 - 5000 FAX (925) 265 - 8576  
PH (925) 265 - 5000 FAX (925) 265 - 8576

SHEET **C02**  
OF 4 SHEETS

JOB NO. 17090

HARRISON STREET  
50.0' R/W



- LEGEND**
- STORM DRAIN LINE
  - DOWNSPOUT TIE TO STORM DRAIN
  - ROOFS
  - EX. CONCRETE WALKWAYS
  - NEW CONCRETE DRIVEWAY/ PAVING
  - RECEIVING LANDSCAPE
  - DMA DRAINAGE MANAGEMENT AREA
  - DRAINAGE MANAGEMENT AREA LIMITS

**TREATMENT AREA SCHEDULE:**

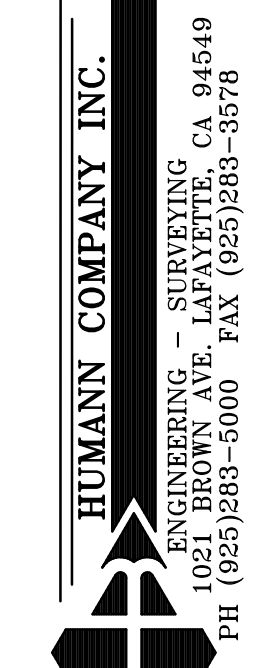
DMA#	ROOF AREA	PAVEMENT AREA	TOTAL IMPERVIOUS AREA	REQUIRED LANDSCAPE AREA	PROVIDED RECEIVING LANDSCAPE AREA
1	630	238	868	434	872
2	-	356	356	178	180
3	280	96	376	188	218
4	240	128	368	184	188
5	55	-	55	28	37
6	55	-	55	28	42



IZZAT S. NASHASHIBI R.C.E. 29528

PRELIMINARY NOT FOR CONSTRUCTION

<p>SMALL PROJECT C.3.i PLAN <b>WINSLOW PROPERTY</b> APN 094-0155-020 - LOT 85 (10 M 60) 4722 HARRISON STREET PLEASANTON CALIFORNIA</p>		<p>REVISIONS</p>
<p>SCALE 1"=8'</p>	<p>DATE 12/07/2017</p>	<p>ENGINEER H. N.</p>
<p>JOB NO. 17090</p>	<p>DATE 12/07/2017</p>	<p>ENGINEER H. N.</p>
<p>JOB NO. 17090</p>	<p>DATE 12/07/2017</p>	<p>ENGINEER H. N.</p>

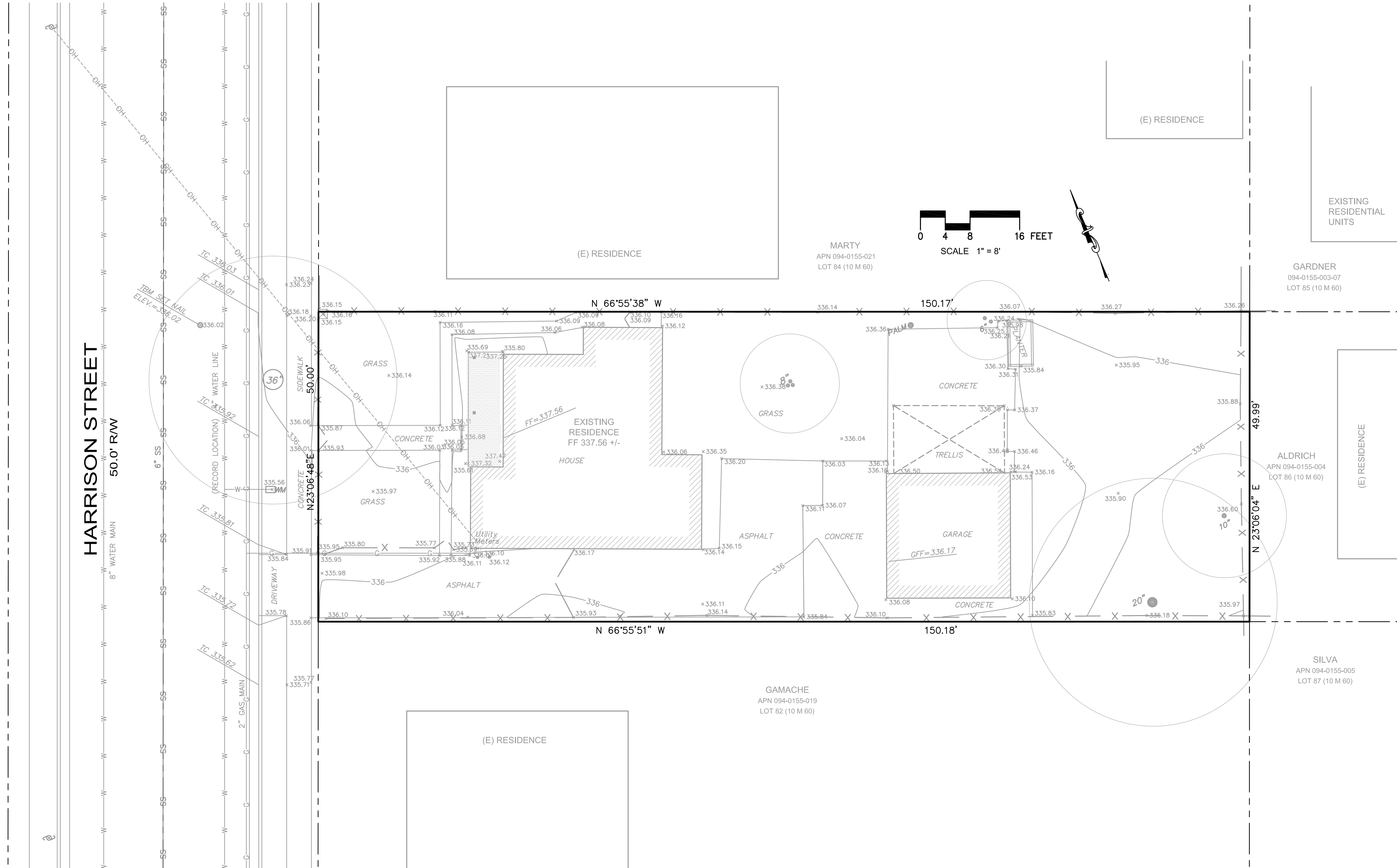


SHEET C03

OF 4 SHEETS

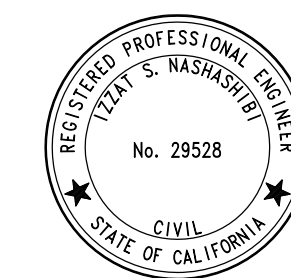
JOB NO. 17090





**BENCHMARK:**  
 ELEVATIONS SHOWN HEREON ARE BASED UPON CITY OF CITY OF PLEASANTON DATUM. TBM SET NAIL ELEV.=336.02

**TOPOGRAPHIC INFORMATION NOTE:**  
 EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREON PROVIDED BY ALEXANDER & ASSOCIATES INC., JOB No.16324, DATED DECEMBER 10, 2016.



IZZAT S. NASHASHIBI R.C.E. 29528

SCALE	DATE	ENGINEER	H. N.	JOB NO.
1"=8'	12/07/2017			17090

EXISTING CONDITIONS  
**WINSLOW PROPERTY**  
 APN 094-0155-020 - LOT 85 (10 M 60)  
 4722 HARRISON STREET  
 PLEASANTON CALIFORNIA

**HUMANN COMPANY INC.**  
 ENGINEERING - SURVEYING  
 10255 285th Ave., A 94549  
 PH (925) 285-5000 FAX (925) 285-8576

## 4006 — EXERIOR DECORATIVE

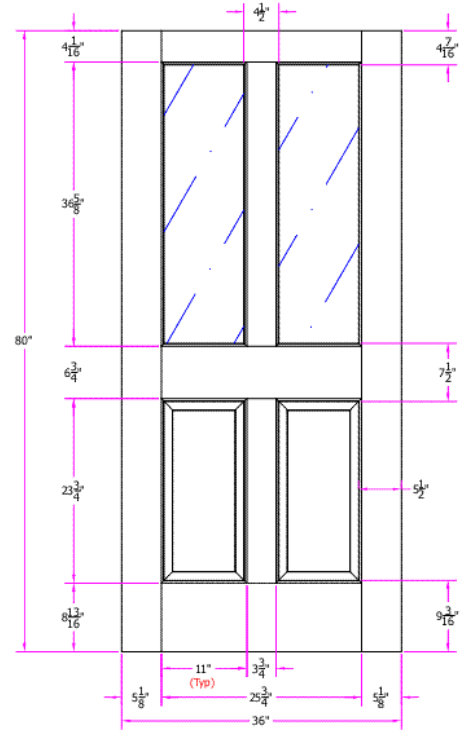


**SERIES:** Mastermark® Collection  
**TYPE:** Exterior Decorative  
**APPLICATIONS:** Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.






**Construction Type:**  
 Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

**Panels:** 1-1/4" Innerbond® Double Hip-Raised Panel  
**Profile:** Ovolo Sticking  
**Glass:** 5/8" Clear Insulated Glazing

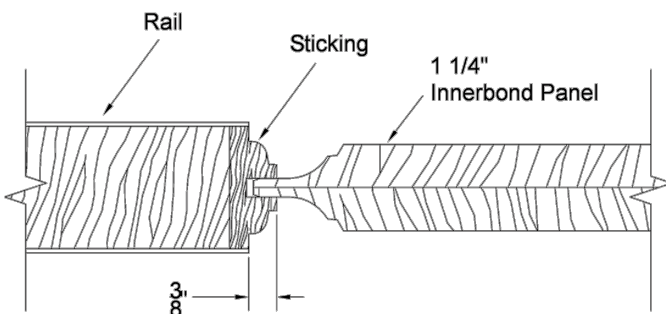
### DETAILED DRAWING



### STANDARD FEATURES

-  Any Wood Species
-  Virtually Any Size
-  Glass Options
-  UltraBlock® Technology
-  Privacy Rating: 1

### DETAILS





## Customize

Select an option below

### Door Size



Single 8' x 7'

Single 8' x 8'

Single 9' x 7'

Single 9' x 8'

Double 16' x 7'

Double 16' x 8'

Double 18' x 7'

Double 18' x 8'

### Color



### Window



### Glass

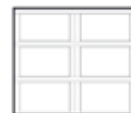


### Hardware



### My Selections

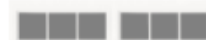
#### Door Size



Single 8' x 7'

Edit

#### Window



Stockbridge II 3 Lite Single

Edit

#### Glass



Apply to home photo



undo



redo

HD

view



zoom