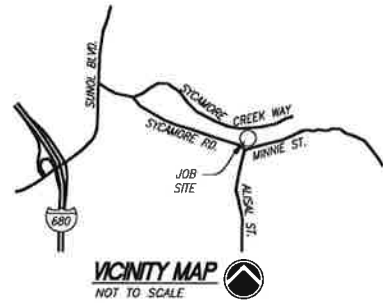


VESTING TENTATIVE MAP TRACT 8528 PUD-135 BRINGHURST 990 SYCAMORE ROAD PLEASANTON, CA 94566

GENERAL ABBREVIATIONS:

# DIA.	DIAMETER
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE PAVING
ADS	ADVANCED DRAINAGE SYSTEMS, INC.
ASTM	AMERICAN SOCIETY OF TESTING MATERIALS
BB	BOTTOM OF BANK
BC	BEGINNING OF CURVE
B/W	BSWK BACK OF SIDEWALK
BW	BASIN
BW	BOTTOM OF WALL
BWG	BOTTOM OF WALL GRADE
C	CURB
C&G	CURB & GUTTER
CB	CATCH BASIN
CDP	CONTROLLED DENSITY FILL
CL	CENTERLINE
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CONF.	CONFORM
CONC.	CONCRETE
COTG	CLEANOUT TO GRADE
CY	CUBIC YARDS
DI	DROP INLET, DRAIN INLET
DIM	DIMENSION
DW	DOMESTIC WATER
DWY, DWY	DRIVEWAY
E	ELECTRIC, EAST, EXISTING
(E)	EXISTING
EC/BC	END OF CURVE/BEGINNING OF CURVE
EL	ELEVATION
EMBANK	EMBANKMENT
EP	EDGE OF PAVEMENT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FC, FOC	FACE OF CURB
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FIRE SERVICE
FSW	FIRE SERVICE WATER
G	GAS
GR	GRATE
HP	HIGH POINT
INV	INVERT
JT	JOINT TRENCH
LFT	LEFT
LTSB	LIME TREATED SUB-BASE
MH	MANHOLE
MON	MONUMENT
MIN	MINIMUM
(N)	NEW
N/A	NOT APPLICABLE
OAE	OR APPROVED EQUAL
OST	OFFSET
P	PAVEMENT GRADE
PAE	PUBLIC ACCESS EASEMENT
PL	PROPERTY LINE
PSE	PUBLIC SERVICE EASEMENT
PSDE	PRIVATE STORM DRAIN EASEMENT
PT	POINT
PTA	PUBLIC TRAIL EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PVAE	PRIVATE VEHICLE ACCESS EASEMENT
PVC	POLYVINYL CHLORIDE
PVANT	PAVEMENT
R.O.W., ROW	RIGHT OF WAY
RIGHT	RIGHT
RP-BFP	REDUCED PRESSURE BACKFLOW PREVENTOR
SCH.	SCHEDULE
SED-B	SEDIMENTATION BASIN
SD	STORM DRAIN
SDE	STORM DRAIN EASEMENT (PUBLIC)
SDMH	STORM DRAIN MANHOLE
SERV	SERVICE
SF	SQUARE FEET
SG	SOLID GRATE (NON-DRAIN COVER)
SIM	SIMILAR
SL, ST, LT.	STREET LIGHT
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
STA	STATION
STD	STANDARD
STD DWG	STANDARD DRAWING
STL	STEEL
SWK	SIDEWALK
TB	TOP OF BANK
TC	TOP OF CURB
TI	TRAFFIC INDEX
TOP	TOP OF FOOTING
TOP	TOP OF PIPE
TR	TOP OF RAMP
TW	TOP OF WALL
TWG	TOP OF WALL GRADE
TYP.	TYPICAL
STA	STATION
VERT.	VERTICAL
W	WATER
WLE	WATER LINE EASEMENT
WM	WATER METER
WSP	WELDED STEEL PIPE
WLY	WALK
W	WALK
W	SLOPE AND DIRECTION



PROJECT INFORMATION:

APN: 948-0016-002-15
 EXISTING ZONING: PUD-A
 PROPOSED ZONING: PUD
 EXISTING ADDRESS: 990 SYCAMORE ROAD
 PLEASANTON, CA 94566

GROSS SITE AREA: 3.29 ACRES
 SMALLEST PROPOSED LOT AREA: 14,617 SF.
 TOTAL NUMBER OF LOTS PROPOSED: 5

OWNER/CONSULTANTS:

OWNER:
 BRINGHURST LLC
 990 SYCAMORE ROAD
 PLEASANTON, CA 94566

CIVIL ENGINEER:
 LANDTECH CONSULTANTS
 3845 BEACON AVENUE, SUITE D
 FREMONT, CA 94538

SOILS ENGINEER:
 PRA GROUP
 3496 BUSKIRK AVENUE, SUITE 100
 PLEASANT HILL, CA 94523

FLOOD ZONE INFORMATION:

THE SITE SHOWN ON THIS PLAN LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN FROM FEMA MAP NUMBER 06001C03386.

TOPO SURVEY INFORMATION & BENCHMARK:

SURVEY BASED ON AERIAL PHOTOGRAMMETRY DATED FEBRUARY 13, 2018. ELEVATIONS ARE BASED ON THE BENCHMARK BELOW:
 CITY BENCHMARK #12527, 0.5 MILE SOUTHWEST ALONG THE SOUTHERN PACIFIC COMPANY RAILROAD FROM THE CROSSING OF NEAL ST. AT PLEASANTON, AT THE NORTH CORNER OF A CYCLOPE FENCE OF THE PLEASANTON SEWAGE TREATMENT PLANT, 77 FEET NORTHWEST OF THE CENTERLINE OF SUNOL BLVD. EL. 327.33

UTILITIES:

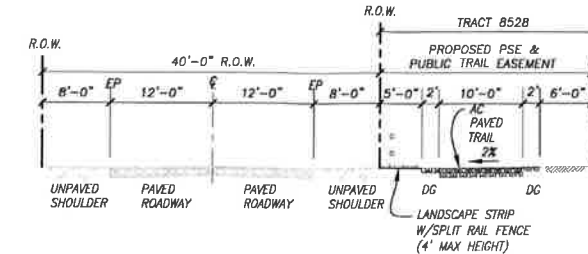
WATER: CITY OF PLEASANTON
 SANITARY SEWER: CITY OF PLEASANTON
 STORM: CITY OF PLEASANTON
 TELEPHONE AND TV: AT&T
 GAS AND ELECTRIC: PG&E
 FIRE PROTECTION DISTRICT: LIVERMORE-PLEASANTON FIRE DEPARTMENT

SHEET INDEX:

TIM-1	COVER SHEET & TYPICAL SECTIONS
TIM-2	SITE PLAN
TIM-3	PRELIMINARY ROUGH GRADING PLAN
TIM-4	SITE SECTIONS
TIM-5	PRELIMINARY DRAINAGE PLAN
TIM-6	PRELIMINARY UTILITIES PLAN
TIM-7	SYCAMORE CREEK PROJECT REACH SECTIONS & DELINEATIONS OF CREEK & TOE OF BANKS

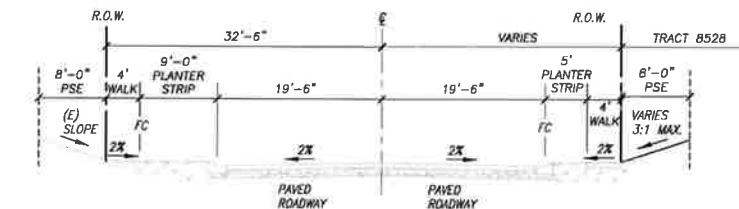
LEGEND:

DESCRIPTION:	PROPOSED:	EXISTING:
TRACT BOUNDARY	---	---
CENTERLINE	---	---
CURB, GUTTER, SIDEWALK	---	---
LOT LINE	---	---
MONUMENT LINE	---	---
RIGHT OF WAY	---	---
EASEMENT	---	---
GRADING FEATURE, BREAK	---	---
CREEK SET-BACK	---	---
CREEK TOE OF SLOPE	N/A	---
SWALE	---	---
TOP OF CREEK BANK	---	---
PROPOSED BUILDING ENVELOPE	---	---
STORM DRAIN	SD	---
SANITARY SEWER	SS	---
WATER	W	---
ELECTRIC CONDUIT	E	---
GAS	G	---
TELEPHONE, DATA (COMMUNICATION)	COM	---
JOINT TRENCH	JT	---
OVERHEAD LINES	OH	---
RECYCLED WATER	RW	---
CONTOUR, ELEVATION AND SPOT ELEVATION	16 x 1625	---
STREET SIGN	+	+
CITY MONUMENT	⊙	⊙
PRIVATE MONUMENT	⊗	⊗
CURB DRAIN	■	■
MANHOLE	⊙ ⊗	⊙ ⊗
FIELD INLET, CATCH BASIN	□ ⊙	□ ⊙
UTILITY PULL BOX/ STUB-OUT BOX	□	□
FIRE HYDRANT	⊗	⊗
SANITARY SEWER CLEANOUT (SS-STUB)	•	•
SANITARY SEWER SERVICE LATERAL	---	---
WATER SERVICE (WWS)	---	---
WATER MAIN AND VALVE	---	---
ELECTROLIER	---	---
CREEK/ SWALE-DIR OF FLOW	---	---
DIRECTION OF SLOPE (SLOPE)	OR	OR
TOP OF WALL ELEVATION, TW BOTTOM OF WALL ELEVATION, BW	TW BW	TW BW
DRAINAGE EROSION PROTECTION RIPRAP	---	---
EXISTING TREE TRUNK	---	---
DRAINAGE MANAGEMENT AREA (DMA)	■ ■ ■ ■	■ ■ ■ ■



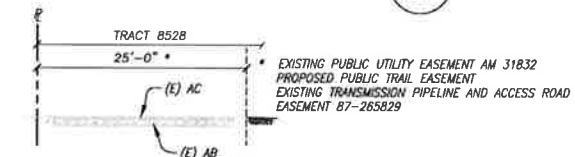
SYCAMORE ROAD SECTION

SCALE: 1"=10'



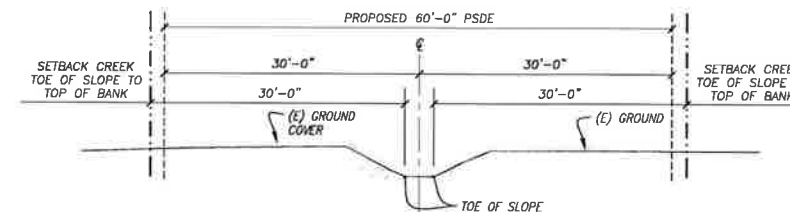
SYCAMORE CREEK WAY SECTION

SCALE: 1"=10'



DALE WAY SECTION

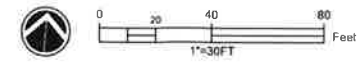
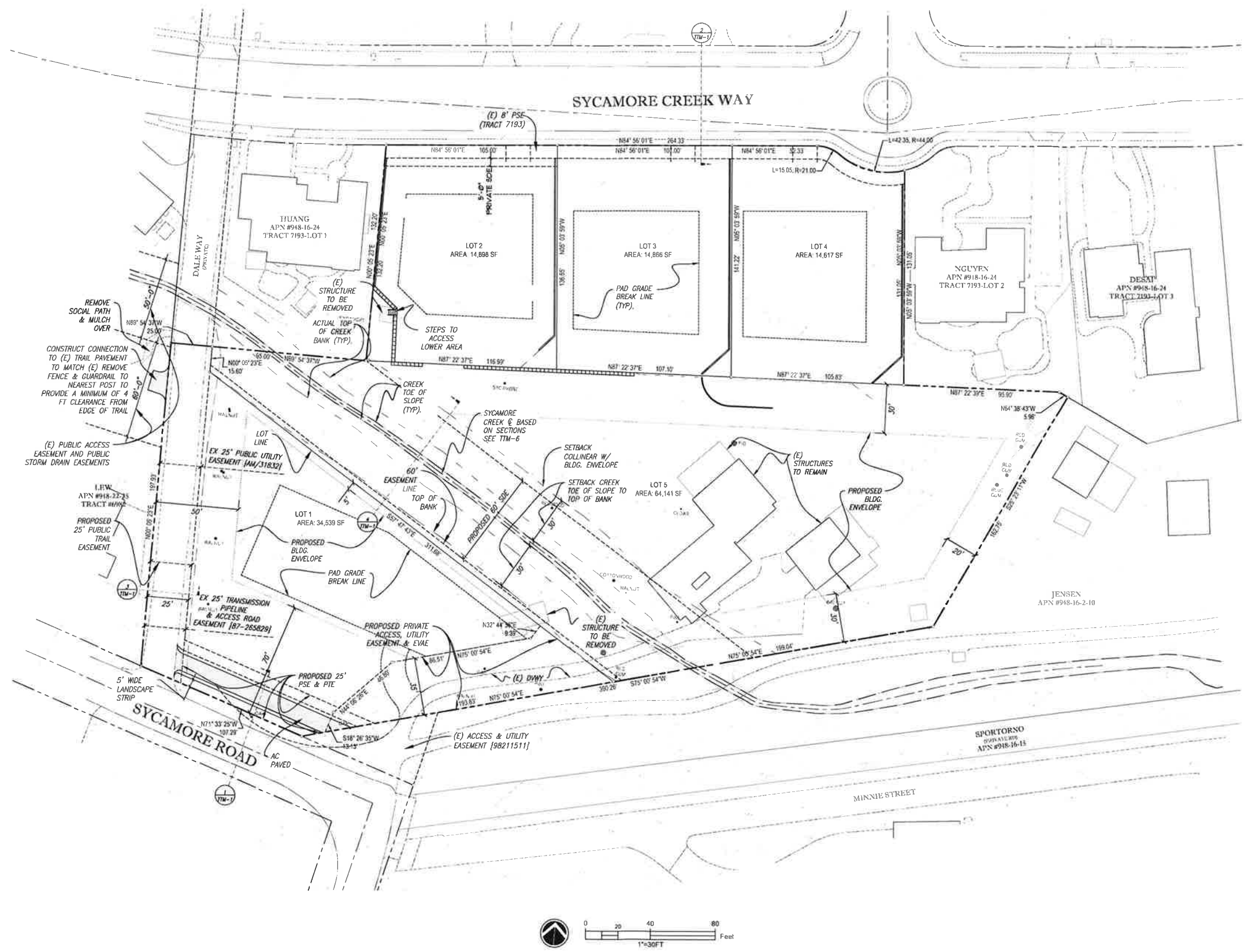
SCALE: 1"=10'



TYPICAL SYCAMORE CREEK SECTION

SCALE: 1"=10'

DESIGNED BY:	NO.	DATE	REVISION	BY	APP.		PREPARED FOR:	VESTING TENTATIVE MAP	SHEET TITLE:	DATE:
DRAWN BY:							BRINGHURST, LLC	TRACT 8528	COVER SHEET & TYPICAL	1-5-2020
CHECKED BY:							PO Box 2642	PUD-135 BRINGHURST	SECTIONS	SCALE:
DIV. MGR.:							San Ramon, CA 94583	990 SYCAMORE RD		DWG. NO.: TTM-1
										SIT. NO.: 1 OF 7



DESIGNED BY:	NO.	DATE	REVISION	BY	APP.
DRAWN BY:					
CHECKED BY:					
DIV. MGR.:					

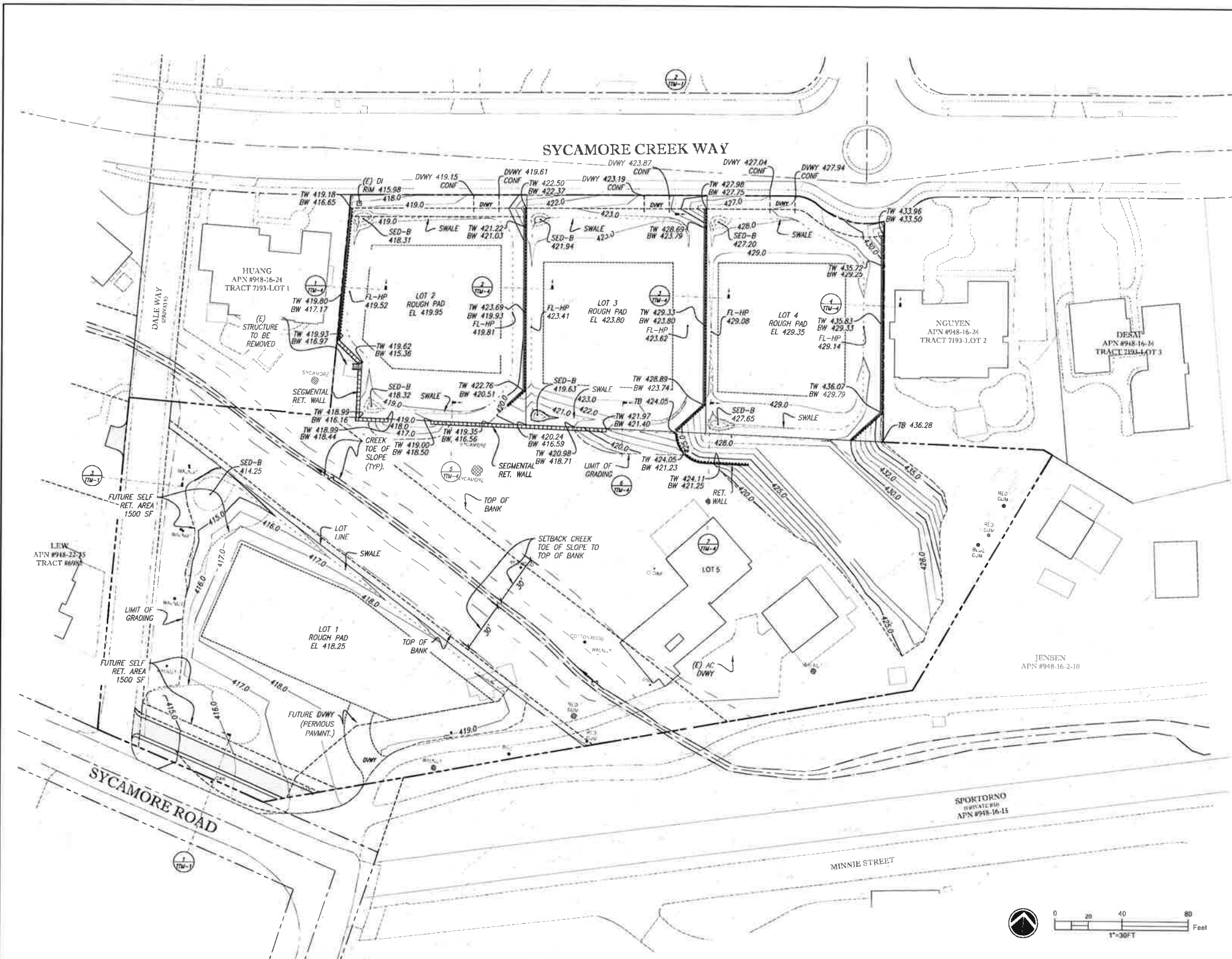


PREPARED FOR:
BRINGHURST, LLC
 PO Box 2642
 San Ramon, CA 94583

VESTING TENTATIVE MAP
 TRACT 8528
 PUD-135 BRINGHURST
 990 SYCAMORE RD
 PLEASANTON, CALIFORNIA

SHEET TITLE:
SITE PLAN

DATE: 1-5-2020
 SCALE:
 DWG. NO.: **TTM-2**
 SHIT. NO.: 2 OF 7



RETAINING WALL LEGEND:



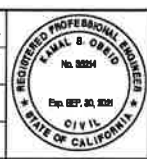
NOTES:

1. NO EXISTING TREES ARE PROPOSED TO BE REMOVED.
2. SEE DRAINAGE PLAN TTM-5 FOR DRAINAGE STRUCTURES, STORM DRAINS, & FUTURE PROPOSED DRAINAGE FACILITIES SUCH AS BIO-RETENTION PLANTERS & SELF-TREAT AREAS. SEE TTM-5 FOR DIMENSIONS OF THESE FACILITIES.
3. SEE DRAINAGE PLAN TTM-5 FOR SWALE SLOPES.

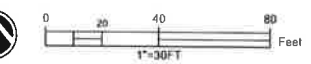
GRADING QUANTITIES SUMMARY

	CUT (CY)	FILL (CY)
LOTS 2,3 & 4 (NORTH BANK)	3,935	602
LOT 1 (SOUTH BANK)	150	605
NET EXPORT	2,878	

DESIGNED BY:	NO.	DATE	REVISION	BY	APP.
DRAWN BY:					
CHECKED BY:					
DIV. MGR.:					



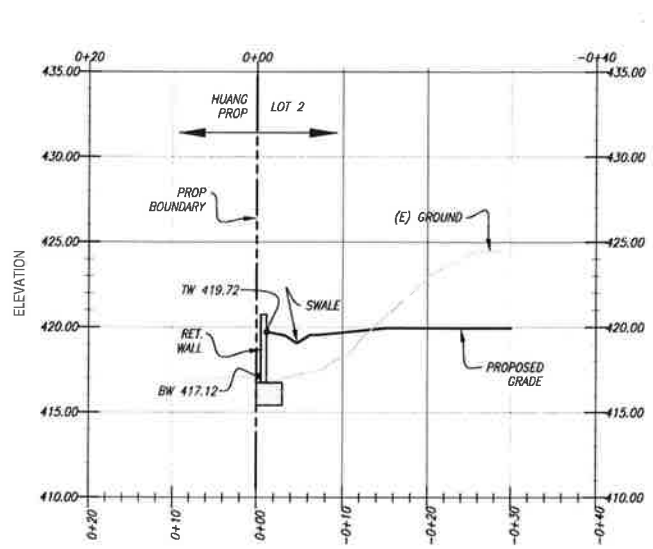
PREPARED FOR:
BRINGHURST, LLC
 PO Box 2642
 San Ramon, CA 94583



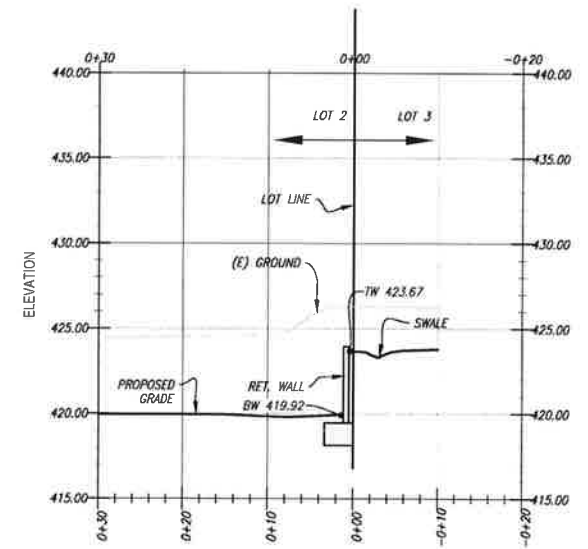
VESTING TENTATIVE MAP
 TRACT 8528
 PUD-135 BRINGHURST
 990 SYCAMORE RD
 PLEASANTON, CALIFORNIA

SHEET TITLE:
**PRELIMINARY ROUGH
 GRADING PLAN**

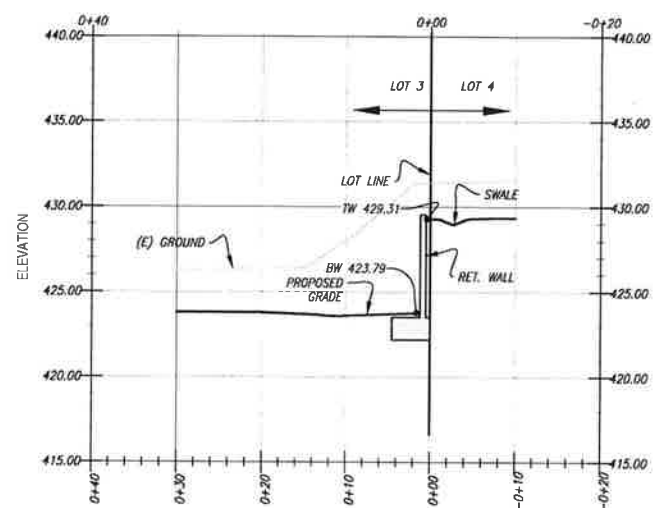
DATE: 1-5-2020
 SCALE:
 DWG. NO.: **TTM-3**
 SHEET NO. 3 OF 7



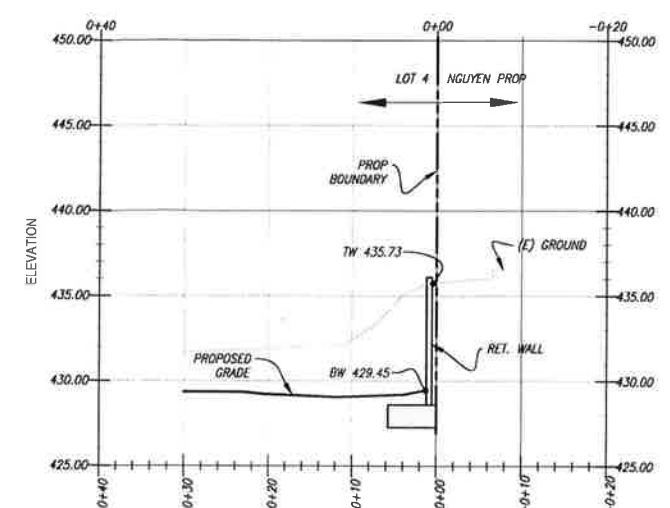
SECTION 1- Lot 2 @ Boundary



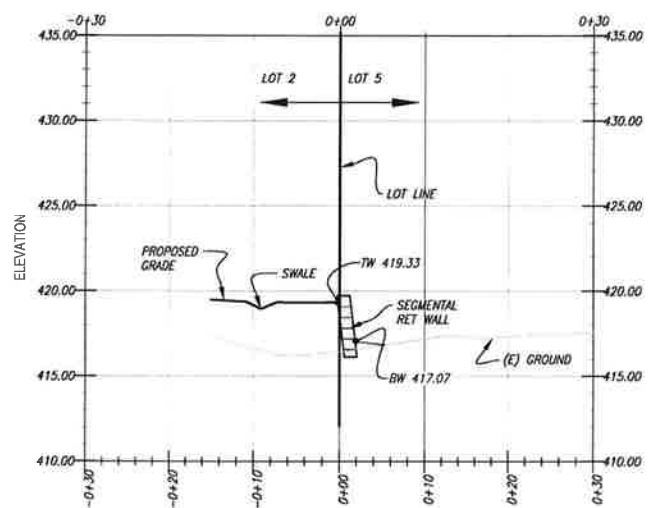
SECTION 2- Lot 2 & Lot 3 @ Lot Line



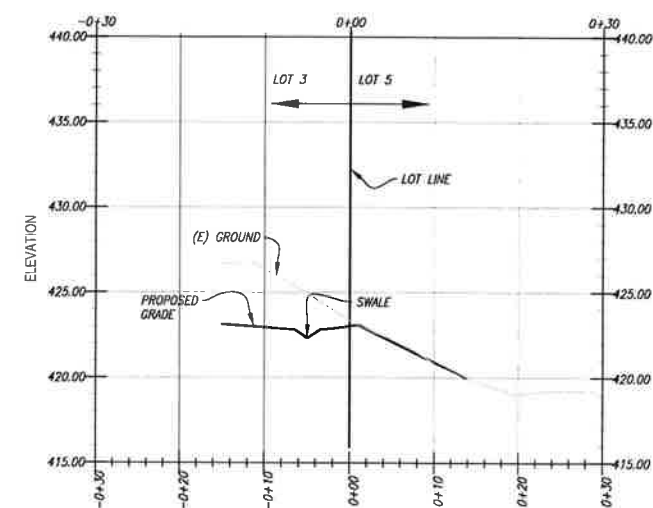
SECTION 3- Lot 3 & Lot 4 @ Lot Line



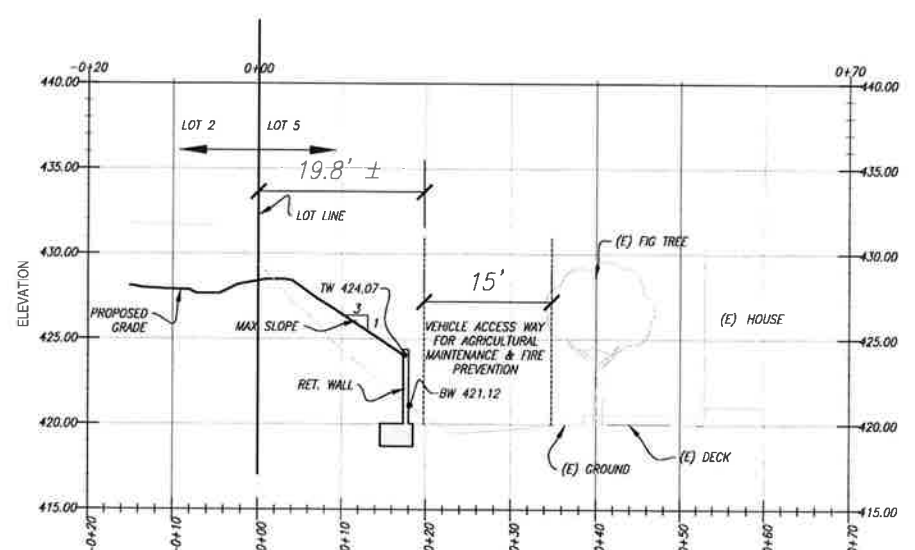
SECTION 4- Lot 4 @ Boundary



SECTION 5- Lot 2-5 @ Lot Line



SECTION 6- Lot 3 & Lot 5 @ Lot Line



SECTION 7- Lot 4-5 @ Lot Line

DESIGNED BY:	NO.	DATE	REVISION	BY	APP.
DRAWN BY:					
CHECKED BY:					
DIV. MGR.:					

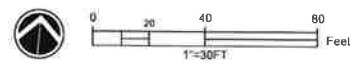
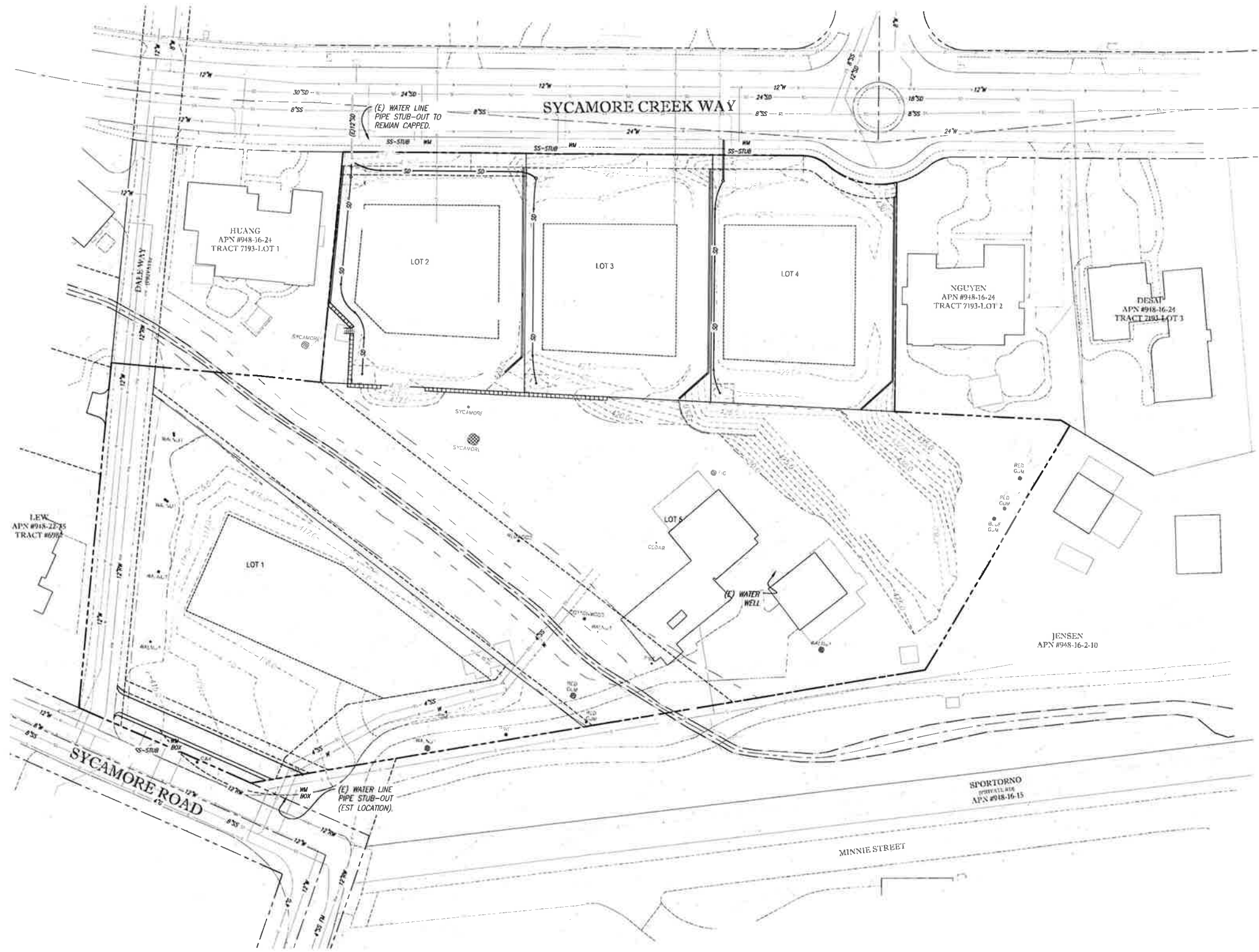


PREPARED FOR:
BRINGHURST, LLC
PO Box 2642
San Ramon, CA 94583

VESTING TENTATIVE MAP
TRACT 8528
PUD-135 BRINGHURST
990 SYCAMORE RD
PLEASANTON, CALIFORNIA

SHEET TITLE:
SITE SECTIONS

DATE: 1-5-2020
SCALE:
DWG. NO.: **TTM-4**
SHT. NO.: 4 OF 7



DESIGNED BY:	NO.	DATE	REVISION	BY	APP.
DRAWN BY:					
CHECKED BY:					
DIV. MGR.:					



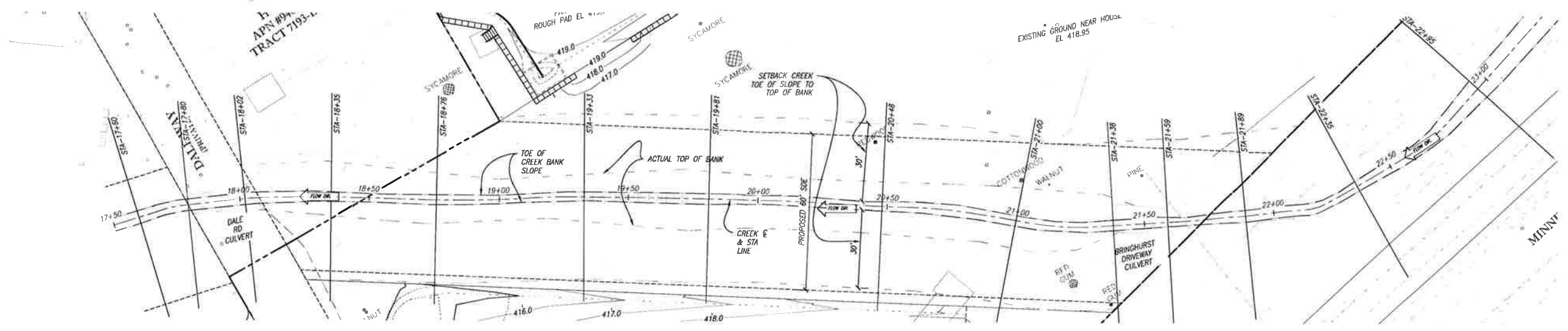
Landtech Consultants
 Civil & Structural Engineers
 3845 Beacon Avenue Suite D
 Fremont, CA 94538
 (415) 375-9541
 lup@www.landtech.com

PREPARED FOR:
BRINGHURST, LLC
 PO Box 2642
 San Ramon, CA 94583

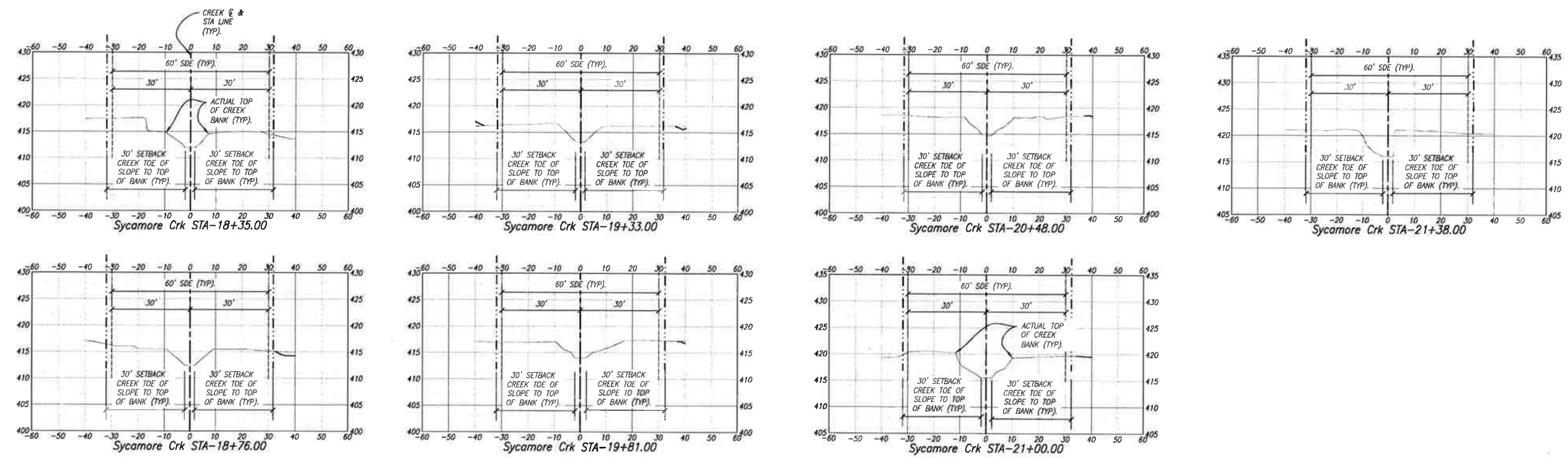
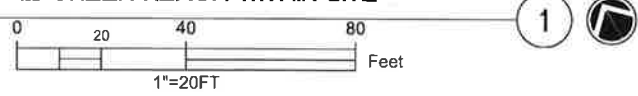
VESTING TENTATIVE MAP
 TRACT 8528
 PUD-135 BRINGHURST
 990 SYCAMORE RD
 PLEASANTON, CALIFORNIA

SHEET TITLE:
PRELIMINARY UTILITIES PLAN

DATE: 1-5-2020
 SCALE:
 DWG. NO.: **TTM-6**
 SHEET NO. 6 OF 7



SYCAMORE CREEK REACH WITHIN SITE



SYCAMORE CREEK REACH SECTIONS



DESIGNED BY:	NO.	DATE	REVISION	BY	APP.
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CHECKED BY:					
DIV. MGR.:					



Landtech Consultants
Civil & Structural Engineers
3845 Beacon Avenue Suite D
Fremont, CA 94538
http://www.landtech.com

PREPARED FOR:
BRINGHURST, LLC
PO Box 2642
San Ramon, CA 94583

VESTING TENTATIVE MAP
TRACT 8528
PUD-135 BRINGHURST
990 SYCAMORE RD
PLEASANTON, CALIFORNIA

SHEET TITLE:
SYCAMORE CREEK PROJECT REACH
SECTIONS & DELINEATIONS OF CREEK &
TOE OF BANKS

DATE: 1-5-2020
SCALE:
DWG. NO.: **TTM-7**
SHEET NO. 7 OF 7

CONSTRUCTION NOTES

- PG&E'S GENERAL TERM AND CONDITIONS FOR GAS AND ELECTRIC EXTENSION AND SERVICE CONSTRUCTION BY "APPLICANT" (EFFECTIVE 07/1/95) TO BE UTILIZED FOR ALL TRENCHING, BACK-FILLING, AND INSTALLATION WORK.
- THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL INSTALLATIONS INSPECTED AND APPROVED BY THE RESPECTIVE UTILITY COMPANY, MUNICIPALITY, OR SOILS ENGINEER PRIOR TO ANY BACK FILLING. (48 HOUR NOTICE)
- SHOULD A DISPUTE OR DISAGREEMENT OVER ANY INSTALLATION, DESIGN, PLAN, OR DRAWING OCCUR THE SPECIFICATIONS AND REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANY AND THEIR INSPECTOR SHALL TAKE PRECEDENCE.
- GIACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR THE QUALITY, QUANTITY OR TIMING OF WORK BY CONTRACTOR, UTILITY COMPANY CONSTRUCTION CREWS OR OTHER SUBCONTRACTORS TO THE DEVELOPER.
- THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE COMPLEMENTARY TO ONE ANOTHER. ANYTHING MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS SHALL BE CONSIDERED OF LIKE EFFECT AS IF APPEARING IN BOTH. CONTACT GIACALONE DESIGN SERVICES, INC. PRIOR TO START OF WORK IF A DISCREPANCY IS FOUND.
- CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACK FILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
- CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POINTS OF ACCESS THAT ARE AGREEABLE TO ADJACENT LAND USES AND TENANTS AT ALL TIMES.
- GIACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR THE PROJECT CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW THE PROJECT AND SITE PRIOR TO SUBMITTING HIS BID.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE LOCATIONS, BASED UPON RECORD DATA MADE AVAILABLE BY P.G.& E. TELEPHONE, CATV, IMPROVEMENT PLANS AND CITY RECORDS. GIACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR THE INFORMATION SHOWN. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE PRECISE LOCATION OF ALL UNDERGROUND FACILITIES. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) (1-800-642-2444) AT LEAST 48 HOURS PRIOR TO START OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF CONSTRUCTION WITH THE RESPECTIVE UTILITY AGENCIES, ALLOWING 48 HOURS PRIOR TO THE NEED FOR INSTALLATIONS.
- THE CONTRACTOR SHALL NOTIFY DEVELOPER 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKING. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL CONSTRUCTION STAKING SET BY THE DEVELOPERS SURVEYORS AND WILL BE BACK CHARGED FOR ANY RE-STAKING THAT IS REQUIRED.
- ALL LENGTHS SHOWN ON THESE PLANS ARE ESTIMATES. FINAL QUANTITIES SHALL BE BASED ON WHAT WILL BE NEEDED TO COMPLETE THIS PROJECT. DUE TO CHANGES, ADDITIONS, DELETIONS OR OMISSIONS FINAL QUANTITIES MAY VARY.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT IN PLACE ALL EXISTING FACILITIES. EXCAVATION MAY BE REQUIRED OVER, UNDER OR ADJACENT TO EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO LOCATE, EXPOSE AND PROTECT ALL EXISTING FACILITIES. THE CONTRACTOR IS RESPONSIBLE TO BID THE WORK BASED ON THE REVIEW OF THE IMPROVEMENT PLANS IN CONJUNCTION WITH THESE PLANS.
- SHOULD A CONFLICT ARISE BETWEEN FACILITIES SHOWN ON THESE PLANS AND IMPROVEMENT PLANS FOR THIS PROJECT, THE IMPROVEMENT PLANS SHALL TAKE PRECEDENCE. CONTACT GIACALONE DESIGN SERVICES, INC. (925) (756-0800) IF A PROBLEM SHOULD OCCUR.
- ALL TRENCHES, CONDUITS, AND BOXES ARE SHOWN SCHEMATICALLY.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AS-BUILT DRAWINGS AFTER INSTALLATION OF P.G.& E. GAS AND ELECTRIC SYSTEMS PRIOR TO HOT TIE-INS.
- ALL TRANSFORMERS AND TRANSFORMER PADS ARE TO BE INSTALLED PER P.G. & E. SPECIFICATIONS. PROTECTIVE BOLLARDS ARE TO BE PLACED WHERE NEEDED.

LABOR & CONSTRUCTION RESPONSIBILITIES

JOINT TRENCH

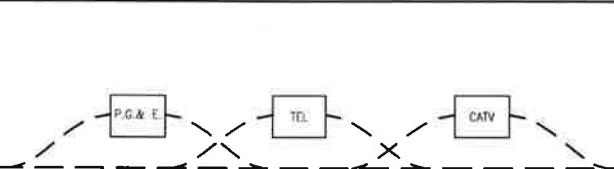
- TRENCHING:** EXCAVATE, BACKFILL AND COMPACT
- GAS MATERIAL:**
- ELECTRIC CABLE:** SUPPLY, INSTALL
- ELECTRIC CONDUIT:** SUPPLY, INSTALL
- ELECTRIC SPLICE BOXES:** EXCAVATE, SUPPLY, INSTALL
- ELECTRIC TRMR. ENCLS.:** EXCAVATE, SUPPLY, INSTALL
- ELECTRIC EQUIP. ENCLS.:** EXCAVATE, SUPPLY, INSTALL
- ELECTRIC TRANS. PADS:** GRADE, SUPPLY, INSTALL
- ELECTRIC SWITCH PADS:** GRADE, SUPPLY, INSTALL
- TELEPHONE CONDUIT:** SUPPLY, INSTALL
- TELEPHONE CABLE:** SUPPLY, INSTALL
- TELEPHONE SPLICE BOXES:** EXCAVATE, SUPPLY, INSTALL
- TELEPHONE INTER PADS:** GRADE, SUPPLY, INSTALL
- CATV CONDUITS:** SUPPLY, INSTALL
- CATV SPLICE BOXES:** EXCAVATE, SUPPLY, INSTALL

STREET LIGHTING SYSTEM

- WIRE:** SUPPLY, INSTALL
- CONDUIT:** SUPPLY, INSTALL
- BASES:**
- LUMINAIRES:**
- SPLICE BOX:**
- POLES:**

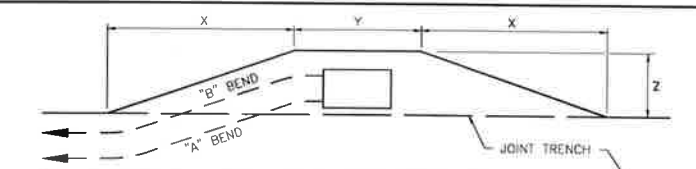
P.G. & E. RATE SCHEDULE: **LS-2A**
 INSTALL IN JOINT TRENCH:
 INSTALL IN SEPARATE TRENCH:

ADDITIONAL NOTES:



- CONTRACTOR TO EXCAVATE TRANSITIONS FROM MAIN-LINE TRENCH TO VAULTS AS REQUIRED BY EACH UTILITY.
- TRANSITIONS NOT SHOWN ON COMPOSITE DRAWING FOR CLARITY.
- CONTRACTOR TO INCLUDE COST OF TRANSITIONS IN VAULT EXCAVATION COSTS.

TRANSITION DETAIL
(TYPICAL)



"A" BEND	PRIMARY BOX SIZE	DISTANCE (when conduit enters "A")
	3' x 5'	24' 7" 5"
	4'-6" x 8'-6"	24' 11" 7"

BEND IS 60° RADIUS WITH AN ANGLE OF 10°. USE 2-5 COUPLINGS WITH 1-5' CONDUIT SECTION FOR EACH BEND SHOWN.

"B" BEND	PRIMARY BOX SIZE	DISTANCE (when conduit enters "B")
	3' x 5'	32' 7" 5"
	4'-6" x 8'-6"	32' 11" 7"

BEND IS 30° RADIUS WITH AN ANGLE OF 15°. USE 3-5 COUPLINGS WITH 2-2 1/2' CONDUIT SECTIONS FOR EACH BEND SHOWN.

TYPICAL P.G.&E. PRIMARY BOX EXCAVATION USING CONDUIT

MINIMUM COVER AND CLEARANCES
Minimum space from

	G	T	C	S	P	Minimum Cover
G (Gas)	6"	6"	6"	12"	24"	30" in street
T (Telephone)	6"	0"	12"	12"	24"	30" in street
C (C.A.T.V.)	6"	0"	0"	12"	18"	
S (Elect. Secondary)	6"	12"	0"	6"	24"	30" in street
P (Elect. Primary)	12"	12"	12"	6"	30"	36" in street

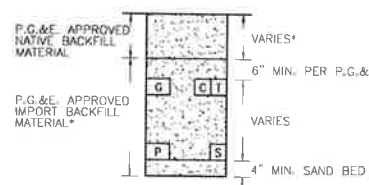
LATEST PLANS & FILES RECEIVED

DESCRIPTION:	BY:	DATE:	STATUS:
Improvement Plans (Electronic File)	RJA	10/27/03	IN-PROGRESS
Gas Design	GDSI	12/5/03	SS
Electric Design	GDSI	11/18/03	SS
Telephone Layout	SBC	3/20/03	PRELIMINARY
CATV Layout	CONCAST	2/4/03	PRELIMINARY
Street Light Plans - Public	GDSI	12/5/03	F
Street Light Plans - Private			
MPDE Design (Private Telephone)			
Landscape Plans (Electronic File)	ROSE ASSOCIATES		IN-PROGRESS

A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=Final Submittal • SS=Second Submittal

SECTION	G	T	C	S	P	OTHER
A*	X	X	X	X	X	X
B*	X	X	X	X	X	X
C*	X	X	X	X	X	X
D*	X	X	X	X	X	X
E*	X	X	X	X	X	X
F*	X	X	X	X	X	X
G*	X	X	X	X	X	X
H*	X	X	X	X	X	X
I	X	X	X	X	X	X
J	X	X	X	X	X	X
K	X	X	X	X	X	X
L	X	X	X	X	X	X
M	X	X	X	X	X	X
N	X	X	X	X	X	X
O	X	X	X	X	X	X
P	X	X	X	X	X	X
Q	X	X	X	X	X	X
R	X	X	X	X	X	X
S	X	X	X	X	X	X
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V	X	X	X	X	X	X
W	X	X	X	X	X	X

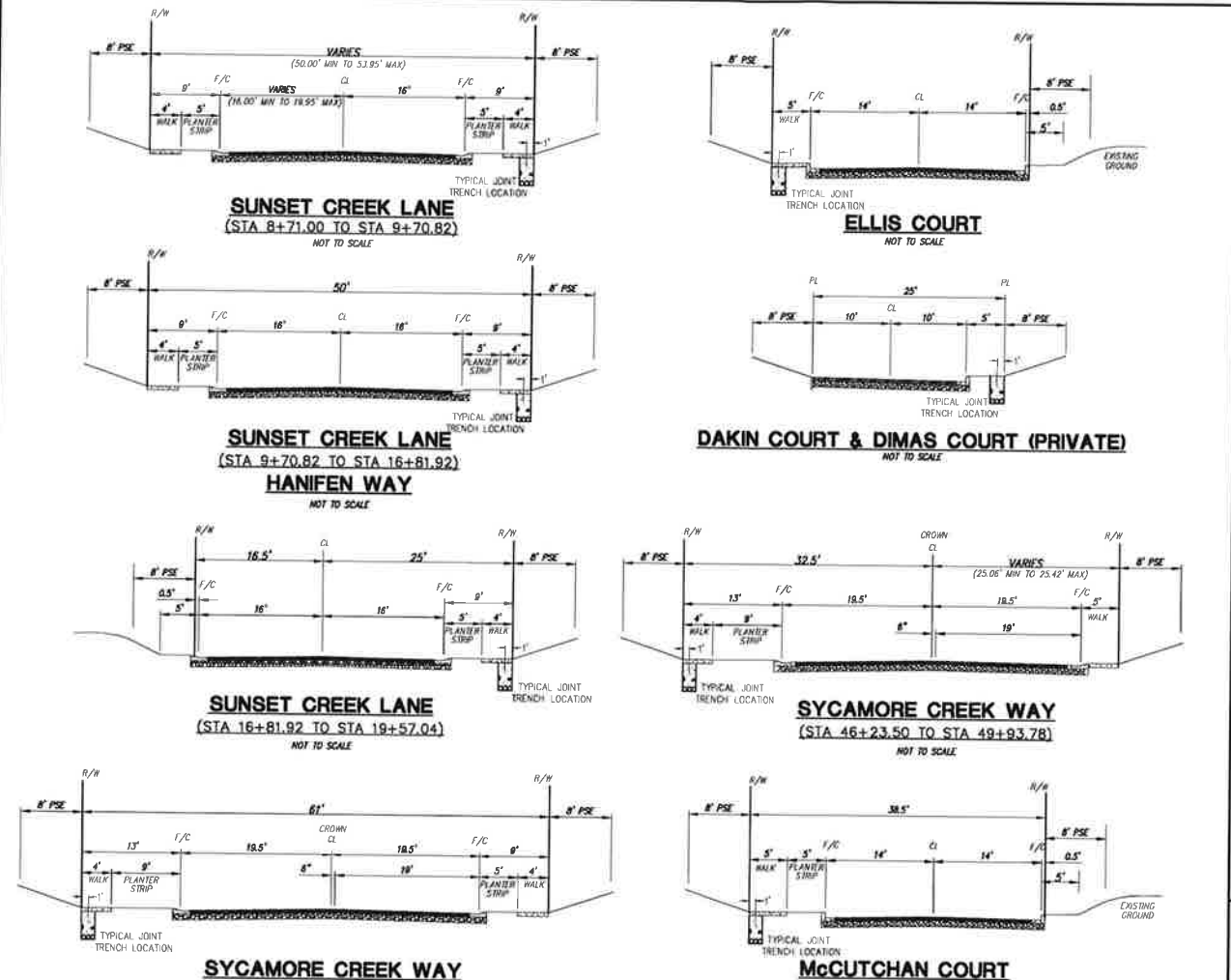
* THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY



MINIMUM BACKFILL REQUIREMENTS
 *JOINT TRENCH CONTRACTOR SHALL COMPLY WITH LOCAL GOVERNING AGENCIES' STANDARDS AND SPECIFICATIONS

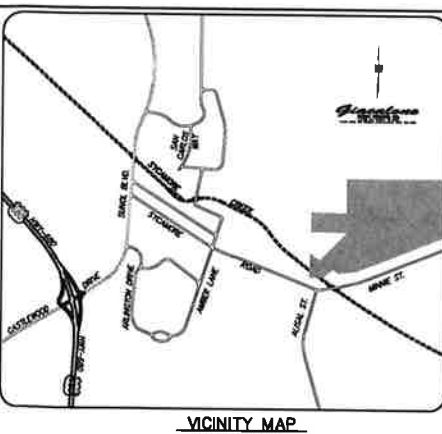
LEGEND

- EXISTING TRENCH AND UTILITIES
- PROPOSED DISTRIBUTION TRENCH
- PROPOSED SERVICE TRENCH
- 13" x 24" P.G.& E. SPLICE BOX
- 17" x 30" P.G.& E. SPLICE BOX
- 24" x 36" P.G.& E. SPLICE BOX
- 30" x 48" P.G.& E. SPLICE BOX (depth as shown)
- 3'0" x 5'0" P.G.& E. SPLICE BOX (depth as shown)
- 4'6" x 8'6" P.G.& E. SPLICE BOX (depth as shown)
- 36" x 60" P.G.& E. SPLICE BOX (depth as shown)
- 3'0" x 5'0" x 4'6" SUBSURFACE TRANSFORMER ENCLOSURE
- PADMOUNTED TRANSFORMER
- PADMOUNTED FUSED SWITCH
- GAS TIE-IN HOLE (size as shown)
- EXISTING PRIMARY SPLICE BOX
- EXISTING SECONDARY SPLICE BOX
- JOINT POLE
- TELEPHONE SPLICE BOX (size as shown)
- C.A.T.V. SPLICE BOX (size as shown)
- METER PEDESTAL
- PROPOSED ELECTROLIER
- EXISTING ELECTROLIER
- IRRIGATION CONTROLLER
- FIRE HYDRANT
- U.O.N. UNLESS OTHERWISE NOTED



RECORD DRAWING
 CHANGES NOTED HEREON WERE PREPARED FROM RECORDS OF THE CONTRACTOR AND OF THE ENGINEER AND REPRESENT REVISIONS TO THE APPROVED PLANS MADE BY THE ENGINEER AND/OR CHANGES MADE DURING CONSTRUCTION OF WHICH THE ENGINEER HAS KNOWLEDGE.
 GDSI _____ DATE _____

GENERAL APPROVAL NOTE:
 APPROVAL OF THESE PLANS IS FOR WORK WITHIN THE STREET RIGHT OF WAY AND PUBLIC UTILITY SYSTEMS WITHIN PUBLIC SERVICE EASEMENTS UNLESS OTHERWISE NOTED AS FOLLOWS:
 APPROVAL OF THESE PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF OMISSIONS, ERRORS, OR MISTAKES CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST REQUIRES A MODIFICATION OR A DEPARTURE FROM THE SPECIFICATIONS AND DETAILS OF THE CITY OF PLEASANTON OR THESE PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH SAME IS TO BE MADE.
 APPROVED AS TO DESIGN ONLY BASED UPON INFORMATION SUBMITTED HEREON THIS _____ DAY OF _____, 2002
 PHILLIP A. GRUBSTICK RCE 22489
 CITY ENGINEER EXP. 9-30-2005
 CITY OF PLEASANTON PLEASANTON, CALIFORNIA



REVISIONS

NO.	DATE	DESCRIPTION

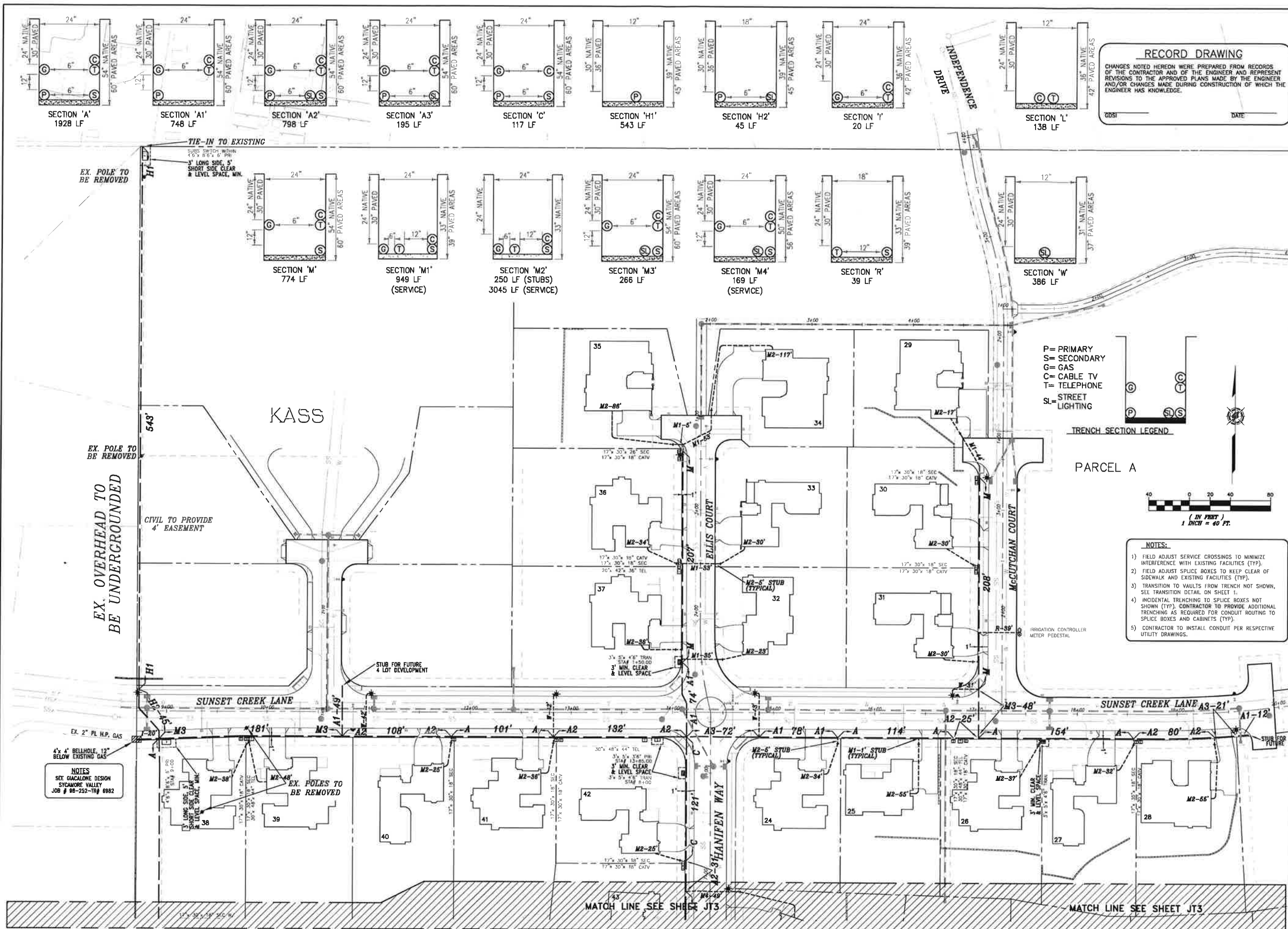
APPROVED _____
 SERVICE ADJUSTMENTS AND (3) NEW SERVICES PER DEVELOPER

Giocalone
 DESIGN SERVICES, INC.
 STREET LIGHTING UTILITY CONSULTING
 2625 CROW COURT, ANTIPOCH, CA 94508
 PHONE (925) 756-0800 • FAX (925) 756-0806

PROJECT MANAGER: T. WHITLOW
 DRAWN BY: T. WHITLOW
 CHECKED BY: _____
 SCALE: NONE

JOINT TRENCH COMPOSITE
 SYCAMORE HEIGHTS-17193
 SUMMERHILL HOMES
 PLEASANTON CALIFORNIA

SHEET
JT1
 OF 3 SHEETS



RECORD DRAWING
 CHANGES NOTED HEREON WERE PREPARED FROM RECORDS OF THE CONTRACTOR AND OF THE ENGINEER AND REPRESENT REVISIONS TO THE APPROVED PLANS MADE BY THE ENGINEER AND/OR CHANGES MADE DURING CONSTRUCTION OF WHICH THE ENGINEER HAS KNOWLEDGE.
 ODSI _____ DATE _____

P = PRIMARY
 S = SECONDARY
 G = GAS
 C = CABLE TV
 T = TELEPHONE
 SL = STREET LIGHTING

TRENCH SECTION LEGEND

PARCEL A



- NOTES:**
- 1) FIELD ADJUST SERVICE CROSSINGS TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYP).
 - 2) FIELD ADJUST SPLICE BOXES TO KEEP CLEAR OF SIDEWALK AND EXISTING FACILITIES (TYP).
 - 3) TRANSITION TO VAULTS FROM TRENCH NOT SHOWN, SEE TRANSITION DETAIL ON SHEET I.
 - 4) INCIDENTAL TRENCHING TO SPLICE BOXES NOT SHOWN (TYP). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPLICE BOXES AND CABINETS (TYP).
 - 5) CONTRACTOR TO INSTALL CONDUIT PER RESPECTIVE UTILITY DRAWINGS.

NOTES
 SEE GUALCONE DESIGN
 SYCAMORE VALLEY
 JOB # 08-252-TRJ 6982

EX. POLE TO BE REMOVED

EX. POLE TO BE REMOVED

EX. OVERHEAD TO BE UNDERGROUNDED

TIE-IN TO EXISTING
 SUBS. SWITCH, WITHIN 6" OF 8" x 8" PIPE
 3" LONG SIDE, 5" SHORT SIDE CLEAR & LEVEL SPACE, MIN.

CIVIL TO PROVIDE 4' EASEMENT

STUB FOR FUTURE 4 LOT DEVELOPMENT

KASS

SUNSET CREEK LANE

HANIFEN WAY

ELLIS COURT

MCCUTCHAN COURT

MATCH LINE SEE SHEET JT3

MATCH LINE SEE SHEET JT3

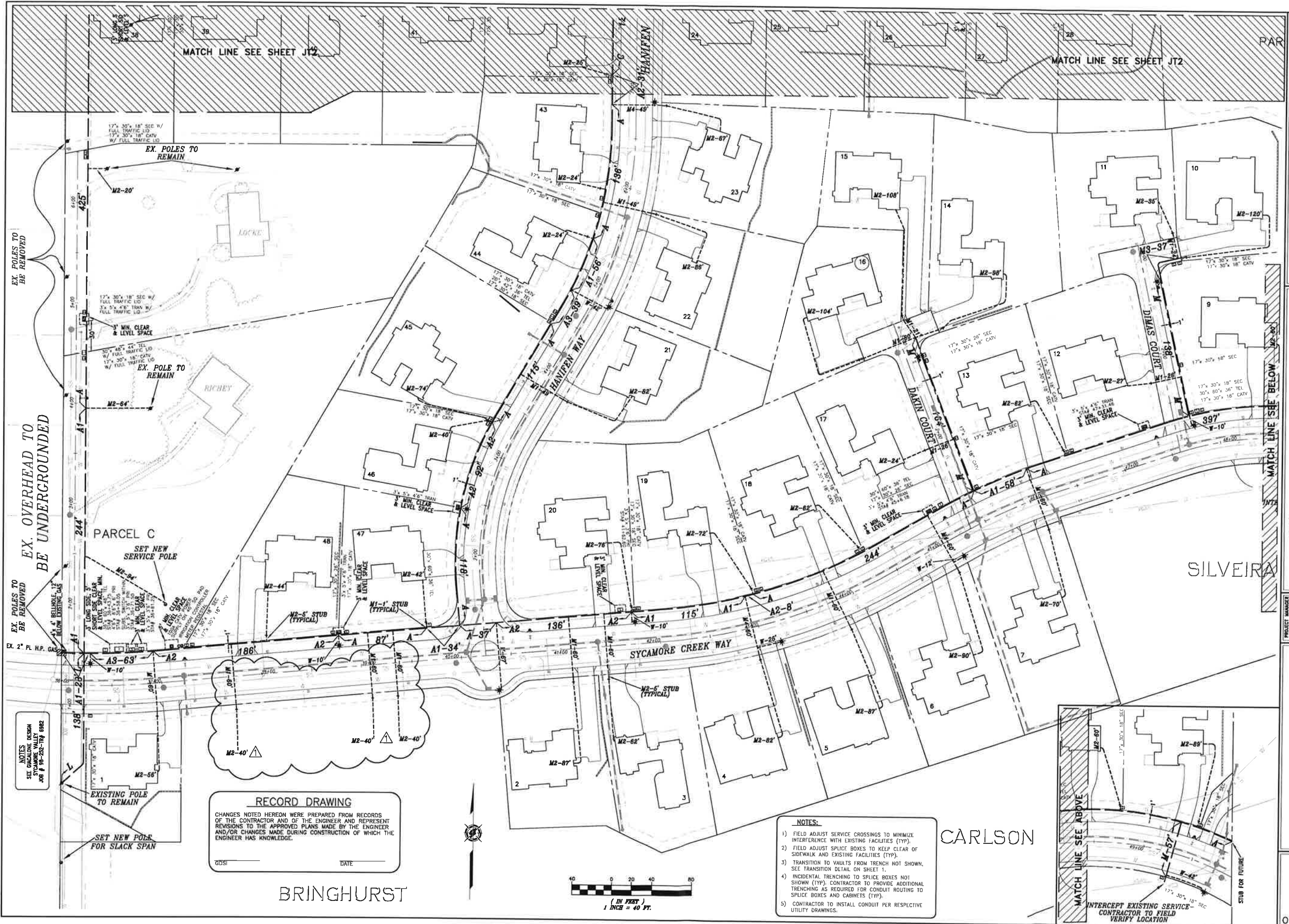
SYMBOL	DATE	DESCRIPTION	APPROVED
		SERVICE ADJUSTMENTS AND (3) NEW SERVICES PER DEVELOPER	

Gualcone
 DESIGN SERVICES, INC.
 TRENCH UTILITY DESIGN • STREET LIGHTING UTILITY CONSULTING
 2625 CROW COURT, ANTIPOCH, CA 94509
 PHONE (925) 756-0600 • FAX (925) 756-0606

PROJECT MANAGER	T. WHITLOW
DRAWN BY	T. WHITLOW
CHECKED BY	JO
SCALE	1" = 40'

JOINT TRENCH COMPOSITE
 SYCAMORE HEIGHTS-T7193
 SUMMERHILL HOMES
 PLEASANTON CALIFORNIA

SHEET
JT2
 OF 3 SHEETS

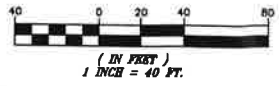


NOTES
SEE GUALALONE DESIGN
SYCAMORE VALLEY
JOB # 99-292-174 6982

RECORD DRAWING
CHANGES NOTED HEREON WERE PREPARED FROM RECORDS OF THE CONTRACTOR AND OF THE ENGINEER AND REPRESENT REVISIONS TO THE APPROVED PLANS MADE BY THE ENGINEER AND/OR CHANGES MADE DURING CONSTRUCTION OF WHICH THE ENGINEER HAS KNOWLEDGE.

GDS: _____ DATE _____

- NOTES:**
- 1) FIELD ADJUST SERVICE CROSSINGS TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYP).
 - 2) FIELD ADJUST SPICE BOXES TO KEEP CLEAR OF SIDEWALK AND EXISTING FACILITIES (TYP).
 - 3) TRANSITION TO VAULTS FROM TRENCH NOT SHOWN, SEE TRANSITION DETAIL ON SHEET 1.
 - 4) INCIDENTAL TRENCHING TO SPICE BOXES NOT SHOWN (TYP). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPICE BOXES AND CABINETS (TYP).
 - 5) CONTRACTOR TO INSTALL CONDUIT PER RESPECTIVE UTILITY DRAWINGS.



SYMBOL	DATE	DESCRIPTION	APPROVED
▲	1/1/04	SERVICE ADJUSTMENTS AND (3) NEW SERVICES PER DEVELOPER	

Gualalone
DESIGN SERVICES, INC.
JOINT TRENCH UTILITY DESIGN • STREET LIGHTING UTILITY CONSULTING
2625 CROW COURT, ANTIPOCH, CA 94509
PHONE (925) 756-0660 • FAX (925) 756-0506

PROJECT MANAGER
T. WHITLOW
DRAWN BY
T. WHITLOW
CHECKED BY
SCALE
1" = 40'

JOINT TRENCH COMPOSITE
SYCAMORE HEIGHTS-T7193
SUMMERHILL HOMES
PLEASANTON CALIFORNIA

SHEET
JT3
OF 3 SHEETS

**SYCAMORE CORNER
PUD-135**

DESIGN GUIDELINES AND STANDARDS

A. Goals

It is the goal of these design guidelines and standards to provide for a high quality single family residential development with the design, location and orientation of each dwelling unit to be in harmony with the physical features of the land and its surroundings.

B. Land Uses

Lots 2-4 shall follow the uses permitted and conditionally permitted in the PUD-LDR District of the North Sycamore Specific Plan (NSSP).

Lots 1 and 5 shall follow the uses permitted and conditionally permitted in the PUD-A District of the NSSP.

C. Site Development Standards

(note: also see Section F for remodels and additions to the existing home on Lot 5)

1. Setbacks

Structures on Lots 2-4 (the lots fronting Sycamore Creek Way) shall follow the required yards and setbacks of the R-1-20,000 zoning district.

Lots 1 and 5: All structures on Lots 1 and 5 shall be located within the defined building envelope. Please see Exhibit A for the building envelope for each lot.

2. Floor Area Ratio (FAR) and Maximum Building Area

Floor Area Ratio:

PUD-LDR lots (Lots 2-4): 30% maximum.

Note: FAR calculations shall include garage area in excess of 600 square feet and all enclosed structures.

Maximum Building Area:

PUD-A lots (Lots 1 and 5):

Lot 1: Maximum building area shall not exceed 5,780 square feet for all enclosed structures, including all garage space.

Lot 5: Maximum building area shall not exceed 8,500 square feet for all enclosed structures, including all garage space.

3. Building Height

All lots: 30 feet maximum for primary residence.

15 feet maximum for detached accessory buildings/structures.

Note: Height shall be measured from the lowest finished grade adjacent to an exterior wall of the structure to the peak of the roof.

D. Design Criteria

1. Site Planning

- a. Homes and other structures should be sited and designed to minimize impacts on neighboring properties.
- b. House entries and porches should be oriented to adjacent streets.
- c. Vehicular access to Lot 1 shall be from the existing driveway off Sycamore Road that will be shared with Lot 5.
- d. A minimum of three visitor's parking spaces shall be provided on each lot. Driveways may be used to meet this requirement.

2. Architecture for Lots 2-4

- a. Homes shall have compatible and comparable designs, details, and color/material themes as the existing homes in the Sycamore Heights development.
- b. Structures should be designed to harmonize with the natural setting and with neighboring homes. All structures shall reflect a high standard of architectural design.
- c. Structures with roof slopes less than 4:12 are discouraged.
- d. No second floor balconies shall be allowed on the sides and rear of the residences.
- e. Design should consider the privacy of neighbors when locating doors, windows, balconies and patios.
- f. Construction must comply with the requirements contained in the Urban Wildland Fire Management Plan for PUD-135.
- g. The visual prominence of garage doors should be minimized. New construction should seek to limit the amount of garage fronts visible from adjacent roads. The following techniques should be used:
 - (1) Place garage doors so that not more than two doors face the fronting road, unless one garage bay is staggered.
 - (2) Arrange landscaping to block views of garages wherever possible.
 - (3) Use multiple garage doors rather than single larger doors.
 - (4) Unless it is a side-entry garage, garage doors should be set back from the front of the home and when multiple garage doors are used, those portions of the garage frontage should be staggered.

3. Architecture for Lots 1 and 5

- a. Architectural styles suitable to the existing semi-rural character are encouraged. The generally informal character of the neighborhood's structures should be reinforced. Informal architectural styles reflective of California's heritage such as ranch-style homes are strongly encouraged while more formal styles reflecting Neo-Colonial, European Estate, or similar architecture should not be used.
- b. Entries should be proportionate to the scale and character of the home; formal entries exceeding one and a half stories are strongly discouraged.
- c. Structures should be designed to harmonize with the natural setting and with neighboring homes. All structures shall reflect a high standard of architectural design.
- d. Stone and treated woods are strongly encouraged for exterior surfaces. Stucco may be used, provided that it is complementary to the home design and it is a muted earth tone color. Limestone, coolstone and similar materials are prohibited.
- e. If a two-story home is proposed, the second floor shall not exceed 40% of the first-floor area and the second floor shall either have walls that are set back from the first-floor walls or the second floor shall be integrated into the roof of the house with dormers used for windows or to provide adequate head clearance.
- f. Structures with roof slopes less than 4:12 are discouraged.
- g. Balconies from upper levels of single-family residences shall generally be in keeping with the scale and character of the house.
- h. Design should consider the privacy of neighbors when locating doors, windows, balconies and patios.
- i. Construction must comply with the requirements contained in the Urban Wildland Fire Management Plan for PUD-135.
- j. The visual prominence of garage doors should be minimized. New construction should seek to limit the amount of garage fronts visible from adjacent roads. The following techniques should be used:
 - (1) Place garage doors so that not more than two doors face the Sycamore Road.
 - (2) Arrange landscaping to block views of garages wherever possible.
 - (3) Use multiple garage doors rather than single larger doors if garage faces Sycamore Road.
 - (4) Garage doors should be set back from the front of the home and when multiple garage doors are used, those portions of the garage frontage should be staggered.

Design review of new homes is subject to Zoning Administrator review and action per Section 18.20 of the Pleasanton Municipal Code. At the discretion of the Zoning Administrator, design review may be referred to the Planning Commission for review and action.

4. Grading

Lots 2-4:

- a. Grading for each lot shall be per the grading plan of the Final Subdivision Map 8528.
- b. No additional grading is allowed.
- c. Drainage must be designed and constructed so that water does not drain towards the foundation or into a neighbor's yard.

Lots 1 and 5:

- a. Once the grading for the subdivision has been completed, any additional grading on Lots 1 and 5 shall be limited to the building envelope areas. Minor finish grading¹ outside the building envelope area on Lots 1 and 5 to install the approved landscape plan or comply with the Urban Wildland Fire Management Plan is permitted.
- b. No grading is allowed within the dripline of the existing trees or within the creek setback area, except as may be specifically allowed or approved by the City.
- c. Contour grading techniques shall be used which blends new grades with existing grades. Straight and geometric lines on graded slopes should be avoided.
- d. Exterior finish of retaining walls shall match the exterior finish of the home or shall be wood, stone, brick, or crib block type retaining walls (e.g., Keystone retaining walls). Retaining walls may have a stucco finish only if the house has stucco (and the stucco retaining wall color would match the stucco house color, or be of a suitable alternative color, to minimize visual prominence).
- e. Drainage must be designed and constructed so that water does not drain towards the foundation or into a neighbor's yard.

5. Fences

Lots 2-4:

- a. 6-foot tall fencing is allowed along the rear and side property lines. No fencing is allowed in the front yard setback area.

¹ Minor finish grading is considered that grading usually performed by the landscaper and necessary to complete the approved planting plan and shall not change the existing grades by more than 12 inches.

- b. Fencing on the rear property line shall be solid fencing.
- c. Fencing on the side property lines may be solid wood fencing for privacy purposes.

Lot 1 (please refer to Exhibit A for fence locations):

- a. Front yard fencing shall be a 4-foot tall split-rail fence per *Illustration iii. Recommended Fence Treatment for Parcels Fronting Sycamore Road* of the NSSP (page 36). Please see Exhibit A for its location.
- b. Rear yard fencing consisting of a 6-foot tall open-wire fence shall be allowed along the rear property line (i.e., facing the creek) but outside of the creek setback area.
- c. Side-yard fencing adjacent to Dale Way shall be a combination of a 6-foot tall solid wood fence and a 4-foot split rail fence. The 6-foot tall solid wood fence shall be located a minimum of 2 feet from the eastern edge of pavement of Dale Way. The 4-foot split rail fence may be located along the eastern edge of pavement of Dale Way.
- d. Side-yard fencing along the edge of the building envelope adjacent to the driveway off Sycamore Rd. shall be a 6-foot solid wood fence or a 6-foot open-wire fence. This fence shall be located outside the access and utility easement area.
- e. Pool and pool fencing shall be located within the building envelope area, and pool fencing shall meet Building Code requirements.

Lot 5 (please refer to Exhibit A for fence locations):

- a. 6-foot tall fencing is allowed.
- b. Open-wire style fencing shall be located on the rear and side property lines.
- c. Solid wood or open-wire fencing shall be located on the front property line as shown on Exhibit A. No fence shall be located within the creek setback area.

6. Landscaping:

- a. Landscaping plans shall be submitted for review with the design review application for each custom home
- b. Landscaping for Lots 2-4 shall be similar in design and character with the existing landscaping in the Sycamore Height development.
- c. Landscaping for Lots 1 and 5 shall be informal to reflect the existing rural character of the neighborhood.
- d. Two, 24-inch box sized coast live oak street trees shall be installed on Lots 2-4 (two trees per lot) prior to occupancy of the home. Street trees shall be planted in the planter area between the sidewalk and the street. Root control barriers and 4-inch perforated pipe shall be provided for the street trees. Root control barriers shall be located

along the edge of the pavement and shall extend 5-feet to either side of the tree trunk.

- e. The landscape plan for all lots shall conform to the City's Water Efficient Landscape Ordinance (WELO) and Bay Area Basics Requirements.
- f. The plants used in the individual landscaping for each lot shall include a mix of both native and non-native plants that complement the setting.
- g. Pool and pool fencing shall be located within the building envelope area on Lots 1 and 5, and pool fencing shall meet Building Code requirements.

7. Lighting:

All exterior lighting, including landscape lighting, shall be directed downward and designed or shielded so as to not shine onto neighboring properties or streets. Exterior light fixtures on the house should be complimentary to the house style.

8. Driveway Material

Pervious material, such as pavers, decomposed granite, etc., is encouraged to be used for all driveways.

E. Accessory Dwelling Units (ADU)

- 1. ADUs on Lots 2-4 shall comply with all applicable regulations in Chapter 18.106 of the Pleasanton Municipal Code.
- 2. ADUs on Lots 1 and 5 shall comply with all applicable regulations in Chapter 18.106 of the Pleasanton Municipal Code except ADUs shall be located within the building envelope area.

F. Remodel of and/or additions to the existing residence on Lot 5 shall conform to the following:

- 1. A portion of the existing residence is located outside of the building envelope. Repair and/or remodel of the portion of the existing residence located outside of the building envelope is allowed. No enlargement of this portion of the building or further encroachment into the area outside of the envelope is permitted. Prior approval from the City shall be obtained prior to any construction.
- 2. Any addition to the existing residence must be located within the building envelope area, conform to the maximum building area allowed for the site, and meet all other development standards for the R-1-40,000 District of the Pleasanton Municipal Code.
- 3. No construction is allowed within the creek setback area. Please see the Creek Maintenance Agreement.

4. Additions/remodels greater than 10 ft. in height are subject to Administrative Design Review per Chapter 18.20 of the Pleasanton Municipal Code.

[END]

Street-View Visual Simulation for Lot 1



Figure 1: View from Alisal Street near Minnie Drive, Looking North

Street-View Visual Simulation for Lot 1



Figure 2: View from Sycamore Road, directly in front of Lot 1



Figure 3: View from Sycamore Road, near Dale Way

Total FAR Allowed 5,800 sf

Level 1: 3,724 sf

Level 2: 1,476 sf

Total house sf = 5,200 (includes 3 car garage)

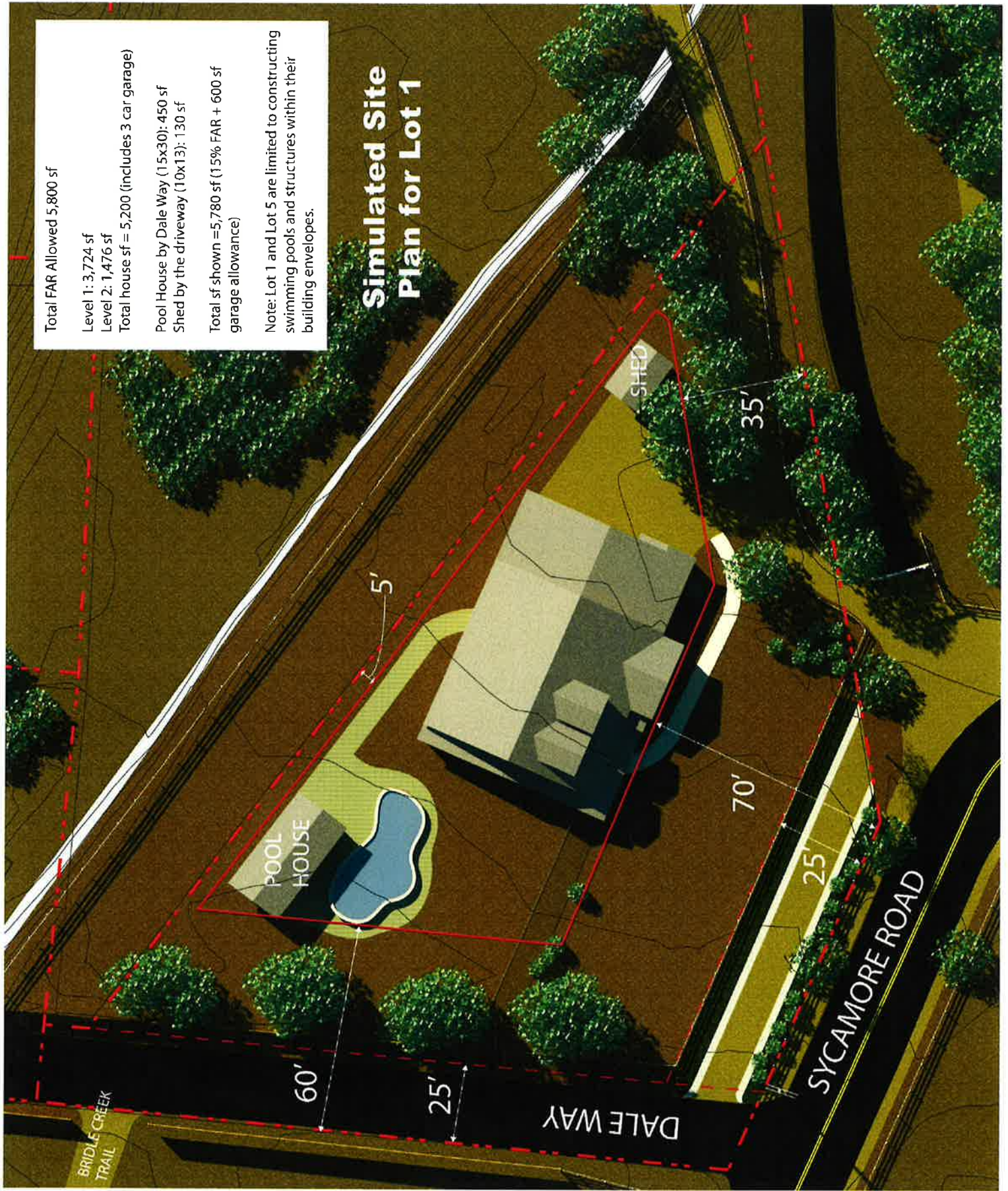
Pool House by Dale Way (15x30): 450 sf

Shed by the driveway (10x13): 130 sf

Total sf shown = 5,780 sf (15% FAR + 600 sf garage allowance)

Note: Lot 1 and Lot 5 are limited to constructing swimming pools and structures within their building envelopes.

Simulated Site Plan for Lot 1



Proposed PUD-135 Lot 1 Building Restrictions with Comparisons

Please see attached chart for details.

In response to the Planning Commissioners' feedback, we propose the following building restrictions for Lot 1 to minimize the visual impact of the structures that will be built:

1. Require a 70 ft front setback.

Neighboring Bridle Creek Homes have an average front setback of 43 ft. Agricultural lots normally have a 30 ft front setback.

2. Require a 60 ft side setback on the west side and 35 ft side setback on the east side, total of 95 ft combined.

Neighboring Bridle Creek Homes have a minimum side setback of **5 ft on one side, total of 50 ft combined**. The owner of Lot 1 may not build anything, including a pool, gazebo, etc. outside of the building envelope. With the creek at the rear of the lot, the owner really only has the side yard to use. Therefore, 60 ft would be the maximum reasonable side setback on the Dale Way side of the property.

3. Require that the second story of the home on Lot 1 be 40% of the sf of the first story.

Neighboring Bridle Creek homes have ***no similar second story restriction***.

4. Reduce FAR for Lot 1 to 15% or 5,180 sf + 600 sf garage.

Bridle Creek homes have a maximum **20% FAR + 600 sf garage**. At 0.79 ac, Lot 1 is 16% smaller than the average area of the Bridle Creek lots on Sycamore Rd, so one could argue that proportionately, Lot 1 should receive 16% less buildable square feet, but ***Lot 1 is receiving 37% less buildable square feet than its neighboring Bridle Creek homes***.

We understand that some may have a preference for a smaller home on Lot 1. However, it is important to note that the Bridle Creek homes along Sycamore Rd also have a wide trail encumbering their properties, so the trail on Dale Way should not be used to justify a reduction in FAR for Lot 1.

To the casual observer, the creek will appear to be part of Lot 1. Per Staff's request, Lot 5 retains ownership of the creek but there will be an open wire fence dividing Lot 1 and Lot 5. So to those walking or driving by, it will feel open and the creek will appear as part of Lot 1 and thus it will seem larger than it actually is. The combined acreage for Lot 1 and Lot 5 is 2.27 acres, well above the two acre minimum for two agricultural lots.

We have researched all related permits to provide the Planning Commission with an "apples to apples" comparison with the neighboring Bridle Creek homes. Please see the chart on the following page for details.

Amenity Contribution, PUD-135, Sycamore Corner 5-lot Subdivision

March 12, 2020

We are pleased to propose a \$100,000 amenity contribution to the City of Pleasanton in connection with PUD-135, Sycamore Corner 5-lot Subdivision. The donation would be made when the final map for five lots is ready to file, unless other timing is agreed.

Sincerely,

The Bringhurst Family