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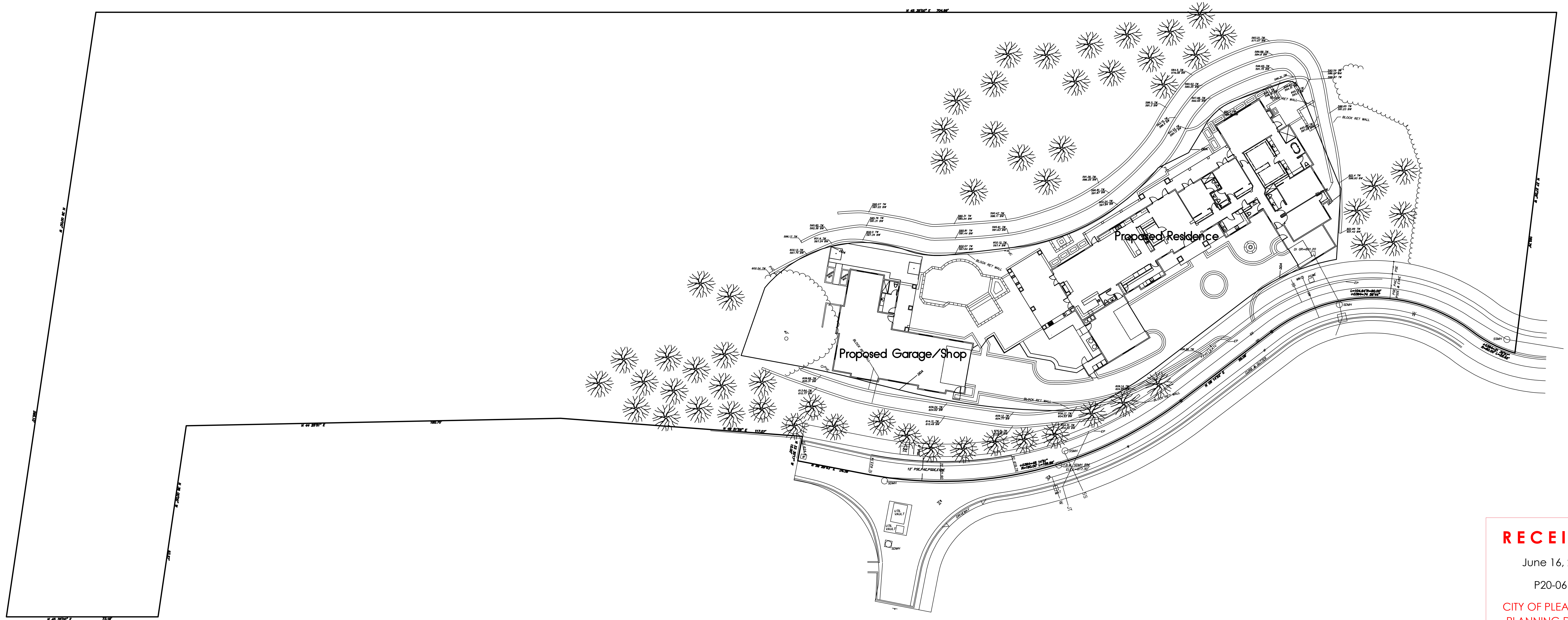
Matheson Residence

6 Winding Oaks Drive
 Pleasanton, California

Notes:
 See sheet 2 for more information.
 Irrigation system shall be designed to prevent saturation of soil adjacent to building.
 See Landscape drawings for landscape features, pools, fountains, spas, hardscape and garden walls.
 See Civil drawings for existing and proposed grading, utilities, trees, additional structures, proposed drainage, and erosion control measures.

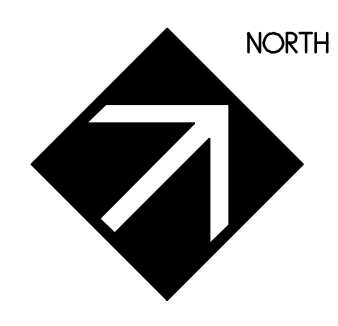
ZONING:	P.U.D.
LOT AREA:	143,531.8 SQ. FT.
D.D.A.:	2,772 SQ. FT.
ALLOWABLE F.A.R.:	43%
RESIDENCE FLOOR AREA:	4875 SQ. FT.
RESIDENCE GARAGE AREA:	883 SQ. FT.
AREA COUNTED TOWARD F.A.R.:	83 SQ. FT.
COVERED PORCH AREA:	326 SQ. FT.
AREA COUNTED TOWARD F.A.R.:	593 SQ. FT.
POOL BATH AREA:	138 SQ. FT.
DETACHED GARAGE/SHOP AREA:	2158 SQ. FT.
AREA COUNTED TOWARD F.A.R.:	2158 SQ. FT.
DETACHED GARAGE PORCH AREA:	184 SQ. FT.
AREA COUNTED TOWARD F.A.R.:	184 SQ. FT.
TOTAL F.A.R. AREA:	831 SQ. FT.
MAX. ALLOWABLE AREA:	9362 SQ. FT.

 DEVELOPER INSTALLED MITIGATION TREE



RECEIVED
 June 16, 2020
 P20-0618
 CITY OF PLEASANTON
 PLANNING DIVISION
EXHIBIT B

Rev	Description	Date



Full Site Plan

Job Number: 201927 Sheet: 1
 Scale: 1"=20'-0"
 Drawn: Terry
 Checked: Terry
 Date: 4-15-20 Of 10

ZONING:	P.U.D.
LOT AREA:	143,318 SQ. FT.
D.D.A.:	2172 SQ. FT.
ALLOWABLE F.A.R.:	425
RESIDENCE FLOOR AREA:	4875 SQ. FT.
RESIDENCE GARAGE AREA:	853 SQ. FT.
AREA COUNTED TOWARD F.A.R.:	83 SQ. FT.
COVERED PORCH AREA:	205 SQ. FT.
AREA COUNTED TOWARD F.A.R.:	593 SQ. FT.
POOL BATH AREA:	138 SQ. FT.
DETACHED GARAGE/SHOP AREA:	2158 SQ. FT.
AREA COUNTED TOWARD F.A.R.:	2158 SQ. FT.
DETACHED GARAGE PORCH AREA:	84 SQ. FT.
AREA COUNTED TOWARD F.A.R.:	84 SQ. FT.
TOTAL F.A.R. AREA:	831 SQ. FT.
MAX. ALLOWABLE AREA:	9362 SQ. FT.

Provide expansion and control joints in all exterior concrete slabs. Spacing of joints shall be per industry standard.

Area drains shall be interconnected and discharged at street or suitable discharge facility.

Prior to construction, the contractor shall employ the soils engineer to test the relative soil density and compaction of the site and verify in writing that the relative soil density and compaction meets or exceeds the requirements specified in the soils report. If the relative soil density and compaction does not meet the specifications stated in the soils report, the contractor shall follow the soils engineer's recommendations for re-compaction.

Irrigation system shall be designed to prevent saturation of soil adjacent to building.

See Landscape drawings for landscape features, pool, fountains, spas, hardscape and garden walls.

See Civil drawings for existing and proposed grading, utilities, trees, additional structures, proposed drainage, and erosion control measures.

This site plan is not a survey. It is provided for building and site work layout only. The contractor shall verify on site all grades, existing improvements, property lines, easements, setbacks, utilities, and structures. Where discrepancies occur, contact the Architect.

Finish grade shall provide positive drainage away from building.

Pad grade under building shall have positive slope to a minimum of one area drain which shall be piped to street or suitable discharge area.

All roof drainage taken through suitable discharge area.

Where discrepancies between soils report and Architect's drawings occur, contact Architect immediately.

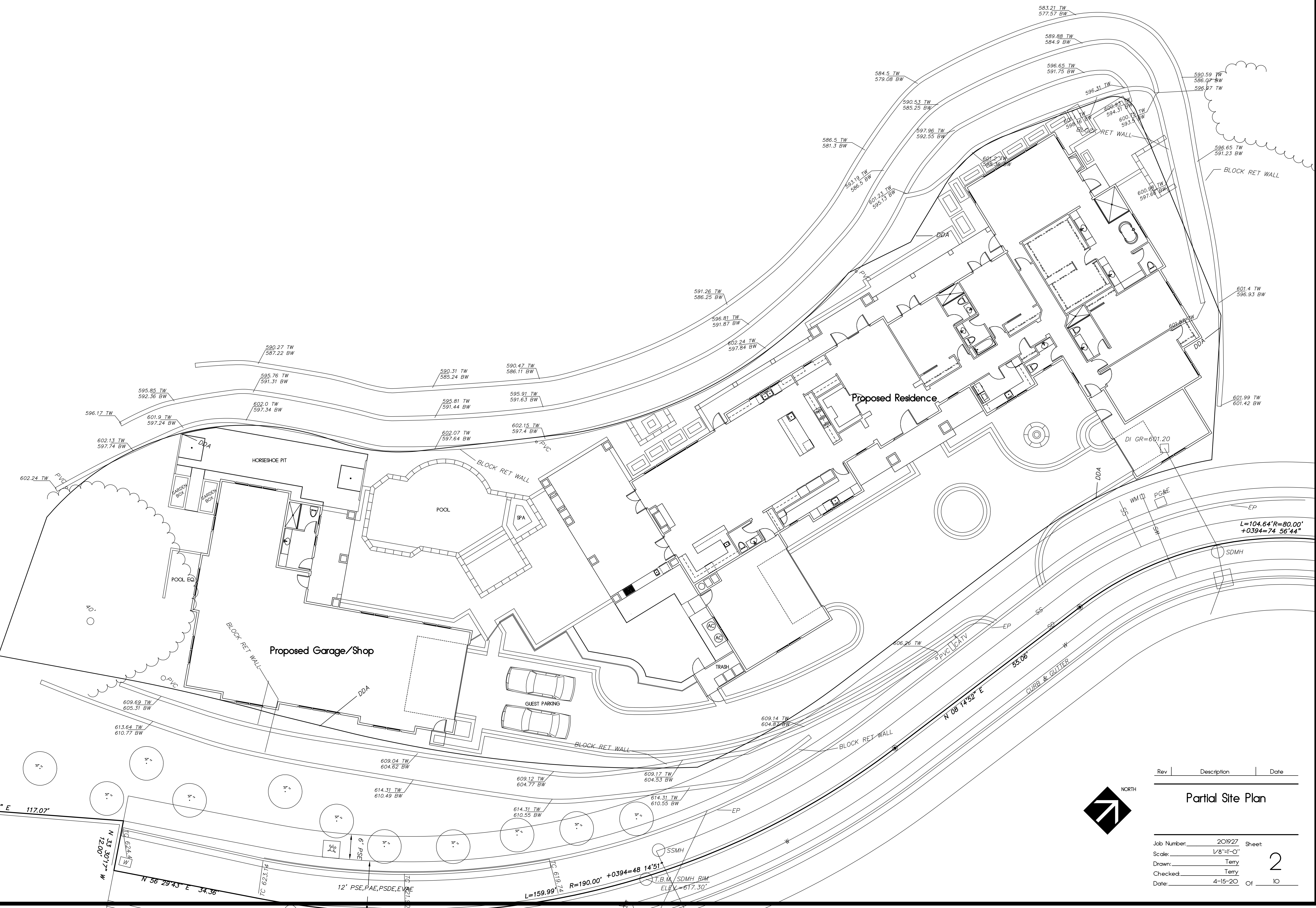
A perforated drain set in a gravel trench shall be installed around the entire perimeter of the foundation. The drain shall discharge into the street or approved suitable drainage facility. See soils report for any specific requirements.

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Matheson Residence
 6 Winding Oaks Drive
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Notes:

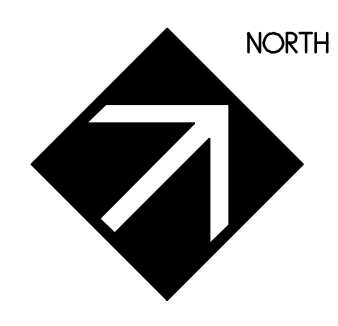
N 45 35'00" E 704.99'



Rev	Description	Date

Partial Site Plan

Job Number: 201927 Sheet: 2
 Scale: 1/8"=1'-0"
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Water closets shall be in a clear space 30" minimum wide and have a minimum 24" clear space in front.

All exterior walls shall be 2X6 studs @ 16" o.c. minimum, or otherwise noted.

All interior walls shall be 2X4 studs @ 16" o.c. minimum, or otherwise noted.

Thresholds at doorways shall not exceed 0.75 inch in height for sliding doors serving dwelling units or 0.5 inch for other doors.

Threshold height shall be limited to 7.75 inches (residential) where the door is an exterior door that is not a component of the required means of egress; the door, other than an exterior storm or screen door does not swing over the landing or step.

Provide 5/8" type "X" gyp. bd. on the garage side of the wall extending to the roof sheathing per CBC.

Sliding doors and openable windows shall comply with 2019 CBC.

Shearwalls shall extend to the roof diaphragm.

Walls with an unbraced height in excess of 10 feet shall be 2X6 studs @ 16" o.c.

Wall coverings at shower and tub/shower shall be cement plaster, tile, or approved equal to 72" above drain inlet. Materials other than structural shall be moisture resistant.

Any cap or cover installed on the fireplace chimney shall comply with the ICC research report and manufacturer's listing.

Furnace ducts penetrating the garage/house occupancy separation shall be a minimum 26 gauge galvanized steel and have no openings into the garage.

Maximum difference between the largest and smallest riser shall be 3/8".

All angles other than 90 degrees shall be 45 degrees (UNCL).

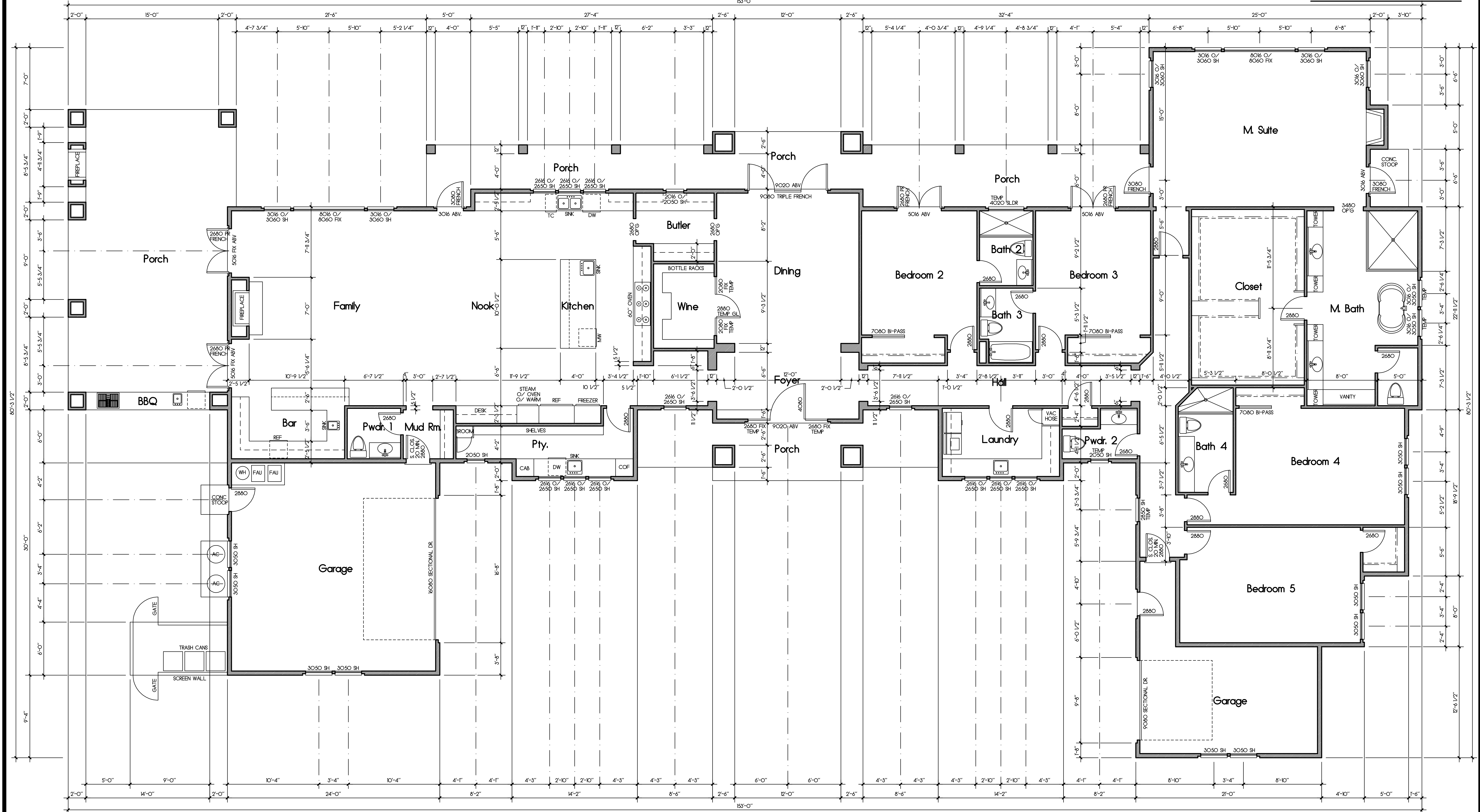
Provide outside combustion air openings directly into the firebox of fireplace to comply with CBC regulations 2-5352 (D) 5. Fireplace hearth shall be of non-combustible material. Fireplaces shall be provided with tight fitting glass doors. Hearth extensions shall conform to the conditions of the listing and the manufacturer's installation instructions. Fireplace and chimney shall be installed in accordance with their listing and manufacturer's instructions as specified in the CBC.

Light panels in exterior doors, or within a 24" arc of a swinging door shall be laminated security glass which is a minimum of 1/4" polycarbonate security sheets or their equivalent.

Restops shall be provided around the chimney in openings at the ceiling and floor levels with non-combustible material per 2019 CBC.

See cover sheet for schedules and general notes.

Notes:



Rev	Description	Date

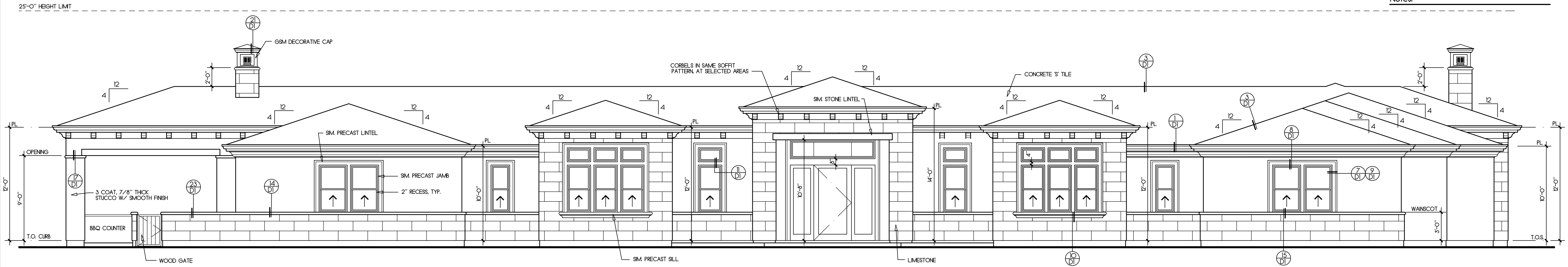
Residence Floor Plan
 LIVING AREA: 4675 SQUARE FEET
 GARAGE AREA: 863 SQUARE FEET
 COVERED PORCH AREA: 1215 SQUARE FEET

Job Number: 201927 Sheet: **3**
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 4-15-20 Of 10

Matheson Residence

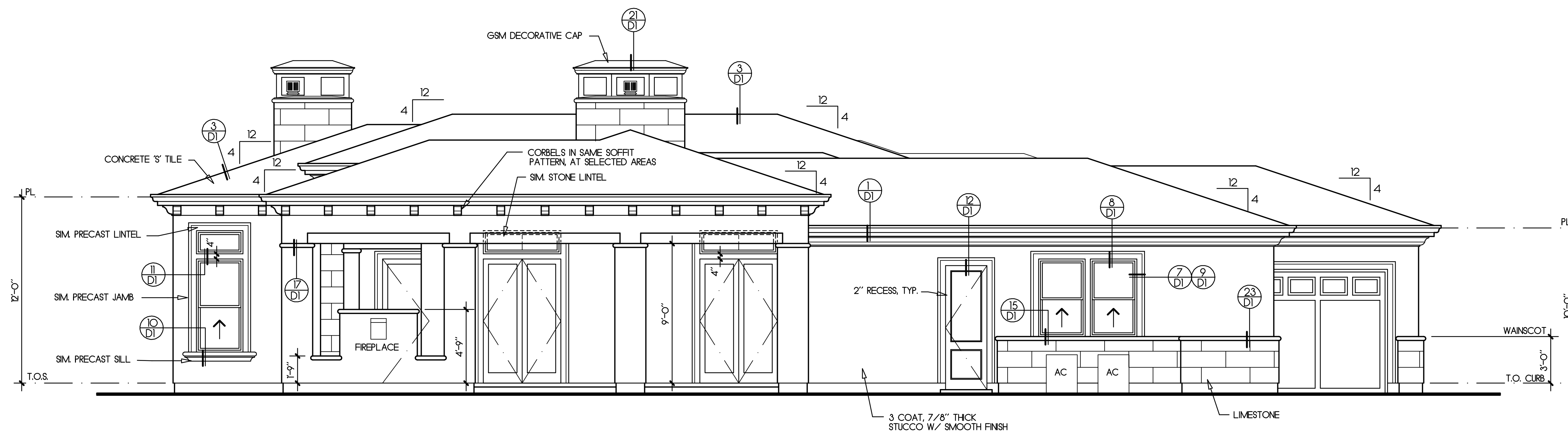
6 Winding Oaks Drive
 Pleasanton, California

Notes:

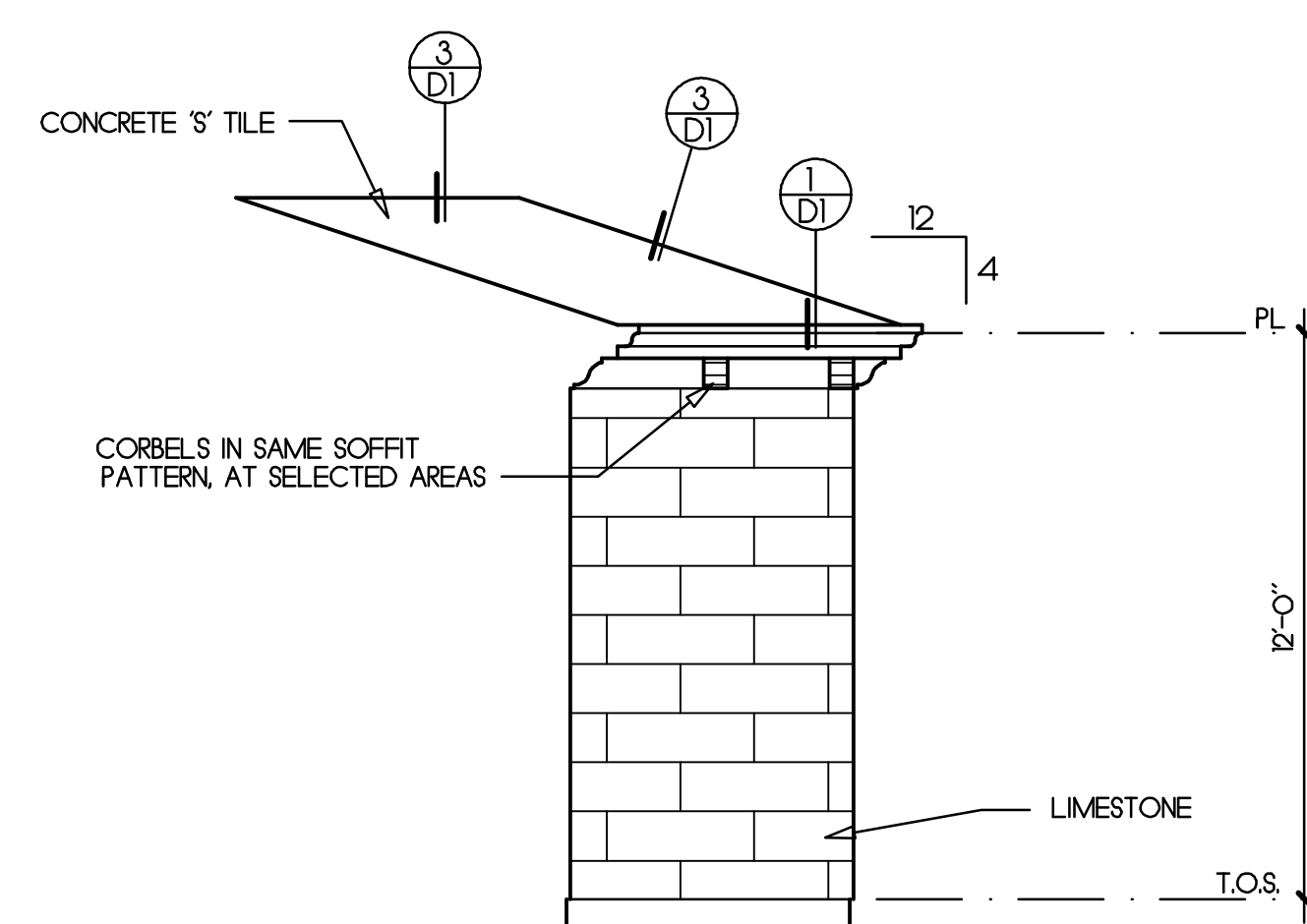


Front Elevation
(East)

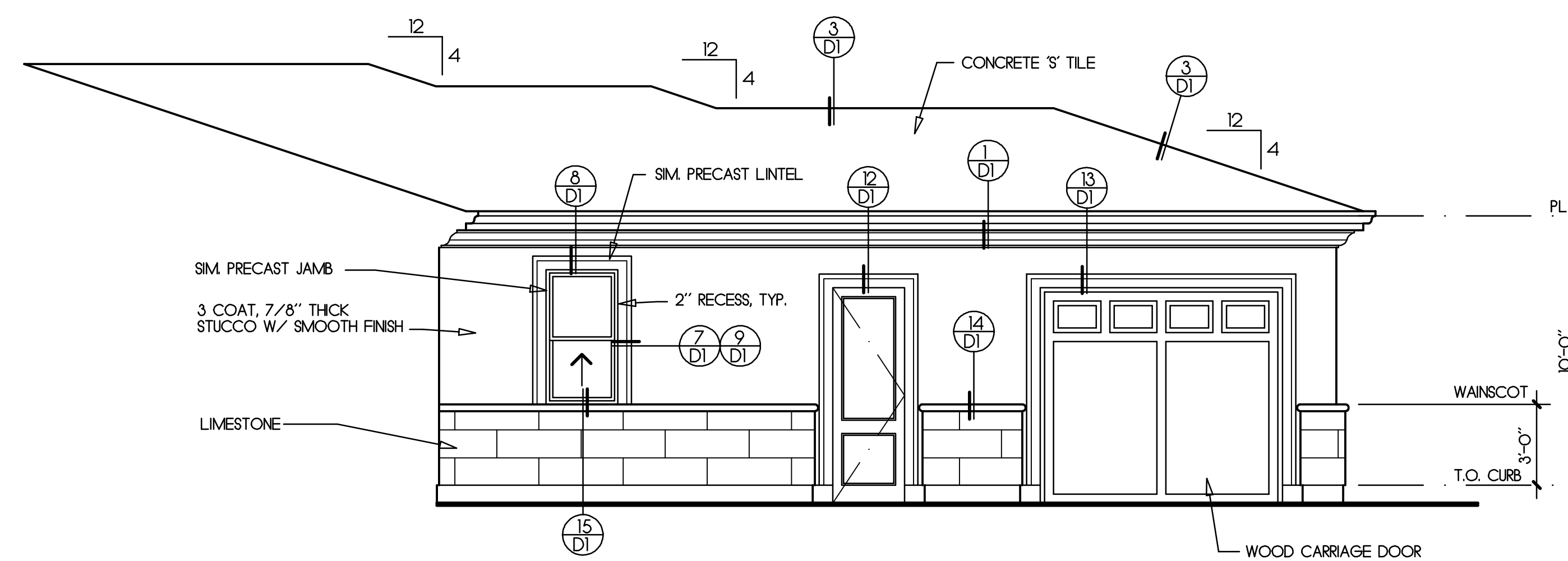
All windows at first floor shall be mounted at 8'-0" above top of slab (U.O.N.).
 All windows at second floor shall be mounted at
 Provide two layers grade "D" paper at all exterior walls with stucco over wood based sheathing.
 A weep screed shall be provided at the foundation plate on all exterior studwalls covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building, per 2019 CBC.
 SF: Subfloor
 Subfr: Subfloor
 T.O.S.: Top of Slab
 T.O.S.W.: Top of stem wall
 T.O. Fig.: Top of Footing
 Fireplace shall be equipped with GSM terminal cap with spark arrester.
 Egress windows shall comply with 2019 CBC with a minimum net clear operable area of 5.7 sq. ft., a minimum net clear operable height of 24 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Left Side Elevation
(South)



Partial Laundry Left Side Elevation
(South)



Partial Garage Left Side Elevation
(South)

Rev	Description	Date

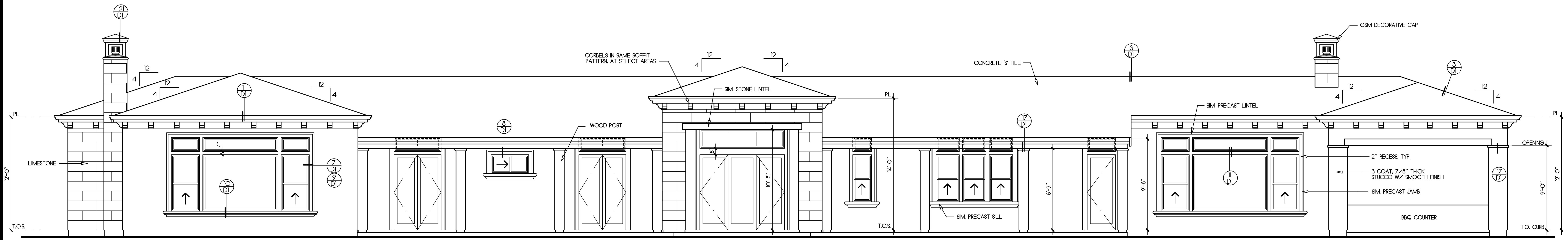
Residence
Exterior Elevations
 Mediterranean

Job Number: 201927 Sheet: 5
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 4-15-20 Of 10

Matheson Residence

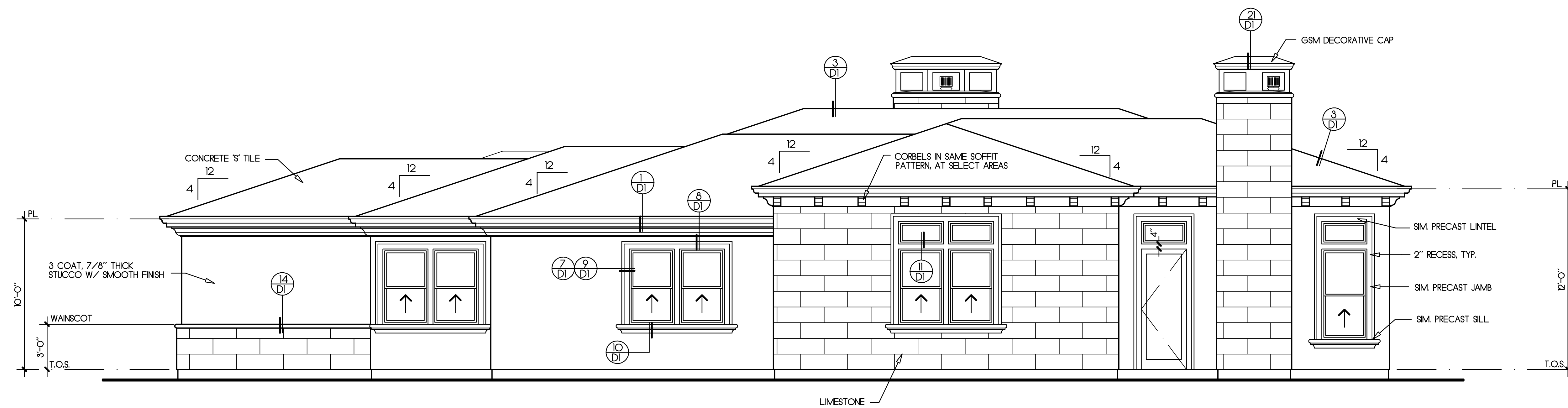
6 Winding Oaks Drive
 Pleasanton, California

Notes:

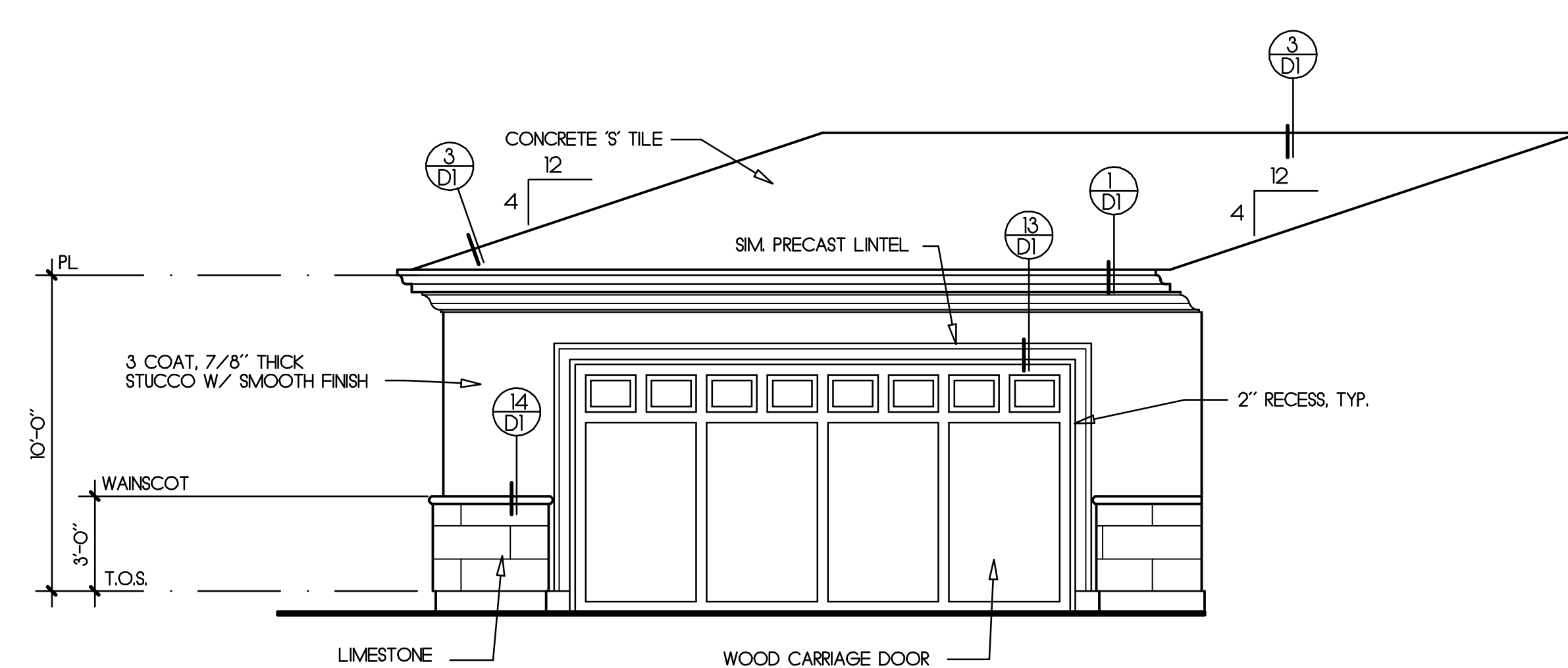


Rear Elevation
(West)

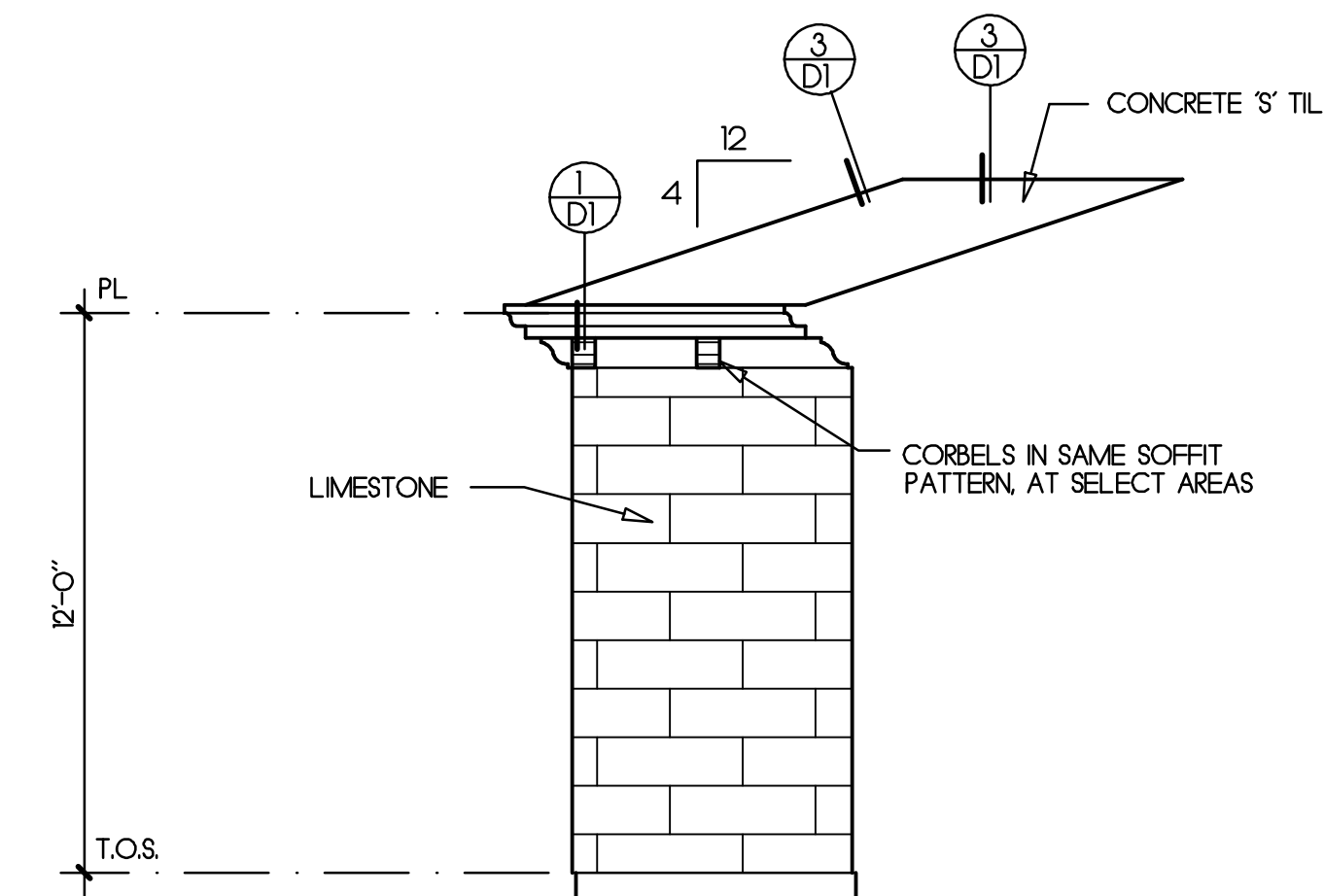
All windows at first floor shall be mounted at 8'-0" above top of slab (I.O.N.).
 All windows at second floor shall be mounted at
 Provide two layers grade "D" paper at all exterior walls with stucco over wood based sheathing.
 A weep screed shall be provided at the foundation plate on all exterior studs/walls covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building, per 2019 CBC.
 S.F. : Subfloor
 Subfr : Subfloor
 T.O.S. : Top of Slab
 T.O.S.W. : Top of stem wall
 T.O. Fig. : Top of Footing
 Fireplace shall be equipped with GSM terminal cap with spark arrester.
 Egress windows shall comply with 2019 CBC with a minimum net clear openable area of 5.7 sq. ft., a minimum net clear openable height of 24 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



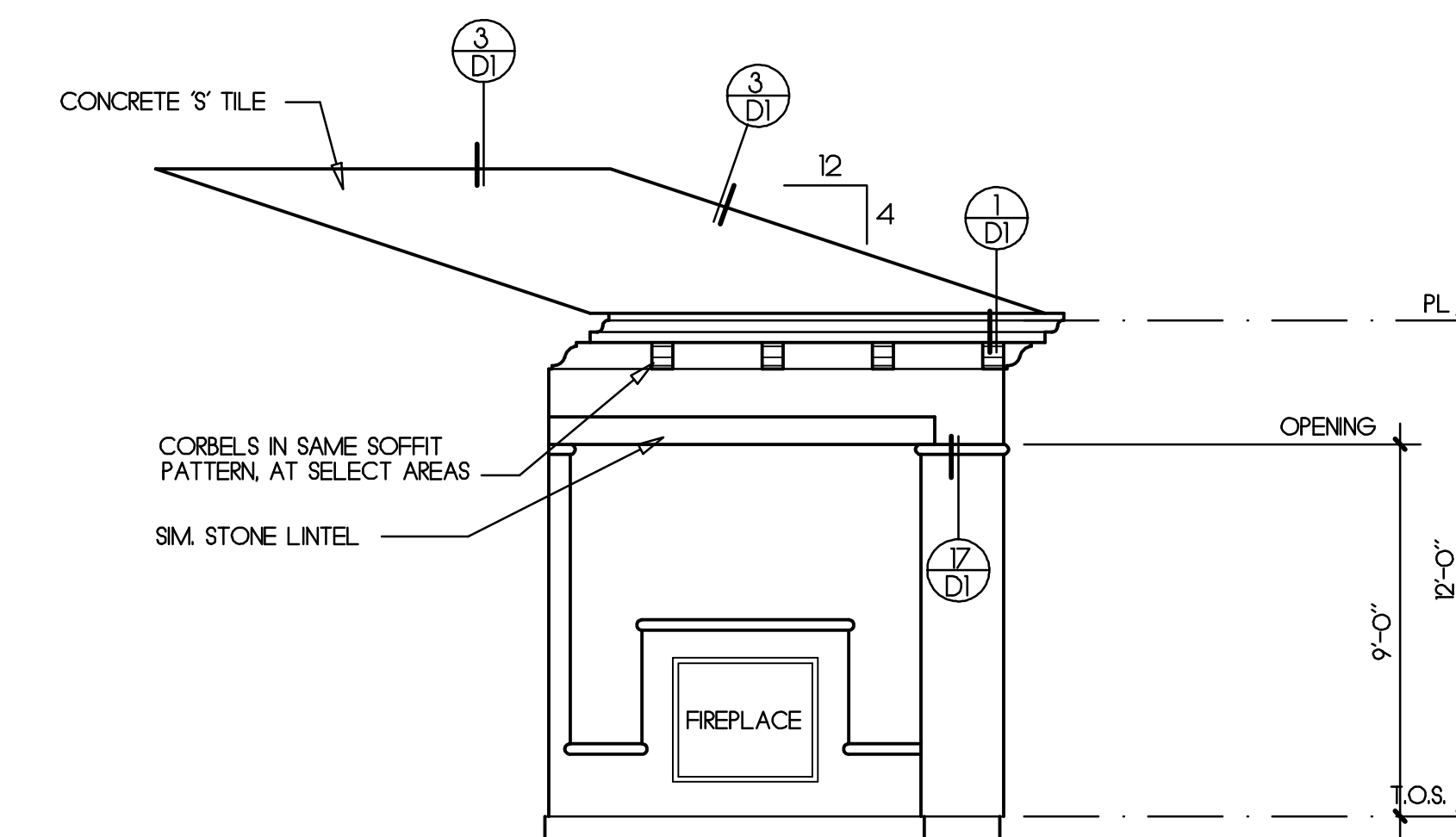
Right Side Elevation
(North)



Partial Right Side Garage Elevation
(North)



Partial Right Side Pantry Elevation
(North)



Partial Right Side Porch Elevation
(North)

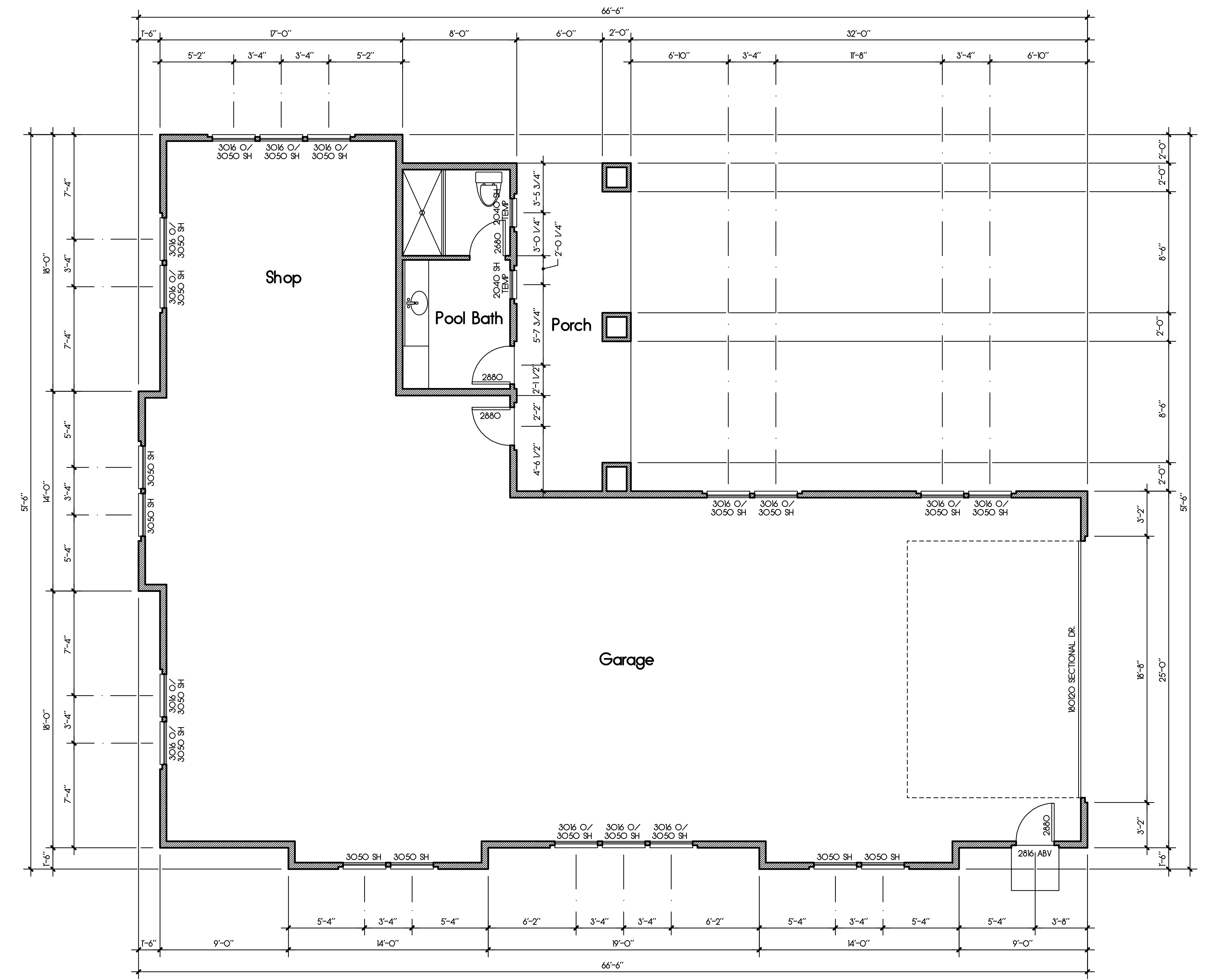
Rev	Description	Date

Residence
Exterior Elevations
 Mediterranean

Job Number: 201927 Sheet: 6
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 4-15-20 Of 10

Matheson Residence
 6 Winding Oaks Drive
 Pleasanton, California

Notes:
 See sheet 3 for typical floor plan notes.



Matheson Residence
 6 Winding Oaks Drive
 Pleasanton, California

Notes:

Roofing shall be Concrete S Tile over 3/4" felt over 1/2" OSB sheathing w/ radiant barrier noted per structural engineer's specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

All framing shall be Douglas Fir No. 2 or better (U.O.N.)

Concrete Tiles shall be fastened per 2019 CBC.

Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper, or other approved flexible flashing material and shall be formed to follow the contours of the tile and allow seating of the tiles as per 2019 CBC.

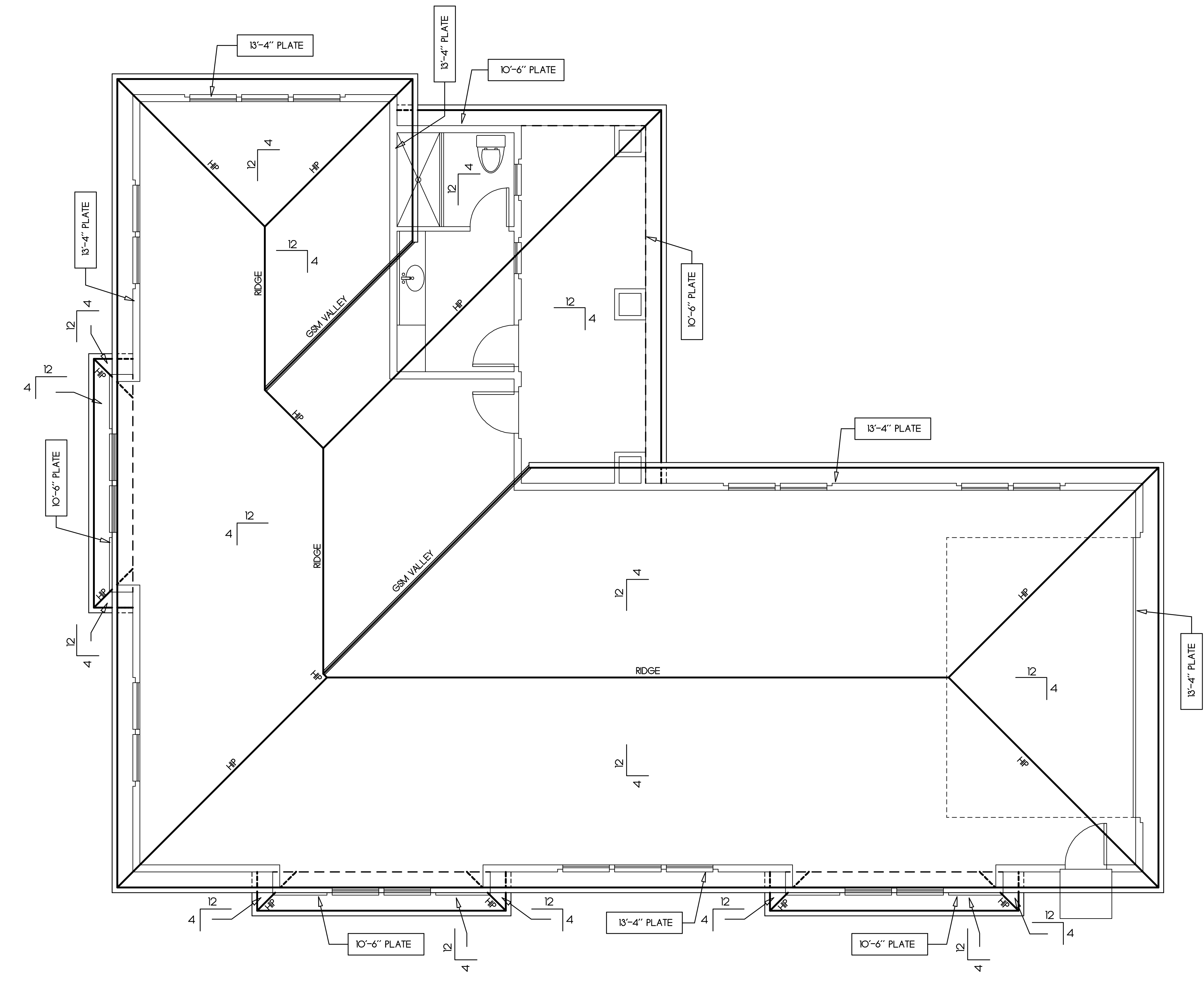
Plate heights are designated off adjacent subfloor (U.O.N.).

All rakes shall be 6" from wall framing (U.O.N.).

All eaves shall be 12" from wall framing (U.O.N.).

All beams shall be braced at each end to prevent rotation.

ATTIC VENTILATION :	XXXX / 150 =	XXXXX	sq. ft.
Total area required to be vented :		XXXXX	sq. ft.
XXX Rafter vent		XXXXX	sq. ft.
XXX Gable end vent		XXXXX	sq. ft.
XXX O'Hagh vent		XXXXX	sq. ft.
Total Area of ventilation :		XXXXX	sq. ft.
50% LOW REQUIREMENT:		XXX > XXX	OKAY
50% HIGH REQUIREMENT:		XXX > XXX	OKAY



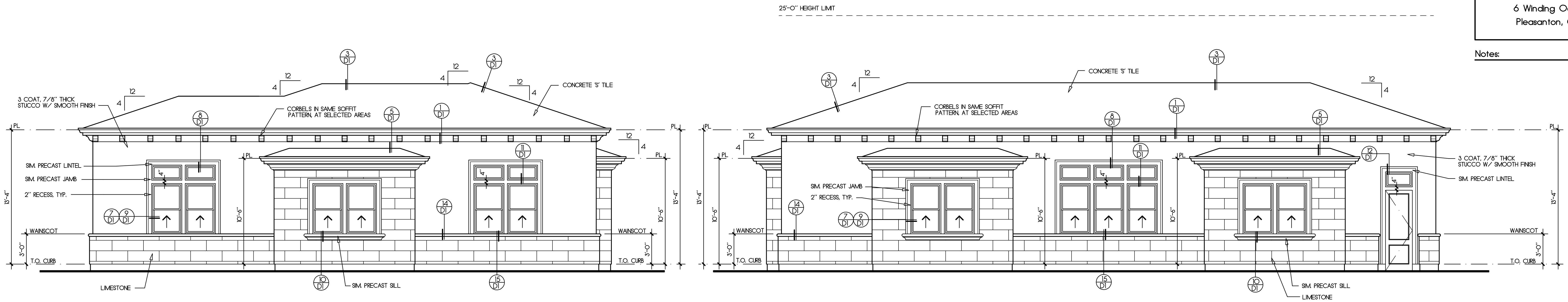
Rev	Description	Date
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Garage/Shop Roof Plan

Matheson Residence

6 Winding Oaks Drive
 Pleasanton, California

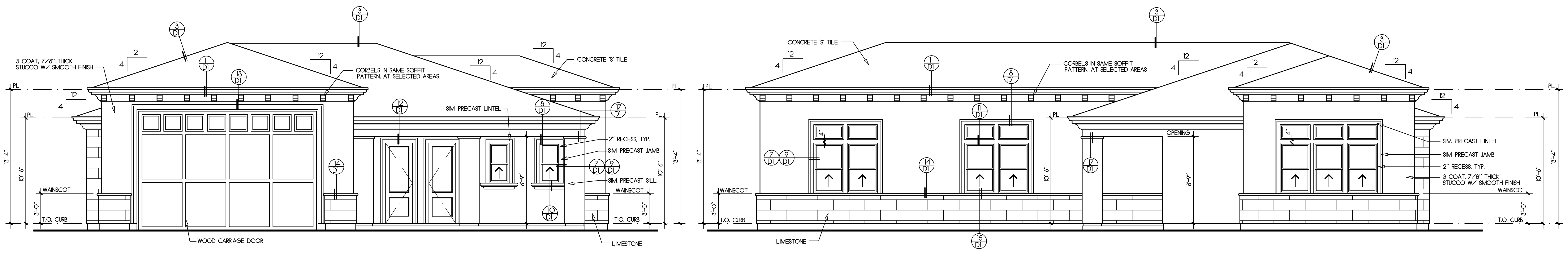
Notes:



Left Side Elevation
 (Southwest)

Front Elevation
 (Southeast)

- All windows at first floor shall be mounted at 8'-0" above top of curb (I.O.N.).
- All windows at second floor shall be mounted at 10'-0" above top of curb (I.O.N.).
- Provide two layers grade "D" paper at all exterior walls with stucco over wood based sheathing.
- A weep screed shall be provided at the foundation plate on all exterior studs/walls covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building, per 2019 CBC.
- S.F. : Subfloor
- Subfr : Subfloor
- T.O.S. : Top of Slab
- T.O.S.W. : Top of stem wall
- T.O. Fig. : Top of Footing
- Fireplace shall be equipped with GSM terminal cap with spark arrester.
- Egress windows shall comply with 2019 CBC with a minimum net clear operable area of 5.7 sq. ft., a minimum net clear operable height of 24 inches, a minimum net clear operable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Right Side Elevation
 (Northeast)

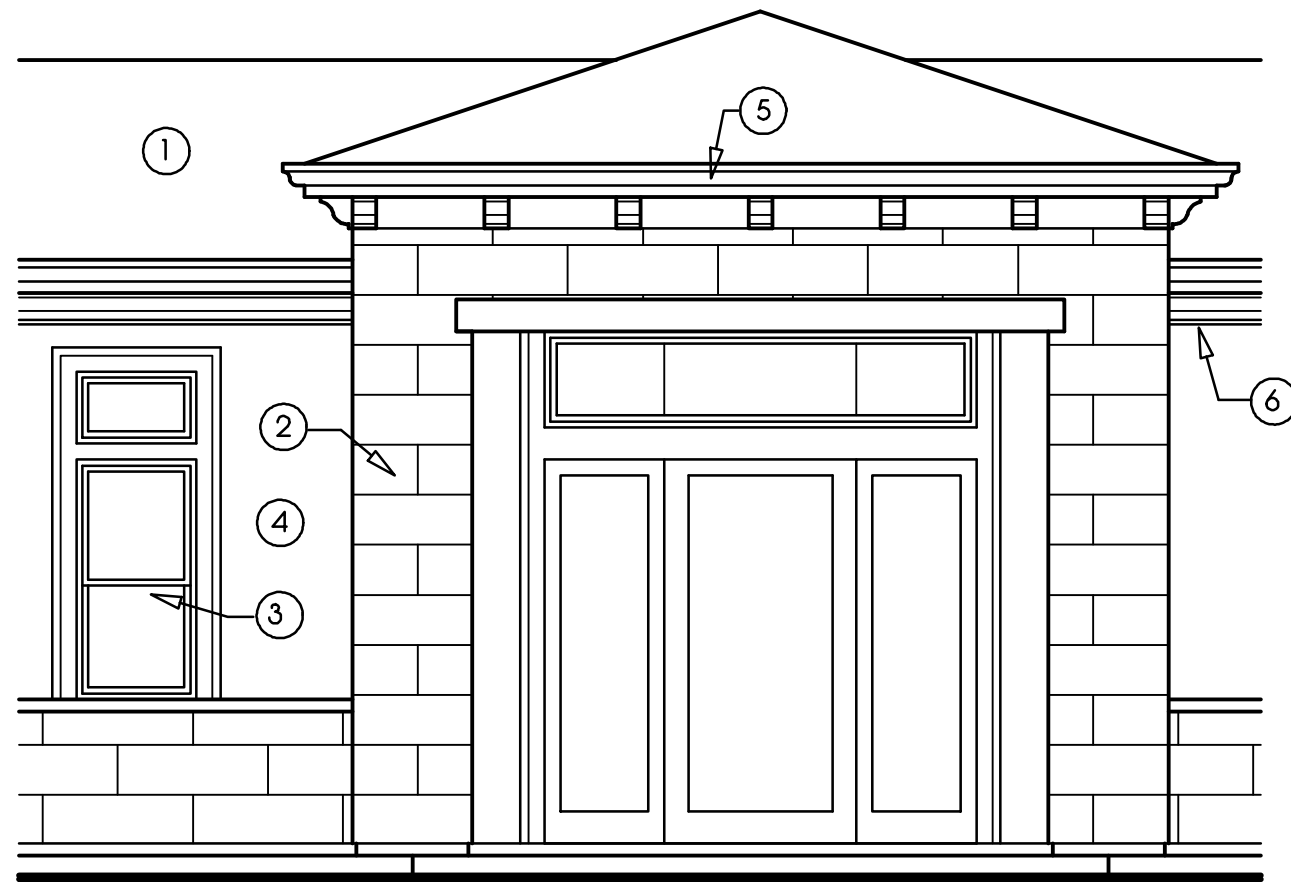
Rear Elevation
 (Northwest)

Rev	Description	Date

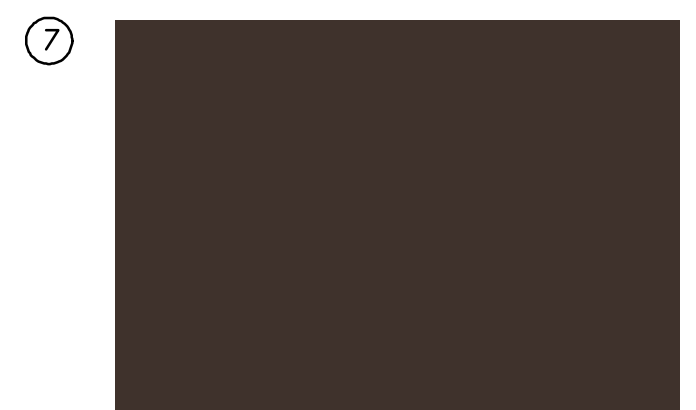
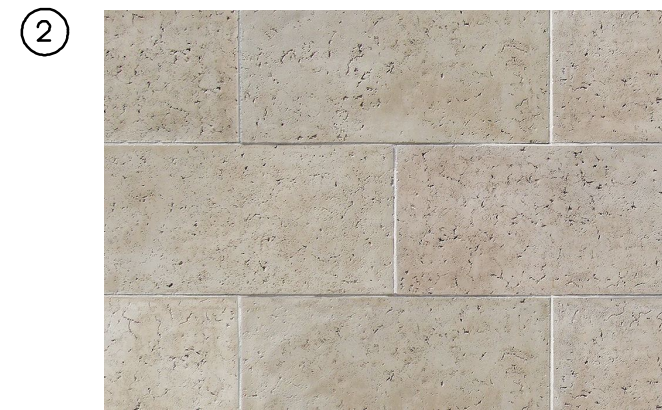
**Garage/Shop
 Exterior Elevations
 Mediterranean**

Job Number: 201927 Sheet: 9
 Scale: 1/4"=1'-0"
 Drawn: Terry
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 Date: 4-15-20 Of 10

Matheson Residence Color Board



- ① Roofing shall be Boral Barcelona 900 Smokey Topaz Blend.
- ② Colorado Stone Limestone.
- ③ Doors and Windows shall be Andersen 100 series-bronze.
- ④ Body shall be Kelly-Moore Parisian Cashmere KM5787.
- ⑤ Fascia and gutter shall be painted Kelly-Moore Malibu Beige KM216.
- ⑥ Trim and roof soffits shall be painted Kelly-Moore Malibu Beige KM216.
- ⑦ Garage Door shall be Kelly-Moore Oxford Brown KM417.



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Notes:

<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT CDX PLYWOOD SHEATHING COUNTER FLASHING 2X3 NAILER 3/8 TILE ROOFING O/ 30# FELT TYPICAL ROOF FRAMING SEE STRUCTURAL DRWGS.</p> <p>SCALE 1"-1'-0" DETAIL/ROOF/CONC & TILE/O06</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT CDX PLYWOOD SHEATHING 26 GA. LEAD FLASHING CONFORMS TO CONTOURS OF ROOF TILE 3/8 TILE ROOFING O/ 30# FELT TYPICAL ROOF FRAMING SEE STRUCTURAL DRWGS.</p> <p>SCALE 1"-1'-0" DETAIL/ROOF/CONC & TILE/O05</p>	<p>3/8 TILE ROOFING O/ 30# FELT CDX PLYWOOD SHEATHING GSM VALLEY W/ END FINIS TYPICAL ROOF FRAMING SEE STRUCTURAL DRWGS.</p> <p>SCALE 1"-1'-0" DETAIL/ROOF/CONC & TILE/O04</p>	<p>2X6 CAP TILE GSM FLASHING NAIL AT TOP AND LAP OVER FELT 2X2 2X4 FRAMING @ 24" O.C. 2X6 RS FASCIA 2X4 FLAT LET-IN @ 48" O.C. TO NEXT FRAMING MEMBER 3/8 TILE ROOFING O/ 30# FELT TYP. ROOF FRAMING SEE STRUCT. DRWGS.</p> <p>SCALE 1"-1'-0" DETAIL/ROOF/CONC & TILE/O02</p>	<p>3/8 TILE ROOFING O/ 30# FELT TYPICAL ROOF FRAMING SEE STRUCTURAL DRWGS. 3 COAT STUCCO O/WIREMESH O/ 15# FELT</p> <p>SCALE 1"-1'-0" DETAIL/ROOF/CONC & TILE/O10</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT 6" SIM PRECAST JAMB BITUTHENE MEMBRANE TYP. FRAMING CAULKING</p> <p>SCALE 3"-1'-0" DETAIL/DOOR/STUCCO/HEAD/O12</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT 6" SIM PRECAST JAMB BITUTHENE MEMBRANE TYP. FRAMING CAULKING</p> <p>SCALE 3"-1'-0" DETAIL/DOOR/STUCCO/HEAD/O13</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT 4" SIM PRECAST JAMB BITUTHENE MEMBRANE TYP. FRAMING CAULKING</p> <p>SCALE 3"-1'-0" DETAIL/DOOR/STUCCO/TRANSOM/O03</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT 3" HALF ROUND W/ PRECAST FINISH SET INTO BROWNCOAT TYP. FRAMING</p> <p>SCALE 3"-1'-0" DETAIL/STUCCO/O06</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT 3" HALF ROUND W/ PRECAST FINISH SET INTO BROWNCOAT TYP. FRAMING</p> <p>SCALE 3"-1'-0" DETAIL/STUCCO/O06</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT 6" SIM PRECAST JAMB BITUTHENE MEMBRANE TYP. FRAMING CAULKING</p> <p>SCALE 3"-1'-0" DETAIL/DOOR/STUCCO/JAMB/O12</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT 6" SIM PRECAST JAMB BITUTHENE MEMBRANE TYP. FRAMING CAULKING</p> <p>SCALE 3"-1'-0" DETAIL/DOOR/STUCCO/JAMB/O12</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT BITUTHENE MEMBRANE TYP. FRAMING</p> <p>SCALE 3"-1'-0" DETAIL/DOOR/STUCCO/JAMB/O12</p>
<p>TYPICAL ROOFING MINIMUM 2 INCH SPACE R-30 INSULATION CONDITIONED SPACE VENTED FREEZE BULK CAULKING GYP. BD. W/ LATEX PAINT UNFACED BATT INSULATION SHEATHING WHERE OCCURS EXTERIOR FINISH</p> <p>SCALE 1"-1'-0" DETAIL/ROOF/INSULATION/O06</p>	<p>TYPICAL ROOFING MINIMUM 2 INCH SPACE EAVE BAFFLE HIGH DENSITY INSULATION VENTED FREEZE BULK CAULKING GYP. BD. W/ LATEX PAINT UNFACED BATT INSULATION SHEATHING WHERE OCCURS EXTERIOR FINISH</p> <p>SCALE 1"-1'-0" DETAIL/ROOF/INSULATION/O05</p>	<p>HOLD BACK SHEATHING AT CORNER AND RADIUS STUCCO AROUND 3 COAT STUCCO O/WIREMESH O/ 15# FELT TYP. FRAMING</p> <p>SCALE 3"-1'-0" DETAIL/CORNER/O03</p>	<p>3" HALF ROUND W/ PRECAST FINISH SET INTO BROWNCOAT 3 COAT STUCCO O/WIREMESH O/ 15# FELT TYP. FRAMING</p> <p>SCALE 3"-1'-0" DETAIL/STUCCO/O06</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT 2X4 @ 16" O.C. TYPICAL DECKING</p> <p>SCALE 1"-1'-0" DETAIL/RAILING/HALFWALL/O02</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT 6" SIM PRECAST JAMB BITUTHENE MEMBRANE TYP. FRAMING SEATHING</p> <p>SCALE 3"-1'-0" DETAIL/DOOR/STUCCO/SILL/O13</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT BITUTHENE MEMBRANE TYP. FRAMING</p> <p>SCALE 3"-1'-0" DETAIL/DOOR/STUCCO/SILL/O13</p>						
<p>SLOPE TOP 15° MODIFIED BAYFOAM SL-C2 OR EQUAL W/ PRECAST FINISH SET INTO BROWNCOAT BITUTHENE MEMBRANE 2X4 @ 16" O.C. TYPICAL DECKING</p> <p>SCALE 1"-1'-0" DETAIL/RAILING/HALFWALL/O02</p>	<p>CUSTOMER FURNISHED APPROVED WIRING (SEE FIGURE A) CUSTOMER FURNISHED TYPICAL PAC BELL TERMINAL CABINET (SEE FIGURE B) CUSTOMER FURNISHED NO. GROUND WIRE CUSTOMER FURNISHED 2" CROWN TO BE PLACED FROM THE BOTTOM OF THE PAC BELL TERMINAL CAB TO THE DESIGNATED EDGE OF PROPERTY ALL BIRDS MUST BE MIN 24" ABOVE WIRE</p> <p>SCALE 1/4"-1'-0" DETAIL/MISC/O01</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT 2X4 @ 16" O.C. TYPICAL DECKING</p> <p>SCALE 1"-1'-0" DETAIL/RAILING/HALFWALL/O02</p>	<p>3 COAT STUCCO O/WIREMESH O/ 15# FELT 2X4 @ 16" O.C. TYPICAL DECKING</p> <p>SCALE 1"-1'-0" DETAIL/RAILING/HALFWALL/O02</p>	<p>CUSTOMER FURNISHED APPROVED WIRING (SEE FIGURE A) CUSTOMER FURNISHED TYPICAL PAC BELL TERMINAL CABINET (SEE FIGURE B) CUSTOMER FURNISHED NO. GROUND WIRE CUSTOMER FURNISHED 2" CROWN TO BE PLACED FROM THE BOTTOM OF THE PAC BELL TERMINAL CAB TO THE DESIGNATED EDGE OF PROPERTY ALL BIRDS MUST BE MIN 24" ABOVE WIRE</p> <p>SCALE 1/4"-1'-0" DETAIL/MISC/O01</p>	<p>REMOVABLE GSM TOP SPARK ARRESTOR STORM COLLAR CDX PLYWOOD GSM PAN FLASHING GALV. FASTENERS CAULKING MODIFIED BAYFOAM SL-C2 OR EQUAL W/ SMOOTH FINISH SET INTO BROWNCOAT 3 COAT STUCCO WIREMESH O/ 15# FELT</p> <p>SCALE 1"-1'-0" DETAIL/STUCCO/O15</p>							

Rev | Description | Date

Architectural Details





MATHESON RESIDENCE

VIEW FROM THIESSEN

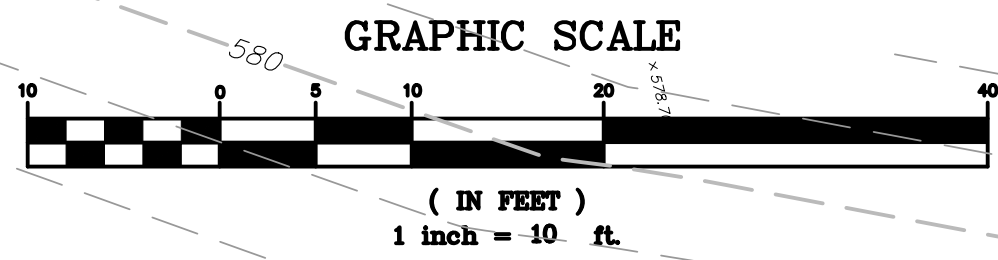
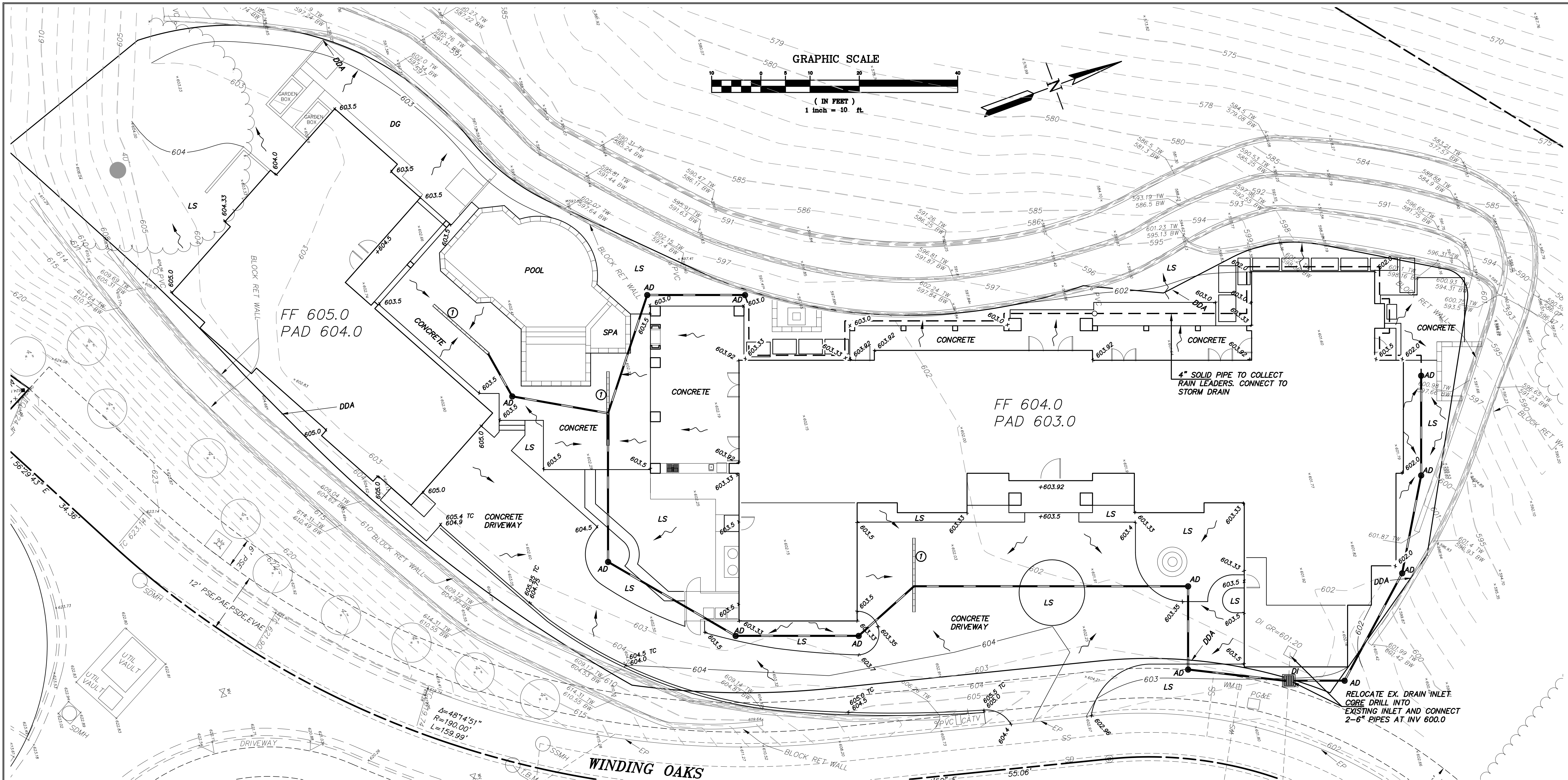
LOT IS BEHIND THIS RIDGE...NOT VISIBLE



MATHESON RESIDENCE
VIEW FROM VINEYARD AVE.



LOT IS BEHIND THIS RIDGE...NOT VISIBLE



GRADING NOTES:

- ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
- ALL DOWNSPOUTS SHALL HAVE A MINIMUM 3" DIAMETER SOLID DRAIN LINES AND SHALL CONNECT TO THE STORM DRAIN SYSTEM.
- SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE FOR: 5% MIN. FOR 5' MIN. (NATIVE SOIL OR LANDSCAPED AREAS) 2% MIN. FOR 5' MIN. (PAVED SURFACES)
- SURFACE WATER SWALES SHALL HAVE A 1% MINIMUM SLOPE AND BE CONVEYED TO AREA DRAINS.
- AREA DRAINS SHALL HAVE A MINIMUM 6 INCHES DIAMETER GRATE OPENING.
- ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
- ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS, NOT THROUGH THEM. ANY SUBDRAINS PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PIERS AND/OR GRADE BEAMS.
- WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
- ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-FLEXIBLE PVC PIPE. PERFORATED PIPE SHALL BE USED FOR SUBDRAINS ONLY. 6" STORM DRAIN TO BE PVC SDR-35 OR APPROVED EQUAL. (SEE DETAILS)
- CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
- EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 15 IF WORK CONTINUES INTO THE RAINY SEASON.
- THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.

- THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
 - THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPOUTS, AND DRAINAGE SWALES.
- HAUL ROUTE**
- ACCESS TO THE DEVELOPMENT BY CONSTRUCTION EQUIPMENT, MATERIAL DELIVERIES AND OTHER HEAVY LOADS SHALL BE LIMITED BY THE DEVELOPER TO THE FOLLOWING ROUTE: STANLEY BLVD, BERNAL AVE., VINEYARD AVE.
- WORK HOURS**
- WORK HOURS SHALL BE LIMITED TO: 8:00 AM - 5:00 PM MONDAY THRU FRIDAY. NO CONSTRUCTION SHALL BE ALLOWED ON STATE AND FEDERAL HOLIDAYS OR SATURDAYS OR SUNDAYS.
- EXCESS SOIL**
- EXCESS SOIL FROM THE SITE SHALL BE OFF-HAULED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. NO TEMPORARY STOCKPILING OF DIRT ON THIS SITE SHALL OCCUR WITHOUT SPECIFIC REVIEW AND APPROVAL BY THE PLANNING DIVISION.
- BASIS OF BEARINGS**
- THE BEARINGS SHOWN HEREON WERE BASED ON TRACT 7815 (301 M 5), ALAMEDA COUNTY RECORDS.
- BASIS OF ELEVATIONS**
- THE ELEVATIONS SHOWN HEREON WERE BASED ON THE IMPROVEMENT PLANS FOR TRACT 7815.

The Following (a) and (b) shall be provided to the building inspector before and foundation inspection will be performed. Item (c) shall be provided before the shear and roof inspection. Item (d) shall be provided before a frame inspection will be performed.

- A Licensed Land Surveyor must verify building setbacks to property lines and also pad elevation(s). This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.
- When Fill is employed under the building a soils engineer must verify pad compaction. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.
- A Licensed Land Surveyor must verify finish floor elevations. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of shear and roof inspection.
- A Licensed Land Surveyor must verify the highest elevation of the highest point of any roof ridge of roof projection. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of frame inspection.

NOTES:

ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, NOT FIELD LOCATED.

IMPERMEABLE AREA = 15,968 SQ FT
DISTURBED AREA = 22,139 SQ FT
LOT AREA = 3.3 AC.

PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.

SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION THIS PLAN IS INTENDED FOR GRADING AND DRAINAGE

① INST TRENCH DRAIN PER MANUFACTURER'S SPECS CONNECT TO DRAIN INLET SLOPE CHANNEL BOTTOM AT 1% MIN.

LEGEND

- DRAINAGE ARROW INDICATES DIRECTION OF DRAINAGE
- STORM DRAIN
- PERIMETER DRAIN
- EX CONTOUR
- NEW CONTOUR
- SWALE
- PROPERTY LINE

ABBREVIATIONS

- AD AREA DRAIN (HANSON P6 OR APPROVED EQUAL)
- BW BOTTOM OF RETAINING WALL
- CO CLEAN-OUT
- DG DECOMPOSED GRANITE (NON COMPACTED)
- DI DRAIN INLET (HANSON P18 OR EQUAL)
- DS DOWNSPOUT
- ED EMERGENCY DRAIN (HANSON P6 OR APPROVED EQUAL)
- FF FINISHED FLOOR
- FL FLOWLINE
- FG FINISHED GRADE (UN-PAVED SURFACE)
- FS FINISHED SURFACE (PAVED SURFACE)
- GR TOP OF GRATE
- GF GARAGE FINISHED FLOOR
- HP HIGHPOINT
- INV INVERT
- LS LANDSCAPING
- PA PLANTER AREA
- SM STORM WATER INLET
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF RETAINING WALL
- PERF PERFORATED
- EX EXISTING
- (N) NEW



PROJECT NAME
GRADING AND DRAINAGE PLAN
LOT 6 TRACT 7815
CITY OF PLEASANTON
ALAMEDA COUNTY, CALIFORNIA

DESIGNED BY: RD
CHECKED BY: DA
SCALE: 1"=10'

DATE: 19/03
DATE: 19/03
DATE: 3-30-20

NO.: 1
BY: RD
DATE: 19/03
NO.: 1
BY: RD
DATE: 19/03

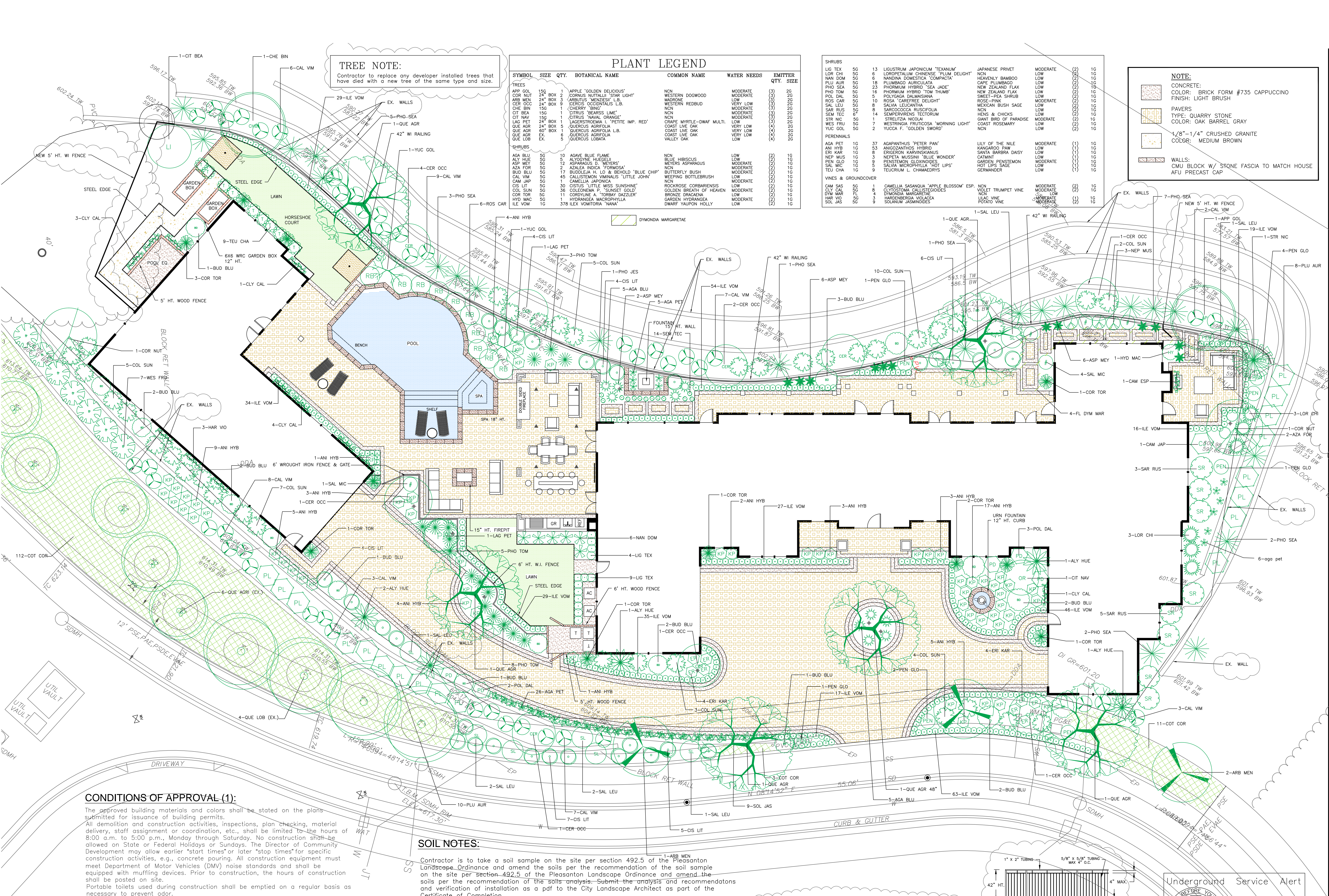
REVISIONS

APPROVED

REGISTERED PROFESSIONAL ENGINEER
ROBERT D. DIESTER
NO. C 66722
EXPIRES 09/30/20
CIVIL
STATE OF CALIFORNIA

C1
OF 1 SHEETS

ALEXANDER & ASSOCIATES INC.
ENGINEERS PLANNERS
147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 462-2855



TREE NOTE:
Contractor to replace any developer installed trees that have died with a new tree of the same type and size.

PLANT LEGEND

SYMBOL	SIZE	QTY.	BOTANICAL NAME	COMMON NAME	WATER NEEDS	EMITTER	QTY. SIZE
TREES							
APR GOL	156	BOX	1 APPLE 'GOLDEN DELICIOUS'	NCN	MODERATE	(3)	2G
COR NUT	24	BOX	3 CORNUS NUTTALLII 'STAR LIGHT'	NCN	MODERATE	(3)	2G
ARB MEN	24	BOX	3 ARBUTUS MENZIESII 'L.B.	MARIPONE	VERY LOW	(3)	2G
CHE BIN	156	BOX	1 CERCIS OCCIDENTALIS 'L.B.	WESTERN REDBUD	LOW	(3)	2G
CIT BEA	156	BOX	1 CITRUS 'BING'	NCN	MODERATE	(3)	2G
CIT MAX	50	BOX	2 CITRUS 'NAVAL ORANGE'	NCN	MODERATE	(3)	2G
LAG PET	24	BOX	1 LAGERSTROEMIA 'L. PETITE IMP. RED'	CRAPE MYRTLE-DWARF MULTI.	LOW	(3)	2G
QUE AGR	60	BOX	2 QUERCUS AGRIFOLIA	COAST LIVE OAK	VERY LOW	(4)	2G
QUE AGR	60	BOX	2 QUERCUS AGRIFOLIA L.B.	COAST LIVE OAK	VERY LOW	(4)	2G
QUE LOB	EX.	5	QUERCUS LOBATA	VALLEY OAK	LOW	(4)	2G
SHRUBS							
AGA BLU	50	10	AGAVE BLUE FLAME	NCN	LOW	(3)	1G
ALY HUE	50	10	ALYSSUM 'HUEFUL'	NCN	MODERATE	(3)	1G
ASP MEY	50	12	ASPARAGUS D. MEYERS'	MEYERS ASPARAGUS	MODERATE	(3)	1G
ASA FOR	50	2	AZALEA INDICA 'FORMOSA'	NCN	MODERATE	(3)	1G
BUD BLU	50	17	Buddleia H. LO & BEHOLD 'BLUE CHIP'	BUTTERFLY BUSH	MODERATE	(3)	1G
CAL VIM	50	45	CALLISTEMON VIMINALIS 'LITTLE JOHN'	WEeping BOTTLEBRUSH	LOW	(3)	1G
CAM JAP	50	1	CAMELIA JAPONICA	NCN	MODERATE	(3)	1G
CIS LIT	50	30	CISTIS 'LITTLE MISS SUNSHINE'	ROCKROSE CORBARENENSIS	MODERATE	(3)	1G
COL SUN	50	36	COLEONEMA P. 'SUNSET GOLD'	GOLDEN BREATH OF HEAVEN	MODERATE	(3)	1G
COR TOR	50	11	CORDYLINA A. 'TORBAY DAZZLER'	BRONZE DRACAENA	LOW	(3)	1G
HYD MAC	50	1	HYDRANGEA MACROPHYLLA	GARDEN HYDRANGEA	MODERATE	(3)	1G
ILE VOM	1G	378	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	LOW	(2)	1G
VINES & GROUNDCOVER							
CAM SAS	50	1	CAMELIA SASANDUA 'APPLE BLOSSOM' ESP.	NCN	MODERATE	(3)	1G
ELY CAL	50	8	CLYTOSTOMA CALLISTEIOIDES	VIOLET TRUMPET VINE	MODERATE	(3)	1G
DYM MAR	FL	1	DYMONDIA MARGARETAE	NCN	LOW	(3)	1G
IMP VIK	25	3	HARDENBERGIA VIOACEA	LIAC VINE	MODERATE	(3)	1G
SOL JAS	50	3	SOLANUM JASMINOIDES	POTATO VINE	MODERATE	(3)	1G

SHRUBS	QTY.	BOTANICAL NAME	COMMON NAME	WATER NEEDS	EMITTER	QTY. SIZE
LIG TEX	50	LIGSTRUM JAPONICUM 'TEXANUM'	JAPANESE PRIVET	MODERATE	(2)	1G
LOR CHI	50	LOROPETALUM CHINENSE 'FLUM DELIGHT'	NCN	LOW	(2)	1G
NAN DOM	50	NANDINA DOMESTICA 'COMPACTA'	HEAVENLY BAMBOO	LOW	(2)	1G
PLU AUR	50	PLUMBAGO AURICULATA	CAPE PLUMBAGO	LOW	(2)	1G
PHO SEA	50	PHORNIUM HYBRID 'SEA JADE'	NEW ZEALAND FLAX	LOW	(2)	1G
PHO TOM	50	PHORNIUM HYBRID 'TOM THUMB'	NEW ZEALAND FLAX	LOW	(2)	1G
SPR RUS	50	SARCOCOCCA RUSCIFOLIA	SWEET-PEA SHRUB	LOW	(2)	1G
ROS CAR	50	ROSA 'CAREFREE DELIGHT'	ROSE-PINK	MODERATE	(2)	1G
SAL LEU	50	8 SALVIA LEUCANTHA	MEXICAN BUSH SAGE	LOW	(2)	1G
POL DAL	50	POLYOGONUM DALMANIUM	NCN	LOW	(2)	1G
SEM TEC	6	14 SEMPERVIRENS TECTORUM	HENS & CHICKS	LOW	(2)	1G
STR MIC	50	1 STREPTICARPA MICRANTHA	CHIFF BRID OF PARADISE	MODERATE	(2)	1G
WES FRU	50	7 WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	LOW	(2)	1G
TUC GOL	50	2 YUCCA F. 'GOLDEN SWORD'	NCN	LOW	(2)	1G

NOTE:
CONCRETE:
COLOR: BRICK FORM #735 CAPPUCCINO
FINISH: LIGHT BRUSH
PAVERS:
TYPE: QUARRY STONE
COLOR: OAK BARREL GRAY
1/8"-1/4" CRUSHED GRANITE
COLOR: MEDIUM BROWN
WALLS:
CMU BLOCK W/ STONE FASCIA TO MATCH HOUSE
AFU PRECAST CAP

SCALE: 1"=8'-0"

④	BL
③	BL
②	5/19/20 BL
①	4/16/20 BL

REVISIONS BY

DATE: 1/29/20

PLANTING PLAN

HELPING HAND
LANDSCAPE DESIGN, INC.
1722B QUARRY LANE, SUITE 101, PLEASANTON, CA 94566
(925) 846-2933 HHLD3@AOL.COM

THE RESIDENCE OF
ROBERT & NANCY MATHESON
WINDING OAK DR
PLEASANTON, CA
ROBERT (BOB) 510-376-3570
RMATHESON@PROTIERRESEARCH.COM

CONDITIONS OF APPROVAL (1):
The approved building materials and colors shall be stated on the plans submitted for issuance of building permits.
All demolition and construction activities, inspections, plan checking, material delivery, staff assignment or coordination, etc., shall be limited to the hours of 8:00 a.m. to 5:00 p.m., Monday through Saturday. No construction shall be allowed on State or Federal Holidays or Sundays. The Director of Community Development may allow earlier "start times" or later "stop times" for specific construction activities, e.g., concrete pouring. All construction equipment must meet Department of Motor Vehicles (DMV) noise standards and shall be equipped with muffling devices. Prior to construction, the hours of construction shall be posted on site.
Portable toilets used during construction shall be emptied on a regular basis as necessary to prevent odor.

SOIL NOTES:
Contractor is to take a soil sample on the site per section 492.5 of the Pleasanton Landscape Ordinance and amend the soils per the recommendation of the soil sample on the site per section 492.5 of the Pleasanton Landscape Ordinance and amend the soils per the recommendation of the soils analysis. Submit the analysis and recommendations and verification of installation as a pdf to the City Landscape Architect as part of the Certificate of Completion.

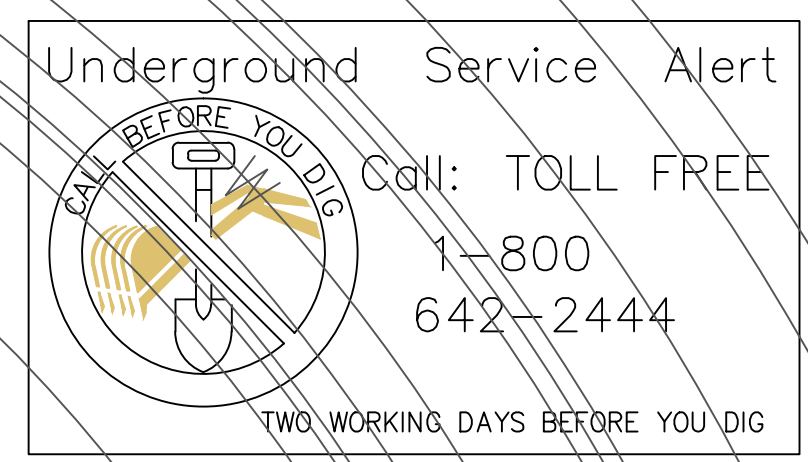
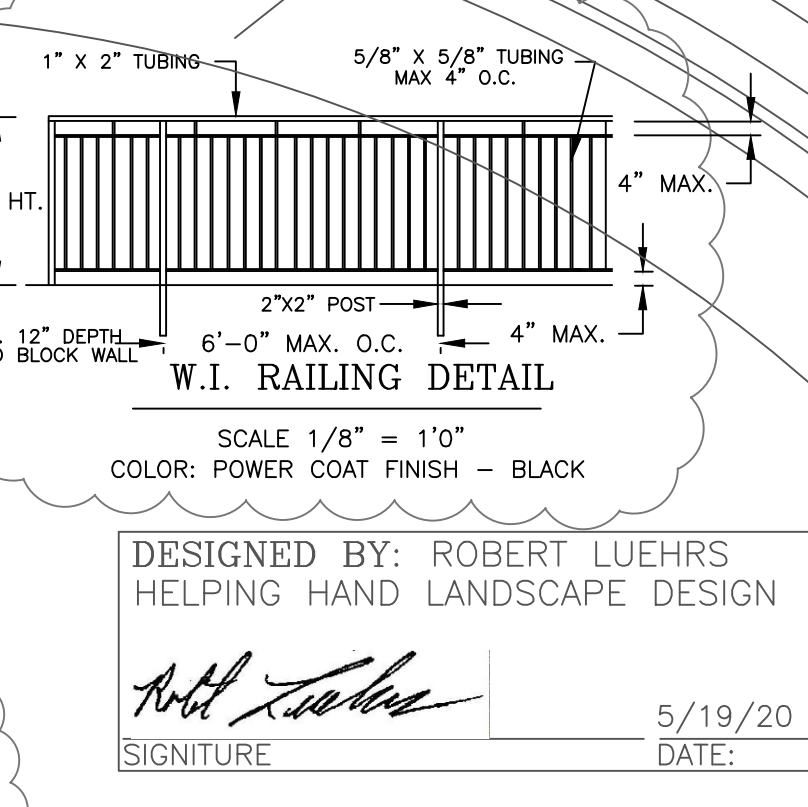
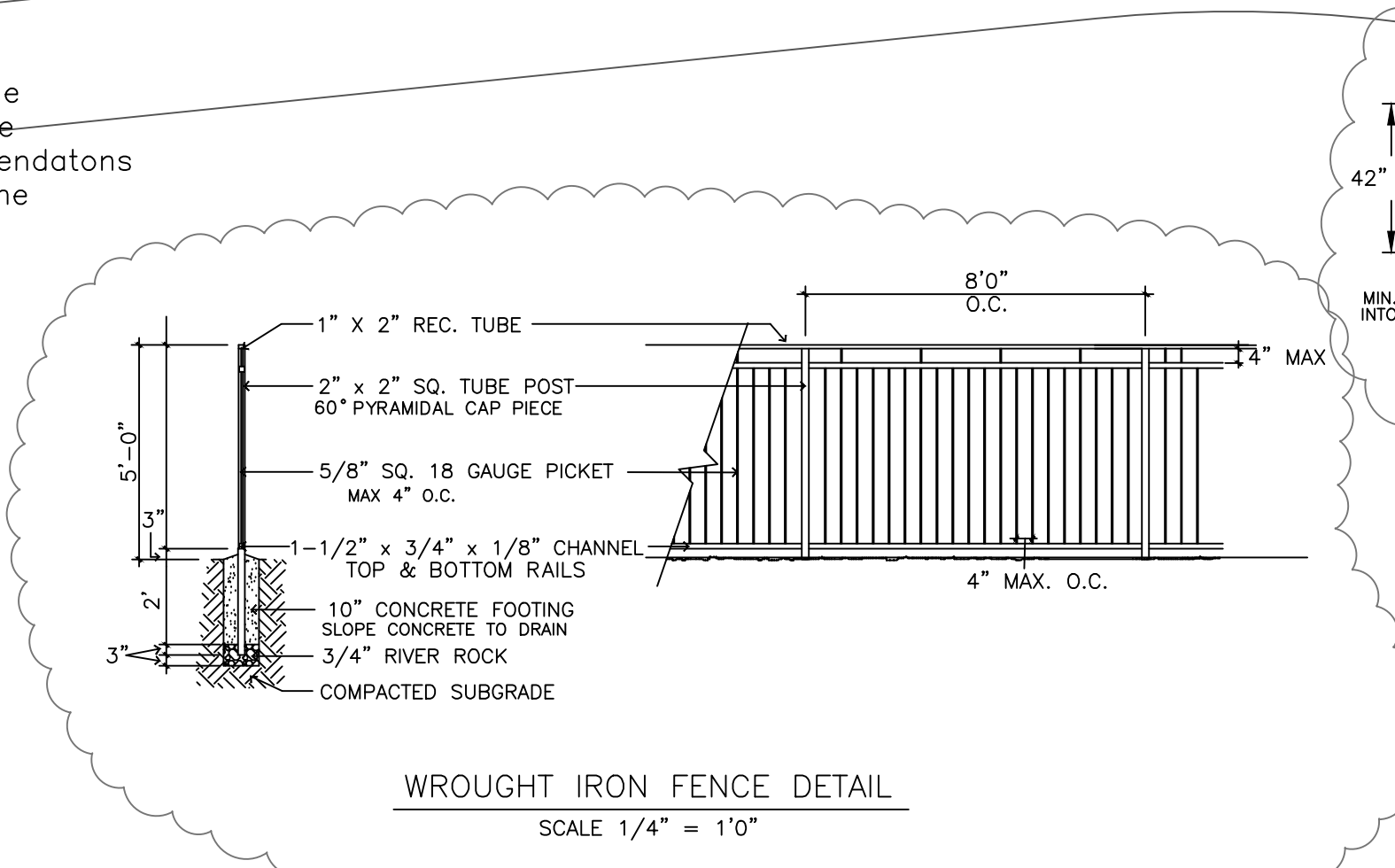
LANDSCAPE NOTES:

- CONTRACTOR SHALL VERIFY PLANT COUNT FOR BIDDING PURPOSES.
- ROOT BARRIERS SHALL BE INSTALLED ANYWHERE TREES ARE PLANTED WITHIN 6" OF HARDSCAPE OR PLANTED IN LAWN.
- ALL PLANTING AREAS SHALL RECEIVE 3" MIN. OF BROWN OR NATURAL MULCH AS A GROUND COVER.
- CONTRACTOR SHALL GUARANTEE PLANT MATERIAL FOR SIX MONTHS AFTER INSTALLATION AND REPLACE ANY DISEASED OR DAMAGED MATERIAL DURING THAT SIX MONTH PERIOD.
- TREES AND SHRUBS:
 - EXCAVATE PLANTING HOLES TWICE AS WIDE AS THE ROOTBALL DIAMETER.
 - SOIL IMMEDIATELY BELOW THE ROOT BALL TO BE LEFT UNDISTURBED TO PROVIDE SUPPORT, BUT THE SIDES AND THE BOTTOM AROUND THE SIDE SHOULD BE CULTIVATED TO IMPROVE POROSITY.
 - THE ROOTBALL SHALL BE SLIGHTLY ABOVE FINISH GRADE.
 - THE TOP 12" OF BACKFILL MAY CONSIST OF THE ABOVE AMENDED SOIL STABILIZED ORGANIC AMENDMENT. USE 4 CY PER 1,000 SF OF PLANTING AREA.

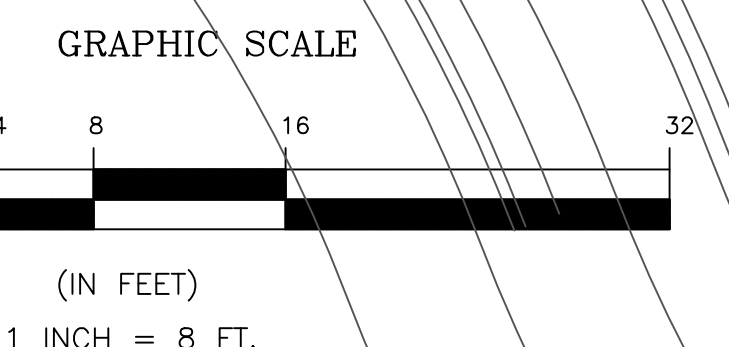
LIGHTING LEGEND

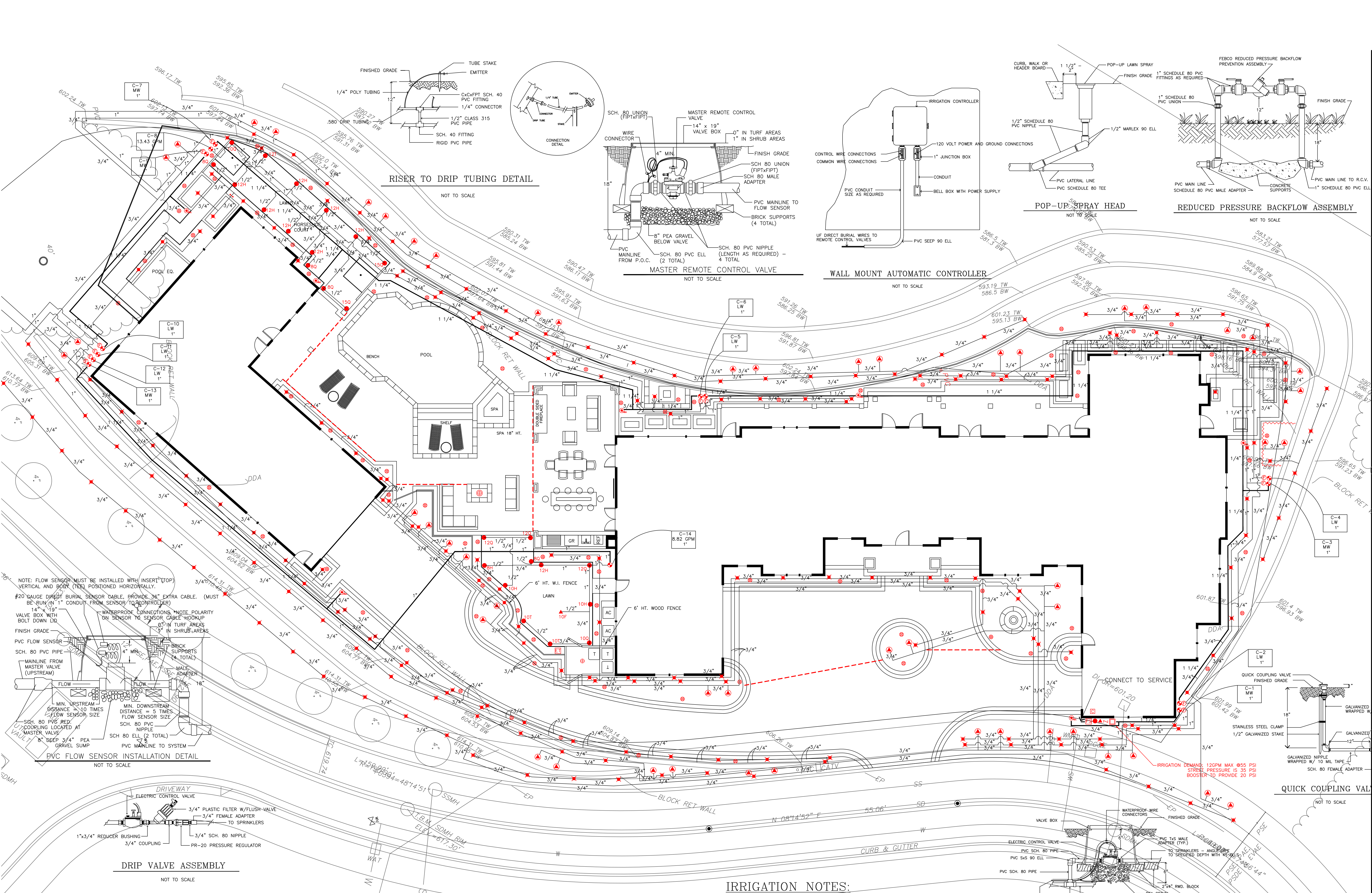
SYM.	QTY.	MODEL NAME	PART NO.	VOLT.	MAX. WATT.	LAMP	FINISH
◆	9	UNIQUE - STARBURST	STAR-12-L527	12	8 W. FLEX	FLEX MR16, 5 W. LED	WB
▲	6	UNIQUE - COMET	COM-12-L427	12	6 W. FLEX	FLEX MR16, 5 W. LED	WB
▲	3	UNIQUE - ATLANTIS16	AT16-12-L427	12	4 W. FLEX	FLEX MR16, 4 W. LED	NB

LAMP INCLUDED ALL LIGHTS TO HAVE APPROPRIATE SHIELDS



DESIGNED BY: ROBERT LUEHRS
HELPING HAND LANDSCAPE DESIGN
SIGNATURE
DATE: 5/19/20





SCALE: 1"=8'-0"

④	BL
③	BL
②	5/19/20 BL
①	4/16/20 BL
REVISIONS	BY

DATE: 1/29/20

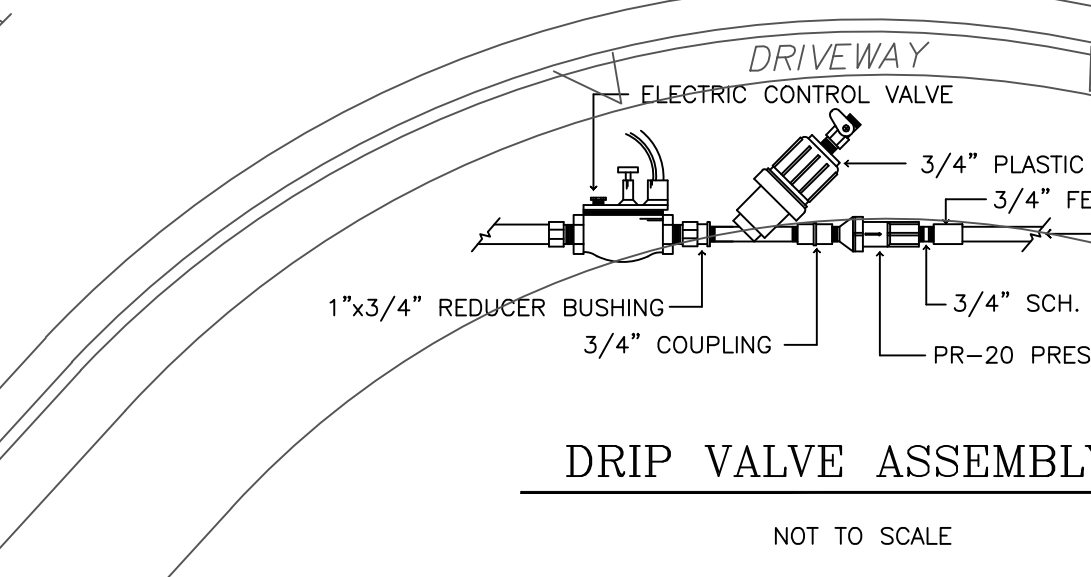
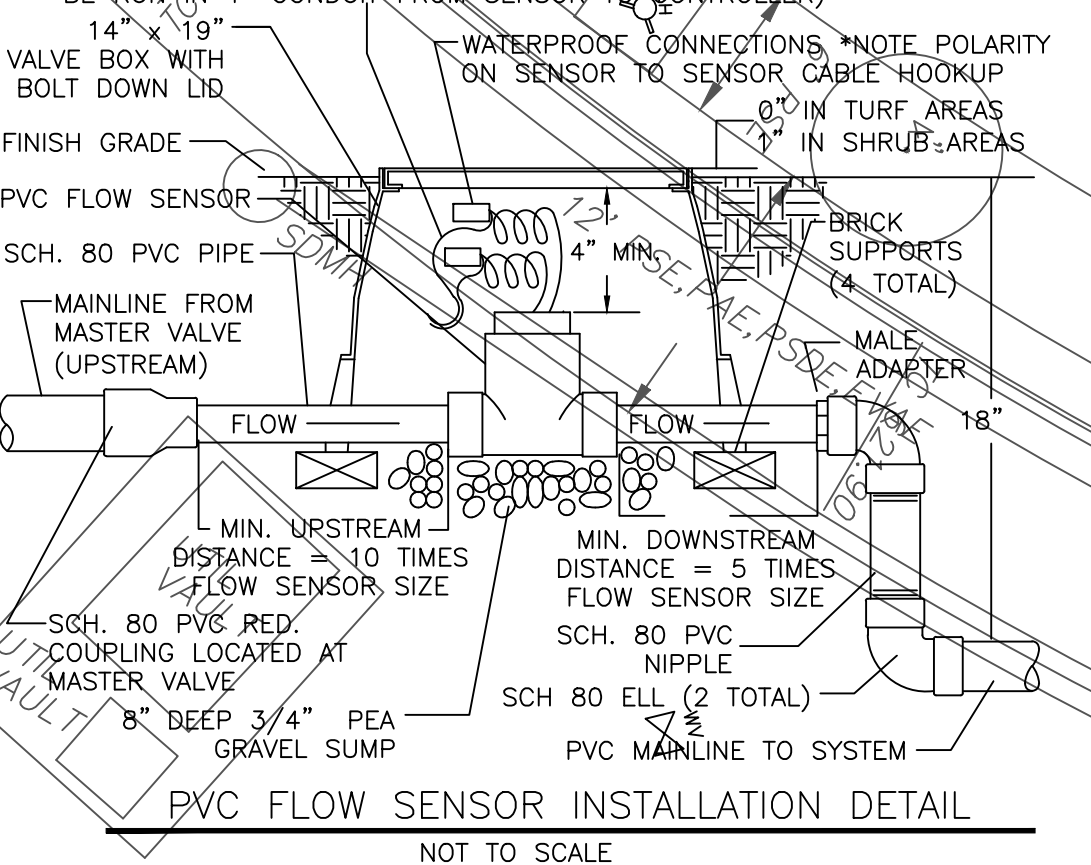
IRRIGATION PLAN

HELPING HAND LANDSCAPE DESIGN, INC.
 1722B QUARRY LANE, SUITE 107 PLEASANTON, CA 94566
 (925) 846-2933 HHLD3@AOL.COM

THE RESIDENCE OF
ROBERT & NANCY MATHESON
 WINDING OAK DR
 PLEASANTON, CA
 ROBERT (BOB) 510-376-3570
 RMATHESON@PROTIERRESEARCH.COM

SHEET NO:
L-2
OF 3 SHEETS

NOTE: FLOW SENSOR MUST BE INSTALLED WITH INSERT (TOP) VERTICAL AND BODY (FEET) POSITIONED HORIZONTALLY. #20 GAUGE DIRECT BURIAL SENSOR CABLE, PROVIDE 36" EXTRA CABLE. (MUST BE RUN IN 1" CONDUIT FROM SENSOR TO CONTROLLER) 14" x 19" VALVE BOX WITH BOLT DOWN LID. FINISH GRADE. WATERPROOF CONNECTIONS. NOTE POLARITY ON SENSOR TO SENSOR CABLE HOODUP. 0.5" IN TURF AREAS. 0.5" IN SHRUB AREAS. BRICK SUPPORTS (4 TOTAL). SCH. 80 PVC MALE ADAPTER. SCH. 80 PVC NIPPLE. SCH. 80 PVC RED COUPLING LOCATED AT MASTER VALVE. 8" DEEP 3/4" PEA GRAVEL SUMP. PVC MAINLINE TO SYSTEM.



IRRIGATION LEGEND	
SYMBOL	DESCRIPTION
	CONTROLLER: TORO EVOLUTION-EVO-4ID W/EDOD-12 EXPAN. MODULE
	TORO-ET SENSOR - EVO-WS
	REMOTE CONTROL VALVE: IRRITROL 700-1
	BACKFLOW ASSEMBLY: FEBCO 825Y
	AMIAID FILTER / SENNINGER PRESSURE REGULATOR
	QUICK COUPLER: 3/4" RAINBIRD 33DR
	DRIP STUB-UP FOR CONNECTION TO POLY PIPE
	BUBBLER: TORO DRIP BUBBLERS LF40-PC
	BADGER #55 SUB WATER METER
	MASTER VALVE SUPERIOR 3300150
	FLOW SENSOR HFS-FCT-100
	BOOSTER PUMP: PRECISION PUMPING SYSTEM-NOVA
	MAIN LINE - P.V.C. SCH 40
	LATERAL LINE - P.V.C. CLASS 200 (CLASS 315 FOR 1/2")

IRRIGATION LEGEND	
SYMBOL	DESCRIPTION
	6" DRAIN BASIN WITH GRATE
	3" DRAIN GRATE
	3" STEEL DRAIN & GRATE
	4" PERFORATED DRAIN PIPE AT THE BASE OF ALL RETAINING WALLS
	IN-LINE CHECK VALVE
	1" NIBCO T113-IRR BRASS GATE VALVE
	AUTOMATIC RAIN SHUTOFF
	PRESSURE REGULATOR: WATTS 25AUB
	18" CHRISTY BOX WITH IRON GRATE
	NDS MINI CHANNEL DRAIN BASIN W/ 2" SATIN BRASS DRAIN GRATE
	WATER SUPPLY: POTABLE WATER PRESSURE: 35LBS. DESIGN FLOW 55 PSI.

- IRRIGATION NOTES:**
- CONTRACTOR TO OBTAIN ALL PERMITS PRIOR TO STARTING WORK.
 - THE CONTRACTOR SHALL HAND AUGER THE HOLES NEEDED BEHIND ALL WALLS TO AVOID DAMAGING THE WALL-GEO-GRID.
 - ALL WORK SHALL COMPLY WITH THE LATEST UNIFORM PLUMBING CODE AS WELL AS LOCAL ORDINANCES.
 - ALL IRRIGATION LINES UNDER CONCRETE TO BE INSTALLED IN PVC SLEEVE @ 15" DEPTH MIN.
 - LOCATE ALL REMOTE CONTROL VALVES AND QUICK COUPLING VALVES IN PLANTING AREAS. (TYP.)
 - COMPACT ALL LINES AND TRENCHES UNDER PAVING 95% MIN.
 - INSTALL REMOTE CONTROL VALVE IN AMETEX 12" VALVE BOX OR EQUAL (TWO VALVES PER BOX MAX.) AND MARK "IRRIGATION" ON LID. INSTALL BOXES IN GROUND COVER AREAS WHENEVER POSSIBLE. BOXES SHALL BE A MIN. 12" FROM PAVING OR CURBS.
 - THE CONTRACTOR SHALL PROVIDE OWNER WITH A COMPLETELY OPERATING SYSTEM AND CLEAN SET OF MARKED PRINTS AS "AS-BUILT" DRAWINGS. REFERENCE ALL TRENCHES WITH DIMENSIONS TO NEAREST BUILDING OR PAVING.
 - THE CONTRACTOR SHALL WARRANT THAT THE SYSTEM WILL BE FREE FROM DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR. ALL REPAIRS NECESSARY SHALL BE MADE AT NO COST TO THE OWNER.
 - CONTRACTOR SHALL INSTALL TWO DRIP LINES IN EACH AREA. ONE DRIP LINE FOR DROUGHT TOLERANT PLANTS AND ONE FOR PLANTS THAT REQUIRE MORE FREQUENT WATERING. USE THE APPROPRIATE GALLONAGE AND NUMBER OF EMITTERS FOR EACH PLANT'S WATER REQUIREMENT.
 - FINISHED GRADES ALONG THE FOUNDATION SHALL BE SLOPED A MINIMUM OF 3% AT LEAST 5 FEET FROM THE FOUNDATION.

ELECTRIC CONTROL VALVE

NOT TO SCALE

DESIGNED BY: ROBERT LUEHR'S
HELPING HAND LANDSCAPE DESIGN

5/19/20 DATE:

Underground Service Alert
Call: TOLL FREE 1-800-642-2444
TWO WORKING DAYS BEFORE YOU DIG

GRAPHIC SCALE
8 0 4 8 16 32
(IN FEET)
1 INCH = 8 FT.

Water Conservation Concept Statement

IN AN EFFORT TO REDUCE WATER USAGE, ALL TREES AND SHRUBS ARE WATERED WITH TWO SEPARATE DRIP IRRIGATION SYSTEMS. A SMART ET TIMER AND SENSOR ARE BEING INSTALLED. A SENSING OVERRIDE DEVICE SHALL BE INTALLED TO PREVENT THE IRRIGATION SYSTEM FROM GOING DURING TIMES OF PRECIPITATION. CHECK VALVES HAVE BEEN INSTALLED TO PREVENT LOW HEAD DRAINAGE. WATERING SHALL BE DONE IN THE EARLY MORNING, NON-DAYLIGHT HOURS TO REDUCE EVAPORATION AND WATER LOSS DUE TO WIND.

SCALE: 1"=8'-0"

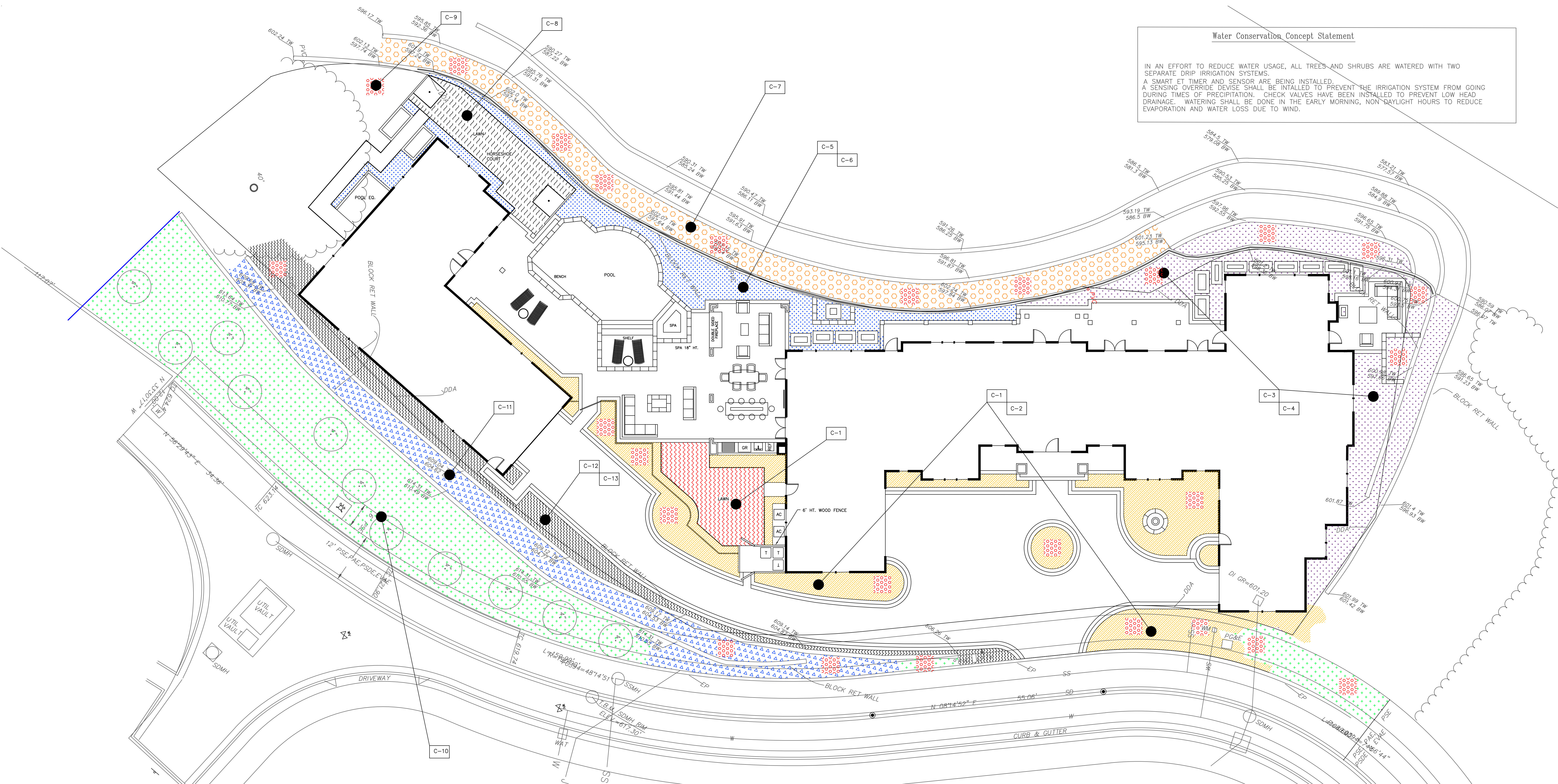
④	BL
③	BL
②	5/19/20 BL
①	4/16/20 BL
	REVISIONS BY

DATE: 1/29/20

HYDROZONE PLAN

HELPING HAND LANDSCAPE DESIGN, INC.
 1228 QUARRY LANE, SUITE E, PLEASANTON, CA 94566
 (925) 846-2933 HHL3@AOL.COM

THE RESIDENCE OF
ROBERT & NANCY MATHESON
 WINDING OAK DR
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 RMATHESON@PROTIRESEARCH.COM



NOTE:
 THE CONTRACTOR SHALL SUBMIT A SOIL ANALYSIS REPORT AS PART OF THE 'CERTIFICATE OF COMPLETION.'

ROBERT & NANCY MATHESON WATER EFFICIENT LANDSCAPE WORKSHEET

Reference Evapotranspiration (Eto) 46.2

ZONE NO.	PLANT TYPE	HYDROZONE* (PLANT WATER USE)	PLANT FACTOR (PF)	IRRIGATION METHOD**	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	HYDROZONE AREA (HA) (Sq Ft)	ETAF x HA	ESTIMATED TOTAL WATER USE (ETWU)	% LANDSCAPE AREA
REGULAR LANDSCAPE AREA										
C-1	SHRUB	MW	0.50	D	0.81	0.62	343	212	6,955	2.8%
C-2	SHRUB	LW	0.30	D	0.81	0.37	1,172	434	12,434	9.5%
C-3	SHRUB	MW	0.50	D	0.81	0.62	191	81	2,316	1.1%
C-4	SHRUB	LW	0.30	D	0.81	0.37	1,238	459	13,134	10.0%
C-5	SHRUB	LW	0.30	D	0.81	0.37	612	227	6,480	5.0%
C-6	SHRUB	MW	0.50	D	0.81	0.62	196	100	3,430	1.9%
C-7	SHRUB	MW	0.50	D	0.81	0.62	1,148	709	20,298	9.3%
C-8	TURF	CST	0.80	S	0.75	1.07	424	452	12,955	3.4%
C-9	TREE	MW	0.60	B	0.81	0.62	653	403	11,540	5.3%
C-10	SHRUB	LW	0.30	D	0.81	0.37	3,446	1,276	36,558	28.0%
C-11	SHRUB	LW	0.30	D	0.81	0.37	1,060	393	11,245	8.6%
C-12	SHRUB	LW	0.30	D	0.81	0.37	318	118	3,374	2.6%
C-13	SHRUB	MW	0.50	D	0.81	0.62	442	273	7,815	3.6%
C-14	TURF	CST	0.80	S	0.75	1.07	384	410	11,733	3.1%
POOL SPA COVERED FOUNTAIN	VF	VF	0.50		1.00	0.50	709	355	10,189	5.8%
			0.80		1.00	0.80	12	10	295	0.1%
TOTALS (REGULAR LANDSCAPE AREAS)							12,286	5,930	169,861	99.7%
SPECIAL LANDSCAPE AREA										
GARDEN	SHRUB			D		1.00	42	42	1,203	0.3%
TOTALS (SPECIAL LANDSCAPE AREAS)							42	42	1,203	0.3%
TOTALS FOR ALL AREAS							12,328	5,972	171,054	100%

ROBERT & NANCY MATHESON HYDROZONE SUMMARY

*Hydrozone Description	Total Sq. Ft.	% of Landscape
Cool Season Turf (CST)	808	6.6%
Warm Season Turf (WST)	0	0.0%
High Water Use Plants (HW)	0	0.0%
Bioretention Plants (BR)	0	0.0%
Medium Water Use Plants (MW)	2,911	23.6%
Low Water Use Plants (LW)	7,846	63.6%
Very Low Water Use Plants (VLW)	0	0.0%
Water Feature	721	5.8%
Special Landscape Area (SLA)	42	0.3%
TOTAL	12,328	100.0%

**Irrigation Method	Total Sq. Ft.	% of Landscape
Rotor (FC-R, PC-R)	0	0.0%
Multi-Stream Rotor (MR)	0	0.0%
Spray (S)	808	7.0%
Bubbler (B)	653	5.6%
Drip (D)	10,146	87.4%
In-Line Drip (DL)	0	0.0%
Micro Spray (MS)	0	0.0%
Other (O)	0	0.0%
TOTAL	11,607	

CITY OF PLEASANTON LANDSCAPE WATER USE STATEMENT

PROJECT NAME: ROBERT & NANCY MATHESON
 PROJECT ADDRESS: 6 WINDING OAKS PLEASANTON, CA 94566
 PREPARED BY: JANET LUEHRS (CID, CLIA #43274) BROOKWATER INC. IRRIGATION CONSULTANTS 480 SAINT JOHN STREET, SUITE 220 PLEASANTON, CA 94566 925-855-0417 925-855-0257 (FAX) janet@brookwater.com (e-mail)

"I have compiled with the criteria of the Water Efficient Landscape Ordinance and applied them accordingly for the efficient use of water in the irrigation design plan."

Signed: *Janet Luehrs*

PART ONE	MAXIMUM APPLIED WATER ALLOWANCE (MAWA)	MAWA = Eto x 62 x ((ETAF x HA) + ((1-ETAF) x SLA))
YEARLY Eto	46.2	
CONVERSION FACTOR	0.62	
ETAF	0.55	
TOTAL IRRIGATED LANDSCAPE AREA (HA)	12,328 SQUARE FEET	
SPECIAL LANDSCAPE AREA (SLA)	42 SQUARE FEET	
LANDSCAPE WATER ALLOWANCE	194,759 GALLONS PER YEAR	
TOTAL ACRE FEET	0.60 ACRE FEET	

PART TWO	ESTIMATED TOTAL WATER USE (ETWU)	(AVERAGE ETAF AND ETWU FROM WATER EFFICIENT LANDSCAPE WORKSHEET)
AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS (TOTAL ETAF x AREA / TOTAL AREA)	0.48	
ETWU FOR REGULAR LANDSCAPE AREAS	169,861 GALLONS PER YEAR	
SITE WIDE ETAF	0.48	
ETWU FOR ALL LANDSCAPE AREAS	171,054 GALLONS PER YEAR	
TOTAL ACRE FEET	0.52 ACRE FEET	

DESIGNED BY: ROBERT LUEHRS
 HELPING HAND LANDSCAPE DESIGN

Janet Luehrs 4/16/20
 SIGNATURE DATE

Underground Service Alert
 Call: TOLL FREE 1-800-642-2444
 TWO WORKING DAYS BEFORE YOU DIG

GRAPHIC SCALE
 0 4 8 16 32 (IN FEET)
 1 INCH = 8 FT.