

**GENERAL NOTES**

THESE PLANS AND DESCRIPTION OF MATERIALS SHALL GOVERN THE EXTENT OF THE WORK TO BE DONE. ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD CONDITIONS MUST BE CALLED TO THE ATTENTION OF THE DESIGNER AND ENGINEERS. ANY DISCREPANCY NOT REPORTED TO THE DESIGNER AND ENGINEERS WILL ABSOLVE THEM OF ANY RESPONSIBILITY.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DESIGN AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING PRIOR TO THE REMOVAL OF ANY SUPPORTING STRUCTURE.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS MUST FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE SUBMITTAL OF BID PROPOSALS AND CONSTRUCTION.

THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL WORK IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.

NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCY SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY.

DIMENSIONS SHOWN ARE TO FACE OF FRAMING OR FACE OF CONCRETE UNLESS OTHERWISE NOTED.

TYPICAL DETAILS APPLY WHERE NO DETAILS OR SECTIONS ARE PROVIDED.

ALL WORK IS TO BE DONE IN COMPLIANCE WITH CODES NOTED BELOW AND ALL STATE AND ALL GOVERNING LOCAL CODES AND ORDINANCES. ALL THOSE WORKING ON THIS PROJECT SHALL HAVE THE REQUIRED LICENSE AND EXPERIENCE.

ALL ITEMS INDICATED ON PLANS ARE NEW AND INCLUDED IN THIS SCOPE OF WORK UNLESS OTHERWISE INDICATED AS (E) - EXISTING.

**REINFORCING STEEL**

REINFORCING STEEL SHALL BE DEFORMED BARS, CONFORMING TO A.S.T.M. A615-40 REQUIREMENTS AND WELDED WIRE MESH PER A.S.T.M. 105 SPECIFICATIONS. BARS NO. 4 AND SMALLER SHALL BE GRADE 40, AND BARS NO. 5 AND LARGER SHALL BE OF GRADE 60. ALL REINFORCING BARS SHALL BE CLEAN OF FOREIGN MATERIALS. ALL REINFORCING SPLICES SHALL BE LAPPED A MINIMUM OF 48 BAR DIAMETERS BUT NOT LESS THAN 24".

CONCRETE COVERAGE FOR REINFORCEMENT:

- 3" WHERE POURED AGAINST EARTH
- 2" WHERE POURED AGAINST FORMS
- 1" FOR SLABS POURED AGAINST FORMS

SEE PLANS FOR QUANTITY, SIZE AND LOCATION OF ANCHOR BOLTS. LOCATE BOLTS WITHIN 6" FROM CORNERS AND BUTT JOINTS.

**CODE COMPLIANCE**

THE CODES APPLICABLE TO THIS PROJECT ARE:

- 2016 CALIFORNIA BUILDING CODE (CBC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- 2016 CALIFORNIA FIRE CODE

**LUMBER**

WOOD MEMBERS LESS THAN 4" IN WIDTH SHALL BE DOUGLAS FIR NO. 2, AND 4" OR WIDER SHALL BE DOUGLAS FIR NO. 1, UNLESS NOTED OTHERWISE. ALL LUMBER SHALL CONFORM TO 2013 CBC STANDARDS. UNLESS NOTED OTHERWISE ON PLANS, ALL NAILING SHALL BE PER 2013 C.B.C. NAILING TABLE.

ALL CONNECTING HARDWARE SHALL BE "SIMPSON" COMPANY TYPE OR APPROVED EQUAL. FASTENERS AND INSTALLATION SHALL BE PER MANUFACTURER'S REQUIREMENTS UNLESS NOTED OTHERWISE.

PROVIDE MST36 (BOTH SIDES) TOP PLATES WHERE NEW CONSTRUCTION JOINS EXISTING.

BEARING AND NON-BEARING WALLS SHALL HAVE DOUBLE TOP PLATE LAPPED AT INTERSECTIONS. PLATE JOINTS SHALL BE STAGGERED 4'-0" MIN. AND SHALL BE LOCATED ON TOP OF STUDS.

WALL STUDS SHALL BE 16" O.C. AND THE SIZE NOTED ON THE PLANS AND SECTIONS. PROVIDE 2" X 4" STUDS MINIMUM.

ALL WOOD BEARING ON OR ADJACENT TO CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUGLAS FIR.

HOLES FOR BOLTS SHALL BE BORED WITH A BIT 1/16" LARGER THAN NOMINAL BOLT DIAMETER. ALL BOLTS SHALL BE RE-TIGHTENED PRIOR TO APPLICATION OF PLYWOOD, GYPSUM BOARD, ETC. ALL BOLTS BEARING ON WOOD SHALL HAVE STANDARD SQUARE CUT WASHERS UNDER HEAD AND NUT.

STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES AND CONDUITS, ETC. UNLESS SPECIFICALLY NOTED OR DETAILED BY ENGINEER.

PROVIDE 2" X SOLID BLOCKING AT ENDS OF ALL JOISTS AND RAFTERS, OVER BEARING WALLS AND AT 8'-0" MAXIMUM FOR ALL JOISTS 2" X 8" OR GREATER.

**CONCRETE**

CONCRETE FOR SLABS ON GROUND, BEAM FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 P.S.I. AT 28 DAYS, UNLESS NOTED OTHERWISE ON PLANS.

MAXIMUM AGGREGATE SIZE SHALL BE 3/4" AND MAXIMUM SLUMP SHALL BE 4".

ANCHOR BOLTS, HOLD-DOWN BOLTS, DOWELS, AND OTHER REQUIRED INSERTS SHOULD BE POSITIONED AND FIRMLY SECURED IN PLACE BEFORE CONCRETE IS POURED.

THE GENERAL CONTRACTOR SHALL TAKE ALL THE NECESSARY MEASURES TO PROVIDE A PROPER CONSOLIDATION AND CURING OF CONCRETE.

THE EXCAVATED BOTTOM OF ALL FOOTINGS SHALL EXTEND TO ELEVATIONS SHOWN ON THE DETAILS AND THE FOOTINGS SHALL BE POURED IN NEAT AND CLEAN EXCAVATIONS, WITHOUT SIDE FORMS IF POSSIBLE.

**BUILDING MATERIALS**

MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL NOT EXCEED 19% BEFORE ENCLOSURE. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH-MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE.

**SPECIAL INSPECTION**

SPECIAL INSPECTORS EMPLOYED BY ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.

**STORMWATER DRAINAGE**

RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPE AREA. DOWNSPOUTS MAY BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING. "THRU-CURB" DRAINS ARE NOT ALLOWED.

**FIRE SPRINKLER SYSTEM**

A N.F.P.A. 13-D FIRE SPRINKLER SYSTEM COMPLYING WITH LOCAL AMENDMENTS SHALL BE INSTALLED. RESIDENTIAL OR QUICK RESPONSE SPRINKLER HEADS SHALL BE USED IN THE DWELLING PORTIONS OF THE BUILDING. THE SPRINKLER SYSTEM SHALL PROVIDE PROTECTION TO AT LEAST ALL OF THE FOLLOWING AREAS: GARAGES, BATHROOMS, CONCEALED SPACES, WATER HEATER/FURNACE ROOMS, CLOSETS, LAUNDRY ROOMS, ATTIC SPACES, UNDER WALKS, OR OVERHANGS, BALCONIES OR DECK GREATER THAN FOUR FEET IN DEPTH, FLOOR LANDINGS IF WHOLLY OR PARTIALLY ENCLOSED. FIRE SPRINKLER TEST WATER MUST DRAIN TO AN APPROPRIATELY-SIZED LANDSCAPED AREA. PLANS SHOWING PIPING OF AFES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.

A SEPARATE PERMIT IS REQUIRED FOR THE FIRE SPRINKLER SYSTEM. THE INSPECTION, HYDROSTATIC TEST, AND FLUSHING OF THE AFES SHALL BE WITNESSED BY THE BUILDING INSPECTOR SPECIALIST. FIRE, AND NO PIPING SHALL BE COVERED OR HIDDEN FROM VIEW UNTIL AN INSPECTION HAS BEEN COMPLETED.

THE ENTIRE STRUCTURE SHALL BE PROVIDED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM - INSTALLED PER NFPA 13 FIRE SPRINKLER REQUIREMENTS. SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED TO COMPLY AS REQUIRED BY A LICENSED SPECIALTY C CONTRACTOR. SEPARATE PERMIT REQUIRED.

**CONSTRUCTION WASTE MANAGEMENT**

RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING:

1. COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, OR A CONSTRUCTION WASTE MANAGEMENT PLAN.
2. A CONSTRUCTION WASTE MANAGEMENT PLAN, PER SECTION 4.408.2.
3. A WASTE MANAGEMENT COMPANY, PER SECTION 4.408.3, OR
4. THE WASTE STREAM REDUCTION ALTERNATIVE, PER SECTION 4.408.4.

**SITE NOTES**

1. REFER TO CIVIL DRAWINGS.
2. SITE DRAINAGE MUST DRAIN AWAY FROM THE BUILDING AND TOWARDS THE STREET. DRAINAGE CANNOT DRAIN ONTO ADJACENT PROPERTIES. GRADE TO FALL 5% WITHIN THE FIRST 10 FEET OF STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF STRUCTURE SHALL SLOPE A MINIMUM OF 2% AWAY FROM BUILDING. R 451.3 OF 2016 CBC.
3. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED.
4. GENERAL CONTRACTOR TO DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.

**RODENT PROOFING**

ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

**BUILDING MAINTENANCE & OPERATION**

AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE OWNER.

**SITE DATA**

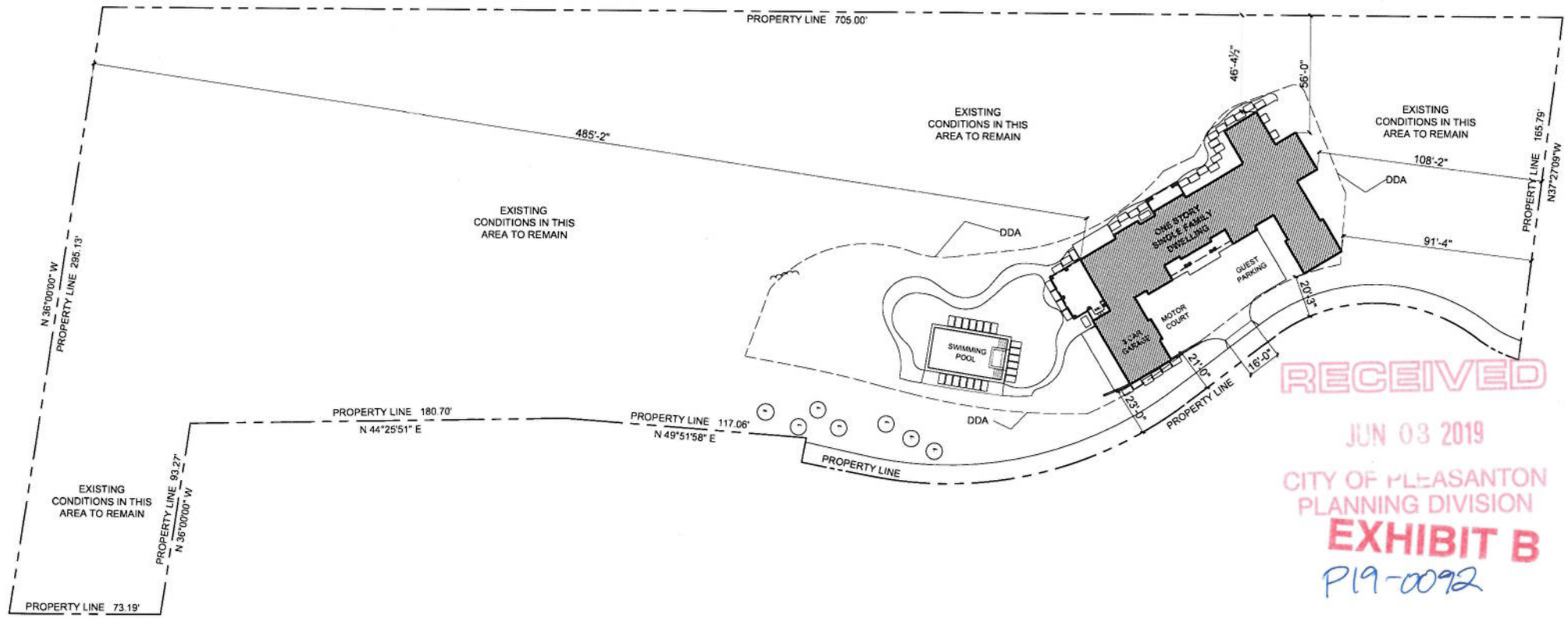
APN	946-4611-007
LOT AREA	143,748 SF GROSS APPROX 140,063 SF NET APPROX
ZONE	R - 1 - 10
OCCUPANCY	R - 3 / U
PROPOSED USE	SINGLE FAMILY DWELLING
NUMBER OF STORIES	TWO
FIRE SPRINKLERS	YES
CONSTRUCTION TYPE	V - B
PROPOSED FLOOR AREAS	
GARAGE	825 SF
HABITABLE	4,300 SF
PATIO AREAS	
ENTRY PORCH	255 SF
BBQ PATIO	435 SF
REAR PORCH	111 SF
TOTAL	801 SF
TOTAL PROPOSED FLOOR AREAS	
GARAGE	125 SF (700 SF CREDIT)
HABITABLE	4,300 SF
ENTRY PORCH	255 SF
TOTAL	4,680 SF
ALLOWABLE FLOOR AREA	9,362 SF
MAXIMUM HEIGHT ALLOW	25' - 0"
PROPOSED HEIGHT	19' - 9 1/2"
POOL / SPA	700 SF

**PROJECT SCOPE**

CONSTRUCT NEW ONE STORY SINGLE FAMILY DWELLING WITH THREE CAR GARAGE.

**DRAWING INDEX**

SHEET NO.	DESCRIPTION
C	SITE DATA GENERAL NOTES SITE DATA SITE INDEX
A1	SITE PLAN
A2	FLOOR PLAN
A3	EXTERIOR ELEVATIONS
A4	EXTERIOR ELEVATIONS
A5	BUILDING SECTIONS
C1	PRELIM GRADING & DRAINAGE PLAN
L1	PRELIM LANDSCAPE PLAN
L2	HYDROZONE PLAN



**SITE PLAN**



REVISIONS	BY
1. REVISED	SS
28 MAY 2019	555

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DESIGN & DOCUMENTATION BY

**S. S. SANTOS**

PO Box 38, Mountain View, CA 94042  
Office 650.966.1842 Cell 650.796.7159  
WWW.S.S.SANTOS.COM

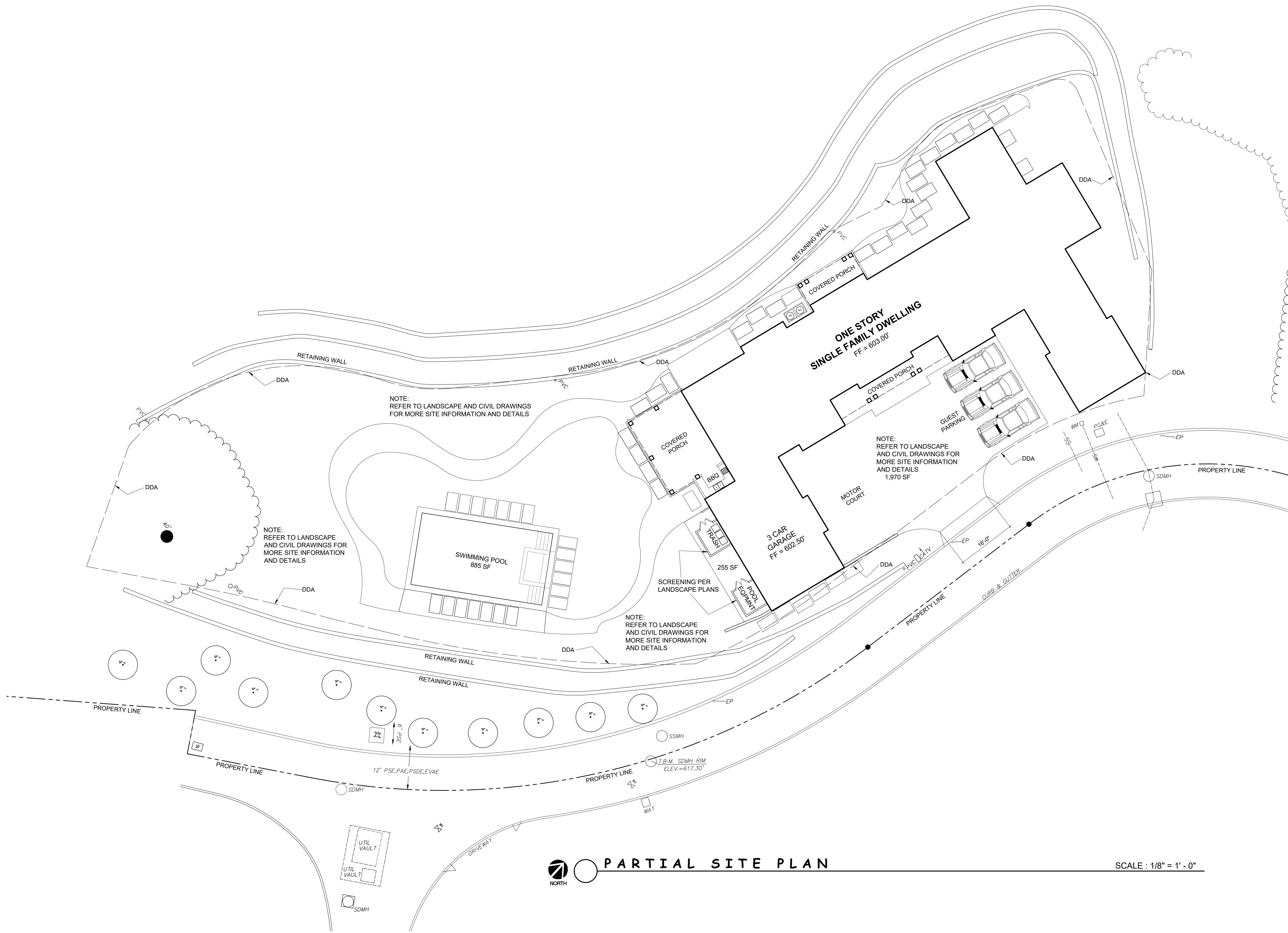
NEW RESIDENCE FOR

**THE RAYMER FAMILY**

6 WINDING OAK DRIVE  
PLEASANTON, CA 94566

DESIGN BY	SS / RM
CHECKED BY	555
DATE	MARCH 28, 2019
SCALE	AS NOTED
JOB NUMBER	NRR - 0319
SHEET	C

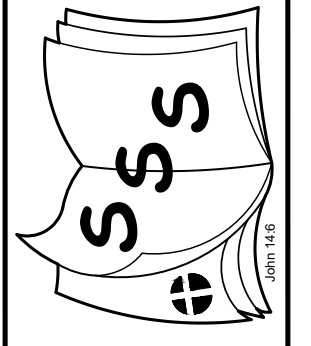
NOTE:  
REFER TO LANDSCAPE AND CIVIL DRAWINGS  
FOR MORE SITE INFORMATION AND DETAILS



REVISIONS	BY
PLANNING 28 MAY 2019	SSS

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DESIGN & DOCUMENTATION BY  
**S. S. SANTOS**  
PO Box 38, Menlo Park, CA 94042  
Office 650.946.1842 Cell 650.796.7159  
EMAIL: S.SANTOS@SSDESIGNS.ORG  
WEB: WWW.SSDESIGNS.ORG



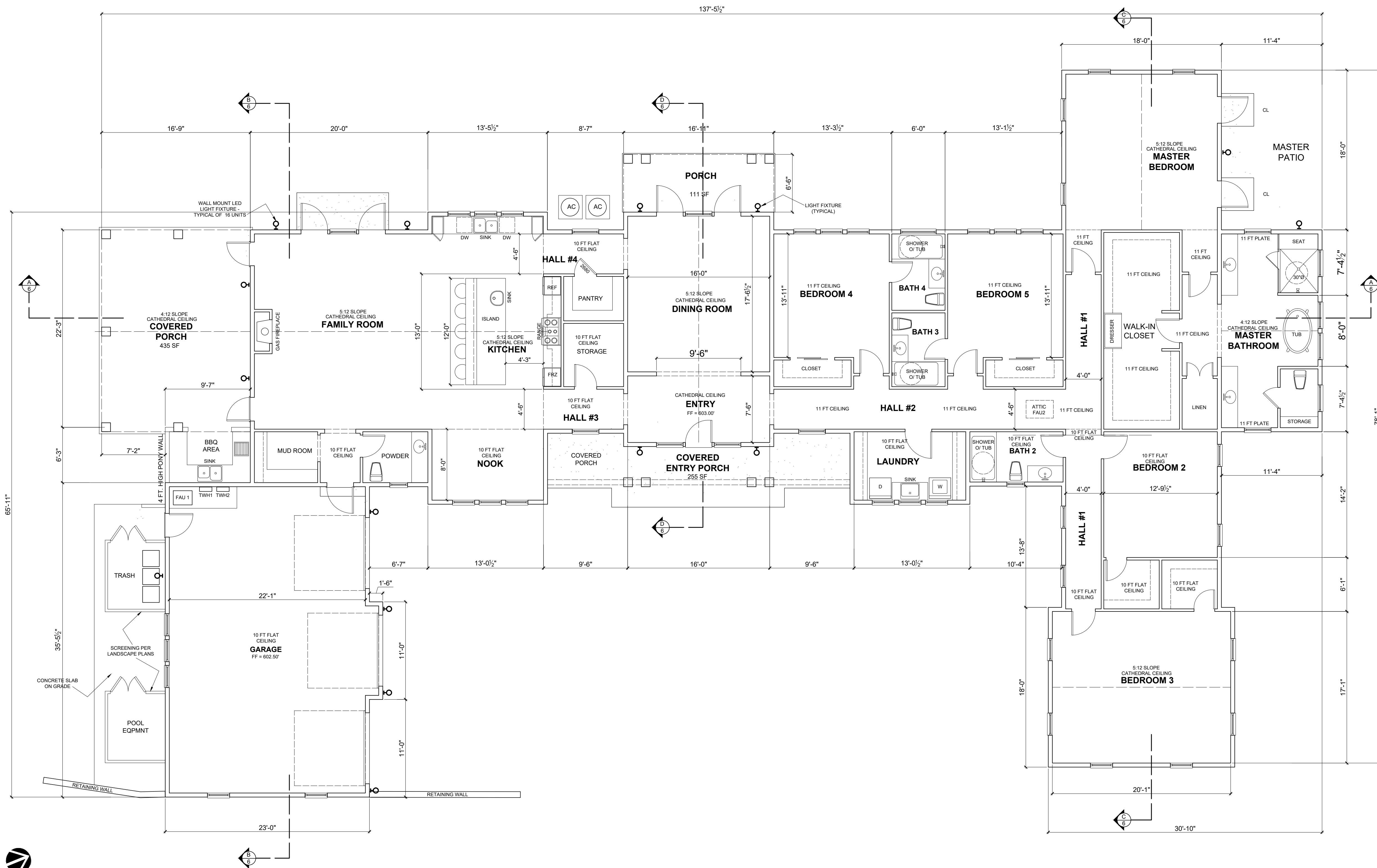
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SHEET	

**PARTIAL SITE PLAN**

SCALE: 1/8" = 1'-0"

**A1**



**FLOOR PLAN**  
 HOUSE FLOOR AREA = 4,300 SF  
 GARAGE FLOOR AREA = 825 SF

SCALE = 1/4" = 1' - 0"

REVISIONS	BY
1	SSS

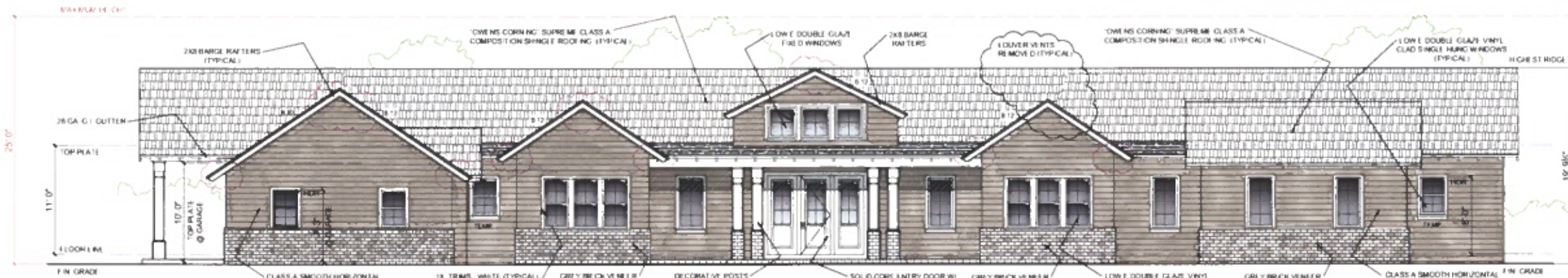
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DESIGN & DOCUMENTATION BY  
**S. S. SANTOS**  
 PO Box 38, Mountain View, CA 94042  
 Office 650.946.1842, Cell 650.796.7159  
 EMAIL: S.SANTOS@SSDESIGNS.COM  
 WEB: WWW.SSDESIGNS.COM

NEW RESIDENCE FOR  
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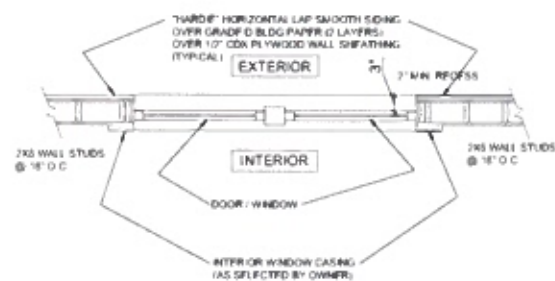
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DATE	MARCH 28, 2019
SCALE	AS NOTED
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**A2**

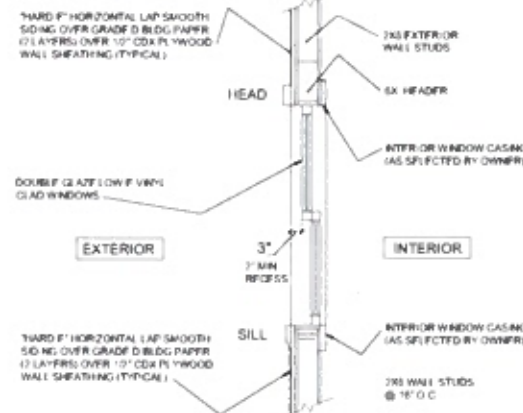


**FRONT ELEVATION (EAST)**  
BAY AREA TRADITIONAL STYLE

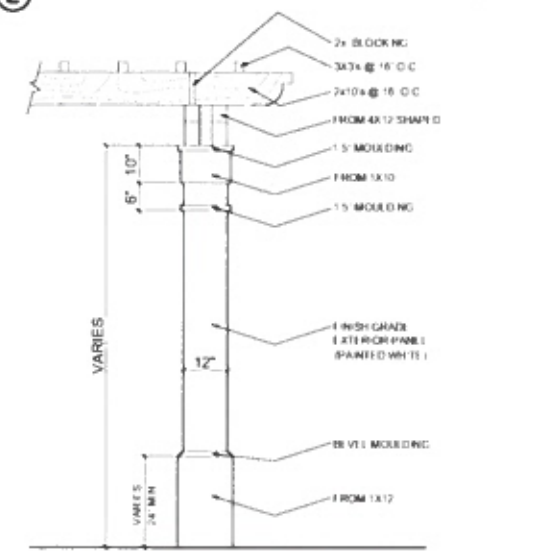
SCALE = 1/4" = 1' - 0"



**WINDOW / DOOR DETAIL** NOT TO SCALE



**WINDOW DETAIL** NOT TO SCALE



**ARCHITECTURAL POST / TRELLIS** NOT TO SCALE

**MATERIALS & COLOR**

**WINDOWS**  
"SIERRA PACIFIC" #3 CLAD SINGLE HUNG SOL WHITE CLAD DOUBLE GLAZ LOW E WITH DOUBLE LITES / SINGLE HUNG. BEAK COLOR VINYL CLAD FRAME WITH TINTED DOUBLE GLASS.  
ALL DOORS & WINDOWS FRAMES TO BE BLACK COLOR

**WOOD SIDING COLOR**  
"SHARPS HARBOR" ARTISAN V-GROOVE CLASS A SMOOTH HORIZONTAL COMPOSITE SIDING COLOR "HARBOR & BALL" HARDWARE WHITE (TYPICAL FOR ALL EXTERIOR SIDING)

**ROOFING**  
"OWENS CORNING" SUPREME CLASS A COMPOSITION SHINGLE ROOFING. ROOF COLOR - ESTATE GRAY

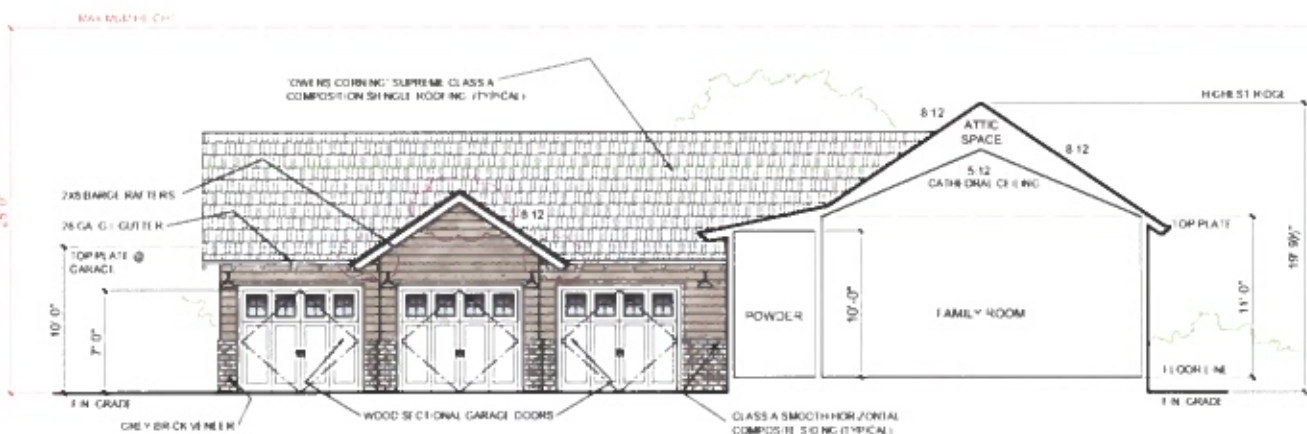
**TRIMS / GUTTERS**  
2x6 PAINTED "HARBOR & BALL" MAZON WHITE (TYPICAL FOR ALL TRIMS/MANG GUTTERS)

**WAINSCOT**  
DARK GREY BRICK VENEER WAINSCOT

**EXTERIOR LIGHT FIXTURE**

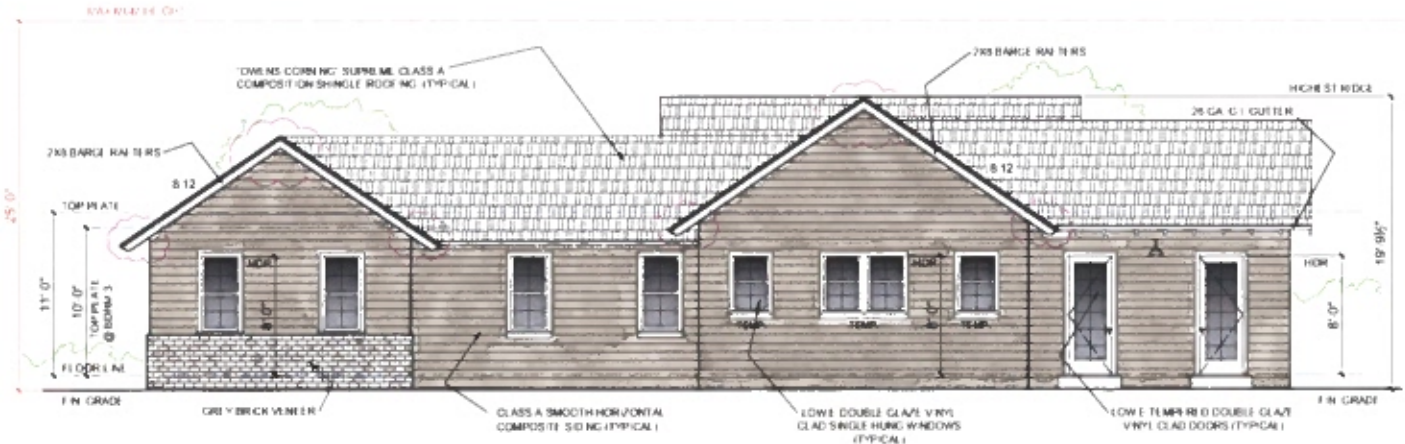


"WESTLEY" 8.5" HIGH BLACK WALL MOUNT LED OUTDOOR LIGHT FIXTURE



**PARTIAL RIGHT SIDE ELEVATION (NORTH)**  
BAY AREA TRADITIONAL STYLE

SCALE = 1/4" = 1' - 0"



**RIGHT SIDE ELEVATION (NORTH)**  
BAY AREA TRADITIONAL STYLE

SCALE = 1/4" = 1' - 0"

NO	REVISIONS	BY
1	PLANNING PERMIT 25-11	SSS

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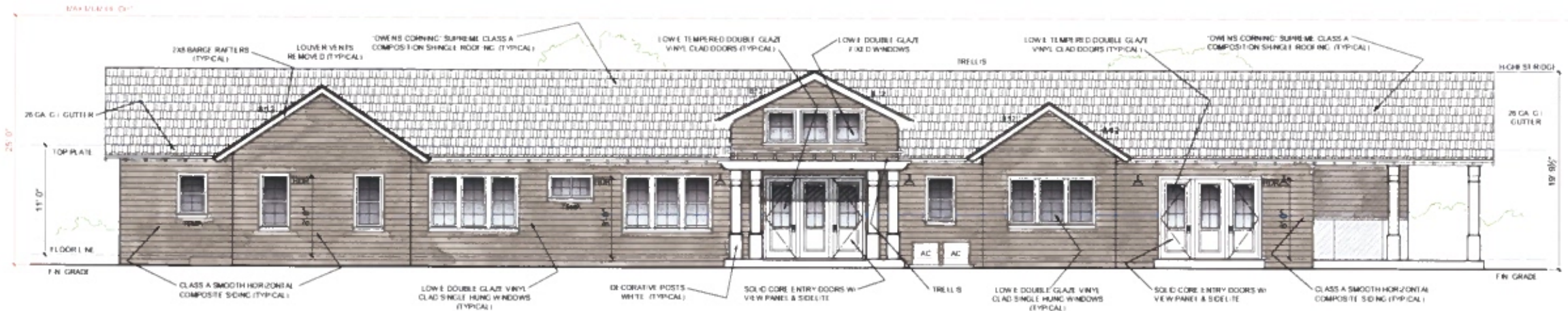
DESIGN & DOCUMENTATION BY  
**S. S. SANTOS & ASSOCIATES, INC.**  
10101 W. CENTRAL EXPRESSWAY, SUITE 100, PLEASANTON, CA 94566  
PHONE: (925) 786-1111 FAX: (925) 786-1112  
WWW.SANTOSANDASSOCIATES.COM



NEW RESIDENCE FOR  
**THE RAYMER FAMILY**  
6 WINDING OAK DRIVE  
PLEASANTON, CA 94566

PROJECT: SS / RM  
DRAWING: SSS  
DATE: MARCH 28, 2019  
SCALE: AS NOTED  
PREPARED: NRR - 0319  
SHEET:

**A3**



**REAR ELEVATION (WEST)** ALL DOORS & WINDOWS FRAMES TO BE BLACK COLOR  
**BAY AREA TRADITIONAL STYLE** SCALE = 1/4" = 1' - 0"

### MATERIALS & COLOR

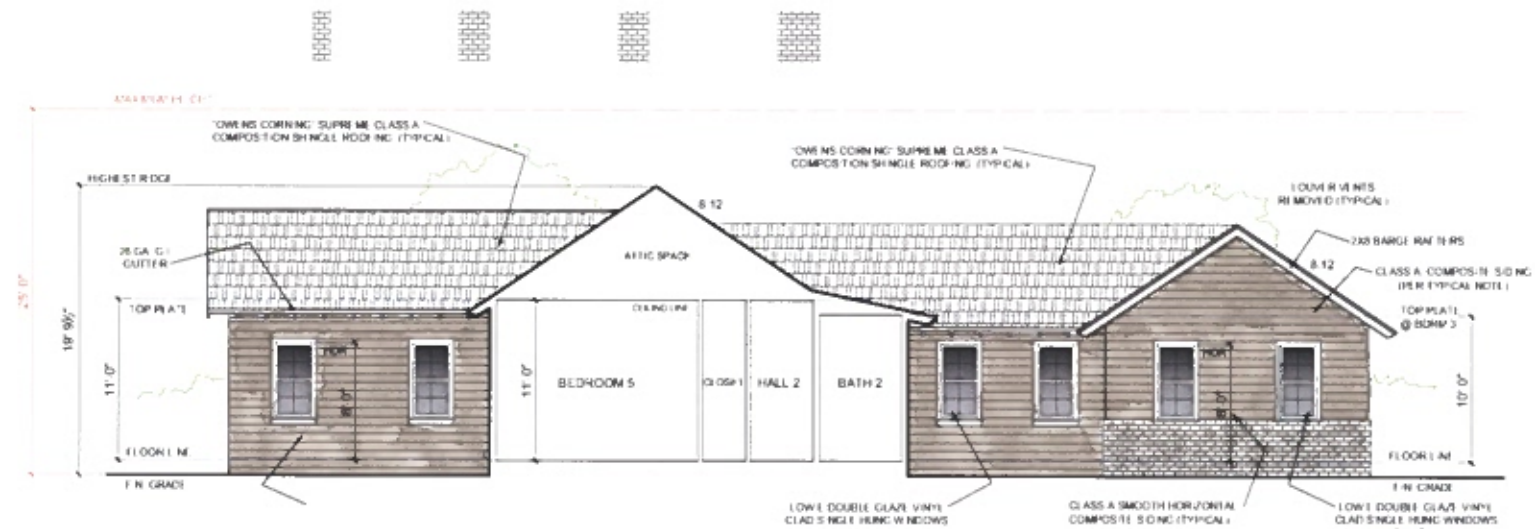
**WINDOWS**  
 "SERRA PACIFIC" 43 CLAD SINGLE HUNG SOL VINYL CLAD DOUBLE GLAZ LOW E WITH DIVIDED LITES / SINGLE HUNG BLACK COLOR VINYL CLAD FRAME WITH TINTED DOUBLE GLASS

**WOOD SIDING COLOR**  
 "AMES HARDEN" ARTISAN V-GROOVE CLASS A SMOOTH HORIZONTAL COMPOSITE SIDING COLOR "FARROW & BALL" HARDWOOD WHITE (TYPICAL FOR ALL EXTERIOR SIDING)

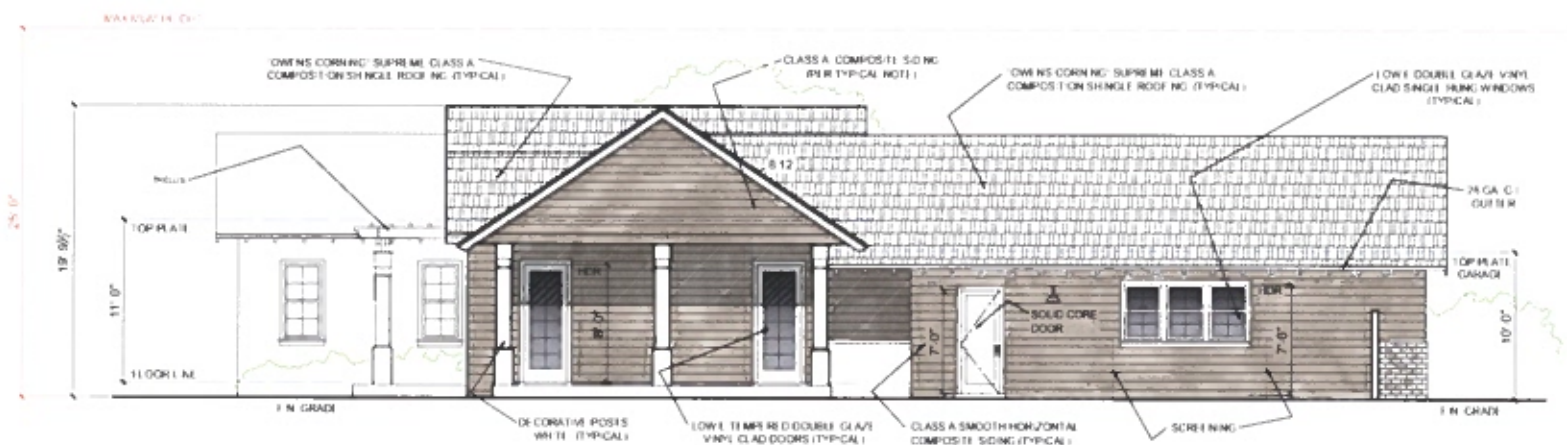
**ROOFING**  
 OWENS CORNING SUPREME CLASS A COMPOSITION SHINGLE ROOFING ROOF COLOR - ESTATE GRAY

**TRIMS / GUTTERS**  
 UNPAINTED "FARROW & BALL" SHADOW WHITE (TYPICAL FOR ALL TRIMS/BARGE RAFTERS)

**WAINSCOT**  
 DARK GREY BRICK VENEER WAINSCOT



**PARTIAL LEFT SIDE ELEVATION (SOUTH)** ALL DOORS & WINDOWS FRAMES TO BE BLACK COLOR  
**BAY AREA TRADITIONAL STYLE** SCALE = 1/4" = 1' - 0"



**LEFT SIDE ELEVATION (SOUTH)** ALL DOORS & WINDOWS FRAMES TO BE BLACK COLOR  
**BAY AREA TRADITIONAL STYLE** SCALE = 1/4" = 1' - 0"

NO. VISITS	31
DATE	7/26/17
BY	SSS

FOR RECORD, AND THEREAFTER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

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**S. S. SANTOS**  
 ARCHITECT  
 100 BAY ST. PLEASANTON, CA 94566  
 (925) 462-1111  
 WWW.SANTOSDESIGN.COM

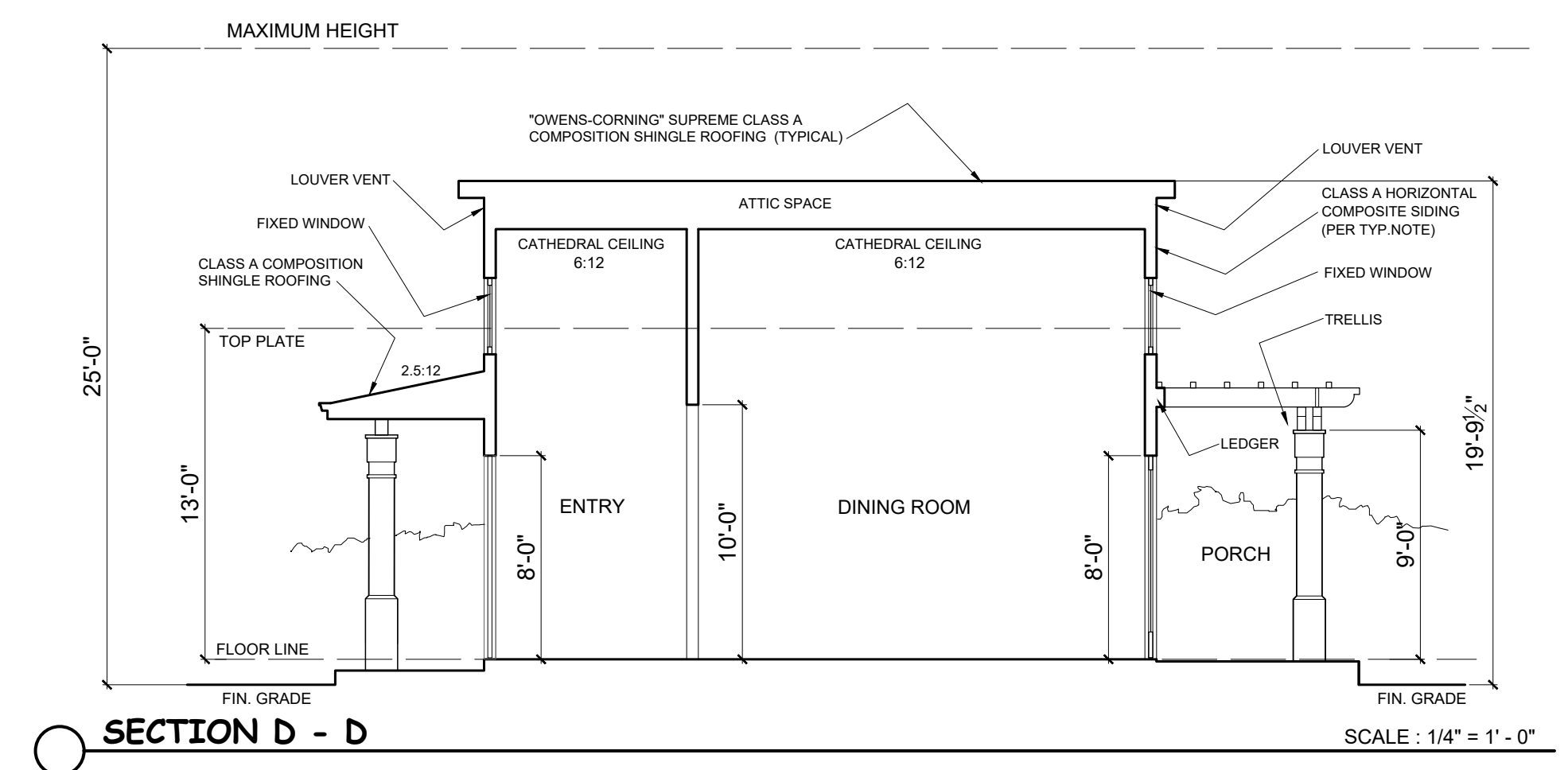
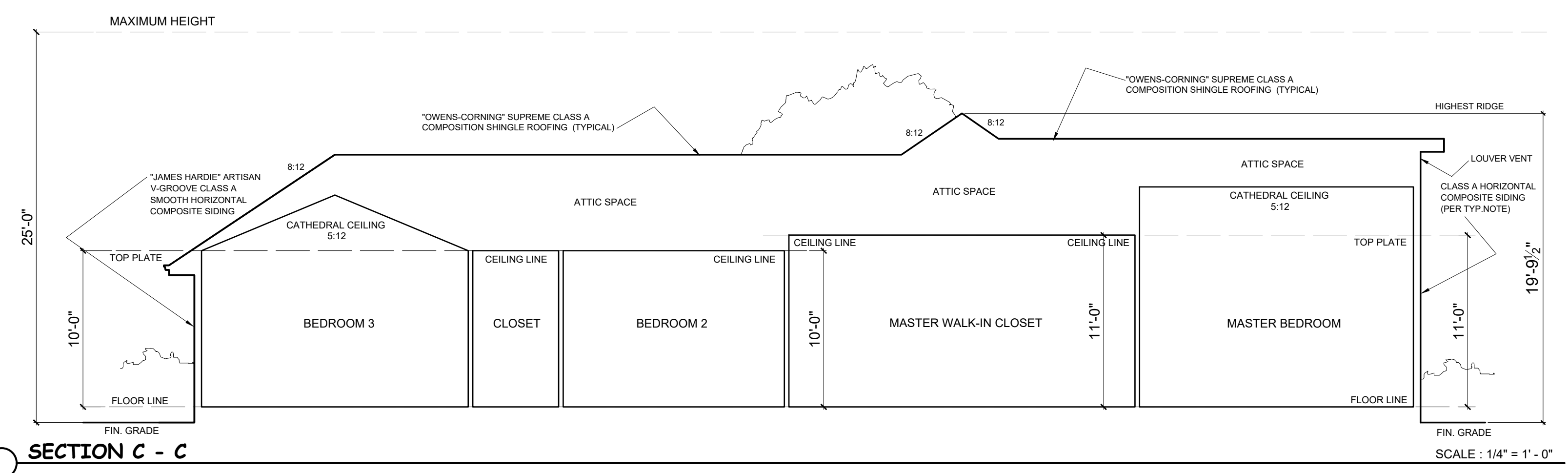
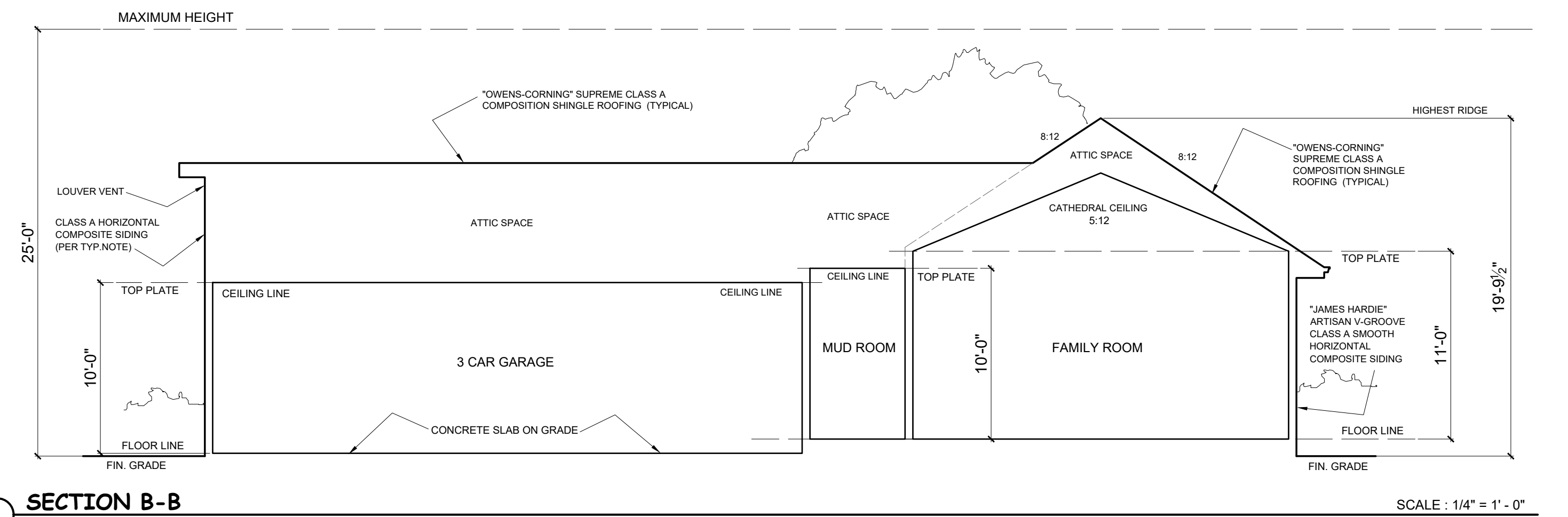
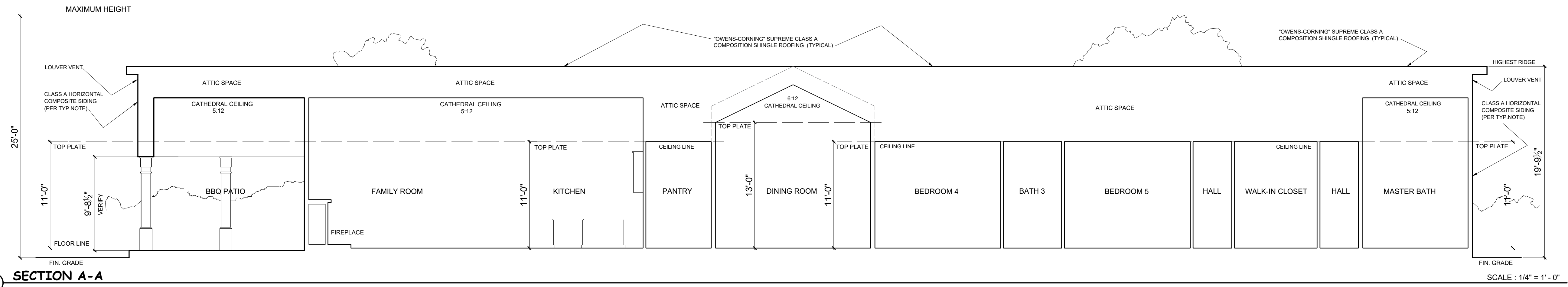


NEW RESIDENCE FOR  
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 PLEASANTON, CA 94566

DATE	5/5/18
BY	SSS
DATE	MARCH 28, 2019
BY	AS NOTED
PROJECT	NRR - 0319
SCALE	

**A4**

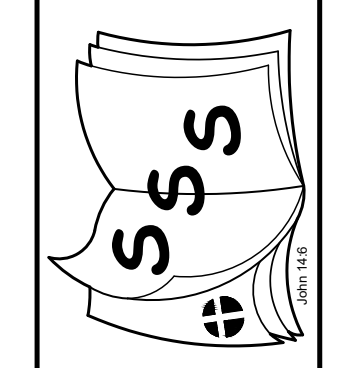




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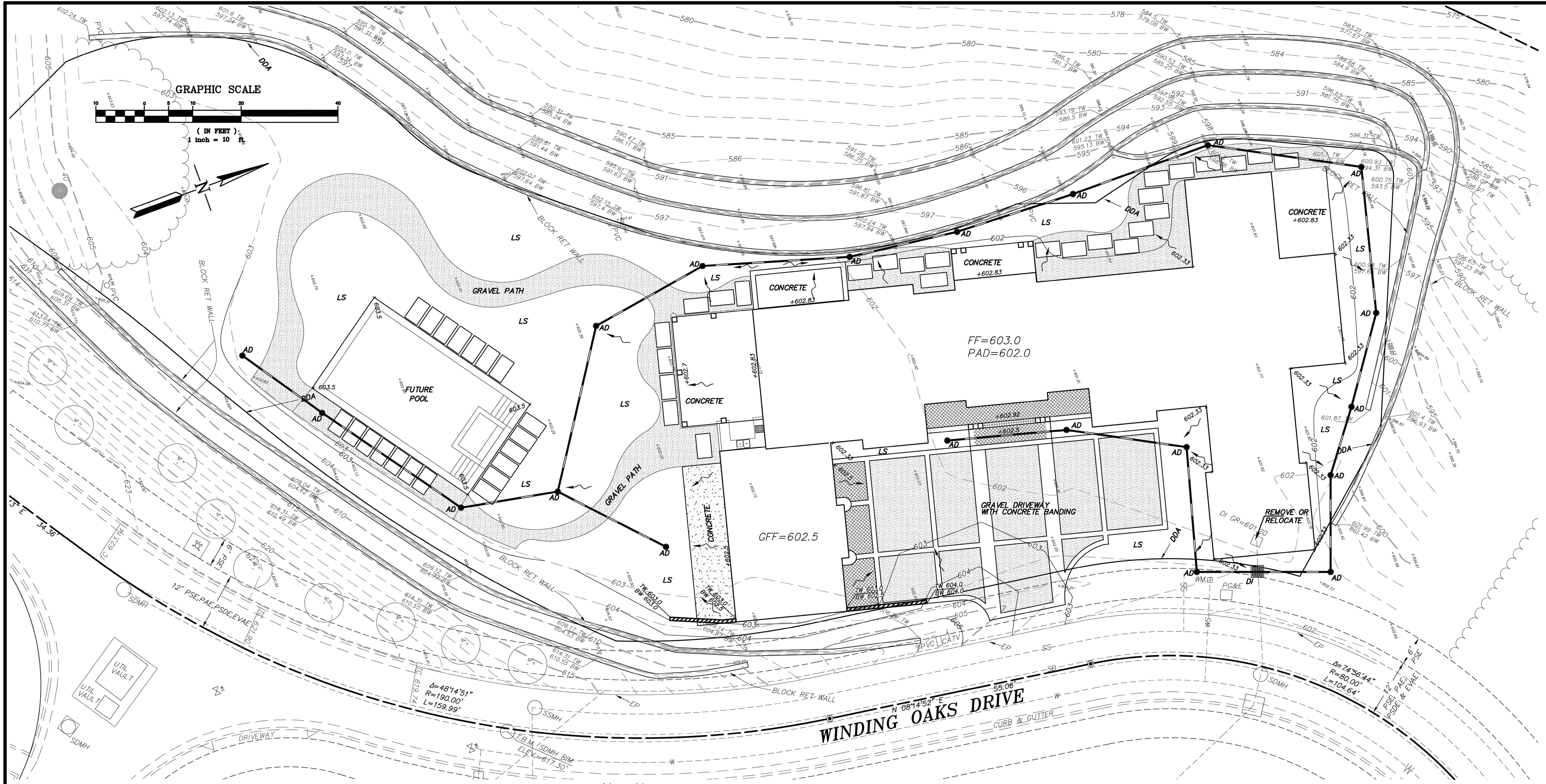
DESIGN & DOCUMENTATION BY  
**S. S. SANTOS**  
 PO Box 38, Mountain View, CA 94042  
 Office 650.946.1842, Cell 650.796.7159  
 EMAIL: S.S.SANTOS@SSSDSIGN.COM  
 WEB: WWW.SSSDESIGNS.COM



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 6 WINDING OAK DRIVE  
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DRAWN BY	SS / RM
CHECKED BY	SSS
DATE	MARCH 28, 2019
SCALE	AS NOTED
JOB NUMBER	NRR - 0319
SHEET	

**A6**



**GRADING NOTES:**

- ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
- ALL DOWNSPOUTS SHALL HAVE A MINIMUM 3" DIAMETER SOLID DRAIN LINES AND SHALL CONNECT TO THE STORM DRAIN SYSTEM.
- SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE FOR: 5% MIN. FOR 5' MIN. (NATIVE SOIL OR LANDSCAPED AREAS) 2% MIN. FOR 5' MIN. (PAVED SURFACES)
- SURFACE WATER SWALES SHALL HAVE A 1% MINIMUM SLOPE AND BE CONVEYED TO AREA DRAINS.
- AREA DRAINS SHALL HAVE A MINIMUM 6 INCHES DIAMETER GRATE OPENING.
- ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
- ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS, NOT THROUGH THEM. ANY SUBDRAINS PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PIERS AND/OR GRADE BEAMS.
- WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
- ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-FLEXIBLE PVC PIPE. PERFORATED PIPE SHALL BE USED FOR SUBDRAINS ONLY. 6" STORM DRAIN TO BE PVC SDR-35 OR APPROVED EQUAL. (SEE DETAILS)
- CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
- EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 15 IF WORK CONTINUES INTO THE RAINY SEASON.
- THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.

- THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
  - THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPOUTS, AND DRAINAGE SWALES.
- HAUL ROUTE**
- ACCESS TO THE DEVELOPMENT BY CONSTRUCTION EQUIPMENT, MATERIAL DELIVERIES AND OTHER HEAVY LOADS SHALL BE LIMITED BY THE DEVELOPER TO THE FOLLOWING ROUTE: STANLEY BLVD, BERNAL AVE., VINEYARD AVE.
- WORK HOURS**
- WORK HOURS SHALL BE LIMITED TO: 8:00 AM - 5:00 PM MONDAY THRU FRIDAY. NO CONSTRUCTION SHALL BE ALLOWED ON STATE AND FEDERAL HOLIDAYS OR SATURDAYS OR SUNDAYS.
- EXCESS SOIL**
- EXCESS SOIL FROM THE SITE SHALL BE OFF-HAULED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. NO TEMPORARY STOCKPILING OF DIRT ON THIS SITE SHALL OCCUR WITHOUT SPECIFIC REVIEW AND APPROVAL BY THE PLANNING DIVISION.

**BASIS OF BEARINGS**

THE BEARINGS SHOWN HEREON WERE BASED ON TRACT 7815 (301' M 5), ALAMEDA COUNTY RECORDS.

**BASIS OF ELEVATIONS**

THE ELEVATIONS SHOWN HEREON WERE BASED ON THE IMPROVEMENT PLANS FOR TRACT 7815.

The Following (a) and (b) shall be provided to the building inspector before and foundation inspection will be performed. Item (c) shall be provided before the shear and roof inspection. Item (d) shall be provided before a frame inspection will be performed.

- A Licensed Land Surveyor must verify building setbacks to property lines and also pad elevation(s). This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.
- When Fill is employed under the building a soils engineer must verify pad compaction. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.
- A Licensed Land Surveyor must verify finish floor elevations. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of shear and roof inspection.
- A Licensed Land Surveyor must verify the highest elevation of the highest point of any roof ridge of roof projection. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of frame inspection.

**NOTES:**

ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, NOT FIELD LOCATED.

IMPERMEABLE AREA = 8,736 SQ FT

PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.

SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION THIS PLAN IS INTENDED FOR GRADING AND DRAINAGE

**LEGEND**

- DRAINAGE ARROW INDICATES DIRECTION OF DRAINAGE
- STORM DRAIN
- PERIMETER DRAIN
- 100 — EX CONTOUR
- 100 — NEW CONTOUR
- SWALE
- PROPERTY LINE

**ABBREVIATIONS**

- AD AREA DRAIN
- CO CLEAN-OUT
- DI DRAIN INLET (HANSON P18 OR EQUAL)
- BW FINISHED GRADE AT BOTTOM OF RETAINING WALL
- FF FINISHED FLOOR
- FL FLOWLINE
- FG FINISHED GRADE
- FS FINISHED SURFACE
- GR TOP OF GRATE
- HP HIGHPOINT
- INV INVERT
- GFF GARAGE FINISHED FLOOR
- LS LANDSCAPED AREA
- PA PLANTER AREA
- SWI STORM WATER INLET
- TC TOP OF CURB
- TG TOP OF GRATE
- TW FINISHED GRADE AT TOP OF RETAINING WALL

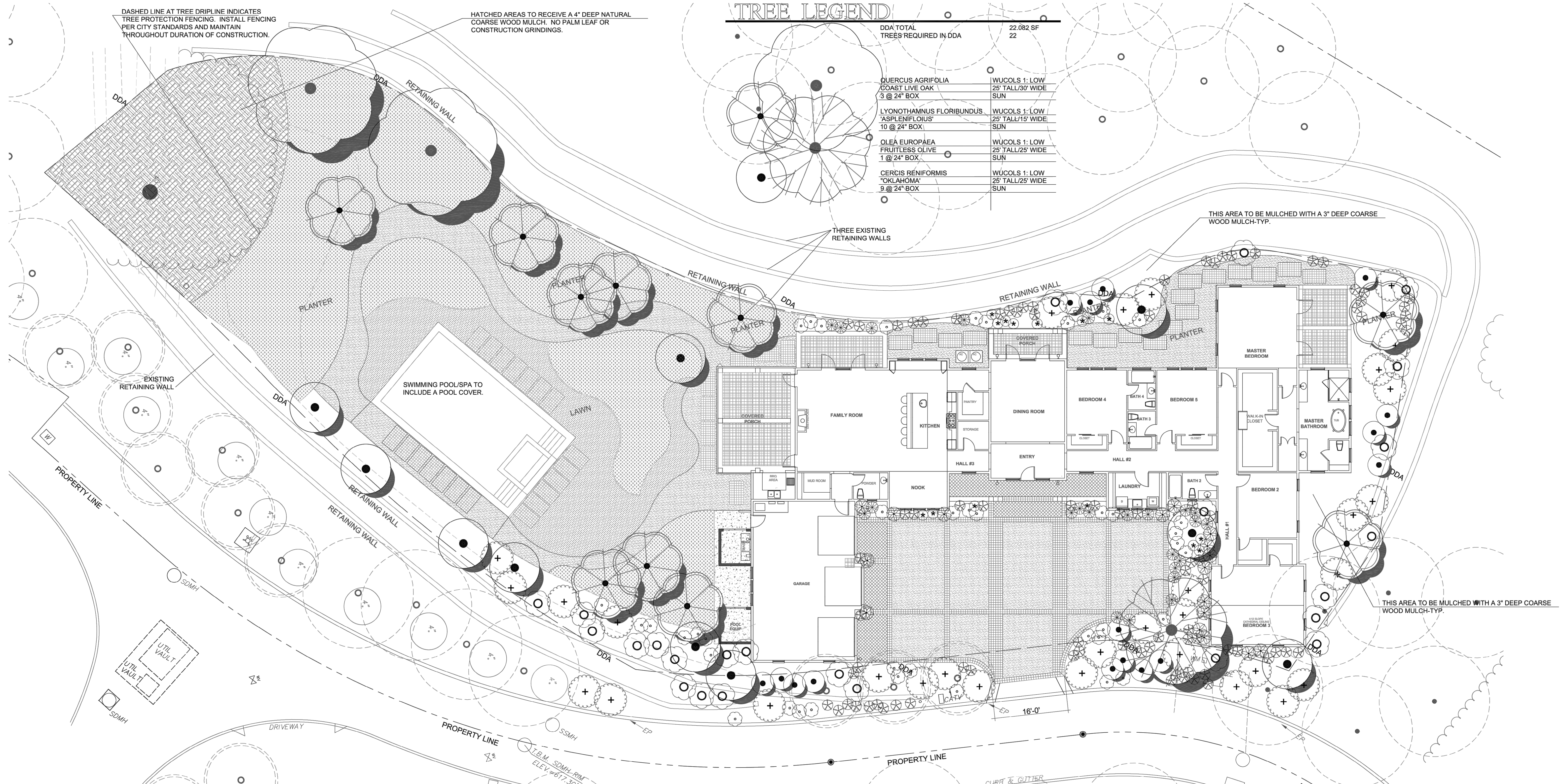


PROJECT NAME <b>GRADING AND DRAINAGE PLAN          LOT 6 TRACT 7815          CITY OF PLEASANTON          ALAMEDA COUNTY, CALIFORNIA</b>	SURVEYORS <b>ALEXANDER &amp; ASSOCIATES INC.</b> PLANNERS 147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA (925) 468-8255	DRAWN BY: DESIGNED BY: CHECKED BY: SCALE: 1"=10'	SHEET NO.: <b>C1</b> OF 1 SHEETS	USK NO.: 15158 FILE NO.: 15158 DATE: 2-26-19	REVISIONS NO. BY DATE
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# TREE LEGEND

DDA TOTAL TREES REQUIRED IN DDA	22,082 SF 22
QUERCUS AGRIFOLIA COAST LIVE OAK 3 @ 24" BOX	WUCOLS 1: LOW 25' TALL/30" WIDE SUN
LYONOTHAMNUS FLORIBUNDUS 'ASPLENIFOLIUS' 10 @ 24" BOX	WUCOLS 1: LOW 25' TALL/15" WIDE SUN
OLEA EUROPAEA FRUITLESS OLIVE 1 @ 24" BOX	WUCOLS 1: LOW 25' TALL/25" WIDE SUN
CERDIS RENIFORMIS 'OKLAHOMA' 9 @ 24" BOX	WUCOLS 1: LOW 25' TALL/25" WIDE SUN



DASHED LINE AT TREE DRIPLINE INDICATES TREE PROTECTION FENCING. INSTALL FENCING PER CITY STANDARDS AND MAINTAIN THROUGHOUT DURATION OF CONSTRUCTION.

HATCHED AREAS TO RECEIVE A 4" DEEP NATURAL COARSE WOOD MULCH. NO PALM LEAF OR CONSTRUCTION GRINDINGS.

THIS AREA TO BE MULCHED WITH A 3" DEEP COARSE WOOD MULCH-TYP.

THIS AREA TO BE MULCHED WITH A 3" DEEP COARSE WOOD MULCH-TYP.

## MATERIAL SCHEDULE

<b>FRONT YARD</b>	<b>REAR YARD</b>
DRIVEWAY FIELDS: BLACK BASALT D.G.	GRAVEL PATHS: BLACK BASALT D.G.
DRIVEWAY BANDS: OLD CARBONDALE, SELECTED BY OWNER	STEPPING PADS: OLD CARBONDALE, SELECTED BY OWNER
ENTRY STEPS: OLD CARBONDALE, SELECTED BY OWNER	POOL/SPA COPING: SCOFIELD SG237-2 CORONADO BUFF COLOR CONCRETE, OR SIMILAR PRE-CAST MODULAR CONCRETE
ENTRY LANDING: OLD CARBONDALE, SELECTED BY OWNER	PATIO FIELDS: OLD CARBONDALE, SELECTED BY OWNER
OUTDOOR LIGHTING NOT PROPOSED AT THIS TIME. OWNER TO SUBMIT LIGHTING PLAN WHEN NECESSARY.	PATIO BORDER: SCOFIELD SG237-2 CORONADO BUFF COLOR CONCRETE, OR MATCHING OLD CARBONDALE, SELECTED BY OWNER.
	BACK OF GARAGE: SCOFIELD SG237-2 CORONADO BUFF COLOR CONCRETE.



## SHRUB & GROUND COVER LEGEND

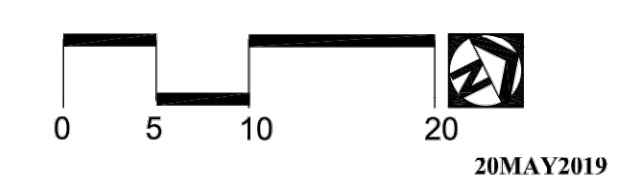
CISTUS LADANIFER 'CRIMSON SPOT ROCK ROSE' 5-GAL.	WUCOLS 1: LOW 4' TALL/5" WIDE SUN	LOMANDRA LONGIFOLIA 'BREEZE' 5-GAL.	WUCOLS 1: LOW 30" TALL/30" WIDE SUN	NATIVE BENTGRASS	WUCOLS 1: MED CLIPPED LAWN
CISTUS PULVERULINTUS 'SUNSET' 5-GAL.	WUCOLS 1: LOW 2' TALL/6" WIDE SUN	BERBERIS THUNBERGII 'CRIMSON PIGMY' 5-GAL.	WUCOLS 1: MED 2' TALL/2" WIDE SUN	SOD	SUN
HELIANTHEMUM SP. 'WISLY PINK' 5-GAL.	WUCOLS 1: LOW 2' TALL/3" WIDE SUN	VIBERNUM SP. 'SUMMER SNOWFLAKE' 5-GAL.	WUCOLS 1: LOW 5' TALL/5" WIDE SUN	1 - 1/2" DEEP LAYER OF BLACK BASALT D.G./GRAVEL. TOP OF GRAVEL FLUSH WITH EDGES. REDWOOD BENDERBOARD EDGING-TYP.	
NANDINA SP. 'GULF STREAM' 5-GAL.	WUCOLS 1: LOW 5' TALL/2" WIDE SUN	OLEA EUROPAEA FRUITLESS OLIVE 24" BOX	WUCOLS 1: LOW 25' TALL/25" WIDE SUN	3" DEEP LAYER OF REDWOOD, CEDAR, PINE MULCH. 1" DEEP 24" FROM OAK TRUNK.	
NANDINA DOMESTICA 'FIRE POWER' 5-GAL.	WUCOLS 1: LOW 2' TALL/2" WIDE SUN	ACHILLEA TOMENTOSA WHOLLY YARROW FLATS @ 8" O.C.	WUCOLS 1: LOW 6" TALL/SPREADING SUN		

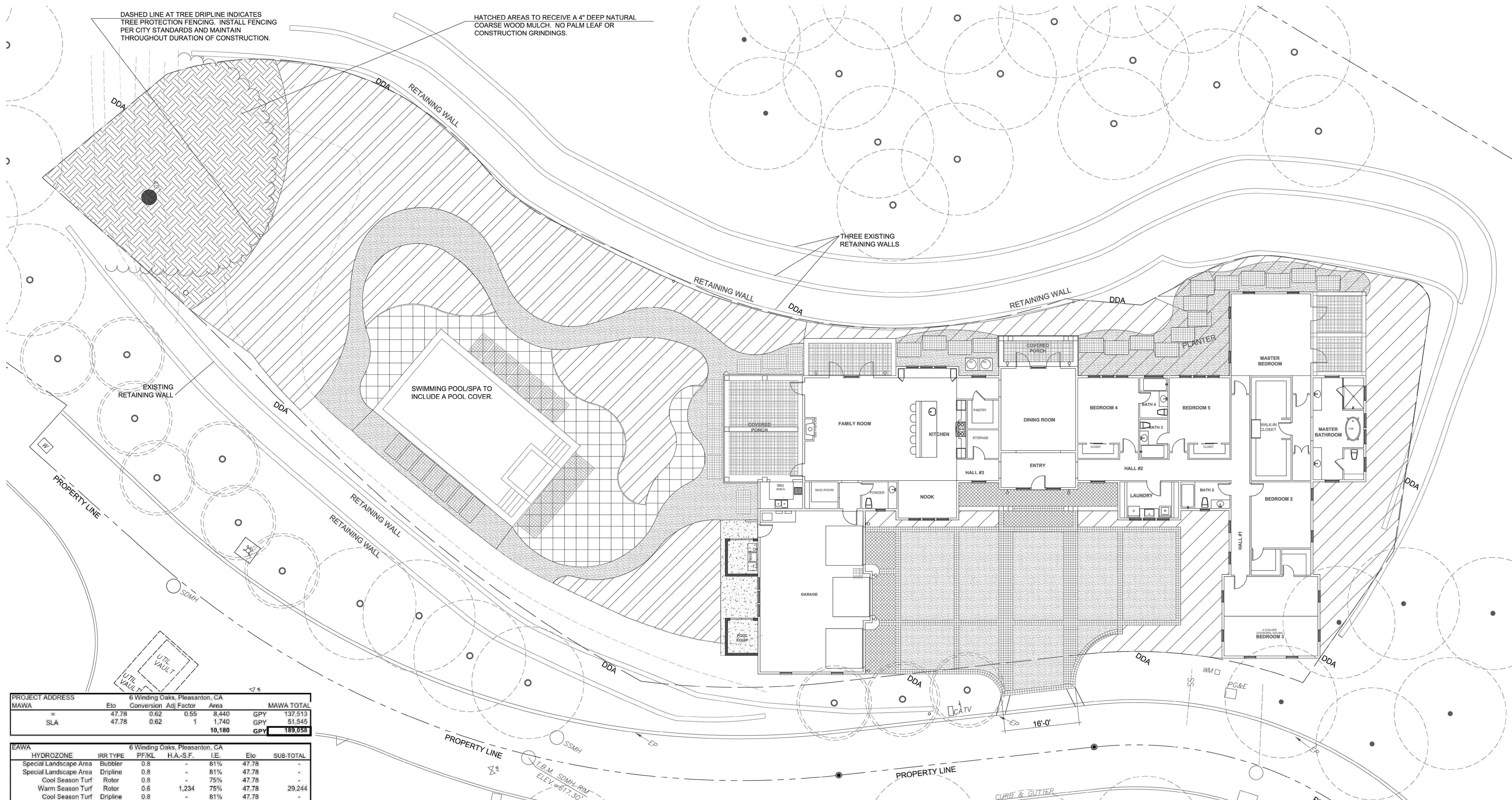
THE LANDSCAPE PLANS WILL BE IN COMPLIANCE WITH PLEASANTON'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO).

# RAYMER RESIDENCE - 6 WINDING OAKS DRIVE, PLEASANTON, CA

## PRELIMINARY LANDSCAPE PLAN

AREA SHOWN ON THIS PLAN IS THE DDA AREA ONLY. THE ENTIRE LOT IS NOT SHOWN.





PROJECT ADDRESS 6 Winding Oaks, Pleasanton, CA					
MAWA	Elo	Conversion Adj Factor	Area	MAWA TOTAL	
=	47.78	0.62	0.55	8,440	GPY 137,513
SLA	47.78	0.62	1	1,740	GPY 51,545
			<b>10,180</b>		<b>GPY 189,058</b>

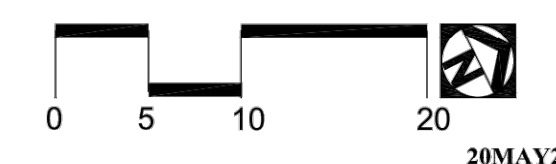
EAWA 6 Winding Oaks, Pleasanton, CA							
HYDROZONE	IRR TYPE	PF/KL	H.A.-S.F.	I.E.	Elo	SUB-TOTAL	
Special Landscape Area	Bubbler	0.8	-	81%	47.78	-	
Special Landscape Area	Dripline	0.8	-	81%	47.78	-	
Cool Season Turf	Rotor	0.8	-	75%	47.78	-	
Warm Season Turf	Rotor	0.6	1,234	75%	47.78	29,244	
Cool Season Turf	Dripline	0.8	-	81%	47.78	-	
Warm Season Turf	Dripline	0.4	-	81%	47.78	-	
Cool Season Turf	Rotary	0.8	-	75%	47.78	-	
Warm Season Turf	Rotary	0.6	-	75%	47.78	-	
Cool Season Turf	Spray	0.8	-	75%	47.78	-	
Warm Season Turf	Spray	0.6	-	75%	47.78	-	
High Water Use T/S/GC	Rotary	0.7	-	75%	47.78	-	
Med Water Use T/S/GC	Rotary	0.5	-	75%	47.78	-	
Low Water Use T/S/GC	Rotary	0.3	4,253	75%	47.78	50,396	
V Low Water Use T/S/GC	Rotary	0.2	-	75%	47.78	-	
High Water Use T/S/GC	Dripline	0.7	-	81%	47.78	-	
Med Water Use T/S/GC	Dripline	0.5	-	81%	47.78	-	
Low Water Use T/S/GC	Dripline	0.3	-	81%	47.78	-	
V Low Water Use T/S/GC	Dripline	0.2	-	81%	47.78	-	
High Water Use T/S/GC	Bubbler	0.7	-	81%	47.78	-	
Med Water Use T/S/GC	Bubbler	0.5	-	81%	47.78	-	
Low Water Use T/S/GC	Bubbler	0.3	2,253	81%	47.78	24,719	
V Low Water Use T/S/GC	Bubbler	0.2	-	81%	47.78	-	
POOL/SPA		1	700	81%	47.78	25,601	
Other		0.3	1,740	81%	47.78	19,091	
						<b>10,180 ANNUAL EWU-GAL.</b>	<b>149,051</b>

	LAWN	1,234 SF		NATIVE NON-IRRIGATED	1,740 SF
	SHRUBS/TREES-BUBBLER	2,253 SF		POOL/SPA	700 SF
	GROUND COVER-DRIP	4,253 SF		TOTAL LANDSCAPE	10,180 SF

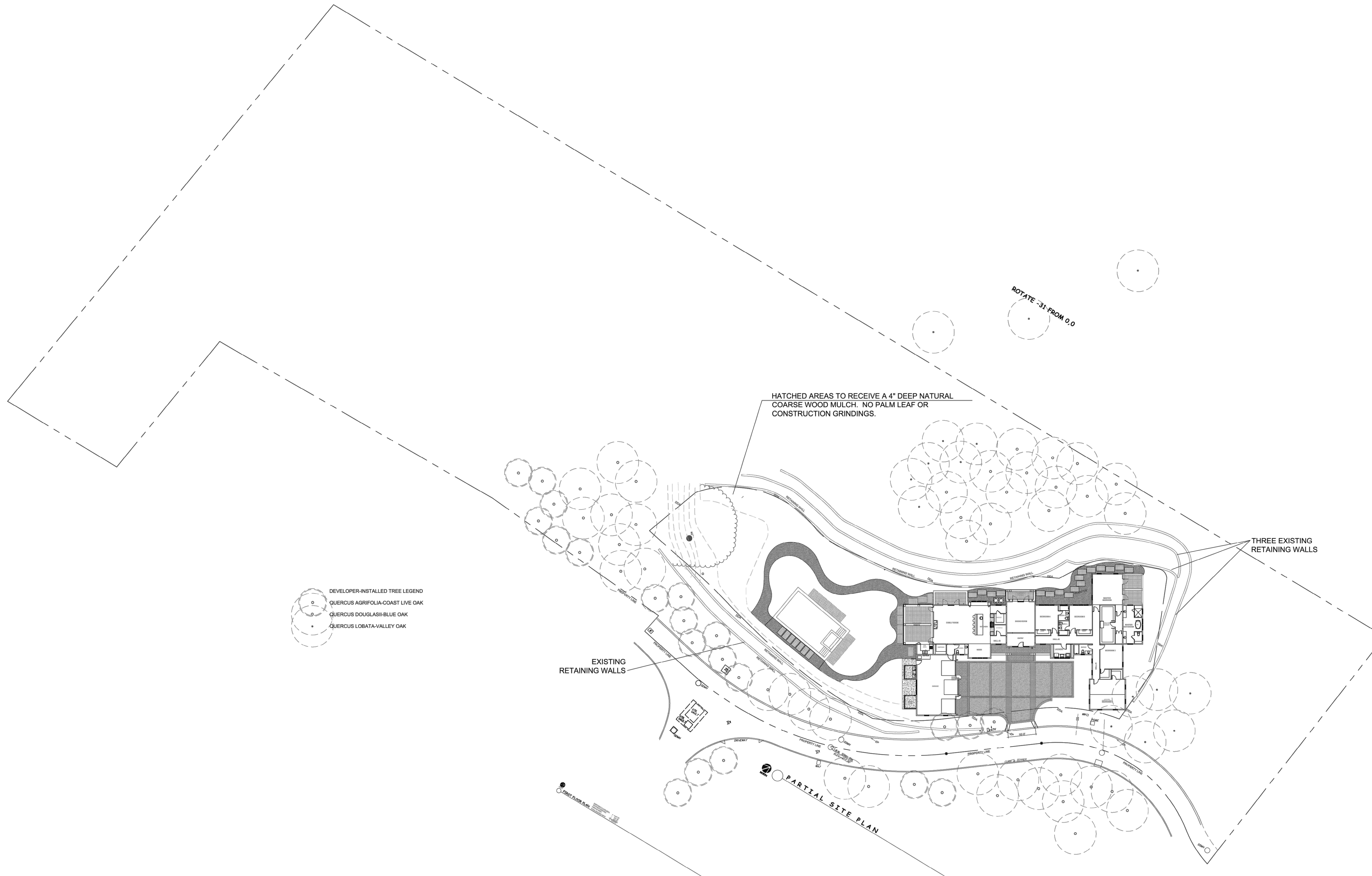
HYDRO-ZONE LEGEND

MWELO COMPLIANCE  
 RAYMER RESIDENCE - 6 WINDING OAKS DRIVE, PLEASANTON, CA  
 PRELIMINARY LANDSCAPE PLAN

AREA SHOWN ON THIS PLAN IS THE DDA AREA ONLY.  
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L-1.02

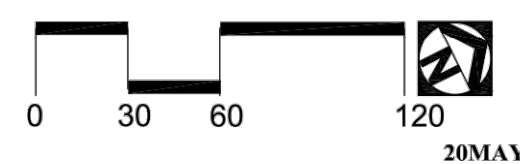


DEVELOPER-INSTALLED TREE LEGEND  
 QUERCUS AGRIFOLIA-COAST LIVE OAK  
 QUERCUS DOUGLASHII-BLUE OAK  
 QUERCUS LOBATA-VALLEY OAK

DEVELOPER-INSTALLED  
 TREE LEGEND

DEVELOPER-INSTALLED TREE LEGEND  
 QUERCUS AGRIFOLIA-COAST LIVE OAK  
 QUERCUS DOUGLASHII-BLUE OAK  
 QUERCUS LOBATA-VALLEY OAK

EXISTING TREE LOCATION - DEVELOPER INSTALLED  
 RAYMIER RESIDENCE - 6 WINDING OAKS DRIVE, PLEASANTON, CA  
 PRELIMINARY LANDSCAPE PLAN



L-1.03



PROJECT SITE  
BEHIND TREE LINE

LOT 7 -  
JOHNSTON  
RESIDENCE

LOT 6 -  
RAYMER  
RESIDENCE