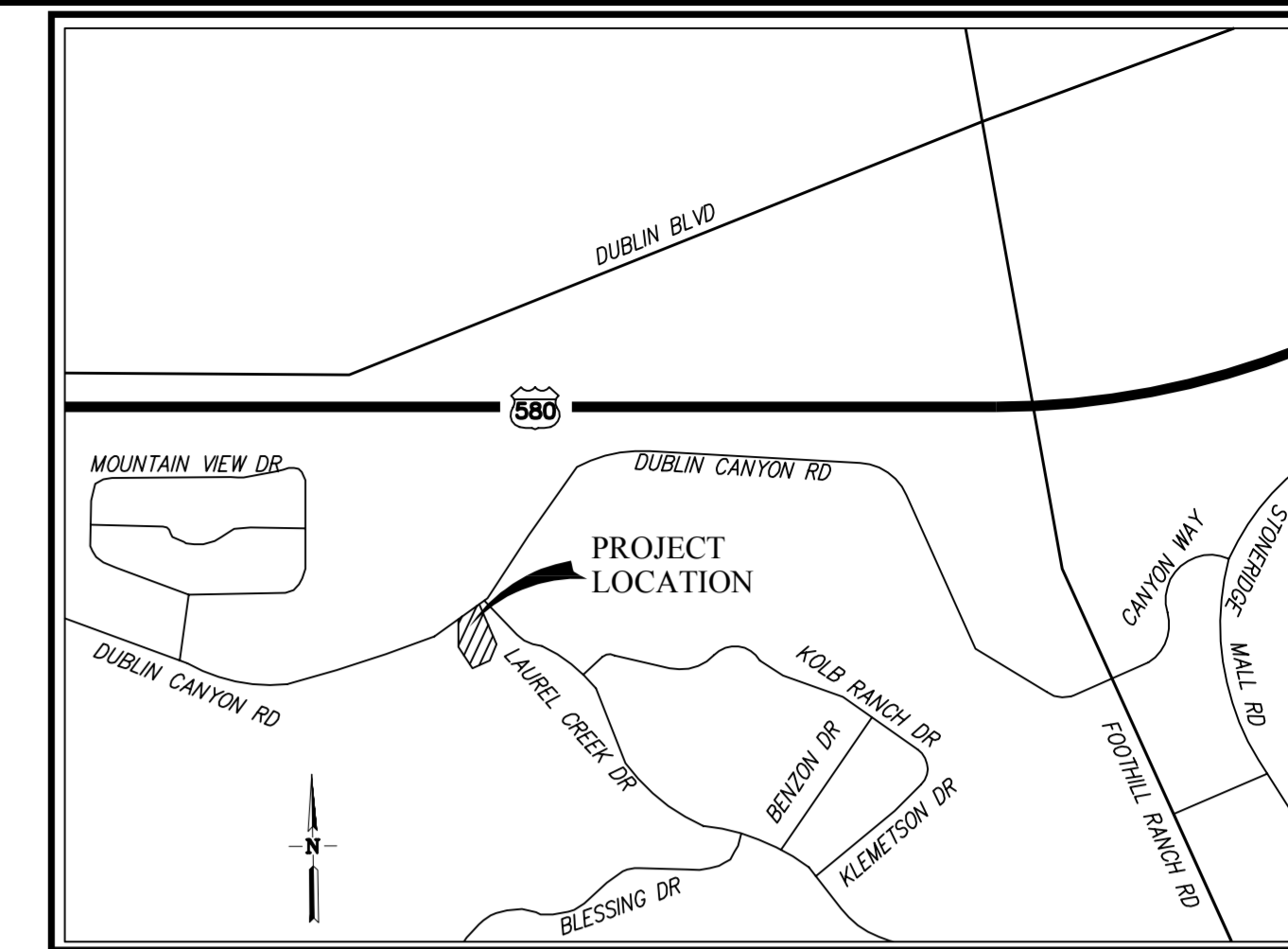


PLANNED UNIT DEVELOPMENT

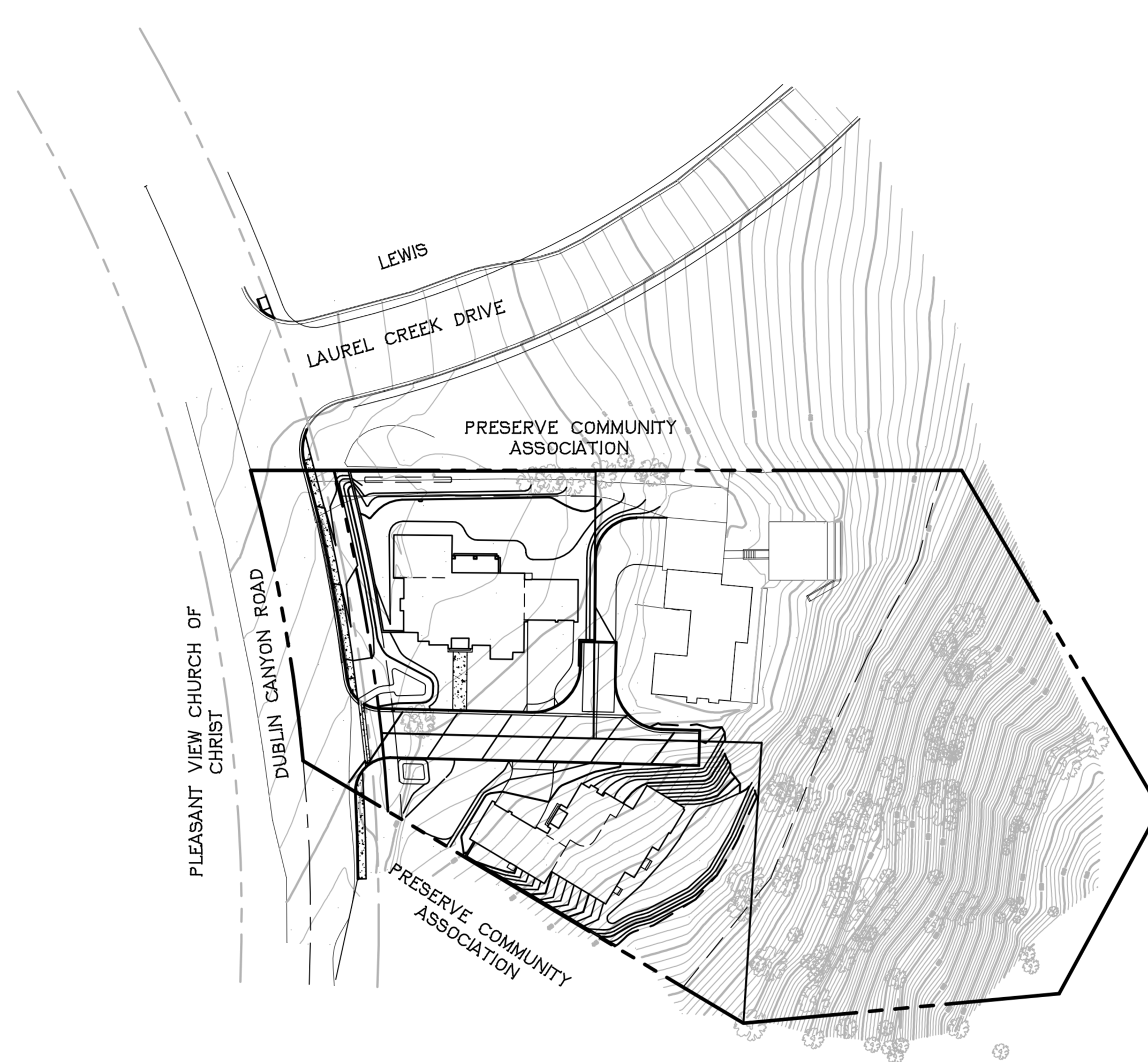
11249 DUBLIN CANYON ROAD

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	CENTER LINE	---
---	MATCH LINE	---
---	RETAINING WALL	---
---	EASEMENT LINE	---
12"SD	STORM DRAIN	EX 12"SD
8"SS	SANITARY SEWER	EX 8"SS
8"W	WATER	EX 8"W
8"W(R)	RECYCLED WATER	EX 8"W(R)
---	CURB & GUTTER	EX FC
---	SIDEWALK	---
---	OVERHEAD UTILITIES	OH
+	JOINT POLE	+
~>	EARTH OR GRASS SWALE	---
---	CONCRETE DITCH	---
■	STORM WATER INLET	□
⊙	FIELD INLET	□
⊙	AREA DRAIN	---
▲	DIRECTION OF FLOW	○
●	MANHOLE	○
●	FIRE HYDRANT	○
○	BLOW OFF	○
○	SANITARY SEWER CLEAN OUT	○
○	WATER VALVE	○
○	STREET LIGHT	○
○	MONUMENT	○
+	TRAFFIC SIGN	+
+	STREET NAME SIGN	+
-x-x-x-x-x-	FENCE	-x-x-x-x-x-
---	BARRICADE	---
---	SLOPE	---
---	HANDICAP RAMP	---
---	SAVE TREE	1947
---	REMOVE TREE	1945
1.30	CONTOUR ELEVATIONS	1.30
x 525.2	SPOT ELEVATION	+525.2
---	ASPHALT PAVEMENT	---
---	BIORETENTION AREA	---
○	LIFT STATION	---
---	DIRECTION OF FUTURE FLOW	---
---	COBBLE	---



SHEET INDEX

SHEET NO.	DESCRIPTION
PLANNING, ENGINEERING	
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	EXISTING CONDITIONS
4	SLOPE CLASSIFICATION MAP
5	EXISTING TREES PLAN

ARCHITECTURE

1.1	1.1 LOT 1 FLOOR PLAN
1.2	1.2 LOT 1 ROOF PLAN
1.3	1.3 LOT 1 EXTERIOR ELEVATIONS
1.4	1.4 LOT 1 EXTERIOR ELEVATIONS
3.1	3.1 LOT 3 LOWER FLOOR PLAN
3.2	3.2 LOT 3 UPPER FLOOR PLAN
3.3	3.3 LOT 3 ROOF PLAN
3.4	3.4 LOT 3 EXTERIOR ELEVATIONS
3.5	3.5 LOT 3 EXTERIOR ELEVATIONS
D1	ARCHITECTURAL DETAILS

LANDSCAPE ARCHITECTURE

L1	PRELIMINARY LANDSCAPE PLAN
L2	PRELIMINARY MATERIALS & PALETTE

ABBREVIATIONS

AB	AGGREGATE BASE	LE	LANDSCAPE EASEMENT
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	ME	MAINTENANCE EASEMENT
BC	BEGINNING OF CURVE	MH	MANHOLE
BFE	BASE FLOOD ELEVATION (FEMA)	OH	OVERHEAD UTILITIES
BMP	BEST MANAGEMENT PRACTICE	PAE	PRIVATE ACCESS EASEMENT
BO	BLOW OFF	PCC	POINT OF COMPOUND CURVE
BVC	BEGIN VERTICAL CURVE	PL	PROPERTY LINE
BW	BOTTOM OF WALL	PRC	POINT OF REVERSE CURVE
CL	CENTER LINE	PSDE	PRIVATE STORM DRAIN EASEMENT
CMP	CORRUGATED METAL PIPE	PSE	PUBLIC SERVICE EASEMENT
CP	CENTER POINT	PVC	POLYVINYL CHLORIDE PIPE
DWY	DRIVEWAY	PVI	POINT OF VERTICAL INTERSECTION
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
EC	END OF CURVE	RET	CURB RETURN
ESMT	EASEMENT	RW	RIGHT OF WAY
EVC	END VERTICAL CURVE	SDE	STORM DRAIN EASEMENT (PUBLIC)
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SNS	STREET NAME SIGN
EX	EXISTING	SO	SIDE OPENING INVERT
FC	FACE OF CURB	SSCO	SANITARY SEWER CLEAN OUT
FG	FINISHED GRADE	STA	STATION
FH	FIRE HYDRANT	SWI	STORM WATER INLET
FI	FIELD INLET	SWK	SIDEWALK
FL	FLOW LINE	TC	TOP OF CURB
FS	FINISH SURFACE	TW	TOP OF WALL
GB	GRADE BREAK	WM	WATER METER
GR	GRATE	VC	VERTICAL CURVE
HP	HIGH POINT	VCP	VITRIFIED CLAY PIPE
INV	INVERT ELEVATION		
JP	JOINT POLE		

PROJECT TEAM

Applicant

Valley Capitol Realty,
7080 Donlon Way, Suite 208
Dublin, CA 94568
Contact: Guy Houston
(925) 828-4254

Civil Engineering & Planning

Ruggeri-Jensen-Azar
4690 Chabot Drive, Suite 200
Pleasanton, CA 94568
Contact: Mark Falgout
(925) 227-9100

Landscape Architecture

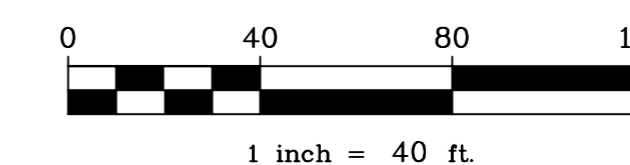
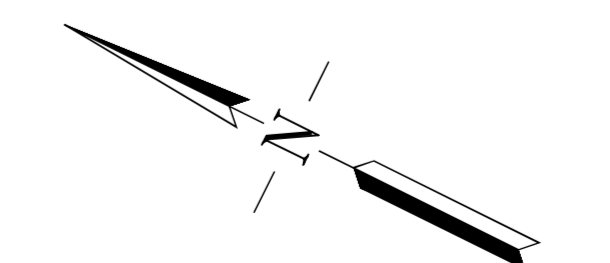
Dutchover & Associates
1233 Quarry Lane, Suite 115
Pleasanton, CA 94568
Contact: Brian Dutchover
(925) 462-3576

Architecture

Terry Townsend
147 Old Bernal Avenue, Suite 6
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Contact: Terry Townsend
(925) 484-5438

Soils Engineer

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6743 Dublin Boulevard, Suite 15
Dublin, CA 94568
Contact: Dewey Nicholas
(925) 829-8090



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ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94568
PHONE: (925) 227-9100 FAX: (925) 227-9300

SITE SUMMARY

NUMBER OF NEW UNITS:	2
DEVELOPED ACRES (LOTS 1 & 3 AND STREETS)	1.07 ACRES
TOTAL ACRES	1.07 ACRES

GROSS DENSITY = DWELLING UNITS/DEVELOPED ACRES
(DEVELOPMENT ONLY)

GROSS DENSITY = 2 UNITS/1.07 AC
= 1.87 DU/AC

NET DENSITY = # UNITS/ (TOTAL AC - STREETS)

= 2 UNITS / (1.07 - 0.15)
= 2.17 DU/AC

PARKING

ON STREET	4
DRIVEWAYS (2 MINIMUM PER NEW RESIDENCE)	4
GARAGE (2 PER NEW RESIDENCE)	4
TOTAL	12 TOTAL

LAND USE SUMMARY

LAND USE	UNITS	ACRES	% OF SITE
LOW DENSITY RESIDENTIAL (LDR) SINGLE FAMILY DETACHED 20,000 S.F. MINIMUM LOT SIZE	2	0.21	19.6%
ROAD EASEMENT (STREETS & SIDEWALKS)	-	0.25	23.4%
OPEN SPACE	-	0.61	57.0%
TOTAL	2	1.07	100.0%

ACCESSORY STRUCTURES

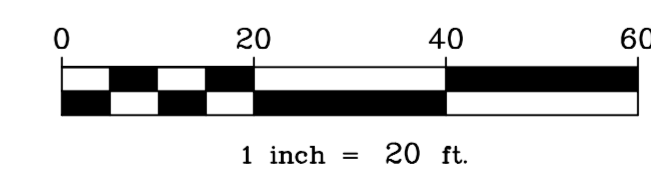
LOTS	MINIMUM SETBACK (SEE NOTES BELOW)
1-2	3' TO SIDE PL 5' TO REAR PL CLASS I IS LIMITED TO A MAXIMUM 15 FEET HEIGHT
1-2	CLASS II SHALL COMPLY WITH THE APPLICABLE CLASS II ACCESSORY STRUCTURE REGULATIONS OF CITY OF PLEASANTON ZONING ORDINANCE

NOTES:

- FRONT, SIDE, REAR YARD SETBACKS DO NOT INCLUDE MINOR ARCHITECTURAL PROJECTIONS PER CITY OF PLEASANTON ZONING ORDINANCE.
- ACCESSORY STRUCTURES EXCEEDING 10 FEET IN HEIGHT SHALL BE SUBJECT TO DESIGN REVIEW PER CITY OF PLEASANTON ZONING ORDINANCE.
- ACCESSORY STRUCTURES ON LOT 1 SHALL BE LIMITED TO THE SOUTH EAST SECTION OF THE LOT.

NOTES:

- FOR SPECIFIC BUILDING HEIGHTS, SEE ARCHITECTURAL PLANS.
- PRELIMINARY SQUARE FOOTAGES ARE APPROXIMATE.



PUD LOT SPECIFICATIONS SUMMARY

LOT	GROSS LOT SIZE (SF)	NET LOT SIZE (SF)	HOUSE MODEL MAX HEIGHT (FT)	HOUSE SIZE (SF)	GARAGE (SF)	FAR	MIN FRONT SETBACK (PORCH/HOUSE/DWY)	MIN REAR SETBACK	MIN SIDE SETBACK (INTERIOR/CORNER)
1	21,093	16,513	447	4,580	742	29%	15/20/25'	20'	10'
EX 2	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
3	22,678	18,175	463	4,503	1,289	29%	15/20/25'	20'	10'

FAR = (HOUSE SF + GARAGE SF IN EXCESS OF 600 SF) / (NET LOT SIZE SF) . MAX FAR = 30%

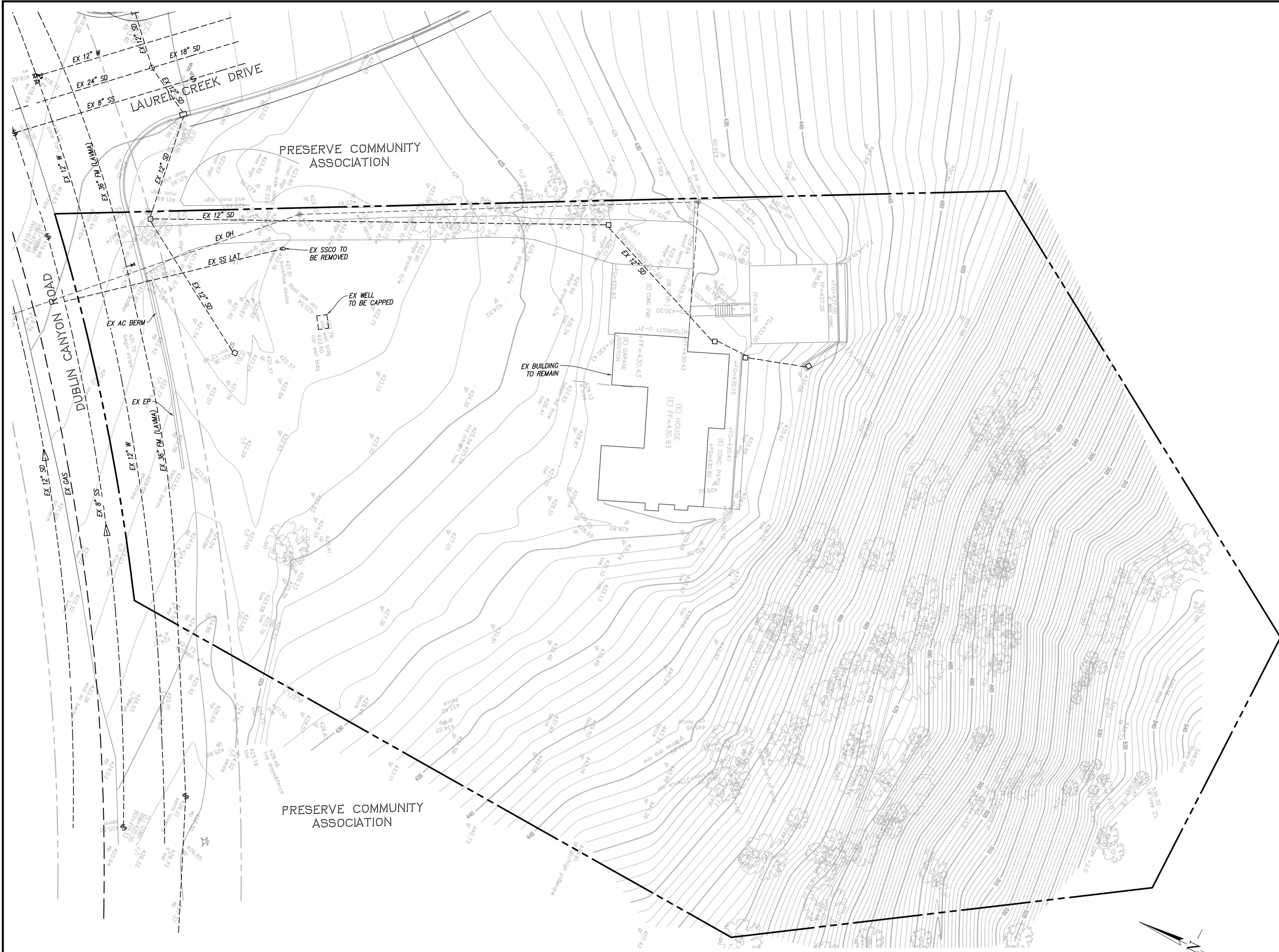
SITE DEVELOPMENT PLAN
11249 DUBLIN CANYON ROAD

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

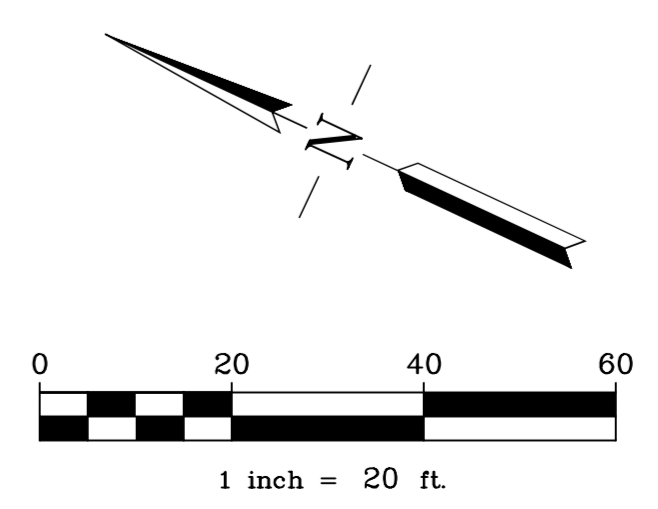


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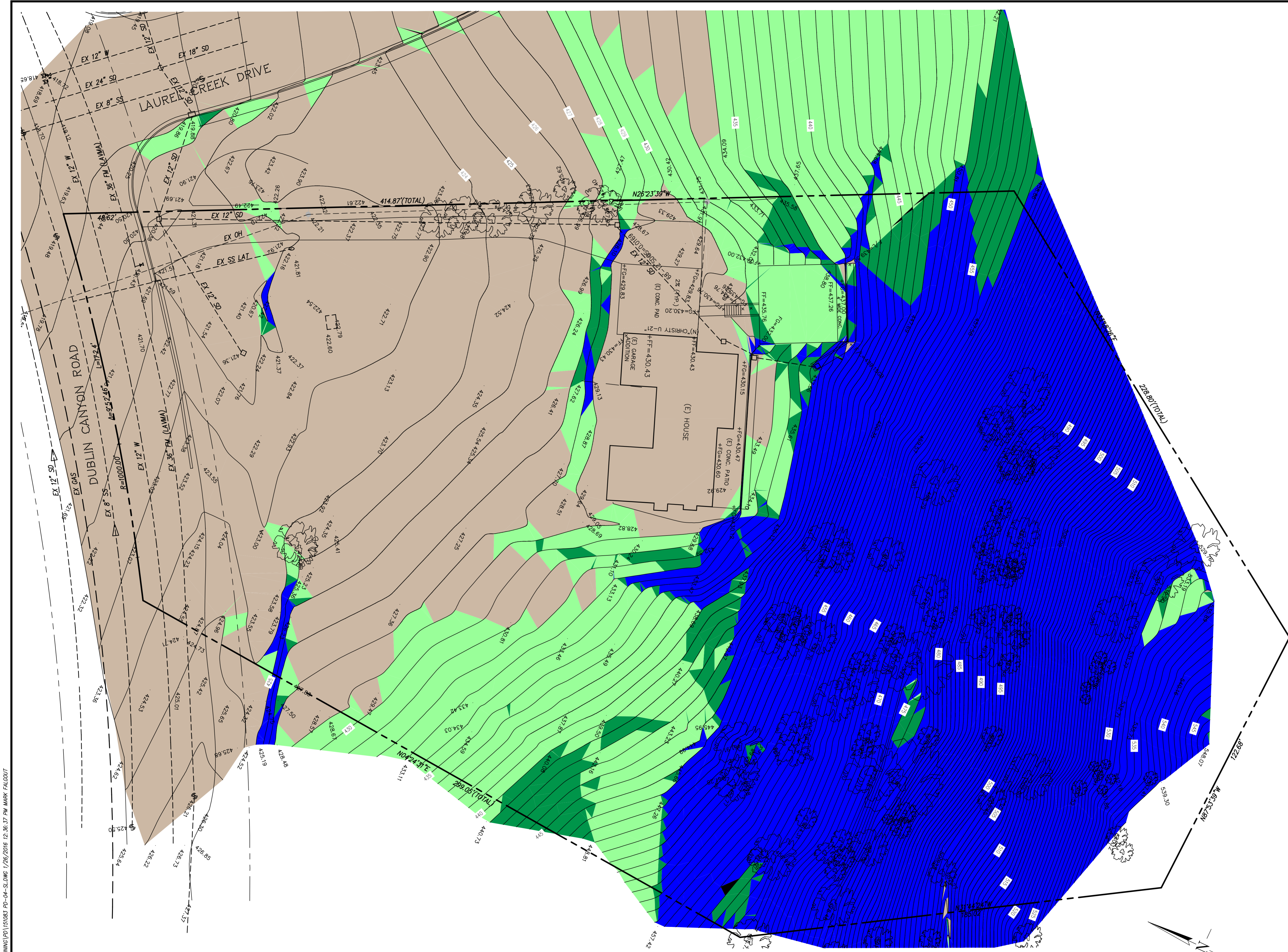
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EXISTING CONDITIONS
11249 DUBLIN CANYON ROAD
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA




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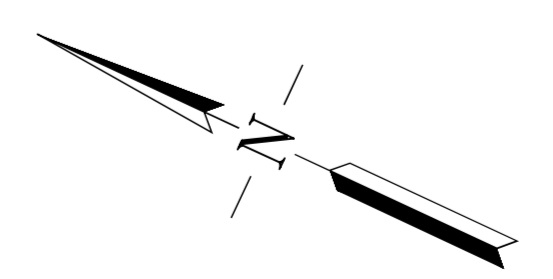
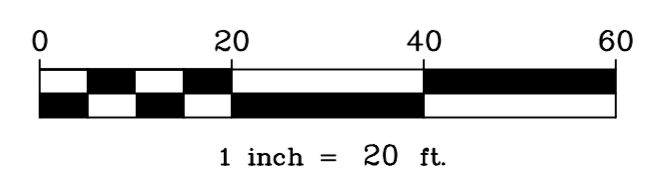


LEGEND:

	0 - 10%
	10% - 20%
	20% - 24.9%
	25%+

SLOPE CLASSIFICATION MAP
11249 DUBLIN CANYON ROAD

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



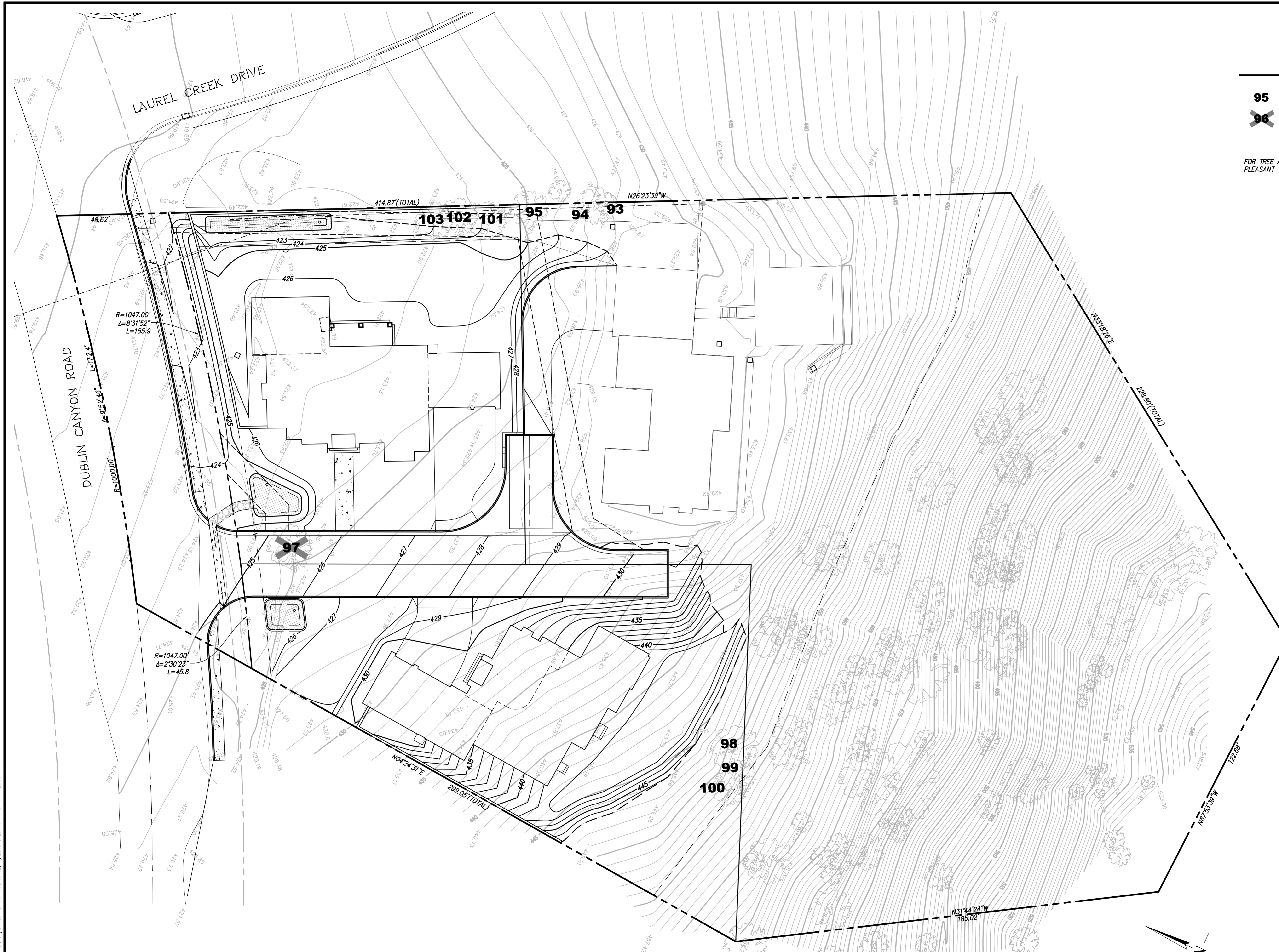
RJA
RUGGERI-JENSEN-AZAR
 ENGINEERS • PLANNERS • SURVEYORS
 4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
 PHONE: (925) 227-9100 FAX: (925) 227-9300

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LEGEND

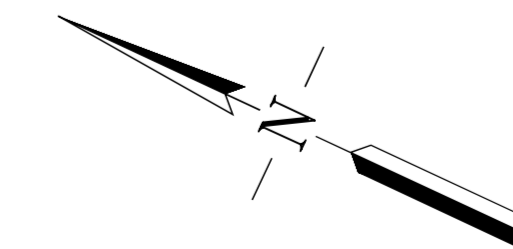
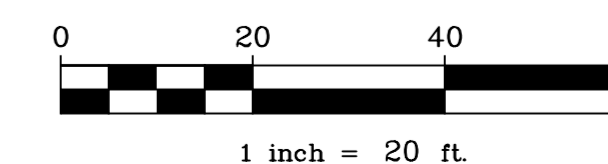
- 95** TREE TO BE SAVED
- 96** TREE TO BE REMOVED

FOR TREE ASSESSMENT, SEE THE TREE REPORT PREPARED FOR PLEASANT VIEW CHURCH SITE BY DRYAD LLC, MARCH 14, 2015.



EXISTING TREE PLAN
11249 DUBLIN CANYON ROAD

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

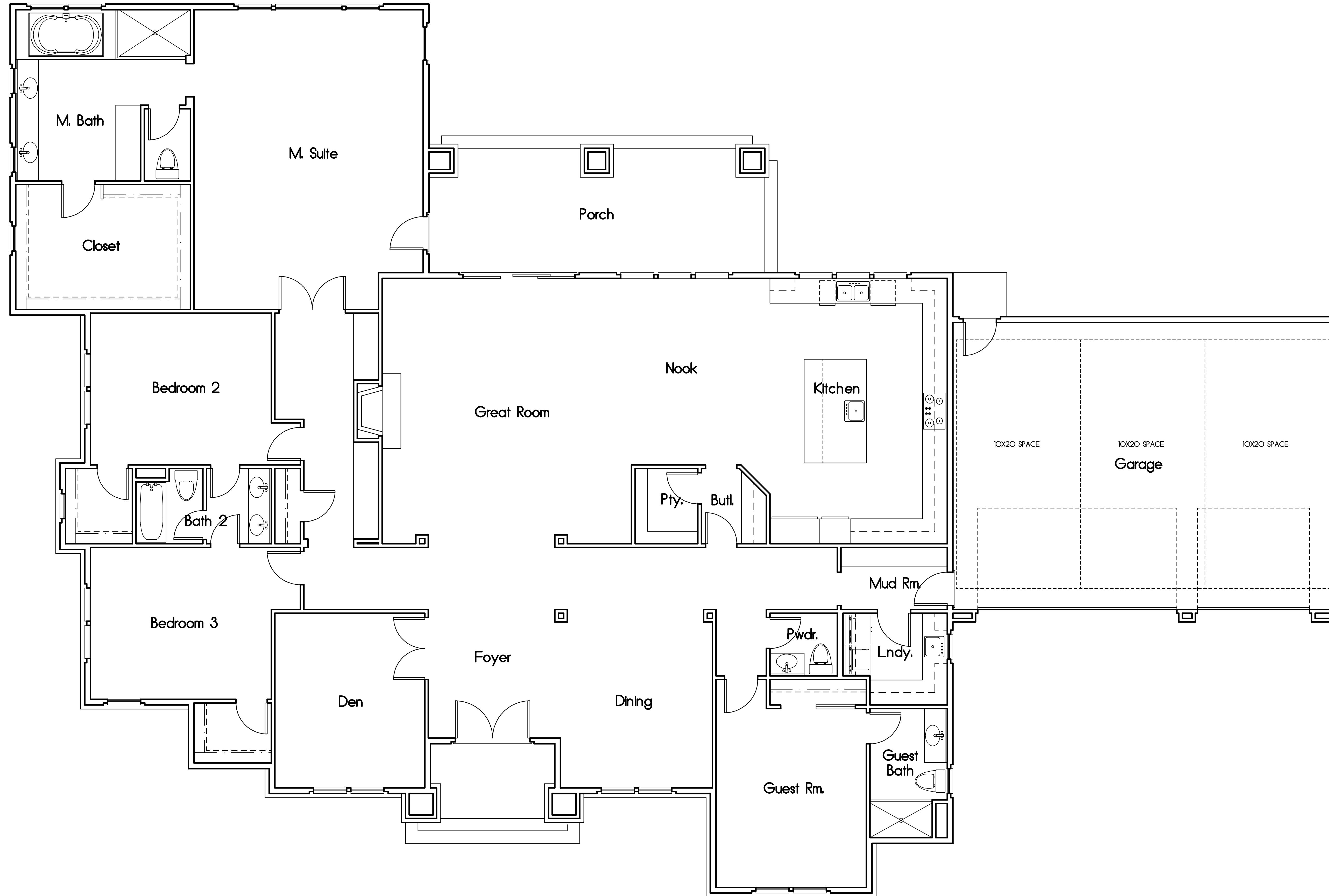


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 PHONE: (925) 227-9100 FAX: (925) 227-9300

Young Court - Lot 1

PM 8449 Dublin Canyon Road
 Pleasanton, California

Notes:



Rev	Description	Date

Floor Plan
 3704 SQUARE FEET
 GARAGE: 742 SQUARE FEET
 COVERED PORCH: 270 SQUARE FEET

Job Number: 201504 Sheet:
 Scale: 1/4"=1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 8-20-15 Of 11

Young Court - Lot 1

PM 8449 Dublin Canyon Road
 Pleasanton, California

Notes:

Roofing shall be Composition Shingle over 30# felt over 1/2" OSB sheathing w/ radiant barrier nailed per structural engineer's specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

ATTIC VENTILATION :	XXXX / 150 = XXXXX sq. ft.
Total area required to be vented :	XXXXX sq. ft.
XXX Rafter vent _____	XXXXX sq. ft.
XXX Gable end vent _____	XXXXX sq. ft.
XXX O'Hugh vent _____	XXXXX sq. ft.
Total Area of ventilation :	XXXXX sq. ft.
50% LOW REQUIREMENT:	XXX > XXX, OKAY
50% HIGH REQUIREMENT:	XXX > XXX, OKAY

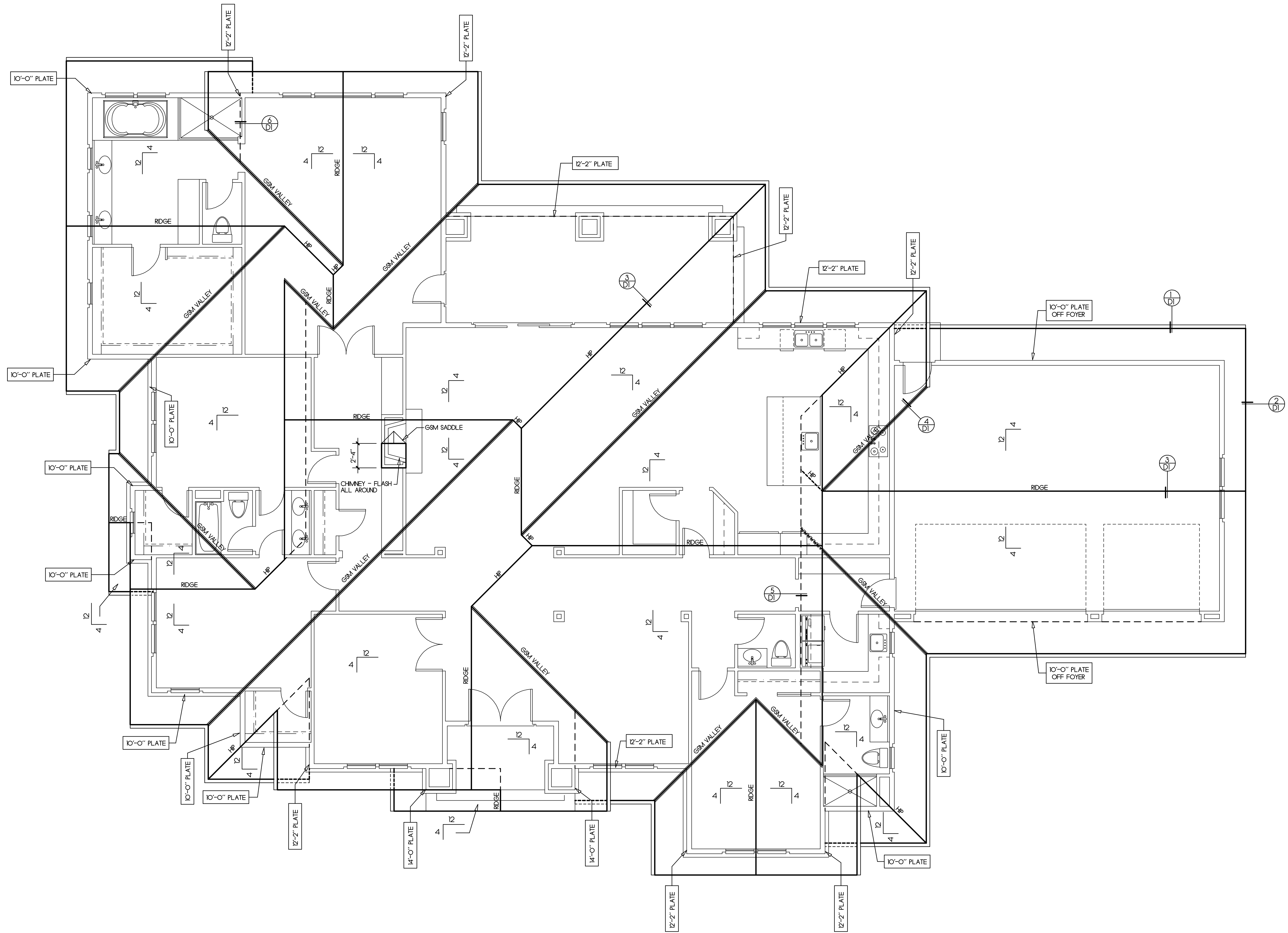
All framing shall be Douglas Fir No. 2 or better (U.O.N.)
 Composition Shingles shall be fastened per 2013 CBC.

Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper, or other approved flexible flashing material and shall be formed to follow the contours of the tile and allow seating of the tiles as per 2013 CBC.

Plate heights are designated off adjacent subfloor (U.O.N.).

All rakes shall be 24" from wall framing (U.O.N.).
 All eaves shall be 36" from wall framing (U.O.N.).

Plumbing waste stacks and combustion flues shall be placed to penetrate to the rear of the main ridge line.
 All beams shall be braced at each end to prevent rotation.

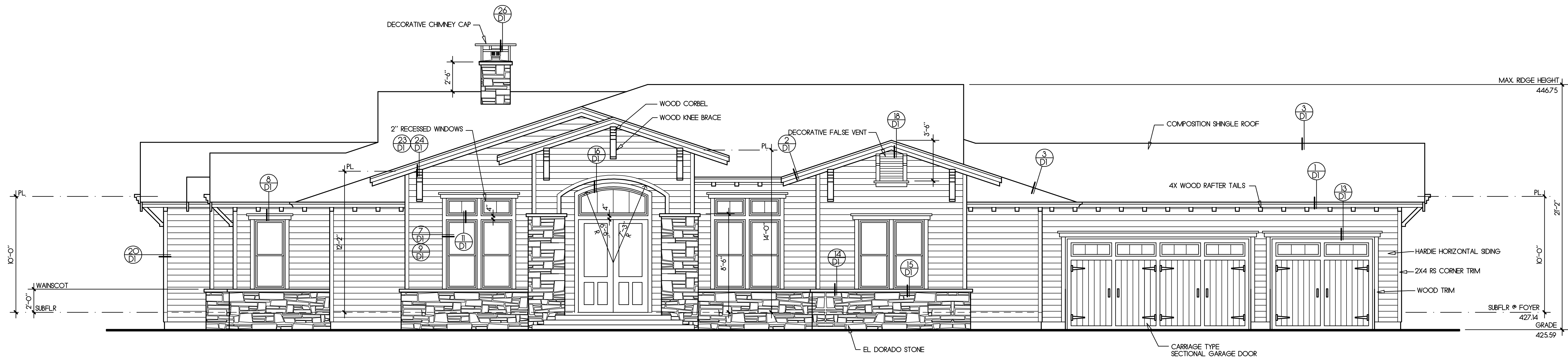


Rev	Description	Date

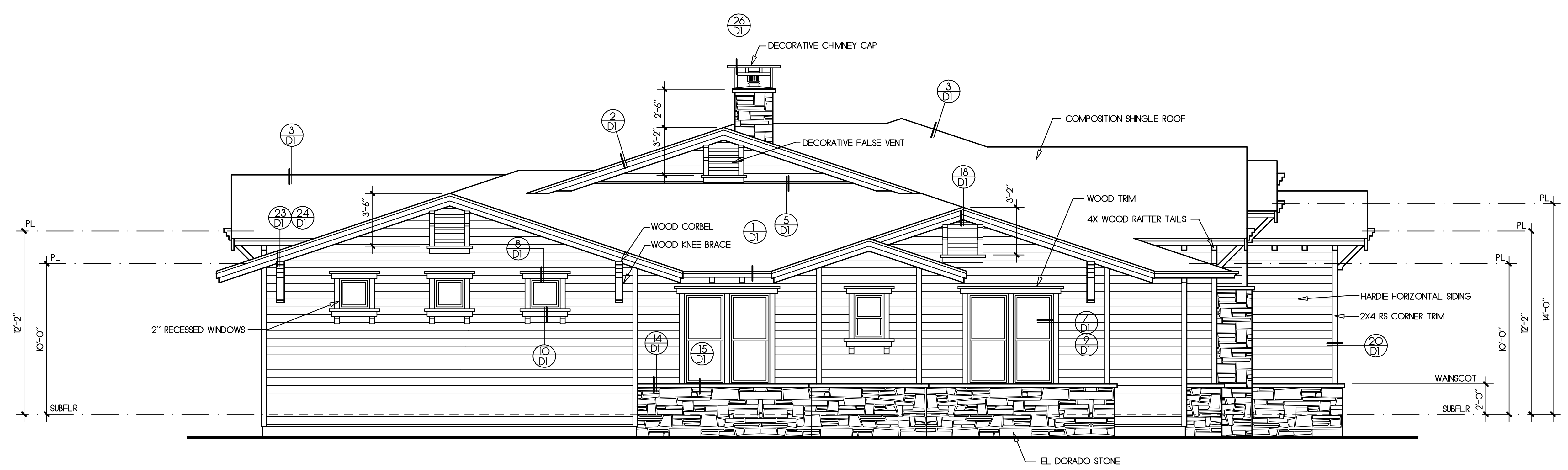
Roof Plan

1,2

Young Court - Lot 1
 PM 8449 Dublin Canyon Road
 Pleasanton, California



Front Elevation
(West)



Left Side Elevation
(North)

Notes:
 All windows at first floor shall be mounted at 8'-0" above top of subfloor (L.O.N.).
 Provide 15# building paper at all exterior walls with wood siding finish.
 S.F. : Subfloor
 Subflr : Subfloor
 T.O.S. : Top of Slab
 T.O.S.W. : Top of stem wall
 T.O. Ftg. : Top of Footing
 Fireplace shall be equipped with GSM terminal cap with spark arrester.
 Egress windows shall comply with 2013 CBC with a minimum net clear openable area of 5.7 sq. ft., a minimum net clear openable height of 24 inches, a minimum net clear openable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.

Rev	Description	Date

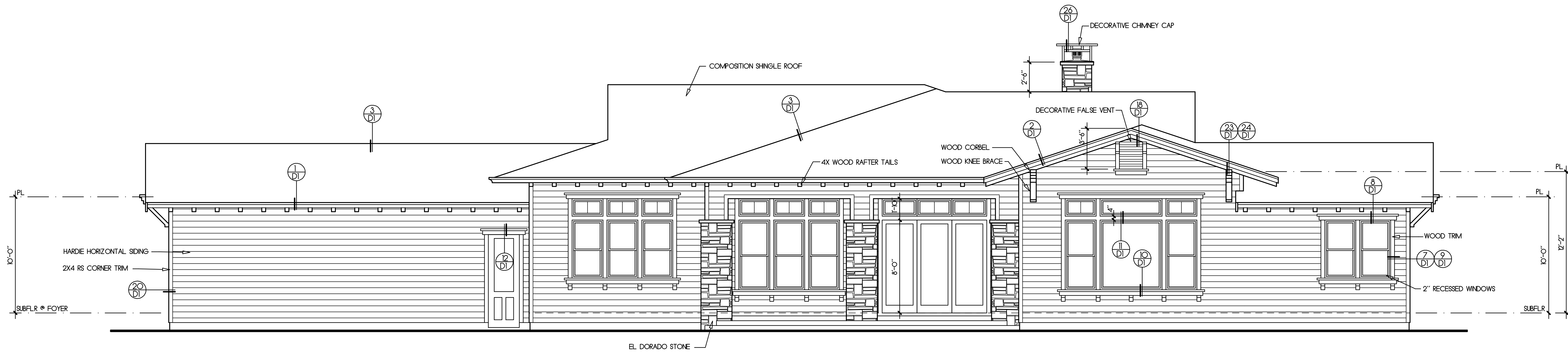
Exterior Elevations

Young Court - Lot 1

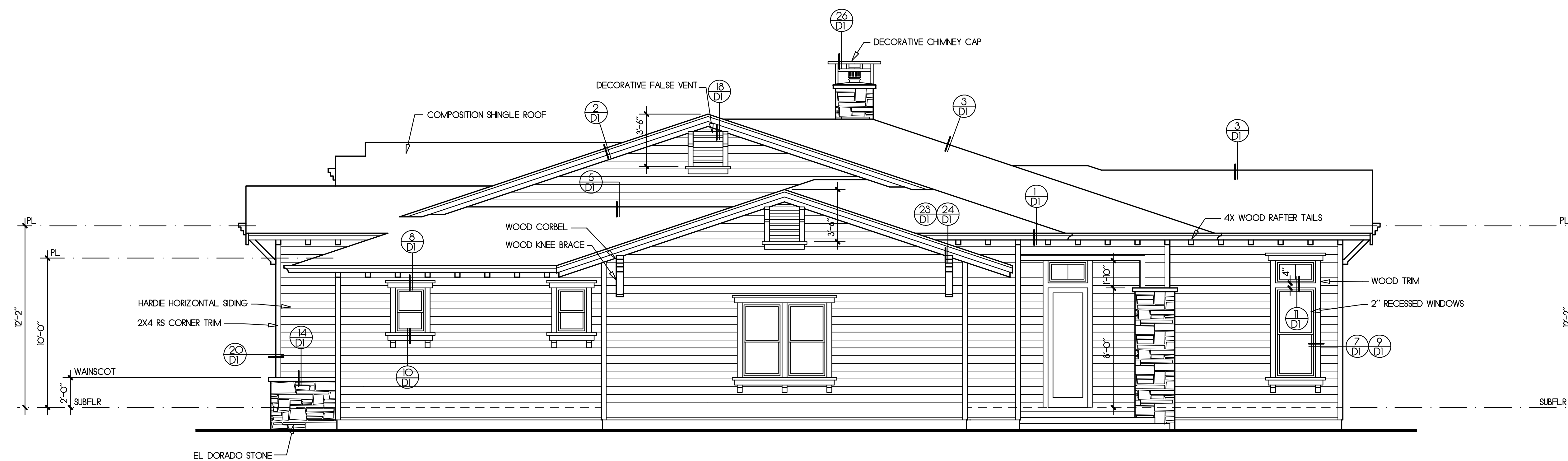
PM 8449 Dublin Canyon Road
 Pleasanton, California

Notes:

- All windows at first floor shall be mounted at 8'-0" above top of subfloor (L.O.N.).
- Provide 15# building paper at all exterior walls with wood siding finish.
- S.F. : Subfloor
- Subflr : Subfloor
- T.O.S. : Top of Slab
- T.O.S.W. : Top of stem wall
- T.O. Ftg. : Top of Footing
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Rear Elevation
(East)

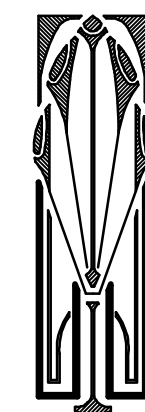


Right Side Elevation
(South)

Rev	Description	Date

Exterior Elevations

Job Number: 201504 Sheet:
 Scale: 1/4" = 1'-0" 1,4
 Drawn: Terry
 Checked: Terry
 Date: 8-20-15 Of 11



Terry J. Townsend

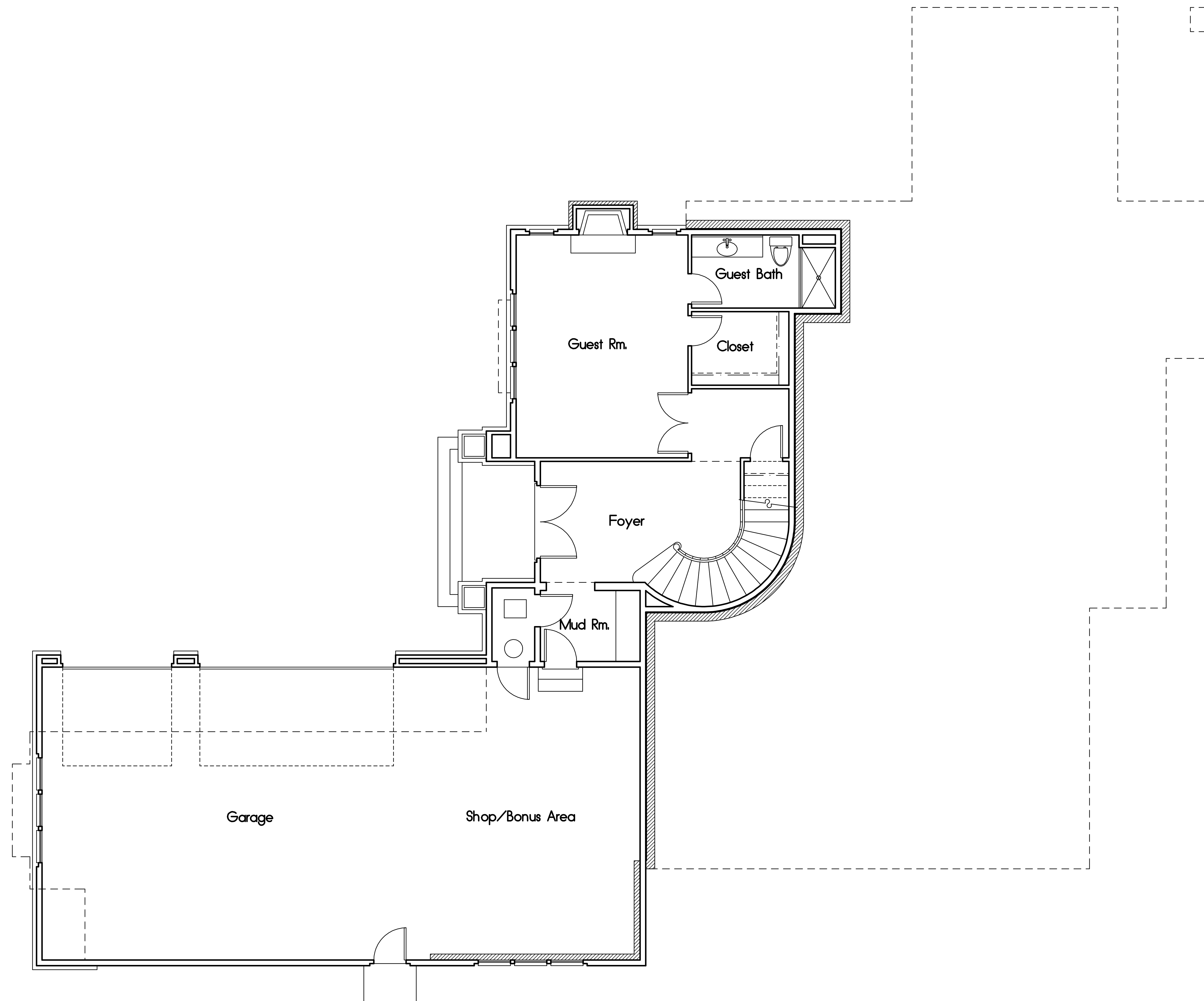
• Architect •

147 Old Bernal Ave., Suite 6
Pleasanton, CA 94566
Tel 925-484-5438

Young Court - Lot 3

PM 8449 Dublin Canyon Road
Pleasanton, California

Notes:



Rev	Description	Date

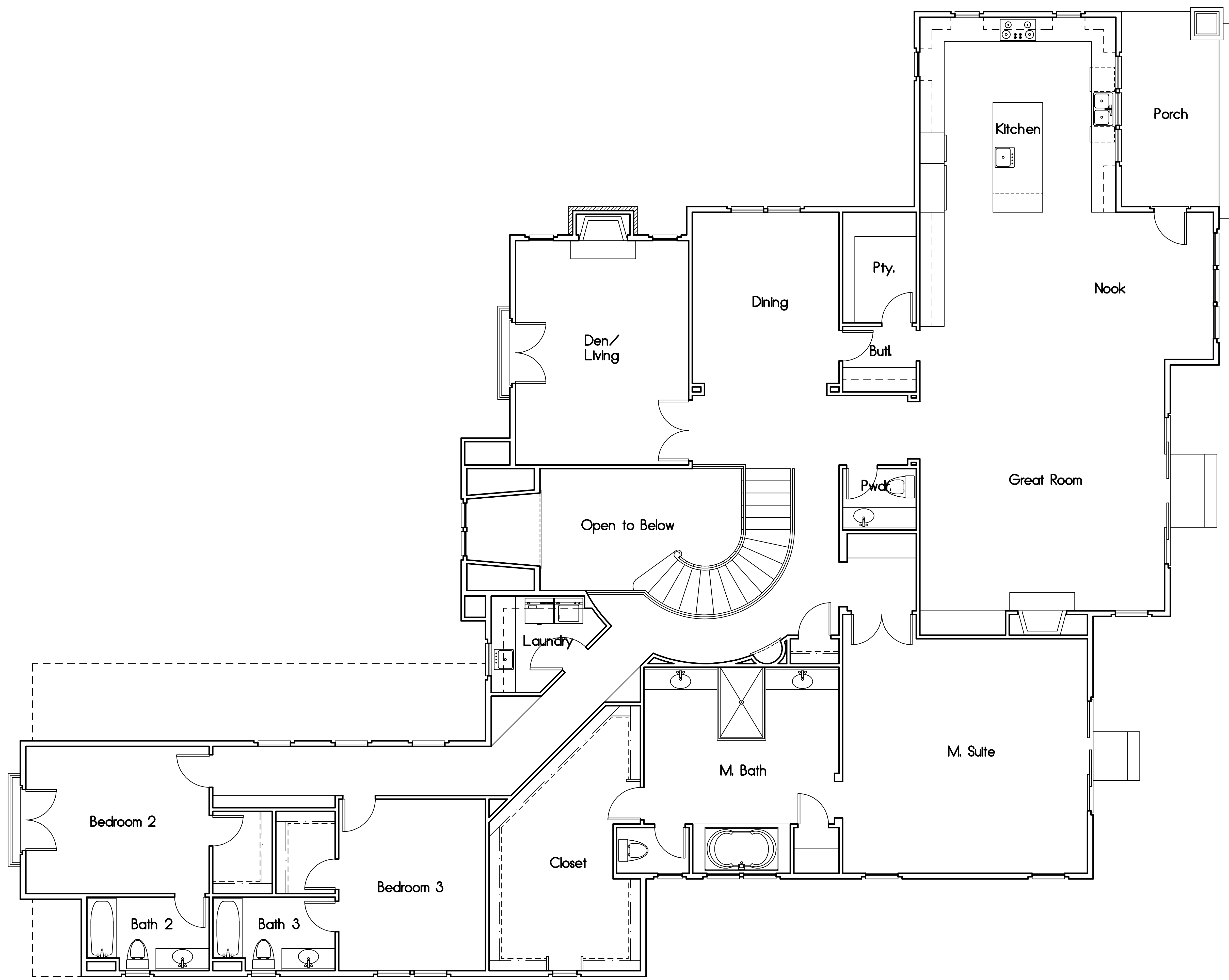
Lower Floor Plan
773 SQUARE FEET
GARAGE/BONUS AREA: 1289 SQUARE FEET

Job Number: 201505 Sheet: **3.1**
 Scale: 1/4" = 1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 8-20-15 Of 11

Young Court - Lot 3

PM 8449 Dublin Canyon Road
 Pleasanton, California

Notes:

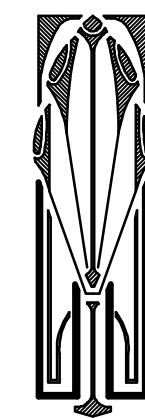


Rev	Description	Date

Upper Floor Plan
 3747 SQUARE FEET
 COVERED PORCH 128 SQUARE FEET

Job Number: 201505 Sheet:
 Scale: 1/4" = 1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 8-20-15 Of 11

3.2



Terry J. Townsend

• Architect •

147 Old Bernal Ave., Suite 6
Pleasanton, CA 94566
Tel 925-484-5438

Young Court - Lot 3

PM 8449 Dublin Canyon Road
Pleasanton, California

Notes:

Roofing shall be Composition Shingles over 3/8" felt over 1/2" OSB sheathing w/ radiant barrier nailed per structural engineer's specifications. Downspouts shall be located by others.

The net free attic ventilation area shall be not less than 1/150 of the area of the space ventilated.

ATTIC VENTILATION : XXXX / 150 = XXXXX sq. ft.
 Total area required to be vented : XXXXX sq. ft.
 XXX Rafter vent XXXXX sq. ft.
 XXX Gable end vent XXXXX sq. ft.
 XXX O'High vent XXXXX sq. ft.
 Total Area of ventilation : XXXXX sq. ft.
 50% LOW REQUIREMENT: XXX > XXX, OKAY
 50% HIGH REQUIREMENT: XXX > XXX, OKAY

All framing shall be Douglas Fir No. 2 or better (U.O.N.)
Composition Shingles shall be fastened per 2013 CBC.

Roof flashing around pipes, vents, flues, chimneys, etc. shall be lead, copper, or other approved flexible flashing material and shall be formed to follow the contours of the tile and allow seating of the tiles as per 2013 CBC.

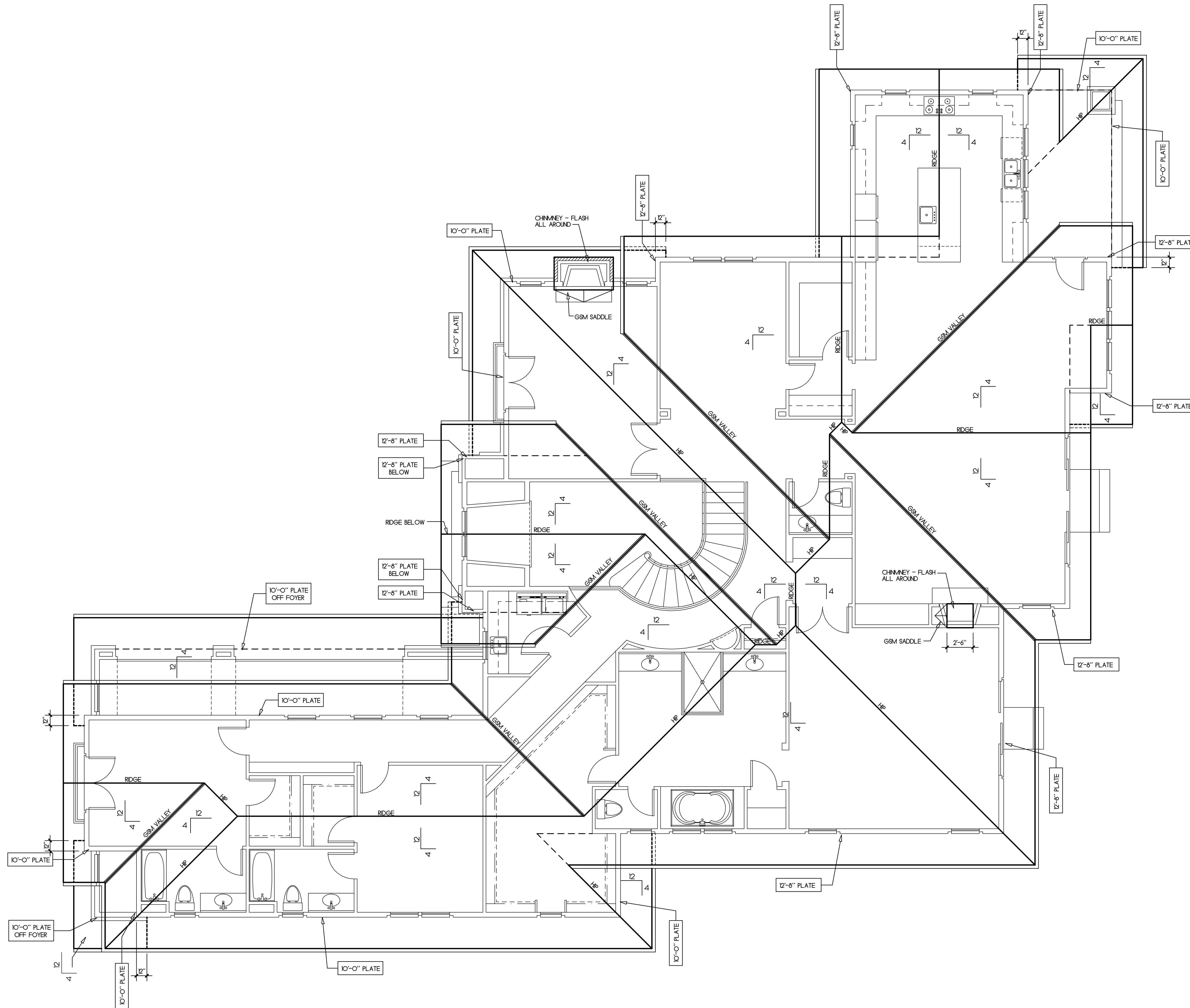
Plate heights are designated off adjacent subfloor (U.O.N.).

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Rev	Description	Date

Roof Plan

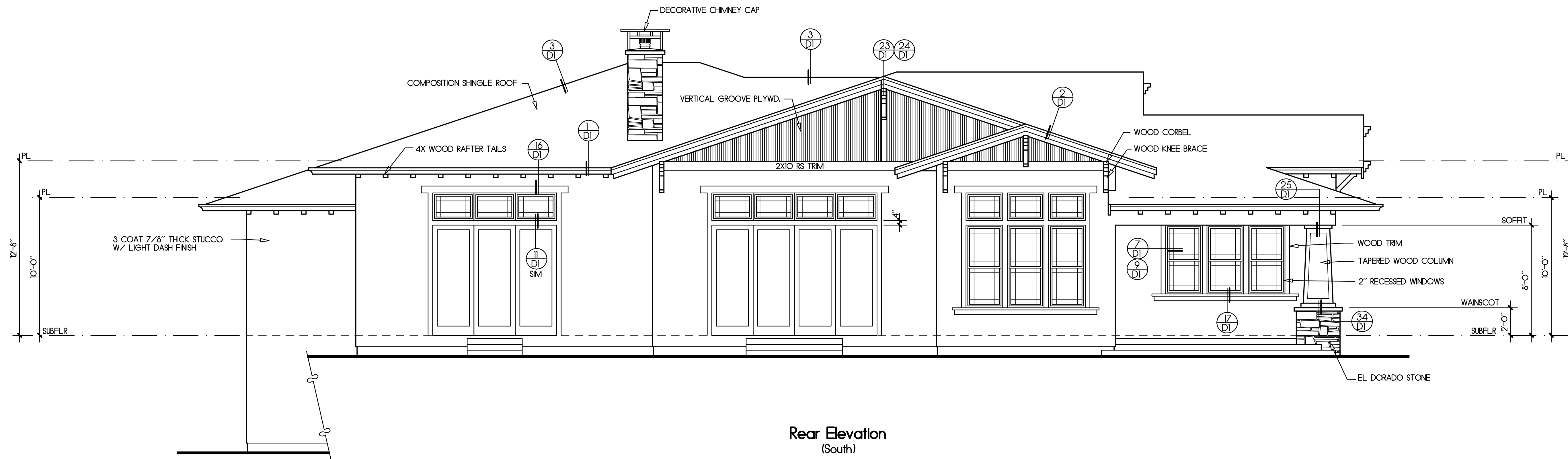
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 Scale: 1/4" = 1'-0"
 Drawn: Terry
 Checked: Terry
 Date: 8-20-15 Of 11

Young Court - Lot 3

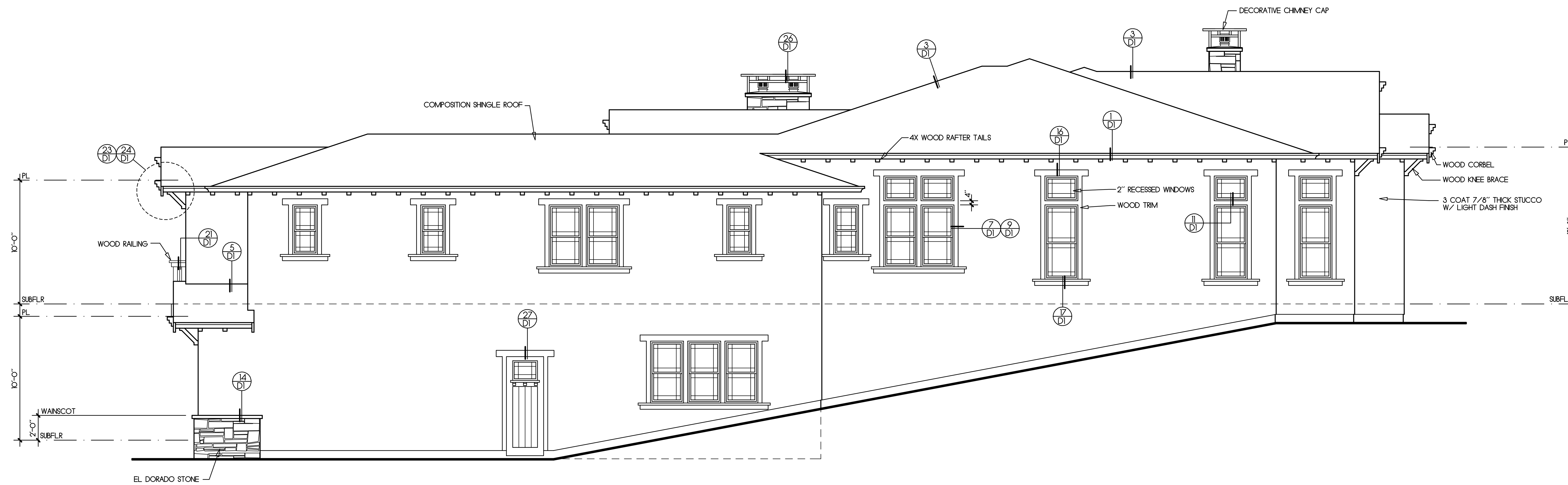
PM 8449 Dublin Canyon Road
 Pleasanton, California

Notes:

- All windows at first floor shall be mounted at 8'-0" above top of subfloor (U.O.N.).
- All windows at second floor shall be mounted at 8'-0" above top of subfloor (U.O.N.).
- Provide 15# building paper at all exterior walls with wood siding finish.
- Provide two layers grade "D" paper at all exterior walls with stucco over wood based sheathing.
- A weep screed shall be provided at the foundation plate on all exterior studwalls covered with stucco. The screed shall be of a type which will allow trapped water to drain to the exterior of the building, per 2013 CBC.
- S.F. : Subfloor
- Subfr : Subfloor
- T.O.S. : Top of Slab
- T.O.S.W. : Top of stem wall
- T.O. Fig. : Top of Footing
- Fireplace shall be equipped with GSM terminal cap with spark arrester.
- Egress windows shall comply with 2013 CBC with a minimum net clear openable area of 5.7 sq. ft., a minimum net clear openable height of 24 inches, a minimum net clear openable width of 20 inches, and a maximum height of 44 inches from the floor to the bottom of the window opening.



Rear Elevation
(South)



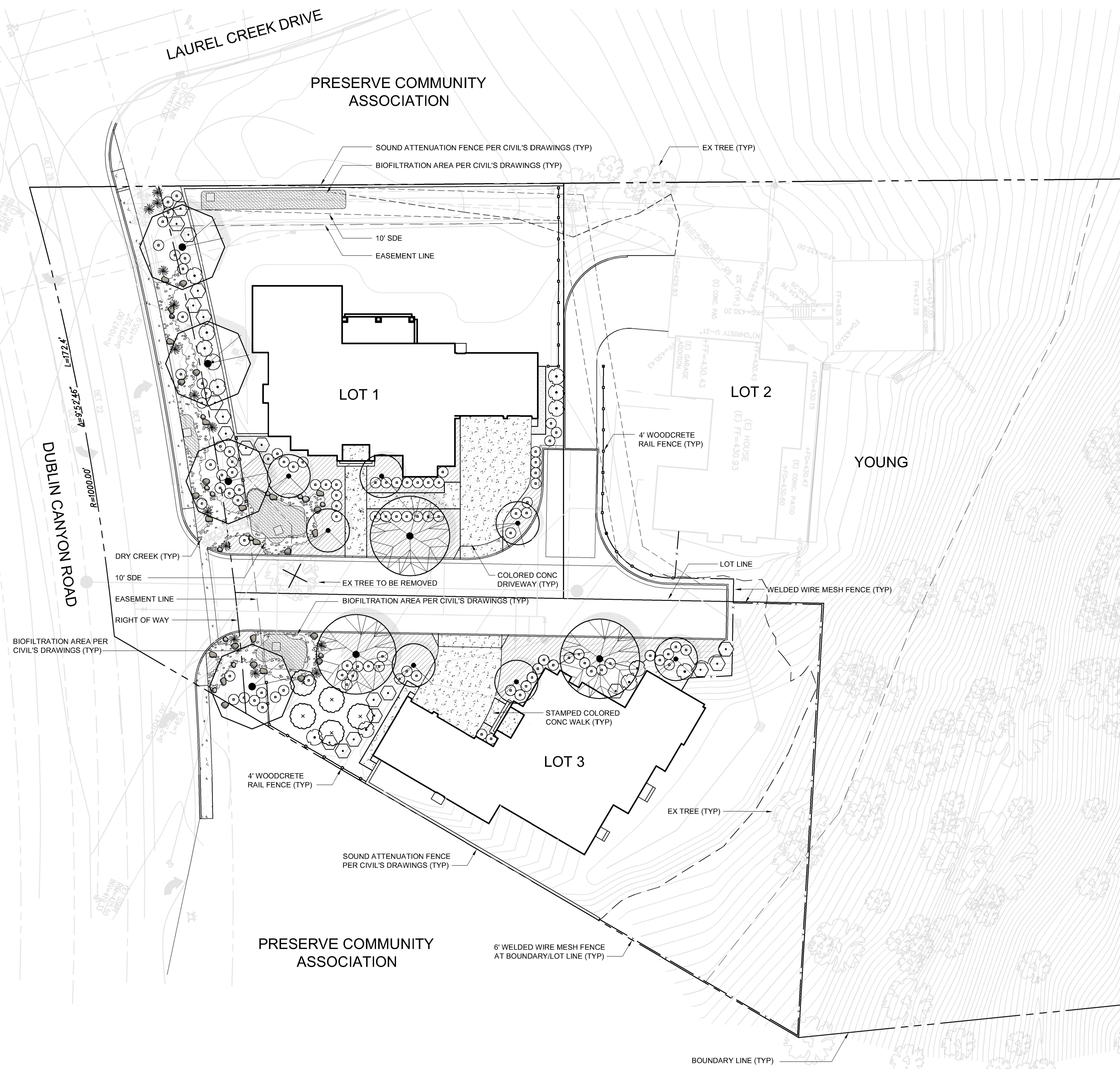
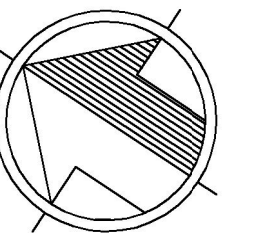
Left Side Elevation
(West)

Rev	Description	Date

Exterior Elevations

Notes:

<p>SCALE 1"-1'-0" DETAIL/ROOF/COMPOSITION/006</p>	<p>SCALE 1"-1'-0" DETAIL/ROOF/COMPOSITION/005</p>	<p>SCALE 1"-1'-0" DETAIL/ROOF/COMPOSITION/004</p>	<p>SCALE 1"-1'-0" DETAIL/ROOF/COMPOSITION/003</p>	<p>SCALE 1"-1'-0" DETAIL/ROOF/COMPOSITION/011</p>	<p>SCALE 1"-1'-0" DETAIL/ROOF/COMPOSITION/016</p>	<p>STEP 1 STEP 2 STEP 3 STEP 4</p>
<p>SCALE 3"-1'-0" DETAIL/DOOR/WOOD/HEAD/008</p>	<p>SCALE 3"-1'-0" DETAIL/DOOR/WOOD/HEAD/009</p>	<p>SCALE 3"-1'-0" DETAIL/WDW/WOOD/HEAD/007</p>	<p>SCALE 3"-1'-0" DETAIL/WDW/WOOD/SILL/014</p>	<p>SCALE 3"-1'-0" DETAIL/WDW/STUCCO/JAMB/005</p>	<p>SCALE 3"-1'-0" DETAIL/WDW/WOOD/HEAD/010</p>	<p>INDIVIDUALLY FLASH ALL OPENINGS FOR FIXTURES SUCH AS WINDOWS, DOORS AND VENTS TO MAKE THEM WATER TIGHT. PENETRATION FLASHING MATERIAL SHALL BE BARRIER CONTACT REINFORCED AND SHALL PROVIDE 4 HOUR MIN. PROTECTION FROM WATER PENETRATION WHEN TESTED IN ACCORDANCE WITH ASTM D-779. SEALANT SHALL COMPLY WITH FT-11-9-95. USE FOAM FLASH 25 BY FORTIFIBER OR EQUAL O/ SOLID BACKING.</p> <p>FOR NAIL-ON-FLANGE TYPE FIXTURES A STRIP OF APPROVED FLASHING MATERIAL SHOULD BE AT LEAST 9" WIDE. FLASHING SHALL BE APPLIED IN A WEATHERBOARD FASHION AROUND THE FULL PERIMETER OF THE OPENING.</p> <p>APPLY THE FIRST STRIP HORIZONTALLY IMMEDIATELY BELOW THE SILL. CUT IT SUFFICIENTLY LONG TO EXTEND PAST EACH SIDE OF THE WINDOW SO THAT IT PROJECTS BEYOND THE VERTICAL FLASHING TO BE APPLIED LATER. FASTEN THE TOP EDGE OF THE SILL FLASHING TO THE FRAMING, BUT DO NOT FASTEN THE LOWER EDGE. SO THE WEATHER-RESISTIVE BARRIER APPLIED LATER MAY BE SLIPPED UP AND UNDERNEATH THE FLASHING IN WEATHERBOARD FASHION. (SEE STEP 1)</p> <p>NEXT FASTEN STRIPS OF FLASHING AT EACH VERTICAL EDGE (JAMB) OF THE OPENING. RUN THIS FLASHING BEYOND THE SILL FLASHING AND ABOVE WHERE THE HEAD FLASHING WILL INTERSECT. (SEE STEP 2)</p> <p>APPLY A CONTINUOUS SEAL TO THE BACKSIDE INTERIOR OF THE MOUNTING FLANGE NEAR THE OUTER EDGE OR A CONTINUOUS SEAL TO THE PERIMETER OF THE OPENING AT A POINT TO ASSURE CONTACT WITH THE BACKSIDE INTERIOR OF THE MOUNTING FLANGE. (SEE STEP 3)</p> <p>FOR FIXTURES WITHOUT A NAIL-ON-FLANGE THE FLASHING SHALL BE 12" MIN. WIDE AND EXTEND INTO THE ROUGH FRAME AT THE SILL AND JAMB IN A WEATHERBOARD FASHION.</p> <p>THE FIXTURE SHALL THEN BE INSTALLED.</p> <p>NEXT APPLY A CONTINUOUS SEAL AT THE TOP HEAD MOUNTING FLANGE OR GSM HEAD FLASHING AND ABOVE THE CONTROL SEAL TO THE PERIMETER OVER THE SEALANT AND THE MOUNTING FLANGE OR GSM FLASHING. CUT THIS FLASHING SUFFICIENTLY LONG SO THAT IT WILL EXTEND BEYOND EACH JAMB FLASHING. FASTEN IN PLACE. (SEE STEP 4)</p> <p>APPLY REMAINING WEATHER-RESISTIVE BARRIER IN A WEATHERBOARD FASHION WITH THE SILL FLASHING LAPPING OVER THE TOP, AND THE HEAD AND JAMB FLASHING BELOW.</p> <p>SCALE 3"-1'-0" DETAIL/WDW/FLASHING</p>
<p>SCALE 3"-1'-0" DETAIL/CORNER/001</p>	<p>SCALE 3"-1'-0" DETAIL/CORNER/002</p>	<p>SCALE 3"-1'-0" DETAIL/VENTS/005</p>	<p>SCALE 3"-1'-0" DETAIL/WDW/WOOD/SILL/014</p>	<p>SCALE 3"-1'-0" DETAIL/WDW/STUCCO/HEAD/003</p>	<p>SCALE 3"-1'-0" DETAIL/WDW/MASONRY/015</p>	<p>SCALE 3"-1'-0" DETAIL/WDW/MASONRY/004</p>
<p>SCALE 3"-1'-0" DETAIL/DOOR/STUCCO/HEAD/003</p>	<p>SCALE 1"-1'-0" DETAIL/CHIMNEY/018</p>	<p>SCALE 1"-1'-0" DETAIL/WOOD/066</p>	<p>SCALE 1"-1'-0" DETAIL/WOOD/062</p>	<p>SCALE 1/4"-1'-0" DETAIL/MSC/001</p>	<p>SCALE 1"-1'-0" DETAIL/RAILING/009</p>	<p>SCALE 1"-1'-0" DETAIL/RAILING/009</p>
<p>SCALE 1"-1'-0" DETAIL/RAILING/HALFWALL/022</p>	<p>SCALE 1"-1'-0" DETAIL/ROOF/INSULATION/006</p>	<p>SCALE 1"-1'-0" DETAIL/ROOF/INSULATION/005</p>	<p>SCALE 3"-1'-0" DETAIL/RAILING/003</p>	<p>SCALE 1"-1'-0" DETAIL/RAILING/005</p>	<p>SCALE 1"-1'-0" DETAIL/RAILING/006</p>	<p>SCALE 3"-1'-0" DETAIL/DOOR/STUCCO/HEAD/007</p>
<p>SCALE 1"-1'-0" DETAIL/RAILING/HALFWALL/022</p>	<p>SCALE 1"-1'-0" DETAIL/ROOF/INSULATION/006</p>	<p>SCALE 1"-1'-0" DETAIL/ROOF/INSULATION/005</p>	<p>SCALE 3"-1'-0" DETAIL/RAILING/003</p>	<p>SCALE 1"-1'-0" DETAIL/RAILING/005</p>	<p>SCALE 1"-1'-0" DETAIL/RAILING/006</p>	<p>SCALE 3"-1'-0" DETAIL/DOOR/STUCCO/HEAD/007</p>



PLANT PALETTE

KEY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING	*PF
TREES:					
	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GALLON	AS SHOWN	VL
	LAGERSTROEMIA HYBRIDS	CRAPE MYRTLE	24" BOX	AS SHOWN	LOW
	PLATANUS A. 'COLUMBIA'	COLUMBIA LONDON PLANE TREE	15 GALLON	AS SHOWN	MED
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	15 GALLON	AS SHOWN	MED
	ORCHARD TREE AS SELECTED BY HOMEOWNER		TBD	AS SHOWN	MED
SHRUBS:					
LARGE (5 FEET TALL OR GREATER)					
	ALYOGNE HUEGELII LAVATERA ASSURGENTIFLORA LEPTOSPERMUM S. 'RUBY GLOW'	BLUE HIBISCUS TREE MALLOW TEA TREE	5 GALLON	AS SHOWN	LOW LOW MED
	COTONEASTER LACTEUS ROSMARINUS O. 'TUSCAN BLUE'	PARNEY'S COTONEASTER ROSEMARY	5 GALLON	AS SHOWN	LOW LOW
MEDIUM (3- 5 FEET TALL)					
	ASPARAGUS D. 'MYERS' BERBERIS T. 'ROSE GLOW' EURYOPS P. 'VIRIDIS' ILEX V. 'NANA' LAVANDULA SPECIES WESTRINGIA F. 'WYNYABBIE GEM'	MYERS' ASPARAGUS WARTY BARBERRY NO COMMON NAME DWARF YAUJON LAVENDER COAST ROSEMARY	5 GALLON	3-5' OC	MED MED LOW LOW LOW LOW
	MULHENBERGIA RIGENS	DEER GRASS	1 GALLON	AS SHOWN	LOW
LOW (3 FEET TALL OR LESS)					
	CISTUS P. 'SUNSET' COLEONEMA P. 'SUNSET GOLD' ERIGERON KARVINSKIANUS EUONYMUS F. 'EMERALD GAIEY' ROSA X. NOATRAUM TEUCRIUM MARUM	ROCKROSE PINK BREATH OF HEAVEN SANTA BARBARA DAISY WINTER CREEPER FLOWER CARPET CAT THYME	5 GALLON	3' OC	LOW MED LOW MED MED LOW
BIOFILTRATION AREAS					
	CAREX PANSA CHONDROPETALUM TECTORUM JUNCUS PATENS	ROCKROSE CAPE RUSH CALIFORNIA GRAY RUSH	1 GALLON	3' OC	MED LOW LOW
GROUND COVERS					
	AJUCA REPENS COPROSMA K. 'VARIEGATA' COTONEASTER D. 'LOW FAST' EUONYMUS F. 'COLORATUS'	CARPET BUGLE VARIGATED COPROSMA BEARBERRY COTONEASTER PURPLE-LEAF WINTER CREEPER	1 GALLON	2-4' OC	MED LOW LOW MED

NOTE: PLANT PALETTE IS INTENDED AS A REPRESENTATIVE GUIDE OF THE PLANT MATERIAL TO BE USED. ACTUAL PLANT MATERIAL USED IN THE CONSTRUCTION DOCUMENTS MAY VARY. EACH PLANT SYMBOL ON THE PLANT PALETTE IDENTIFIES A NUMBER OF SPECIES. ONLY ONE SPECIES WILL BE SELECTED PER SYMBOL FOR PLANTING IN A GROUP OF THE SAME SYMBOL ON THE PLAN.

* PLANT FACTORS (PF) ARE BASED ON WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS) PUBLISHED BY THE UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, JANUARY 2014.

NOTES

- CONSTRUCTION DOCUMENTS WILL BE PREPARED BASED ON CITY OF PLEASANTON APPROVAL IN COMPLIANCE WITH THE STATE OF CALIFORNIA AB1881 WATER EFFICIENT LANDSCAPING REGULATIONS, CAL GREEN BUILDING STANDARDS CODE REQUIREMENTS FOR OUTDOOR WATER USE, ALAMEDA COUNTY CLEAN WATER PROGRAM C.3 STORMWATER TECHNICAL GUIDANCE, AND BAY-FRIENDLY LANDSCAPE GUIDELINES PRINCIPLES.



FENCING



4' WOODCRETE RAIL FENCE WITH WIRE MESH



6' WELDED WIRE MESH FENCE



6' WOOD FENCE

PAVING



STAMPED/COLORED CONCRETE



DECOMPOSED GRANITE SURFACE

WALLS



CALSTONE WALL BLOCK SYSTEM

PLANT PALETTE

TREES



Cercis occidentalis



Lagerstroemia f. 'Muskogee', 'Seminole', or 'Tuscarora'



Platanus a. 'Columbia'



Quercus virginiana

SHRUBS (5 feet tall or greater)



Alyogyne huegelii



Cotoneaster lacteus



Lavatera assurgentiflora



Leptospermum s. 'Ruby Glow'

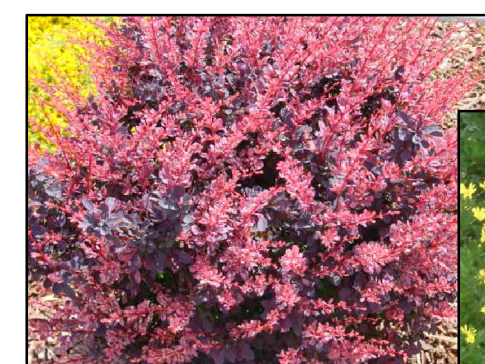


Rosmarinus o. 'Tuscan Blue'

SHRUBS (3-5 feet tall)



Asparagus d. 'Myers'



Berberis t. 'Rose Glow'



Euryops p. 'Viridis'



Ilex v. 'Nana'



Lavandula species



Westringia f. 'Wynyabbie Gem'



Mulhenbergia repens

SHRUBS (3 feet tall or less)



Cistus 'Sunset'



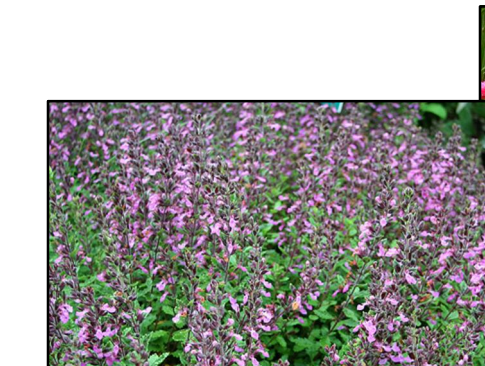
Colenema p. 'Sunset Gold'



Erigeron karvinskianus



Euonymus f. 'Emerald Gaiety'

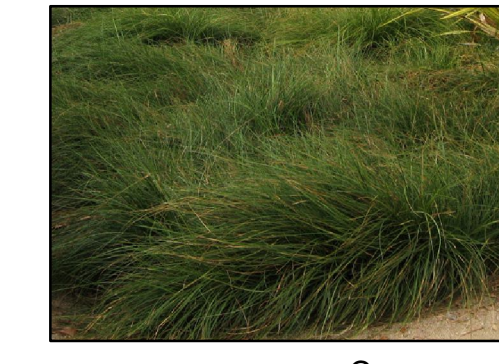


Teurcium marum



Rosa x. 'Noatraum'

SHRUBS (biofiltration areas)



Carex pansa



Chondropetalum tectorum

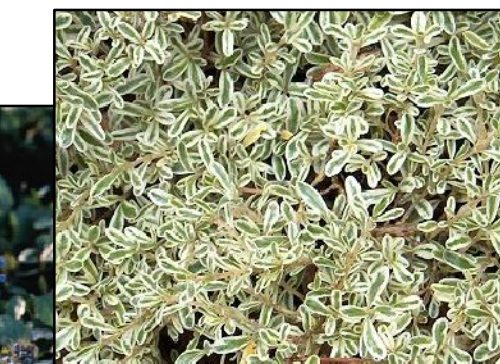


Juncus patens

GROUND COVERS



Ajuga reptans



Coprosma k. 'Variegata'



Cotoneaster d. 'Lowfast'

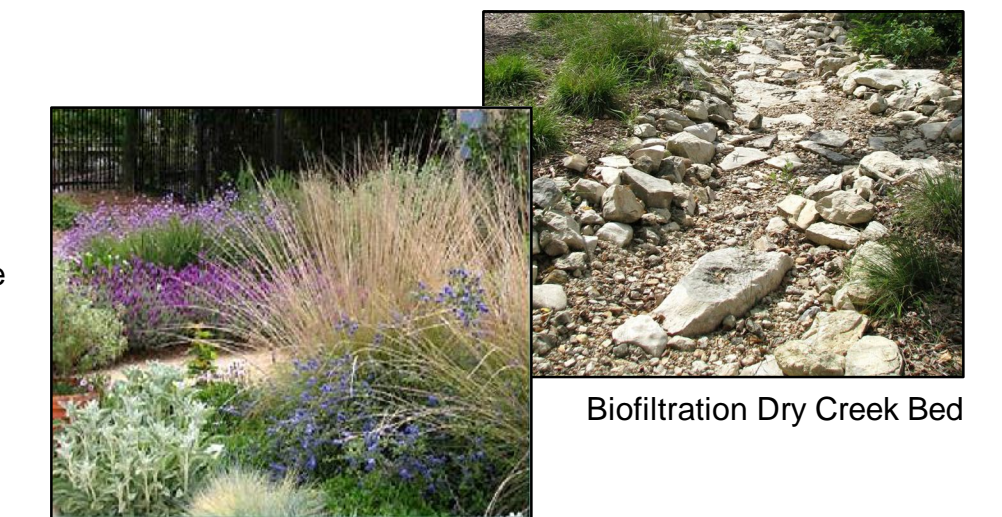


Euonymus f. 'Colorata'

LANDSCAPE CONCEPT

The Preliminary Landscape Plan depicts a general concept. The Plant Palette is not intended to be a complete list of materials. Actual plant material used in the construction documents may vary. The design incorporates drought tolerant and deer resistant plant material. The biofiltration areas are camouflaged as dry creek beds to blend in with the surrounding environment and to help reduce erosion.

Construction Documents will be prepared based on City of Pleasanton approval in compliance with the State of California AB1881 Water Efficient Landscaping Regulations, CAL Green Building Standards Code requirements for outdoor water use, Alameda County Clean Water Program C.3 Stormwater Technical Guidance, and Bay-Friendly Landscape Guidelines principles.



Biofiltration Dry Creek Bed

Landscape Concept

Valley Capital Realty

7080 Donlon Way, Suite 208
Dublin, CA 94568

11249 DUBLIN CANYON ROAD

PLANNED UNIT DEVELOPMENT
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

PRELIMINARY
LANDSCAPE
MATERIALS

L2

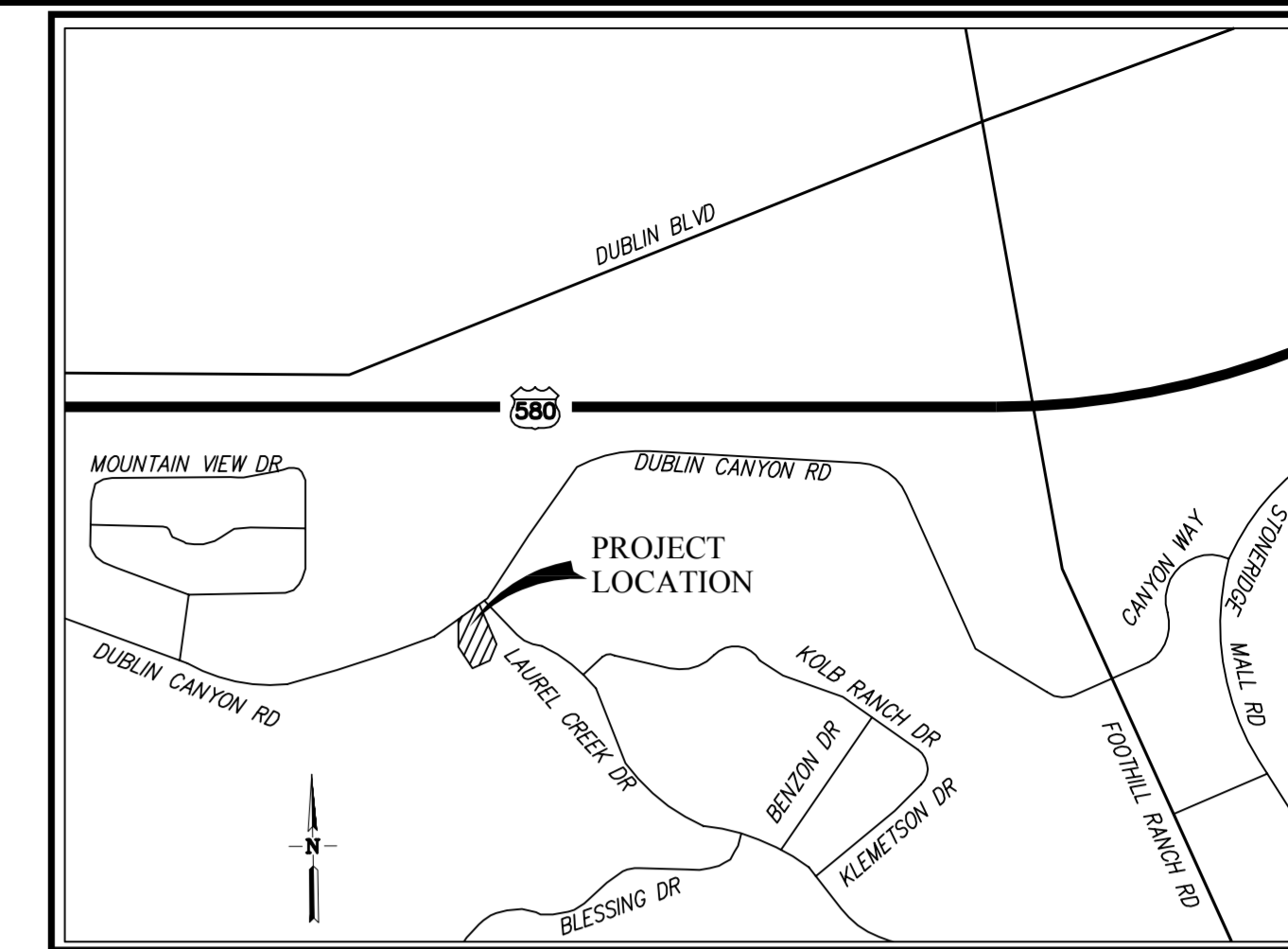
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VESTING TENTATIVE MAP

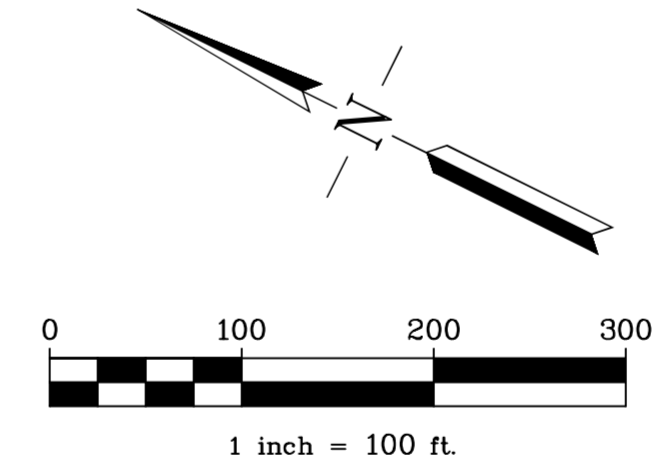
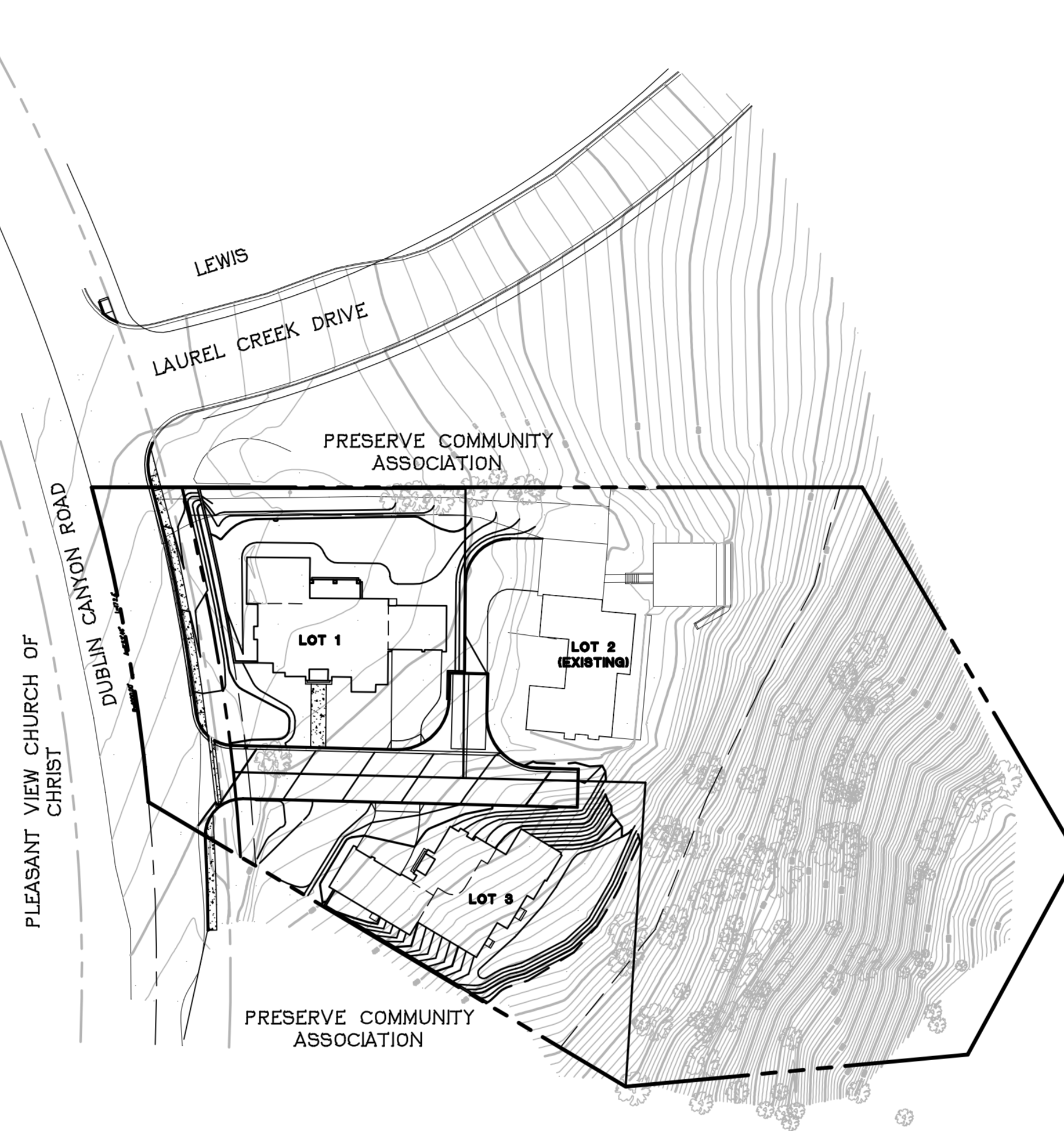
11249 DUBLIN CANYON ROAD

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	CENTER LINE	---
---	MATCH LINE	---
---	RETAINING WALL	---
---	EASEMENT LINE	---
12"SD	STORM DRAIN	EX 12"SD
8"SS	SANITARY SEWER	EX 8"SS
8"W	WATER	EX 8"W
8"W(R)	RECYCLED WATER CURB & GUTTER	EX 8"W(R)
---	SIDEWALK	---
---	OVERHEAD UTILITIES	OH
+	JOINT POLE	+
~>~>	EARTH OR GRASS SWALE	---
---	CONCRETE DITCH	---
□	STORM WATER INLET	□
○	FIELD INLET	○
○	AREA DRAIN	○
○	DIRECTION OF FLOW	○
○	MANHOLE	○
○	FIRE HYDRANT	○
○	BLOW OFF	○
○	SANITARY SEWER CLEAN OUT	○
○	WATER VALVE	○
○	STREET LIGHT	○
○	MONUMENT	○
+	TRAFFIC SIGN	+
+	STREET NAME SIGN	+
---	FENCE	---
---	BARRICADE	---
---	SLOPE	---
---	HANDICAP RAMP	---
1947	SAVE TREE	1947
1945	REMOVE TREE	1945
1.30	CONTOUR ELEVATIONS	1.30
x 525.2	SPOT ELEVATION	+525.2
---	ASPHALT PAVEMENT	---
---	BIORETENTION AREA	---
○	LIFT STATION	---
---	DIRECTION OF FUTURE FLOW	---
---	COBBLE	---



GENERAL NOTES

1. OWNER: PLEASANT VIEW CHURCH OF CHRIST
11300 DUBLIN CANYON ROAD
PLEASANTON, CA 94568
2. DEVELOPER: CALIFORNIA GOLD ADVOCACY GROUP
7350 DUBLIN BOULEVARD, SUITE 312
PLEASANTON, CA 94568
TEL (925) 828-4254
CONTACT: GUY HOUSTON
3. CIVIL ENGINEER: RUGGERI-JENSEN-AZAR
4690 CHABOT DRIVE, SUITE 200
PLEASANTON, CA 94588
TEL: (925) 227-9100
CONTACT: MARK FALGOUT
4. GEOTECHNICAL ENGINEER: NICHOLAS ENGINEERING CONSULTANTS
6743 DUBLIN BOULEVARD, SUITE 15
DUBLIN, CA 94568
TEL (925) 828-8080
CONTACT: DEWY A. NICHOLAS
5. ARCHITECT: TERRY TOWNSEND ARCHITECT
147 OLD BERNAL AVENUE, SUITE 6
PLEASANTON, CA 94566
TEL (925) 484-5438
CONTACT: TERRY TOWNSEND
6. LANDSCAPE ARCHITECT: DUTCHOVER & ASSOCIATES
1233 QUARRY LANE, SUITE 115
PLEASANTON, CA 94566
TEL (925) 462-3576
CONTACT: BRIAN DUTCHOVER
7. PROPERTY DESCRIPTION: ASSESSORS PARCEL NUMBER 941-1700-005-02
PLEASANTON, ALAMEDA COUNTY, CALIFORNIA
8. ASSESSOR'S PARCEL NUMBER: 941-1700-005-02
9. CURRENT USE: UNDEVELOPED LAND AND EXISTING STRUCTURES
10. PROPOSED USE: SINGLE-FAMILY DETACHED
11. EXISTING ZONING: PUD - A
12. PROPOSED ZONING: PUD - MDR
13. GROSS SITE AREA: 2.90± ACRES
14. SMALLEST LOT AREA: 21,093 SQUARE FEET
15. TOTAL NUMBER OF PROPOSED LOTS: 2
16. UTILITIES:

a. WATER:	CITY OF PLEASANTON
b. SANITARY SEWER:	CITY OF PLEASANTON
c. STORM DRAIN:	LIVERMORE-PLEASANTON FIRE DEPARTMENT
d. FIRE:	PACIFIC GAS AND ELECTRIC
e. GAS AND ELECTRIC:	AT&T
f. TELEPHONE:	COMCAST
g. CABLE TV:	
17. TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AERIAL TOPOGRAPHIC SURVEY PREPARED IN SEPTEMBER, 20XX.
18. THIS PROPERTY LIES WITHIN ZONE X, OTHER AREAS (AREAS DEEMED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOOD PLAN), & ZONE AE (AREAS OF 1% ANNUAL CHANCE FLOOD WITH KNOWN BASE FLOOD ELEVATION) AS SHOWN IN FLOOD INSURANCE RATE MAP, COMMUNITY MAP NO. 06001C03046, DATED AUGUST 3, 2009.
19. THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS.

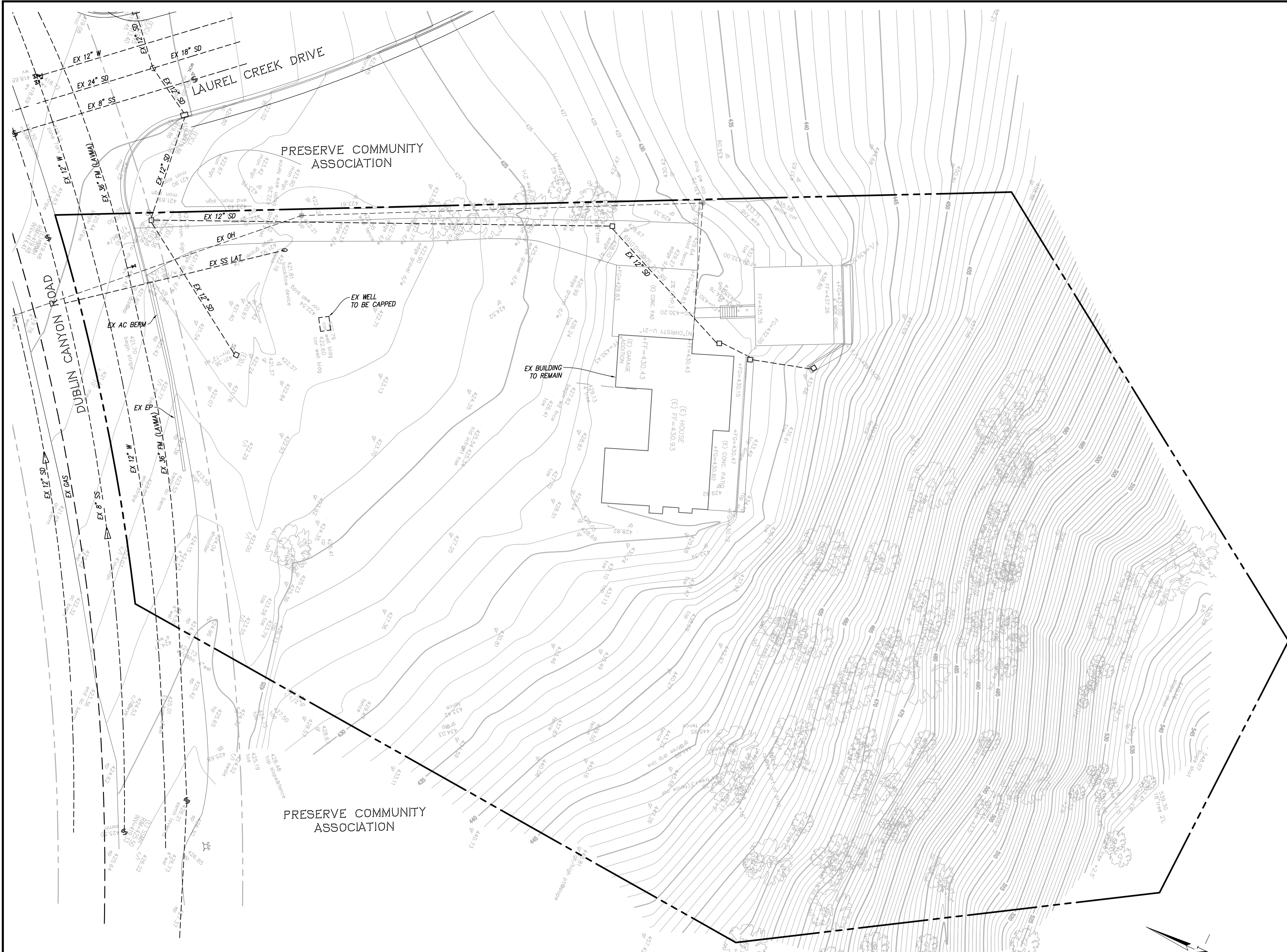
ABBREVIATIONS

AB	AGGREGATE BASE	LE	LANDSCAPE EASEMENT
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	ME	MAINTENANCE EASEMENT
BC	BEGINNING OF CURVE	MH	MANHOLE
BFE	BASE FLOOD ELEVATION (FEMA)	OH	OVERHEAD UTILITIES
BMP	BEST MANAGEMENT PRACTICE	PAE	PRIVATE ACCESS EASEMENT
BO	BLOW OFF	PCC	POINT OF COMPOUND CURVE
BVC	BEGIN VERTICAL CURVE	PL	PROPERTY LINE
BW	BOTTOM OF WALL	PRC	POINT OF REVERSE CURVE
CL	CENTER LINE	PSDE	PRIVATE STORM DRAIN EASEMENT
CMP	CORRUGATED METAL PIPE	PSE	PUBLIC SERVICE EASEMENT
CP	CENTER POINT	PVC	POLYVINYL CHLORIDE PIPE
DWY	DRIVEWAY	PVI	POINT OF VERTICAL INTERSECTION
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
EC	END OF CURVE	RET	CURB RETURN
ESMT	EASEMENT	RW	RIGHT OF WAY
EVC	END VERTICAL CURVE	SDE	STORM DRAIN EASEMENT (PUBLIC)
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SNS	STREET NAME SIGN
EX	EXISTING	SO	SIDE OPENING INVERT
FC	FACE OF CURB	SSCO	SANITARY SEWER CLEAN OUT
FG	FINISHED GRADE	STA	STATION
FH	FIRE HYDRANT	SMI	STORM WATER INLET
FI	FIELD INLET	SIW	SIDEWALK
FL	FLOW LINE	TC	TOP OF CURB
FS	FINISH SURFACE	TW	TOP OF WALL
GB	GRADE BREAK	WM	WATER METER
		VC	VERTICAL CURVE

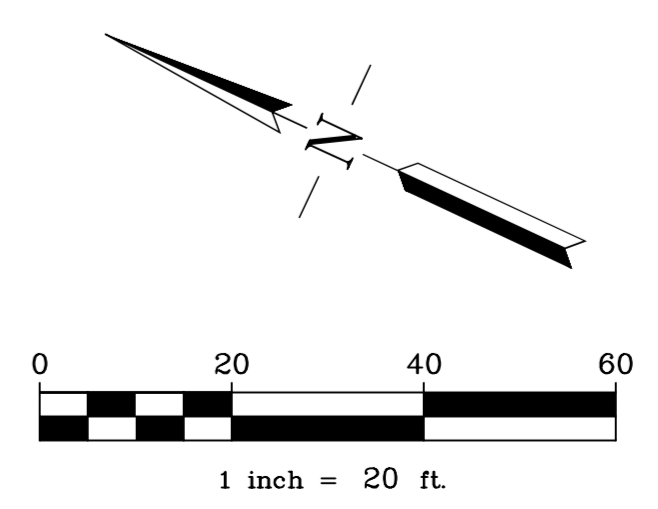
SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS
3	PRELIMINARY LOTTING PLAN
4	PRELIMINARY GRADING AND UTILITY PLAN
5	PRELIMINARY STORMWATER TREATMENT PLAN

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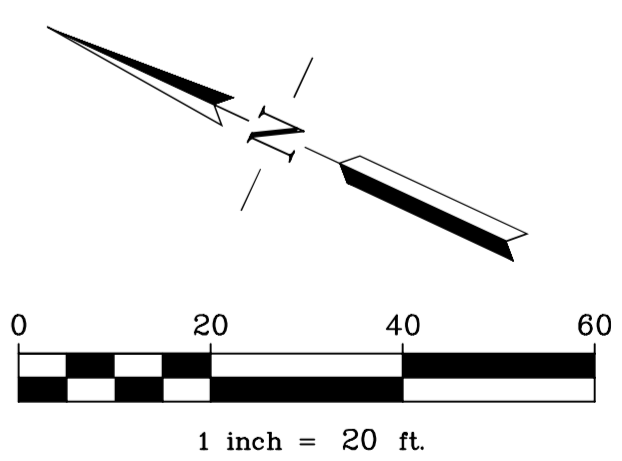
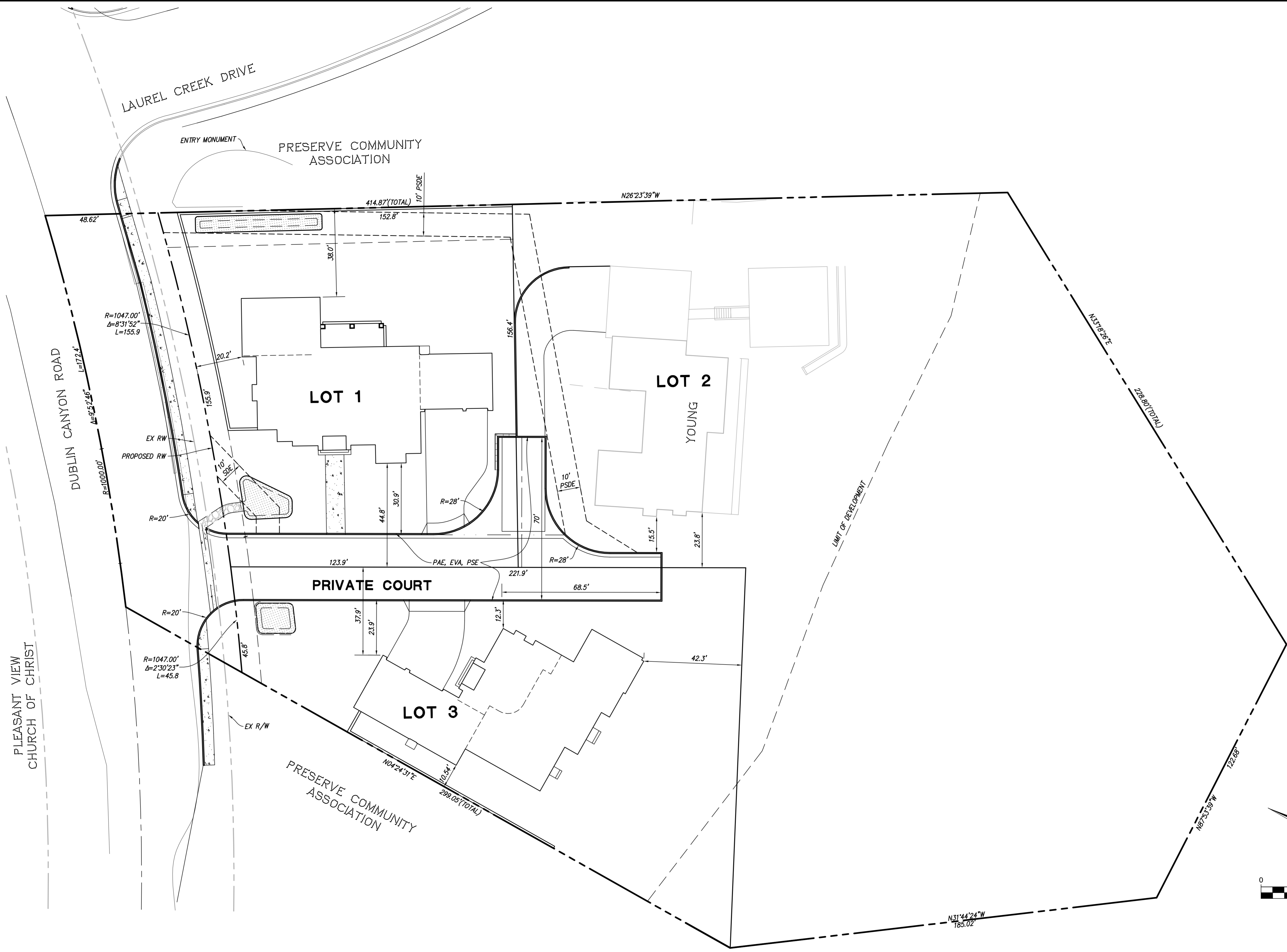


EXISTING CONDITIONS
11249 DUBLIN CANYON ROAD
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



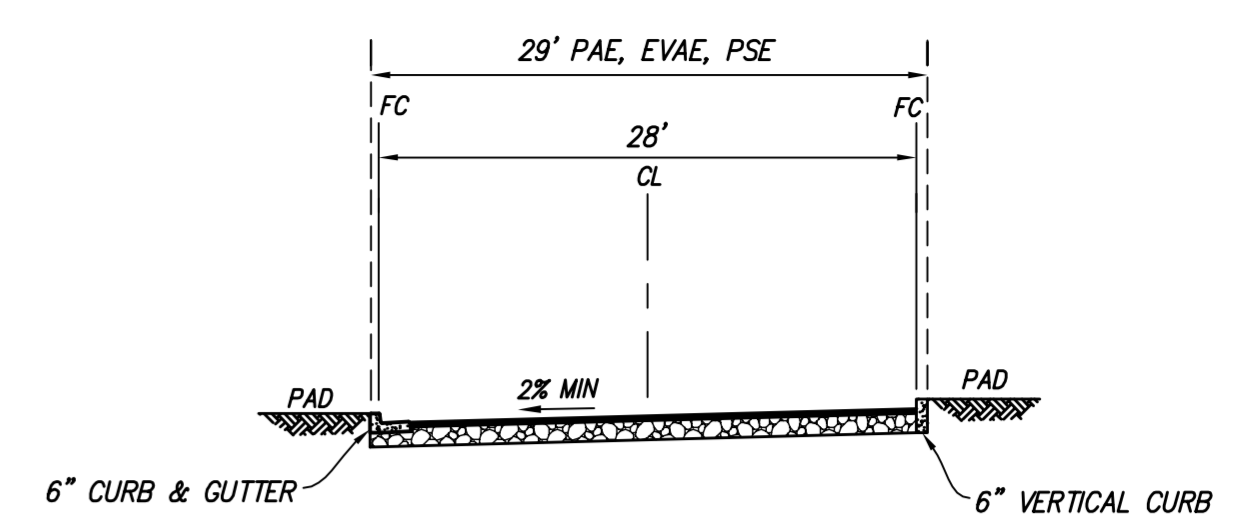
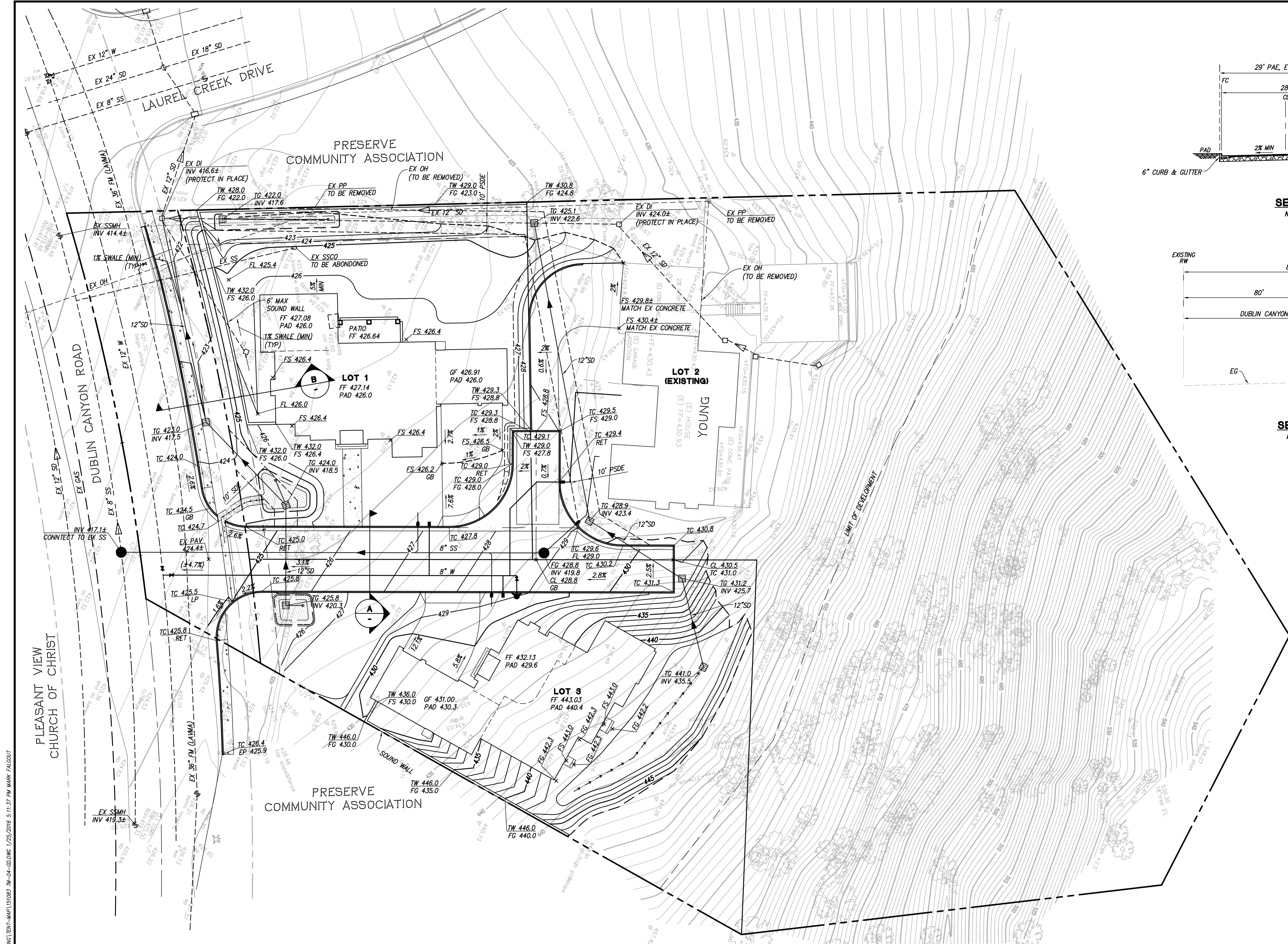

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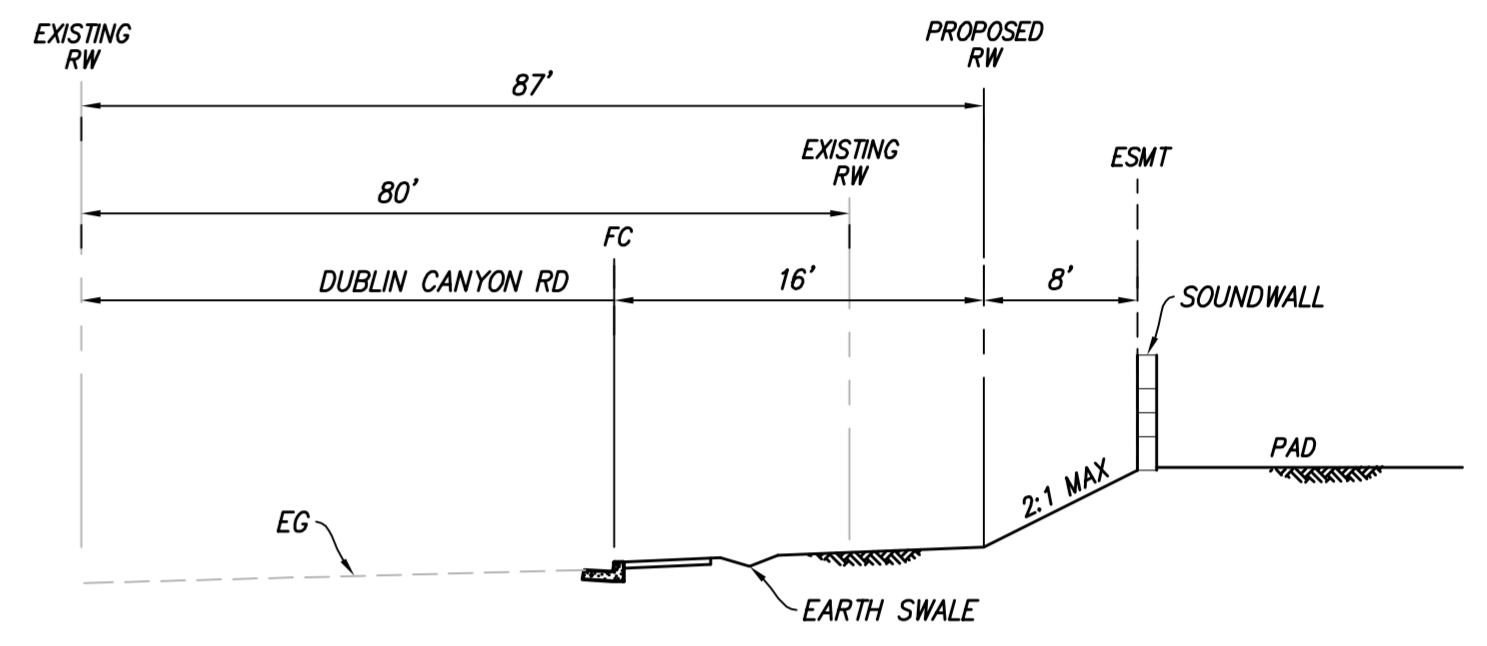


PRELIMINARY LOTTING PLAN
11249 DUBLIN CANYON ROAD
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA

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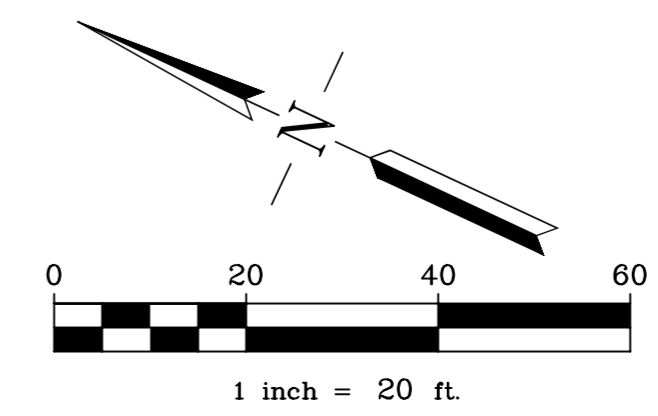
SECTION A
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SECTION B
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PRELIMINARY GRADING AND UTILITY PLAN
11249 DUBLIN CANYON ROAD
 CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



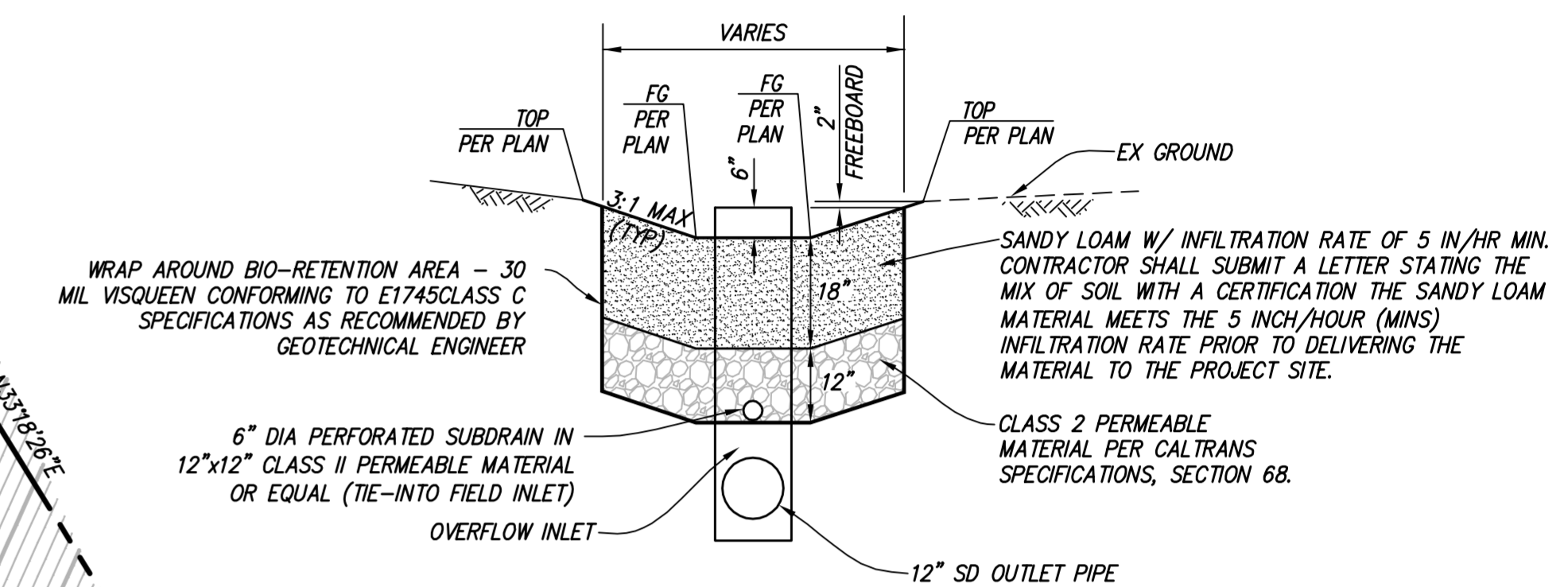
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PRELIMINARY STORM WATER TREATMENT CALCULATIONS (4% METHOD)

AREA ID	AREA OF ASPHALT (SF)	AREA OF CONCRETE (SF)	AREA OF LANDSCAPING (SF)	AREA OF ROOF (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	BMP USED	BMP ID	4% MIN BIORETENTION AREA REQUIRED (SF)	BIORETENTION AREA PROVIDED
DMA 1	0	3,401	8,689	4,580	8,068	BIO-RETENTION	BMP 1	323	381
DMA 2	6,569	896	9,685	0	7,562	BIO-RETENTION	BMP 2	302	305
DMA 3	0	0	4,420	4,503	4,547	BIO-RETENTION	BMP 3	182	207

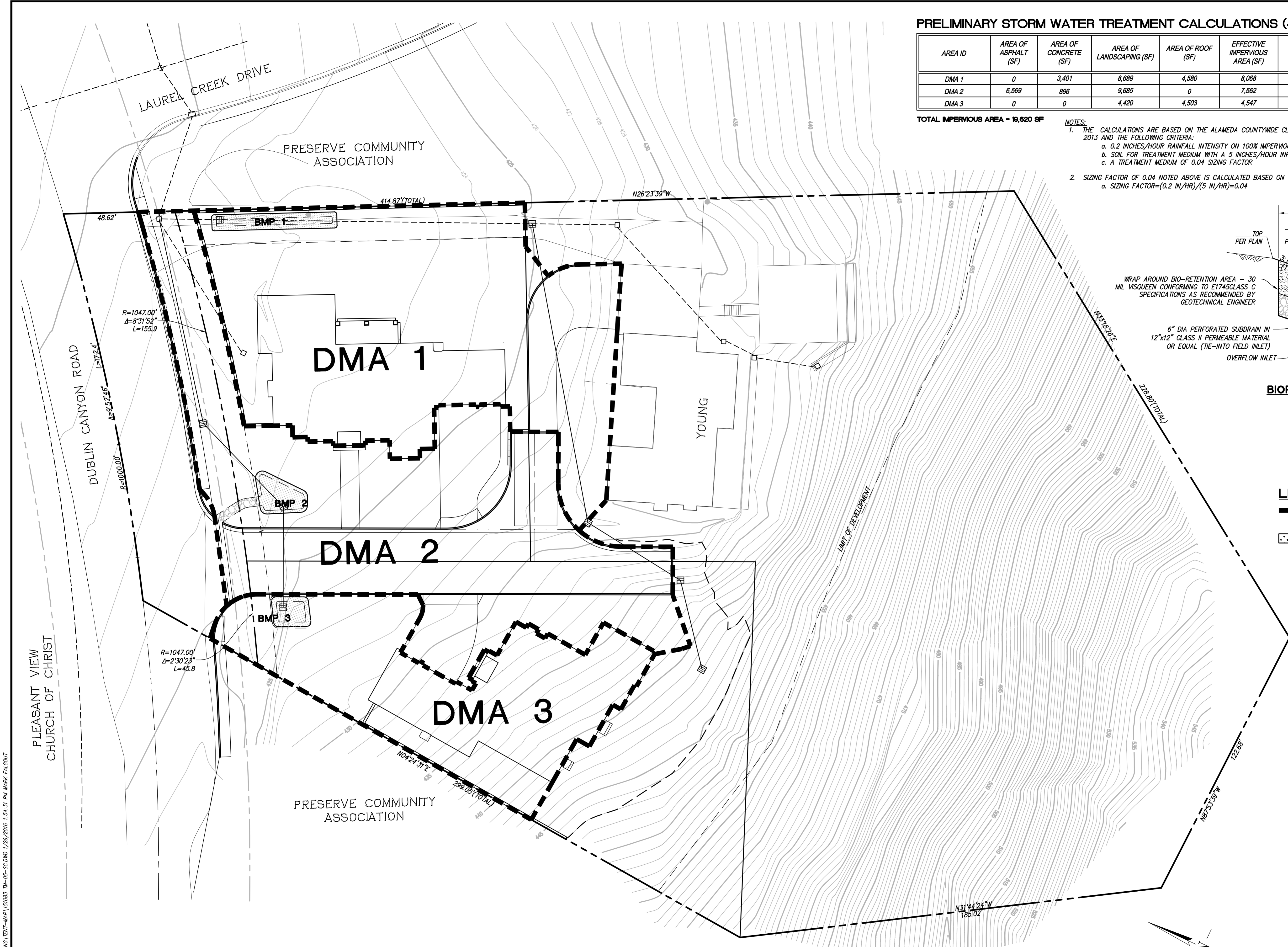
TOTAL IMPERVIOUS AREA = 19,620 SF

- NOTES:
- THE CALCULATIONS ARE BASED ON THE ALAMEDA COUNTYWIDE CLEAN WATER PROGRAM, C3 STORMWATER TECHNICAL GUIDANCE, DATED MAY 14, 2013 AND THE FOLLOWING CRITERIA:
 - 0.2 INCHES/HOUR RAINFALL INTENSITY ON 100% IMPERVIOUS AREA.
 - SOIL FOR TREATMENT MEDIUM WITH A 5 INCHES/HOUR INFILTRATION RATE.
 - A TREATMENT MEDIUM OF 0.04 SIZING FACTOR
 - SIZING FACTOR OF 0.04 NOTED ABOVE IS CALCULATED BASED ON THE FOLLOWING CRITERIA:
 - SIZING FACTOR = (0.2 IN/HR) / (5 IN/HR) = 0.04



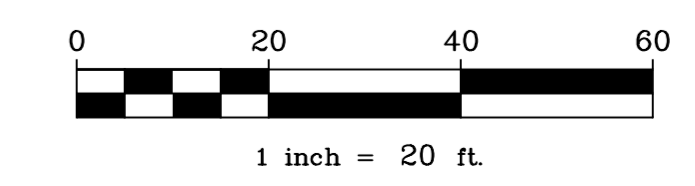
BIORETENTION DETAIL
NOT TO SCALE

- LEGEND:**
- DRAINAGE AREA BOUNDARY
 - BIO-RETENTION AREA



PRELIMINARY STORMWATER TREATMENT PLAN
11249 DUBLIN CANYON ROAD

CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



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